

CITY OF LAKE GENEVA
PLAN COMMISSION MEETING
MONDAY, NOVEMBER 21, 2016 - 6:30 PM
COUNCIL CHAMBERS, CITY HALL

Agenda

1. Meeting called to order by Mayor Kupsik.
2. Roll Call.
3. Approve Minutes of October 17, 2016 Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence. - None
6. Downtown Design Review.
 - A. Application by FYF, LLC., 43 South Water Street East, Fort Atkinson, WI 53538 for an exterior siding and fence railing design at 640 West Main Street, Tax Key No. ZOP00306.
7. Public Hearing and recommendation on a Conditional Use Application filed by Rodger Fisher, 946 Ceylon Court, Lake Geneva, WI 53147, to construct an addition using the SR-4 Zoning requirements in an ER-1 (Estate Residential) Zoning District located at 946 Ceylon Court, Lake Geneva, WI 53147, Tax Key No. ZA124000002.
8. Public Hearing and recommendation on a Precise Implementation Plan (PIP) Amendment Application filed by Peter Jurgens for Oakfire Restaurant, 831 Wrigley Drive, Lake Geneva, WI 53147 for modifications to the Precise Implementation Plan (PIP) in the Central Business (CB) Zoning District at 831 Wrigley Drive, Tax Key No. ZOP 00340.
9. Public Hearing and recommendation on a Precise Implementation Plan (PIP) Application filed by Lake Geneva 50120, LLC c/o GMX Real Estate Group, LLC, 3000 Dundee Rd, Northbrook, IL 60062 for two new commercial buildings in the Planned Business Zoning District at 281 N Edwards Blvd., Tax Key No. ZA297300001.
10. Adjournment

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate accommodations.

Posted 11/18/16

STAFF REPORT
To Lake Geneva Plan Commission

Meeting Date: October 17, 2016

Agenda Item #6

Applicant:

FYF, LLC

1004 Tolman Street

Lake Geneva, WI 53147

Request:

Conditional Use approval to construct a fence in the Street Yard setback , Commercial Indoor Lodging, and Downtown Design approval for the property located at 640 W Main Street, Tax Key No. ZOP 00306.

Description:

The applicants have returned to the Plan Commission with their exterior samples as instructed at the October Plan Commission meeting.

Staff Recommendation:

Staff has no recommendation and is looking for approval of the materials from the Plan Commission.

Agenda Item #7

Applicant:

Wendy & Rodger Fisher

946 Ceylon Court

Lake Geneva, WI 53147

Request:

Applying for SR-4 Zoning to construct an Addition to Single Family residence in an Estate Residential District (ER-1) at 946 Ceylon Court, Tax Key No ZA1240 00002.

Description:

The applicant would like to construct an addition to his existing Single Family Residence for a Master Bathroom and additional storage.

Staff Recommendation:

Staff has no problem with granting the SR-4 zoning to the property in order to build the addition as it fits in with the character and ascetics of the established neighborhood.

Action by the Plan Commission:

As part of the consideration of a requested Conditional Use Permit, the Plan Commission needs to make findings per the requirements of the Zoning Ordinance, and then make a recommendation to the city Council.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #8

Applicant:

Oakfire Restaurant

831 Wrigley Drive

Lake Geneva, WI 53147

Request:

Precise Implementation Plan (PIP) Amendment to PIP
at 831 Wrigley Drive, Tay Key No. ZOP 00340.

Description:

The applicant proposes to raze the existing structure and completely rebuild with a slightly change design from the original Precise Implementation Plan (PIP).

Staff Recommendation:

Staff recommends approval of the Precise Implementation Plan (PIP) Amendment for this location.

Action by the Plan Commission:

As part of the consideration of a requested Conditional Use Permit, the Plan Commission needs to make findings per the requirements of the Zoning Ordinance, and then make a recommendation to the city Council.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed Planned Development (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Planned Development is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Planned Development in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Planned Development maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Planned Development is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Planned Development outweigh all potential adverse impacts of the proposed Planned Development after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed Planned Development (PIP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed Planned Development is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed Planned Development in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed Planned Development does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed Planned Development is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Planned Development do not outweigh all potential adverse impacts of the proposed Planned Development after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #9

Applicant:

Lake Geneva 50120, LLC c/o GMX Real Estate
3000 Dundee Rd., Suite 408
Northbrook, IL 60062

Request:

Precise Implementation Plan (PIP) for two new
Commercial Buildings at 281 N Edwards Blvd.,
Tax Key No.ZA297300001.

Description:

The applicant proposes to build two commercial buildings at this site with one building split into two retail spaces and one building split into two restaurants with some exemptions from the Planned Business zoning which requires a Planned Development Process.

Staff Recommendation:

Staff recommends approval of the Precise Implementation Plan (PIP) for this location with all staff recommendations and Plan Commission requirements, and to include State of Wisconsin plan approval and City Engineer approval.

Action by the Plan Commission:

As part of the consideration of a requested Conditional Use Permit, the Plan Commission needs to make findings per the requirements of the Zoning Ordinance, and then make a recommendation to the city Council.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed Planned Development (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Planned Development is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Planned Development in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Planned Development maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Planned Development is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Planned Development outweigh all potential adverse impacts of the proposed Planned Development after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed Planned Development (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Planned Development is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Planned Development in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Planned Development does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Planned Development is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Planned Development do not outweigh all potential adverse impacts of the proposed Planned Development after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff may provide additional comment on the above items and will comment on remaining agenda items at the meeting.

Kenneth Roberts
Zoning Administrator

CITY OF LAKE GENEVA
PLAN COMMISSION MEETING
MONDAY, OCTOBER 17, 2016 - 6:30 PM
COUNCIL CHAMBERS, CITY HALL

Minutes

1. Meeting called to order by Mayor Kupsik at 6:30 pm.

2. Roll Call

Present: Mayor Kupsik, Doug Skates, Sarah Hill, Ann Esarco, Tom Hartz, Tyler Frederick
Not Present: John Gibbs, Assistant Gregoles
Also Present: Planner Mike Slavney, Atty. Dan Draper, Administrator Oborn, Inspector Robers
and City Clerk Waswo

3. Approve Minutes of September 19, 2016 Plan Commission meeting as distributed.

MOTION #1

Hartz/Hill moved to approve the minutes of September 19, 2016 Plan Commission meeting as distributed with once correction. Item #9, motion #5, the third line down is to change to "including constructing a 5 foot sidewalk."
The motion carried unanimously.

4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes. - None

5. Acknowledgment of Correspondence. - None

6. Downtown Design Review.

A. Application by Germaine Laing for Germaine's, 818 Kendall Lane, Lake Geneva, WI 53147 for an exterior awning with sign and door sign on the storefront at 706 W Main Street, Tax Key No. ZOP 00307.

DISCUSSION

Applicant gave an overview of the application details and there was a brief discussion with the Commission. Germaine is back in the same place where they had the awning. This is the same exact awning. The door address should be moved up to the top of the door, but viewable from under the awning.

MOTION #2

Hartz/Esarco moved to approve the application by Germaine Laing for Germaine's, 818 Kendall Lane, Lake Geneva, WI 53147 for an exterior awning with sign and door sign on the storefront at 706 W Main Street, Tax Key No. ZOP 00307, including moving the address numbers on the door up high enough to be visible from the street and staff recommendations. The motion carried unanimously.

7. Public Hearing and Recommendation on a Conditional Use Application filed by Robert & Christine Jankowski, 1004 Tolman Street, Lake Geneva, WI 53147 to construct a fence in the street yard setback in excess of three feet (six) at 1004 Tolman Street, Lake Geneva, WI 53147, Tax Key No. ZWB 00020.

DISCUSSION

Applicant gave an overview of the application details and there was a brief discussion with the Commission. Rob Jankowski, 1004 Tolman Street proposed removal of a chain link fence and replace with a privacy fence. Building Inspector Robers stated there is currently a 6 foot high chain link fence. The applicant has 2 dogs that bark. There are concerns the fence will block the view around the corner, but that is where they park their cars. He does not feel it will block the view.

No Public Speakers appeared before the Plan Commission.

MOTION #3

Hill/Skates moved to close the public hearing. The motion carried unanimously.

MOTION #4

Hill/Skates moved to approve the recommendation on a Conditional Use Application filed by Robert & Christine Jankowski, 1004 Tolman Street, Lake Geneva, WI 53147 to construct a fence in the street yard setback in excess of three feet (six) at 1004 Tolman Street, Lake Geneva, WI 53147, Tax Key No. ZWB 00020, to include all staff recommendations and findings of fact. The motion carried unanimously.

- 8. Public Hearing and recommendation on a Conditional Use Application filed by FYF, LLC, 43 South Water Street East, Fort Atkinson, WI 53538 to operate a Commercial Indoor Lodging facility at an existing Commercial Building in the Central Business (CB) zoning district, including a fence in the Street Yard Setback and Downtown Design Review, located at 640 W Main Street, Tax Key No. ZOP 00306.**

DISCUSSION

Brian Schultz on behalf of FYF LLC gave an overview of the application details and there was a detailed discussion with the Commission. The intention is to convert the existing indoor sales to commercial indoor use for vacation rental, one tenant at a time. Inspector Robers stated one space for every bedroom, proposing 5 spaces, but noted that they also own Roses B&B and will be using 3 of those spaces. This is allowable in the Central Business District. Staff learned the first 3 spaces are considered to be a loading area, will have to find 3 more spaces elsewhere or will have to reduce the amount of bedrooms. Those spaces have remained open for emergency access and loading/unloading. There are 14 spaces at the other site with 6 bedrooms. Will have an access of 8 so could use those for the other 3 spaces. Mr. Slavney clarified it would be the space that's around the corner in the back of the building and the space at the very end of the driveway are available as onsite parking. Schultz stated they would have to do grading back there.

Hartz asked for clarification of what they are approving. Slavney discussed several points beginning with the required Downtown Design approval that is needed. He clarified that the Downtown Design District includes everything from the bottom of the hill from West Main Street to Cook Street, all the way to the lake and several blocks to the North. He stated that the Commission has complete review of the exterior of the building, but the store front design requirements on Main Street do not extend that far to the East. Therefore some of those requirements do not apply. However, Mr. Slavney noted that he has concerns of the appearance of the building as it is proposed. He mentioned his concerns about the proposed fence, stating that it should not be solid because it obstructs the view when coming into the downtown area. He recommends open fencing as it is now, a metal picket fence that you can see the trail and park through.

In addition to the fence concerns, Slavney stated that this new perspective is a pretty jarring change from what we have now. He would prefer more traditional materials and colors. Not a store front, but something that isn't so starkly modern. As it is proposed now, he is uncomfortable with the appearance and materials. Slavney was also disappointed that there were not actual samples of the materials proposed.

Commissioner Hill restated Hartz's question about what is being approved tonight? Is it the use, materials, visual or all three? She also commented on the visual being similar to Oakfire's new renovations. Slavney stated that Oakfire is not on Main Street where as this building is at the forefront of the entry into the downtown area. He also commented that perhaps this may be the tipping point for a modernization for downtown Lake Geneva and that would be something for the Plan Commission to discuss. The Commissioners and Mr. Slavney complemented the applicant for having one of the best most complete application's they have seen. Slavney stated that he is fine with the "use" standpoint but has concerns about it's esthetic's.

Alderman Skates felt it also looked a lot like Oakfire until he looked at the materials. This will be stained cedar paneling. The fence is similar to wood treatment, stained cedar. He stated his disappointment in the building now and he is glad to see a facelift coming. However, he is concerned that semi transparent stain will only look good for a couple years.

There was further discussion on the target audience that the applicant is looking for. As well as, more discussions regarding the concerns with the chosen materials, esthetics, design and timing.

PUBLIC SPEAKERS - None

MOTION #5

Hill/Hartz moved to close the public hearing. Motion carried unanimously.

MOTION #6

Kupsik/Hill moved to approve the recommendation on a Conditional Use application filed by FYF, LLC, 43 South Water Street East, Fort Atkinson, WI 53538 to operate a Commercial Indoor Lodging facility at an existing Commercial Building in the Central Business (CB) zoning district, including a fence in the Street Yard Setback and Downtown Design Review, located at 640 W Main Street, Tax Key No. ZOP 00306, including the fact finding, staff recommendations, offsite parking, site plan, building envelope, landscaping clad and material used for the building envelope to be reviewed at the next Plan Commission meeting, limiting the Conditional Use to the operator. Motion carried unanimously.

9. Public Hearing and recommendation on Zoning Text Amendment, to Section 98-206 Commercial Land Uses, pertaining to Tattooing, filed by the City of Lake Geneva, 626 Geneva Street, Lake Geneva, WI 53147.

DISCUSSION

Building Inspector Robers gave a brief overview of the recommendation and the three options provided to the Commission. There was a discussion related to the differences between the options. Slaveny stated that option #5b does remove that stigma and it gives you the ability to review each proposal and provides flexibility and control that the other alternatives don't do.

PUBLIC SPEAKER #1 –Elizabeth Chappell, 513 Broad Street, LG

Sexual land use is the ordinance tattooing is under currently. This change is trying to remove it out of that ordinance and create its own separate ordinance with tattooing.

As a licensed cosmetologist, if I would want to provide this type of service, under the Wisconsin Administrative code for cosmetology, code # 2.03, #8, a licensee may not provide the following services unless both the licensee and the establishment are properly licensed by the Department of Health Services.

- a. body piercing, except piercing of ears
- b. tattooing, including permanent cosmetic
- c. operating of a tanning booth

Therefore please note that a salon or spa would still need to get a license by the State of Wisconsin.

MOTION #7

Hill/Skates moved to close the public hearing. Motion carried unanimously.

MOTION #8

Hartz/Skates motion to accept option 5b as the recommended Zoning Text Amendment, to Section 98-206 Commercial Land Uses, pertaining to Tattooing, filed by the City of Lake Geneva, 626 Geneva Street, Lake Geneva, WI 53147.

Motion carried 5 to 1 with Sarah Hill "abstaining."

10. Adjournment

MOTION #9

Skates/Hill moved to adjourn the meeting at 7:49 pm. Motion carried unanimously.

/s/Sabrina Waswo, City Clerk

THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE PLAN COMMISSION



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

640 W. Main Street, Tax Key # ZOP 00306

Name & Address of Current Building Owner:

Kocourek Property Holdings LLC
880 S. Lake Shore Drive
Lake Geneva, WI 53147

Telephone Number of Current Building Owner: 847-525-9060

Name & Address of Applicant:

FYF, LLC, 43 South Water Street East, Fort Atkinson, WI
53538

Telephone Number of Applicant: 920-568-9870

Proposed Design Change:

Exterior Siding & Railing

Zoning District: CB

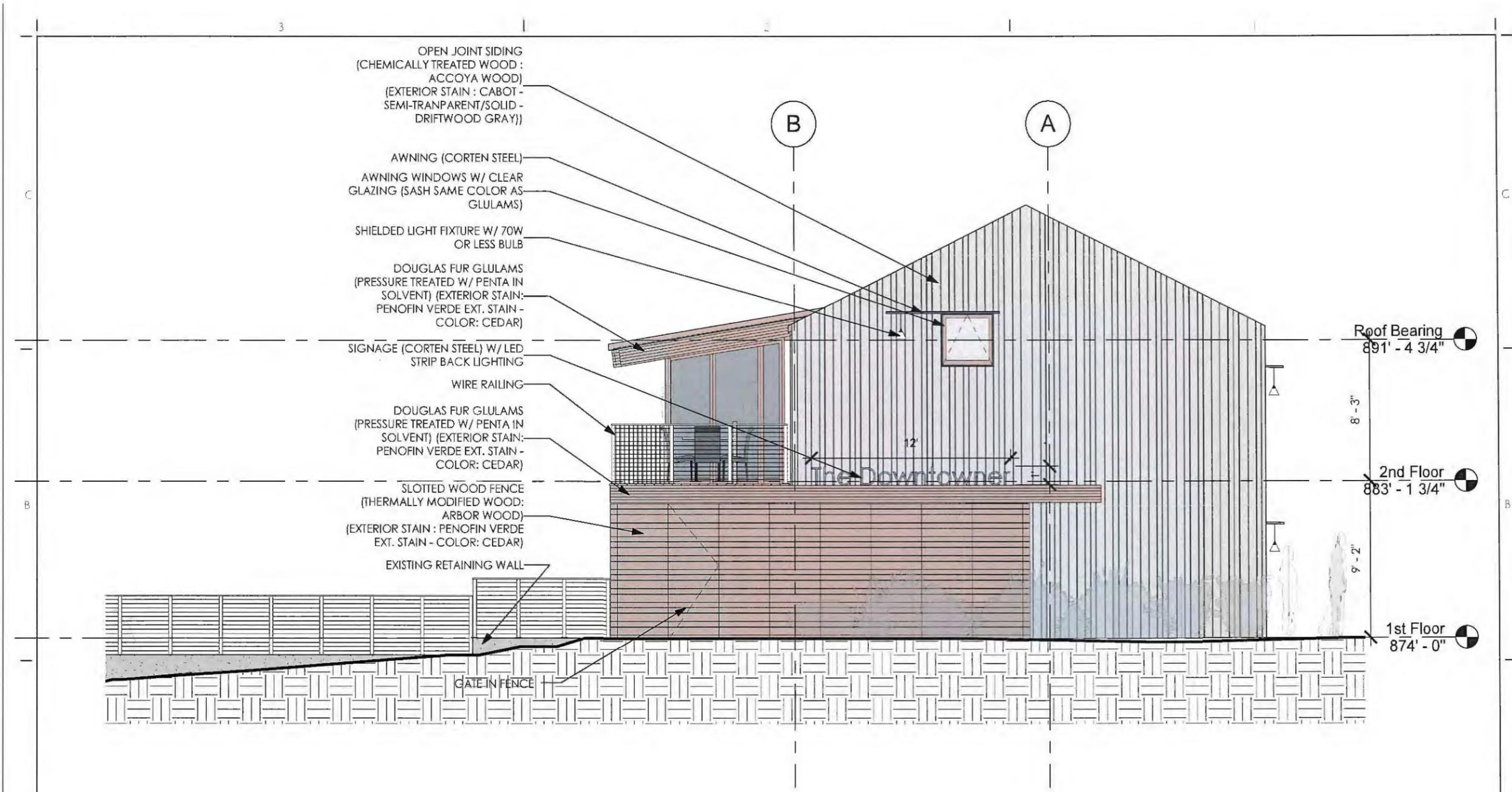
Names & Address of Architect, Engineer, and/or Contractor of Project:

Opening Design
312 W Lakeside St
Madison, WI

Description of Project:

Complete Remodel of Building approved at October Plan Comm.
This is approval for outside elements

Date: _____ Signature of Applicant: _____



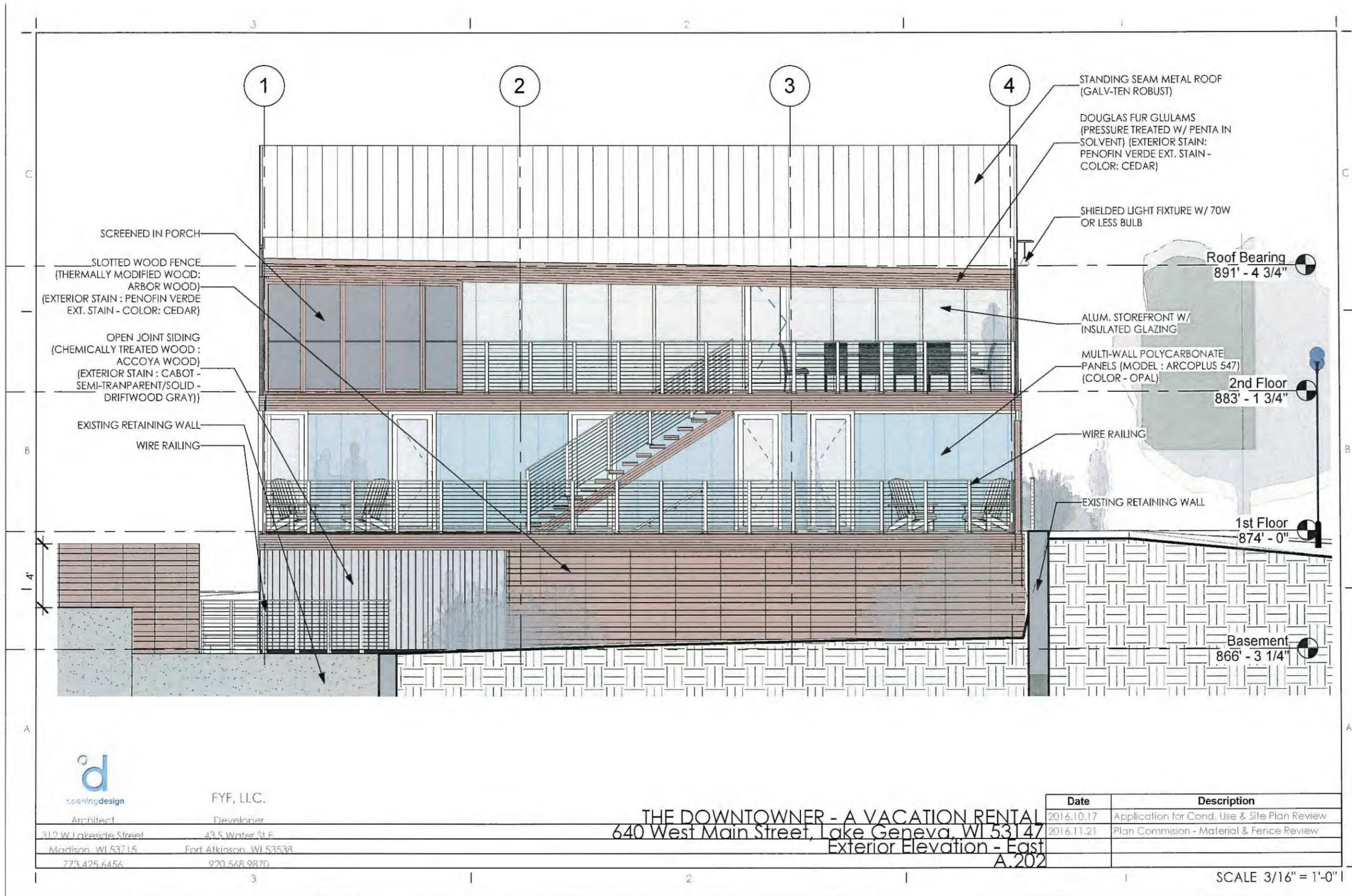
FYF, LLC.

Architect	Developer
312 Lakeside Street Madison, WI 53715 773.425.6456	435 Water St E Fort Atkinson, WI 53538 920.568.9870

THE DOWNTOWNER - A VACATION RENTAL
 640 West Main Street, Lake Geneva, WI 53147
 Exterior Elevation - North
 A.201

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review
2016.11.21	Plan Commission - Material & Fence Review

SCALE 3/16" = 1'-0"



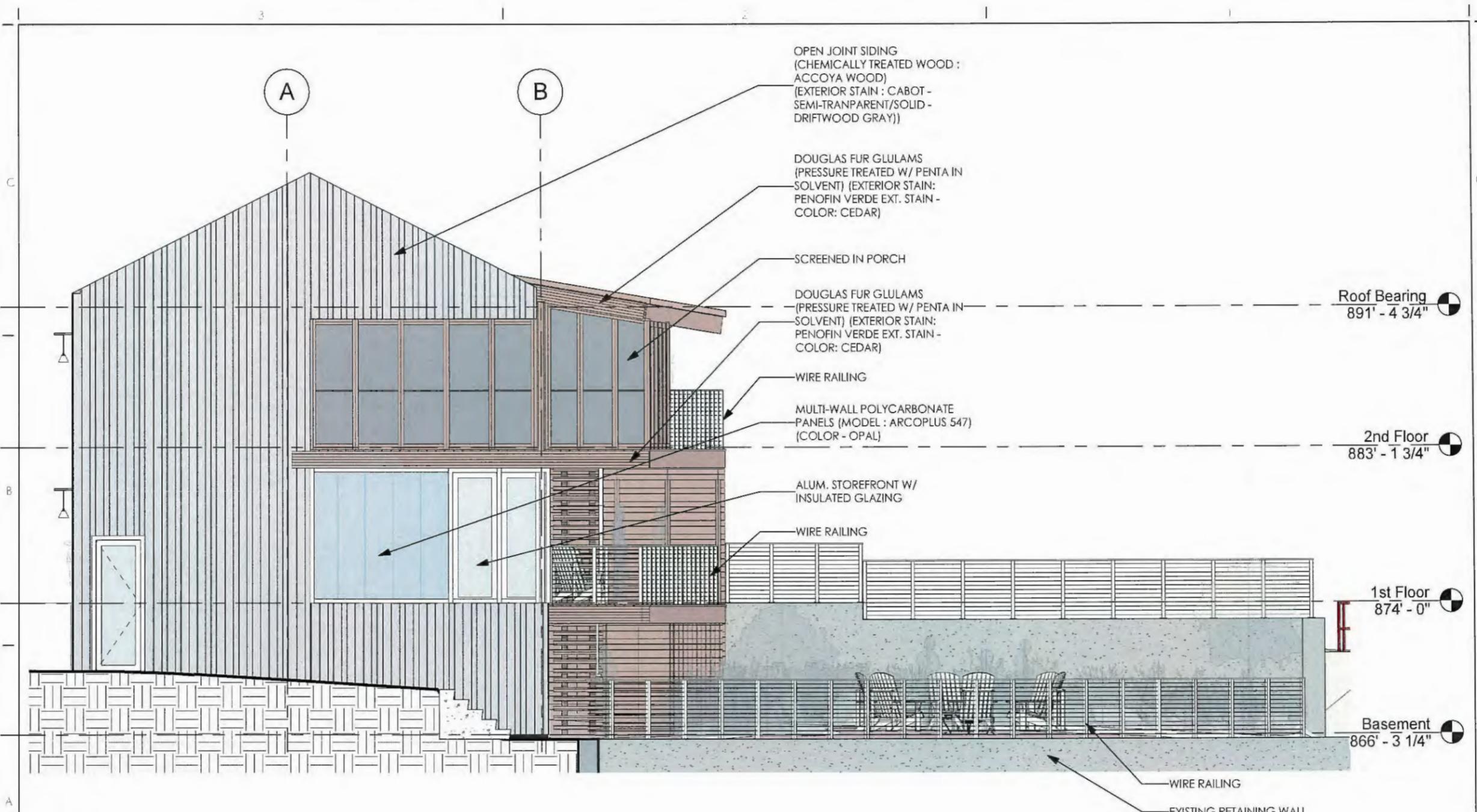
FYF, LLC.

Architect	Developer
312 W Lakeside Street Madison, WI 53715 773.425.4456	43 S Water St E Fort Atkinson, WI 53538 920.568.9870

THE DOWNTOWNER - A VACATION RENTAL
 640 West Main Street, Lake Geneva, WI 53147
 Exterior Elevation - East
 A.202

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review
2016.11.21	Plan Commission - Material & Fence Review

SCALE 3/16" = 1'-0"



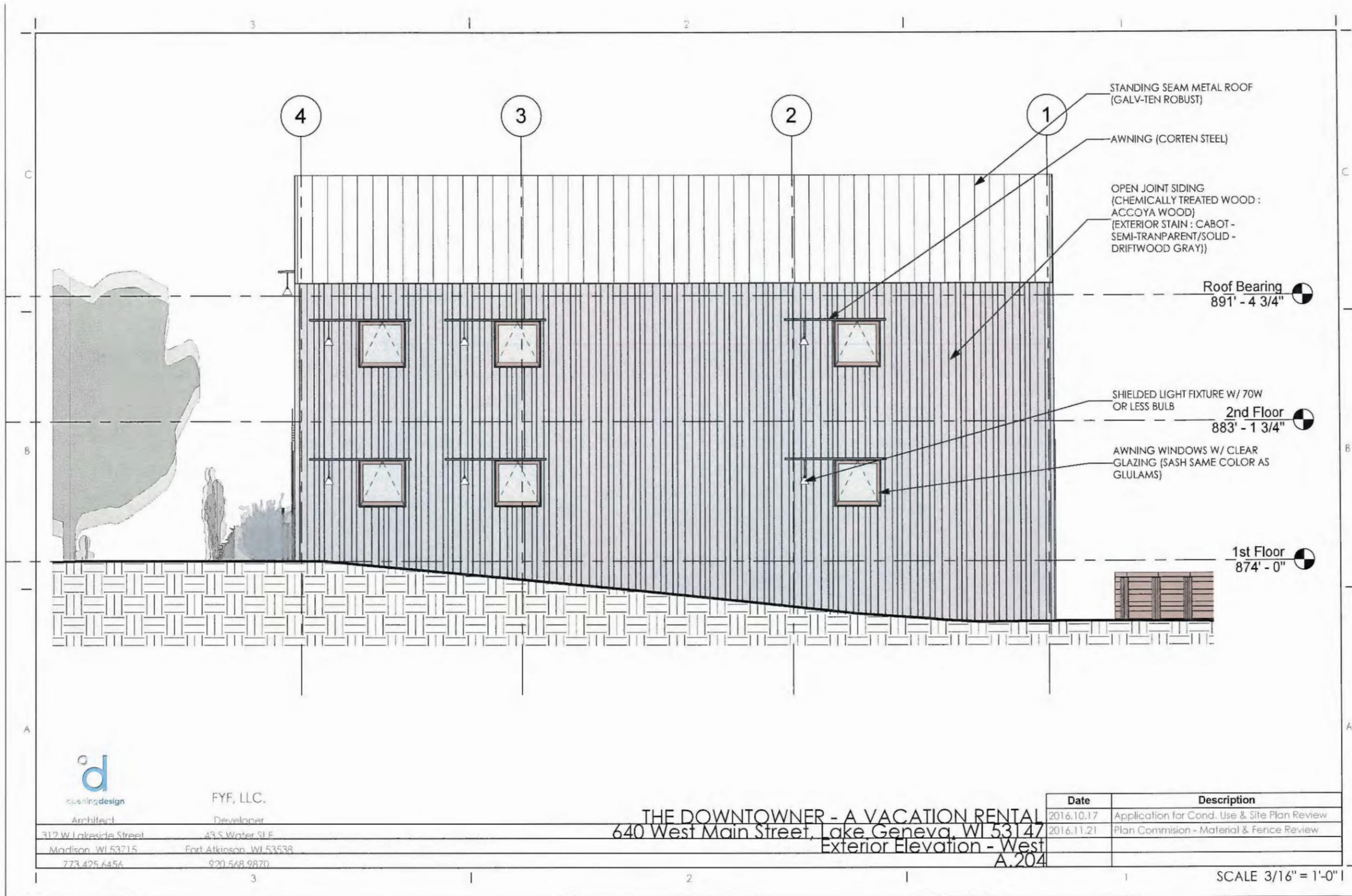
FYF, LLC.

Architect	Developer
312 W Lakeside Street Madison, WI 53715 773.425.6456	43 S Water St E. Fort Atkinson, WI 53538 920.548.9870

THE DOWNTOWNER - A VACATION RENTAL
640 West Main Street, Lake Geneva, WI 53147
Exterior Elevation - South
A.203

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review
2016.11.21	Plan Commision - Material & Fence Review

SCALE 3/16" = 1'-0"



Architect: *d* design
 312 W Lakeside Street
 Madison, WI 53715
 773.425.6456

Developer: FYF, LLC.
 43 S Water St E
 Fort Atkinson, WI 53538
 920.568.9870

THE DOWNTOWNER - A VACATION RENTAL
 640 West Main Street, Lake Geneva, WI 53147
 Exterior Elevation - West
 A.204

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review
2016.11.21	Plan Commission - Material & Fence Review

SCALE 3/16" = 1'-0"



3B From Driveway Looking SouthEast (Day)



2B From Driveway Looking SouthEast (Night)



3A From Sidewalk Looking SouthWest (Day)



2A From Sidewalk Looking SouthWest (Night)



Architect	Developer
312 Lakeside Street Madison, WI 53715 773.425.6456	43 S Water St F Fort Atkinson, WI 53538 920.568.9870

FYF, LLC.

THE DOWNTOWNER - A VACATION RENTAL
640 West Main Street, Lake Geneva, WI 53147
Exterior Renderings - 1/2
A.251

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review
2016.11.21	Plan Commision - Material & Fence Review



3B From White River Park Looking NorthWest



2B From Parking Lot Looking NorthEast



3A From Garden Terrace Looking West



2A Aerial View Looking South Toward White River Park and Bike Path



Architect	Developer
312 W Lakeside Street Madison, WI 53715 773.425.6456	43 S Water St. Fort Atkinson, WI 53538 920.568.9870

FYF, LLC.

THE DOWNTOWNER - A VACATION RENTAL
640 West Main Street, Lake Geneva, WI 53147
Exterior Renderings - 1/2
A.252

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review
2016.11.21	Plan Commision - Material & Fence Review



Douglas Fir Glulams
 Pressure Treated w/ Penta in Solvent
 Exterior Stain (Penofin Verde Ext. Stain - Color: Cedar)*
**Stain to match stain at wood fence*



Architect	Developer
312 W Lakeside Street Madison, WI 53715 773.425.6456	43 S Water St F Fort Atkinson, WI 53538 920.568.9870

FYF, LLC.

THE DOWNTOWNER - A VACATION RENTAL
 640 West Main Street, Lake Geneva, WI 53147
 Precedents for Exposed Glulam Structure
 A.260

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review
2016.11.21	Plan Commission - Material & Fence Review



Chemically Treated Wood (Accoya Wood)
Exterior Stain (Cabot - Semi-Transparent/Solid - Driftwood Gray)



Architect: opening design
312 Lakeside Street
Madison, WI 53715
773.425.6456

Developer: FYF, LLC.
43 S Water St E
Fort Atkinson, WI 53538
920.568.9870

THE DOWNTOWNER - A VACATION RENTAL
640 West Main Street, Lake Geneva, WI 53147
Precedents for Open Joint Vertical Wood Siding
A.261

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review
2016.11.21	Plan Commision - Material & Fence Review



Multi-Wall Polycarbonate Panels (GallinaUSA)
 Model - Arcoplus 547
 Color - Opal



opening design
 Architect
 312 W Lakeside Street
 Madison, WI 53715
 773.425.6456

FYF, LLC.
 Developer
 43 S Water St E
 Fort Atkinson, WI 53538
 920.568.9870

THE DOWNTOWNER - A VACATION RENTAL
 640 West Main Street, Lake Geneva, WI 53147
 Precedents for Polycarbonate
 A.262

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review
2016.11.21	Plan Commission - Material & Fence Review



Corten Steel
(Western States Metal Roofing - Rusted Roofing)



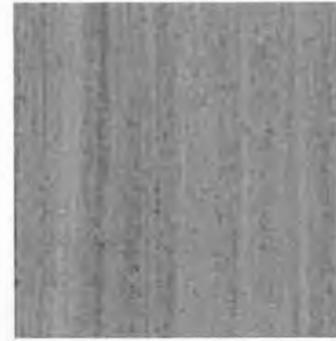
openingdesign Architect	FYF, LLC. Developer
312 W Lakeside Street Madison, WI 53715 773.425.6456	43 S Water St F Fort Atkinson, WI 53538 920.568.9870

THE DOWNTOWNER - A VACATION RENTAL
640 West Main Street, Lake Geneva, WI 53147
Precedents for Corten Steel Awnings & Signage
A.265

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review
2016.11.21	Plan Commision - Material & Fence Review



Douglas Fir Gluloms
 Pressure Treated w/ Penta in Solvent
 Exterior Stain (Penofin Verde Ext. Stain - Color: Cedar)*
**Stain to match stain of wood fence*



Chemically Treated Wood (Accoya Wood)
 Exterior Stain (Cabot - Semi-Transparent/Solid - Driftwood Gray)

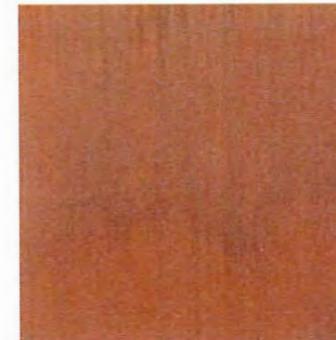


Thermally Modified Wood (Arbor Wood)
 Exterior Stain (Penofin Verde Ext. Stain - Color: Cedar)

Multi-Wall Polycarbonate Panels (GallinaUSA)
 Model - Arcoplus 547
 Color - Opal



Standing Seam Metal Roof
 (Western States Metal Roofing - Galv-Ten Robust)



Corten Steel
 (Western States Metal Roofing - Rusted Roofing)



Opening Design
 Architect
 312 W Lakeside Street
 Madison, WI 53715
 773.425.6456

FYF, LLC.
 Developer

43 S Water St E
 Fort Atkinson, WI 53538
 920.568.9870

THE DOWNTOWNER - A VACATION RENTAL
 640 West Main Street, Lake Geneva, WI 53147
 Materials Palette
 A.270

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review
2016.11.21	Plan Commission - Material & Fence Review

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

946 Ceylon Court, Lake Geneva, WI 53147 Lot 2 of CSM 1240 Recorded in Vol 5 CS PG 359 WCR.
W 1/2 Sec 1 T1N R17E, 27,530 SQ FT City of Lake Geneva.

NAME AND ADDRESS OF CURRENT OWNER:

Victoria Shores LLC/ Roger & Wendy Fisher, 946 Ceylon Court, Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: 815-713-5682 (Wendy's Cell Phone)

NAME AND ADDRESS OF APPLICANT:

PSG, Inc. c/o Leslie Scherrer Pella, 448 Falcon Ridge Drive, Suite B, Burlington, WI 53105

TELEPHONE NUMBER OF APPLICANT: 262-758-6064 (O), 262-758-3190 (C)

PROPOSED CONDITIONAL USE:

Proposing to use the SR-4 zoning requirements for setbacks for an ER-1 district so that the Owner may
construct an addition to their residence.

ZONING DISTRICT IN WHICH LAND IS LOCATED: ER-1

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Contractor: PSG, Inc., 448 Falcon Ridge Drive, Suite B, Burlington, WI 53105.
Architect: Hagney Architects, LLC, 4615 E. State St. Ste 206, Rockford, IL 61108

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Construction of a small addition to the east/street side of the residence and remodeling of interior.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

Oct. 21, 2016
DATE


SIGNATURE OF APPLICANT

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I.RECORDATION OF ADMINISTRATIVE PROCEDURES

_____ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

_____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

_____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

_____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

_____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

_____ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

_____ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

_____ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II.APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ *by:* _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ *by:* _____

↓

_____ (a) **A map of the proposed conditional use:**

- Showing all lands for which the conditional use is proposed;
- Showing all other lands within 300 feet of the boundaries of the subject property;
- Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- Map and all its parts are clearly reproducible with a photocopier;
- _____ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- All lot dimensions of the subject property provided;
- Graphic scale and north arrow provided.

_____ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**



X (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

 X (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
*Information on site plan provided per discussion with Ken Robers.

 X (e) Written justification for the proposed conditional use:
 Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

 The lot is not in compliance with current ER-1 zoning standards. It is more in line with SR-4 zoning requirements. It is in harmony with the City Comprehensive Plan and Zoning Ordinance.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

 Allowing us to use the SR-4 zoning requirements will be more in line with the existing improvements on this site and sites in the area.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

 No impact on the above items.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

 The proposed conditional use is consistent other properties in the area.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

It will not pose any burdens on any of the above items.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes

IV.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

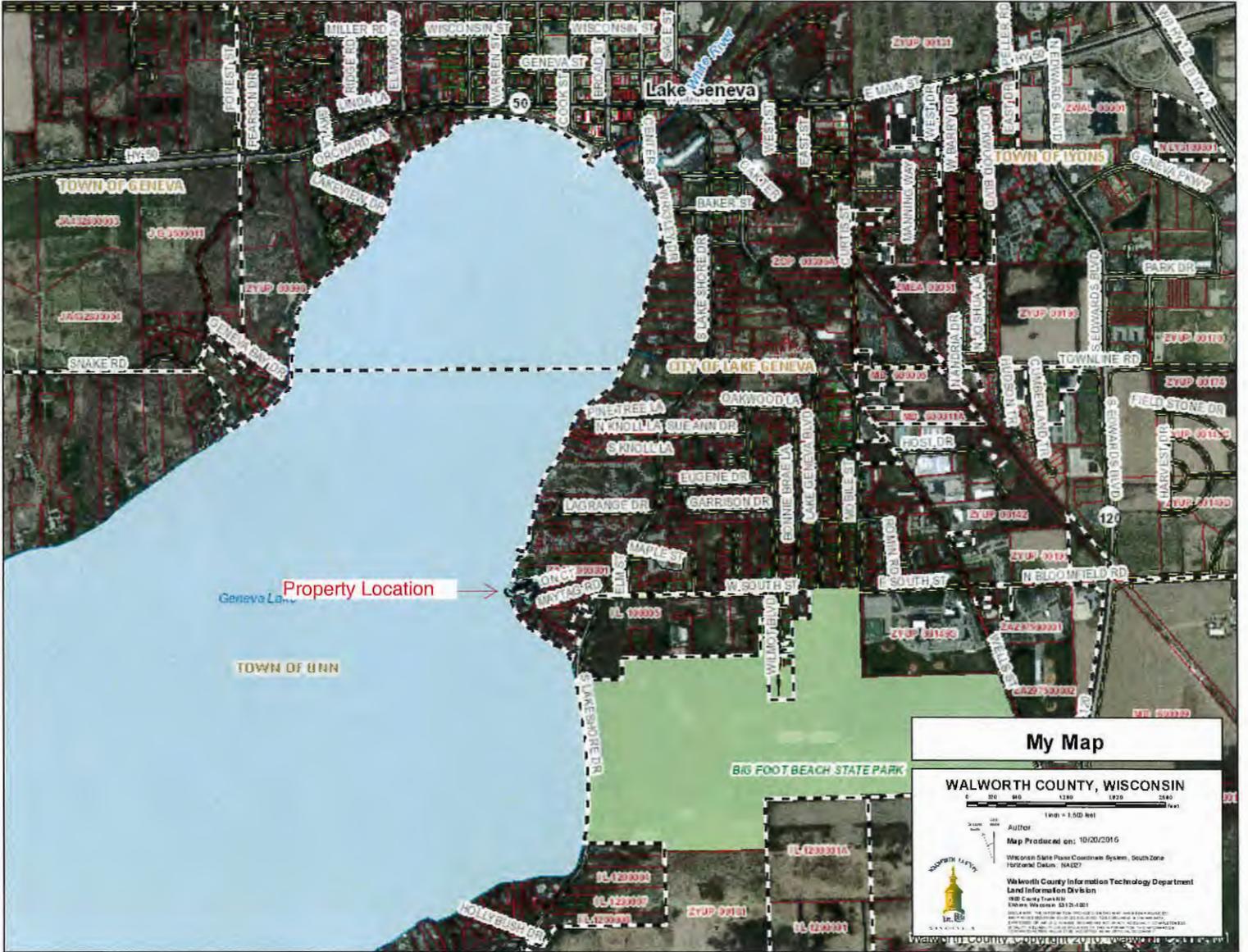
____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____





My Map

WALWORTH COUNTY, WISCONSIN

Scale: 1 inch = 1,000 feet

0 200 400 600 800 1000 Feet

Author:
Map Produced on: 10/20/2016

Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD83

Walworth County Information Technology Department
Land Information Division
ISS County Trust GIS
Expires: 10/31/2016

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Subject Parcel
Zoned ER-1
City of Lake Geneva

Geneva Lake

TOWN OF LINN

CITY OF LAKE GENEVA

My Map

WALWORTH COUNTY, WISCONSIN

1 inch = 251 feet

Author:
Map Produced on: 10/23/2015

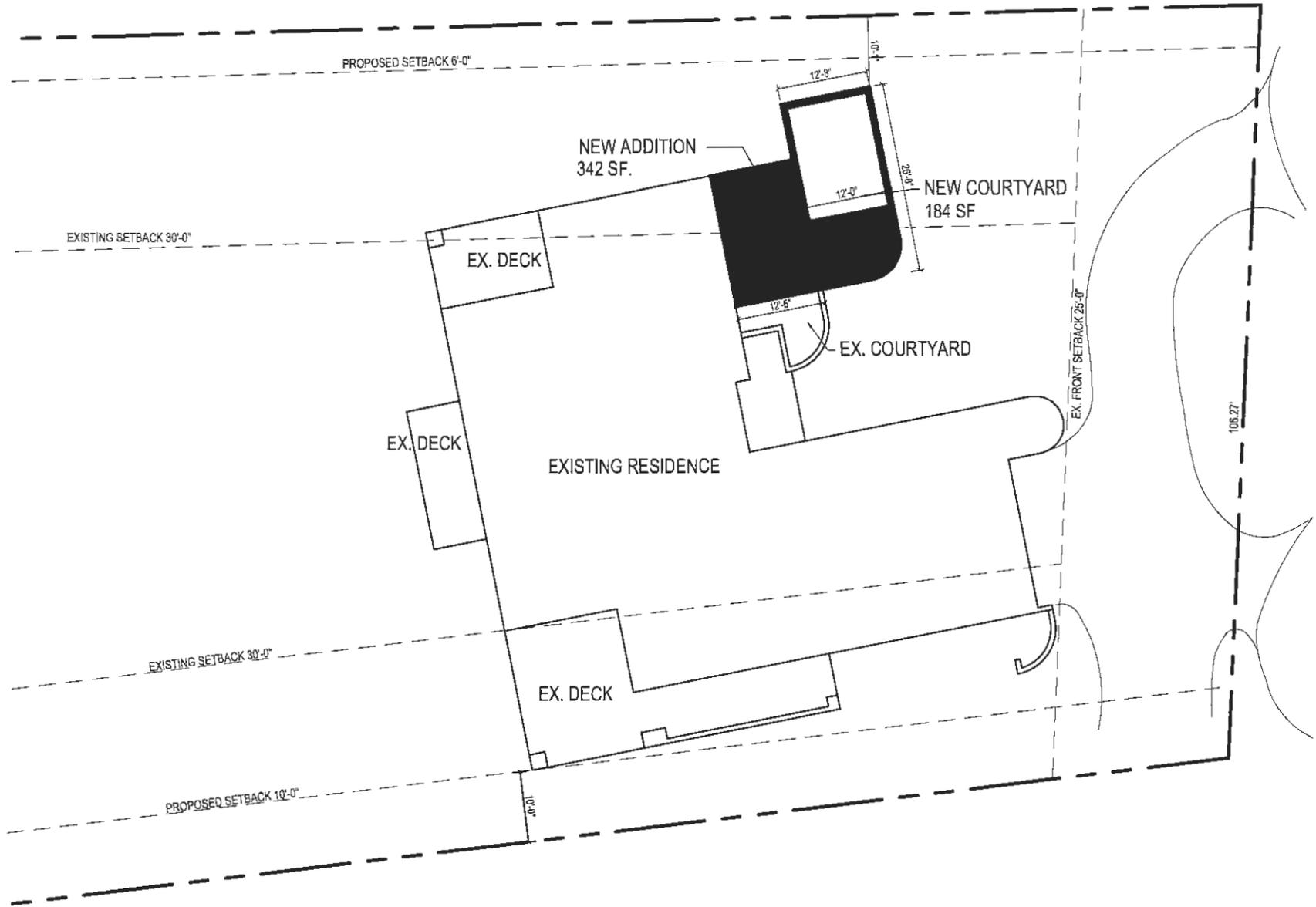
Wisconsin State Plane Coordinate System, South Zone
Source Data: NAZ07

Walworth County Information Technology Department
Land Information Division

188 County Trunk Rd
Geneva, Wisconsin 53126-4001

2015-2016: This map was prepared by the Walworth County Information Technology Department
and is provided as a public service. It is not intended to be used for any other purpose.
The user assumes all liability for any use of this map. The Walworth County Information Technology
Department is not responsible for any errors or omissions in this map.





PARTIAL SITE PLAN

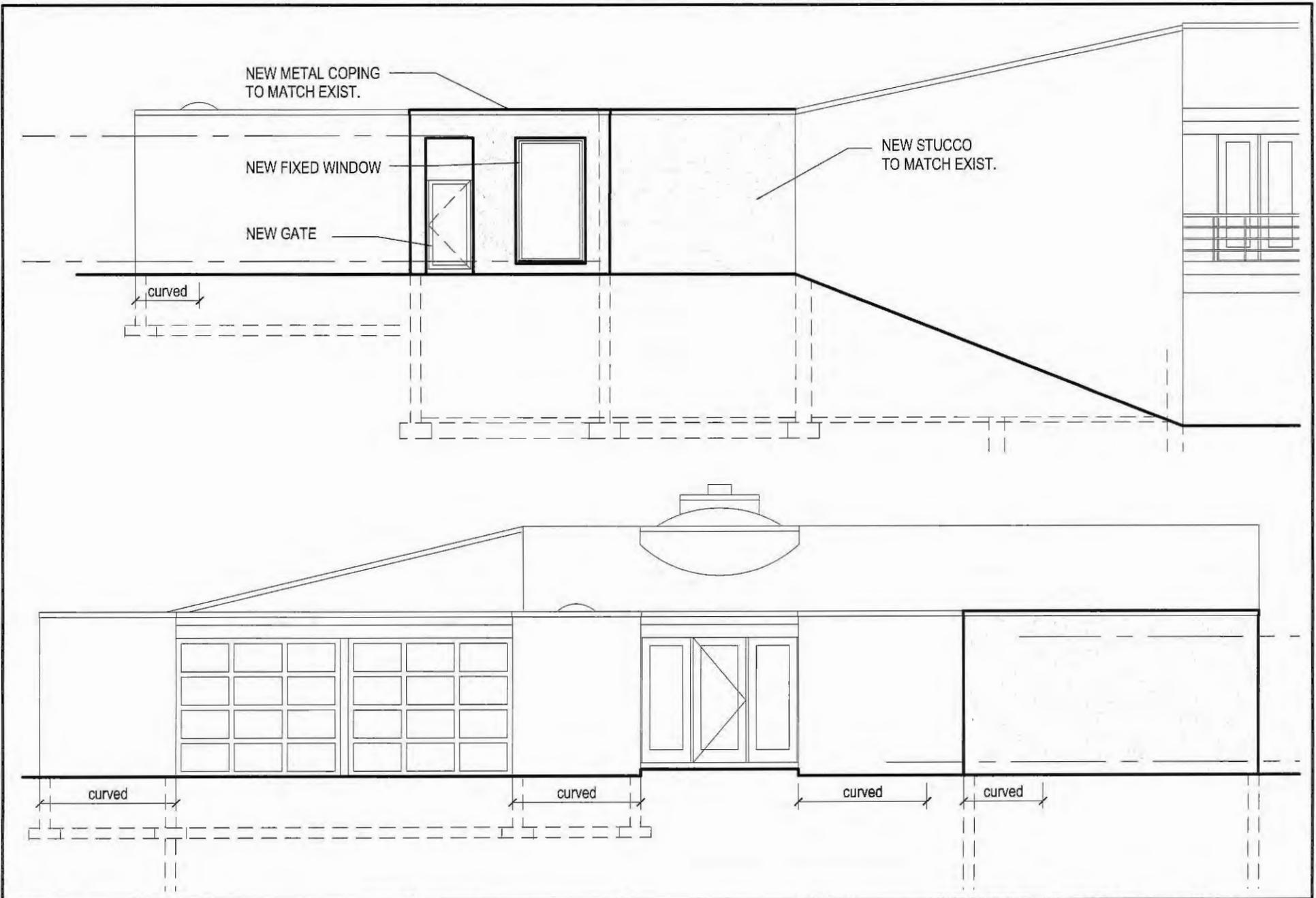
946 CEYLON CT., LAKE GENEVA, WI

SCALE: 1 : 20'-0"

DATE
10.20.16

PROJECT NO.
R5409

SHEET NO.



HAGNEY ARCHITECTS <small>LLC</small>	EXTERIOR ELEVATIONS	SCALE: 1/8"=1'-0"	DATE 10.20.16	SHEET NO.
	946 CEYLON CT., LAKE GENEVA, WI		PROJECT NO. R5409	

Notice

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before the City Plan Commission on Monday November 21, 2016 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, on a Conditional Use Application filed by PSG, Inc, 448 falcon Ridge Drive, Burlington, WI 53105 on behalf of Victoria Shores, LLC c/o Roger & Wendy Fisher, 946 Ceylon Court, Lake Geneva, WI for an addition and first floor remodeling to an existing single-family residence in the ER-1 District using the setback and height requirements of the SR-4 District at:

Tax Key No. Z124000002 946 Ceylon Court

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, November 21, 2016 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any comments that may have been filed and to hear all persons desiring to be heard.

Dated this 4th Day of November 2016.

Mayor Al Kupsik
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on November 10th and 17th.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

831 Wrigley Dr. Lake Geneva, WI
53147

Name and Address of Current Owner:

David Scotney - 1551 Orchard lane
Lake Geneva WI 53147

Telephone No. of Current Owner including area code: 312-451-1494

Name and Address of Applicant:

David Scotney - 1551 Orchard lane
Lake Geneva WI 53147

Telephone No. of Applicant including area code: 312-451 1494

Proposed Use:

Zoning District in which land is located: Central Business

Names and Addresses of architect, professional engineer and contractor of project:

Pete Jurgens

Short statement describing activities to take place on site:

Construction Amendment to
previous proposed plan

PIP Amendment fee \$400.00, payable upon filing application.

Signature of Applicant

CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR: PRECISE IMPLEMENTATION PLAN REVIEW AND APPROVAL - Requirements per Section 98-914(8)

This form should be used by the Applicant as a guide to submitting a complete application for precise implementation plan and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$_____ received by Zoning Administrator Date: _____ by: _____

___ Reimburse professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____



- ___ A map of the proposed precise implementation plan:
 - ___ Showing all lands for which the precise implementation plan is proposed;
 - ___ Showing all other lands within 300 feet of the boundaries of the subject property;
 - ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - ___ Clearly indicating the current zoning of the subject property and its environs, and The jurisdiction(s) which maintains that control;
 - ___ Map and all its parts are clearly reproducible with a photocopier;
 - ___ All lot dimensions of the subject property provided;
 - ___ Graphic scale and north arrow provided.

- _____ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:
- _____ (c) A written description of the proposed precise implementation plan describing the type of activities, building, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3) of the subject property as proposed for development OR if the proposed precise implementation plan is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed precise implementation plan:
 - _____ Indicating reasons why the Applicant believes the proposed precise implementation plan is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b) 1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED PRECISE IMPLEMENTATION PLAN

1. How is the proposed precise implementation plan (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

No Change in previous, will clean up property

2. How is the proposed precise implementation plan, in its specific location, in harmony with the proposed goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

No Change, will benefit downtown

3. Does the proposed precise implementation plan, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No

4. How does the proposed precise implementation plan maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Yes

5. Is the proposed precise implementation plan located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

No Change - Already existing

6. Do the potential public benefits of the proposed precise implementation plan outweigh all potential adverse impacts of the proposed precise implementation (as identified in Subsections 98-905(4)(b) 1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full-scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I.RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ Pre-submittal staff meeting scheduled:
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- Follow-up pre-submittal staff meetings scheduled for:
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Application form filed with Zoning Administrator: Date: _____ by: _____
- ___ Application fee of \$ ____ received by Zoning Administrator: Date: _____ by: _____
- ___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II.APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
- ↓ Draft Final Packet (1 Copy to Zoning Administrator) Date: _____ by: _____
- ↓

- ___ (a) A **written description of the intended use describing in reasonable detail the:**
 - ___ Existing zoning district(s) (and proposed zoning district(s) if different);
 - ___ Land use plan map designation(s);
 - ___ Current land uses present on the subject property;
 - ___ Proposed land uses for the subject property (per Section 98-206);
 - ___ Projected number of residents, employees, and daily customers;
 - ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
 - ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- ___ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- ___ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- ___ Exterior building and fencing materials (Sections 98-718 and 98-720);
- ___ Possible future expansion and related implications for points above;
- ___ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

___ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

___ (c) **A Property Site Plan drawing which includes:**

- ___ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- ___ The date of the original plan and the latest date of revision to the plan;
- ___ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- ___ A reduction of the drawing at 11" x 17";
- ___ A legal description of the subject property;
- ___ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- ___ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- ___ All required building setback lines;
- ___ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- ___ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- ___ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- ___ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- ___ The location of all outdoor storage areas and the design of all screening devices;
- ___ The location, type, height, size and lighting of all signage on the subject property;
- ___ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- ___ The location and type of any permanently protected green space areas;
- ___ The location of existing and proposed drainage facilities;
- ___ In the legend, data for the subject property on:
 - ___ Lot Area;
 - ___ Floor Area;
 - ___ Floor Area Ratio (b/a);
 - ___ Impervious Surface Area;
 - ___ Impervious Surface Ratio (d/a);
 - ___ Building Height.

___ (d) **A Detailed Landscaping Plan of the subject property:**

- ___ Scale same as main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"

- ___ Showing the location of all required bufferyard and landscaping areas
- ___ Showing existing and proposed Landscape Point fencing
- ___ Showing berm options for meeting said requirements
- ___ Demonstrating complete compliance with the requirements of Article VI
- ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

___ (e) **A Grading and Erosion Control Plan:**

- ___ Same scale as the main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- ___ Showing finished exterior treatment;
- ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

___ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

___ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

Notice

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before the City Plan Commission on Monday, November 21, 2016 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, on a Precise Implementation Plan Amendment (PIP) Application filed by Peter Jurgens for Oakfire Restaurant, 831 Wrigley Drive, Lake Geneva, WI 53147, to construct the building adding additional kitchen space and second floor indoor and outdoor dining, at the following location:

TAX KEY No. ZOP 00340 – 831 Wrigley Drive

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, November 21, 2016 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any comments that may have been filed and to hear all persons desiring to be heard.

Dated this 4th day of November 2016.

Mayor Al Kupsik
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on November 10th & 17th.

Oakfire

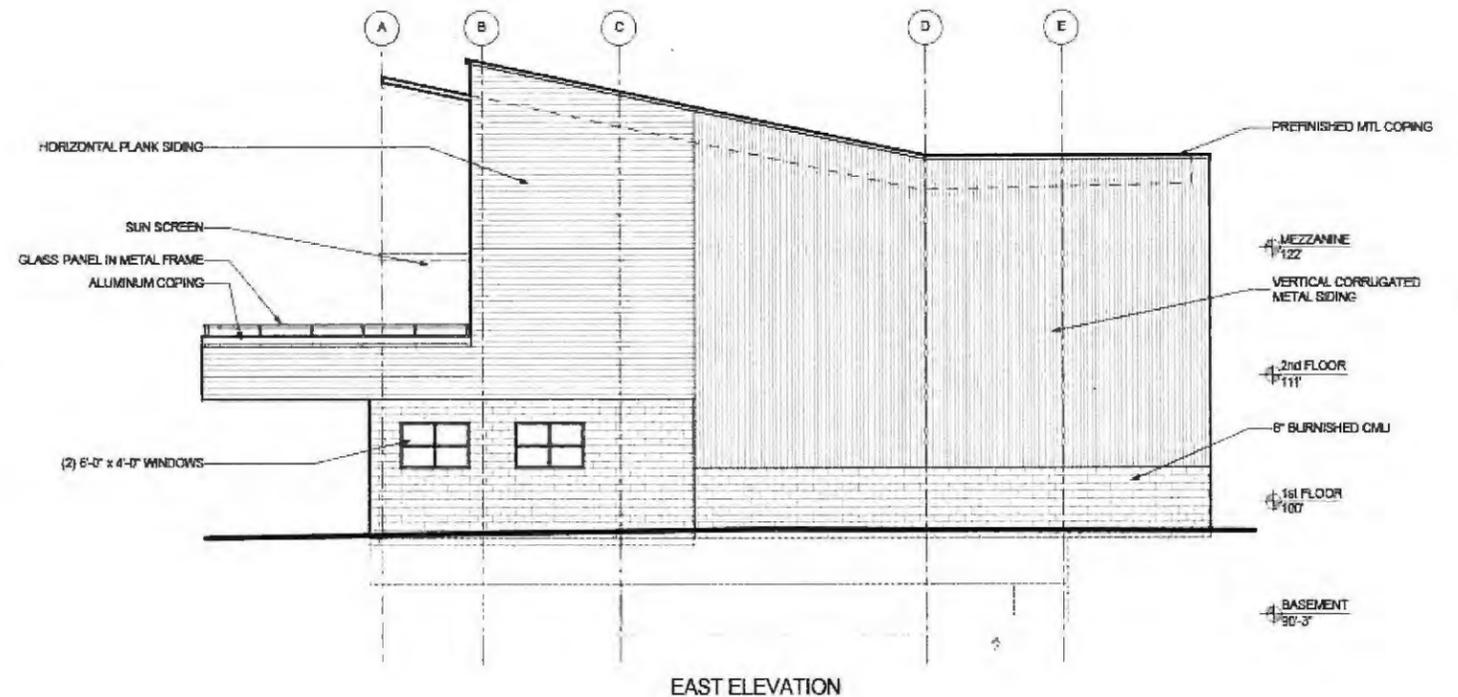
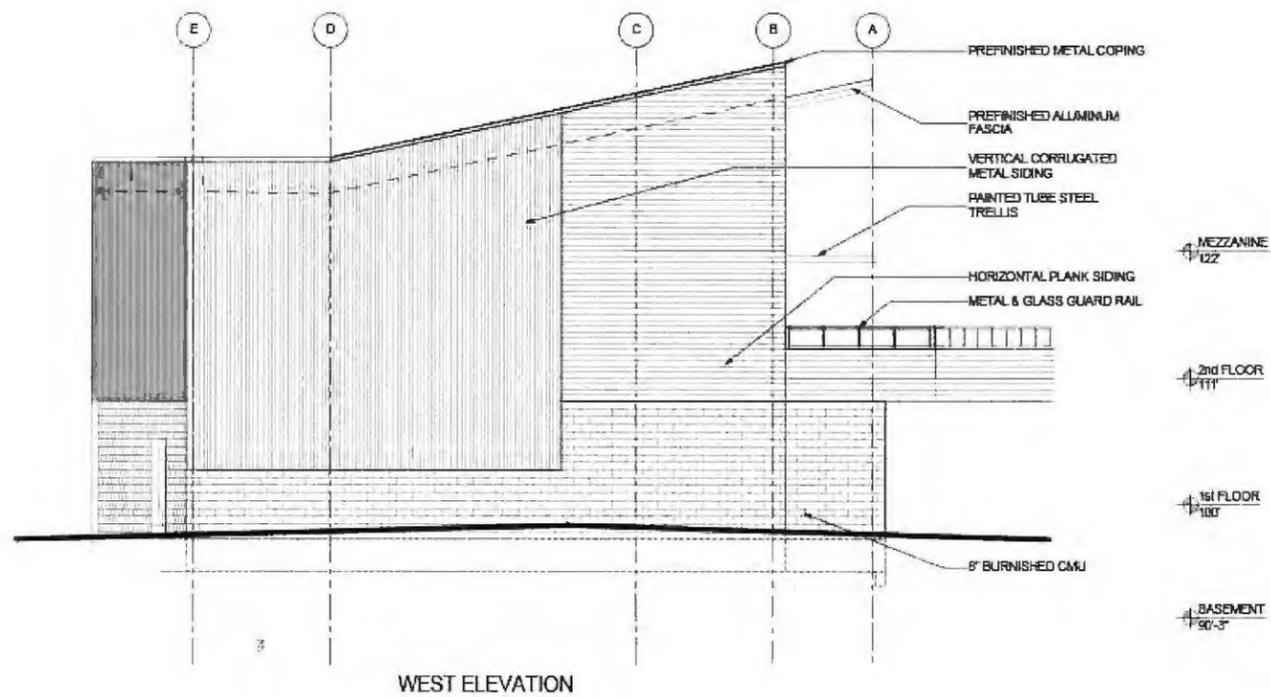
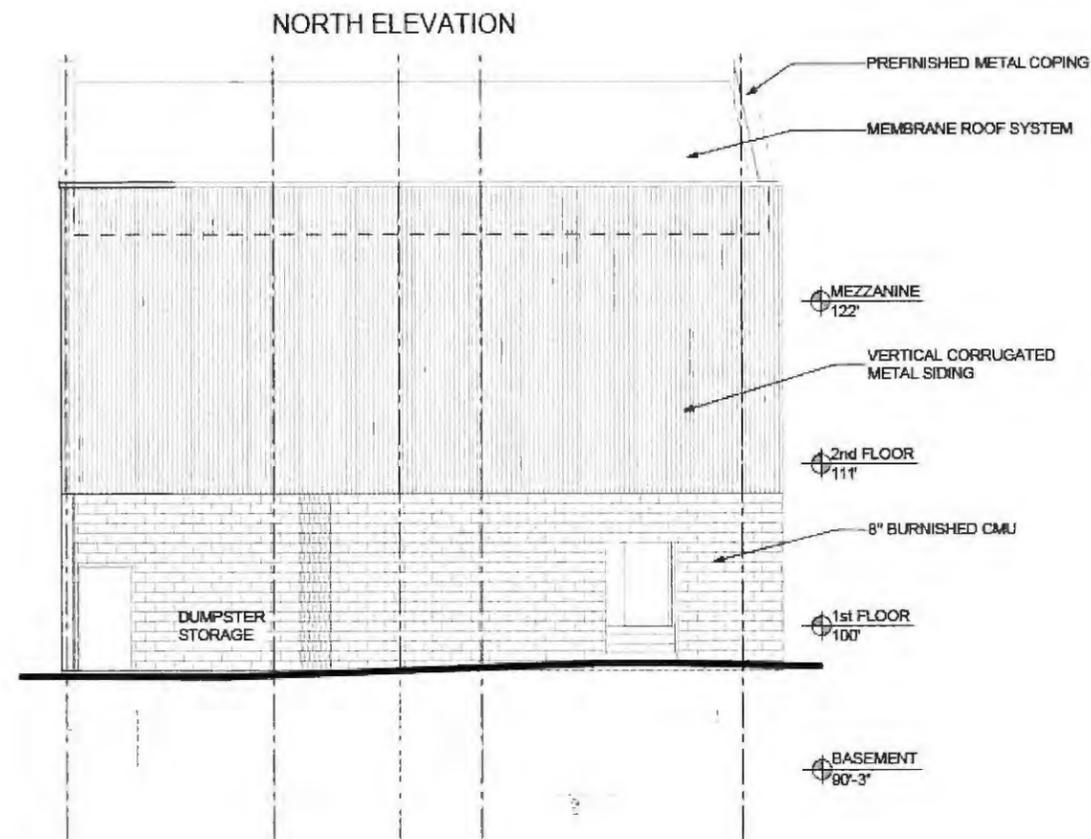
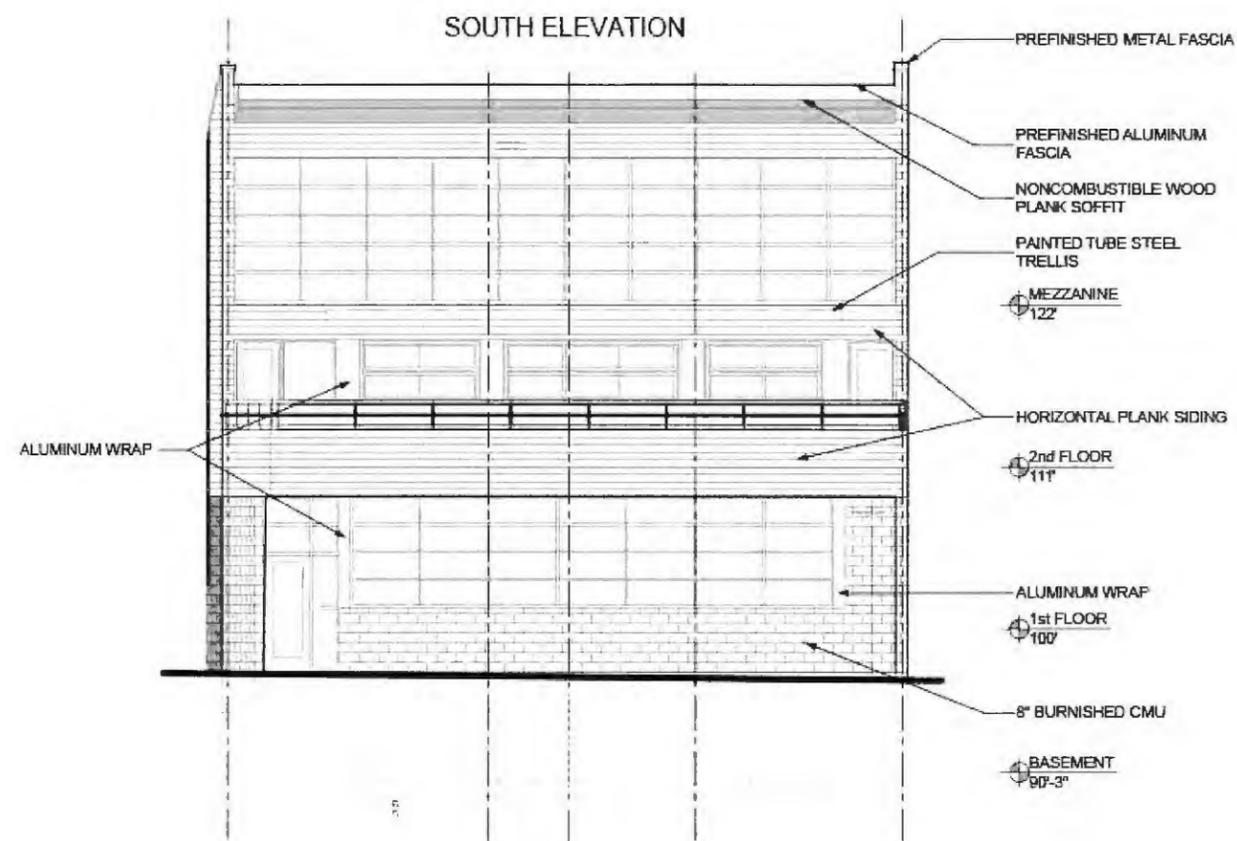
AMENDMENT

TO CONSTRUCTION PLAN 2016 – 2017

PRESENTED BY:
DAVID SCOTNEY



OAKFIRE'S ARCHITECTURAL PLANS



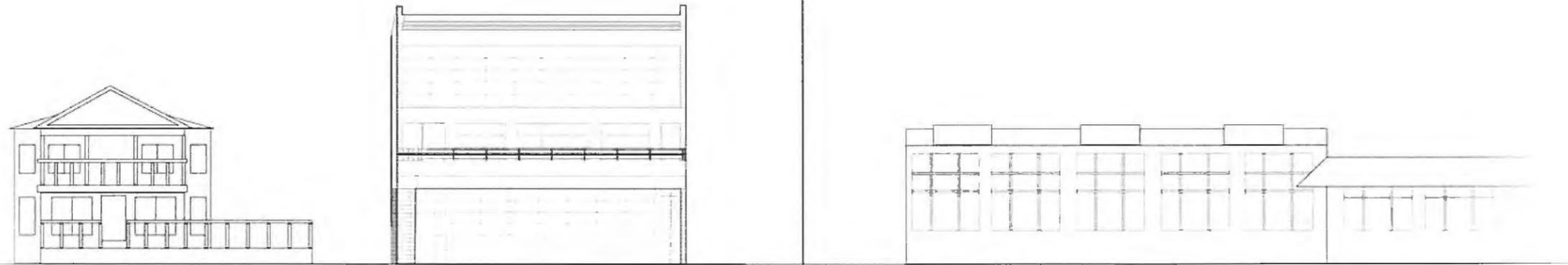
OAKFIRE'S
ARCHITECTURAL
PLANS

BARIQUE - 26'

OAKFIRE - 38'

POPEYE'S - 17'

45'



BARIQUE - 26'

OAKFIRE - 38'

POPEYE'S - 17'





OAKFIRE'S
VISION
FOR
THE
FUTURE



OAKFIRE
MATERIALS
MOODBOARD



APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

281 N Edwards Boulevard, Lake Geneva WI (See Attached Legal Description)

Name and Address of Current Owner:

Lake Geneva 50120, LLC c/o GMX Real Estate Group, LLC located at 3000 Dundee Road,
Suite 408, Northbrook, IL 60062

Telephone No. of Current Owner including area code: (312) 607-6418 / Andrew Goodman

Name and Address of Applicant:

See name and address above.

Telephone No. of Applicant including area code: See phone number above.

Proposed Use:

Development of a former gas station site into a two building retail, restaurant and complimentary
use(s) project to be anchored by national tenants.

Zoning District in which land is located: Planned Business Commercial Zoning District

Names and Addresses of architect, professional engineer and contractor of project:

JTS Architects located at 450 E Higgins Road, Suite 202, Elk Grove Village, IL 60007
RTM Engineering located at 715 Ridgeview Drive, McHenry, IL 60050

Contractor TBD

Short statement describing activities to take place on site:

Redevelopment of the subject site as discussed above. Applicant would like to commence
construction in Spring, 2017 pending receipt of all required approvals and permits. The buildings
will be constructed once significant pre-leasing has been achieved, which may result in a staged
construction of the two proposed buildings. Applicant is currently finalizing two leases.

PIP Amendment fee \$400.00, payable upon filing application. Already paid.

Andrew Goodman

Signature of Applicant

be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

- λ (4)A **Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*
 - λ A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;
 - N/A Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;
 - λ Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
 - λ Notations relating the written information (3), above to specific areas on the GDP Drawing.

- λ (5)A **landscaping plan for subject property**, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.

- λ (6)A **series of building elevations** for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.

- λ (7)A **general signage plan** including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.

- x (8)A **general outline of the intended organizational structure** for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.

- x (9)A **written description** which demonstrates the full consistency of the proposed PIP with the approved GDP.

- x (10)A **written description** of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,

TO: Ken Robers, City of Lake Geneva

CC: Mike Colombo, JTS Architects
Scott Shust, JTS Architects
Scott DiGilio, RTM Engineering
Ed Goss, RTM Engineering
Tod Stanton, Design Perspectives
Kevin Mottlowitz, GMXRE

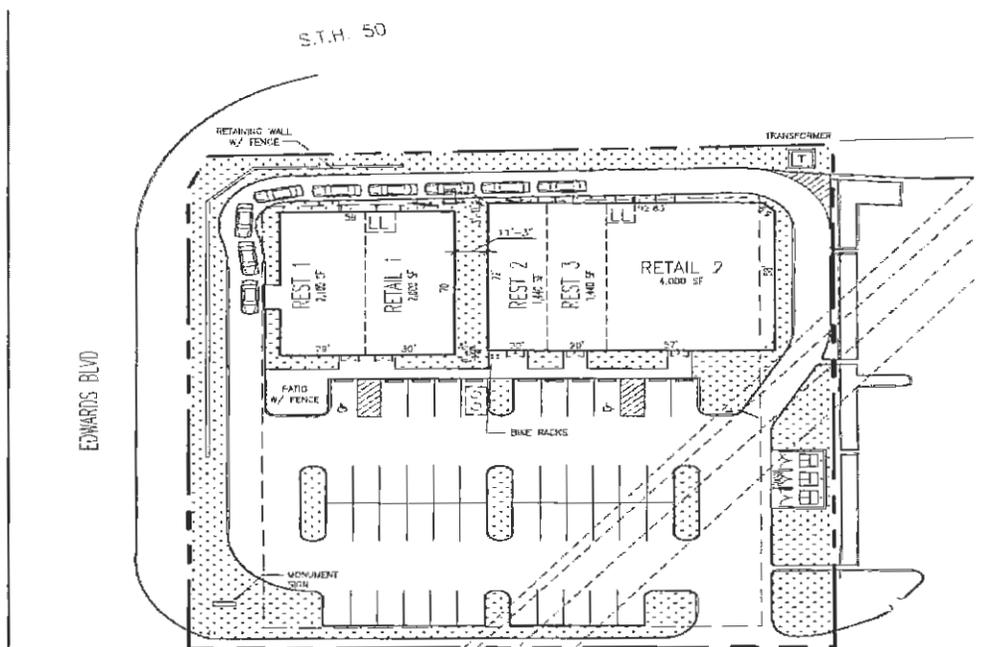
FROM: Andrew Goodman, GMXRE

RE: WAL-MART PAD @ SEC ROUTE 50 & EDWARDS BOULEVARD
GENERAL WRITTEN DESCRIPTION FOR PRECISE IMPLEMENTATION PLAN

DATE: October 24, 2016

Ken,

Thank you for the opportunity to present our proposed project to you, which includes redevelopment of a former +/- 1.2 acre vacant gas station site that sits at a "main-on-main" corner at the southeast corner of Route 50 and Edwards Boulevard in front of the Wal-Mart Supercenter. The subject site has been sitting dormant since 2006 or thereabouts. As shown in our proposed site plan below, we are proposing a commercial project encompassing two buildings separated by open space with four to six tenants depending on the final lease-up of the project. We are currently in lease negotiations with one national restaurant chain and one national retail tenant. We had two other potential tenants who backed out of the project. It is possible that the co-tenancy of the project will change, but we are in discussions with the aforementioned potential tenants to commence construction in Spring 2017 for Fall 2017 openings.



The proposed western building encompasses +/- 4,100 sf of restaurant space with a drive-thru lane plus +/- 100 sf landlord room with two national restaurant chains. The proposed eastern building encompasses +/- 6,880 sf of retail space plus +/- 100 sf landlord room. It is possible that construction of the western building will occur prior to the construction of the eastern building due to the current state of leasing of the project. The total impervious area of the proposed building and site improvements encompasses +/- 75% of the subject site and pervious area of the proposed landscape improvements encompasses +/- 25% of the subject site. Proposed site improvements would including utility connections to the adjoining area utilities. Proposed access would include a connection to the existing Wal-Mart Supercenter ring road. Proposed landscape improvements will include indigenous trees, bushes and other landscape features typically found in the local area. An Operations & Easement Agreement ("OEA") is contemplated to govern the on-going operational activities of the project after construction is completed.



As shown on the market aerial above, the subject site sits in the middle of the Lake Geneva regional retail corridor. In addition to the Wal-Mart Supercenter, Lake Geneva also has the premiere retail mix within Walworth County. National anchor retailers at the subject intersection of the subject site also include Home Goods, Petco, Office Max, Home Depot, Target, TJ Maxx, Jo Ann, and Best Buy. There are also several national junior retailers and convenience providers at the subject intersection, including Maurice's, Rue 21, Kay Jewelers, Sally Beauty, DaVita Dialysis, Sherwin Williams, Walgreens, Chase Bank, Mobil, Subway, Taco Bell, BP Amoco and CVS/pharmacy (located inside of the Target store). There is another commercial development site across Highway 50 that was a former Sears Hardware store, which recently opened with a Qdoba Mexican Grill, Noodles & Company and remaining in-line available space for lease.

The subject site sits in the Planned Business ("PB") Commercial Zoning District that is intended to permit large and small scale commercial development which is compatible with the desired overall community character of the area in general. A wide range of office, retail, restaurant and lodging land uses are permitted within this district and this district is intended to provide the principal zoning district for commercial development.

Given a number of required exceptions in our proposed development required to accommodate our proposed tenants and site size, location and configuration, we are seeking "Planned Development" zoning. The required exceptions include:

- 1) Two proposed commercial buildings;
- 2) One outdoor dining patio areas for our proposed restaurant anchor tenant;
- 3) Minimum paved surface setback on the east side of the property of less than 5 feet;
- 4) Parking count reduction from 53 required stalls to 46 proposed stalls;
- 5) Landscape exception at the front of the proposed buildings to be less than 10'-0";
- 6) North parking row stall length to be less than 18'-6" which are 18'-0" with 17'-0" wheel stops;
- 7) Driveway throat at the entry drive to be less than 25'-0" which will be +/- 23'-10.5";
- 8) Minimum building separation less than 20'-0" which will be +/- 11'-3";
- 9) Building to be situated less than 40'-0" from STH 50 to be located at +/- 25'-0";
- 10) Monument sign to be situated less than 8'-0" at about +/- 6'-0" from the property line;
- 11) Two-way drive aisles less than 26'-0" wide to be 24'-0" wide; and,
- 12) Proposed drive-through lane width to be 12'-0"
- 13) Southern most parking row reduced from 18'-0" to 17'-0" stall lengths.

The Precise Implementation Plan submittal remains generally consistent with our General Development Plan submittal this past Summer 2016. There are a few differences regarding minor site plan and building elevation modifications necessary due to the loss of two potential tenants between our two application submittal periods. The above noted exceptions remain the same between the two application submittals.

In summary, we believe that the subject development would bring "new life" to an otherwise blighted lot located in your prime commercial development district. We look forward to continuing to work with you and your staff at bringing this excitement project to fruition.

Thank you for your consideration regarding this matter.

Notice

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before the City Plan Commission on Monday, November 21, 2016 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, on a Precise Implementation Plan (PIP) filed by Lake Geneva 50/20, LLC c/o GMA Real Estate Group, LLC, 3000 Dundee Road, Suite 408, Northbrook, IL 60062 for two new commercial buildings in a Planned Business Zoning District at the following location:

TAX KEY No. ZA297300001 – 281 N Edwards Blvd

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, November 21, 2016 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any comments that may have been filed and to hear all persons desiring to be heard.

Dated this 4th day of November 2016.

Mayor Alan Kupsik
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on November 10th & 17th.



S.T.H. 50



EDWARDS BLVD

PROPOSED SITE

EXISTING WALMART

0 60' 120' 240'



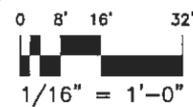
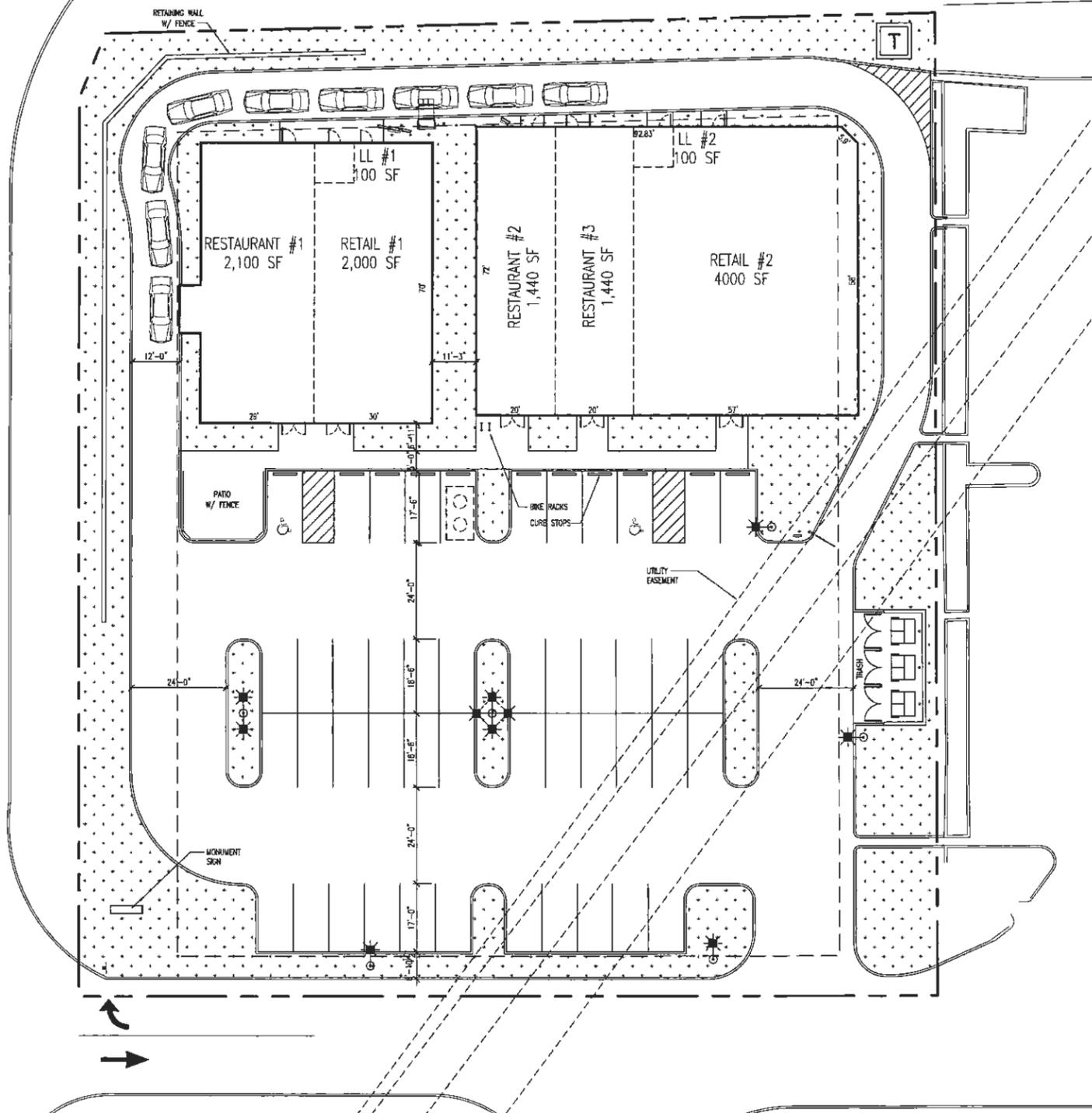
1" = 120'-0"



These drawings are being provided as a service. The information contained herein is for informational purposes only and does not constitute an offer of any financial product or service. The information contained herein is not intended to be used as a substitute for professional advice. The user of these drawings assumes all liability for any use of these drawings not intended by the architect.

EDWARDS BLVD

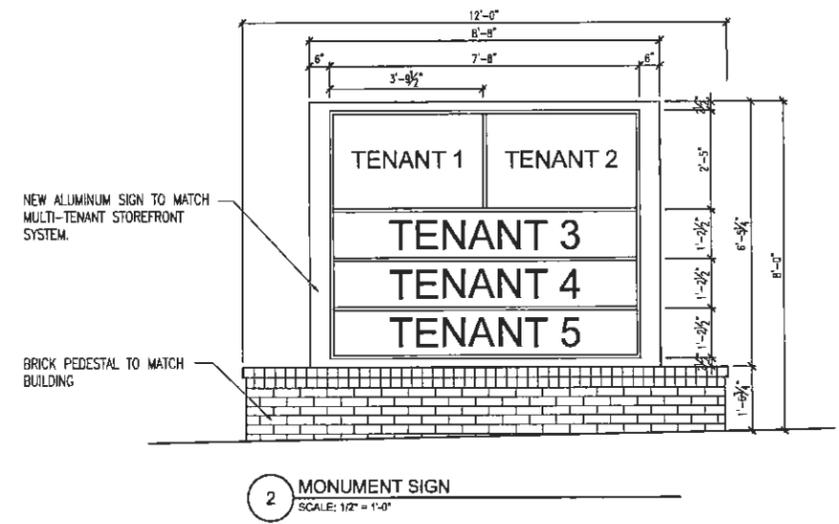
S.T.H. 50



1 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"

LOT INFORMATION	
LAND USE:	COMMERCIAL
LAND AREA:	1.214 ACRES
LANDSCAPE AREA:	25.0%
BUILDING AREA	
RESTAURANT 1	2,100 SF
RETAIL 1	2,000 SF
LL ROOM 1	100 SF
LL ROOM 2	100 SF
RESTAURANT 2	1,440 SF
RESTAURANT 3	1,440 SF
RETAIL 2	4,000 SF
TOTAL	11,180 SF
PARKING DATA	
NO. OF PARKING STALLS:	44
NO. ADA STALLS:	2
TOTAL STALLS PROVIDED:	46
TOTAL STALLS REQUIRED	
RETAIL	20
RESTAURANT	33
TOTAL	53

- ### PROPOSED EXCEPTIONS
- TWO PROPOSED COMMERCIAL BUILDINGS;
 - ONE OUTDOOR DINING PATIO AREAS FOR OUR PROPOSED RESTAURANT ANCHOR TENANT;
 - MINIMUM PAVED SURFACE SETBACK ON THE EAST SIDE OF THE PROPERTY OF LESS THAN 5 FEET;
 - PARKING COUNT REDUCTION FROM 53 REQUIRED STALLS TO 46 PROPOSED STALLS;
 - LANDSCAPE EXCEPTION AT THE FRONT OF THE PROPOSED BUILDINGS TO BE LESS THAN 10'-0";
 - NORTH PARKING ROW STALL LENGTH TO BE LESS THAN 18'-6" WHICH ARE 18'-0" WITH 17'-0" WHEEL STOPS;
 - DRIVEWAY THROAT AT THE ENTRY DRIVE TO BE LESS THAN 25'-0" WHICH WILL BE +/- 23'-10 1/2";
 - MINIMUM BUILDING SEPARATION LESS THAN 20'-0" WHICH WILL BE +/- 11'-3";
 - BUILDING TO BE SITUATED LESS THAN 40'-0" FROM STH 50 TO BE LOCATED AT +/- 25'-0";
 - MONUMENT SIGN TO BE SITUATED LESS THAN 8'-0" AT ABOUT +/- 8'-0" FROM THE PROPERTY LINE;
 - TWO-WAY DRIVE AISLES LESS THAN 26'-0" WIDE TO BE 24'-0" WIDE; AND,
 - PROPOSED DRIVE-THROUGH LANE WIDTH TO BE 12'-0".



2 MONUMENT SIGN
SCALE: 1/2" = 1'-0"



West
Bldg 1

South
Bldg 1

South
Bldg 2



East
Bldg 1

East
Bldg 2

West
Bldg 2

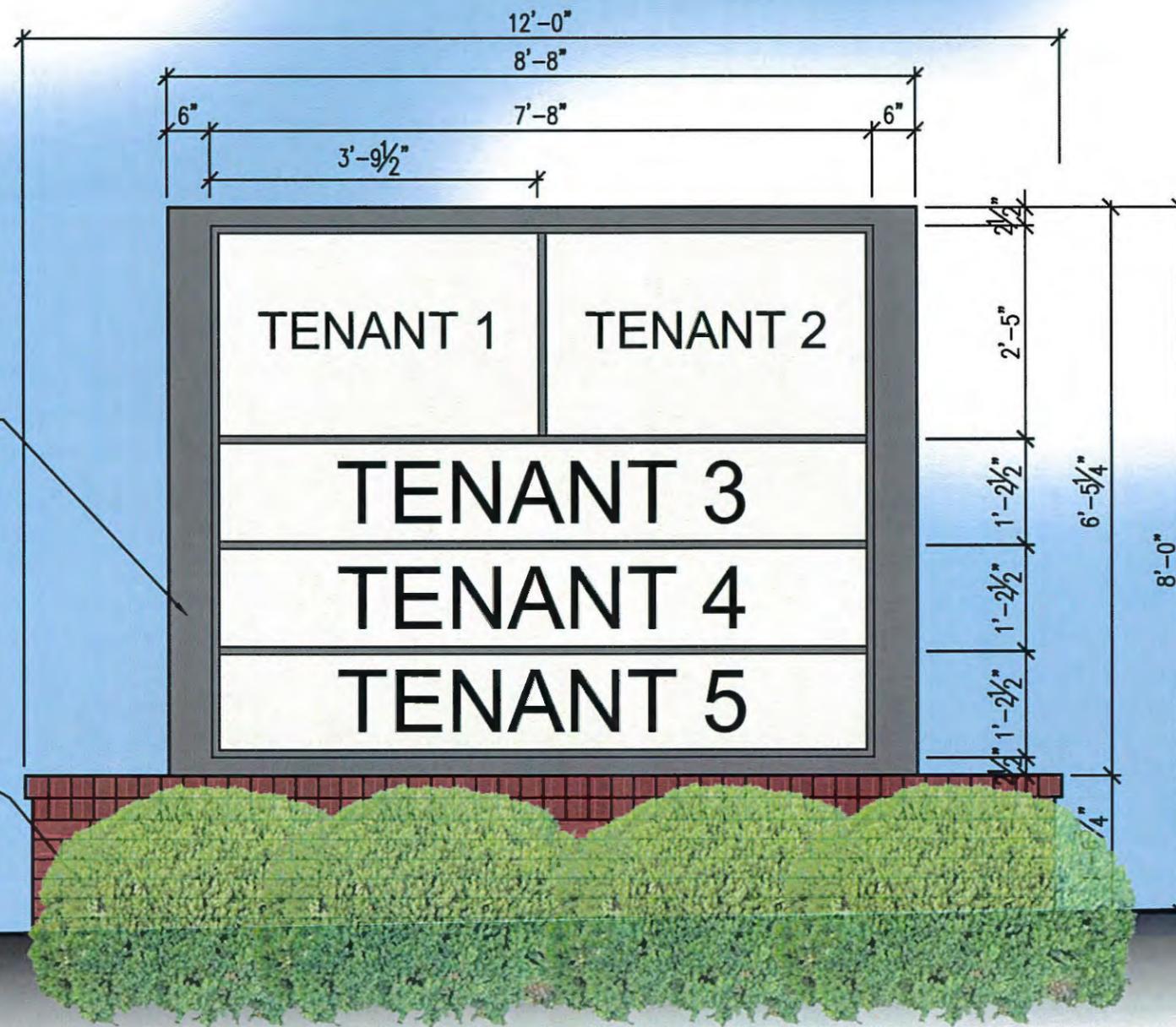


North
Bldg 2

North
Bldg 1

NEW ALUMINUM SIGN TO MATCH MULTI-TENANT STOREFRONT SYSTEM.

BRICK PEDESTAL PAINTED TO MATCH MULTI-TENANT THINBRICK



LEGEND

- CONCRETE:**
SIDEWALKS/PATIO:
5" PC CONCRETE
OVER 6" OF 3/4" CRUSHED AGGREGATE
DUMPSTER APRON:
6" PC CONCRETE WITH 6"x6" W2.9xW2.9 W.W.F.
OVER 6" OF 3/4" CRUSHED AGGREGATE
DRIVE APRON:
6" PC CONCRETE WITH 6"x6" W2.9xW2.9 W.W.F.
OVER 6" OF 1 1/2" CRUSHED AGGREGATE
- LIGHT DUTY PAVEMENT**
1 1/2" BITUMINOUS SURFACE COURSE (E-0.3)
2" BITUMINOUS BINDER COURSE (E-0.3)
8" OF 3/4" CRUSHED AGGREGATE
- HEAVY DUTY PAVEMENT**
1 1/2" BITUMINOUS SURFACE COURSE (E-0.3)
3" BITUMINOUS BINDER COURSE (E-0.3)
12" OF 3/4" CRUSHED AGGREGATE
- CURB AND GUTTER CURB
- CURB AND GUTTER DEPRESSED
- CURB TRANSITION, SEE GRADING PLAN FOR ELEVATIONS
- REVERSE GUTTER PITCH (AWAY FROM CURB)
- EXISTING CURB
- EXISTING STRIPING
- EXISTING SIDEWALK
- (2) PARKING STALL COUNT
- (X) SIGN AND STRIPING CALLOUT
- ADA DETECTABLE WARNING

NOTES:

1. ALL DIMENSIONS ALONG CURB LINES ARE TO BACK OF CURB, UNLESS NOTED OTHERWISE.
2. BUILDINGS AND ADJACENT TO BUILDING IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED UPON THE BUILDING PLANS PROVIDED BY OTHERS AT THE DATE OF THESE PLANS BEING PREPARED. BUILDING PLANS NORMALLY CONTINUE TO CHANGE AFTER SITE PLANS HAVE BEEN APPROVED. THEREFORE THE CONTRACTOR SHALL USE THE BUILDING PLANS FOR FINAL BUILDING IMPROVEMENTS, AND VERIFY THAT ALL ADJACENT IMPROVEMENTS ARE CONSISTENT WITH THE DESIGN INTENT AND REQUIREMENTS OF THE SITE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF CLARIFICATION IS NEEDED, OR IF CONFLICTS OR INCONSISTENCIES EXIST.
3. ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPUT LAND SURVEYS, LLC. DATED MAY 10, 2016.
4. BUILDING ARE PARALLEL AND PERPENDICULAR TO THE WEST PROPERTY LINE. DIMENSIONS ARE SUGGESTED DIMENSIONS. CONTRACTOR SHALL MEET ALL OSHA TRENCH REQUIREMENTS AND ADJUST DIMENSIONS ACCORDINGLY. MINIMUM DISTURBANCE SHALL BE APPLIED.

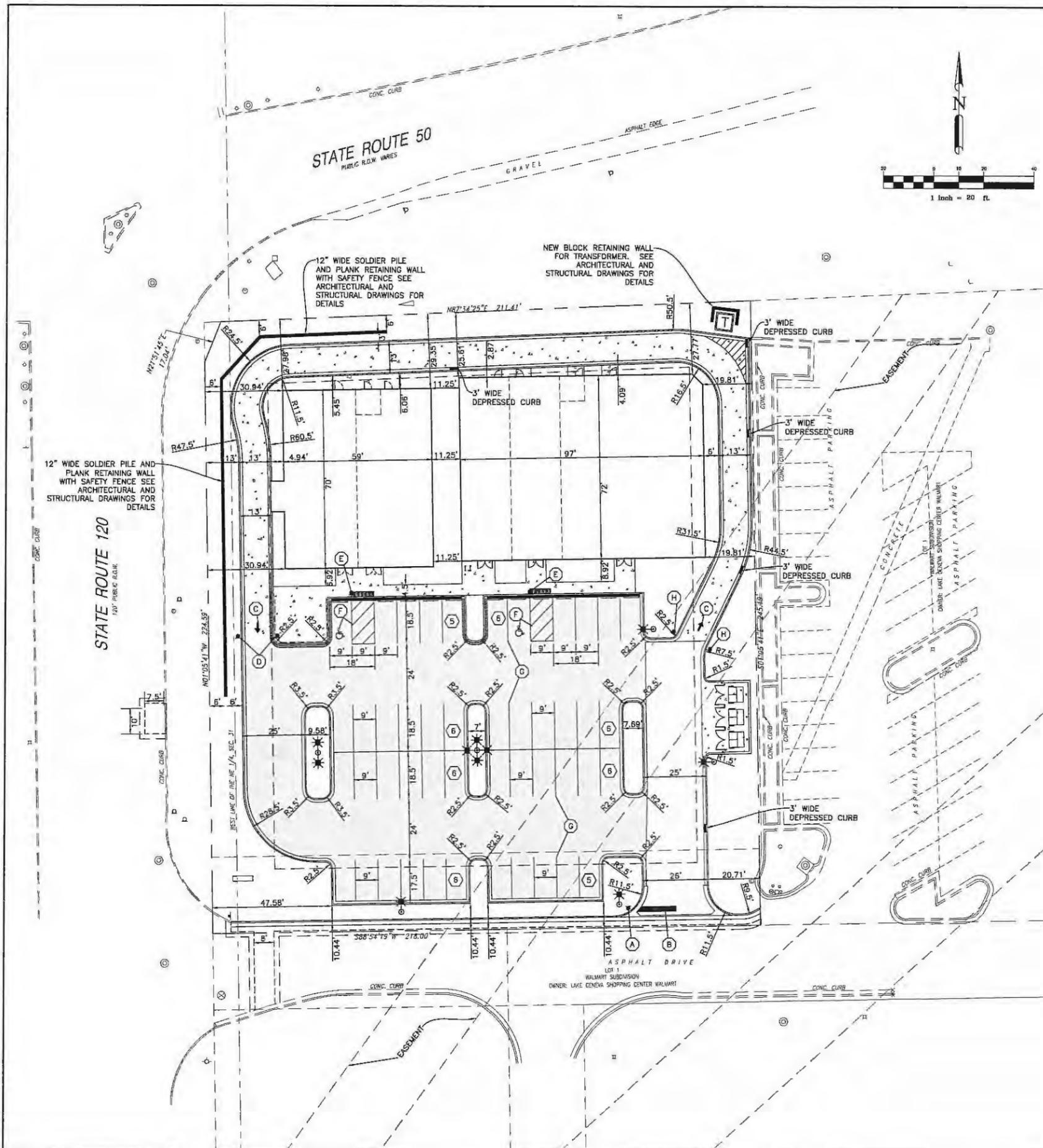
PARKING SUMMARY

	PROPOSED
REGULAR STALLS (9'X18')	9
REGULAR STALLS (9'X18.5')	24
REGULAR STALLS (9'X17')	11
HANDICAP STALLS (18'X18')	2
TOTAL	46

(X) SIGNING AND STRIPING SCHEDULE

- A. "STOP" SIGN
- B. 24" WIDE STOP BAR *
- C. PAINTED DIRECTIONAL ARROW *
- D. "DO NOT ENTER" SIGN *
- E. HANDICAP SIGN (\$250 FINE)
- F. HANDICAP STRIPING (SEE DETAIL) *
- G. 4" PAINTED PARKING STALL STRIPE *
- H. "DRIVE THRU" SIGN

* ON SITE PAVEMENT MARKINGS AND GRAPHICS SHALL CONSIST OF TWO (2) COATS OF WHITE PAINT APPLIED A MINIMUM OF 30 DAYS APART. STRIPING AND GRAPHICS AT ENTRY DRIVES SHALL BE THERMOPLASTIC AS NOTED. SHALL MEET WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARDS.



GEOMETRIC PLAN



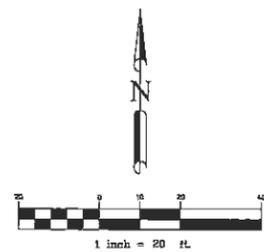
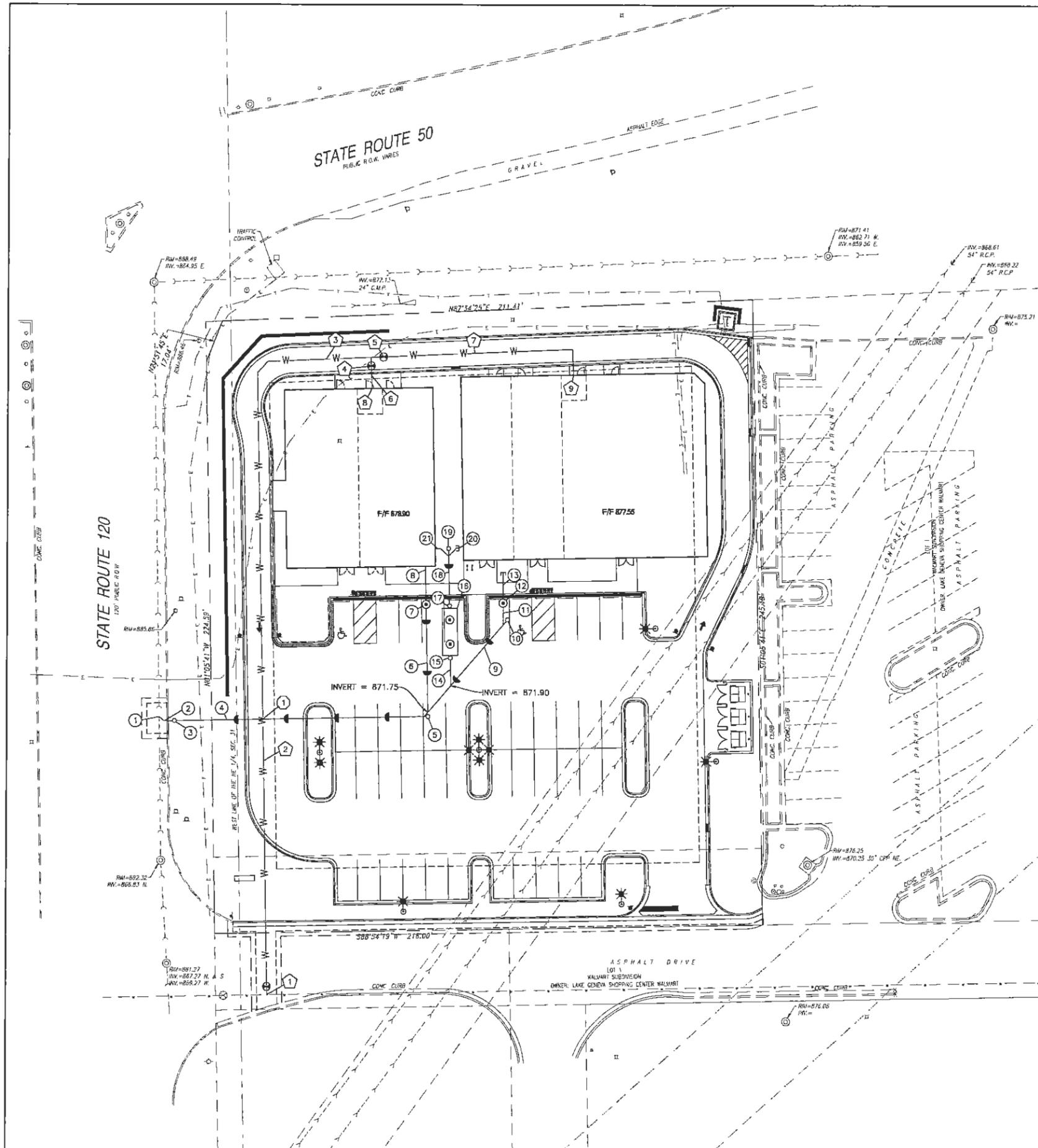
SHEET NAME
PROJECT NAME
PROJECT No.
SHEET No.

THE SHOPS AT LAKE GENEVA
LAKE GENEVA, WI
281 NORTH EDWARDS BLVD.

NOT FOR CONSTRUCTION

No.	DATE	DESCRIPTION	ISSUED FOR REVIEW
0	10/21/16		

EXPIRES 11-30-2017



LEGEND

	EXISTING	PROPOSED
SANITARY SEWER	—	—
SANITARY SERVICE	—	—
STORM SEWER	—	—
STORM SERVICE	—	—
WATERMAIN	— W —	— W —
GAS MAIN	— G —	— G —
TELEPHONE LINE	— TV —	— TV —
ELECTRIC LINE	— E —	— E —
OVERHEAD WIRES	— OHW —	— OHW —
CATCH BASIN/INLET	⊙	⊙
MANHOLE	⊙	⊙
CLEAN OUT	⊙	⊙
VALVE BOX/VAULT	⊙	⊙
FIRE HYDRANT	⊙	⊙
B-BOX	⊙	⊙
LIGHTS (SEE BLDG PLANS)	⊙	⊙

- (X) SANITARY KEY**
- NEW CONNECTION TO EXISTING SANITARY SEWER. CONTRACTOR TO VERIFY EXACT LOCATION, SIZE, INVERT, AND DIRECTION OF FLOW PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT CITY OF LAKE GENEVA PUBLIC WORKS DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION. EXISTING 10" DIAMETER SANITARY LATERAL AT NEW CONNECTION. EX. INV. = 866.38± (10')
 - 6 LF, 6" SDR 26 PVC SAN @ 5.00% SLOPE
 - NEW HEAVY DUTY CLEAN OUT
RIM = 884.43
INV. = 868.68
 - 101 LF, 6" SDR 26 PVC SAN @ 5.02% SLOPE
 - NEW HEAVY DUTY CLEAN OUT WITH CONCRETE COLLAR
RIM = 878.20
INV. = 871.75
 - 43 LF, 6" SDR 26 PVC SAN @ 3.70% SLOPE
 - 4" DIA. SANITARY MANHOLE
RIM = 878.04
INV. = 873.34
 - 15 LF, 6" SDR 26 PVC SAN @ 3.73% SLOPE
BUILDING INVERT = 873.90
(SEE PLUMBING PLANS FOR CONT.)
 - 50 LF, 6" SDR 26 PVC SAN @ 1.00% SLOPE
 - NEW HEAVY DUTY CLEAN OUT WITH CONCRETE COLLAR
RIM = 877.25
INV. = 872.25
 - 8 LF, 6" SDR 26 PVC SAN @ 1.25% SLOPE
 - 4" DIA. SANITARY MANHOLE
RIM = 877.32
INV. = 872.35
 - 12 LF, 6" SDR 26 PVC SAN @ 1.25% SLOPE (FUTURE DOMESTIC STUB, INVERT = 872.50)
 - 12 LF, 6" SDR 26 PVC SAN @ 1.00% SLOPE
 - NEW HEAVY DUTY CLEAN OUT WITH CONCRETE COLLAR
RIM = 877.61
INV. = 872.02
 - NEW 2,500 GALLON HEAVY DUTY GREASE INTERCEPTOR (SEE DETAIL)
NORTH RIM = 877.55 (NEENAH R-1772)
SOUTH RIM = 877.47 (NEENAH R-1772)
NORTH INV. = 872.27
SOUTH INV. = 872.02
 - NEW HEAVY DUTY CLEAN OUT WITH CONCRETE COLLAR
RIM = 877.50
INV. = 872.27
 - 23 LF, 6" SDR 26 PVC SAN @ 1.00% SLOPE
 - NEW HEAVY DUTY CLEAN OUT
RIM = 877.85
INV. = 872.50
 - 5 LF, 6" SDR 26 PVC SAN @ 1.00% SLOPE (FUTURE DOMESTIC STUB INVERT = 872.55)
 - 5 LF, 6" SDR 26 PVC SAN @ 1.00% SLOPE
BUILDING INVERT = 872.55 (-6.35)
(SEE PLUMBING PLANS FOR CONT.)

- NOTES:**
- EX. ITEMS SHALL BE FIELD VERIFIED. RELOCATION OR ADJUSTMENT MAY BE NEEDED. CONTRACTOR TO VERIFY.
 - VERIFY SERVICE LOCATIONS WITH BUILDING PLANS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
 - ALL UTILITY TIE DIMENSIONS ARE FROM CENTER OF UTILITY AND TO BACK OF CURB WHEN TIED TO CURB LINES, UNLESS OTHERWISE NOTED.
 - ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPLUT LAND SURVEYS, LLC.
 - CONTRACTOR TO INSPECT EXISTING SANITARY AND STORM STRUCTURES AT POINT OF CONNECTION. CONTRACTOR TO VERIFY THAT EXISTING STRUCTURES ARE IN GOOD WORKING CONDITION. CONTRACTOR TO REPAIR AND PATCH AS REQUIRED.
 - CONTRACTOR TO CONTACT THE CITY 48 HRS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO NOTIFY OWNER/ENGINEER IF CONFLICT OCCURS.
 - TRENCH BACKFILL SHALL BE PROVIDED IN ALL TRENCHES FOR PROPOSED UTILITIES CONSTRUCTED UNDER AND WITHIN TWO (2) FEET OF ANY EXISTING OR PROPOSED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC.
 - TRANSFORMER PAD SHALL SERVICE BOTH WEST AND EAST BUILDINGS.

- (X) WATER KEY**
- NEW PRESSURE CONNECTION TO EXISTING WATERMAIN. CONTRACTOR TO VERIFY EXACT LOCATION, INVERT, MATERIAL, SIZE AND FLOW PRIOR TO CONSTRUCTION. EXISTING 10" WATERMAIN AS PER CITY UTILITY ATLAS. CONTRACTOR TO FURNISH AND INSTALL NEW 5" DIA. VALVE VAULT AND 8" VALVE.
 - CONTRACTOR TO FURNISH AND INSTALL NEW 6" CLASS 52 DUCTILE IRON MAIN.
 - CONTRACTOR TO FURNISH AND INSTALL NEW 6" CLASS 52 DUCTILE IRON MAIN.
 - CONTRACTOR TO FURNISH AND INSTALL NEW 4" DIA. CONCRETE VALVE VAULT AND 6" VALVE.
 - CONTRACTOR TO FURNISH AND INSTALL NEW 4" DIA. CONCRETE VALVE VAULT AND 6" VALVE.
 - CONTRACTOR TO FURNISH AND INSTALL NEW 6" CLASS 52 DUCTILE IRON PIPING.
 - CONTRACTOR TO FURNISH AND INSTALL NEW 8" CLASS 52 DUCTILE IRON PIPING.
 - SEE PLUMBING DRAWINGS.
 - SEE PLUMBING DRAWINGS.

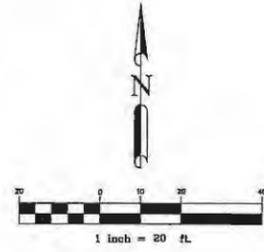
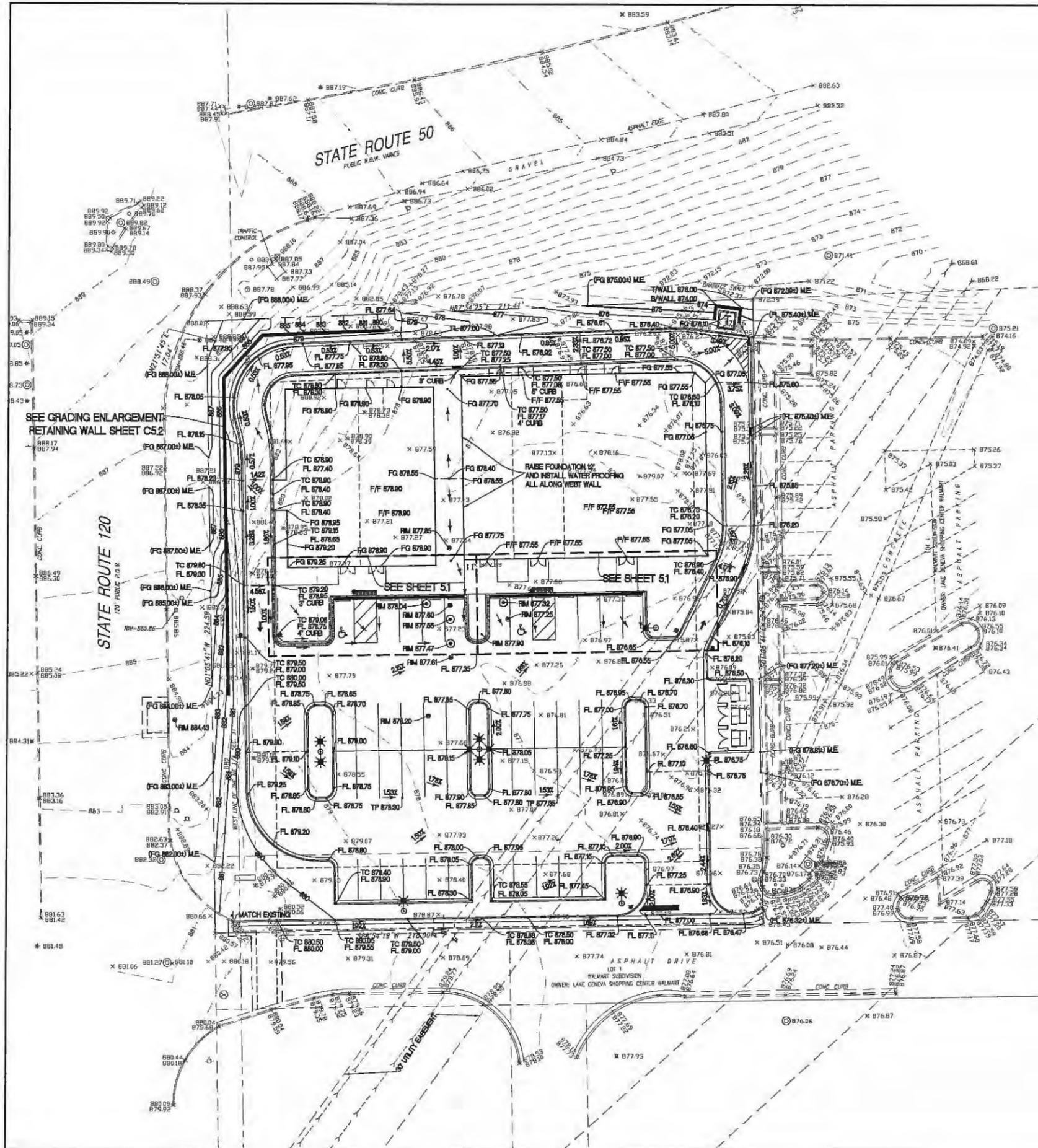
- (X) UTILITY CROSSINGS**
- PROP. 6" WATER TOP = 873.25
BOTTOM = 872.54
(6' BELOW PROP. TOP OF PAVEMENT)
 - PROP 6" SANITARY TOP = 869.21
INV. = 868.69



EXPIRES 11-30-2017

PROJECT NAME	SHEET NAME	DATE	DESCRIPTION
THE SHOPS AT LAKE GENEVA	UTILITY PLAN	10/27/16	ISSUED FOR REVIEW
PROJECT No.			
15.GMX.009			
SHEET No.			
C4			

PROJECT NAME: THE SHOPS AT LAKE GENEVA
 SHEET NAME: UTILITY PLAN
 PROJECT No.: 15.GMX.009
 SHEET No.: C4
 281 NORTH EDWARDS BLVD. LAKE GENEVA, WI
NOT FOR CONSTRUCTION



LEGEND

	EXISTING	PROPOSED
1 FOOT CONTOUR		
5 FOOT CONTOUR		
SURFACE ELEVATION	$\times 0.00$	$\text{---}0.00$
RECORD SURFACE ELEVATION	$\times 0.00$	$\text{---}0.00$
DIRECTION OF FLOW		
OVERLAND OVERFLOW		
CATCH BASIN / INLET		
MANHOLE		
WATERMAIN VALVE		
SAWCUT LINE		
RIDGE LINE		
GRADE CHANGE SLOPE AREA		
TOP OF CURB	$TC 000.00$	$TC 000.00$
TOP OF DEPRESSED CURB	$TDC 000.00$	$TDC 000.00$
FLOW LINE	$FL 000.00$	$FL 000.00$
TOP OF PAVEMENT	$TP 000.00$	$TP 000.00$
TOP OF SIDEWALK	$SW 000.00$	$SW 000.00$
TOP OF FINISHED GRADE	$FG 000.00$	$FG 000.00$
TOP OF UTILITY STRUCTURE	$FM 000.00$	$FM 000.00$
TOP OF WALL	$T/WALL 000.00$	$T/WALL 000.00$
BOTTOM OF WALL	$B/WALL 000.00$	$B/WALL 000.00$
FINISHED FLOOR	$F/F 000.00$	$F/F 000.00$
MATCH OR MEET EXIST GRADE	$(XX 000.00) M.E.$	$(XX 000.00) M.E.$
CRITICAL GRADE	$(TP 000.00)$	$(TP 000.00)$
CURB AND GUTTER CURB		
CURB AND GUTTER DEPRESSED		
CURB TRANSITION		
REVERSE GUTTER PITCH (AWAY FROM CURB)		

- NOTES:**
1. PROPOSED ELEVATIONS SHOWN ON PROPOSED CURB LINES ARE FLOW LINE ELEVATIONS UNLESS NOTED OTHERWISE. ADD 0.50' TO OBTAIN TOP OF CURB ELEVATIONS. NOT ALL CURBS ARE 0.50' TALL. SEE FACE OF CURB TRANSITIONS.
 2. A CONSTANT SLOPE SHALL BE MAINTAINED BETWEEN SPOT GRADES.
 3. RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
 4. ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPUT LAND SURVEYS, LLC., DATED MAY 10, 2016.
 5. HANDICAP SPACES SHALL NOT EXCEED 2% SLOPE IN ALL DIRECTIONS.
 6. SIDEWALK TO BE USED AS A HANDICAP ACCESSIBLE ROUTE, SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.

PROJECT NAME	SHEET NAME	DATE	DESCRIPTION
THE SHOPS AT LAKE GENEVA	C5	01/10/21/18	ISSUED FOR REVIEW

GRADING PLAN

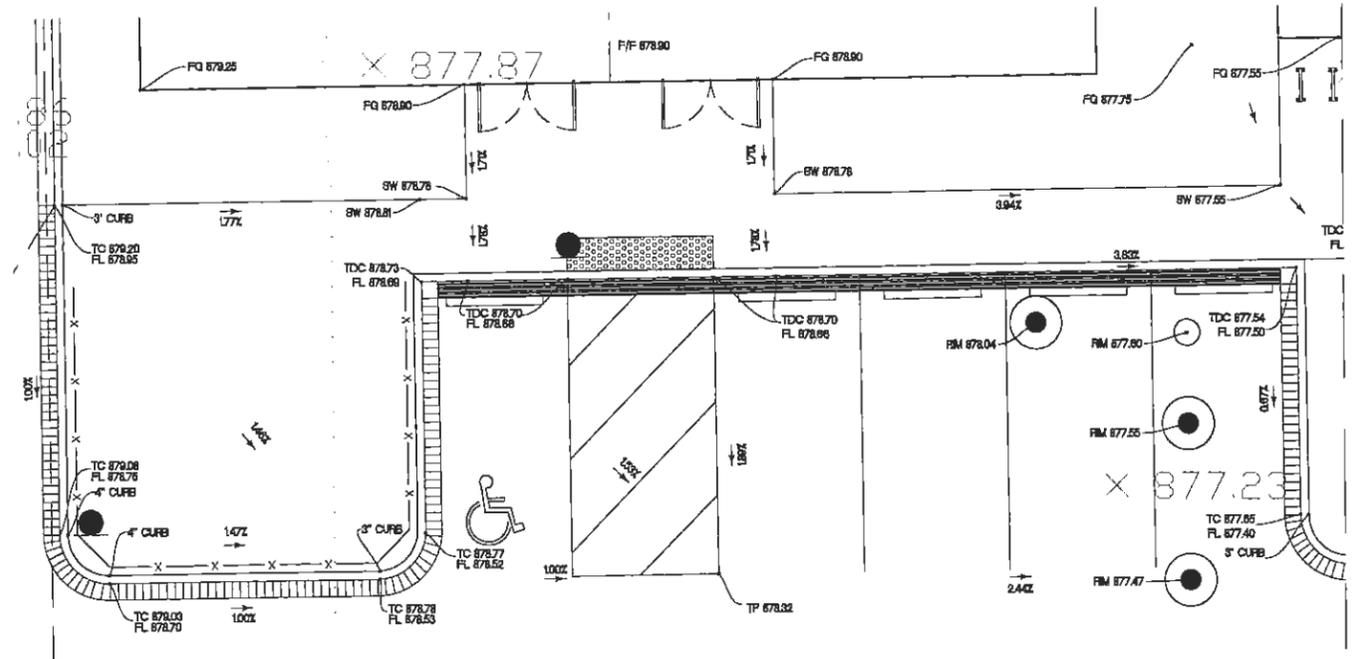
PROJECT No. 15.GMX.009
SHEET No. C5



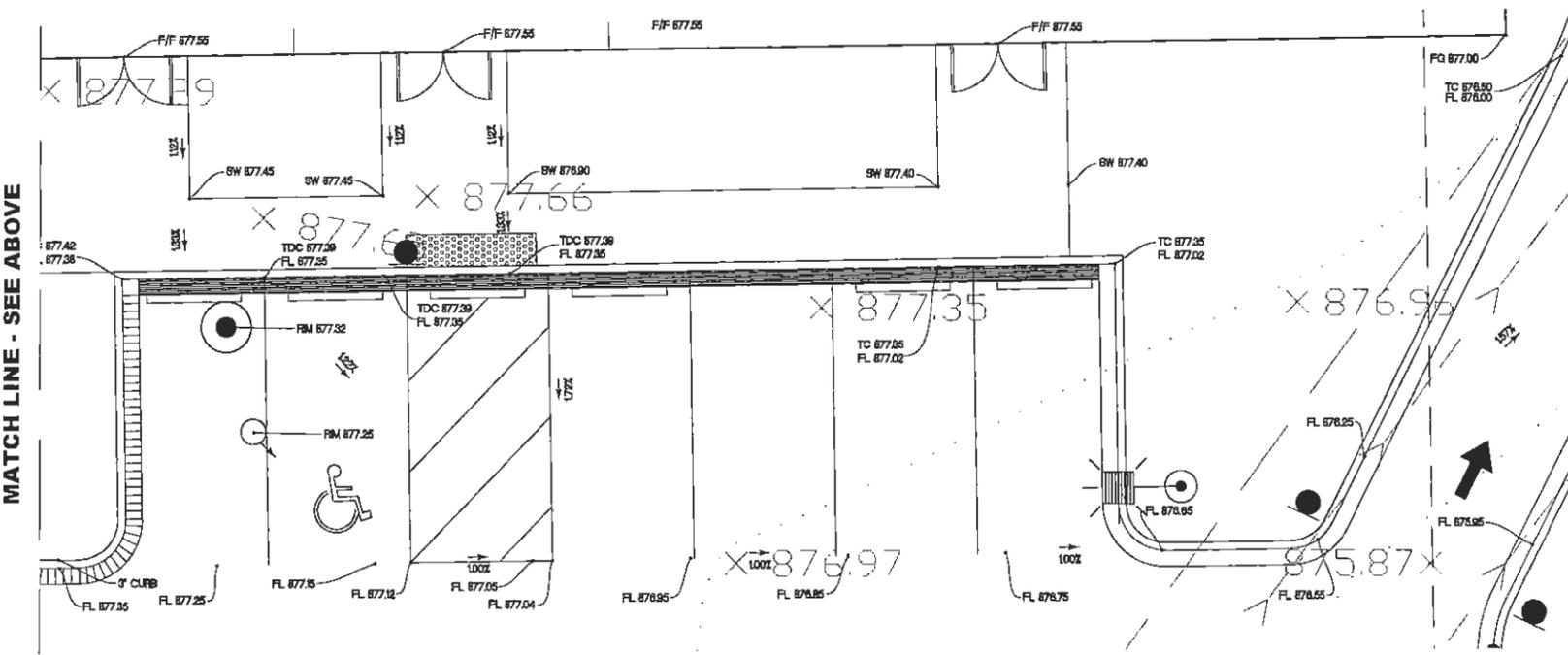
EXPIRES 11-30-2017

NOT FOR CONSTRUCTION

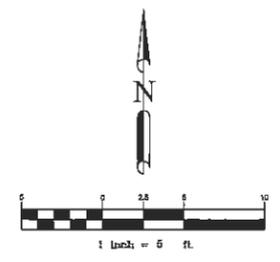




WEST HANDICAP SPACE
SCALE: 1" = 5'



EAST HANDICAP SPACE
SCALE: 1" = 5'



LEGEND

1 FOOT CONTOUR		EXISTING		PROPOSED
5 FOOT CONTOUR				
SURFACE ELEVATION	x 0.00			
RECORD SURFACE ELEVATION	x 0.00			
DIRECTION OF FLOW				
OVERLAND OVERFLOW				
CATCH BASIN / INLET				
MANHOLE				
WATERMAIN VALVE				
SAWCUT LINE				
RIDGE LINE				
GRADE CHANGE SLOPE AREA				
TOP OF CURB	TC 000.00			
TOP OF DEPRESSED CURB	TDC 000.00			
FLOW LINE	FL 000.00			
TOP OF PAVEMENT	TP 000.00			
TOP OF SIDEWALK	SW 000.00			
TOP OF FINISHED GRADE	FG 000.00			
TOP OF UTILITY STRUCTURE	RM 000.00			
TOP OF WALL	T/WALL 000.00			
FINISHED FLOOR	F/F 000.00			
MATCH OR MEET EXIST GRADE	OX 000.00(4) ME			
CRITICAL GRADE	TP 000.00			
CURB AND GUTTER CURB				
CURB AND GUTTER DEPRESSED				
CURB TRANSITION				
REVERSE GUTTER PITCH (AWAY FROM CURB)				

NOTES:

1. PROPOSED ELEVATIONS SHOWN ON PROPOSED CURB LINES ARE FLOW LINE ELEVATIONS UNLESS NOTED OTHERWISE. ADD 0.50' TO OBTAIN TOP OF CURB ELEVATIONS. NOT ALL FACE OF CURB IS 0.5'. SEE GRADE TRANSITIONS.
2. A CONSTANT SLOPE SHALL BE MAINTAINED BETWEEN SPOT GRADES.
3. RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
4. ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPUT LAND SURVEYS, LLC., DATED MAY 10, 2016.
5. HANDICAP SPACES SHALL NOT EXCEED 2% SLOPE IN ALL DIRECTIONS.
6. SIDEWALK TO BE USED AS A HANDICAP ACCESSIBLE ROUTE, SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.

No.	DATE	DESCRIPTION
0	10/21/16	ISSUED FOR REVIEW



**GRADING ENLARGEMENT
HANDICAP SPACES**

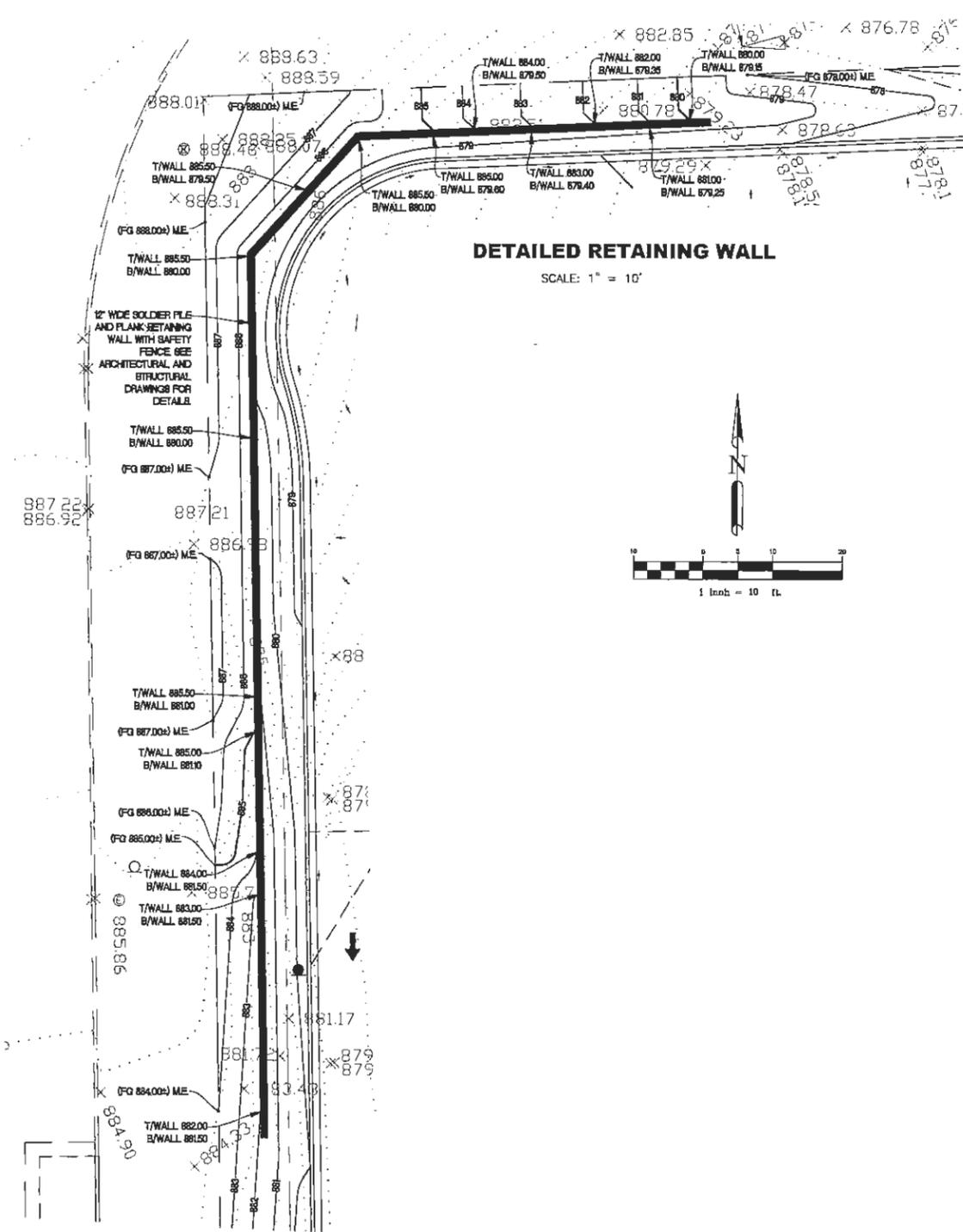
PROJECT NAME
THE SHOPS AT LAKE GENEVA
LAKE GENEVA, WI
281 NORTH EDWARDS BLVD.

PROJECT No.
15.GMX.009
SHEET No.
C5.1



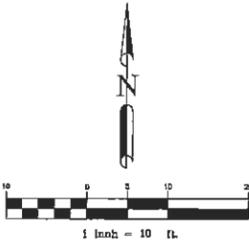
EXPIRES 11-30-2017

NOT FOR CONSTRUCTION



DETAILED RETAINING WALL

SCALE: 1" = 10'



LEGEND

	EXISTING	PROPOSED
1 FOOT CONTOUR		
5 FOOT CONTOUR		
SURFACE ELEVATION		
RECORD SURFACE ELEVATION		
DIRECTION OF FLOW		
OVERLAND OVERFLOW		
CATCH BASIN / INLET		
MANHOLE		
WATERMAIN VALVE		
SAWCUT LINE		
RIDGE LINE		
GRADE CHANGE SLOPE AREA		
TOP OF CURB		
TOP OF DEPRESSED CURB		
FLOW LINE		
TOP OF PAVEMENT		
TOP OF SIDEWALK		
TOP OF FINISHED GRADE		
TOP OF UTILITY STRUCTURE		
TOP OF WALL		
BOTTOM OF WALL		
FINISHED FLOOR		
MATCH OR MEET EXIST GRADE		
CRITICAL GRADE		
CURB AND GUTTER CURB		
CURB AND GUTTER DEPRESSED		
CURB TRANSITION		
REVERSE GUTTER PITCH (AWAY FROM CURB)		

NOTES:

1. PROPOSED ELEVATIONS SHOWN ON PROPOSED CURB LINES ARE FLOW LINE ELEVATIONS UNLESS NOTED OTHERWISE. ADD 0.50' TO OBTAIN TOP OF CURB ELEVATIONS.
2. A CONSTANT SLOPE SHALL BE MAINTAINED BETWEEN SPOT GRADES.
3. RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
4. ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPUT LAND SURVEYS, LLC., DATED MAY 10, 2016.
5. HANDICAP SPACES SHALL NOT EXCEED 2% SLOPE IN ALL DIRECTIONS.
6. SIDEWALK TO BE USED AS A HANDICAP ACCESSIBLE ROUTE, SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.



EXPIRES 11-30-2017

No.	DATE	DESCRIPTION	ISSUED FOR REVIEW
0	10/27/16		

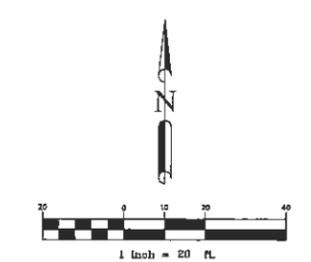
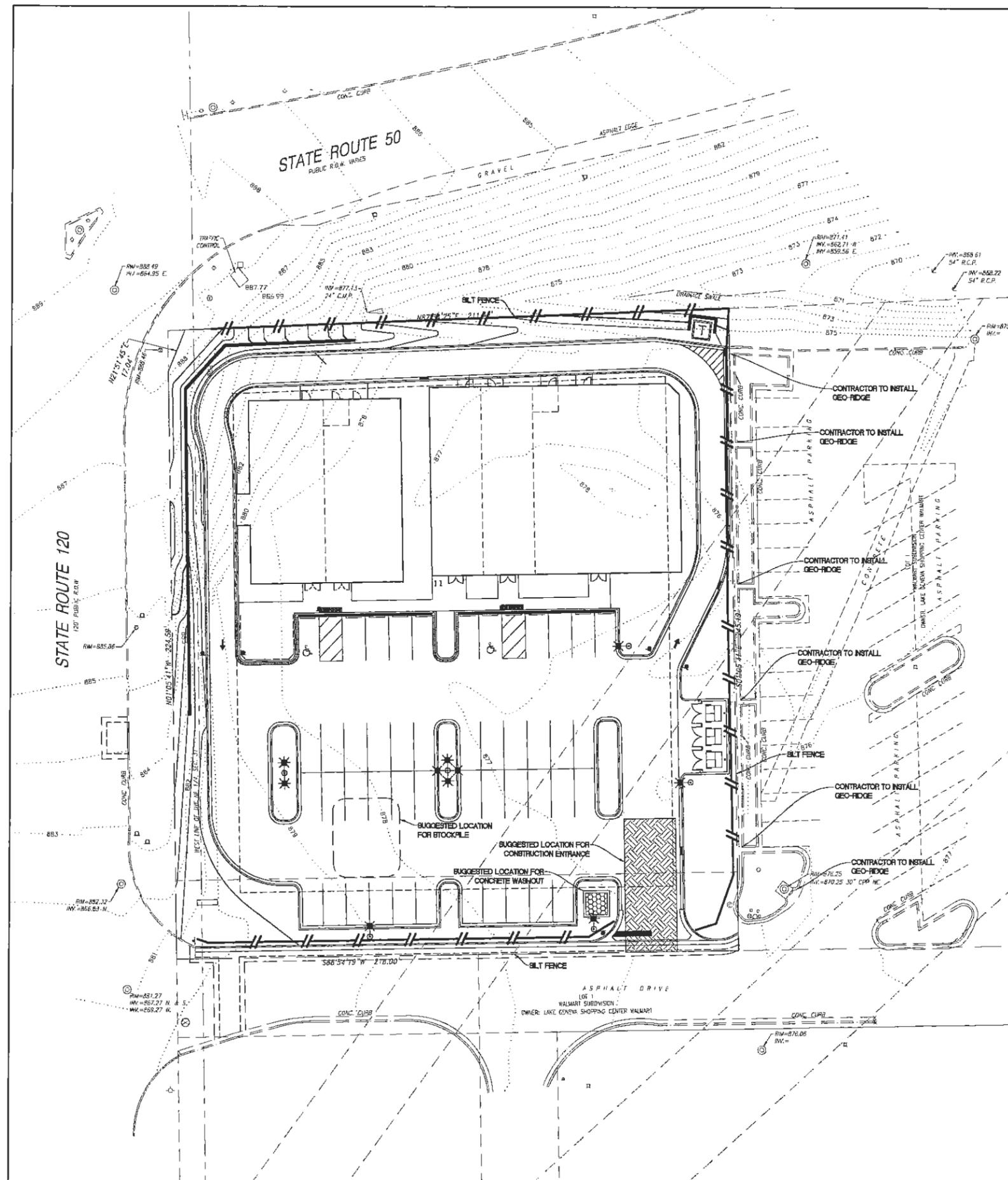


**GRADING ENLARGEMENT
RETAINING WALL**

PROJECT NAME
**THE SHOPS AT
LAKE GENEVA**
LAKE GENEVA, WI
281 NORTH EDWARDS BLVD.

PROJECT No.
15.GMX.009
SHEET No.
C5.2

NOT FOR CONSTRUCTION



- LEGEND**
- 50' X 20' CONSTRUCTION ENTRANCE, SEE DETAILS. (TRACKING PAD)
 - SILT FENCE, SEE DETAILS.
 - CONCRETE WASHOUT FACILITY

SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
2. INLET PROTECTION SHALL BE INSTALLED AT EACH DRAINAGE STRUCTURE THAT ACCEPTS WATER ONCE THAT STRUCTURE IS ABLE TO RECEIVE WATER.
3. ALL ROADS INCLUDING ADJACENT ROADWAYS, SWALES, DRAINAGE STRUCTURES, MANHOLES AND PIPES MUST BE KEPT CLEAN AND FREE OF DIRT, SILT AND DEBRIS AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD ADJUSTING THE LOCATION OF THE EROSION MEASURES TO ACCOMMODATE CONSTRUCTION ACTIVITIES. RELOCATED MEASURES SHALL BE PLACED TO PREVENT SILT FROM RUNNING OFF THE SITE OR INTO FINISHED GRADED AREAS. MEASURES SHALL BE RELOCATED BACK TO ORIGINAL LOCATION AS NECESSARY AFTER CONSTRUCTION ACTIVITY IN THE EFFECTED AREA IS COMPLETED.
5. AFTER PERMANENT GROUND COVER IS ESTABLISHED THROUGHOUT THE SITE, THE ACCUMULATED SEDIMENT SHALL BE REMOVED FROM COLLECTION AREAS, AND ALL STORM SEWER PIPES AND STRUCTURES.
6. SEE LANDSCAPE PLANS FOR PERMANENT VEGETATION REQUIREMENTS.
7. ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPUT LAND SURVEYS, LLC, DATED MAY 10, 2016.
8. TEMPORARY STOCKPILE SHALL BE SEEDDED IF UNDISTURBED FOR MORE THAN 14 DAYS.
9. ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS RESTRICTED TO THE CONSTRUCTION ENTRANCE.
10. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTION.
11. MAJOR AMENDMENTS OF THE SITE DEVELOPMENT OR EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
12. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL.
13. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER THE FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES.
14. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR REDISTURBANCE.
15. IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
16. THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
17. ALL STORM SEWER FRAMES AND GRATES/UDS SHALL BE MARKED WITH "OUMP NO WASTE" AND "DRAINS TO CREEK".
18. A NOTICE OF INTENT MUST BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY AND POSTMARKED AT LEAST 30 DAYS BEFORE COMMENCEMENT OF ANY WORK ON-SITE FOR ALL CONSTRUCTION SITES OVER AN ACRE. INCLUDED IN THE NOI SHALL BE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE APPROPRIATE BMP'S TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
19. AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED TO WDNR IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICES FAILS.
20. A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMITTED TO THE WDNR WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHMENT OF VEGETATION.

CONSTRUCTION SEQUENCE AND RESPONSIBLE CONTRACTOR	CONTRACTOR			
	GRADING CONTRACTOR	UNDERGROUND CONTRACTOR	PAVING CONTRACTOR	LANDSCAPE CONTRACTOR
1. INSTALL SEDIMENT CONTROL MEASURES - DITCH CHECKS - EROSION CONTROL FENCE - SEDIMENT BASIN - STABILIZED CONSTRUCTION ENTRANCE - TEMPORARY SWALES - SPECIFIED STORM SEWER LINES	[X]			
2. GRADE SITE/STOCKPILE TOPSOIL	[X]			
3. INSTALL STORMWATER MANAGEMENT MEASURES - STORM SEWER - SEDIMENT TRAP (INLET PROTECTION) - DITCH/SWALES	[X]			
4. TEMPORARY VEGETATIVE STABILIZATION - CONTROL MEASURES - TEMPORARY SEEDING - DITCH/SWALES				[X]
5. INSTALL ROAD SUBGRADE - AGGREGATE COVER				[X]
6. SITE CONSTRUCTION WORK - CURB AND CUTTER - PAVING (WALKS & BIKEPATHS)				[X]
7. VEGETATIVE COVER ON ALL AREAS TO BE EXPOSED LONGER THAN 60 DAYS - TEMPORARY SEEDING				[X]
8. SURFACE ROADS - PAVING				[X]
9. PERMANENT VEGETATIVE STABILIZATION OF ALL EXPOSED AREAS - PERMANENT SEEDING - SODDING				[X]
10. INSTALL PERMANENT LANDSCAPING				[X]
11. PERFORM CONTINUING MAINTENANCE	[X]	[X]	[X]	[X]



EXPIRES 11-30-2017

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
0	10/27/16	ISSUED FOR REVIEW			

PROJECT NAME
THE SHOPS AT LAKE GENEVA

PROJECT No.
15.GMX.009

SHEET No.
C6

SHEET NAME
SOIL EROSION & SEDIMENT CONTROL PLAN

LAKE GENEVA, WI

281 NORTH EDWARDS BLVD.

OWNER: LAKE GENEVA SHOPPING CENTER WALKWAY

715 Ridgeview Drive, McHenry, IL 60050 T:815.676.0200 www.artmconsultants.com

NOT FOR CONSTRUCTION

SPECIAL PROVISIONS

1. THE MUNICIPAL AUTHORITY GOVERNING THIS WORK IS THE CITY OF LAKE GENEVA. IN EVENT OF CONFLICT, MUNICIPAL REQUIREMENTS SHALL GOVERN.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING SPECIFICATIONS. IF A CONFLICT ARISES BETWEEN ANY PROVISION(S) OF THESE STANDARDS AND SPECIFICATIONS, THEN THE MOST RESTRICTIVE PROVISION(S) SHALL APPLY.
 - A. CITY OF LAKE GENEVA MUNICIPAL CODE.
 - B. WISCONSIN DEPARTMENT OF TRANSPORTATION (W.D.O.T.) "STANDARD SPECIFICATIONS" LATEST EDITION.
 - C. "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (M.U.T.C.D.) LATEST EDITION.
 - D. AMERICAN ASSOCIATION OF STATE HIGHWAY TRANSPORTATION OFFICIALS, AND SPECIFICALLY, "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS."
 - E. WISCONSIN DEPARTMENT OF NATURAL RESOURCES, "CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK" LATEST EDITION.
 - F. WISCONSIN DEPARTMENT OF TRANSPORTATION, "FACILITIES DEVELOPMENT MANUAL" LATEST EDITION.
 - G. "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" LATEST EDITION.
 - H. "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" STATE OF WISCONSIN, DEPARTMENT OF TRANSPORTATION.
 - I. AMERICAN SOCIETY FOR TESTING AND MATERIALS. (ASTM)
 - J. AMERICAN WATER WORKS ASSOCIATION. (AWWA)
 - K. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
3. IN THE EVENT OF CONFLICTS, ERRORS, OR AMBIGUITIES IN THE DOCUMENTS CLIENT AND/OR CONTRACTOR SHALL IMMEDIATELY, AND BEFORE ANY WORK HAS BEGUN OR COSTS INCURRED, REQUEST CLARIFICATION FROM THE ENGINEER WHOSE INTERPRETATION SHALL BE FINAL AND BINDING UPON ALL PARTIES CONCERNED. NEITHER CLIENT NOR CONTRACTOR SHALL TAKE ADVANTAGE OF CONFLICTS, ERRORS, OR AMBIGUITIES IN THE DOCUMENTS.
4. THE MUNICIPALITY SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OR RESUMPTION OF ANY CONSTRUCTION WORK.
5. THE CONTRACTOR SHALL CALL DIGGER HOT LINE AT LEAST 48 HOURS BEFORE THE START OF ANY CONSTRUCTION WORK.
6. THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTILITIES SHOWN IN THE PLANS ARE FROM RECORDS OR FIELD OBSERVABLE INFORMATION LOCATED BY SURVEYOR. ANY UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
7. IF ANY EXISTING UTILITIES ARE ENCOUNTERED OR DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED PROPERLY BY THE CONTRACTOR. IF THEY ARE UTILITIES TO BE ABANDONED, THEY SHALL BE CAPPED, SEALED AND ABANDONED PROPERLY PER THE RESPECTIVE UTILITY COMPANY'S CRITERIA.
8. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS, MUNICIPAL REGULATIONS AND STANDARDS, AND SHALL CONFORM IN ALL RESPECTS TO ALL LOCAL, STATE AND FEDERAL LAWS.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SIGNS, BARRICADES, FENCING, TRAFFIC CONTROL DEVICES AND MEASURES, AND ALL OTHER MEASURES THAT ARE NECESSARY TO PROTECT THE SAFETY OF THE SITE AT ALL TIMES.
10. SITE ACCESS CONTROL INCLUDING SAFETY FENCES, AND ALL CONSTRUCTION MEANS AND METHODS AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. ALL ROADS, SWALES, DRAINAGE STRUCTURES, MANHOLES AND PIPES MUST BE KEPT CLEAN AND FREE OF DIRT, SILT AND DEBRIS AT ALL TIMES.
12. ALL DISTURBED R.O.W. AREAS SHALL BE RESTORED WITH A MINIMUM OF 4 INCHES OF TOPSOIL AND SOD.
13. ANY DAMAGED R.O.W. AREA SHALL BE REPAIRED TO EXISTING OR BETTER CONDITIONS.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING AND LAYOUT.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEASURING, DOCUMENTING AND RECORDING ALL CONSTRUCTION WORK AND SHALL FURNISH THE OWNER, THE ENGINEER AND THE MUNICIPALITY WITH RECORD DRAWINGS UPON COMPLETION OF HIS WORK.
16. THE CONTRACTOR, BY AGREEING TO PERFORM THE WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ENGINEER, THE MUNICIPALITY, AND ALL AGENTS AND ASSIGNS OF THOSE PARTIES, FROM ALL SUITS AND CLAIMS ARISING OUT OF THE PERFORMANCE OF SAID WORK, AND FURTHER AGREES TO DEFEND OR OTHERWISE PAY ALL LEGAL FEES ARISING OUT OF THE DEFENSE OF SAID PARTIES.
17. CONTRACTOR SHALL PURCHASE AND MAINTAIN FOR THE DURATION OF THE WORK INSURANCE TO PROTECT ENGINEER, OWNER, ALL OF THE AGENTS, EMPLOYEES, SUCCESSORS, AND ASSIGNS FROM ANY AND ALL CLAIMS ARISING OUT OF THE CONSTRUCTION OF THE WORK INCLUDING NAMING THEM AS ADDITIONAL INSURED ON THE CONTRACTORS GENERAL LIABILITY POLICY, WHICH SHALL STATE THAT IT IS PRIMARY IN COVERAGE TO ANY INSURANCE CARRIED BY AGENTS, EMPLOYEES, SUCCESSORS, OR ASSIGNS.
18. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.

STANDARD EARTHWORK, GRADING AND PAVING PROVISIONS

1. ALL CONSTRUCTION WORK INCLUDING EARTHWORK, GRADING AND PAVING SHALL BE GOVERNED BY THE "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION IN WISCONSIN", STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, ADOPTED LATEST EDITION, AND ALL REVISIONS AND SUPPLEMENTS THERETO, THE MUNICIPALITIES REQUIREMENTS, AND THE APPLICABLE ROADWAY AUTHORITY'S REQUIREMENTS.
2. ALL PROPOSED PAVEMENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO DESIGN SUBGRADE.
3. THE SUBGRADE SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM 95 PERCENT OF MODIFIED PROCTOR DENSITY.
4. THE SUBGRADE SHALL BE INSPECTED AND APPROVED BY THE MUNICIPALITY AND THE OWNERS GEOTECHNICAL CONSULTANT, PRIOR TO PLACING THE BASE MATERIAL.
5. STOCKPILING OF SOIL SHALL BE AT LOCATIONS DESIGNATED BY OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SPOIL MATERIAL FROM THE UNDERGROUND CONTRACTOR, PREPARING THE PAVEMENT SUBGRADE, PLACING REQUIRED DEPTH OF TOPSOIL TO FINISH GRADE, GRADING OF DRAINAGE SWALES, AND ALL OTHER TASKS AS DIRECTED BY THE OWNER OR ENGINEER.
7. ANY QUANTITIES IF CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR IN DETERMINING ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE AND SOIL CONDITIONS.
8. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.
9. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE FINAL SUBGRADE PREPARATION, THE PAVEMENT BASE, BINDER, AND SURFACE, AND ALL FINAL CLEAN-UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATION.
10. THE PROPOSED CURB AND GUTTER AND PAVEMENT SHALL BE OF THE TYPE AND THICKNESS AS SPECIFIED IN THESE DRAWINGS, AND CONSTRUCTED IN CONFORMANCE WITH THE WDOT STANDARD SPECIFICATIONS PREVIOUSLY REFERENCED AND THE REQUIREMENTS OF THE MUNICIPALITY.
11. THE CURB AND GUTTER SHALL HAVE EXPANSION JOINTS CONSISTING OF 1" THICK PERFORMED EXPANSION JOINT FILLER FULL DEPTH AND WIDTH WITH 3/4" - DIAMETER BY 16-INCH LONG PLAIN ROUND STEEL DOWEL BARS AT HIGH POINTS, INLETS, CATCH BASINS, CURB RETURNS, PC AND PT'S, COLD JOINTS OR 60-FOOT MAX. INTERVALS. CONTRACTION JOINTS SHALL BE SAW CUT 2" DEEP AT 20 FOOT MAX. INTERVALS. THE COST OF THESE JOINTS SHALL BE INCIDENTAL TO THE CURB AND GUTTER.
12. ALL CONCRETE SHALL BE CONSTRUCTED PER WISDOT STANDARD SPECIFICATION.
13. ALL CONCRETE SHALL BE BROOM FINISHED.
14. CURING AND PROTECTION OF ALL CONCRETE SHALL BE IN CONFORMANCE WISDOT STANDARD SPECIFICATIONS.
15. DEPRESSED CURB SHALL BE PROVIDED FOR HANDICAPPED RAMPS AT ALL SIDEWALKS ABUTTING THE CURB AND GUTTER. HANDICAP RAMPS SHALL BE INSTALLED PER THE MUNICIPAL, STATE AND ADA REQUIREMENTS.
16. ALL EARTHWORK OPERATIONS SHALL BE PERFORMED FOLLOWING THE ABOVE GUIDELINES AND THE INFORMATION AND RECOMMENDATIONS FOUND IN THE REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING SERVICES BY ECS MIDWEST, LLC. ECS PROJECT NO. 42-1212, DATED DECEMBER 30, 2015, AND SUPPLEMENTAL SUBSURFACE EXPLORATION AND GEOTECHNICAL REPORT JOB NO. 42-1212-A DATED 10-12-16.
17. THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL REMOVE AND DISPOSE OF OFFSITE ANY EXCESS DIRT OR MATERIALS.

STANDARD UTILITY PROVISIONS

1. ALL CONSTRUCTION WORK INCLUDING SEWER AND WATER MAIN, SHALL GOVERNED BY THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", LATEST EDITION, THE MUNICIPALITIES REQUIREMENTS, AND THE APPLICABLE ROADWAY AUTHORITY'S REQUIREMENTS.
2. ALL UTILITY TRENCHES UNDER AND WITHIN TWO FEET OF PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE BACKFILLED WITH 3/4" GRADED CRUSHED STONE (SEE TABLE 39 IN SECTION B.4.3.00 OF THE SSSWCW), COMPACTED 11 8" LIFTS TO 95% OF MODIFIED PROCTOR. ADDITIONAL REQUIREMENTS OF THE GEOTECHNICAL ENGINEER AND MUNICIPALITY SHALL BE FOLLOWED.
3. ANY EXISTING FIELD DRAINAGE TILES ENCOUNTERED OR DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION, PROPERLY REROUTED AND/OR CONNECTED TO THE STORM SEWER SYSTEM WHERE APPROVED. ALL LOCATIONS OF ENCOUNTERED FIELD DRAINAGE TILES SHALL BE PROPERLY RECORDED AND SHOWN ON THE CONTRACTOR'S "RECORD DRAWINGS" AND IMMEDIATELY REPORTED TO THE MUNICIPALITY AND THE ENGINEER. ABANDONED TILES SHALL AT A MINIMUM BE PERMANENTLY PLUGGED. ADDITIONAL REQUIREMENTS OF THE GEOTECHNICAL ENGINEER AND MUNICIPALITY SHALL BE OBTAINED AND FOLLOWED.
4. IF ANY EXISTING UNDERGROUND UTILITIES ARE ENCOUNTERED OR DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED PROPERLY BY THE CONTRACTOR. IF THEY ARE UTILITIES TO BE ABANDONED, THEY SHALL BE CAPPED, SEALED AND ABANDONED PROPERLY PER THE RESPECTIVE UTILITY COMPANY'S CRITERIA.
5. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF OFFSITE ANY EXCESS DIRT OR MATERIALS.
6. "BAND/SEAL" OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPE OF DISSIMILAR MATERIALS OR SIZES.
7. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. WHENEVER A SEWER CROSSES A WATER MAIN, A MINIMUM VERTICAL DISTANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE PIPES, AND THE SEWER JOINTS ARRANGED SO THEY ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHEN IT IS NECESSARY FOR A SEWER TO CROSS OVER THE TOP OF A WATER MAIN WITH 18" SEPARATION, OR THE SEWER CROSSES UNDER THE WATERMAIN WITH LESS THAN 18" VERTICAL SEPARATION, OR 10' HORIZONTAL SEPARATION IS NOT MAINTAINED, THEN ONE OF THE FOLLOWING METHODS MUST ALSO BE CONSTRUCTED:
 - A.) THE SEWER SHALL BE CONSTRUCTED EQUAL TO THE WATER MAIN PIPE FOR THE LENGTH OF THE INADEQUATE HORIZONTAL SEPARATION OR FOR A DISTANCE OF TEN (10) FEET EITHER SIDE OF A CROSSING AND SHALL BE PRESSURE-TESTED TO INSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
 - B.) FOR A STORM SEWER CROSSING, THE RCP STORM SEWER SHALL BE CONSTRUCTED WITH 0-RING GASKETED JOINTS (ASTM C-361) FOR A DISTANCE OF TEN (10') FEET EITHER SIDE OF A CROSSING.
8. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN A 8-MIL POLYETHYLENE TUBING. THE TUBING SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARD FOR POLYETHYLENE ENCASEMENT FOR GRAY AND DUCTILE IRON PIPING ANSI/AWWA C105/72/A21.5 OR AS REVISED. INSTALLATION PROCEDURES SHALL FOLLOW "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN".
9. ALL MANHOLES, CATCHBASINS, INLETS AND VALVE VAULTS SHALL BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE RING CONSTRUCTION WITH TONGUE AND GROOVE JOINTS IN CONFORMANCE WITH THE LATEST REVISION OF ASTM C-478. ALL JOINTS BETWEEN SECTIONS SHALL BE SEALED WITH MASTIC TYPE BITUMINOUS JOINT SEALER. CONTRACTOR SHALL REMOVE EXCESS MASTIC INSIDE STRUCTURE AND BUTTER JOINTS WITH MORTAR. ALL STORM AND SANITARY STRUCTURES SHALL HAVE OFFSET CONES, EXCEPT WHERE HEIGHT RESTRICTIONS REQUIRE A REINFORCE CONCRETE FLAT TOP. VALVE VAULTS SHALL HAVE CONCENTRIC CONES. A MAXIMUM OF 2 PRECAST CONCRETE ADJUSTMENT RINGS LIMITED TO 6 INCHES TOTAL HEIGHT SHALL BE PERMITTED. MANHOLE STEPS SHALL BE PROVIDED. CONTRACTOR SHALL ADJUST STRUCTURES TO FINISHED GRADE AS NEEDED.
10. ALL UTILITIES SHALL BE INSTALLED WITH TRACER WIRE. TRACER WIRE TO BE INSTALLED IN A MANNER THAT IS CONTINUOUS.
11. IF THE SPECIFICATIONS ON THIS SHEET CONTRADICT THE CITY SPECIFICATIONS, THE CITY DETAILS, SPECIFICATIONS GOVERN.

STANDARD SANITARY SEWER PROVISIONS:

1. THE CITY MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK.
2. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER.
3. ALL DOWNSPOUTS, FOOTING DRAINS, AND OUTSIDE DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM OR TO GRADE.
4. ALL SANITARY PIPE SHALL BE, AS SPECIFIED ON THE PLANS, EITHER P.V.C. (S.D.R. DEPENDANT ON DEPTH) PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212, OR CERAMIC EPOXY LINED DUCTILE IRON PIPE CLASS 52 CONFORMING TO A-21.51 WITH JOINTS CONFORMING TO ANSI A-21.11.
5. "BAND-SEAL" OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPE OF DISSIMILAR MATERIALS OR SIZES.
6. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
 - A. CIRCULAR SAW-CUT OF THE SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.
 - B. WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND-SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
7. SANITARY MANHOLES SHALL HAVE IN ADDITION TO THE GENERAL MANHOLE REQUIREMENTS:
 - A. BASE AND BOTTOM SECTION SHALL BE MONOLITHICALLY CAST INCLUDING BENCHES, INVERTS AND FLOW LINES.
 - B. MANHOLES JOINTS AND ADJUSTMENT RINGS SHALL SET IN PREFORMED PLASTIC GASKET RUB-R-NEK, EZ STIK OR APPROVED EQUAL.
 - C. PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATERTIGHT PIPE SLEEVES CONFORMING TO ASTM C-923.
 - D. CHIMNEY SEAL OR APPROVED ALTERNATE AS REQUIRED BY MUNICIPALITY OR SANITARY DISTRICT.
8. ALL SEPTIC TANKS (IF ANY) BEING ABANDONED SHALL BE FILLED OR REMOVED. APPROVAL MUST BE OBTAINED FROM THE APPROPRIATE HEALTH DEPARTMENTS. ALL SEWER CONNECTIONS SHALL BE MADE UPSTREAM FROM THE TANK. CONTRACTORS SHALL OBTAIN ANY NECESSARY PERMITS FOR REMOVAL.
9. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. WHENEVER A SEWER CROSSES A WATER MAIN, A MINIMUM VERTICAL DISTANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE PIPES, AND THE SEWER JOINTS ARRANGED SO THEY ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHEN IT IS NECESSARY FOR A SEWER TO CROSS OVER THE TOP OF A WATER MAIN WITH 18" SEPARATION, OR THE SEWER CROSSES UNDER THE WATERMAIN WITH LESS THAN 18" VERTICAL SEPARATION, OR 10' HORIZONTAL SEPARATION IS NOT MAINTAINED, THEN ONE OF THE FOLLOWING METHODS MUST ALSO BE CONSTRUCTED:
 - A. THE SEWER SHALL BE CONSTRUCTED EQUAL TO THE WATER MAIN PIPE FOR THE LENGTH OF THE INADEQUATE HORIZONTAL SEPARATION OR FOR A DISTANCE OF TEN (10) FEET EITHER SIDE OF A CROSSING AND SHALL BE PRESSURE-TESTED TO INSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
 - B. FOR A STORM SEWER CROSSING, THE RCP STORM SEWER SHALL BE CONSTRUCTED WITH 0-RING GASKETED JOINTS (ASTM C-361) FOR A DISTANCE OF TEN (10') FEET EITHER SIDE OF A CROSSING.
10. ALL SANITARY SEWERS SHALL BE TESTED IN KEEPING WITH ALL MUNICIPAL REQUIREMENTS. ALL CONSTRUCTION SHALL CONFORM TO "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", LATEST EDITION. EXCEPT FOR CONFLICTS WITH THE VILLAGE REQUIREMENTS, WHERE THE VILLAGE REQUIREMENTS SHALL TAKE PRECEDENCE.
11. ALL SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH SSSWCW.
12. IF THE SPECIFICATIONS ON THIS SHEET CONTRADICT THE CITY SPECIFICATIONS, THE CITY DETAILS, SPECIFICATIONS GOVERN.
13. SANITARY SEWER BEDDING AND TRENCH BACKFILL SHALL BE PER THE UTILITY TRENCHES DETAIL.

STANDARD WATER MAIN PROVISIONS

1. ALL WATERMANS TO BE DUCTILE IRON PIPE PER ANSI A-21.51, (CLASS 52) WITH JOINTS PER ANSI A-21.11 AS REQUIRED BY THE "STANDARD SPECIFICATION OF SEWER AND WATER CONSTRUCTION IN WISCONSIN", PIPE TO BE CEMENT LINED PER ANSI A-21.4 (AWWA C104). ALL WATERMANS TO BE WRAPPED IN POLYETHYLENE MATERIAL USING 8 MIL THICK MINIMUM FOR CORROSION PROTECTION.
2. THE MINIMUM COVER FOR ALL WATER MAIN AND WATER SERVICE PIPE IS SIX (6') FEET FROM FINISHED GRADE TO TOP OF PIPE.
3. ALL VALVES SHALL BE RESILIENT WEDGE VALVES AND BE FURNISHED MECHANICAL JOINTED, WITH CAST IRON BODY, BRONZE MOUNTED, BRONZE STEMMED, DOUBLE DISC PATTERN, WITH NON-RISING STEM AND BE DESIGNED FOR 300 POUNDS WORKING PRESSURE. ALL VALVES SHALL OPEN LEFT.
4. ALL WATER MAIN SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA, WISCONSIN, AND THE CITY.
5. AFTER THE PRESSURE TEST HAS BEEN ACCEPTED, THE CONTRACTOR SHALL CHLDRINATE THE WATER MAINS WITH GAS IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA, WISCONSIN, AND THE CITY.
6. ALL VALVE VAULTS ARE TO BE A MINIMUM OF 5 FEET IN DIAMETER.
7. ANY WELLS FOUND SHALL BE CAPPED/ABANDONED PER COUNTY HEALTH DEPARTMENT REQUIREMENTS.
8. ALL MECHANICAL JOINTS SHALL BE MEGALUG.
9. WATERMAIN BEDDING AND TRENCH BACKFILL SHALL BE PER THE UTILITY TRENCHES DETAIL.

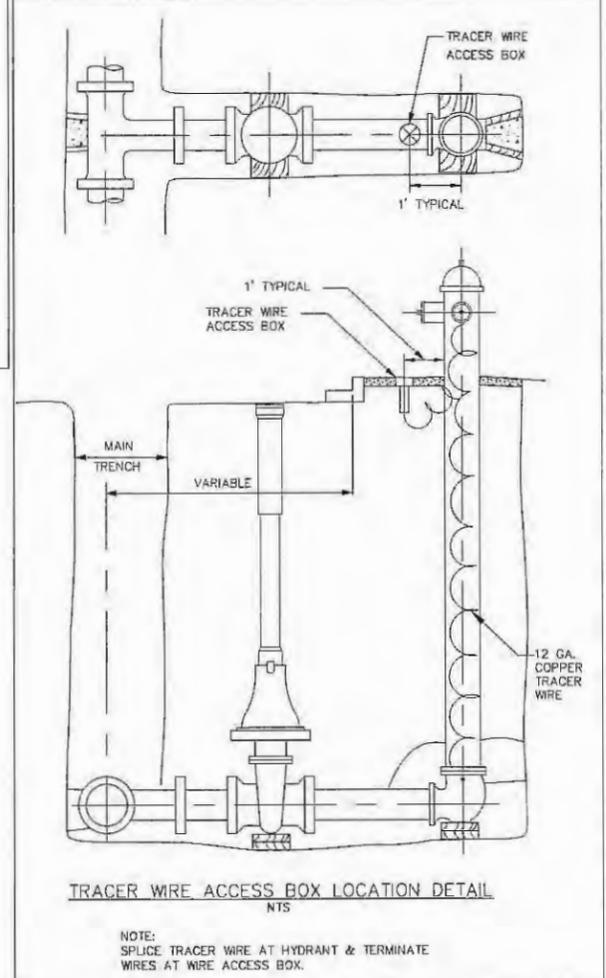
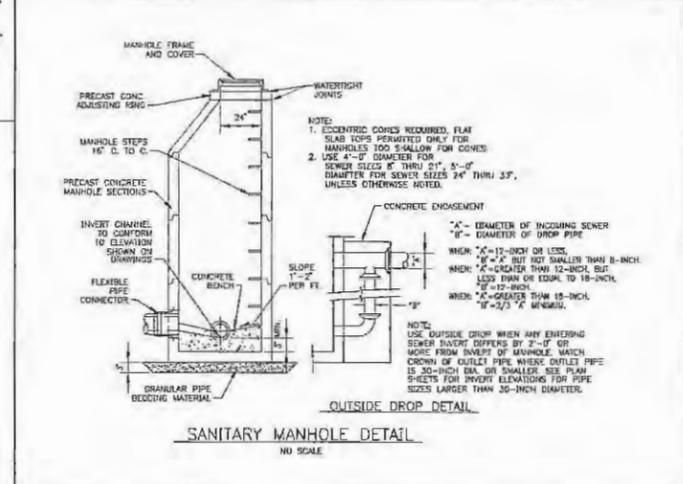
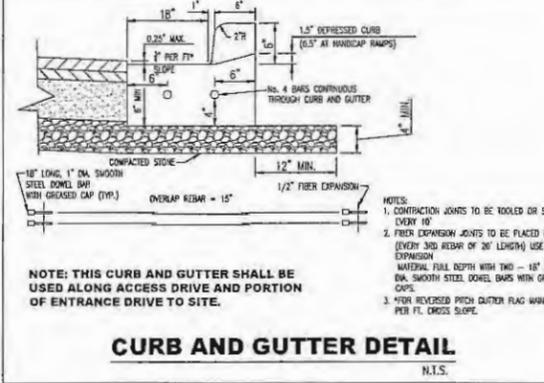
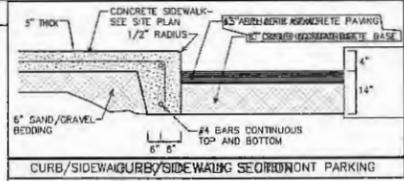
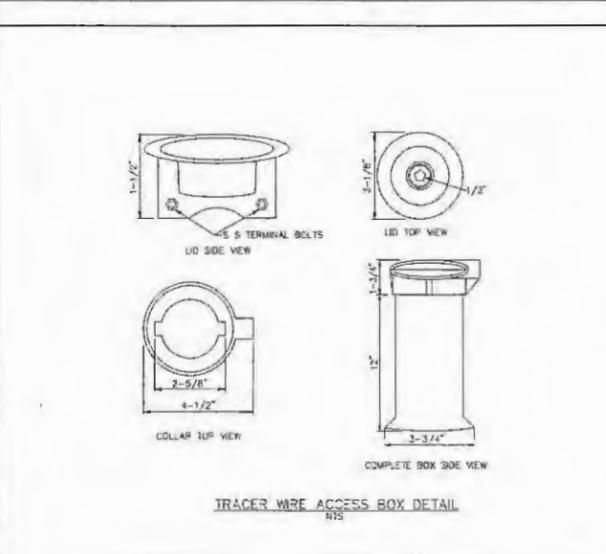
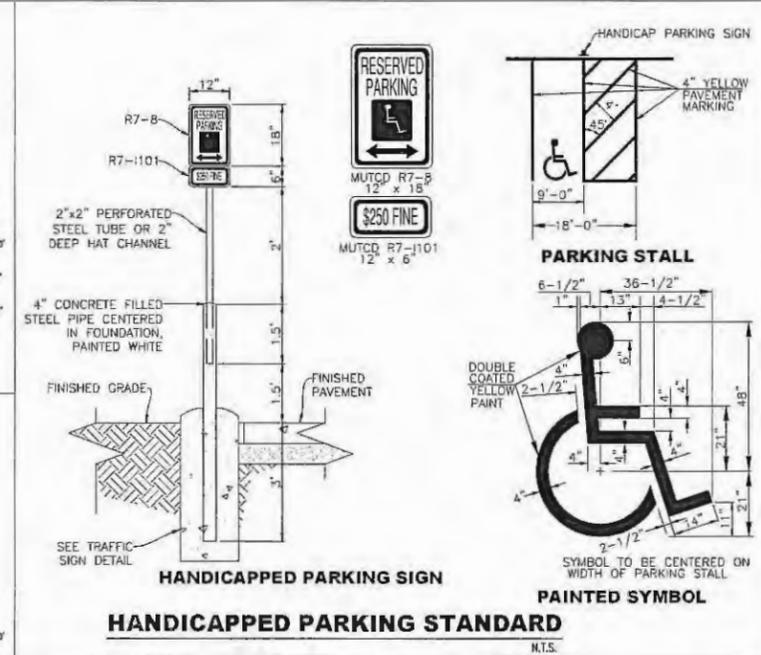
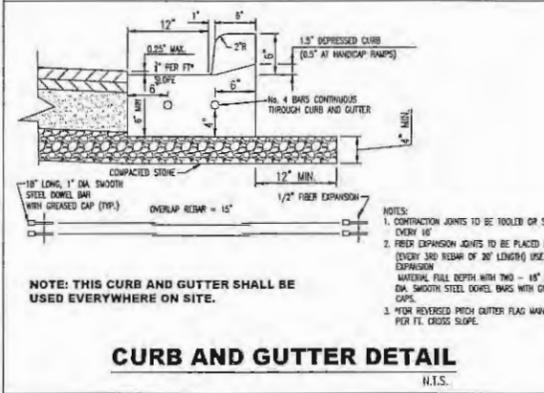
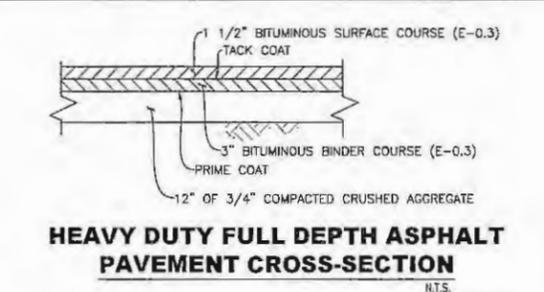
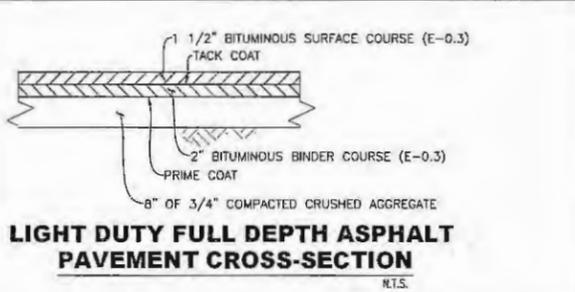
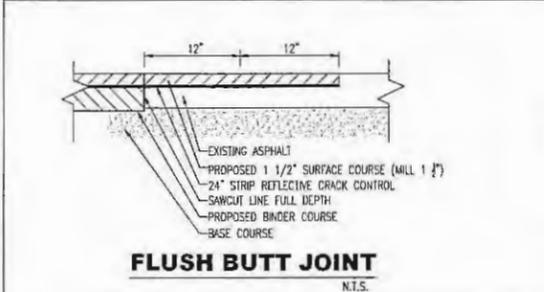
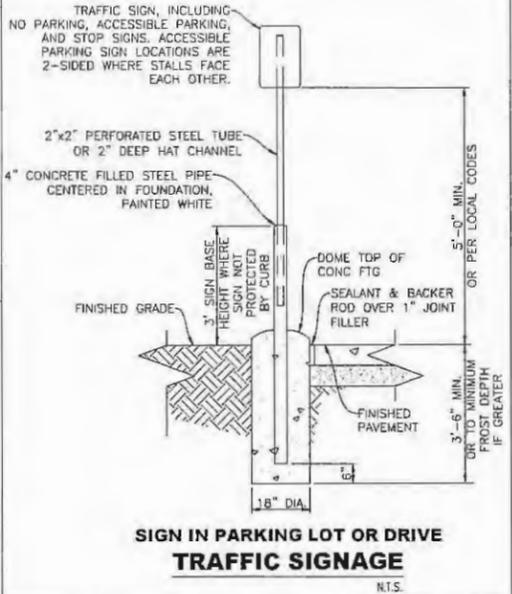
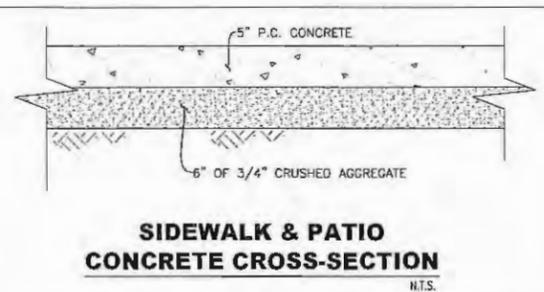
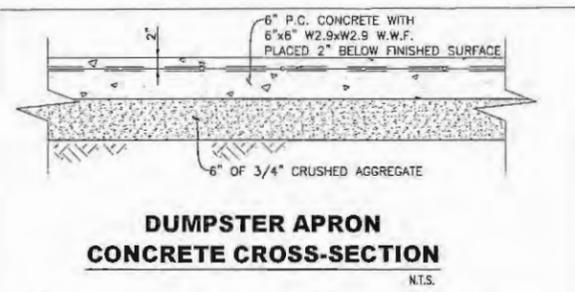
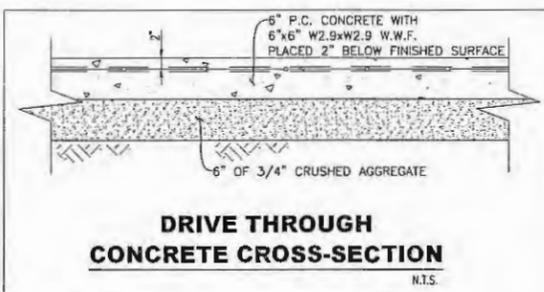
NO.	DATE	DESCRIPTION	ISSUED FOR REVIEW
0	10/27/16		

SHEET NAME	PROJECT No.	SHEET No.
THE SHOPS AT LAKE GENEVA	15.GMX.009	08

715 Ridgeview Drive, McHenry, IL 60050 815.378.0200 www.artmconsultants.com

751 NORTH EDWARDS BLVD. LAKE GENEVA, WI

NOT FOR CONSTRUCTION



PROJECT NAME	SHEET NAME	DESCRIPTION	DATE	NO.	DATE	NO.
THE SHOPS AT LAKE GENEVA	LAKE GENEVA, WI	ISSUED FOR REVIEW	10/21/16			
		ISSUED FOR REVIEW				

PROJECT No. 15.GMX.009
SHEET No. C9

NOT FOR CONSTRUCTION



ALTA/ACSM LAND TITLE SURVEY

CLIENT
Sight on Solutions.

SITE ADDRESS

281 North Edwards Boulevard, City of Lake Geneva, Walworth County, Wisconsin.

LEGAL DESCRIPTION

All of Lot 1 of Certified Survey Map No. 2973, being a part of the Northeast 1/4 and Northwest 1/4 of Section 31, in Township 2 North, Range 18 East, in the City of Lake Geneva, Walworth County, Wisconsin, recorded on April 21, 1998 in the Office of the Register of Deeds for Walworth County, Wisconsin in Volume 15 of Certified Survey Maps, Pages 293-295, inclusive, as Document No. 379822.
Excepting those lands conveyed in a Warranty Deed recorded on March 21, 2002 as Document No. 504491. Said land being in the City of Lake Geneva, County of Walworth and State of Wisconsin.
Warranty Deed recorded as Document No. 900595 on March 5, 2015 in the Office of the Register of Deeds for Walworth County, Wisconsin.

BASIS OF BEARINGS

Bearings are referenced to the West line of Certified Survey Map No. 2973 which is assumed to bear N01°05'41"W.

TITLE COMMITMENT

This survey was prepared based on First American Title Insurance Company Commitment No. NCS-761345-STLO, effective date of November 04, 2015 which lists the following easements and/or restrictions from schedule B-II:

- 2, 3 & 8 visible evidence shown, if any. 1, 4, 5, 6, 7, 14, 15 & 16 not survey related.
- 9. Points of access to and from S.T.H. "120" and S.T.H. "50", a controlled access highway. Affects site by location, shown.
- 10. Storm Sewer Easement, Utility Access Easement, Water Main Easement and Access Easement as noted on Certified Survey Map No. 2973. Affects site by location, shown.
- 11. Utility Easement by and between Thomas E. Woeffle and City of Lake Geneva dated June 17, 1985 and recorded in the office of the Register of Deeds for Walworth County, Wisconsin on June 25, 1985 in Volume 346 of Records, Page 313, Document No. 116424. Affects site by location, shown.
- 12. Restrictive Covenant, Utility Easement, Drainage Easement, Access Easement, Construction Easement and Further Conditions of Easement Grants contained in Agreement by and between LaSalle National Bank and Lake Geneva Centre, Inc. dated June 20, 1985 and recorded in the office of the Register of Deeds for Walworth County, Wisconsin on June 25, 1985 in Volume 346 of Records, Page 325, Document No. 116428. Easement does not affect site by location, shown.
Amendment of Agreement recorded July 10, 2003 as Document No. 564997 and re-recorded August 14, 2003 as Document No. 570620. Does not affect site by location, shown.
- 13. Conditional Use Permit Resolution recorded January 31, 2005 as Document No. 630049. Affects site by location, sign/letter type.
- 14. Real Estate Lease by and between National Properties LLC and Mimi Mart LLC recorded July 12, 2005 as Document No. 646446. Affects site by location, sign/letter type.

PARKING SPACES

There are no parking spaces marked on this site.

flood note

According to the flood insurance rate map of the County of Walworth, Community Panel No. 55127C033D, effective date of October 2, 2009, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

MUNICIPAL ZONING

Site is zoned: PB (Planned Business District) Municipal Code: Section 98-105
Front or Street Lot Line: 25 feet, 40 feet
Building to Nonresidential Side Lot Line: 10 feet or 0 feet on zero lot line side
Building to Nonresidential Rear Lot Line: 30 feet
Minimum Paved Surface Setback: 5 feet from side or rear; 10 feet from street
Maximum Building Height: 45 feet

LAND AREA

The Land Area of the subject property is 52,847 square feet or 1.2132 acres.

VICINITY MAP



TO: GMX Real Estate Group Acquisitions LLC
LGSC Outlot LLC, a Missouri limited liability company
Lake Geneva 50120, LLC
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 7(a), 8, 9, 11(a), 13, 14, 16, 17, 18, 19 and 21 of Table A thereof. The field work was completed on November 16, 2015.

Date of Map: November 18, 2015
Revised: December 2, 2015
Revised: January 29, 2016
Revised: May 10, 2016

Donald C. Chaput
Professional Land Surveyor
Registration Number S-1316

Chaput Land Surveys Inc.
234 W. Florida Street
Milwaukee, WI 53204
414-224-8088
www.chaputlandsurveys.com Drawing No. 2161-01n

TABLE "A" ITEMS

- 16. There is no visible evidence of earth moving, building construction or building additions within recent months.
- 17. There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
- 18. There is no observable evidence of site use as a solid waste dump or sanitary landfill.

NOTE

Per Title Commitment No. NCS-761345-STLO, there are no access easements granting Lot 1 of Certified Survey Map No. 2973 or subsequent lands access through adjoining parking lot. Also Certified Survey Map No. 2973 does not restrict access to STH 50 or STH 120.

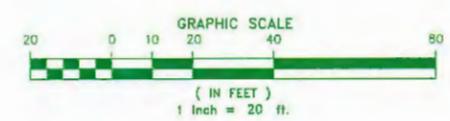
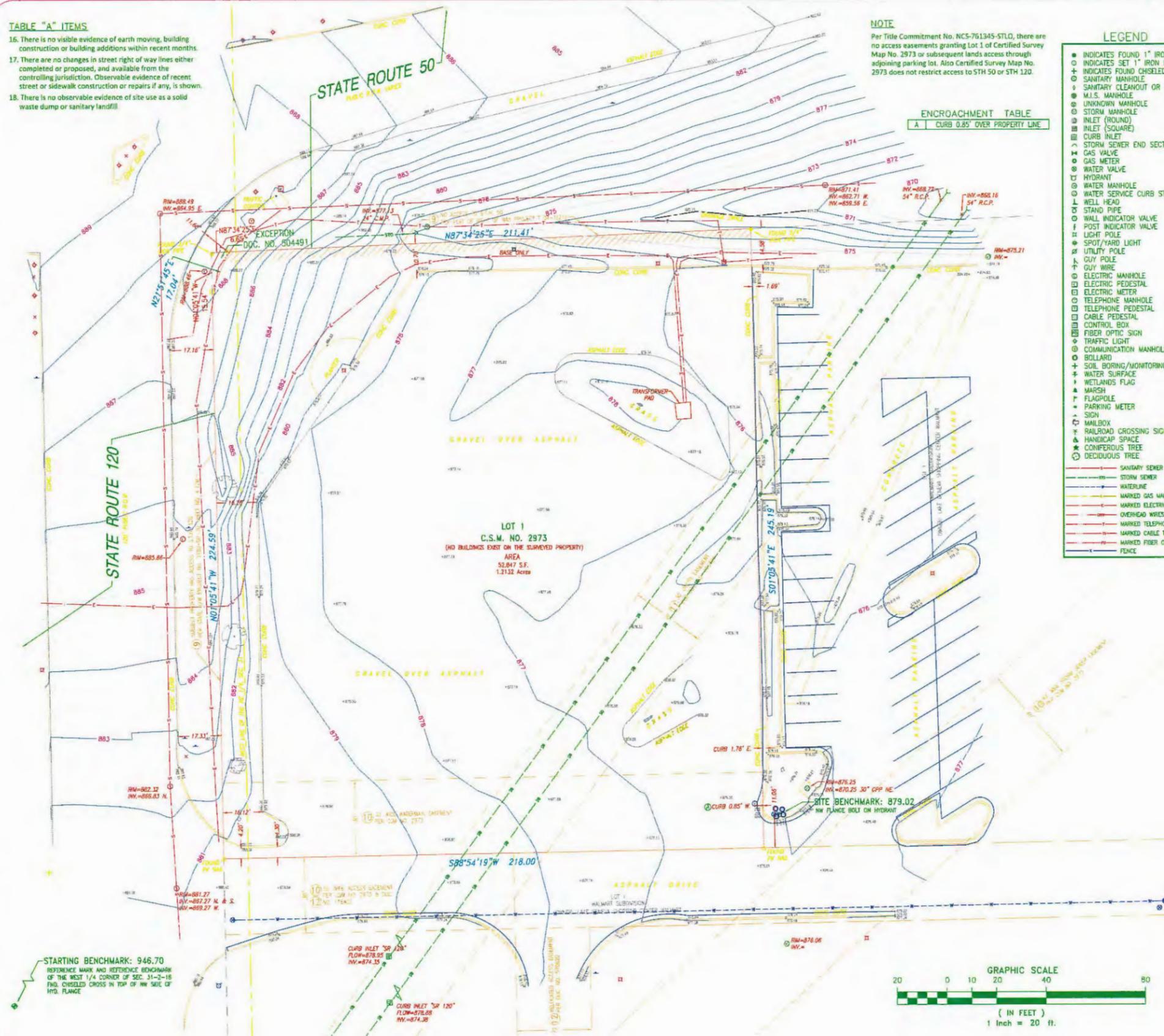
ENCROACHMENT TABLE

A	CURB 0.85' OVER PROPERTY LINE
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LEGEND

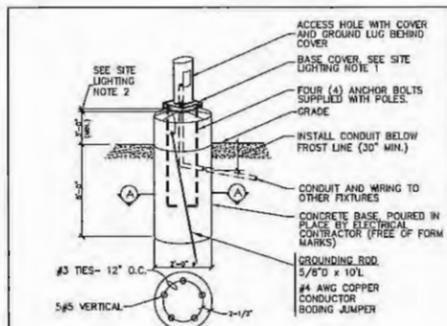
- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- + INDICATES FOUND CHISELED CROSS
- SANITARY MANHOLE
- + SANITARY CLEANOUT OR VENT
- M.I.S. MANHOLE
- UNKNOWN MANHOLE
- STORM MANHOLE
- INLET (ROUND)
- INLET (SQUARE)
- CURB INLET
- STORM SEWER END SECTION
- GAS VALVE
- GAS METER
- WATER VALVE
- HYDRANT
- WATER MANHOLE
- WATER SERVICE CURB STOP
- WELL HEAD
- STAND PIPE
- WALL INDICATOR VALVE
- POST INDICATOR VALVE
- LIGHT POLE
- SPOT/YARD LIGHT
- UTILITY POLE
- GUY POLE
- GUY WIRE
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- CONTROL BOX
- FIBER OPTIC SIGN
- TRAFFIC LIGHT
- COMMUNICATION MANHOLE
- BOLLARD
- SOIL BORING/MONITORING WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- FLAGPOLE
- PARKING METER
- SIGN
- MAILBOX
- RAILROAD CROSSING SIGNAL
- HANDICAP SPACE
- CONIFEROUS TREE
- DECIDUOUS TREE

- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- FENCE

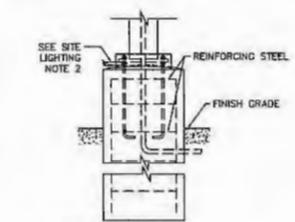


STARTING BENCHMARK: 946.70
REFERENCE MARK AND REFERENCE BENCHMARK OF THE WEST 1/4 CORNER OF SEC. 31-1-16 IND. CHISELED CROSS IN TOP OF NW SIDE OF HYD. FLANGE

Chaput Land Surveys Inc.



1 LIGHTING POLE BASE DETAIL
SCALE: N.T.S.

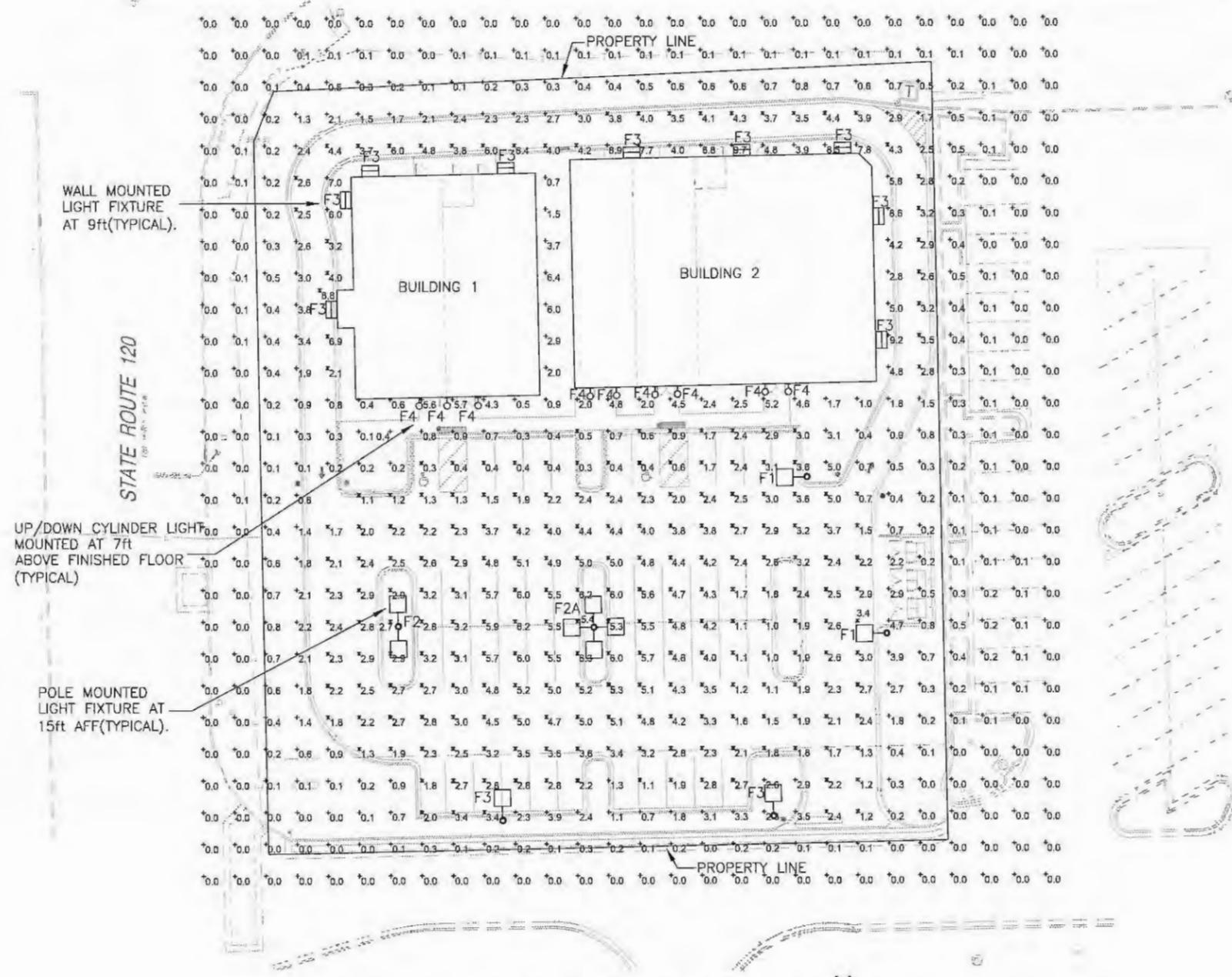


2 ENLARGE CROWN DETAIL
SCALE: N.T.S.

- NOTES
1. PROVIDE CROWN ON TOP OF CONCRETE BASE TO COMPLETELY SHED WATER.
 2. 1/2" (MIN) AIR GAP SPACE BETWEEN TOP OF CONCRETE CROWN AND BOTTOM OF POLE BASE PLATE FOR VENTILATION.
 3. LOCATE LUMINAIRE ON THE DRAWING AND VERIFY LUMINAIRE CATALOG NUMBER, POSITION OF LAMP SOCKET AND DIRECTION.
 4. PRIOR TO LUMINAIRE INSTALLATION, VERIFY THAT THE LUMINAIRE CATALOG NUMBER MATCHES THE CATALOG NUMBER SHOWN ON THE DRAWING.

PARKING AREA STATISTICS					
Description	Avg	Max	Min	Max/Min	Avg/Min
PARKING	3.0fc	6.3fc	0.3fc	21.0:1	10.0:1
DRIVE	4.1fc	8.8fc	2.1fc	4.2:1	2.0:1
ALL SITE	0.3fc	9.7fc	0.0fc	N/A	N/A

LIGHTING FIXTURE SCHEDULE								
FIXTURE TAG	SYMBOL	MANUFACTURER	MODEL NUMBER	LAMPS	VOLTAGE	WATTAGE	MOUNTING	NOTES
F1	☉	PHILLIPS	ECF-APD-MRI-1-4-70LA-NW-UNV-BLP-MS-A-277V (PROVIDE POLE AND HEAD SAMPLE OF BLACK AND BRONZE COLORS FROM THE MANUFACTURER FOR OWNER FINAL SELECTION)	LED 7659Lm/EACH 4000K-70CRI	120V-277V	70W	POLE	(1) POLE LIGHT, 12FT POLE, WITH 2 POLE HEAD, DRILLING PATTERN AS REQUIRED BY POLE HEAD, BLACK OR BRONZE IN COLOR AS SELECTED BY OWNER (PROVIDE MANUFACTURER COLOR SAMPLE). PROVIDE 12FT POLE WITH VIBRATION DAMPERS AND GROUND LUG CONNECTION. POLE SHALL WITHSTAND WEIGHT AND E.P.A FOR 90M WIND
F2	☉	PHILLIPS	ECF-APD-MRI-2-5-70LA-NW-UNV-BLP-MS-A-277V (PROVIDE POLE AND HEAD SAMPLE OF BLACK AND BRONZE COLORS FROM THE MANUFACTURER FOR OWNER FINAL SELECTION)	LED 7421Lm/EACH HEAD 4000K	120V-277V	140W	POLE	(1) POLE LIGHT, 12FT POLE, WITH 2 POLE HEAD, DRILLING PATTERN AS REQUIRED BY POLE HEAD, BLACK OR BRONZE IN COLOR AS SELECTED BY OWNER (PROVIDE MANUFACTURER COLOR SAMPLE). PROVIDE 12FT POLE WITH VIBRATION DAMPERS AND GROUND LUG CONNECTION. POLE SHALL WITHSTAND WEIGHT AND E.P.A FOR 90M WIND
F2A	☉	PHILLIPS	ECF-APD-MRI-4-3-70LA-NW-UNV-BLP-MS-A-277V (PROVIDE ARM AS REQUIRED) (PROVIDE POLE AND HEAD SAMPLE OF BLACK AND BRONZE COLORS FROM THE MANUFACTURER FOR OWNER FINAL SELECTION)	LED 7421Lm/EACH HEAD 4000K	120V-277V	280W	POLE	(1) POLE LIGHT, 12FT POLE, WITH 2 POLE HEAD, DRILLING PATTERN AS REQUIRED BY POLE HEAD, BLACK OR BRONZE IN COLOR AS SELECTED BY OWNER (PROVIDE MANUFACTURER COLOR SAMPLE). PROVIDE 12FT POLE WITH VIBRATION DAMPERS AND GROUND LUG CONNECTION. POLE SHALL WITHSTAND WEIGHT AND E.P.A FOR 90M WIND
F3	☉	PHILLIPS	ECF-APD-MRI-1-3-70LA-NW-IS-UNV-BLP-MS-A-277V (PROVIDE POLE AND HEAD SAMPLE OF BLACK AND BRONZE COLORS FROM THE MANUFACTURER FOR OWNER FINAL SELECTION)	LED 7955Lm/EACH 4000K-70CRI	120V-277V	70W	POLE	(1) POLE LIGHT, 12FT POLE, WITH 2 POLE HEAD, DRILLING PATTERN AS REQUIRED BY POLE HEAD, BLACK OR BRONZE IN COLOR AS SELECTED BY OWNER (PROVIDE MANUFACTURER COLOR SAMPLE). PROVIDE 12FT POLE WITH VIBRATION DAMPERS AND GROUND LUG CONNECTION. POLE SHALL WITHSTAND WEIGHT AND E.P.A FOR 90M WIND
F3	☐	PHILLIPS	121-16L-1000-NW-G3-3-EBPC-UNV	LED 4442Lm/EACH 4000K-80CRI	120V	55W	WALL MOUNTED	LED WALL MOUNTED LIGHT FIXTURE.
F4	☉	FC LIGHTING	FCC618W-120V-LED3K-BZ-UNFL-DNFL	LED 1000Lm/EACH 3000K	120V	24W	WALL	(1) CYLINDER WALL MOUNTED LIGHT FIXTURE WITH UP/DOWN NARROW FLOOD LIGHT OUTPUT. BACK IN COLOR.



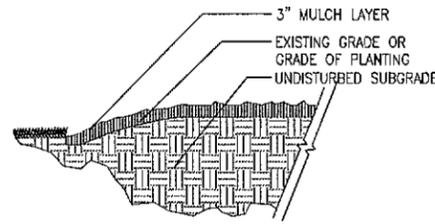
1 SITE PLAN - PHOTOMETRIC
1" = 20'-0"

PROJECT NAME	MULTI-TENANT BUILDINGS	
	281 NORTH EDWARDS BLVD.	
SHEET NAME	SITE PLAN PHOTOMETRIC	
	LAKE GENEVA, WI	
PROJECT No.	15.GMX.009	
	SHEET No.	
DATE	10/14/15	
	11/02/15	
DESCRIPTION	ISSUED FOR REVIEW	
	ISSUED FOR REVIEW	
No.	1	
	1	
DATE	10/14/15	
	11/02/15	
DESCRIPTION	ISSUED FOR REVIEW	
	ISSUED FOR REVIEW	
No.	1	
	1	
DATE	10/14/15	
	11/02/15	
DESCRIPTION	ISSUED FOR REVIEW	
	ISSUED FOR REVIEW	
No.	1	
	1	


 715 Ridgeway Drive, Michigan, IL 60550 T: 815.576.0200 www.artmconsultants.com

NOT FOR CONSTRUCTION

- NOTES:
- TRENCH EDGE DETAIL SHALL BE USED AT ALL LAWN EDGES AND AT EDGES OF MULCHED AREAS (FOR CONTAINMENT)
 - TRENCH EDGE SHALL CREATE A CLEAN SEPARATION BETWEEN AREAS, AND SHALL CREATE SMOOTH AND EVEN LINES (AS INDICATED ON PLANS)



TRENCH EDGE DETAIL
SCALE: 1"=1'-0" DT-trench-gn

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES. SEE CONSTRUCTION NOTES.
- DO NOT WILLFULLY PROCEED WITH PLANTINGS AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY NECESSARY REVISIONS AND COSTS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AND/OR SUPPLIERS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- THE LANDSCAPE CONTRACTOR IS TO RECEIVE THE SITE AT +/- 1/10TH OF AN INCH.
- REFER TO SPECIFICATIONS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION.
- ALL TREES SHALL BE TAGGED BY THE PROJECT MANAGER AT A NURSERY SELECTED BY THE LANDSCAPE CONTRACTOR OR AT THE DISCRETION OF THE PROJECT MANAGER.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL OF THE PROJECT MANAGER PRIOR TO DIGGING ANY HOLES. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROJECT MANAGER ADEQUATE ADVANCE NOTICE FOR ON-SITE APPROVALS. THE LANDSCAPE CONTRACTOR IS TO THE FOLLOWING BEFORE BEGINNING INSTALLING PLANTINGS:
SHRUBS - LAY OUT THE ACTUAL CONTAINERS ON-SITE BEFORE DIGGING HOLES.
TREES - STAKE THE LOCATIONS BEFORE DIGGING HOLES. ANY TREE PLANTED WITHOUT ITS FINAL LOCATION APPROVED BY THE PROJECT MANAGER MAY BE REQUESTED TO BE RELOCATED AT THE SOLE EXPENSE OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AT LEAST 48 HOURS IN ADVANCE PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
- IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF AREAS ON THE SITE AND THE DRAWINGS, CONTACT THE PROJECT MANAGER FOR RESOLUTION.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANTS FREE OF PESTS AND/OR DISEASES. PRE-SELECTED OR "PROJECT MANAGER TAGGED" PLANT MATERIAL MUST BE INSPECTED BY THE LANDSCAPE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIAL PER THE SPECIFICATIONS.
- GROUNDCOVERS AND SHRUBS ARE TO BE TRIANGULARLY SPACED UNLESS INDICATED ON THE PLANS.
- ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM, UNLESS OTHERWISE NOTED.
- ALL TREES, SHRUB AND GROUNDCOVER AREAS (EXCLUDING TURF AND SLOPE AREAS) ARE TO BE MULCHED PER DETAILS.
- ALL MULCH TO BE SHREDDED HARDWOOD MULCH.
- TREES SHALL BE SET BACK A MINIMUM OF TEN FEET (10') HORIZONTALLY FROM UTILITY STRUCTURES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, VALVE BOXES, FIRE HYDRANTS, TRANSFORMERS AND SWITCH GANS. TREES SHALL BE SET BACK A MINIMUM OF FIVE (5') HORIZONTALLY FROM SANITARY SEWER AND WATER SERVICES. CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS UNDER THE APPROVAL OF OWNER. REFER TO CIVL DRAWINGS PREPARED BY OTHERS.
- PLANTING RESTRICTIONS: PLANT DURING ONE OF THE FOLLOWING PERIODS. COORDINATE PLANTING PERIODS WITH MAINTENANCE PERIODS TO PROVIDE REQUIRED MAINTENANCE FROM DATE OF SUBSTANTIAL COMPLETION.
 - SPRING PLANTING: 4/1 - 6/15
 - FALL PLANTING: 9/1 - 11/1

REV.	COMMENT	DATE

SEAL:

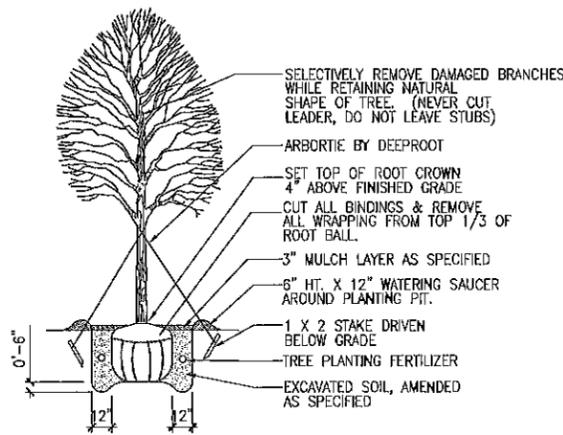
DATE: 10/20/2016
JOB NO.: 16-868
DRAWN BY: CW
CHECKED BY: TS

DRAWING TITLE:
LANDSCAPE DETAILS

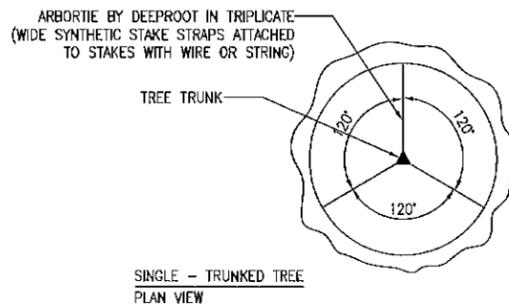
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LP-500

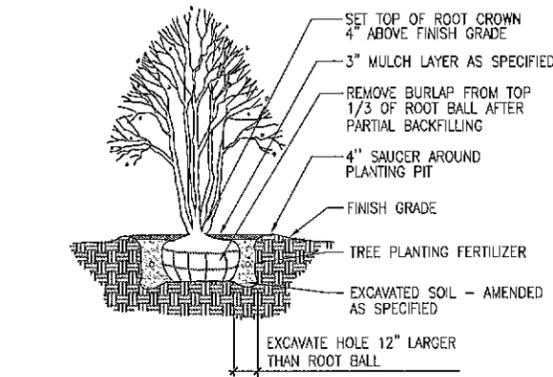
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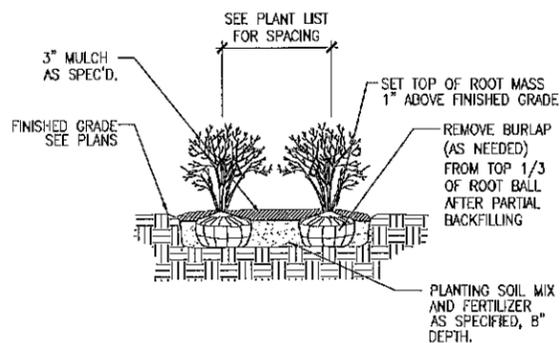
SHADE TREE PLANTING
SCALE: 1/4"=1'-0" DT-tree-n-viro-gn



TREE GUYING DETAIL - SHADE TREE
SCALE: 1/4"=1'-0" DT-tree-n-viro-gn-plan

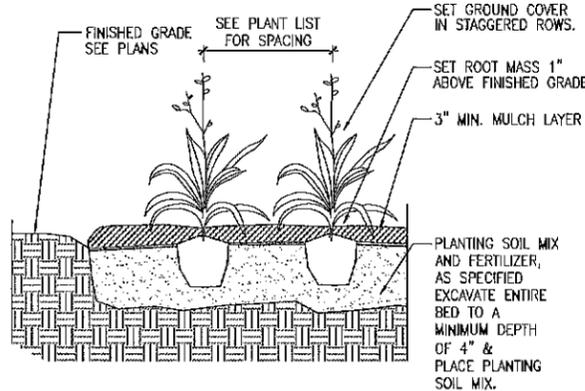


ORNAMENTAL TREE PLANTING
SCALE: 1/4"=1'-0" DT-ornamentaltree-gn

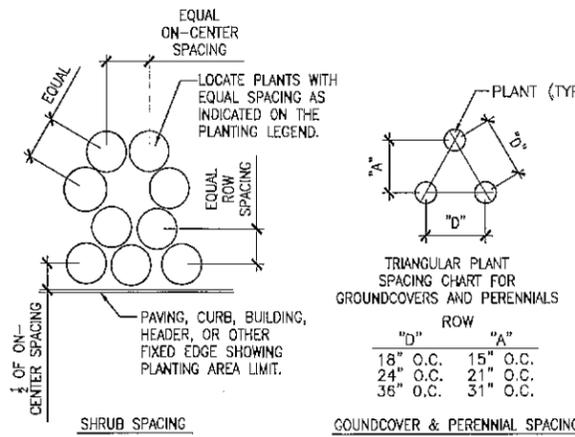


ALL PLANTS TO BE INSTALLED IN STAGGERED ROWS UNLESS OTHERWISE NOTED ON PLANS

SHRUB PLANTING DETAIL
SCALE: 1/2"=1'-0" DT-shrub-gn



GROUNDCOVER PLANTING
SCALE: 1"=1'-0" DT-groundcover-gn



PLANT SPACING DETAIL
SCALE: 1/2"=1'-0" DT-plantspc-gn

PLANTING NOTES
SCALE: NTS DT-plantnote-gn

located along the entrance drive and the drive abuts another drive and not a public road. We have no objections to this request.

- *Minimum building separation less than 20'-0" which will be +/- 11'-3";*
 - *Building to be situated less than 40'-0" from STH 50 to be located at +/- 25'-0";*
 - *Monument sign to be situated less than 8'-0" at about +/- 6'-0" from the property line;*
 - *Two-way drive aisles less than 26'-0" wide to be 24'-0" wide; **It is not uncommon for parking lots to be constructed with 24' wide drive aisles.***
 - *Proposed drive-through lane width to be 12'-0" – **This is within normal design and development standards. The Radii meet recommended minimums as does the proposed width.***
- Design and materials for the retaining wall were not part of the submittal. The applicant and engineer are aware of this and specific detail will be provided prior to final approval. It is my understanding that due to the limited space for Tie back zone that a Soldier Pile wall is being proposed, per the plan the wall is 1 to 6 feet in height with a safety fence and refers to the architectural and structural drawings for detail. Retaining walls details, specifications and design are required for the retaining walls and the fence.
 - The two sanitary manholes at locations 7 and 12 may be removed and combined into a single sampling manhole located where Cleanout 3 is proposed. This will eliminate two structures and provide a single manhole for sampling. The Sampling Manhole should be placed after the grease interceptor. I have attached a detail of a typical sampling manhole to be added to the plans.
 - The Sanitary Connection to the existing 10" on Edwards Boulevard requires notification to the city prior to starting work, the excavation will require slurry backfill and pavement restoration in kind. This work will require the partial closure of the right turn lane(s). A traffic control plan will be required for approval prior to making the connection. The curb and gutter that is removed as part of the connection shall be replaced in kind and overlaid to match existing pavement. Add notes/details to the plans specifying requirements as outlined.
 - The Watermain connection sheet C4 key note 1 should be revised to include notification of City two days prior to connection, and the existing watermain revised to an 8". The vault can be removed and replaced with an 8" Gate Valve and box.
 - The watermain detail sheets show hydrant assemblies and tracer wire access boxes but there do not appear to be any proposed as part of the development.
 - The Watermain key on Sheet C4 specifies Class 52 Ductile pipe which is acceptable. PVC C-900 watermain pipe with tracer wire is more commonly used as it is less costly to install and maintain.
 - Sheet C4 Note 9 specifies trench backfill to be used in areas of proposed pavement. The backfill shall be specified as granular backfill meeting the requirements of section 8.43.4 if the Standard Specifications for Sewer and Water. It is noted in the general notes and on the Typical details as the correct backfill.
 - Sheet C4 notes 1 and 5 of the water key specify manhole valve vaults and valves. The valve vaults should be replaced with a standard 5 ¼" Valve box for the new installations.
 - Per the detail and under the Standard watermain provisions note 6 on sheet C8 all valve vaults are to be 5 feet in diameter, However the water key on sheet C4 specifies 4 foot manholes. This can be removed with the replacement of the valves vaults with boxes.

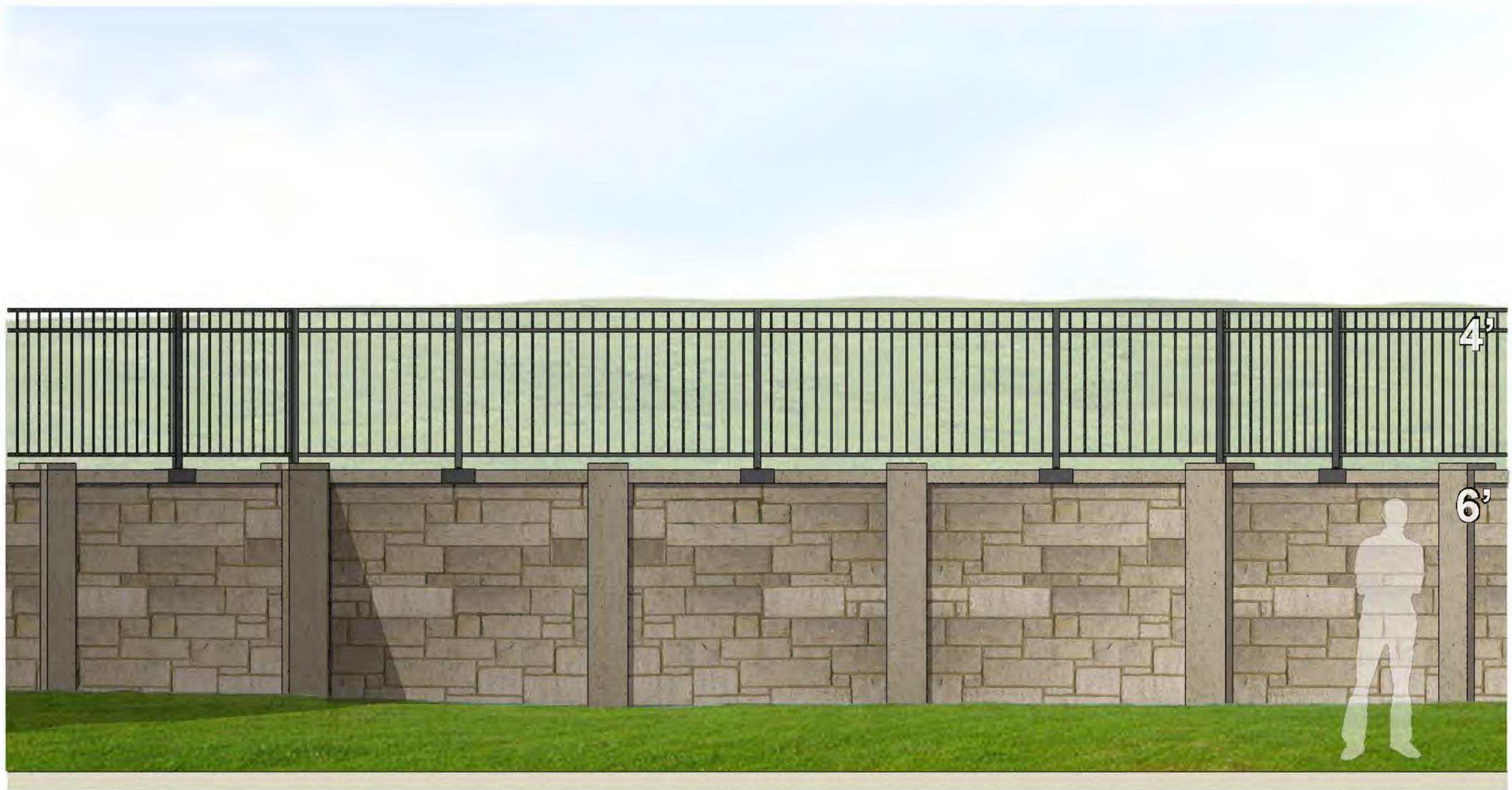
- There appears to be a minor labeling error in the watermain system. The valves at locations 4 and 5 are called out as a 6” but the mains are all 8”. Clarify, and provide a Key item for the watermain Tees also.
- Sheet C8 note 10 of the Sanitary Sewer Provision references the “Village”.
- Sheet C8 Note 16 of the Standard Earthwork, Grading and Paving provisions reference a recent geotechnical report completed by ECS, Midwest. Please provide a copy of the report when available.

Storm Water Management:

The project is exempt from post construction storm water management per WDNR 151.12(c) as a redevelopment site with no increase in exposed parking lots or roads. The parcel is currently gravel and asphalt parking with minimal landscaped area. The development includes additional landscaping and a reduction in impervious area, including a significant reduction of parking and driveways. The property known as Lot 1 of CSM 2973 located at 281 North Edwards Street and its contributing drainage area was also included as part of the design for the Walmart detention basin located approximately 1000 feet to the south east. The existing basin is located within Walmart Property and is maintained by Walmart. Additional storm Water management will not be required.

Although the material has been reviewed, the Applicant and their consultants are ultimately responsible for the thoroughness and accuracy of the site plans for conformance with state statutes, standards and The Lake Geneva municipal city code.

Please contact me if you have any questions or comments pertaining to this project at (262) 758-6010 or ggovernatori@kapurinc.com



Retaining Wall at Northwest Corner