

CITY OF LAKE GENEVA
PLAN COMMISSION MEETING
MONDAY, DECEMBER 21, 2015- 6:30 PM
COUNCIL CHAMBERS, CITY HALL

Agenda

1. Meeting called to order by Mayor Connors.
2. Roll Call.
3. Approve Minutes of November 16, 2015 Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence. - None
6. Downtown Design Review - None
7. Continued Public Hearing and recommendation on a Conditional Use Application filed by Kelly C. Frazier of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Bruce & Joy Irussi, 13481 Edgewater Drive, Lakewood, OH 44107, to construct an addition to a Single Family Residence using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at 145 Lakeview Drive, Lake Geneva, WI, Tax Key No. ZLM 00074.
8. Public Hearing and recommendation on a Precise Implement Plan (PIP) Amendment for additions to an existing building filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Geneva Professional Group, 312 Center Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00161.
9. Public Hearing and recommendation on a Conditional Use Application filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Edith G. Andrew Trust for the installation of a decorative fence in excess of three feet (six feet), in the front street yard on property line and in Right of Way at 1322 W. Main Street, Lake Geneva, WI 53147, Tax Key No. ZYUP 00094L.
10. Public Hearing and recommendation on a Precise Implement Plan (PIP) Amendment filed by Tom Howald, ALDI, Inc. Oak Creek Division, 9342 South 13th Street, Oak Creek, WI 53154 for Interra-Sky Lake Geneva LLC, 2400 Augusta Drive, Suite 330, Houston TX, 77057 for the building at 200 N Edwards Blvd., Lake Geneva, WI 53147 to modify the entrance over an existing tenant space and add a loading dock to rear of building, Tax Key No. ZA196100001.
11. Public Hearing and recommendation on a Conditional Use Application filed by Lake Geneva Architects, 201 Broad Street for Dean Athans, W3155 Snake Road, Lake Geneva, WI 53147 to exceed the Twenty foot wide passive recreational corridor in the Shore Yard Setback for new construction at W3155 Snake Road, Lake Geneva, WI 53147, Tax Key No. ZWIL 00004.
12. Adjournment

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate accommodations.

Posted 12/18/15

MINUTES

1. Meeting called to order by Mayor Connors at 6:30 pm.

2. Roll Call

Present: Al Kupsik, John Gibbs, Doug Skates, Cindy Flower
Also Present: Planner Mike Slavney, Atty. Dan Draper, Mayor Connors, Administrator Oborn,
Inspector Robers and Assistant Gregoles
Not Present: Tyler Frederick and Sarah Adams

3. Approve Minutes of October 19, 2015 Plan Commission meeting as distributed.

MOTION #1

Gibbs/Kupsik moved to approve the minutes of October 19, 2015 Plan Commission meeting as distributed.
The motion carried unanimously.

4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.

PUBLIC SPEAKER #1 – Dick Melmann /N1991 S Lake Shore Drive, LG

Melmann voiced his concerns regarding Symphony Bay supposed advertisement of lake rights and also gave the Commissioners a handout regarding the same. He had many concerns that the development was taking a new direction that what was originally proposed and wants to know if an 'In and Out' boat slip service is being added to the project?
(Handout copy attached to these minutes.)

5. Acknowledgment of Correspondence. - None

6. Downtown Design Review.

A) Application by Michelle Bergsma for Paws for Treats, 851 W Main Street, Lake Geneva, WI 53147 for a new exterior sign on the storefront at Tax Key No. ZOP 00254.

DISCUSSION

Applicant was not present at the meeting. Inspector Robers gave brief overview of the application and sign details and there was a brief discussion amongst the Commission regarding the details.

MOTION #2

Kupsik/Skates moved to approve the application by Michelle Bergsma for Paws for Treats, 851 W Main Street, Lake Geneva, WI 53147 for a new exterior sign on the storefront at Tax Key No. ZOP 00254. The motion carried unanimously.

B) Application by Julie Selby, for Board & Brush, 252 Center Street, Lake Geneva, WI 53147 for a new exterior signs on the monument, storefront and rear at Tax Key No. ZOP 00258.

DISCUSSION - Julie Selby (owner/applicant)

Applicant gave brief overview of the application and sign details and there was a brief discussion amongst the Commission to clarify the details.

MOTION #3

Kupsik/Flower moved to approve the application by Julie Selby, for Board & Brush, 252 Center Street, Lake Geneva, WI 53147 for a new exterior signs on the monument, storefront and rear at Tax Key No. ZOP 00258.
The motion carried unanimously.

- 7. Public Hearing and Recommendation on an a Conditional Use Application for Indoor Commercial Entertainment submitted by Julie Selby for Board & Brush, 800 Blue Spruce Circle, Hartland, WI 53029, for tenant space at 252 Center Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00258.**

DISCUSSION – Julie Selby (owner/applicant)

Applicant gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details.

PUBLIC SPEAKERS - None

MOTION #4

Skates/Gibbs moved to close the public hearing. The motion carried unanimously.

MOTION #5

Kupsik/Gibbs moved to approve the application for Indoor Commercial Entertainment submitted by Julie Selby for Board & Brush, 800 Blue Spruce Circle, Hartland, WI 53029, for tenant space at 252 Center Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00258. The motion carried unanimously.

- 8. Public Hearing and Recommendation on an a Conditional Use Application for a Physical Activity Studio (Yoga Studio) submitted by Samantha Strenger, 721 Geneva Street, Lake Geneva, WI 53147 for an upper level space at Good Vibes, at 234 Broad Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00257.**

DISCUSSION

Applicant was not present. Inspector Robers gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details.

PUBLIC SPEAKERS - None

MOTION #6

Kupsik/Mayor Connors moved to close the public hearing. The motion carried unanimously.

MOTION #7

Kupsik/Flower moved to approve the application for a Physical Activity Studio (Yoga Studio) submitted by Samantha Strenger, 721 Geneva Street, Lake Geneva, WI 53147 for an upper level space at Good Vibes, at 234 Broad Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00257, to include the findings of fact and staff recommendations. The motion carried unanimously.

- 9. Review and recommendation for a Site Plan Amendment filed by Basso Builders, 405 Skyline Drive, for property at the corner of Skyline Drive and Curtis Street, Lake Geneva, WI 53147, Tax Key No. ZA459300001.**

DISCUSSION – Josh Basso / Basso Builders

Applicant gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details. There was a brief discussion of pool details, walkway to, planned fencing, landscaping plans and pool hours.

MOTION #8

Kupsik/Skates moved to approve the recommendation for a Site Plan Amendment filed by Basso Builders, 405 Skyline Drive, for property at the corner of Skyline Drive and Curtis Street, Lake Geneva, WI 53147, Tax Key No. ZA459300001. To include staff recommendations, 2 Spruce trees planted to the West of the pool, staff to work with Basso to select an attractive fence and to add a walkway to the pool between buildings 2 & 3 to the parking lot. The motion carried unanimously.

10. Review and recommendation for a Preliminary Plat filed by Kapur & Associates, Inc. for Symphony Bay, for property located South of Townline Road, North of Bloomfield Road and East of Edwards Blvd. Lake Geneva, WI 53147, formally known as Southland Farms Subdivision, Tax Key No's to be assigned.

DISCUSSION – Brian Pollard/Fairwyn Development and Steve Batchesson/Taylor Morrison

Applicant gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details. Commissioner Flower suggested there may be a conflict of interest with their engineer being Kapur & Associates, which is also the City's engineer company. Atty. Draper confirmed that the Plan Commission has the right to request a second engineer's review. Inspector Robers suggested that perhaps it is better to have an independent engineer's review done during the final plat review which will encompass more detail (elevations, drainage, complete engineering for the whole subdivision). Slavney agreed and added that the independent engineer should also review the traffic study.

MOTION #9

Flowers/Mayor Connors moved to approve the recommendation for a Preliminary Plat filed by Kapur & Associates, Inc. for Symphony Bay, for property located South of Townline Road, North of Bloomfield Road and East of Edwards Blvd. Lake Geneva, WI 53147, formally known as Southland Farms Subdivision, Tax Key No's to be assigned. To include staff recommendations, extension of the trail on the SE corner with Bloomfield Road and an independent engineer to be brought on to do a review of all pertinent engineering details at the Final Plat. The motion carried unanimously.

11. Public Hearing and recommendation on a Conditional Use Application filed by Kelly C. Frazier of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Bruce & Joy Irucci, 13481 Edgewater Drive, Lakewood, OH 44107, to construct an addition to a Single Family Residence using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at 145 Lakeview Drive, Tax Key No. ZLM 00074.

DISCUSSION – Kelly C. Frazier / McCormack & Etten (agent for applicant)

Frazier gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details. There was significant discussion regarding the existing neighborhood drainage issues and drainage issues for this new project and how they will affect each other. Specific drainage studies and documents were not available in time for review prior to this meeting but are now available per Frazier. Inspector Robers stated that no building permits would be created until the City engineer had approved their drainage plan. Mayor Connors/Flower stated that they would like to have the City engineer approve the drainage first before going any further with this request.

PUBLIC SPEAKER #1 –Dawn Marie Mancusso /1575 Orchard Lane, LG

Mancusso is a neighbor to the applicant's site address and voiced serious concerns regarding drainage and flooding. She already has existing water drainage issues and fears this will add to those issues.

PUBLIC SPEAKER #2 = Hugh Connelly/1589 Orchard, LG

Connelly is a neighbor to the applicant's site address and voiced serious concerns regarding drainage and flooding. He already has existing water drainage issues and fears this will add to those issues. He feels they are channeling it into a smaller area than it is going to now and when the proposed basin overflows it has no-where to go.

PUBLIC SPEAKER #3 – David Frost/1556 Orchard Lane, LG

Association Board Member / Founder of the Architectural Review Commission

The board does not have a formal opinion on this yet because there is nothing binding yet.

However, he would like to see better communication from the applicant to the board and prefers to see this project done right and not rushed into in any way.

PUBLIC SPEAKER #4 – Jackie Getzen, 15 Lakeview Drive, LG

Getzen is in the neighborhood of the applicant's site address and voiced her concerns regarding drainage and flooding.

PUBLIC SPEAKER #5 – Jim Wilkins / 1650 N Lake Shore Drive, LG

Wilkins is in the neighborhood of the applicant's site address and voiced serious concerns regarding drainage and flooding.

MOTION #10

Mayor Connors/Skates moved to continue to the December 21, 2015 meeting, the public hearing and the application filed by Kelly C. Frazier of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Bruce & Joy Irussi, 13481 Edgewater Drive, Lakewood, OH 44107, to construct an addition to a Single Family Residence using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at 145 Lakeview Drive, Tax Key No. ZLM 00074. The motion carried unanimously.

12. Adjournment

MOTION #11

Skates/Gibbs moved to adjourn the meeting at 8:22 pm.
The motion carried unanimously.

/s/Jackie Gregoles, B&Z Administrative Assistant

THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE PLAN COMMISSION

(POLLARD'S SYMPHONY BAY DEVELOPMENT Offers Lake Geneva Access)

Chicago Tribune Advertising. New Homes Marketplace Nov. 9, 2015 **Chicago**
area builders offer recreationally-rich living options



Illinois homebuilders, Shodeen Homes, L.L.C and Taylor Morrison Homes, are offering affordable, low-maintenance living in the recreationally-rich Lake Geneva, Wisconsin area. Less than two hours from the city of Chicago, Lake Geneva has long been a vacation destination for Illinois-natives with its 5,500-acre lake, beaches, restaurants, resorts and golf courses.

Taylor Morrison Homes is in the final approval process with the City of Lake Geneva for Symphony Bay, a community of 425 maintenance-free homes located between Bloomfield and East Townline Roads in Lake Geneva. An 8,000-square-foot recreation center that includes an outdoor pool, bocce and pickleball courts and putting green will serve as the center of the community. Residents will enjoy highly sought-after lake access with boat slips available.

"We are in the final approval process with the City of Lake Geneva and are very excited to offer maintenance-free homes in this popular vacation area starting this summer," says Bob Meyn, vice president of Sales and Marketing for the Chicago Division of Taylor Morrison Homes. Chicago. "The boat slip access, recreation center and all that Lake Geneva has to offer, in conjunction with the maintenance-free lifestyle provided by Symphony Bay, is sure to be a hit with Chicago area buyers who are looking for year-round resort-style living."

Symphony Bay will include 425 single-family homes and duplexes all of which are ranch plans that include basements and two-car garages. The single-family homes, in two series, will range from 1,500 to 2,900 square feet and will start in the mid-\$200,000s. The duplexes will range from 1,200 to 1,800 square feet in size and will be priced from the low \$200,000s.

Sales at Symphony Bay are expected to begin in June of 2016 and interested buyers are encouraged to add their name to a VIP list by calling 847-232-8480.

Shodeen Homes, L.L.C., a respected, family-owned builder for nearly 55 years, is offering low-maintenance homes at the Rowhomes of Fontana, just off of Highway 67 and within walking distance of the lake and downtown Fontana. Homes range from 1,923 to 1,980 square feet in size with three bedrooms, 2.5 baths, balconies, two-garages and are introductory priced from \$374,900. "Owning a lake home is no longer a dream," says Anna Harmon, director of Marketing and Public Relations for Shodeen Homes. "The Rowhomes of Fontana offer an affordable opportunity to own the vacation home you've always dreamed of having. A quick walk up Third Avenue takes you to the lake, Fontana Beach and Municipal Pier, Chuck's Lakeshore Inn and much more. The Abbey Resort, Spa and Golf Course is also within walking distance. The community is truly in the heart of every possible amenity, making year-round vacationing a delight."

To truly embrace the lifestyle offered at the Rowhomes of Fontana, Shodeen Homes is including a one-year boat club membership with home purchase.

"What better way for residents to enjoy and appreciate vacation living on the lake than with a boat club membership," Harmon adds.

The Rowhomes of Fontana are located at 138 Fontana Blvd. in Fontana, Wisconsin, just off Highway 67. The sales center is open Monday through Saturday from 10 a.m. to 5 p.m. and Sunday from noon to 5 p.m. For more information, call 262-394-5650 or visit shodeenhomes.com.

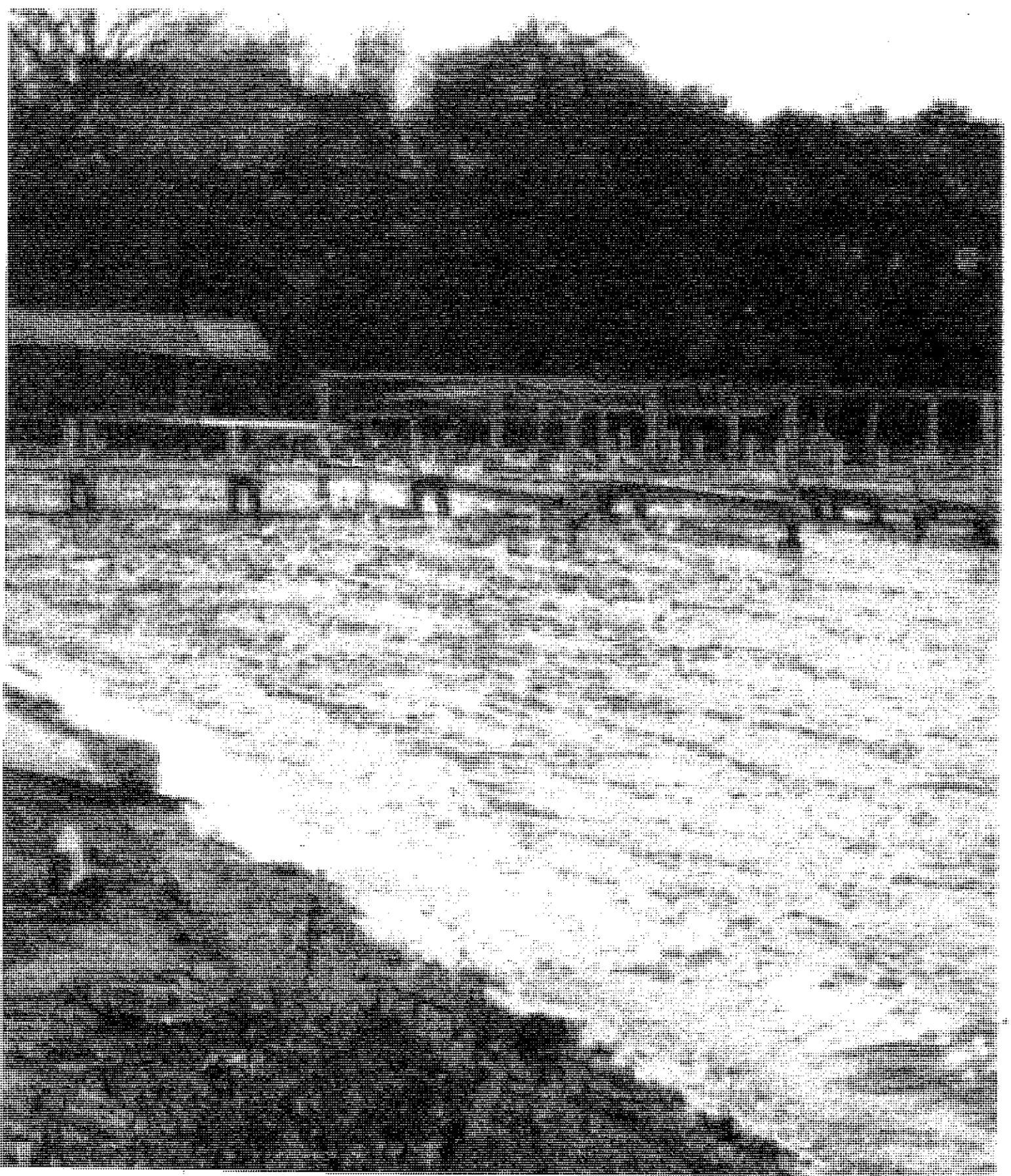
Symphony Bay Development

To replace Pollard's Southland Farms Development previously approved in 2007

7 27 15 Council Minutes = Brian Pollard, Fairwyn Development, 870 Townline Road, Lake Geneva, stated they already have a 2007 approved plat showing 145 acres of the 171 acres with approximately 145 acres of the 171 acres 441 units. They are going through the process again as they would like to reduce the number of homes. Alderman Chappell questioned the study showing minimal impact. Mr. Pollard stated they based the study off of similar 55 and older projects within a 30 mile radius of Lake Geneva. Rick Zirk, 1834 Walden Office Court, Schaumburg, Illinois, stated the original approved plan had a perceived impact on the fire, police and schools. This is an opportunity to create an age targeted community for an active adult environment. He stated their goal is not to have children and will obtain his by controlling the product with certain amenities and the price point. They are designing a 4 million dollar amenity center, the houses will have minimal outside yard space and fences and swing sets will not be allowed. He stated there will not be as much demand on the school but noted that age group may impact Fire and EMS services. They spoke with the City of Mundeline's Administrator regarding their new Del Webb community. That administrator put together a summary of calls before, during, and after the community was built. They found there was more call as the City was bigger, however, they did not have a remarkably higher percentage of ambulance calls as compared to a normal neighborhood.

Resolution 15-R39, to vacate, assign, transfer, and convey to the Owner all of the City's right, title, and interest into all park land, walkway, alley, and street rights-of-way within approximately 145 acres of the 171 acres under the previous Plat for Southland Farms to accommodate the revised lot, park land, walkway, alley and street rights-of-way configurations under the amended General Development Plan for the Symphony Bay development,

Mayor Connors stated the dwelling has been slightly reduced and the homes are to be designed in a fashion to attract people who are roughly 50 years and older. It is not anticipated that families will be moving into these homes.



POLLARD'S MARINA IN BUTTONS BAY

POLLARD PLAN FOR BUTTONS BAY???



STAFF REPORT
To Lake Geneva Plan Commission

Meeting Date: December 21, 2015

Agenda Item #7

Applicant:

Kelly Frazier for Bruce & Joy Irussi
13481 Edgewater Drive
Lakewood, OH 44107

Request:

Conditional Use Application to use the Single Family (SR-4) zoning requirements in an Estate Residential (ER-1) District for an addition to an existing building at 145 Lakeview Drive Tax Key No. ZLM 00074.

Description:

The applicant would like to add on their existing home in home in the Manor subdivision that would require a Conditional Use permit to use the Zoning setbacks from the Single Family Residential (SR-4) District.

Staff Recommendation:

Staff recommends that the applicants be allowed to use Single Family Residential (SR-4) District with the requirements that the approval of the Manor Board is obtained and that a drainage plan is approved by staff and the City Engineer to address water runoff concerns of the surrounding neighbors.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.

6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:

1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will not be adequately served by, and will impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #8

Applicant:
Ken Etten for Geneva Professional Group
400 Broad Street
Lake Geneva, WI 53147

Request:
Amendment to the Precise Implementation Plan
(PIP) for Geneva Professional Group, 312 Center
Street, Tax Key No. ZOP 00161.

Description:

The applicant would like to add on to the building to create addition office space and to square off the existing building which will encroach on a small section of the rear property line.

Staff Recommendation:

Staff has no objection to the request as it will only impact an approximately two foot section of the rear lot line for the South addition and all other setbacks meet requirements for Central Business District.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #9

Applicant:

Ken Etten for Edith G. Andrew Trust
400 Broad Street
Lake Geneva, WI 53147

Request:

Conditional Use permit for fence in front street
yard setback to exceed three feet and be partially
installed in ROW, at 1322 W. Main Street, Tax
Key No. ZYUP 00094L.

Description:

The applicant would like to replace an existing six foot fence with a new six foot fence at the front property line for privacy and to reduce traffic noise.

Staff Recommendation:

Staff recommends that the applicants be allowed to rebuild the new fence in the same location of the old fence. The existing fence and brick pillars used to be completely on the subject property until more Right of Way was taken to widen Main Street. Applicant has contacted the Public Work Department and they have no problem with the replacement as it will line up with the neighbors' fences on the East and West sides.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
 1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will not be adequately served by, and will impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #10

Applicant:
ALDI for Interra-Sky Lake Genva LLC
9342 South 13th Street
Oak Creek, WI,

Request:
Amendment to the Precise Implementation Plan
(PIP) the property located at 200 N Edward Blvd.
Tax Key No. ZA196100001.

Description:

The applicant would like to convert the entrance over and existing tenant space while still matching the newly built one at Home Goods, and would like to construct a small loading dock at the rear.

Staff Recommendation:

Staff has no objection to the request as it will maintain a balanced look the structure while allowing some leeway for store design.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan,

program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #11

Applicant:

Dean Athans

W3155 Snake Road

Lake Geneva, WI 53147

Request:

Conditional Use Permit to exceed the twenty foot passive recreational corridor in the Shore Yard at W3155 Snake Road, Tax Key No. ZWIL 00004.

Description:

The applicant is going to remove the existing home on the property and rebuild a new home. While the new home will meet all of the setbacks for Estate Residential (ER-1), they propose to install a patio and pool in the Shore Yard setback that will exceed the twenty foot passive recreational corridor.

Staff Recommendation:

Staff has no objection to the request as the current home is partially built in the setback. They will be removing that structure and several other structures already in the Shore Yard setback for a net reduction of 2800 square feet and restoring the hill side to a more natural condition, thus improving water runoff into the lake.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
 1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff may provide additional comment on the above items and will comment on remaining agenda items at the meeting.

Zoning Administrator

Notice

NOTICE IS HEREBY GIVEN that a Continued Public Hearing will be held before the City Plan Commission on Monday, December 21, 2015 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, on a Conditional Use Application filed by Kelly C. Frazier of McCormack + Etten / Architects, LLP 400 Broad Street, Lake Geneva, WI 53147 for Bruce & Joy Irussi, 13481 Edgewater Drive, Lakewood, OH 44107, to construct an addition to a Single Family Residence on an existing lot using the SR-4 requirements in an Estate Residential Zoning District (ER-1), at the following location:

TAX KEY NO. ZLM 00074 – 145 Lakeview Drive

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, December 21, 2015 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any objections that may have been filed and to hear all persons desiring to be heard.

Dated this 4th day of December, 2015.

Mayor James R. Connors
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on December 10th & 17th.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

145 Lake View Drive, Lake Geneva Manor, Lots 10,11,13 and north part of Lot 14

See attached Plat of survey for legal description Tax Key No. ZLM00074

NAME AND ADDRESS OF CURRENT OWNER:

Bruce and Joy Irussi

13481 Edgewater Drive, Lakewood, OH 44107

TELEPHONE NUMBER OF CURRENT OWNER: Joy Irussi, cell phone: 414-581-6114

NAME AND ADDRESS OF APPLICANT:

Kelly C. Frazier of McCormack + Etten / Architects, LLP

400 Broad Street, Lake Geneva, WI 53147

TELEPHONE NUMBER OF APPLICANT: Kelly Frazier, home office phone: 262-245-9531

PROPOSED CONDITIONAL USE:

Conditional Use request for use of SR-4 zoning setback requirements since property is substandard in a ER-1 zoning district per Ordinance 98-408-(3).

ZONING DISTRICT IN WHICH LAND IS LOCATED: ER-1

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

McCormack + Etten / Architects, LLP, 400 Broad Str, Lake Geneva, WI 53147

Engineer and Builder yet to be determined

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

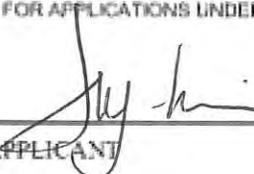
Permission to remodel and construct an addition to existing home within the two streetyard, sideyard setbacks and existing footprint at rear setback (6" encroachment into 30'-0" rear setback) and 35' height maximum allowed per SR-4

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

DATE

9/27/15

SIGNATURE OF APPLICANT



October 29, 2015

Mr. Ken Robers
Building Inspector / Zoning Administrator
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

**RE: APPLICATION FOR CONDITIONAL USE IN ER-1 DISTRICT
FOR ADDITION & REMODELING OF EXISTING RESIDENCE
MR. and MRS. BRUCE IRUSSI
145 LAKE VIEW DRIVE
LAKE GENEVA, WISCONSIN 53147**

Dear Mr. Robers and Members of the Plan Commission:

Mr. and Mrs. Bruce Irussi at 145 Lakeview in the Lake Geneva Manor Subdivision in the City of Lake Geneva wish to add to and remodel the Existing Residence. *The property is currently zoned ER-1 Estate Residential Zoning under the City of Lake Geneva Zoning Ordinance.*

The *Property* is Lot 10 thru 12 and the north 10' of Lot 14, Block 31 of Lake Geneva Manor Sub. Tract No. 17 and is designated as Tax Key #ZLM 00074. The irregular lot is 131'+/- at the Lake View Drive (west) lot line (clipped corner), 155.83'+/- at the Main Street (north) lot line, 120.05'+/- at the east lot line and 122'+/- at the south side lot line but jogs along the path. **Under the Lake Geneva Zoning Ordinance, the property is zoned ER-1, Estate Residential District. The minimum Lot Width under ER-1 is 150' and the minimum Lot Area is 40,000 square feet. *This lot is substandard under the bulk requirements of the ER-1 District in that the lot area is 25,250.00 square feet (0.58 acres).* In addition, the minimum required Rear Yard Setback under ER-1 is 30' and existing northeast corner of existing residence, proposed to be rear of home is 29.5'. ***Given the unusual lot configuration, Mr. and Mrs. Irussi requests a Conditional Use Approval to allow them to Remodel the existing and construct an Addition to their Existing Home within the setback requirements allowed under the SR-4, Single Family Residential Zoning District.*****

Under a previously adopted change in the Zoning Ordinance 98.407(3), Existing Single Family Residences on legal substandard lots within the ER-1 Zoning District can be remodeled as a Conditional Use using the lot width, lot frontage and setback requirements of the SR-4 Zoning District. *The SR-4 Zoning District allows for a minimum Lot Area of 9,000 square feet, a minimum Lot Width of 75', a minimum Street Frontage of 50', Street Setback of 25', Rear Lot Line Setback of 30', and Side Lot Line Setback of 6' minimum with a total combined Sideyard Setback of 15'.*

The proposed Remodeling and addition to existing would meet the City setback requirements at street yard setbacks at two streets, side yard setback and will not further exceed into the rear setback at the existing residence, which only encroaches by 6" under the SR-4 Single Family Zoning District requirements.

Included within this packet are the following:

- *Application for Conditional Use* and required fee.
- *Agreement for Services*, signed by the Owner (to follow when signed copy is received)
- *A. Lake Geneva Zoning Map showing location of Subject Property for Conditional Use* with zoning district and map of lands within 300' of property (Walworth County Map)
- *B. Existing Plat of Survey of Subject Property* showing existing buildings, driveway, lot dimensions, graphic scale, and north arrow
- *C. Proposed site plan of Subject Property* with all lot dimensions and setbacks as per the **SR-4** requirements showing graphic scale and north arrow
- *D. Written Justification* of the proposed **Conditional Use**.
- **E. Preliminary Floor Plans and Elevations** of the proposed **Addition & Remodeling**.

Thank you for your consideration of our project. Please let me know if you need additional information or have any questions.

Sincerely,



Kelly C. Frazier
McCormack + Etten / Architects

Notice

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before the City Plan Commission on Monday, November 16, 2015 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, on a Conditional Use Application filed by Kelly C. Frazier of McCormack + Etten / Architects, LLP 400 Broad Street, Lake Geneva, WI 53147 for Bruce & Joy Irussi, 13481 Edgewater Drive, Lakewood, OH 44107, to construct an addition to a Single Family Residence on an existing lot using the SR-4 requirements in an Estate Residential Zoning District (ER-1), at the following location:

TAX KEY NO. ZLM 00074 – 145 Lakeview Drive

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, November 16, 2015 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any objections that may have been filed and to hear all persons desiring to be heard.

Dated this 30th day of October, 2015.

Mayor James R. Connors
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on November 5th & 12th.

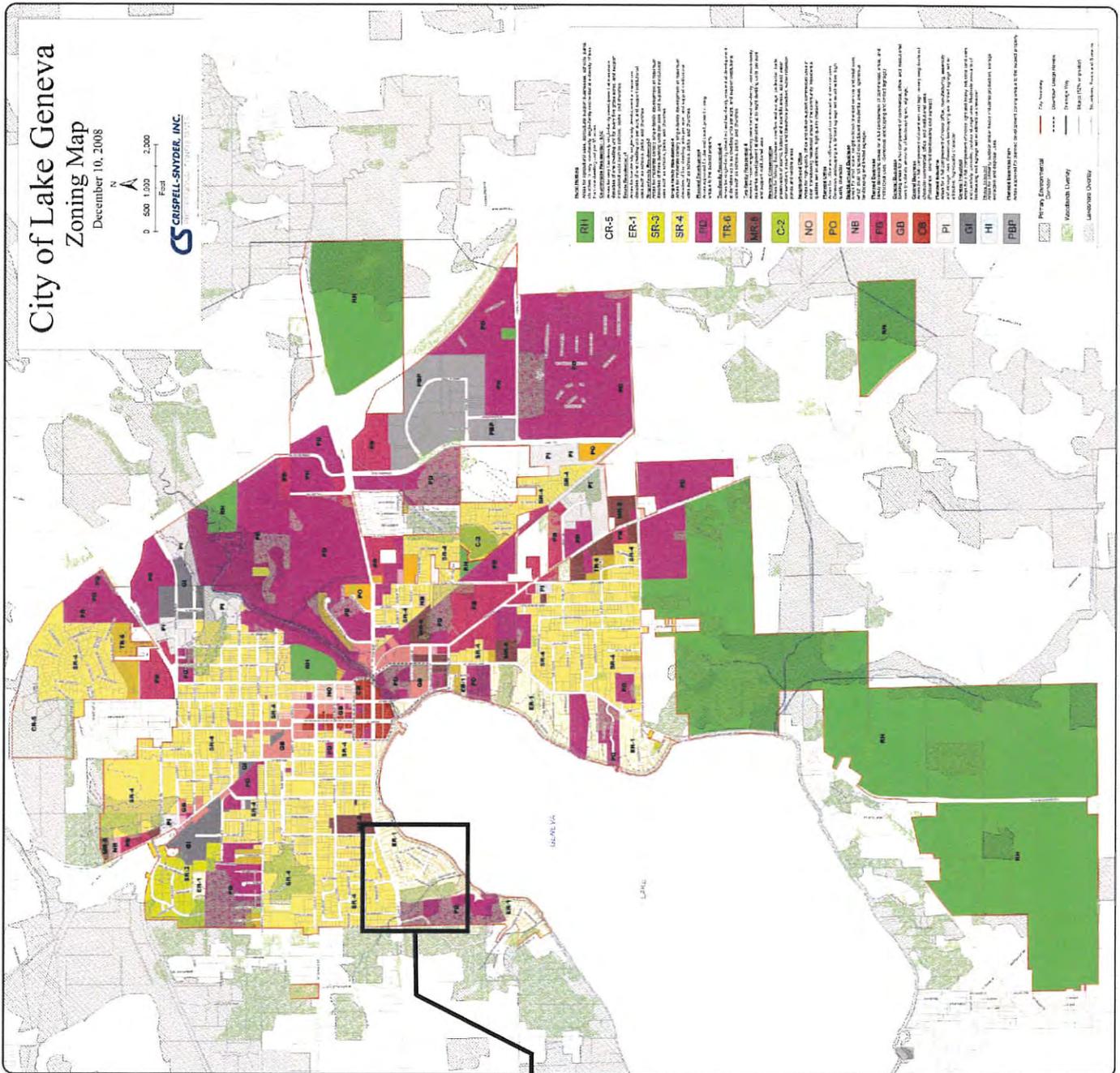
A. MAP OF PROPOSED CONDITIONAL USE

City of Lake Geneva

Zoning Map
December 10, 2008

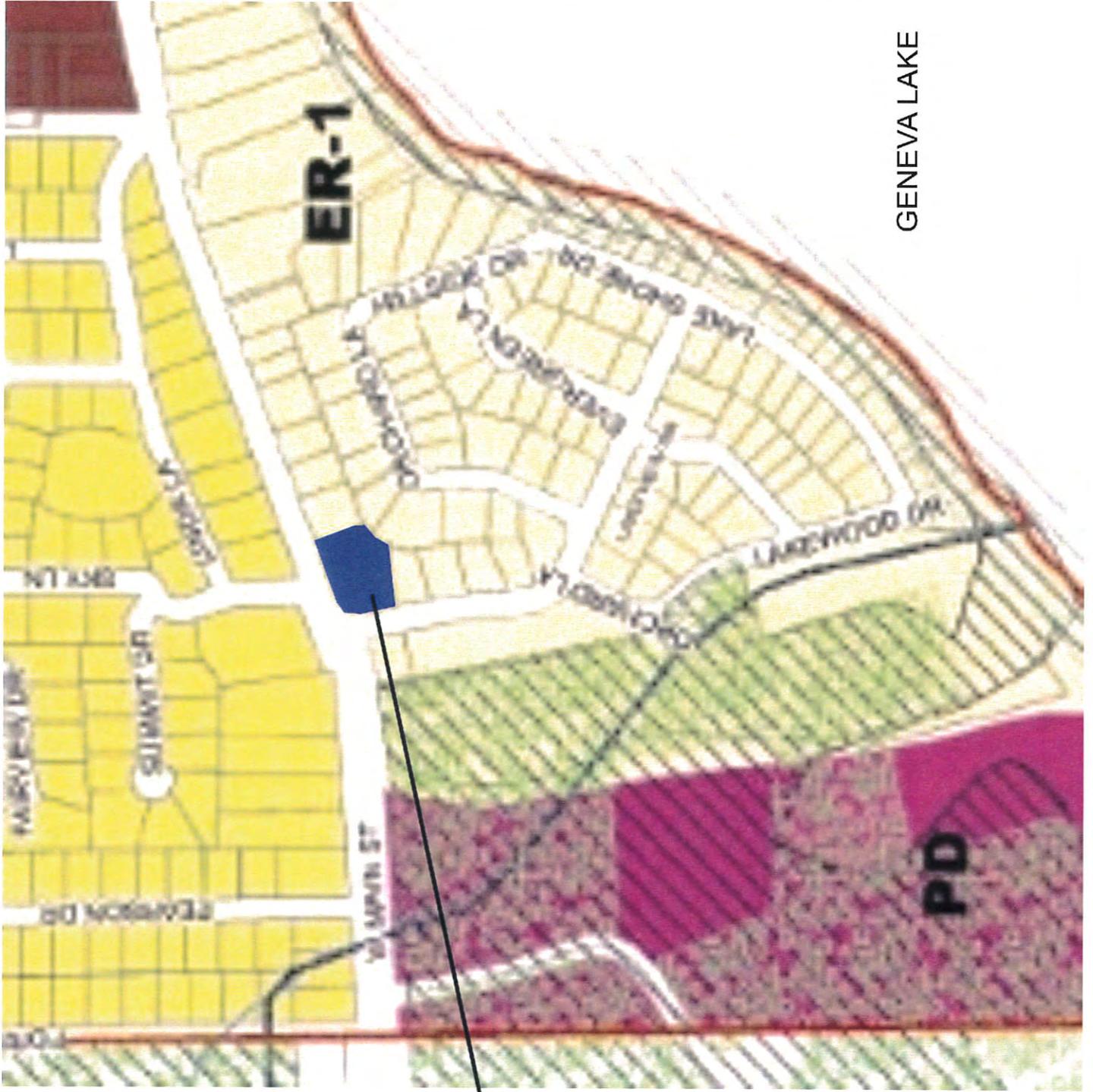


CRISPPELL-SNYDER, INC.



R-1	CR-5	ER-1	SR-3	SR-4	TR-6	MIR-6	C-2	NO	P-0	NB	FB	GB	CB	PI	GL	HI	PBP	
Single-Family Residential Single detached dwellings, two-family dwellings, townhouses, and accessory buildings.	Community Residential Single detached dwellings, two-family dwellings, townhouses, and accessory buildings.	Employment Residential Single detached dwellings, two-family dwellings, townhouses, and accessory buildings.	Single-Family Residential Single detached dwellings, two-family dwellings, townhouses, and accessory buildings.	Single-Family Residential Single detached dwellings, two-family dwellings, townhouses, and accessory buildings.	Transportation Residential Single detached dwellings, two-family dwellings, townhouses, and accessory buildings.	Medium-Density Residential Single detached dwellings, two-family dwellings, townhouses, and accessory buildings.	Community Residential Single detached dwellings, two-family dwellings, townhouses, and accessory buildings.	Neighborhood Office Neighborhood office buildings, accessory buildings, and other uses.	Neighborhood Office Neighborhood office buildings, accessory buildings, and other uses.	Neighborhood Office Neighborhood office buildings, accessory buildings, and other uses.	Neighborhood Office Neighborhood office buildings, accessory buildings, and other uses.	Neighborhood Office Neighborhood office buildings, accessory buildings, and other uses.	Neighborhood Office Neighborhood office buildings, accessory buildings, and other uses.	Neighborhood Office Neighborhood office buildings, accessory buildings, and other uses.	Neighborhood Office Neighborhood office buildings, accessory buildings, and other uses.	Neighborhood Office Neighborhood office buildings, accessory buildings, and other uses.	Neighborhood Office Neighborhood office buildings, accessory buildings, and other uses.	Neighborhood Office Neighborhood office buildings, accessory buildings, and other uses.

IRUSSI RESIDENCE
145 LAKE VIEW DRIVE
SEE ENLARGEMENT OF
PROPERTY LOCATION ATTACHED



GENEVA LAKE

IRUSSI RESIDENCE
145 LAKE VIEW DRIVE
LAKE GENEVA MANOR
TAX ID: ZLM 00074

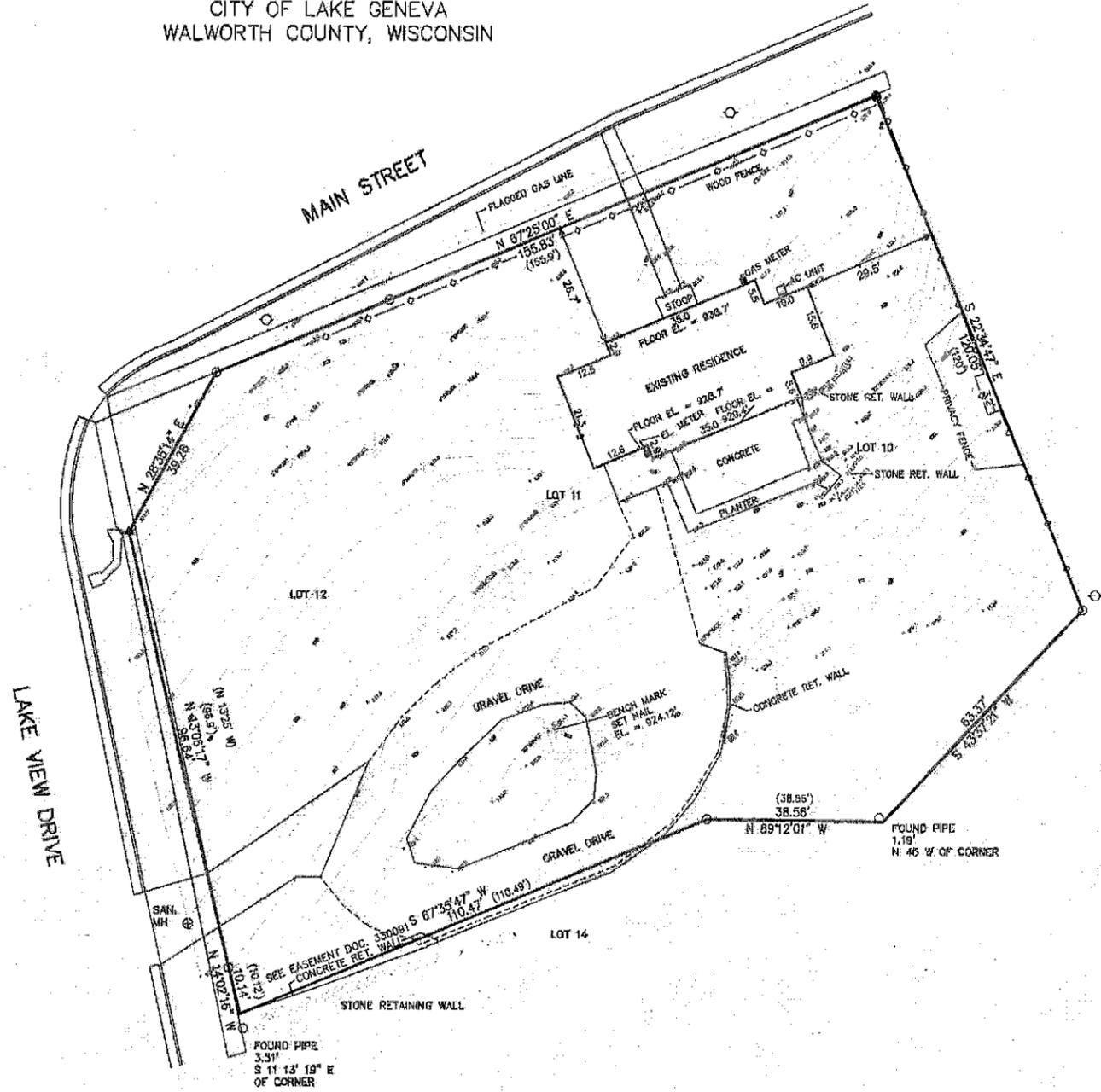
B. SURVEY OF SUBJECT SITE

PLAT OF SURVEY
LOTS 10 THRU 12 & THE NORTH 10' LOT 14
BLOCK 31 OF LAKE GENEVA MANOR SUB. TRACT NO. 17
 LOCATED IN THE SW 1/4 OF THE NE 1/4 SECTION 35
 TOWN 2 NORTH, RANGE 17 EAST
 CITY OF LAKE GENEVA
 WALWORTH COUNTY, WISCONSIN

Lots 10, 11 and 12 and the North 10 feet of Lot 14 in Block 31 of Lake Geneva Manor Subdivision Tract No. 17, Lake Geneva, Walworth County, Wisconsin, the latter 10 feet being more particularly described as follows, to-wit:

Commencing at the Northwest corner of Lot 14 in Block 31; running thence Southwesterly along the said Southwest line of said Lot 14, 10 feet; thence Easterly parallel with the South line of said Lot 12 to the Southwest line of said Lot 11 of said block; thence Northwesterly and Westerly along the most Southern border line of Lots 11 and 12 to the place of beginning, all being in Block 31 of the Lake Geneva Manor Subdivision, Tract No. 17, Lake Geneva, Walworth County, Wisconsin.

Tax Key No.: ZLM 00074

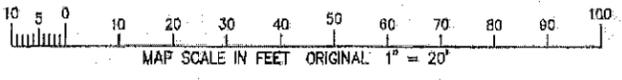


- LEGEND**
- = FOUND IRON PIPE STAKE
 - ⊙ = FOUND IRON REBAR STAKE
 - ▲ = FOUND MAG. NAIL
 - (XXX) = RECORDED AS
- AREA SURVEYED = 25,260 S.F.
 0.58 ACRES

TOPOGRAPHIC DETAIL
 ORDERED BY:
 BRUCE & JOY TRUSSI
 13481 EDGEWATER DRIVE
 LAKEWOOD, OHIO 44107

NOTES: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES, AND DIMENSIONS OF ALL PRINCIPLE BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS, AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.



DATED: NOVEMBER 24, 2014 REVISED 03-16-2015
 ADD TOPOGRAPHIC DETAIL

PETER S. GORDON



WORK ORDERED BY:
 KEEFE REAL ESTATE
 PO BOX 460
 LAKE GENEVA, WI. 53147

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
 7 RIDGWAY COURT P.O. BOX 437
 ELKHORN, WISCONSIN 53121
 OFFICE: (262) 723-2698 FAX: (262) 723-5886

REVISIONS

PROJECT NO.	9189
DATE	11-21-2014
SHEET NO.	1 OF 1

3/15/2015 X:\Projects\1415\GORDON\PLAT

C. SITE PLAN

SURVEY NOTE:
 SURVEY INFORMATION SHOWN HEREIN IS TAKEN FROM PLAT OF SURVEY DATED 11-21-2014, REVISED 03-16-2015 AND PREPARED BY FARRIS, HANSEN & ASSOCIATES, INC., 7 RIDGEWAY COURT, ELKHORN, WISCONSIN 53121 OFFICE: (262) 723-2098 FAX: (262) 723-5886 (JOB # 9189)
 NO WARRANTY IS MADE REGARDING THE ACCURACY OF THE SURVEY.

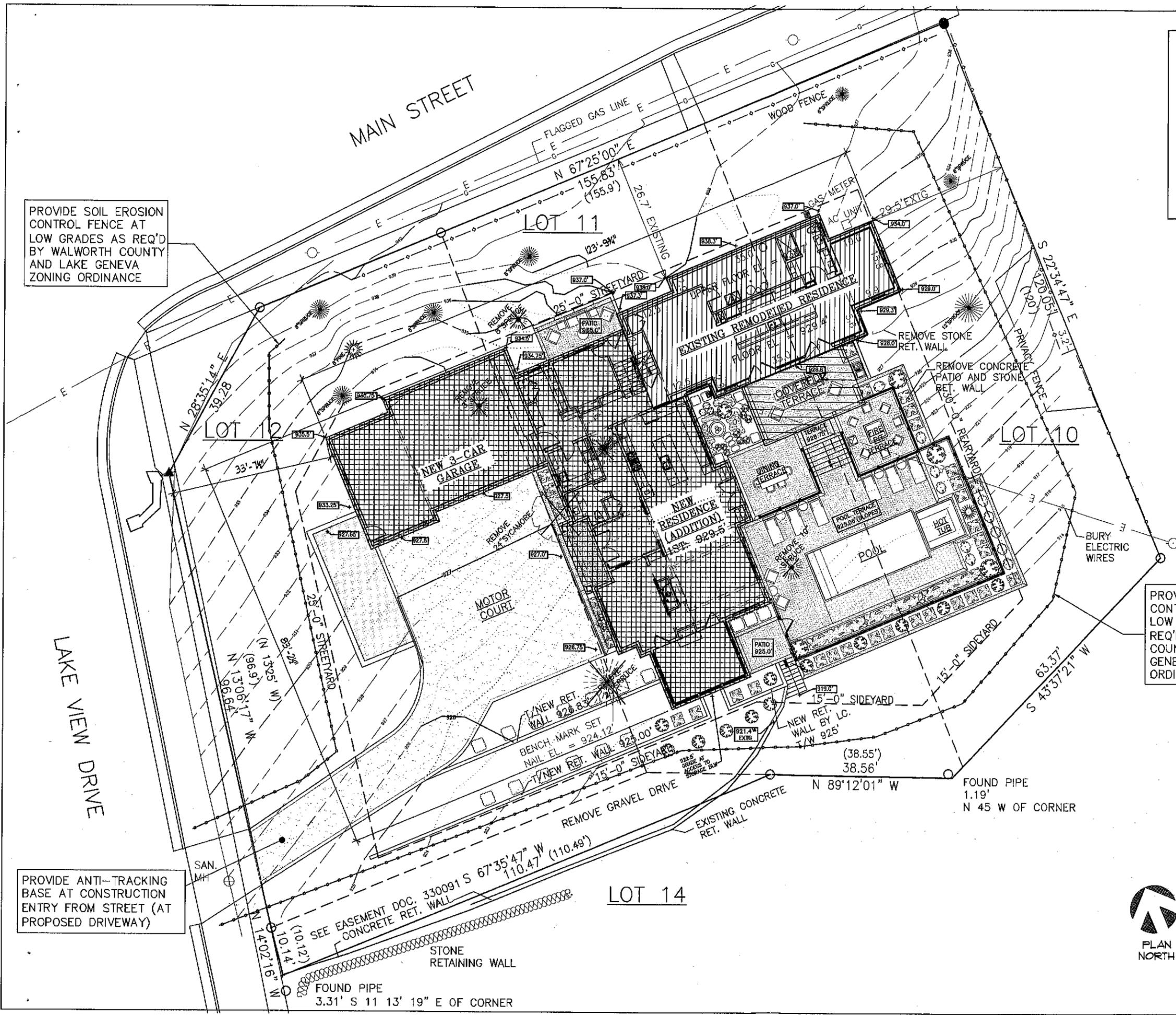
PLAT OF SURVEY
 LOTS 10 THRU 12 & THE NORTH 10' LOT 14 BLOCK 31 OF LAKE GENEVA MANOR SUB. TRACT NO. 17
 LOCATED IN THE SW 1/4 OF THE NE 1/4 SECTION 35 TOWN 2 NORTH, RANGE 17 EAST CITY OF LAKE GENEVA WALWORTH COUNTY, WISCONSIN

LEGEND
 ○ = FOUND IRON PIPE STAKE
 ● = FOUND IRON REBAR STAKE
 ▲ = FOUND MAG. NAIL
 (XXX) = RECORDED AS
 AREA SURVEYED = 26,250 S.F.
 0.58 ACRES

PROVIDE SOIL EROSION CONTROL FENCE AT LOW GRADES AS REQ'D BY WALWORTH COUNTY AND LAKE GENEVA ZONING ORDINANCE

PROVIDE SOIL EROSION CONTROL FENCE AT LOW GRADES AS REQ'D BY WALWORTH COUNTY AND LAKE GENEVA ZONING ORDINANCE.

PROVIDE ANTI-TRACKING BASE AT CONSTRUCTION ENTRY FROM STREET (AT PROPOSED DRIVEWAY)



McCormack + Eiten / Architects, LLP
 Lake Geneva, WI 53147
 400 Broad Street
 Ph: (262) 248-8891
 contact@mccormackeitan.com htp://www.mccormackeitan.com



McCormack + Eiten / Architects, LLP

ADDITION & REMODELING FOR
BRUCE AND JOY IRUSSI
 145 LAKEVIEW DRIVE, GENEVA MANOR, LAKE GENEVA, WISCONSIN
 PROJECT NO. 1505

PROPOSED SITE PLAN
 PLAN NORTH TRUE NORTH
 SCALE: 1" = 20'-0"

DATE 10-21-15
 SHEET 51
 OF

**D. WRITTEN JUSTIFICATION OF THE
PROPOSED CONDITIONAL USE**

PROPOSED ADDITION & REMODELING TO EXISTING RESIDENCE
MR. and MRS. BRUCE IRUSSI
145 LAKE VIEW DRIVE
LAKE GENEVA, WISCONSIN 53147

JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. The Subject Property is 145 Lake View Drive, Lake Geneva Manor Subdivision and was originally subdivided many years ago and existed long before the current Lake Geneva Zoning Ordinance requirements were adopted. As a result, many of the existing lots do not meet the current ER-1 Residential Bulk Requirements. The proposed Conditional Use is intended to allow the Applicant to construct or remodel a Single-family Residence within a district that is currently zoned for that use. *Aside from lot size and setback limitations, this use is in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva.*

2. The original intent of the creation of the ER-1 Estate Residential Zoning District was to restrict the development of lakeshore property and property with lake rights by limiting the subdivision of existing lots to create new buildable lots. We do not believe it was the intention of the City to penalize the owners of existing legal residential lots or prevent them from constructing or remodeling Single-family Residences. *Under the Conditional Use provisions, the proposed remodeled Residence would comply with the allowable requirements of the SR-4 district.*

3. The granting of this proposed Conditional Use would *not* be a substantial detriment to the adjacent properties in that the proposed new construction would meet or exceed the requirements of the SR-4 Single Family Residential District and would be no closer to the neighboring houses than many of the existing homes. Due to the location of this property and the current configuration of the Existing House, the proposed roof Remodeling would be built over a portion of the existing first floor footprint. The height proposed per preliminary study will be approximately 30'-4" from lowest grade to average point of highest peak of house. This building height will not exceed the 35'-0" height maximum limit required in the SR-4 district as in keeping with the adjacent 2-story properties. *The proposed Addition & Remodeling of the Existing Residence would be in keeping with the single-family character of the neighborhood, would not adversely affect the health, safety or general welfare of the public, or the provisions of the Zoning Ordinance or Comprehensive Master Plan.*

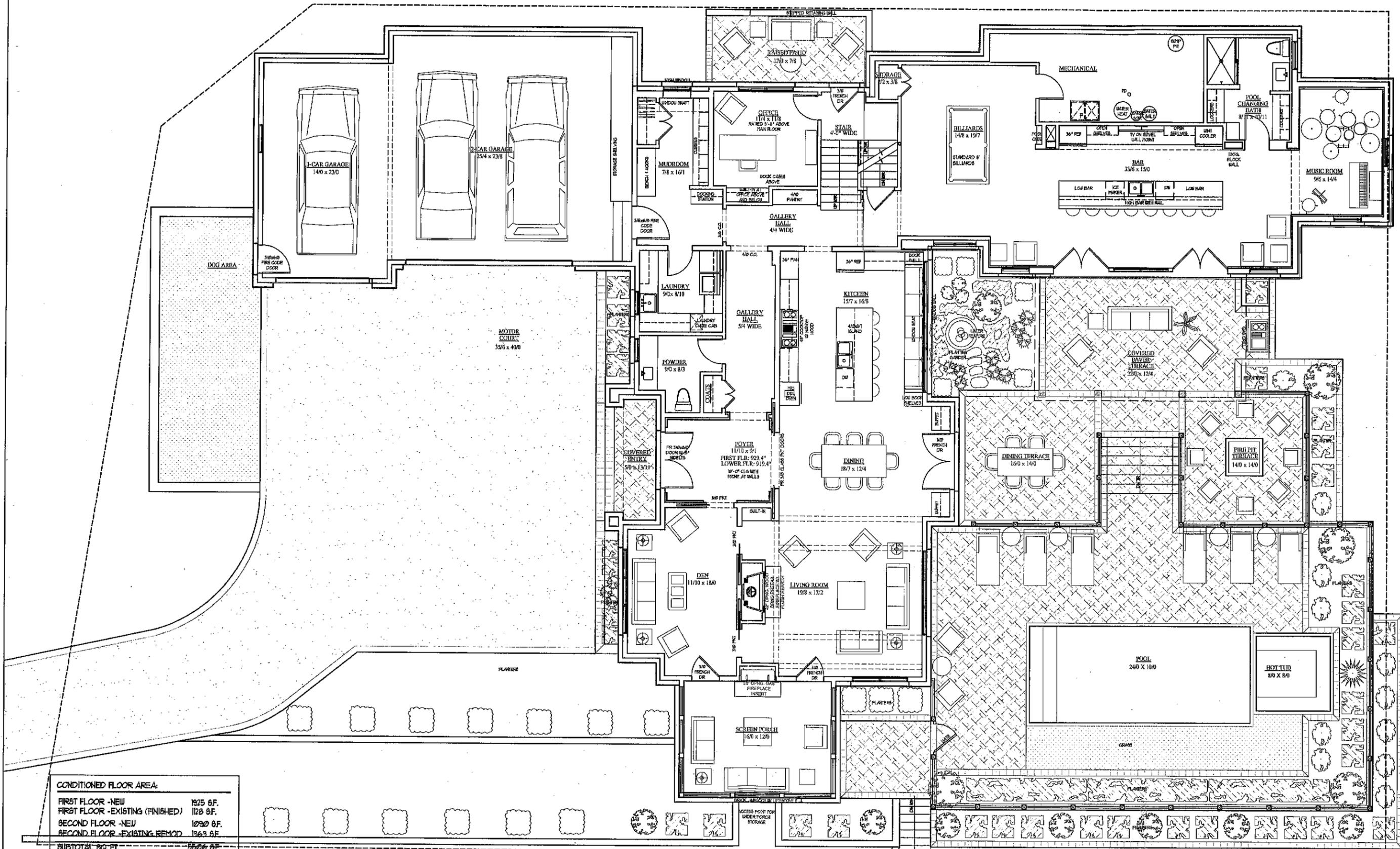
4. The proposed Conditional Use would be in compliance with the long range plans of the City of Lake Geneva in that it would maintain this property as a high quality single family residential use. Homes have been built in this area in recent years and others have been remodeled and upgraded. *As stated in Item No. 2, maintaining quality*

single family residences at the current density was the original intention in the creation of the ER-1 District in these lake access areas.

5. The Subject Property is currently served by City sanitary sewer and water. *This project would not impose an undue burden on any improvements, utilities or services provided by public agencies serving the subject property.*

6. **Single Family Detached Residences** are a permitted use within the **ER-1 Estate Residential District** and are in keeping with the intent of the **Master Plan of the City of Lake Geneva**. This lot, like many of the properties in this neighborhood, does not now meet the rear lot setback or lot area requirements of the **ER-1 District**. This is the reason for the requested **Conditional Use**. *The approval of the Conditional Use would allow for the construction of an Addition & Remodeling upgrade to this Existing Single Family Residence and would meet the required street (at two streets) and side setbacks of the SR-4 Zoning District and will not further exceed into the rear setback at the existing residence, which only encroaches by 6". In this context, we believe that the nonconforming portions of this Conditional Use would be minimal and would be far outweighed by the long-range benefits.*

E. PLANS & ELEVATIONS



CONDITIONED FLOOR AREA:

FIRST FLOOR - NEW	1925 SF.
FIRST FLOOR - EXISTING (FINISHED)	1128 SF.
SECOND FLOOR - NEW	1090 SF.
SECOND FLOOR - EXISTING REMOD.	1363 SF.
SUBTOTAL SG. FT.	5506 SF.
SCREEN PORCH	213 SF.
COVERED TERRACE	280 SF.
GUEST BALCONY	170 SF.
3-CAR GARAGE	1076 SF.
BONUS ROOM - 2-CAR	398 SF.
BONUS ROOM - STORAGE	200 SF.

PLAN NORTH
 TITLE NORTH
PROPOSED FIRST FLOOR PLAN
 SCALE: 1" = 10'-0"

© McCormack + Eiten / Architects, LLP

ADDITION & REMODELING FOR
BRUCE AND JOY IRUSSI
 145 LAKEVIEW DRIVE, GENEVA MANOR, LAKE GENEVA, WISCONSIN

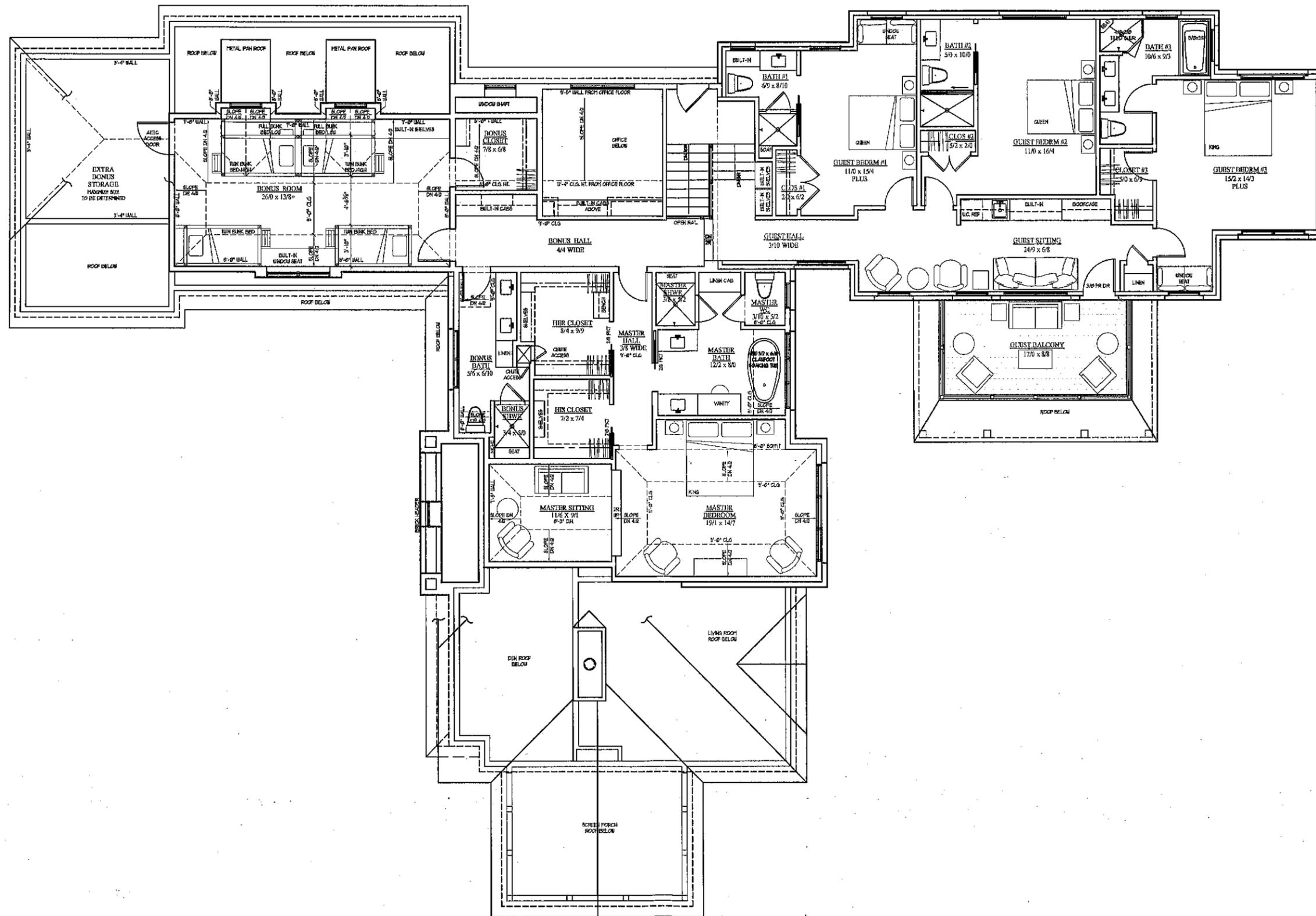
PROJECT NO. 1505

DATE 10-21-15

SHEET **A1**

McCormack + Eiten / Architects, LLP
 400 Broad Street
 Lake Geneva, WI 53147
 Ph (262) 248-8831
 contact@mccormackeiten.com
 http://www.mccormackeiten.com







PROPOSED SECOND FLOOR PLAN
 SCALE: 1" = 10'-0"

© McCormack + Eiten / Architects, LLP

ADDITION & REMODELING FOR
BRUCE AND JOY IRUSSI
 145 LAKEVIEW DRIVE, GENEVA MANOR, LAKE GENEVA, WISCONSIN

PROJECT NO. 1505

DATE 10-21-15

SHEET A2

OF 1

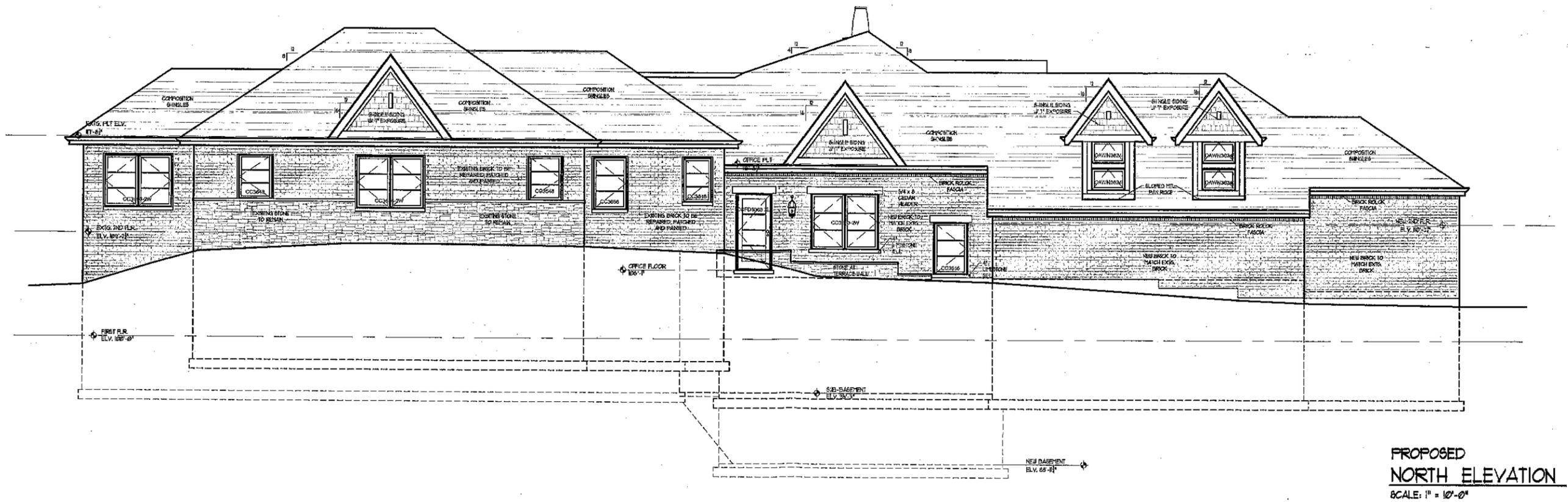
McCormack + Eiten / Architects, LLP
 400 Broad Street
 Lake Geneva, WI 53147
 Ph (262) 248-8581
 contact@mccormackeitan.com http://www.mccormackeitan.com



EXTERIOR WINDOW & DOOR NOTE:

WINDOWS AND EXTERIOR DOORS NOTED WITH MODEL NUMBERS BY MARVIN WINDOW CO. ALUMINUM CLAD WITH SIMULATED DIVIDED LITES IN DESIGN SHOWN, UNLESS OTHERWISE NOTED OR SELECTED, COLOR AS SELECTED. OTHER WINDOW MANUFACTURERS MAY BE CONSIDERED IF EQUAL AND APPROVED BY OWNER.

ALL GLAZING IN WINDOWS AND DOOR UNITS SHALL COMPLY WITH CABO DWELLING CODE SECT. R-2024, AND OTHER STANDARDS AS APPLICABLE. PROVIDE TEMPERED GLASS WHERE SO REQUIRED.



McCormack + Eiten / Architects, LLP
 400 Broad Street
 Lake Geneva, WI 53147
 Ph (262) 248-8891
 contact@mccormackeiten.com
 http://www.mccormackeiten.com



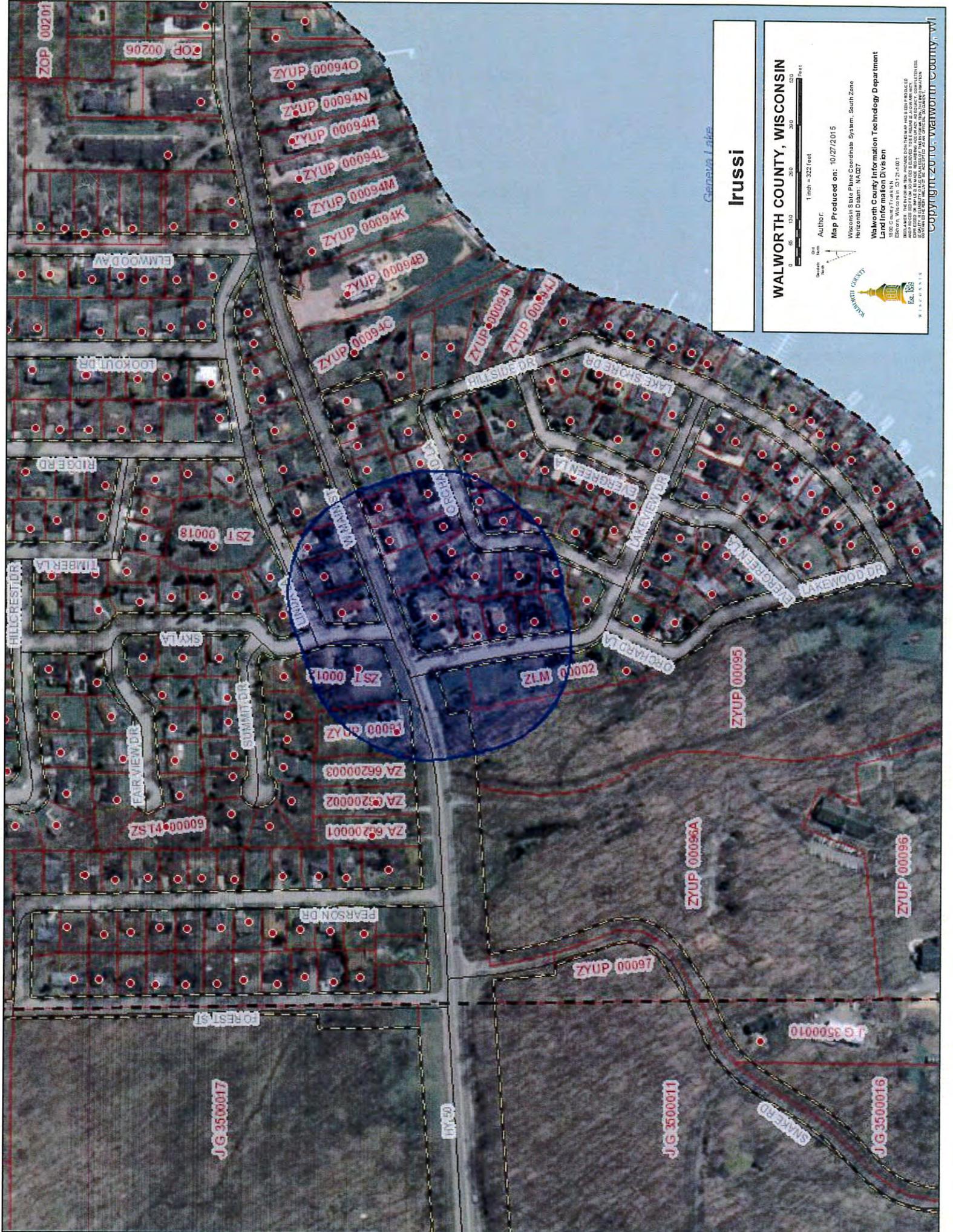
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ADDITION & REMODELING FOR
BRUCE AND JOY IRUSSI
 145 LAKEVIEW DRIVE, GENEVA MANOR, LAKE GENEVA, WISCONSIN

PROJECT NO.
 1505

DATE
 10-27-15

SHEET
A4



Genova Lakes

Irussi

WALWORTH COUNTY, WISCONSIN



Author:

Map Produced on: 10/27/2015

Wisconsin State Plane Coordinate System, South Zone

Horizontal Datum: NAD 83

Walworth County Information Technology Department

Land Information Division

10/27/2015 10:10:10

NOT A SURVEY. THE DATA ON THIS MAP WAS OBTAINED FROM THE PUBLIC RECORDS OF WALWORTH COUNTY, WISCONSIN. THE DATA IS PROVIDED AS IS AND IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS OBTAINED. THE USER ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THIS MAP.



October 19, 2015

Mr. Ken Robers
Building and Zoning Administrator
City of Lake Geneva
626 Geneva St.
Lake Geneva, WI 53147

Dear Mr. Robers,

This letter is in response to the packet we received from McCormack + Etten Architects regarding the proposed addition and remodeling to the Irussi Residence located at 145 Lake View Drive, Lake Geneva Manor, City of Lake Geneva, WI.

Many of the current owners surrounding the subject property, particularly those downhill of it, have challenges when it comes to controlling the amount of storm water that is released onto their properties during heavy rains and spring snow melts. Most neighbors at the lower portion of the hill have had to deal with seepage issues at one time or another and some have nearly flooded or flooded. Although it's wonderful to see such interest in The Lake Geneva Manor Subdivision with such a substantial proposed financial commitment to improve the subject property, we are deeply concerned with the storm water runoff that a newly improved/re-built home with approximately **NINE PLUS TIMES (9+X)** the current existing impervious surface will create. Based on the McCormack + Etten plan and calculations provided, the current existing home has a footprint of approximately 1,128 square feet. The newly proposed plan under roof including overhangs, counting only the first floor footprint and any and all potential hard surfaces that must be drained away from the subject property such as terraces, raised patios, exterior stairs, pools and pool deck, porches, planters, planting garden, covered entries, motor court and driveway, totals in excess of 10,500 square feet or over **NINE PLUS TIMES (9+X) what the existing house's footprint currently takes up in lot area/impervious space**. The current driveway is loose gravel with grass growing into it so it appears to be permeable, therefore it was not counted.

According to The United States Geological Survey (USGS) Topographical Map for the subject property and its surrounding neighbors there is a **40 foot grade differential** between the subject property's current front yard as it faces Main Street and the contiguous neighbor to the South's front yard (the back-to-back neighbor immediately behind the subject property). This back-to-back neighbor's front yard is located at 1575 Orchard Lane. When you compare the difference in height between the two immediately neighboring properties, from the subject property's current front yard grade on Main Street to the neighbor's front yard grade on Orchard, **the difference is equivalent to a 4 story commercial building in height (40 FEET)**. The subject property is incapable of storing on site and slowly releasing any and all storm water generated from its proposed amount of impermeable lot coverage due to the steepness of grade of the remaining permeable areas. Quite simply the plan as currently proposed won't hold water, **(there is a 25 foot fall in grade differential on the subject site alone from North to South)** in fairness, there is no mention of storm water management on the plan or any reference to impervious surface area ratio, nor existing or proposed drainage facilities. We realize this will be forthcoming as part of the process.

We are currently expressing our concerns with what we know to be ongoing drainage issues as they relate to the subject property and merely want to state that we will not tolerate "ANY SUBSTANTIAL OR UNDUE ADVERSE IMPACT ON NEARBY PROPERTY" as noted in the City of Lake Geneva's, Part III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE.

If the City of Lake Geneva were to allow the storm water generated from the subject property to be released on site, through the splashing of roof water via gutters and downspouts as well as sheet draining the driveway, motor court, patio and terraces etc., the possibility of washing out the neighbors below is imminent. We cannot tolerate any additional storm water runoff as conventionally handled, let alone the significant amount that will be generated by this proposed remodeling/addition. We can barely tolerate the status quo; what will happen if we receive **NINE PLUS TIMES (9 + X)** the amount of water that we are currently receiving? We know all too well that the only chance for us to get this right as a community is now, no one wants this to turn into a future civil legal matter.

If the City of Lake Geneva demands that any and all storm water runoff generated by the subject property be captured, contained, controlled and released to a city storm sewer via city right of way or other acceptable means, the surrounding potentially negatively impacted neighbors have no issue.

As stated by the architect of record Kelly Frazier in her packet to us,

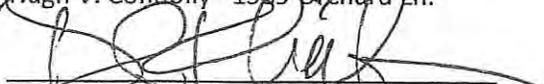
"Please be assured that the owner intends to construct this home with quality materials, pleasing aesthetic and address and provide positive solutions to landscape requirements and drainage considerations."

We are happy to hear this and will take her at her word. We also look forward to welcoming the Irussi Family to Geneva Manor, we are happy that they have chosen, as all of us have chosen, a truly special place to live. None of us wants to add to the storm water burden that some of us are faced with, good neighbors don't do that nor should the city allow it. We say in closing, please be assured that as long as any and all "drainage considerations" will not exacerbate an existing drainage condition amongst surrounding neighbors and will not include the release of storm water onto the surrounding neighbor's properties we will all get along quite neighborly. This is truly the City of Lake Geneva's responsibility to ensure that this gets done correctly the first time with no adverse impact on its current homeowners or their association.

Respectfully,

The concerned neighbors of Geneva Manor:

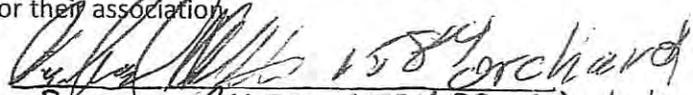
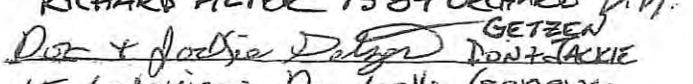

Hugh V. Connolly 1589 Orchard Ln.


David R. Merhar 1591 Orchard Ln.

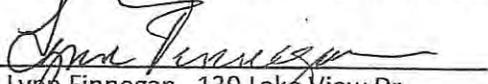

Callie B. Hutchen 141 Lake View Dr.

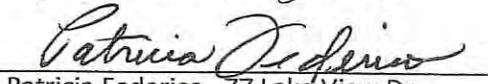

Paul A. Karkula 1571 Orchard Ln.

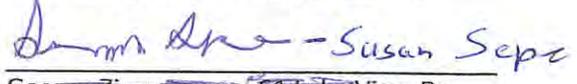

DAVID PEZZA 1590 ORCHARD

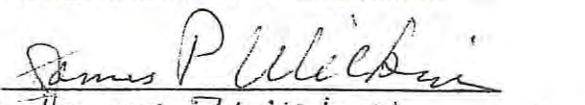

RICHARD ALTER 1584 ORCHARD Ln.

DOR & JACKIE GETZEN
15 Lakeview Dr. Lake Geneva

SEE SEPARATE PAGE
Dawn Marie Mancuso 1575 Orchard Ln.


Lynn Finnegan 139 Lake View Dr.


Patricia Federico 77 Lake View Dr.


George Zimmerman 61 Lake View Dr.


JAMES P. WILKIN
1650 N. LAKE SHORE DR

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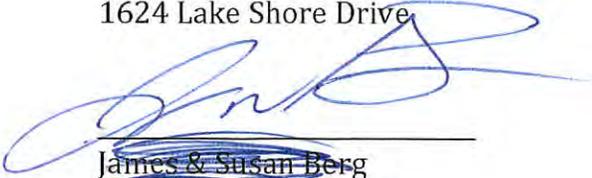

Dawn Marie Mancuso 1575 Orchard Ln.

Lynn Finnegan 139 Lake View Dr.

Patricia Federico 77 Lake View Dr.

George Zimmerman 61 Lake View Dr.

William & Joan Baffes
1624 Lake Shore Drive



~~James & Susan Berg~~
~~1554 Lake Shore Drive~~

*James W. Berg
1555 Lake Shore Drive*

Donald & Victoria Blonda
1617 Lake Shore Drive

Dana & Cheryl Breckinridge
1555 Orchard Lane

Rich & Katie Cattey
1536 Main St.

Susan Crowley
45 Lakewood Drive

Don De Rosa
1620 Evergreen Lane

Don & Muriel Forbes

Don & Muriel Forbes
50 Lakeview Drive

David & Louis Frost
1556 Orchard Lane

Thomas & Marya Gibbons
1600 Lake Shore Drive

Bruce & Sarah Gold
10 Hillside

Scott & Jeanine Goldstein
1606 Main St.

Frank & Tykee Green

xx Frank & Tykee Green
1615 Lake Shore

Jeffrey & Jennifer Heaton
1641 Lake Shore Drive

Jean Heffernan
1633 Lake Shore Drive

Matthew & Lisa Hower
1540 Evergreen Lane

Benjamin & Calle Hutchen
141 Lakeview Drive

Bruce & Joy Irussi
145 Lakeview Drive

Mark & Maria Jakubowski
1567 Evergreen Lane

Greg & Kelly Licht
1570 Lake Shore Drive

Ben & Nichol Johnston
1565 Orchard Lane

Jack & Ingrid Logiudice
1626 Lake Shore Drive

Don Johnston
1550 Orchard Lane

Charles & Jill Lorenzi
1540 Main Street

Bill & Mary Jones
1573 Evergreen Lane

John & Dona Martin
1629 Lake Shore Drive

Bill Kaiser
1530 Lake Shore Drive

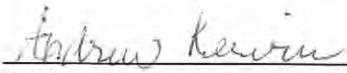
Terry & Kim Martino
1560 Orchard Lane

George & Meri Vallin Kennesey
1630 Evergreen Lane

Matustik
1644 Lake Shore Drive

Michael & Tania Kenna
1614 Lake Shore Drive

David & Sarah McConnell
21 Lakeview Drive


Andrew Kerwin
1616 Evergreen Lane

Jim & Maryann McCullough
1551 Evergreen Lane

Dr. Paul & Joanne Lederer
1551 Lake Shore Drive

Mike & Nancy McNerney
1553 Orchard Lane

Ann Michuda
1550 Lake Shore Drive

Steve & Leslie Phelps
1562 Lake Shore Drive

Ruth & Ken Monico
1625 Lake Shore Drive

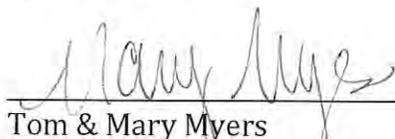
Barbara Philipps
1600 Evergreen Lane

Sheila Moran
1610 Orchard Lane

Joseph & Cheryl Piscioti
1570 Evergreen Lane

Dr. Dan & Linda Moritz
1622 Main St.

Dr. Peter & Tina Poulos
1544 W. Main St.


Tom & Mary Myers
1600 Lakeview Drive

Doug & Kristie Powell
1540 Lake Shore Drive

Brian & Pei Nelson
1640 Lake Shore Drive

Rich & Marian Pucci
1643 N. Lake Shore Drive


Tom & Janet Nickols
145 Lakeview Drive

Joe & Jen Read
1617 Evergreen Lane

Bob Nordhaus & Marcie Hollmann
1566 Orchard Lane

Wayne & Teresa Reuter
1555 Lake Shore Drive


Pete Peterson
1601 Evergreen Drive

Don & Louise Rutkowski
1565 Lake Shore Drive

Jack Schafer

Jack & Joan Schafer
1611 Lake Shore Drive

Dave Williams
1629 Evergreen Lane

Katherine Schwartz

Katherine Schwartz
1550 Evergreen Lane

James & Sharon Wojcik
1545 Lake Shore Drive

David & Lori Scotney
1551 Orchard Lane

Dr. Robert & Sue Wolter
1554 Orchard Lane

Anne See
1605 Lake Shore Drive

Lois Zingle
1626 Evergreen Lane

Signed on front page 20

~~Paul & Susan Sepe~~
~~16 Lakeview Drive~~

Sal Guagliardo
SAL GUAGLIARDO
1580 ORCHARD LN.

A. Taddeo + Susan Taddeo

August & Susan Taddeo
1585 Evergreen Lane

Aimee & Dave Tanking
1555 Evergreen Lane

Joan Thompson
1561 Evergreen Lane

David Traut & Dr. Rosemary White-Traut
40 Lakeview Drive

DRAINAGE IMPROVEMENT PLAN

IRUSSI RESIDENCE
145 LAKE VIEW DRIVE
CITY OF LAKE GENEVA,
WALWORTH COUNTY, WISCONSIN
DECEMBER 2015

Revised: December 16, 2015

PREPARED FOR:
BRUCE & JOY IRUSSI
13481 EDGEWATER DRIVE
LAKEWOOD, OH 44107

Prepared By:

Farris, Hansen & Associates, Inc.
Engineers, Architects & Surveyors
7 Ridgeway Court
Elkhorn, WI 53121

Project No.: 9189.15

TABLE OF CONTENTS

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WATERSHED DESCRIPTION AND PURPOSE	1
STORM PIPE SIZING	1
CONCLUSION	1
LIMITATIONS	1

Appendix A Storm Sewer & Roof Leader/Deck Drain Sizing Calculations

WATERSHED DESCRIPTION AND PURPOSE

The 0.58 ± acre watershed is located within the limits of the City of Lake Geneva, and consists of the existing residence, sidewalks, concrete/gravel drives and open space. No off-site flows were analyzed due to existence of a curb and gutter around the northern and westerly sides which directs any off-site flows around the subject property. The entire site generally drains from the north to the south eventually leaving the site in the southeast corner. The subject property is located at 145 Lake View Drive.

The purpose of this report is size the storm sewer system to convey the 100-yr design storm event to the existing catch basin approximately 370 feet to the south of the site along the northerly curb line of Lake View Drive. This option was chosen to alleviate any downstream flooding concerns raised by the downstream neighbors during public meetings.

STORM PIPE SIZING

The proposed storm sewer system entering into the catch basin along the northerly side of Lake View Drive has been designed from calculations based upon the 100-year design storm. Tributary areas, land surface characteristic runoff coefficients based on standard engineering practice, times of concentration (Assumed to be 10.0 minutes to be conservative), storm intensities based on SEWRPC's Rainfall Distribution for Southeast Wisconsin and storm sewer characteristics were analyzed in order to predict system performance. Sub-catchments were delineated using available mapping of the area, field investigations, and the proposed site design plans. The analysis and design of the proposed storm sewer system were performed using Hydraflow Storm Sewers which uses Manning's Equation for full-flow capacity and the Rational Method. In addition, we have provided a roof leader/deck drain sizing breakdown based on SPS 382.26 'Area Method'. Pipe sizing and roof leader/deck drain sizing results are shown in tabular form in Appendix A of this report.

CONCLUSION

Based upon the information and calculations presented in this Report, the proposed storm sewer sizing of 10" ADS N-12 Storm Sewer at the slopes shown on the plan will handle the 100-year design storm. In addition, the routing of the storm water through the sewer will reduce overland flows to the neighbors to the south by approximately 60%.

The positive modeling results assume that the piping system will be installed as shown on the proposed Detailed Site, Grading, Drainage and Erosion Control Plans, prepared by Farris, Hansen & Associates. In addition, it is also assumed that sewer maintenance and cleaning or removal of leaves and other debris occurs on an as-need basis to ensure proper operation.

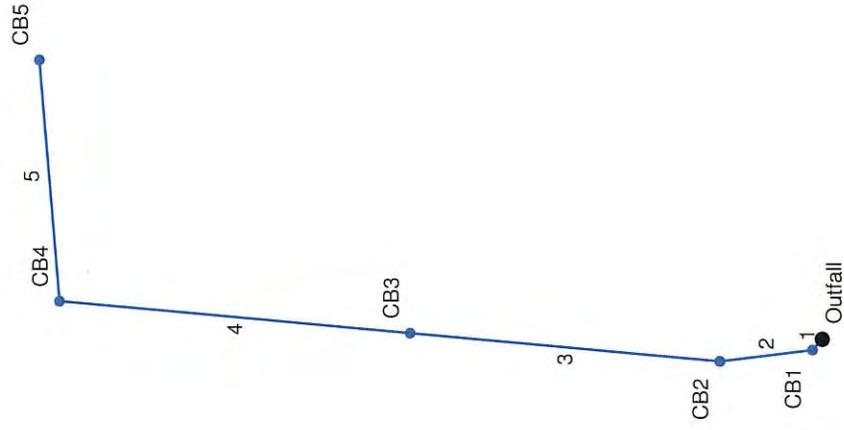
LIMITATIONS

The storm sewer sizing was performed in accordance with standard civil engineering practice, and relies on information provided by others as well as published information. Areas of potential runoff analysis were limited to those areas within the bounds of property owned or believed to impact the property of concern or be part of a specific watershed or catchment.

APPENDIX A

**STORM SEWER & ROOF LEADER/DECK DRAIN
SIZING CALCULATIONS
Revised: December 16, 2015**

Hydraflow Storm Sewers Plan



Storm Sewer Tabulation

Station Line	To Line	Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
			Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
1	End	7	0.00	0.44	0.00	0.00	0.27	0.0	12.0	6.8	1.83	2.19	4.34	10	1.00	889.93	890.00	890.53	890.60	894.20	894.60	CB1 to EX CB
2	1	45	0.00	0.44	0.00	0.00	0.27	0.0	11.8	6.9	1.84	4.38	4.02	10	4.00	890.00	891.80	890.72	892.40	894.60	896.50	CB2 to CB1
3	2	150	0.00	0.44	0.00	0.00	0.27	0.0	11.2	7.0	1.88	5.36	4.09	10	6.00	891.80	900.80	892.51	901.41	896.50	905.90	CB3 TO CB2
4	3	170	0.00	0.44	0.00	0.00	0.27	0.0	10.5	7.2	1.92	6.75	4.15	10	9.51	900.80	916.97	901.52	917.59	905.90	924.70	CB4 TO CB3
5	4	116	0.44	0.44	0.61	0.27	0.27	10.0	10.0	7.3	1.96	1.55	3.59	10	0.50	916.97	917.55	917.80	918.73	924.70	922.00	CB5 TO CB4

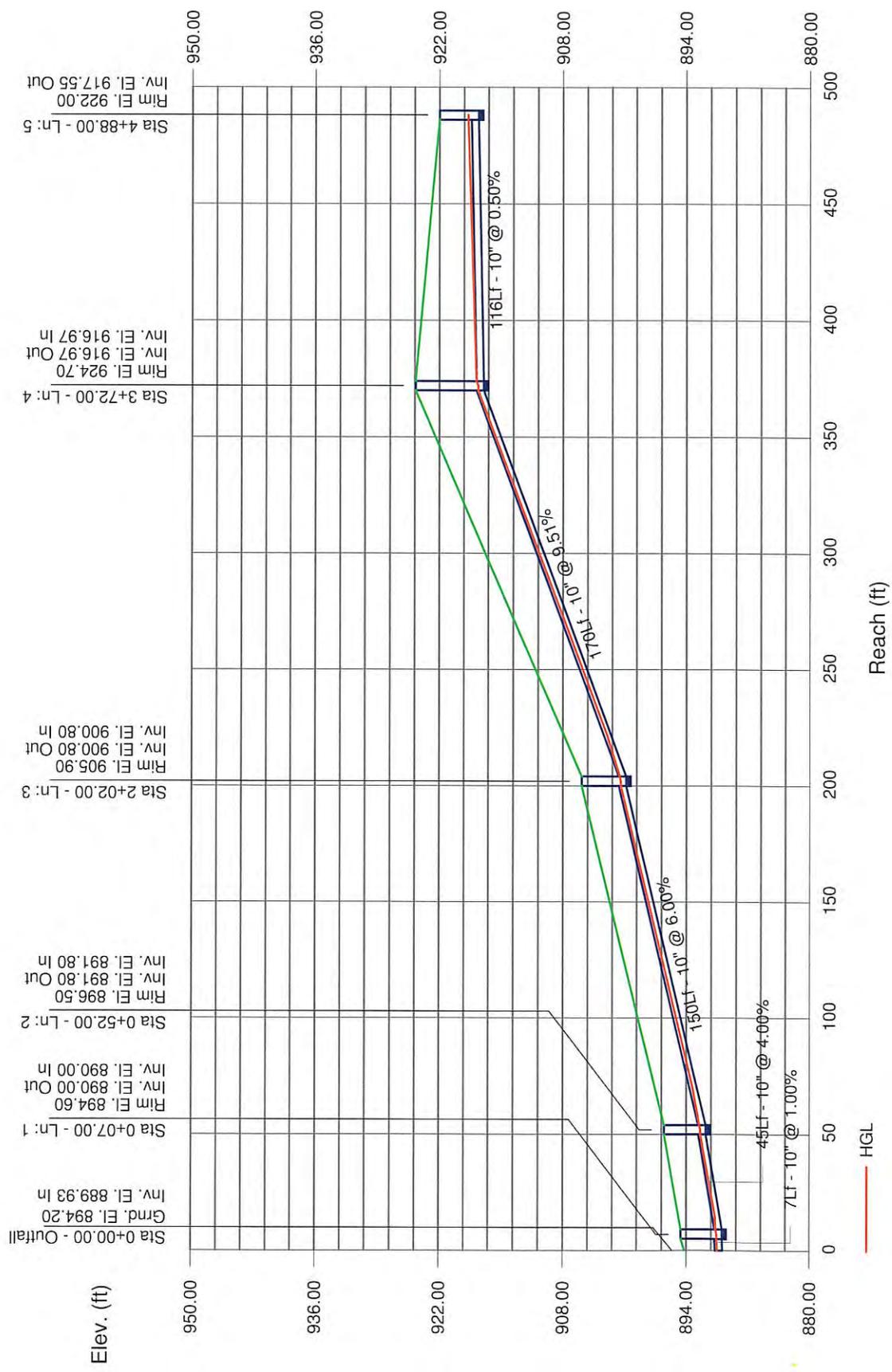
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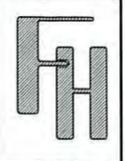
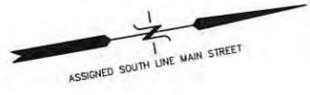
Number of lines: 5

Run Date: 12-16-2015

NOTES: Intensity = 214.40 / (Inlet time + 19.40) ^ 1.00; Return period = 100 Yrs. ; c = cir e = ellip b = box

Storm Sewer Profile





STORM SEWER ROUTING PLAN

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
 7 RIDGWAY COURT P.O. BOX 437
 ELKHORN, WISCONSIN 53121
 OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS
12/2/2015-KB ADD ROUTE SURVEY
12/16/2015-KB ADJUST STORM SEWER

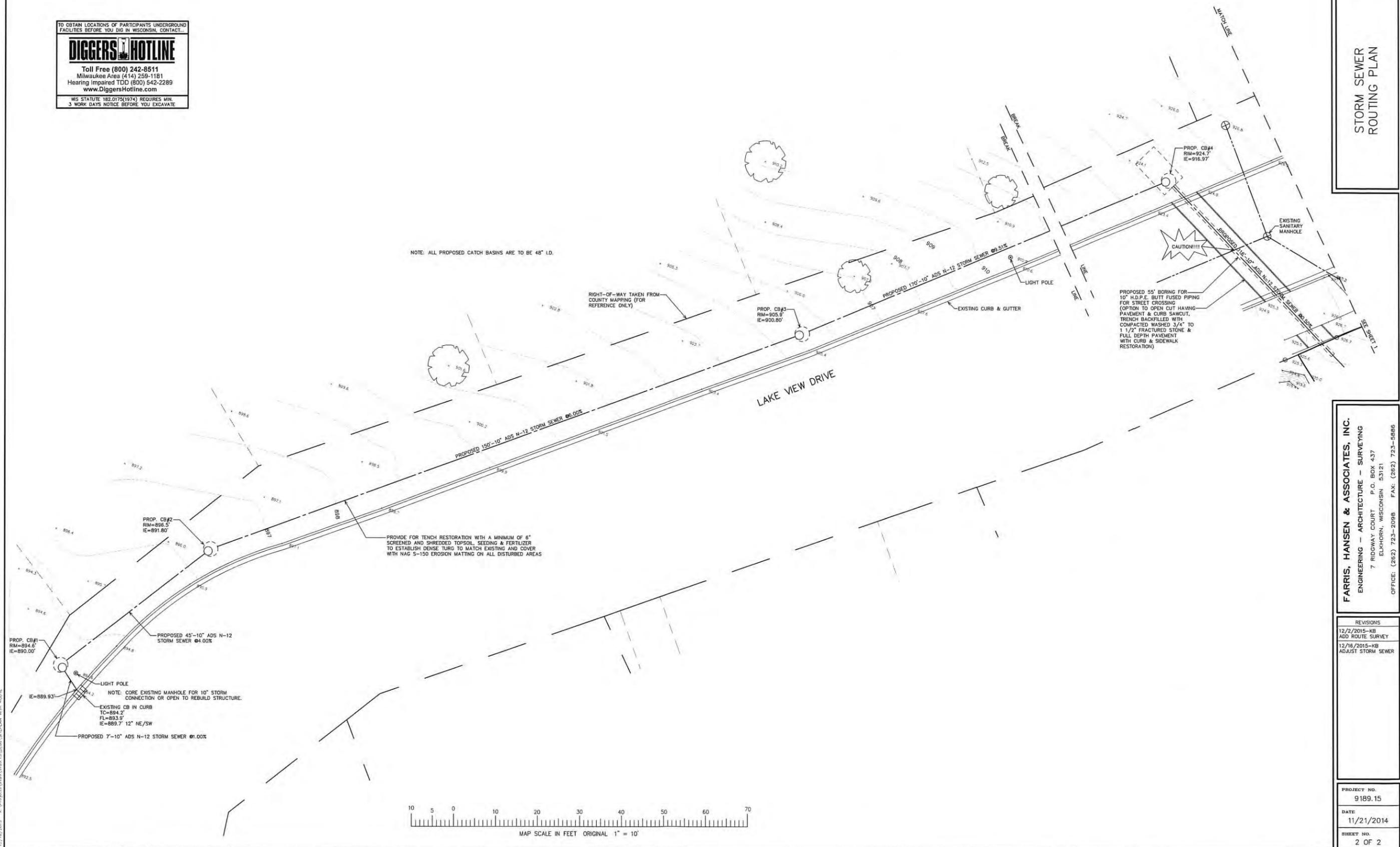
PROJECT NO. 9189.15
DATE 11/21/2014
SHEET NO. 2 OF 2

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CONTACT:

DIGGERS HOTLINE

Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

WS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



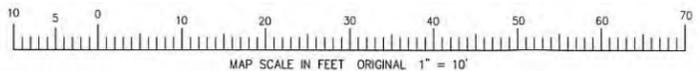
NOTE: ALL PROPOSED CATCH BASINS ARE TO BE 48" I.D.

RIGHT-OF-WAY TAKEN FROM COUNTY MAPPING (FOR REFERENCE ONLY)

PROPOSED 55' BORING FOR 10" H.D.P.E. BUTT FUSED PIPING FOR STREET CROSSING (OPTION TO OPEN CUT HAVING PAVEMENT & CURB SAWCUT, TRENCH BACKFILLED WITH COMPACTED WASHED 3/4" TO 1 1/2" FRACTURED STONE & FULL DEPTH PAVEMENT WITH CURB & SIDEWALK RESTORATION)

PROVIDE FOR TRENCH RESTORATION WITH A MINIMUM OF 6" SCREENED AND SHREDDED TOPSOIL, SEEDING & FERTILIZER TO ESTABLISH DENSE TURF TO MATCH EXISTING AND COVER WITH NAG 5-150 EROSION MATTING ON ALL DISTURBED AREAS

NOTE: CORE EXISTING MANHOLE FOR 10" STORM CONNECTION OR OPEN TO REBUILD STRUCTURE.



12/16/2015 X:\p\proj\9189\15\Drawn\ROUTEPLAN WITH ROUTE

Irussi Residence

Project No. 9189.15

Date: December 15, 2015

ROOF DRAIN LEAD SIZING & CALCULATIONS PER SPS 382.36 'AREA METHOD'

Northwest corner tributary to CB 7

846 S.F. Tributary; Min size required = 3" @ 1.0%; proposed 6" @ 8.0%; maximum area allowed 11,700 s.f. 6" @4.2% ~ 13 times what is required

Northeast Portion of the Proposed Residence tributary to Easterly Deck Drain

1,440 S.F. Tributary; Min size required = 4" @ 1.0%; proposed 6" @ 10.0%; maximum area allowed 11,700 s.f. 6" @4.2% ~ 8 times what is required

Central Portion of the Proposed Residence tributary to Westerly Deck Drain

1,657 S.F. Tributary; Min size required = 4" @ 1.0%; proposed 6" @ 5.0%; maximum area allowed 11,700 s.f. 6" @4.2% ~ 7 times what is required

Easterly Deck Drain

1,875 S.F. Tributary; Min size required = 4" @ 1.0%; proposed 6" @ 10.0%; maximum area allowed 11,700 s.f. 6" @ 4.2% ~ 6 times what is required

8" Deck Drain Lead to 8" Drain Lead

4,351 S.F. Tributary; Min size required = 5" @ 2.0%; proposed 6" @ 2.0%; maximum area allowed 18,200 s.f. 6" @ 2.0% ~ 4 times what is required

6" Drain Lead along Westerly side of house to 8" Drain Lead

1,324 S.F. Tributary; Min size required = 4" @ 0.5%; proposed 6" @ 5.0%; maximum area allowed 11,700 s.f. 6" @4.2% ~ 8 times what is required

8" Roof/Deck Drain Lead to CB 5

5,675 S.F. Tributary; Min size required = 6" @ 1.0%; proposed 8" @ 1.0%; maximum area allowed 13,000 s.f. 8" @ 1.0% ~ 2 times what is required

(c) Segregation of wastes. 1. a. Except as provided in subd. 3., where a sanitary sewer system and a storm sewer system are available the drain piping for storm water or clear water wastes may not connect to any part of the sanitary drain system.

b. Where a combined sanitary-storm sewer system is available storm water wastes, clear water wastes and sanitary wastes may not be combined until discharging to the building sewer.

2. Storm water wastes and clear water wastes shall not be combined until discharging into the storm building drain.

(4) LOAD ON DRAIN PIPING. (a) Storm water drainage. The load factor on storm water drain piping shall be computed in terms of gallons per minute or on the square footage of the horizontal projection of roofs, paved areas, yards and other tributary areas.

(b) Continuous flow devices. Where there is a continuous or semicontinuous discharge into the storm building drain or storm building sewer, as from a pump, air conditioning unit, or similar device, each gallon per minute of such discharge shall be computed as being equivalent to 26 square feet of roof area.

(5) SELECTING SIZE OF STORM AND CLEAR WATER DRAIN PIPING. (a) Horizontal storm water drain piping. The pipe size for horizontal drain piping for storm water shall be determined from Tables 82.36-1 to 82.36-4.

Table 82.36-1

MINIMUM SIZE OF STORM WATER HORIZONTAL DRAIN PIPING SERVING ROOF AREAS

Pipe Diameters (in inches)	Maximum Roof Areas (in square feet)		
	1/16 inch	1/8 inch	1/4 inch
3	650	910	1,300
4	1,300	1,950	2,900
5	2,470	3,640	5,070
6	4,160	5,980	8,320
8	9,320	13,000	18,200
10	17,680	24,700	33,800
12	27,300	41,080	57,200
15	52,000	72,800	105,300
18	85,800	121,550	174,200
21	156,520	179,660	256,860
24	187,200	261,560	382,200

Note: Divide square footage by 26 to obtain flow in gpm.

Table 82.36-2

MINIMUM SIZE OF STORM WATER HORIZONTAL DRAIN PIPING PAVED OR GRAVELED GROUND SURFACE AREAS

Pipe Diameters (in inches)	Maximum Roof Areas (in square feet)			
	1/16 inch	1/8 inch	1/4 inch	1/2 inch
3	810	1,140	1,625	2,270
4	1,625	2,430	3,740	4,720
5	3,090	4,550	6,350	8,760
6	5,200	7,470	10,400	14,600
8	11,650	16,250	22,750	32,600
10	22,100	30,850	44,250	63,000
12	34,150	52,300	71,500	102,200
15	65,000	91,000	131,500	183,000
18	107,000	152,000	210,800	321,000
21	195,000	224,000	321,000	468,000
24	284,000	336,000	478,000	682,000

Note: Divide square footage by 32.5 to obtain flow in gpm.

Table 82.36-3

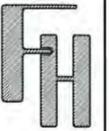
MINIMUM SIZE OF STORM WATER HORIZONTAL DRAIN PIPING SERVING LAWNS, PARKS AND SIMILAR LAND SURFACES

Pipe Diameters (in inches)	Maximum Roof Areas (in square feet)			
	1/16 inch	1/8 inch	1/4 inch	1/2 inch
3	2,600	3,640	5,200	7,280
4	5,200	7,800	11,960	15,080
5	9,830	13,560	20,280	28,080
6	16,640	23,920	33,280	46,800
8	37,280	52,000	72,800	112,000
10	69,720	98,800	136,200	201,760
12	109,200	164,320	228,800	327,600
15	208,000	291,200	421,200	586,560
18	343,200	490,200	596,800	888,000
21	626,080	718,640	1,027,520	1,497,600
24	748,800	1,046,240	1,528,800	2,184,000

Note: Divide square footage by 104 to obtain flow in gpm.

**SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN
PLAT OF SURVEY**

LOTS 10 THRU 12 & THE NORTH 10' LOT 14
BLOCK 31 OF LAKE GENEVA MANOR SUB. TRACT NO. 17
LOCATED IN THE SW 1/4 OF THE NE 1/4 SECTION 35
TOWN 2 NORTH, RANGE 17 EAST
CITY OF LAKE GENEVA
WALWORTH COUNTY, WISCONSIN



IRUSSI RESIDENCE

**SITE, GRADING, DRAINAGE &
EROSION CONTROL PLAN**

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS
11/24/2015-KB
MISC. ADVANCEMENT
12/1/2015-KB
ADD ROUTE SURVEY
12/8/2015-KB
ADD RAIN GARDEN
12/16/2015-KB
ADJUST STORM SEWER

PROJECT NO.
9189.15
DATE:
11/21/2014
SHEET NO.
1 OF 2

EROSION NOTES

- SEEDING AND EROSION CONTROL MATTING FOR BASIN AND SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
- PROVIDE INLET PROTECTION AT CATCH BASINS AS EACH IS INSTALLED.
- INLET PROTECTION TO INCLUDE FABRIC BARRIERS UNDER CASTINGS.
- ALL DISTURBED SLOPES 4:1 OR GREATER SHALL BE RESTORED WITH 6" OF TOPSOIL, "NO MOW" FESCUE SEED AND N45 SC150 EROSION CONTROL BLANKET.

CONSTRUCTION SEQUENCE

- SILT FENCING INSTALLED
- EXISTING SURFACES DEMOLISHED & VEGETATION TO BE CLEARED
- TOPSOIL STRIPPED
- PROPOSED BASIN & WALL INSTALLED
- FOUNDATIONS DUG & POURED
- WALLS BACKFILLED
- FRAMING & HOME CONSTRUCTION COMPLETED
- DRIVE & LANDSCAPING COMPLETED

ALL AREAS OUTSIDE OF BASINS & SLOPES LESSER THAN 4:1 TO BE RESTORED WITH TOPSOIL AS SOON AFTER FOUNDATION AND FRAMING AS POSSIBLE FOLLOWED WITH GRASS SEEDING AND MULCH.

AREA WITHIN SILT FENCING TO BE CLEARED OF UNDERBRUSH WITH ONLY NECESSARY LARGE TREES REMOVED.

NOTE: ALL SILT FENCING SHALL BE MAINTAINED IN A STABLE CONDITION FULLY BRACED AND STAKED TO PREVENT MOVEMENT BY RUNOFF UNTIL A DENSE TURF IS ESTABLISHED OVER ALL DISTURBED GROUND SURFACES. DURING OR AFTER EVERY STORM THEY SHALL BE CHECKED. ACCUMULATIONS OF SILT TOPSOIL AND ANY OTHER CONSTRUCTION DEBRIS SHALL BE ROUTINELY REMOVED.

TOTAL LAND DISTURBANCE = 22,000 S.F.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CONTACT...

WIS. STATUTE - 182.0175(1074) - REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

LEGEND

- = FOUND IRON PIPE STAKE
- = FOUND IRON REBAR STAKE
- ▲ = FOUND MAG. NAIL
- (XXX) = RECORDED AS
- AREA SURVEYED = 25,250 S.F. 0.58 ACRES
- XXX = EXISTING LAND CONTOURS
- XXX--- = PROPOSED LAND CONTOURS
- XXX = PROPOSED GROUND GROUND
- XXX.X = PROPOSED FINISHED SURFACE GRADE

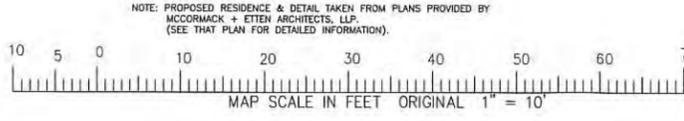
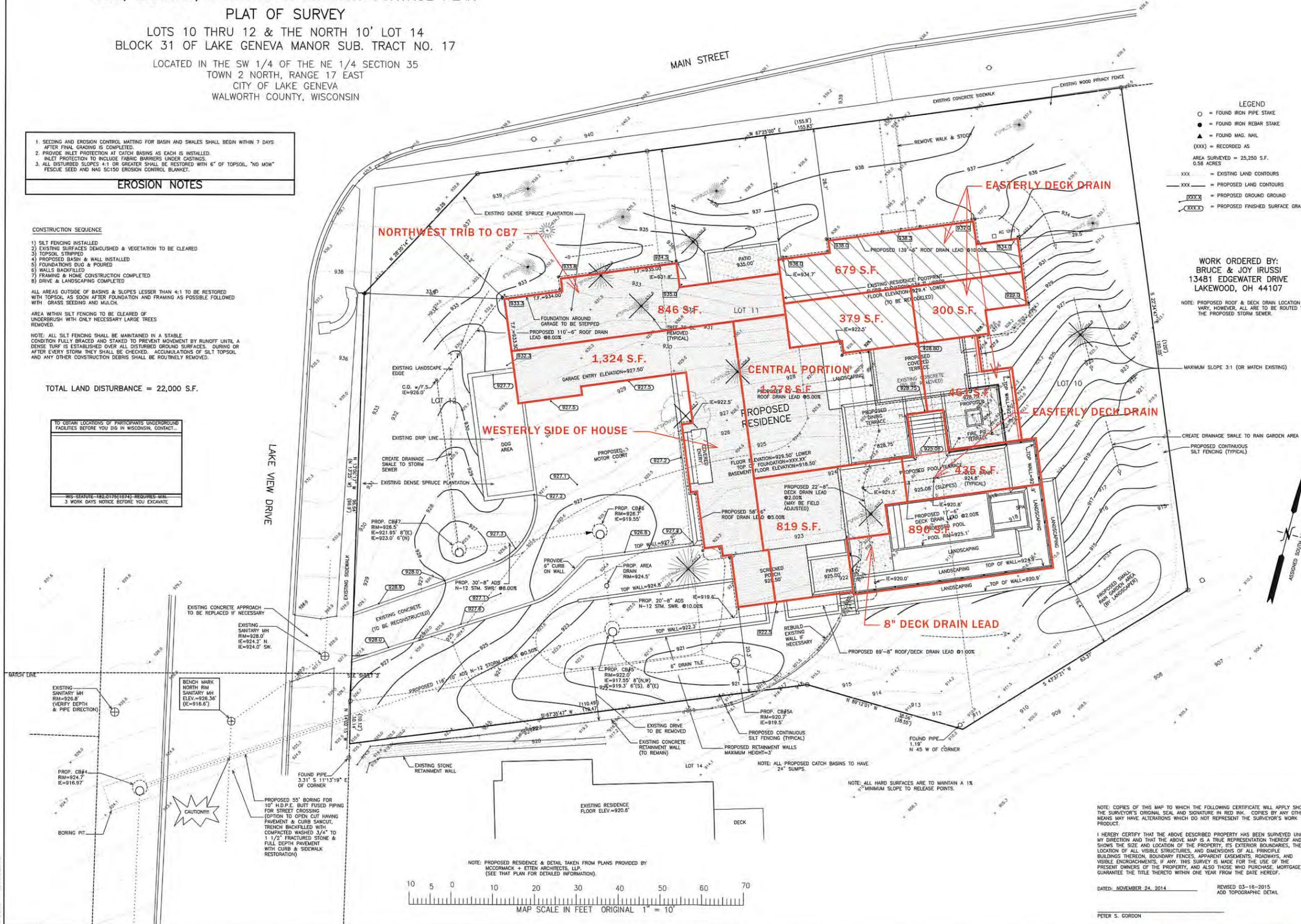
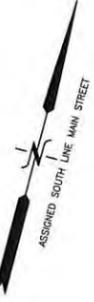
WORK ORDERED BY:
BRUCE & JOY IRUSSI
13481 EDGEWATER DRIVE
LAKEWOOD, OH 44107

NOTE: PROPOSED ROOF & DECK DRAIN LOCATION MAY VARY, HOWEVER, ALL ARE TO BE ROUTED TO THE PROPOSED STORM SEWER.

MAXIMUM SLOPE 3:1 (OR MATCH EXISTING)

CREATE DRAINAGE SWALE TO RAIN GARDEN AREA

PROPOSED CONTINUOUS SILT FENCING (TYPICAL)



NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES, AND DIMENSIONS OF ALL PRINCIPLE BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS, AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATE: NOVEMBER 24, 2014
REVISED 03-16-2015
ADD TOPOGRAPHIC DETAIL
PETER S. GORDON



Farris, Hansen & Associates, Inc.

Engineers Architects Surveyors

December 16, 2015

Ms. Kelly Frazier
McCormack + Etten / Architects LLP
400 Broad Street
Lake Geneva, WI 53147

Re: Drainage Issues for
Irrusi Residence
Project No. 9189.15

Dear Ms. Frazier:

In response to the email written by Hugh Connolly dated December 14, 2015, attached you will find the revised Plans and the Revised Storm Sewer Sizing Report. We have included the comments from the email in regular text and our response in *italics*:

1. The proposed new sewer is 10" in size, what is the size of the existing city sewer that they want to tie into and is there a restrictor at the point of connection that will only allow so much water to flow into the sewer? Simply, can the existing sewer handle the additional load without surcharging?

The existing city sewer in which we propose to tie into is a 12" pipe as previously reported. There will be no restrictor in the pipe at the point of connection. There may be limited surcharging under very heavy storm events, in general, there always is.

2. Is the area outlined in red the "tributary area" that will be tied to the city sewer in its entirety including all roof drains? What will happen to the overland flow of the tributary area if the catch basins and area drains get clogged with leaves, sticks, debris etc.? Is the 6" drain tile that is connected to the area drain just below the Southwest corner of the screened porch sized to handle the overland flow of the area above it (i.e. the West side drainage swale, driveway/motor court catch basins and area drain between) if these basins and drains are clogged during a 100 year event? If not, should it not be sized to handle the entire area above it in the event that those areas are clogged? This area will be the last line of defense before spilling over into the rain garden.

Yes the area outlined in red includes all roof drains. Water will pool on the surface and the inlets will need to be cleared. No, the 6" drain tile is sized for the small immediately tributary area. The assumption is that the system to the north will function and be maintained as to capture all of the upstream tributary areas.

December 16, 2015

3. Is the existing concrete retainment wall that is called out "to remain" tall enough to act as a dam wall to hold water if the catch basins and area drains are clogged? The plan mentions, "rebuild existing wall if necessary" is this for height purposes to act as a dam if the catch basins and drains are clogged, or for some other reason?

The existing retaining wall although not explicitly designed to do so, will hold back some water if the catch basins and area drains are clogged. The plan note stating to rebuild the wall if necessary was placed on the plan to allow the wall to be rebuilt if any part is damaged or in need of repair due to the proposed site improvements.

4. Is the proposed rain garden sized only for the remainder of the non-tributary area (the area not outlined in red) of the drawing? Is this sized for a 100 year event? Does the rain garden percolate or will it be channeled to an outflow off site to the Southeast?

The small rain garden is not sized for any particular storm event. The rain garden is being proposed to provide an additional area for the storm water to pond and infiltrate over time to further benefit the properties to the south. In the event of overtopping there will be sheet flow off site but at a much less rate than now occurs.

5. Will the gutters and downspouts be high-capacity sized and will they be tied into drain tile pipe that will be sized to handle a 100 year event?

The gutter leads are oversized compared to what is required per code for roof drains. As you can see by the attached revised Storm Sewer Sizing Report, the proposed roof drains are oversized between 2 and 13 times what is required according to code.

6. It appears that the East half of the roof and patios will be tied into a drain tile that runs directly to the catch basins on site, do the West and North roof drain splash into the drainage swale that is called out on the West side of the garage eventually connecting to catch basin#7? If yes then why aren't all tied in directly?

After our discussion with Hugh, we have revised the plan to show all of the roof drain leads being tied into the proposed drainage piping system directly.

7. How will potential scouring and erosion be handled if the rain garden is overwhelmed, and spills onto neighboring properties?

Currently there is no scouring or erosion issues on-site. The introduction of the rain garden will lessen the impact of water flow off-site. In the event of overtopping drainage will sheet flow off site as it does today and continue not to cause and scouring or erosion issues.

8. It is my understanding that this will be a seasonal property. Who will be responsible for the cleaning and maintenance of this proposed system and how can we guarantee that it will

Page 3
Ms. Kelley Frazier
Irrusi Residence

December 16, 2015

maintained and deemed operational on a daily basis? This is a legitimate concern, especially in the Fall, because if it clogs we will then receive all of the site's storm water, including new improvements, which will be substantially more than what we are currently receiving.

A maintenance agreement will be made with a local contractor to maintain the landscaping and drainage system while the Irrusi's are away or on a full time basis.

Sincerely,

FARRIS HANSEN & ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read 'Warren E. Hansen', written over the company name.

Warren E. Hansen, P.E.

dsr

Dear Jim Wilkins and concerned LG Manor neighbors-

Dec. 16, 2015

See responses in red below to your concerns and thoughts not addressed in Warren Hansen's letter per email sent 12/15/2015.

We hope this will clarify any concerns you may have and confirm we have taken your concerns into consideration.

Thanks-

Kelly Frazier, Senior Project Manager
McCormack + Etten / Architects LLP
Cell Phone: 262-215-0586
Home Office: 262-245-9531
Main Office: 262-248-8391
Email: kelly@mccormacketten.com
Website: www.mccormacketten.com

-----Original Message-----

From: James Wilkin [mailto:james.ankledeep@gmail.com]

Sent: Tuesday, December 15, 2015 10:17 AM

To: kelly@mccormacketten.com

Cc: Frost David <dfrost@frostpartners.com>; Wayne Reuter <wcreuter@aol.com>; Mancuso Dawn Marie <dmmancuso@wi.rr.com>; Hugh V. Connolly <hvconnolly@sbcglobal.net>; marcie hollmann <marciehollmann2@hotmail.com>; Paula Pezza <Paulapezza@aol.com>; Sarah McConnell <Sarahtmcc@gmail.com>; Nickols Thomas & Janet <thomas.nickols@bernstein.com>; Tykee Green <tykeegreen@hotmail.com>; joyirussi@gmail.com

Subject: draining plan issues

Dear Kelly,

Here are some random thoughts for you regarding the drainage plan.

The manholes going south in the parkway could interfere with the development of our lots with the curb cuts.

-Will this effect our lot values?

The placement of the catch basins are on the city right-of-way and located as needed for proper drainage for of the pipe for gravity feed based on the slope of hill and limitations to boring capabilities. It looks like they are somewhat located near property lines where side setbacks would be, making some assumptions for combining lots or if individual lots will be developed. If you have any plans for subdividing or selling these lots, engineering would have to be analyzed for changes to placement as slight adjustments could be con. I would assume that like any utilities access points, light poles or other that appears in the city right-of-way would need to be considered and planned around when developing a property and may or may not have bearing on property values.

-The memorial parkway trees will likely be affected. Will they be replaced if necessary? \

Caution as to not disrupt the trees will be taken where possible as they do the borings. Yes as, noted on the plan, trench restoration is required

-Is the receiving pipe large enough to receive the large amount of water without creating a geyser near Orchard?

As addressed in Warren Hansen's response letter to Hugh Connolly, "The existing city sewer in which we propose to tie into is a 12" pipe" "There will be no restrictor in the pipe at the point of connection. There may be limited surcharging under very heavy storm events, in general, there always is." It will not be a "geyser" per Warren's response when discussed with him.

-Will this effect any future sewer and water hookups for our lots?

The pipes that will be bored for this system will be approximately 4' to 5' below street level, see storm sewer profile in report. Utilities to lot are typically buried deeper than that, but will need to be located and worked around as what is typically expected with any future utility accesses.

-It would be nice to re-sod the disturbed areas since we maintain it.

As noted on the plans, "trench" restoration" is required which will require reseeding where needed.

Please consider these issues.

Thank you,
Jim Wilkin

Kelly C. Frazier

From: Kelly C. Frazier <kelly@mccormacketten.com>
Sent: Thursday, December 10, 2015 3:18 PM
To: 'David Frost'; 'Wayne Reuter'; 'Dawn Marie Mancuso'; 'hvconnolly@sbcglobal.net'
Cc: 'marcie hollmann'; 'Paula Pezza'; 'Sarah McConnell'; 'Tom Nickols'; 'Tykee Green'; 'james wilkin'; 'Joy Irussi'
Subject: RE: Irussi Residence 145 LakeView Drive Drainage Plan
Attachments: 1505 ZONING AREAS -CONDITIONAL USE.pdf

Hello everyone again-

Attached is the updated Area Tabulation Calculations for the Irussi Residence at 145 Lake View. There has been some questions as to lot area, areas of existing and proposed construction and lot coverage. I had sent this previously, but I wanted to update with the latest proposed drainage plan as there has been some minor adjustments to the retaining walls. Hopefully this will be helpful to answer any questions and clarify that we exceed the requirements. The calculations were done based on the Lake Geneva Zoning Ordinance definitions of the SR-4 zoning requirements. I have also included lot coverage comparison from Existing to proposed and Maximum Living Area calculations per your own guidelines

Summary: Refer to the conclusions listed on the bottom to summarize and clarify that the proposed construction meets the requirements for with explanation as to how it is determined per SR-4 Zoning:

-Building coverage: Proposed area 20% (40% allowed)
-Landscape Surface Ratio: Proposed 63% (50% LSR required)
-Lot coverage increase from extg. to proposed: Increased surface lot coverage by 1.564 times from existing.
-LGM-ARC guidelines –maximum living area: Proposed 24% (35% allowed)

Please consider these when reviewing to answer any questions that neighbors may have.

Thanks-

Kelly Frazier, Senior Project Manager

McCormack + Etten / Architects LLP

Cell Phone: 262-215-0586

Home Office: 262-245-9531

Main Office: 262-248-8391

Email: kelly@mccormacketten.com

Website: www.mccormacketten.com

From: Kelly C. Frazier [mailto:kelly@mccormacketten.com]
Sent: Wednesday, December 09, 2015 3:34 PM
To: 'David Frost' <dfrost@frostpartners.com>; 'Wayne Reuter' <wcreuter@aol.com>; 'Dawn Marie Mancuso' <dmmancuso@wi.rr.com>; 'hvconnolly@sbcglobal.net' <hvconnolly@sbcglobal.net>
Cc: 'marcie hollmann' <marciehollmann2@hotmail.com>; 'Paula Pezza' <Paulapezza@aol.com>; 'Sarah McConnell' <Sarahmcc@gmail.com>; 'Tom Nickols' <thomas.nickols@bernstein.com>; 'Tykee Green' <tykeegreen@hotmail.com>; 'james wilkin' <jamespwilkin@aol.com>; 'Joy Irussi' <joyirussi@gmail.com>
Subject: Irussi Residence 145 LakeView Drive Drainage Plan

Hi LG Manor ARC and neighbors-

Attached is the Storm Sewer Report and Drainage plans for Irussi Residence. The last two pages of the report are the drainage plan. After considering many options we feel that the proposed plan will address the concerns of the neighbors that are directly impacted by the Irussi Lot to the best of our ability.

Currently, in its existing state, 100% of the lot surface drains directly to the south/southeast corner of the lot in the existing conditions. We are proposing reducing the surface drainage of the lot, by catching **more** than the majority of the sites surface water loads and directly piping it to the City storm sewer located at the bottom of Lake View drive on the west side of Lake View at the city right-of-way. By doing this, we are reducing the amount of surface drainage to the natural low grade of the lot at the southwest corner of the lot. There, we will be proposing a landscape rain garden (handling smaller volumes than previously proposed) that will be planted with plantings that are conducive to slowing the drainage for the greatly reduced amount of surface drainage that will naturally occur on the east side of the property. This is illustrated on the drainage plan showing a red line of the area of the lot with proposed construction that will be directed to the city storm sewer. We will be using a series of swales, terrace, pool deck, and motor court drains, and using gutters and downspouts from roofs that will direct the water to the catch basins on site that tie to the city sewer. Per the storm sewer report conclusion, we are essentially removing approximately 60% of the area of lot's surfaces drainage that will no longer be directed to the south/southeast corner. In our opinion, this should address the concerns of the neighbors directly adjacent to the Irussi's lot. In fact, the hope is that it will actually improve the drainage that occurs with the existing house and paving coverage as it exists now.

As requested by them, I will be dropping off larger hard copies of the drainage plan and report to David Frost or Tom Nickols, Hugh Connolly, and Dawn Marie Mancuso as these are the people we have been working with to come up with the plan. My understanding is that the ARC will be reviewing and consulting with neighbors as needed for comments so the board can have a teleconference on Sunday. Please respond to the board as needed so they can respond to the city prior to the Conditional use meeting with the Planning commission on Dec. 21. Please be sure to distribute or consult with the necessary parties that may not have been copied on this email.

We would appreciate a timely response as we will also need to submit our plan to the City Engineer for their review and comment to the city. I am trying to meet the already extended deadlines that the city has granted us, while keeping in mind of all the involved parties schedules thus giving them a reasonable time to complete what is required prior to the Dec. 21 meeting.

If you have any questions, please don't hesitate to call or email as needed.

Thanks-

Kelly Frazier, Senior Project Manager

McCormack + Etten / Architects LLP

Cell Phone: 262-215-0586

Home Office: 262-245-9531

Main Office: 262-248-8391

Email: kelly@mccormacketten.com

Website: www.mccormacketten.com

IRUSSI RESIDENCE

updated 12.9.15

145 LAKE VIEW DRIVE

LAKE GENEVA MANOR (SR-4)

ZONING - LOT COVERAGE

A. LOT AREA: 25,246 SQ. FT.

B. MAXIMUM ALLOWABLE LOT COVRG (40%):

25,246 SF (A)

x .40

10,098 SF ALLOWED

C. BUILDING COVERAGE PROPOSED:

HOUSE/GARAGE/COVERED TERRACE: 5,010 SF

(C) DIVIDED BY (A) = 20% PROPOSED

D. LANDSCAPE SURFACE RATIO (MIN) LSR (50%)

25,246 SF (A)

x .50

12,623 SF REQUIRED

E. IMPERVIOUS SURFACES:

MOTOR COURT -STREET: 2,199 SF

POOL/TERRACES -REAR: 2007 SF

OFFICE TERRACE -NORTH: 138 SF

RETAIN'S WALLS SOUTH: 91 SF

TOTAL: 4435 SF

F. LOT COVERAGE (NOT LANDSCAPING)

BUILDING COVERAGE (C): 5,010 SF

IMPERVIOUS SURFACES (E): 4,435 SF

TOTAL LOT COVERAGE: 9,445 SF

G. LANDSCAPE SURFACE PROPOSED (GREEN SPACE):

LOT AREA (A): 25,246 SF

LESS LOT COVERAGE (F): -9,445 SF

TOTAL LANDSCAPE PROPOSED: 15,801 SF

(G) DIVIDED BY (A) = 63% LSR

**** CONCLUSION: MEETS ZONING REQUIREMENTS
PROP'D BUILD'G AREA (C) 20% (LESS THAN 40%)
PROP'D LSR (G) 63% (MORE THAN 50%)

H. BUILDING SETBACKS:

-25'(STRT)

-30'(REAR)

-15'(SIDES)

Corrected Notice

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before a City Plan Commission Meeting on Monday, December 21, 2015, at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, for approval of a Precise Implementation Plan (PIP) Amendment for McCormack + Etten / Architects, LLP, 400 Broad Street Lake Geneva, WI 53147 for Geneva Professional Group, 312 Center Street, Lake Geneva, WI 53147 at the following location:

Tax Key Nos. ZOP 00161 – 312 CENTER STREET

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, December 21, 2015, at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any objections that may have been filed and to hear all persons desiring to be heard.

Dated this 4th day of December, 2015.

Mayor James R. Connors
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on December 17th.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

312 CENTER STREET, LAKE GENEVA, WI 53147

TAX KEY NO. ZOP 00161

LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY,

Name and Address of Current Owner:

GENEVA PROFESSIONAL GROUP

312 CENTER STREET, LAKE GENEVA, WI 53147

Telephone No. of Current Owner including area code: (262) 248-8766

Name and Address of Applicant:

KEN ETTEEN / MCCORMACK + ETTEEN / ARCHITECTS LLP

400 BROAD STREET, LAKE GENEVA, WI 53147

Telephone No. of Applicant including area code: (262) 248-8391 EXT. 12

Proposed Use:

TWO NEW ADDITIONS TO THE EXIST LAKE GENEVA
ORAL + MAXILLOFACIAL SURGERY BUILDING / 1382 S.F. ADDITION
FOR NEW OPERATORY ROOM / 188 S.F. ADDITION FOR NEW
STERILIZATION ROOM.

Zoning District in which land is located: PD - PLANNED DEVELOPMENT

Names and Addresses of architect, professional engineer and contractor of project:

MCCORMACK + ETTEEN / ARCHITECTS LLP

400 BROAD STREET, LAKE GENEVA, WI 53147

Short statement describing activities to take place on site:

LAKE GENEVA ORAL + MAXILLOFACIAL SURGERY
HAS BEEN PROVIDING PROFESSIONAL SERVICES
AT THIS LOCATION SINCE 1988. THEY WISH TO EXPAND
THEIR PRACTICE TO BETTER SERVE THEIR PATIENTS
IN THE LAKE GENEVA AREA.

PIP Amendment fee \$400.00, payable upon filing application.



Signature of Applicant

November 12, 2015



**Mr. Ken Robers
Building Inspector / Zoning Administrator
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147**

**Re: APPLICATION FOR AMENDMENT TO
PIP – PRECISED IMPLEMENTATION PLAN
PLANNED DEVELOPMENT (PD) ZONING
ADDITIONS & ALTERATIONS TO
LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY
312 CENTER STREET
LAKE GENEVA, WI 53147
JOB NO. 1570**

Dear Mr. Robers & Plan Commission Members:

Drs. Robert Conlon, Dr. John Richard and Dr. Bryan VanOven wish to amend the *PD - Planned Development Zoning* for Lake Geneva Oral & Maxillofacial Surgery at 312 Center Street, Lake Geneva, Wisconsin, Tax Key #ZOP 00161, to allow for Additions & Alterations on the north and south sides of the building for additional dental office space as described below.

The *Existing Site* consists of approximately 12,003 sq. ft. or approximately 0.28 acres. In addition to the *Existing Building*, the north side of the site contains a paved Parking Lot with 15 spaces and the areas immediately adjacent to the building are landscaped or predominantly green areas.

The *Existing Building* is a two story, wood frame structure with a partial *Basement* that was originally a residence that was expanded and remodeled a number of years ago for office space and is currently and oral surgery office. Under the *Lake Geneva Zoning Ordinance*, the *Existing Building & Use* are classified as “*Personal and Professional Services*”, which is a use *Permitted by Right* under the *CB – Central Business Zoning District*. *When the Building was remodeled a number of years ago, the zoning was changed to PD - Planned Development because of the unique configuration of the property.* In its present configuration, the *Existing Building* contains Reception / Waiting Area, Dental / Oral Surgery Operatory Space, Offices, Storage and Restrooms on the *Main Floor*, Private Office Space and Storage for the Owners not open to the public on the *Second Floor*, and Storage and Mechanical Space on the *Basement Level*.

McCormack + Etten / Architects, LLP

400 Broad Street, Lake Geneva, WI 53147
Email: contact@mccormacketten.com

Ph (262) 248-8391 Fax (262) 248-8392
<http://www.mccormacketten.com>

A. *The Owners wish to construct two New Additions, one on south side of the Existing Building to provide New Operatory Space and one on the north side to expand the Sterilization Room. In addition, there would be some interior remodeling of the Patient Recovery Area and upgrades to the plumbing, mechanical and electrical systems.* The new configuration as currently proposed would consist of the following:

FIRST FLOOR Approximately 138 sq. ft. of *New Operatory Space* on the south side fo the building and approximately 188 sq. ft. of *New Sterilization Space* on the north side.

SECOND FLOOR No Change / *No public access.*

BASEMENT No Change / *No public access.*

As noted above, the Site currently also contains a paved private Parking Lot with 15 stalls including one handicapped accessible stall. These 15 parking stalls will be maintained.

B. Under the current **City of Lake Geneva Zoning Ordinance**, the property is zoned **PD - Planned Development**. Several facts should be considered when viewing the remodeling of the *Existing Oral Surgery Office* on this site:

- It is a unique existing structure on a limited site that originally was a residence that was converted to office use over 35 years ago.
- It is located in close proximity to the *Central Business District Zoning* and its configuration would be more nearly in keeping with the criteria for the *Central Business (CB) District*.
- The adjoining properties along Center Street include a restaurant that is zoned *CB - Central Business* and an office building that is zoned *GB - General Business*, neither of which provide public on-site parking. *Lake Geneva Oral & Maxillofacial Surgery will continue to provide 15 off-street parking stalls on their property.*

Given that the existing building, site and proposed use are so unique, we believe the best option is to allow an Amendment to the current Planned Development (PD) with criteria similar to those used in the Central Business (CB) Zoning District.

C. **Zoning Intensity and Bulk Standards Under the present “Central Business” (CB) Zoning (Nonresidential Uses) That Would Be Met:**

Maximum Number of Floors: 4 Floors Allowed / 2 Stories + Basement Provided. (3 Floors Total)

Minimum Lot Area:	1,750 s.f. Required / 12,003 s.f. Provided
Minimum Lot Width:	20' Required, 87' Provided.
Min. Bldg. to Residential Rear (West) Lot Line:	10' Required / 78' Provided plus 6' Fence
Maximum Bldg. Height:	45' Max. / 25' Actual
Min. Landscape Surface:	0% Required / 23% Provided (2,750 s.f.)
Maximum Floor Area Ratio:	3.0 Allowed / .33 Actual (3,935 s.f. Building / 12,003 s.f. Lot)
Front Street Setback @ Center Street:	0' Required @ Front Street Side 32' Provided
Required Parking:	0 Stalls Required / 15 Stalls On-Site
Side Street Setback @	0' Required 27' Provided @ alley on north side 3.6' Provided @ side yard on south side
Min. Paved Surface Setback	0' Required / 0' Provided

D. Zoning Standards Under the present “Central Business” (CB) Zoning (Nonresidential Uses) That Would Not Be Met:

Min. to Nonresidential Side (South) Lot Line:	10' Required / 2' Provided @ southwest corner of site.
--	---

The following documents are enclosed to facilitate the review of the proposed Planned Development rezone:

1. A *Location Map of the Subject Site* and other lands within 300 feet of the Subject Site on the *City of Lake Geneva Zoning and Land Use Map*.
2. A *Certified Survey Map* which depicts the dimensions of the *Subject Site*.
3. A *General Written Description* of the *Proposed Amended PIP and Potential Requested Exemptions*.
4. A *Site Plan, Floor Plans & Elevations* of the proposed additions and changes to the Building.

Thank you for your consideration of the above project. Please let me know if you need additional information or have any questions.

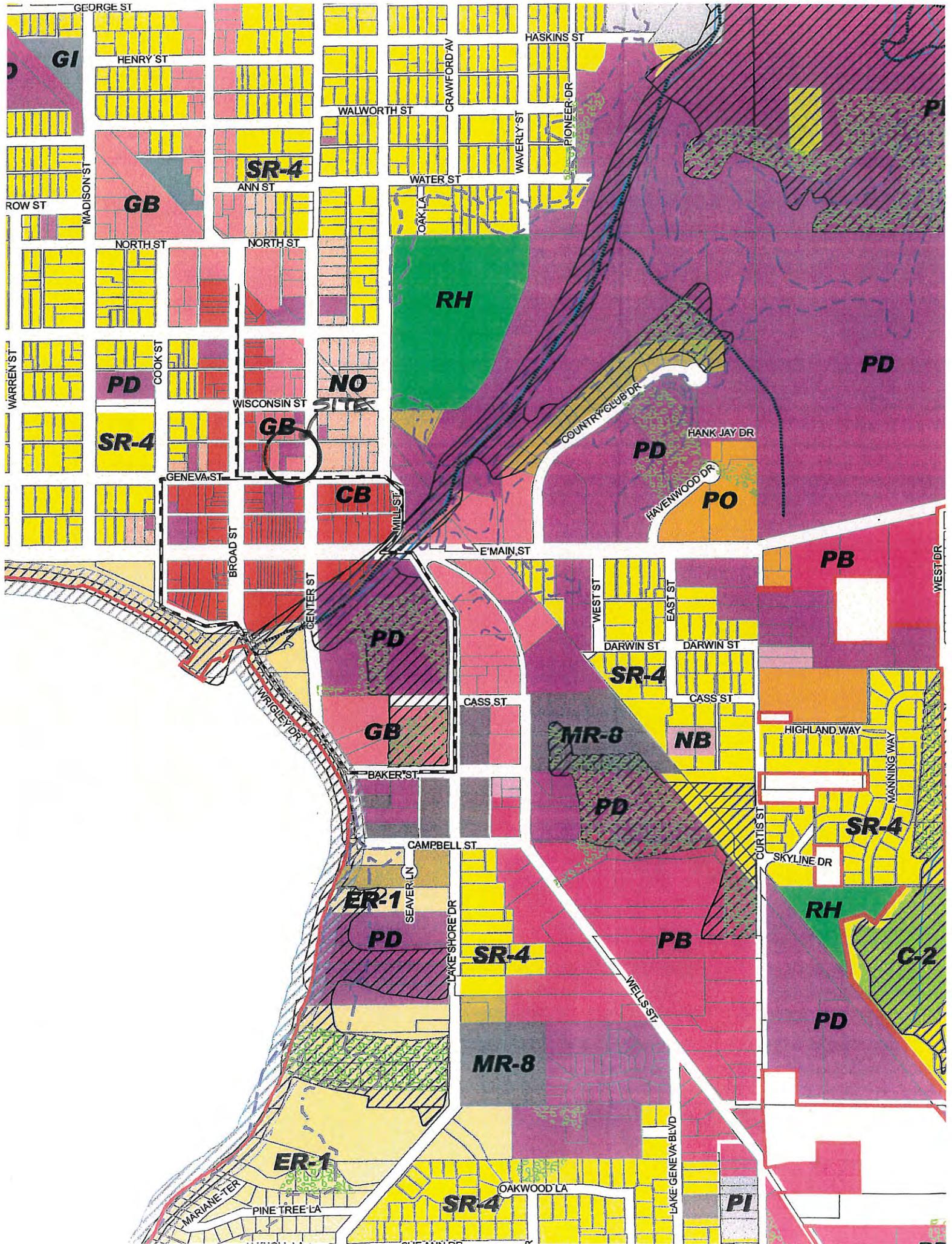
Sincerely,

A handwritten signature in black ink, appearing to read "Kenneth L. Etten". The signature is fluid and cursive, with a large initial "K" and a stylized "E".

Kenneth L. Etten A.I.A.

McCormack + Etten / Architects

A. GENERALIZED LOCATION MAP



**B. MAP OF SUBJECT PROPERTY
AND CERTIFIED SURVEY MAP**



My Map

WALWORTH COUNTY, WISCONSIN



Author:
Map Produced on: 11/11/2015

Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD83

Walworth County Information Technology Department
Land Information Division
1800 County Trunk N N
Elkhorn, Wisconsin 53121-1001



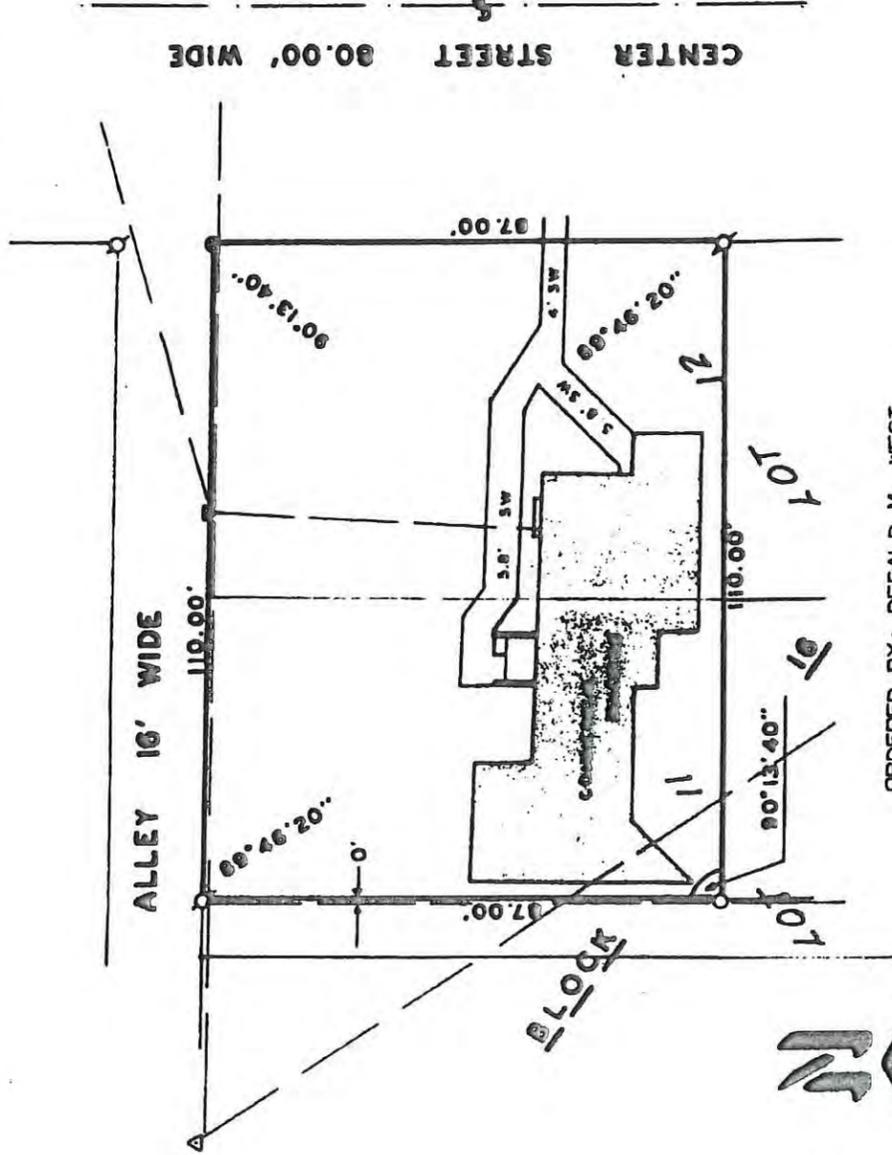
DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NOWARRANTY, EXPRESS OR IMPLIED, IS MADE REGARDING ACCURACY, COMPLETENESS, QUALITY, RELIABILITY OR USEFULNESS OF THIS INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.

ZOP 00297



KOLB LAND CONSULTING, INC.
 LAND SURVEYING · SUBDIVIDING · LAND PLANNING

929 WILLIAMS STREET LAKE GENEVA, WISCONSIN 53147 414-248-3697



ORDERED BY: DEWALD M. WEST
 312 CENTER STREET
 LAKE GENEVA, WI. 53147

SCALE: 1" = 30'

LEGEND

- ⊙ - IRON PIPE FOUND
- - 1-1/4" X 24" IRON PIPE SET
- ⊙ - RAILROAD SPIKE SET
- △ - UTILITY POLE
- - OVERHEAD UTILITY LINE
- SW - SIDE WALK

PLAT OF SURVEY OF

THE NORTH 87 FEET OF THE EAST 50 FEET OF LOT 11 AND THE NORTH 87 FEET OF LOT 12, BLOCK 16, OF THE ORIGINAL PLAT OF THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

Harold H. Kolb

HAROLD H. KOLB
 WISCONSIN REGISTERED LAND SURVEYOR, S-187
 DATE MAY 8, 1986
 REVISED _____
 REVISED _____



PREPARED FOR
BOB CONLON
LAKE GENEVA ORAL SURGERY
312 CENTER ST.
LAKE GENEVA WI. 53147

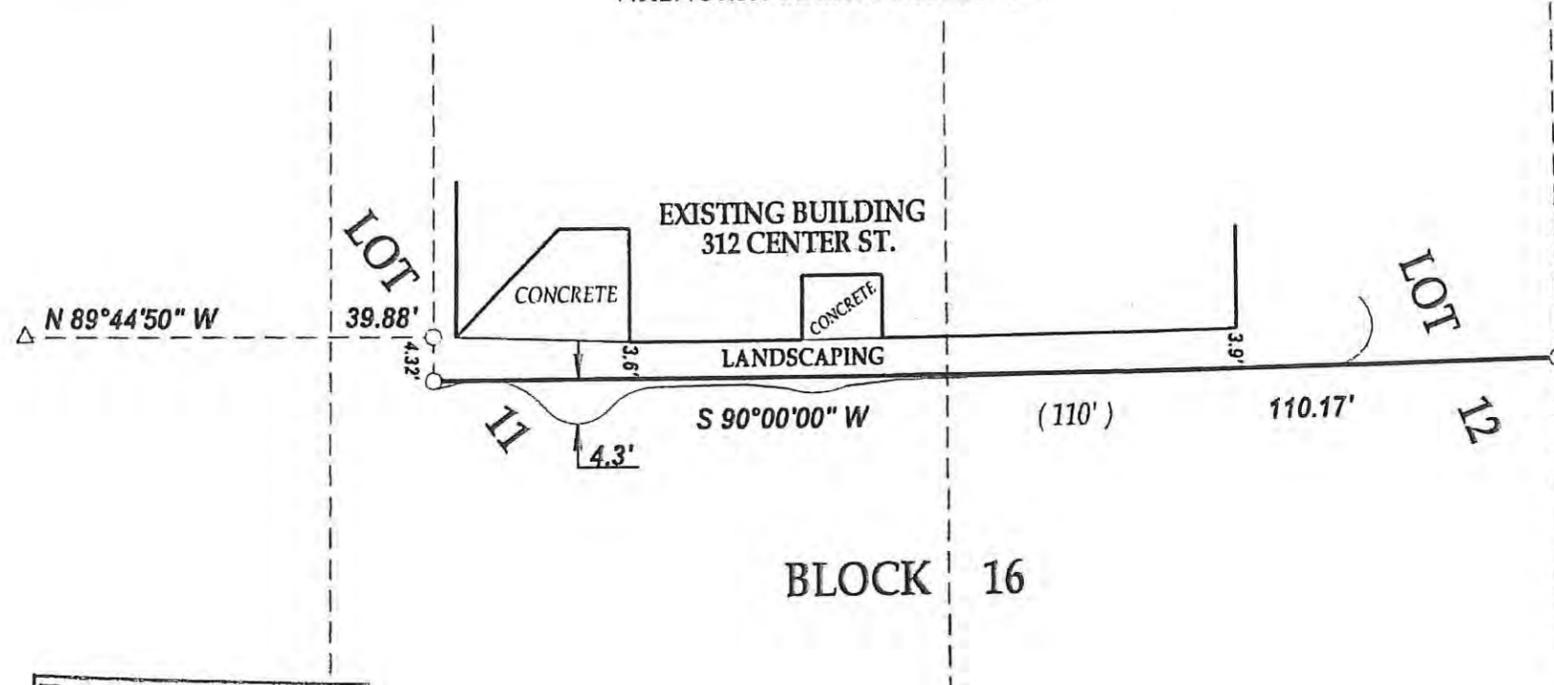
PLAT OF SURVEY

-OF-

THE SOUTH LINE OF THE NORTH 87 FEET OF LOT 12 AND THE
NORTH 87 FEET OF THE EAST 50 FEET OF LOT 11, ALL IN BLOCK
16 OF THE VILLAGE OF GENEVA (NOW CITY OF LAKE GENEVA)
WALWORTH COUNTY WISCONSIN.

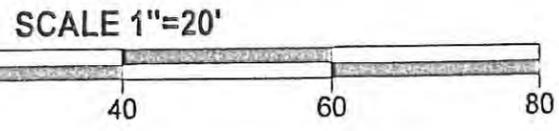
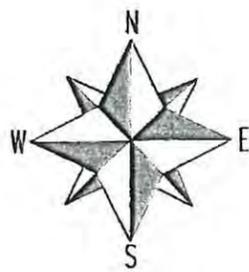
KROTT SURVEYING INC.

N3705 WILLOW BEND LANE
LAKE GENEVA WI. 53147
PHONE # (262)248-3697
FAX # (262)249-0639



C.T. CENTER STREET
(80' WIDE)

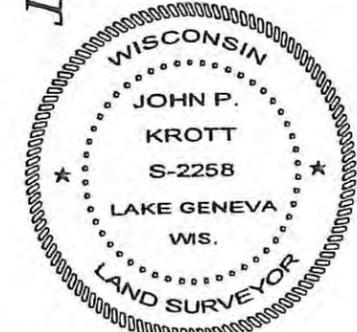
RECEIVED
OCT - 5 2011
By *JMK*



I have surveyed the above-described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences apparent easements and roadways and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or insure the title thereto within one (1) year from date hereof; and as to them I warrant the accuracy of said survey map.

NOTE: BEARINGS ARE ASSUMED



DATED THIS 26th DAY OF AUGUST 2011.

John P. Krott

JOHN KROTT S - 2258
Wisconsin Registered Land Surveyor
(original if signed in red)

LEGEND
○ FOUND IRON PIPE
△ FOUND MAG NAIL
(XX) RECORDED AS
TAX ID # ZOP00161
JOB # 11-129

007-2825

**C. GENERAL WRITTEN DESCRIPTION
& POTENTIAL REQUESTED
EXEMPTIONS**

GENERAL WRITTEN DESCRIPTION OF PROPOSED PLANNED DEVELOPMENT AMENDMENT

The Owners respectfully requests an *Amendment to PD - Planned Development Zoning* for their property to allow for the *Additions & Alterations to the Lake Geneva Oral & Maxillofacial Surgery* as described herein.

A. The *Existing Building* is located in the City of Lake Geneva at 312 Center Street and is presently consists of a two story structure with a partial basement. It was originally a residence that was converted to an office building around 1980 for an architectural firm and has operated under its current use since 1988.

B. The *Existing Site* consists of 12,003 sq. ft. or approximately 0.28 acres. Under the current *PD - Planned Development Zoning*, the *Building Use* as an oral surgery office is classified as "*Personal & Professional Services*" which is a Use Permitted by Right within the *Central Business Zoning District*. In its present configuration, the *Building* contains Oral Surgery Operatory Spaces, a Reception Area, Offices, Storage and Bathrooms. The *Second Floor* is private Office Space for the Owners and is not open to the public and the *Basement Level* is Storage and Mechanical Space, also not open to the public. *The Site contains paved Parking Lots on the north and west with a total of 15 spaces plus public on-street parking on the Center Street. The areas immediately adjacent to the Building area landscaped or predominantly green areas.*

C. The *Proposed New Additions* the Owners wish to construct would consist of a *New Operatory Room* approximately 138 sq. ft. in size at the southwest corner of the Existing Building and a *New Sterilization Room* approximately 188 sq. ft. on the north side.

D. At the *Proposed New Additions*, the Owner wishes to continue the *Finish Materials and Landscaping* of the *Existing Building*. The *Exterior Finish Materials* would be predominately white E.I.F.S. on the walls, brown asphalt shingles on the roof and dark bronze anodized aluminum window and door frames to match the *Existing Building* finishes. *There would be no significant changes to the building signage or exterior lighting and only minimal changes to the landscaping due to the New Additions.*

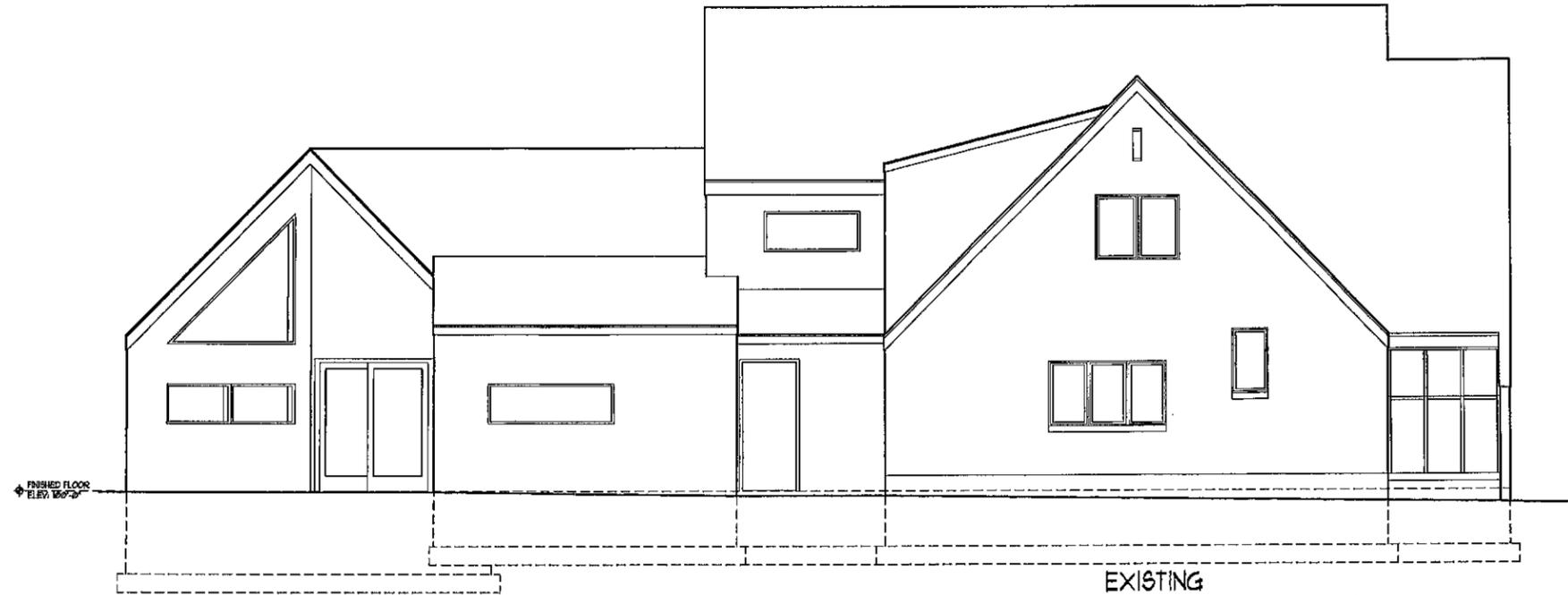
WRITTEN JUSTIFICATION FOR REQUESTING PLANNED DEVELOPMENT ZONING AMENDMENT

Since the current site meets the majority of the *CB – Central Business Zoning* requirements that have been used for this property in the past, the reason for requesting the *Amendment to the Existing PD - Planned Development Zoning* under the Lake Geneva Zoning Ordinance, including the following items:

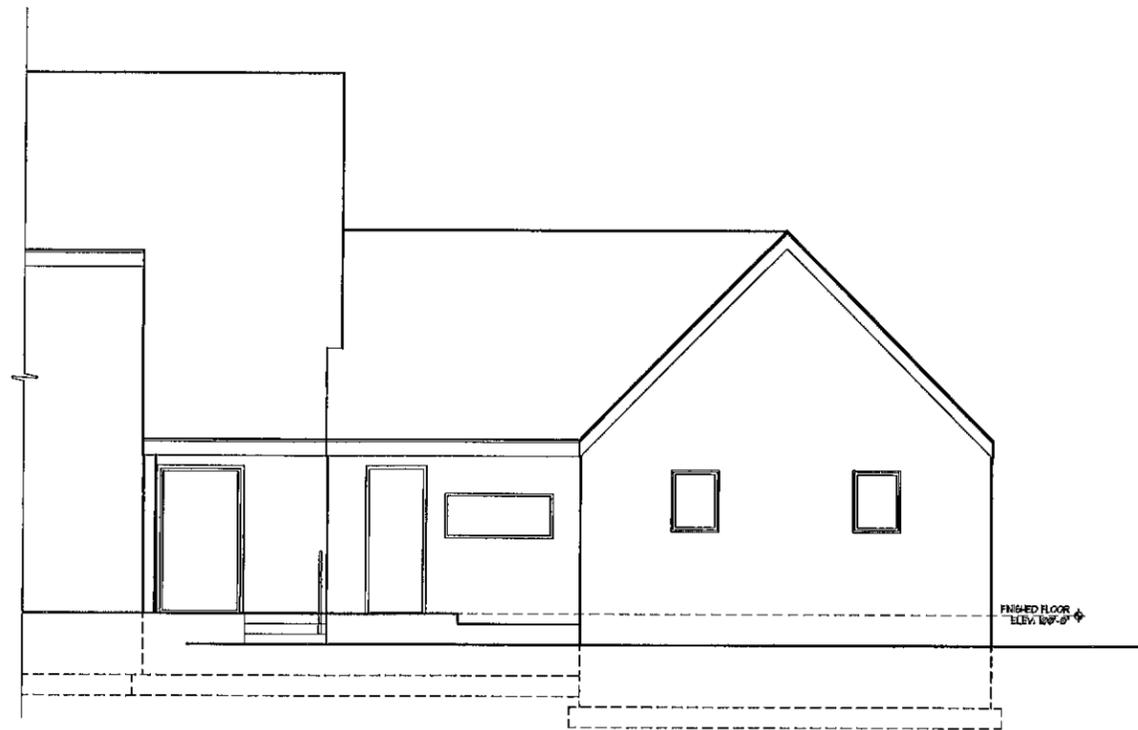
1. **SETBACKS:** Under *CB - Central Business District* requirements that have been referenced for this property in the past, the required setback to a **Street Side Lot Line** would be 0' on Center Street, the required **Side Lot Line Setback** to a **Non-Residential Property** on the north and south sides would be 0', and the **Minimum Rear Yard Setback** would be 10'. The *Existing Building* and *Proposed New Additions* meet the **Street and Side Yard Setback** requirements but, due to the small jog in the southwest lot line, the *Existing Building* and *Proposed New Additions* do not meet the **10' Rear Yard Setback** for a small portion of the southwest corner of the *Building*. *The Existing Building and the Proposed New Addition at the southwest corner of the property would come within approximately 2' of the rear lot line for a length of 4.32' at the jog in the lot line. The Owners would request a variance from the normal Setback requirements for this portion.*

2. **SPECIFIC PERFORMANCE STANDARDS:** This **Building** has been a part of the Lake Geneva business community for a number of years, both as a residence and as a commercial office building. The majority of the buildings on this block on both **Center Street** and **Geneva Street** are residential structures that have been converted to commercial uses and are either zoned *General Business* or *Planned Development* using the *Central Business Zoning District* standards. *This specific property meets all of the Bulk and Intensity requirements of the Central Business District with the exception of the 10' Rear Yard Setback for a small portion of the southwest corner of the building. In addition, it provides 15 off-street parking stalls for employees and customers. The Owners request the cooperation of the Plan Commission and the City Council in allowing this Amendment to the current PD – Planned Development Zoning.*

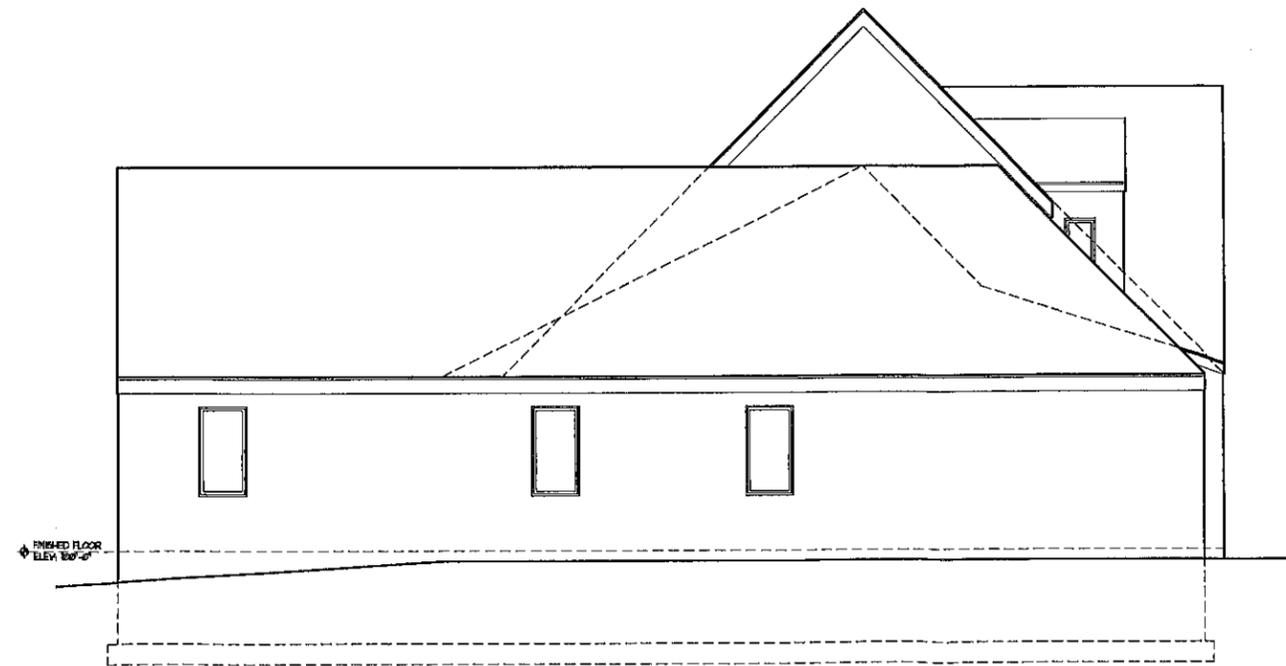
D. PLANS AND ELEVATIONS



EXISTING
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING
WEST ELEVATION
SCALE: 1/4" = 1'-0"

McCormack + Eitten / Architects, LLP
400 Broad Street
Lake Geneva, WI 53147
Ph (262) 248-8891
contact@mccormackeitten.com www.mccormackeitten.com



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ADDITIONS AND ALTERATIONS TO THE
LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY
312 CENTERS ST.
LAKE GENEVA, WI 53147

PROJECT NO.
1510

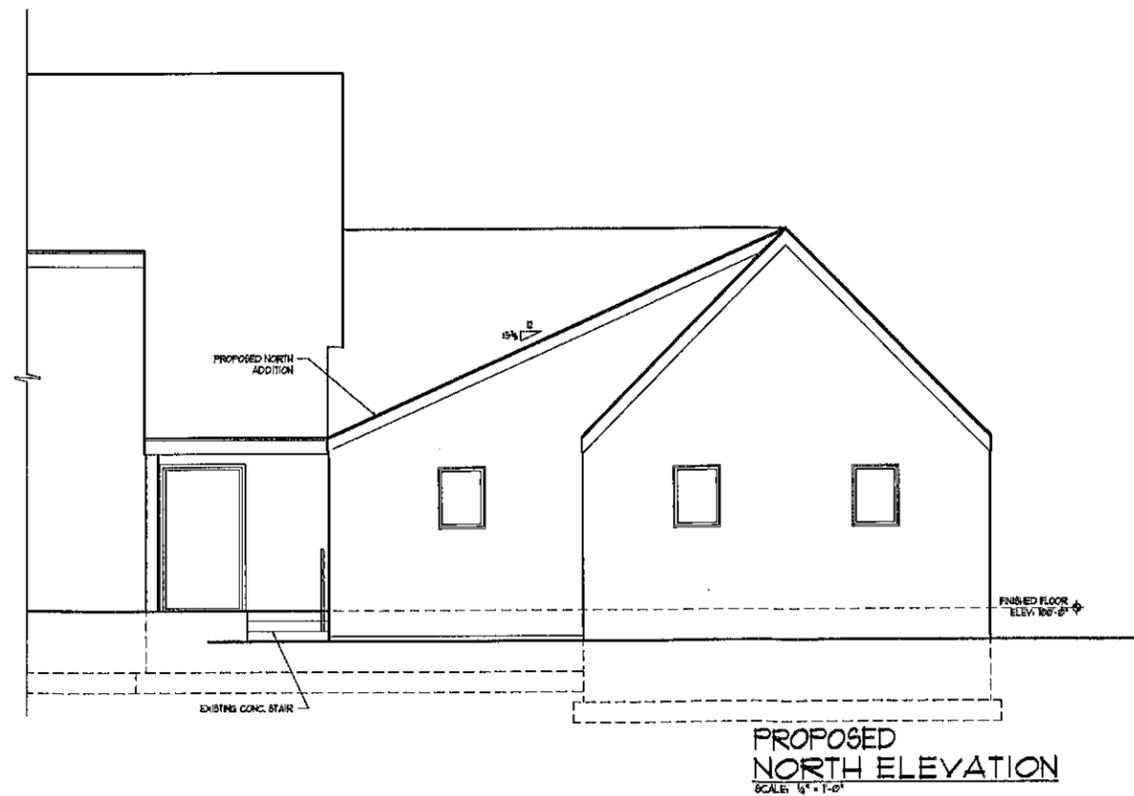
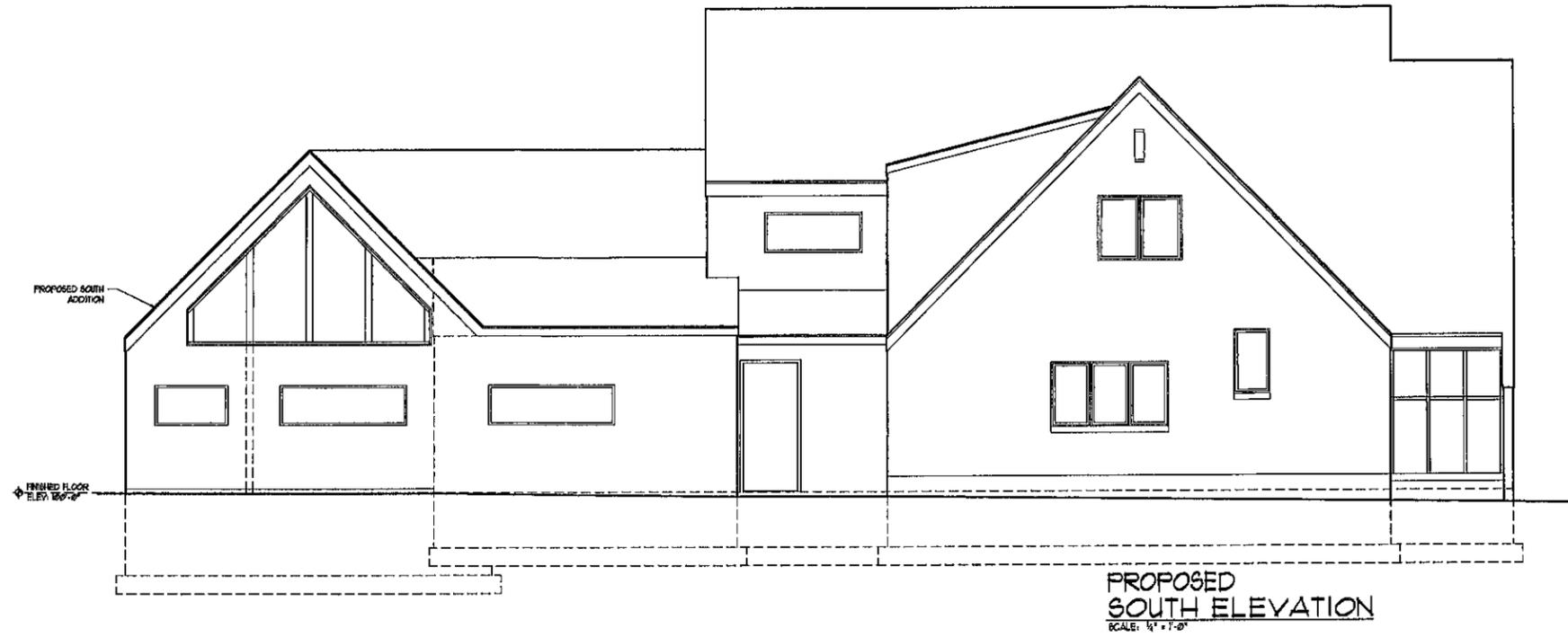
REVISIONS

- PRELIMINARY
- SUBMITTAL
- PERMIT
- CONSTRUCTION

DATE
11-12-15

SHEET

AB-2

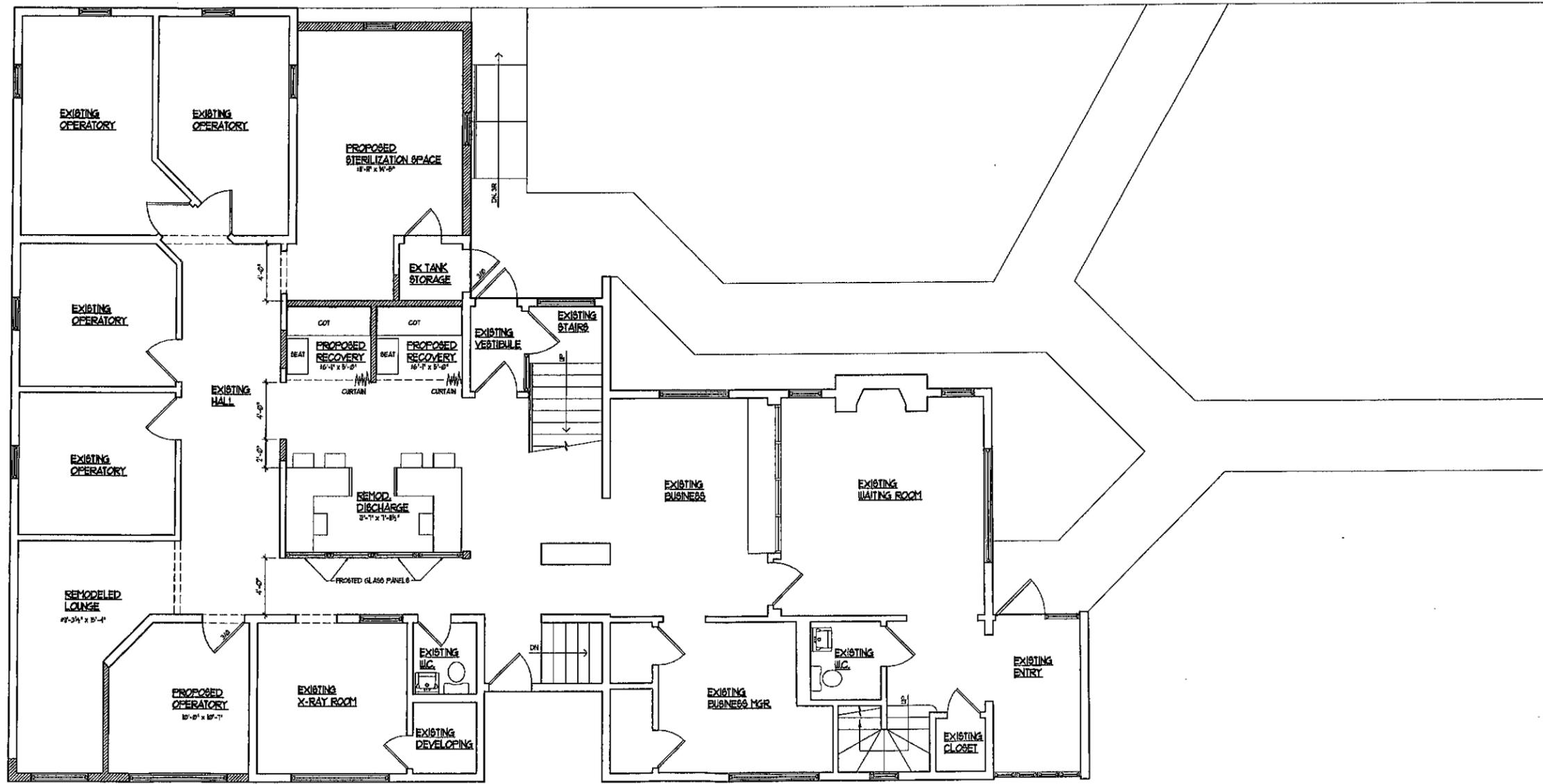



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 contact@mccormackeiten.com www.mccormackeiten.com

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ADDITIONS AND ALTERATIONS TO THE
LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY
 312 CENTER ST.
 LAKE GENEVA, WI 53147
 PROJECT NO.
 1510

REVISION
<input checked="" type="checkbox"/> PRELIMINARY <input type="checkbox"/> BID/APPROVAL <input type="checkbox"/> PERMITS <input type="checkbox"/> CONSTRUCTION
DATE 11-12-15
SHEET A-2



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE:

EXISTING DENTAL OFFICE	2829 SF.
PROPOSED ADDITIONS	376 SF.
TOTAL PROPOSED DENTAL OFFICE	3205 SF.



McCormack + Elten / Architects, LLP
 400 Broad Street
 Lake Geneva, WI 53147
 Ph (262) 248-8891
 contact@mccormackellen.com www.mccormackellen.com

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ADDITIONS AND ALTERATIONS TO THE
LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY
 PROJECT NO.
 1570

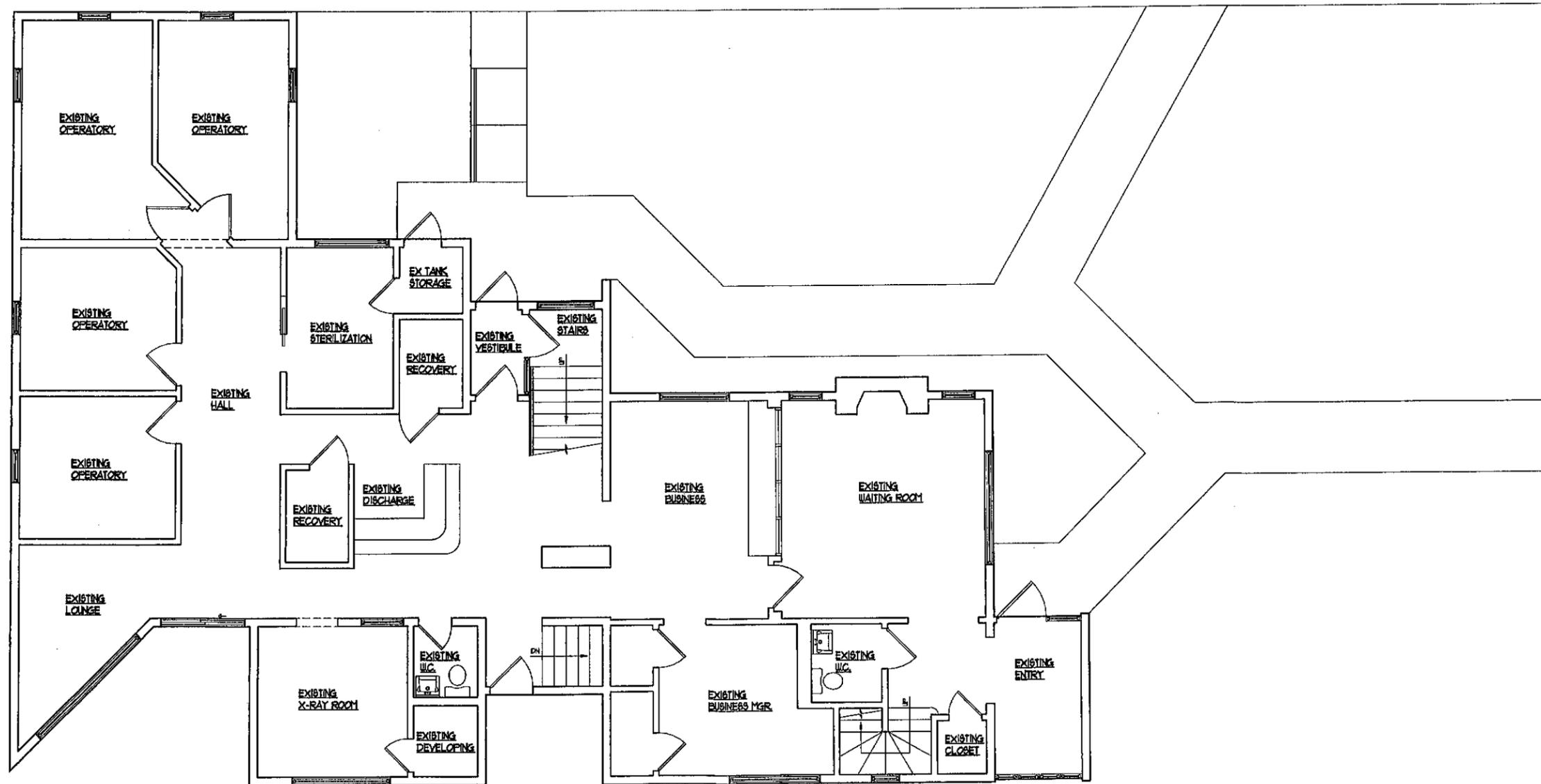
REVISIONS

<input checked="" type="checkbox"/>	PRELIMINARY
<input type="checkbox"/>	SUBAPPROVAL
<input type="checkbox"/>	PERMIT
<input type="checkbox"/>	CONSTRUCTION

DATE
11-12-15

SHEET
A-1

OF



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

McCormack + Eiten / Architects, LLP
 400 Broad Street
 Lake Geneva, WI 53147
 Ph (262) 248-8831
 contact@mccormackeiten.com www.mccormackeiten.com

© McCormack + Eiten / Architects, LLP

ADDITIONS AND ALTERATIONS TO THE
LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY
 312 CENTER ST.
 LAKE GENEVA, WI 53147

PROJECT NO.	1512
REVISION	
<input checked="" type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> BID/APPROVAL	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	
DATE	11-12-15
SHEET	AB-1

Corrected Notice

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before a City Plan Commission Meeting on Monday, December 21, 2015, at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, for approval of a Conditional Use Permit to construct a six foot high fence in the street yard setback on the property line and in the Right of Way for McCormack + Etten / Architects, LLP, 400 Broad Street Lake Geneva, WI 53147 on behalf of Edith G. Andrew Trust, 14628 John Humphrey Drive, Orland Park, IL 60462 at the following location:

Tax Key Nos. ZYUP 00094L – 1322 W. Main Street

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, December 21, 2015, at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any objections that may have been filed and to hear all persons desiring to be heard.

Dated this 4th day of December, 2015.

Mayor James R. Connors
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on December 17th.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

1322 W. MAIN STREET, LAKE GENEVA, WI 53147
TAX KEY # ZYUP 00094L

NAME AND ADDRESS OF CURRENT OWNER:

MRS. EDIE ANDREW / EDITH G. ANDREW TRUST
14628 JOHN HUMPHREY DRIVE, ORLAND PARK, IL 60462

TELEPHONE NUMBER OF CURRENT OWNER:

(708) 406-1288

NAME AND ADDRESS OF APPLICANT:

KENNETH L. ETTEN / MCGORMACK + ETTEN / ARCHITECTS LLP
400 BROAD STREET, LAKE GENEVA, WI 53147

TELEPHONE NUMBER OF APPLICANT:

(262) 248-8391 EXT. 12

PROPOSED CONDITIONAL USE:

THE OWNER WISHES TO REBUILD THE EXISTING
FENCE IN STREET YARD SETBACK IN EXCESS OF 3' HIGH
AND INSTALLED A PROPERTY LINE AND IN RIGHT OF WAY.

ZONING DISTRICT IN WHICH LAND IS LOCATED:

ER2-1 / ESTATE RESIDENTIAL

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

KENNETH L. ETTEN / MCGORMACK + ETTEN / ARCHITECTS LLP

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

THE OWNER WISHES TO REPLACE AN EXISTING PRIVACY FENCE
WITH A NEW 6' HIGH WOOD FENCE ON HER SINGLE FAMILY LOT.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

11.23.15

DATE

Kenneth L. Etten

SIGNATURE OF APPLICANT

November 23, 2015



Mr. Ken Robers
Building Inspector / Zoning Administrator
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

Re: APPLICATION FOR CONDITIONAL USE REVIEW & APPROVAL
PROPOSED RECONSTRUCTION OF EXISTING FENCE
MRS. EDITH ANDREW
1322 W. MAIN STREET
LAKE GENEVA, WISCONSIN
JOB NO. 0577A

Dear Mr. Robers and Plan Commission Members,

Edith Andrew owns the Existing Home at 1322 W. Main Street in the City of Lake Geneva and wishes to rebuild the Existing Fence in the street yard of her property abutting Main Street. The Existing Fence has deteriorated and she would like to construct a *New 6' High Traditional Style Red Cedar Fence to reduce the sound and provide privacy separation from the vehicle and pedestrian traffic on Main Street.*

The *Existing Property* is a lakefront lot located at 1322 W. Main Street several parcels to the west of Library Park. The Tax Key number is ZYUP-00094L. The lot is 91.8' wide at the street (north) lot line, 71.0' wide at the lake (south) lot line, 453.05' long on the west lot line, and 436.05' long on the east lot line. Under the *Lake Geneva Zoning Ordinance*, the property is zoned *ER-1, Estate Residential District*. This lot is substandard under the bulk requirements of the *ER-1 District* in that the lot width is only an average of 81.4' wide and the lot area is approximately 36,186 square feet. The minimum lot width under *ER-1* is 150', the minimum lot area is 40,000 square feet, and the minimum required sideyard setback under *ER-1* is 30' while the *Existing House* has sideyards of 8.25' on the east and 7.0' on the west. *In 2006, a Conditional Use was granted for a Second Floor Addition to this House using the SR-4 Zoning District requirements which allow for a minimum lot area of 9,000 square feet, a minimum lot width of 75', a minimum street frontage of 50', street setback of 40', rear lot line setback of 30', and side lot line setback of 6' minimum with a total combined sideyard setback of 15'.* In addition, there is a deed restriction on the property commonly referred to as the "**Biagi setback**" which calls for a 10' minimum side lot line setback and a shoreline setback roughly running east and west just south of the southern most point of the House. *Mrs. Andrew requests a Conditional Use Approval to allow her to rebuild the Existing Fence in the same street yard location and to keep the current Brick Driveway Pillars.*

McCormack + Etten / Architects, LLP

400 Broad Street, Lake Geneva, WI 53147
Email: contact@mccormacketten.com

Ph (262) 248-8391 Fax (262) 248-8392
<http://www.mccormacketten.com>

Included within this packet are the following:

- **Application for Conditional Use** and required fee.
- **Lake Geneva Land Use Map** showing generalized location of subject Property and a **Copy of Lake Geneva Zoning Map** showing location of subject property, zoning district and lands within 300' of property.
- **Copy of Survey of Subject Property** showing graphic scale, north arrow, all lot dimensions and setbacks as per **SR-4** requirements.
- **Written Justification** of the proposed **Conditional Use**.
- **Prints** of the Preliminary Plans and Elevations of the proposed addition.

Thank you for your consideration of our project. Please let me know if you need additional information or have any questions.

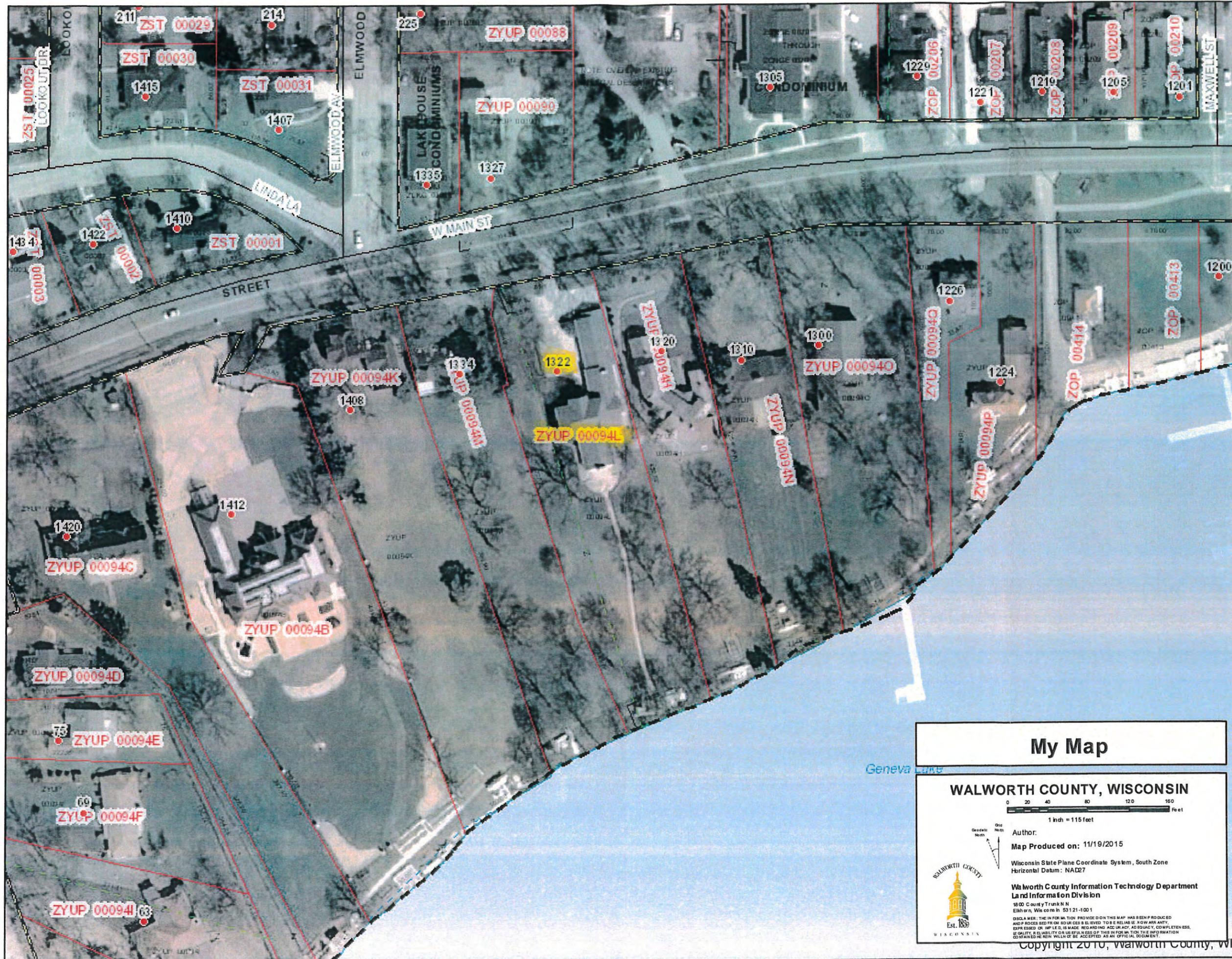
Sincerely,

A handwritten signature in black ink, appearing to read "Kenneth L. Etten". The signature is fluid and cursive, with a long horizontal stroke at the end.

Kenneth L. Etten
McCormack + Etten / Architects

A. MAP OF PROPOSED CONDITIONAL USE

B. GENERALIZED LOCATION OF SUBJECT SITE



My Map

WALWORTH COUNTY, WISCONSIN



1 inch = 115 feet

Author:

Map Produced on: 11/19/2015

Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27

Walworth County Information Technology Department
Land Information Division

100 Courty Trunk N N
Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCE MATERIALS PROVIDED TO BE RELIABLE. NO WARRANTY, EXPRESS OR IMPLIED, IS MADE REGARDING ACCURACY, AD EQUITATE, COMPLETENESS, OR QUALITY. RELIABILITY OR USEFULNESS OF THIS INFORMATION AND THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.



C. SITE PLAN

**D. WRITTEN JUSTIFICATION OF THE
PROPOSED CONDITIONAL USE**

**PROPOSED RECONSTRUCTION OF EXISTING FENCE
MRS. EDITH ANDREW
1320 W. MAIN STREET
LAKE GENEVA, WISCONSIN**

JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. The *Existing House* on the subject property was originally built in 1982 and subsequently remodeled several times over the years including a **Second Floor Addition** in 2006. The **Existing Fence** and **Brick Entry Pillars** existed since before the most recent zoning ordinance and street right-of-way changes and the *New Fence* would be entirely within the footprint of the existing. *The proposed Conditional Use is intended to upgrade a deteriorating fence withing an existing single-family lakeshore residential district. Aside from setback limitations, this use is in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva.*
2. The original intent of the creation of the **ER-1 Zoning District**, as well as the previous **SR-1 Zoning District**, was to restrict the development of lakeshore property within the City by limiting the subdivision of existing lots to create new buildable lots. The **Proposed New Fence** would be in footprint of the **Existing Fence**. *Under the Conditional Use provisions, the proposed New Fence would comply with the allowable requirements of the SR-4 district with the exception of the height and location.*
3. The granting of this proposed *Conditional Use* would not be a substantial detriment to the adjacent properties in that the **Proposed New Fence** would be no closer to the street or neighboring houses than the **Existing Fence**. Due to an apparent adjustment of the **Main Street** right-of-way that gradually increased its width, the original north lot line of the **Existing Property** was shifted slightly to the south, resulting in the **Existing Fence and Pillars** being located in the south edge of the right-of-way. *The Applicant wishes to build a New Fence in the same location as the Existing Fence which would not block any of the lake views that currently exist from the adjacent properties, and would be in keeping with the single-family character of the neighborhood, would not adversely affect the health, safety or general welfare of the public, or the provisions of the Zoning Ordinance or Comprehensive Master Plan.*
4. The proposed *Conditional Use* would be in compliance with the long range plans of the City in that it would maintain this property as a high quality single family residential use. *As stated in Item No. 2, maintaining quality single family residences at the current density was the original intention in the creation of the ER-1 District and the preceding SR-1 District in these shoreland areas.*
5. The *Existing House* is currently served by City sanitary sewer and water. *This project would not impose an undue burden on any improvements, utilities or services provided by public agencies serving the subject property.*

6. ***While the Existing Fence and Brick Pillars are currently encroaching slightly into the Main Street right-of-way, this condition has existing for a number of years and has posed no problem for the adjoining property owners or the City. Creating some form of separation between the Applicant's property and the noise and heavy traffic of Main Street is essential to maintaining the quality single-family residential character of the neighborhood. The proposed New Wood Fence and Existing Brick Pillars rebuilt in the "footprint" of the previous fence would not be detrimental to the neighboring properties and, other than allowing for leeway in the height and location, would not be detrimental to the City or public safety in general. In this context, we believe that the nonconforming portions of this Conditional Use would be minimal and would be far outweighed by the long-range benefits.***

E. PLANS & ELEVATIONS

B & M Fence Company, Inc.

4135 S. Beaumont Avenue, Kansasville, WI 53139

(262) 537-3362

megan@bmfencecompany.com

(262) 671-4174 FAX

www.bmfencecompany.com

Proposal Submitted To:

Jim Willett

1322 W. Main St

Lake Geneva, WI 53147

Phone:

708-267-4150

Job Site:

Date:

November 18, 2015

We hereby submit specifications and estimates for:

Materials and installation of 80 linear feet of a 6-foot high, Western Red Cedar, Traditional style privacy fence. Every post to be a WRC 4x6 that will be set 3-feet deep in concrete and will include a cap. Fence to have three WRC 2x4's on the inside for stringers and will be faced with three 1x4's (5/8" thick) on the exterior. Pickets to be WRC 1x6x6 (5/8" thick) and each section to have a beveled 2x4 as a top rail. New posts next to pillars to be core drilled if necessary. Panels next to the tree to overhang off the nearest post and will not be screwed/nailed to tree. Fence to remain flat at the top and will adjust to grade along the bottom with a maximum height within each panel of 6-foot.

OPTION: Add an additional remove and dispose of the existing fence.

****B&M Fence Company, Inc. will minimize the damage to the yard and other surroundings to the best of their ability. B&M Fence Company, Inc. is not responsible for damages to private underground lines, lawn, or surrounding plantings and no payment may be withheld for these reasons.**

We offer a 5 year warranty against workmanship defects.

****Location of the fence will be determined by the property owner. Any discrepancy regarding lot lines are the property owner's responsibility. B & M Fence Company, Inc. is fully covered by Workman's Compensation and Liability Insurance. Certificate provided upon request.**

**** "As required by the Wisconsin construction lien law, builder hereby notifies owner that persons or companies furnishing labor or materials for the construction on owner's land may have lien rights on owner's land and buildings if not paid. Those entitled to lien rights, in addition to the undersigned builder, are those who give the owner notice within 60 days after they first furnish labor or materials for the construction. Accordingly, owner probably will received notices from those who furnish labor or materials for the construction, and should give a copy of each notice received to the mortgage lender, if any. Builder agrees to cooperate with the owner's lender, if any, to see that all potential lien claimants are duly paid."**

We Propose the above specifications, for the base sum of:

Payments to be made as follows:

Down Payment

Remaining balance due upon completion

5% interest on balances after thirty (30) days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. B & M is authorized to do the work as specified. Property owner acknowledges that wear and tear on property and/or lawn may occur and B&M is not responsible as a result of this. Payments will be made as outlined above.

Signature of Acceptance:



Date of Acceptance:

11/19/15

Corrected Notice

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before a City Plan Commission Meeting on Monday, December 21, 2015, at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, for approval of a Precise Implementation Plan (PIP) Amendment for ALDI, Inc. Oak Creek Division, 9342 South 13th Street, Oak Creek on behalf of Interra-Sky Lake Geneva, LLC, 2400 Augusta Drive, Suite 330, Houston TX, 77057 to partially reconstruct the front façade on their current building at the following location:

Tax Key Nos. ZA196100001 – 200 N EDWARDS BLVD.

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, December 21, 2015, at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any objections that may have been filed and to hear all persons desiring to be heard.

Dated this 4th day of December, 2015.

Mayor James R. Connors
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on December 17th.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

Address: 200 N. Edwards Blvd., Lake Geneva, WI 53147

Tax Parcel #: ZA196100001 Suite 1

Name and Address of Current Owner:

Interra-Sky Lake Geneva LLC

2400 Augusta Dr. Ste 330, Houston TX, 77057

Telephone No. of Current Owner including area code: _____

Name and Address of Applicant:

ALDI, Inc. - Oak Creek Division, Tom Howald - Director of Real Estate

9342 South 13th St., Oak Creek, WI 53154

Telephone No. of Applicant including area code: 414-570-1860

Proposed Use:

Grocery Store

Zoning District in which land is located: Planned Development

Names and Addresses of architect, professional engineer and contractor of project:

Architect: Eric Elizondo - eelizondo@msconsultants.com; Engineer: Rick Weikel - rweikel@msconsultants.com
ms consultants, inc. 614-898-7100 - 2221 Schrock Rd., Columbus, OH 43229

Contractor: TBD

Short statement describing activities to take place on site:

Partial demolition of the front facade as well as modifications to the front sidewalk. New construction of the exterior includes new tower features composed of decorative metal panels, brick and cornice details to match the existing adjacent facades, and a new loading dock at the rear of the building. New signage to be installed on both the front and side facades of the proposed ALDI space. Interior renovation includes slab work and new wall partitions to bring the space to current ALDI standards.

PIP Amendment fee \$400.00, payable upon filing application.

Signature of Applicant

APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

↓

_____ A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

_____ (1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

_____ (2) **A map of the subject property** for which the PD is proposed:

_____ Showing all lands within 300 feet of the boundaries of the subject property;

_____ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

_____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

_____ Map and all its parts clearly reproducible with a photocopier;

_____ Map size of 11" by 17" and map scale not less than one inch equals 800 feet;

_____ All lot dimensions of the subject property provided;

_____ Graphic scale and north arrow provided.

_____ (3) **A general written description** of proposed PIP including:

_____ Specific project themes and images;

_____ The specific mix of dwelling unit types and/or land uses;

_____ Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

_____ The specific treatment of natural features;

_____ The specific relationship to nearby properties and public streets.

_____ A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.

_____ A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall

be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

____ (4) **A Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*

____ A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;

____ Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;

____ Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and

____ Notations relating the written information (3), above to specific areas on the GDP Drawing.

N/A (5) **A landscaping plan for subject property**, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.

____ (6) **A series of building elevations** for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.

____ (7) **A general signage plan** including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.

N/A (8) **A general outline of the intended organizational structure** for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.

N/A (9) **A written description** which demonstrates the full consistency of the proposed PIP with the approved GDP.

N/A (10) **A written description** of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,

N/A (11)Proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development.

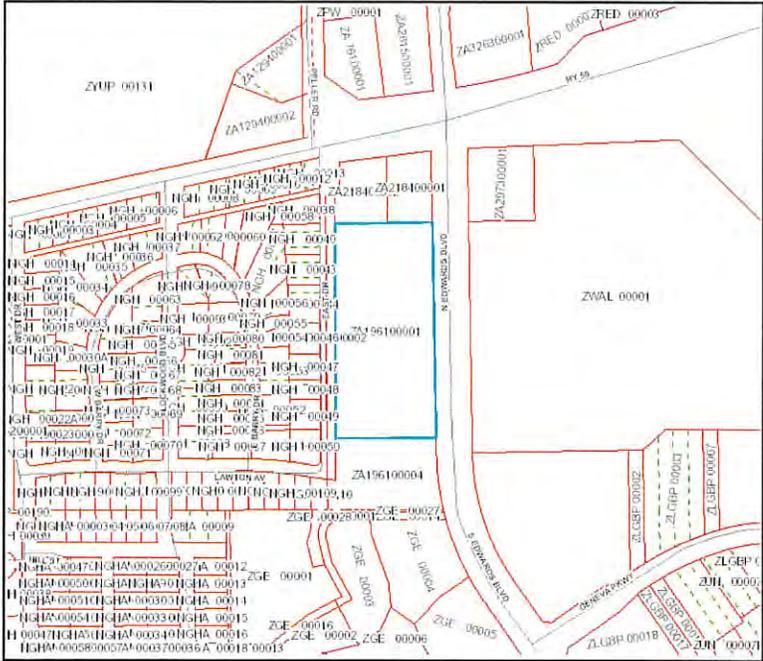
FINAL APPLICATION PACKET INFORMATION
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/PIP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

- _____ **Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:** **Date:** _____ **by:** _____
- _____ **Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** **Date:** _____ **by:** _____
- _____ **Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:** **Date:** _____ **by:** _____
- _____ **Class 2 Legal Notice sent to official newspaper by City Clerk:** **Date:** _____ **by:** _____
- _____ **Class 2 Legal Notice published on _____ and _____** **by:** _____



Walworth County, WI Land Information Division



Property Details

Municipality: CITY OF LAKE GENEVA
 Parcel Number: ZA196100001
 School District: 2884-UHS LAKE GENEVA-GENOA CI
 Zoning District:

Owner Information

Owner Name: INTERRA-SKY LAKE GENEVA LLC
 Owner Name 2:
 Mailing Address: 2400 AUGUSTA DR STE 330
 HOUSTON TX, 77057

2014 Valuation Information

Land: \$1,109,900.00
 Improvements: \$3,890,100.00
 Total: \$5,000,000.00
 Acres: 5.3600
 Fair Market Value: \$5,227,800.00
 Assessment Ratio: 0.9564366830
 Mill Rate: 0.0228168750

Tax Information

First Dollar Credit: \$80.92
 Special Assessment: \$0.00
 Delinquent Utility Charge: \$0.00
 Managed Forest Land Taxes: \$0.00
 Total Billed: \$114,003.48
 Net Tax \$114,003.48
 School Credit: \$10,206.35
 Lottery Credit: \$0.00
 Special Charges: \$0.00
 Private Forest Crop Taxes: \$0.00
 Woodland Tax Law Taxes: \$0.00

Tax Jurisdictions

WALWORTH COUNTY \$24079.10
 STATE OF WISCONSIN \$887.50
 CITY OF LAKE GENEVA \$30194.78
 GATEWAY TECHNICAL \$4028.42
 UHS LG-GENOA CITY \$24082.19
 SCH LAKE GENEVA J 1 \$30812.41

Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)
 State Representative: Tyler August(R) (32nd District)
 State Senator: Stephen Nass(R) (11th District)
 US Representative: Paul Ryan(R) (1st District)
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

Special Assessments / Charges

Soil Classification

Soil Type	Soil Name	Acres
MxD2	SANDY LOAM SUBSTRATUM, 12 TO 20 PERCENT SLOP	1.8440
KIA	KENDALL SILT LOAM, 1 TO 3 PERCENT SLOPES	1.3528
Ph	PELLA SILT LOAM	0.8974
MxC2	SANDY LOAM SUBSTRATUM, 6 TO 12 PERCENT SLOPI	0.8612

Property Address

200 N EDWARDS BLVD LAKE GENEVA

Legal Description

LOT 1 CERTIFIED SURVEY NO. 1961 AS RECORDED IN VOL 9 OF C.S. ON PAGE 208 WCR. LOCATED IN SE 1/4 NW 1/4 SEC 31 T2N R18E. 5.364 A. OMITS C.S. 1880 CITY OF LAKE GENEVA EASEMENT AGREEMENT, DOC. #229146, VOL 559 PG 79

Disclaimer

The information provided in this property information page is not official information. All official tax information is recorded in the Walworth County Treasurer's Office. To verify tax payment/payoff status, contact the Walworth County Treasurer's Office at 262-741-4251.



**ZONING MAP OF SECTION 31
TOWNSHIP 2 NORTH, RANGE 18 EAST
WALWORTH COUNTY, WISCONSIN**



Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27
Date of Aerial Orthophotography: March / April 2010
Map Produced on: 10/31/2018



**Walworth County Information Systems Department
Land Information Division**
1800 County Trunk N
Elkhorn, Wisconsin 53121-3001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESS OR IMPLIED, IS MADE REGARDING THE ACCURACY, ADEQUACY, COMPLETENESS, LEGALITY, RELIABILITY OR USEFULNESS OF THIS INFORMATION. THE INFORMATION CONTAINED HEREIN SHALL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.

Legend

- PUBLIC LAND SURVEY SYSTEM**
- Monumented Corner
 - PLSS Sections
 - PLSS Quarter Sections
- ZONING-RELATED BOUNDARIES**
- Zoning District Boundary
 - Shoreland Boundary
 - Floodplain Boundary (see FEMA maps)
 - Shoreland Area
 - Extra-Territorial Zoning District
 - City of Delavan Extrajurisdictional Zoning Jurisdiction
 - Tax Parcel Boundary
 - Parcel Tie Boundary
 - Civil Division Boundary
 - Gross Sanitary District Boundary
 - DNR Identified Wetland - Not Zoned (see Wisconsin Wetland Inventory Maps)
- NON-SHORELAND WATERWAYS
(AS IDENTIFIED ON USGS QUADRANGLE MAPS)**
- Perennial
 - Intermittent

GENERAL ZONING DISTRICTS

DISTRICT CODE	DISTRICT	DISTRICT CODE	DISTRICT
A-1	Prime Agricultural Land	R-4	Multiple-Family Residence (Sewered or Unsewered)
A-2	Agricultural Land	R-5	Planned Residential Development
A-3	Agricultural Land Holding	R-6	Planned Mobile Home Park Residence
A-4	Agricultural-Related Manufacturing, Warehousing, and Marketing	R-7	Mobile Home Subdivision Residence
A-5	Agricultural-Rural Residential	R-8	Multiple-Family Residential (Sewered or Unsewered)
C-1	Lowland Resource Conservation	B-1	Local Business
C-2	Upland Resource Conservation	B-2	General Business
C-3	Contemporary-Residential	B-3	Waterfront Business
C-4	Lowland Resource Conservation (Shoreland)	B-4	Highway Business
P-1	Recreational Park	B-5	Planned Commercial-Recreation Business
P-2	Institutional Park	B-6	Bed and Breakfast
R-1	Single-Family Residence (Unsewered)	M-1	Industrial
R-2A	Single-Family Residence (Sewered)	M-2	Heavy Industrial
R-2	Single-Family Residence (Sewered)	M-3	Mineral Extraction
R-3	Two-Family Residence (Sewered or Unsewered)	M-4	Sanitary Landfill

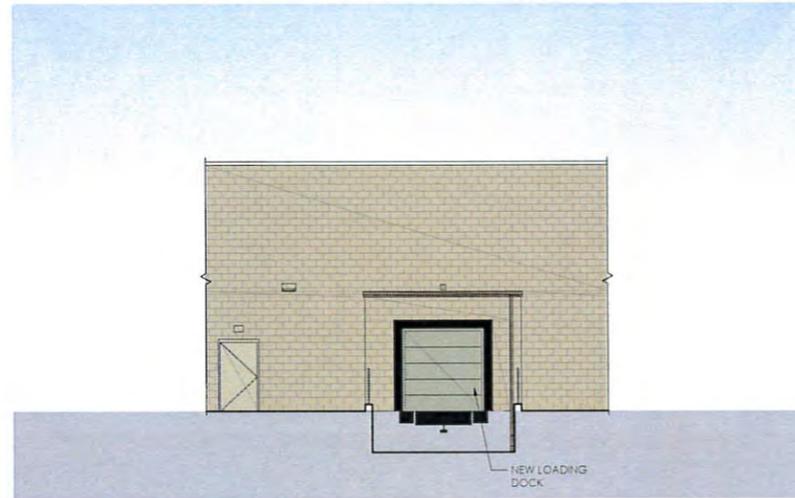
For the Most Current Zoning Information, Please Contact the
Walworth County Land Use and Resource Management Department

File Name: N:\6240321\07 - LAKE GENEVA, WI\DOCS\CAD\A201 - EXTERIOR ELEVATIONS.DWG Author: CALLOS, ABIGAIL Plot Date: 11/18/2015

SIGNAGE			
DESCRIPTION	QUANTITY	SG. FT. PER SIGN	TOTALS
ALDI TOWER SIGN	1	74.9	74.9
FOOD MARKET SIGN	1	19.6	19.6
ALDI SIDE SIGN	1	46.6	46.6
FOOD MARKET SIDE SIGN	1	14.4	14.4
TOTAL SIGNAGE			155.5

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL

Please note that the colors shown here are a graphical representation to show contrast in materials only. Due to the nature of electronic media, colors may vary depending on computer or printer used.



3 Rear Elevation
SCALE: 1/8" = 1'-0"



2 Front Elevation
SCALE: 1/8" = 1'-0"



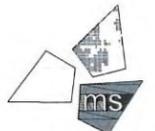
1 Side Elevation
SCALE: 1/8" = 1'-0"

Issued:		Date:
A	Concept No. 4	11/18/15
B		
C		
D		

Revisions:		Date:
1		
2		
3		
4		
5		
6		
7		
8		
9		

DO NOT SCALE PLANS

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ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

DRAWN BY: MAP/ERM
REVIEWED BY: JEL/ERM

Seal

FOR REFERENCE ONLY

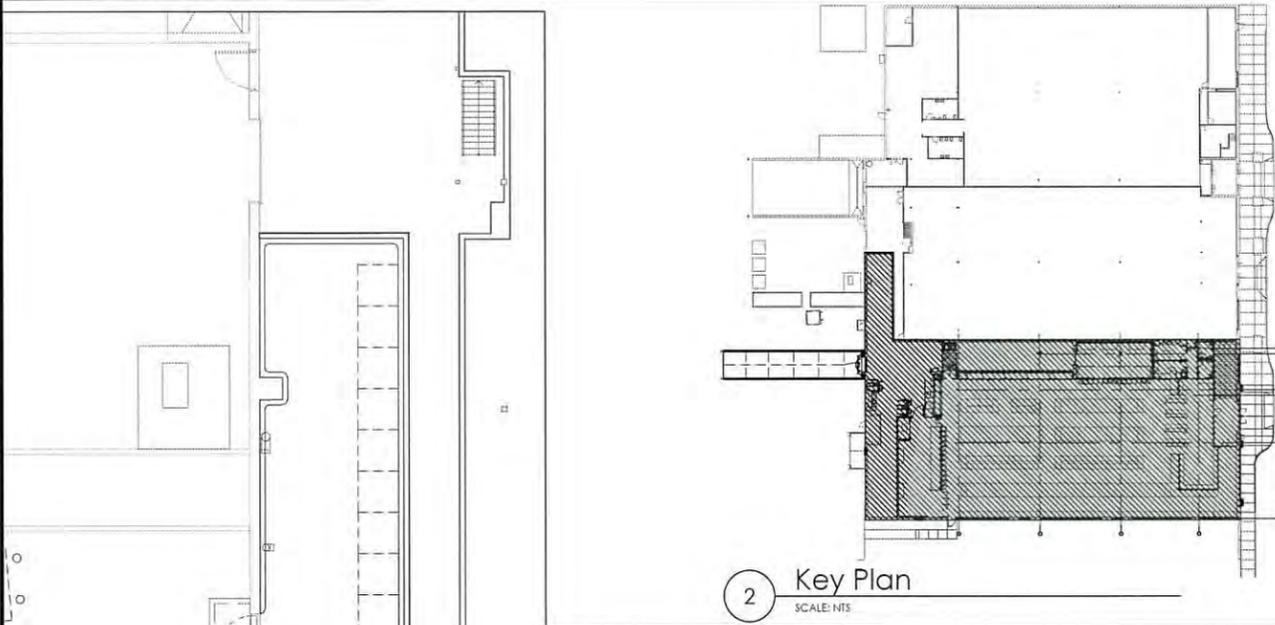


ALDI Inc.
STORE #TBD
200 Edwards Blvd.
Lake Geneva, WI 53147
Walworth County
Project Name & Location:

Exterior Elevations
Drawing Name:

Type:	V6.0 T.I.	ms Project No.	40321-07
DRAWINGS ARE BASED ON V6.0 PROTOTYPE RELEASED ON 08.31.15			A-201
			Drawing No.

File Name: N:\62140321107 - LAKE GENEVA, WIDOCSCAD\A131 - OPERATIONS PLAN DWG Author: CALLOS, ABIGAIL Plot Date: 11/18/2015



AREA SUMMARY			V6.0 PROTOTYPE
OCCUPANCY USE	ROOM NAME	SQUARE FOOTAGE	SQUARE FOOTAGES
MERCANTILE	SALES / ENTRY / EXIT	11,937	10,608
	OFFICE	154	215
	BREAK ROOM	174	294
	MEAT'S ROOM	73	84
	WOMEN'S ROOM	76	85
	HALL	85	180
SUBTOTAL (MERCANTILE)		12,519	11,468
STORAGE / STOCK	BACKROOM	4,060	3,229
	COOLER	1,221	1,466
	FREEZER	770	730
SUBTOTAL (STORAGE / STOCK)		6,051	5,425
SUBTOTAL (OCCUPANCIES)		18,570	16,893
EXTERIOR / INTERIOR WALLS / UNOCCUPIED SPACE		906	932
BUILDING SQUARE FOOTAGE		19,476	17,825
EXTERIOR CANOPY		178	714
TOTAL SQUARE FOOTAGE (INCLUDING CANOPY)		19,654	18,539

OPERATIONS DATA		
ITEM	V6.0 PROTOTYPE	LAKE GENEVA PLAN
LINEAR FOOTAGE OF BASE (PRODUCE INCLUDED)	841'-2"	905'-10"
ASSUMED PALLET STORAGE	70	67
BUILDING DIMENSIONS	118'-0" x 147'-4"	94'-4" x 200'-0"
SALES FLOOR DIMENSIONS	72'-11" x 145'-1"	72'-4 1/2" x 157'-4 1/4"
LENGTH OF MULTI-DECK	56'	78'
COOLER MILK DOORS	4	4
COOLER GENERAL DOORS	13	13
FREEZER ICE CREAM DOORS	6	6
FREEZER GENERAL DOORS	9	9
SPOT MERCHANDISERS	6	6
CART STORAGE	(111) MODEL 563W	(96) MODEL 563W

Issued:	Date:
A Concept No. 4	11/18/15
B	
C	
D	
Revisions:	Date:
1	
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ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

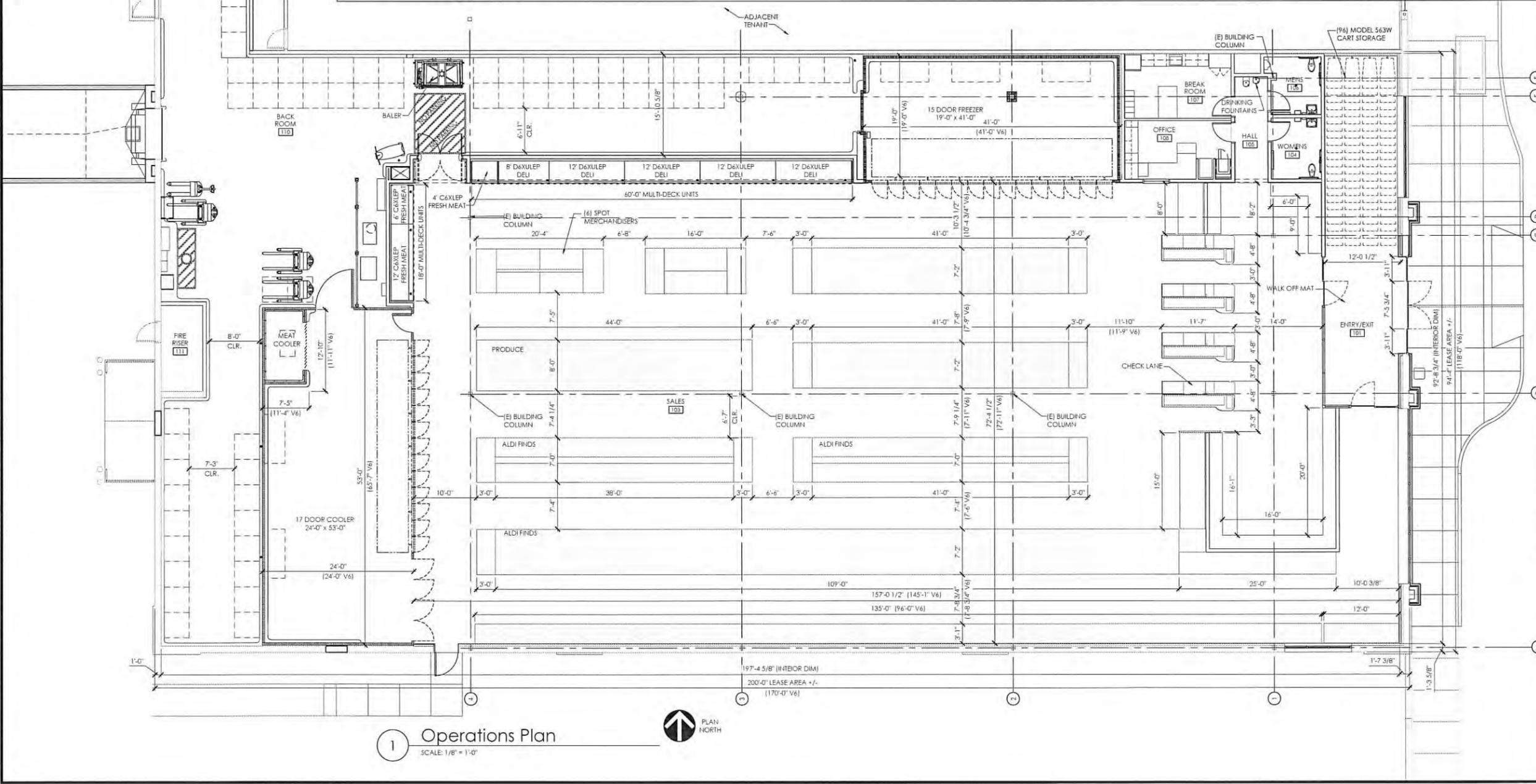
DRAWN BY: MAP/ERM
REVIEWED BY: JEL/ERM

Seal
FOR REFERENCE ONLY

ALDI Inc.
9342 South 13th Street
Oak Creek, WI 53154
(414) 271-1800
(414) 375-8847x4

ALDI Inc.
STORE #TBD
200 Edwards Blvd.
Lake Geneva, WI 53147
Walworth County
Project Name & Location:

Operations Plan
Drawing Name:
ms Project No. 40321-07
Type: V6.0 T.I.
DRAWINGS ARE BASED ON V6.0 PROTOTYPE RELEASED ON 08.31.15
A-131
Drawing No.



Notice

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before the City Plan Commission on Monday, December 21, 2015 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, on a Conditional Use Application filed by Lake Geneva Architects, 201 Broad Street, Lake Geneva, WI 53147 on behalf of Dean Athans, W3155 Snake Road, Lake Geneva, WI 53147 to the Twenty foot wide passive recreational corridor in the Shore Yard Setback in an Estate Residential Zoning District (ER-1), at the following location:

TAX KEY NO. ZWIL 00004 – W3155 Snake Road

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, December 21, 2015 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any objections that may have been filed and to hear all persons desiring to be heard.

Dated this 4th day of December, 2015.

Mayor James R. Connors
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on December 10th & 17th.



LAKE GENEVA
Architects

STUDIO OF JASON R. BERNARD

December 1st, 2015

Conditional Use Justification
Re: W3155 Snake Road
Tax ID: ZWIL 00004

III. JUSTIFICATION:

- 1) Through this adjustment, we can accomplish a more naturally graded shore yard and reconstruct a private residence which conforms to current setbacks.
- 2) The existing home is 82.00' from the lakeshore, which conforms to Walworth County Zoning. The home has been recently annexed into the City of Lake Geneva however, and the setbacks have been increased to 100.00'. The location of the new home will be 103.48' from the lake shore and will thus be brought into conformity with the current zoning code.
- 3) The placement of the new residence and subsequent re-grading will help to restore the natural drainage within the shore yard. This allows our client to restore and re-grade an area previously excavated for a walk-out basement.
- 4) We are requesting approval to restore the shore yard to a more natural state; and to construct an exterior patio and pool within a portion of that shore yard. In this process, we will be removing 2,800 +/- square feet of existing impervious surfaces.
- 5) The proposed conditional use shall not be located in an area that will impose any undue burdens on any improvements, facilities, utilities or services.
- 6) We are requesting to replace the existing residence and open patio from the shoreyard setback with a new outdoor recreational area. The remaining areas are to be reconstructed in a more natural, less impactful and conforming fashion by the removal of retaining walls and grading constructed to accommodate the previous home's walk-out basement.

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

W3155 SNAKE ROAD, LAKE GENEVA, WI - PART OF LOT 4 OF WILLOWBROOK SUBDIVISION.
(USE DESCRIPTION FROM SITE PLAN HERE)

NAME AND ADDRESS OF CURRENT OWNER:

*

DEAN ATHANS
W3155 SNAKE ROAD LAKE GENEVA, WI

TELEPHONE NUMBER OF CURRENT OWNER: 262.812.6781

NAME AND ADDRESS OF APPLICANT:

*

LAKE GENEVA ARCHITECTS 201 BROAD STREET
262.248.1400 PH LAKE GENEVA, WI 53147

TELEPHONE NUMBER OF APPLICANT: 262.248.1400

PROPOSED CONDITIONAL USE:

Exceed 20' passive recreational area in Shoreyard.

ZONING DISTRICT IN WHICH LAND IS LOCATED: LAKE GENEVA ER-1

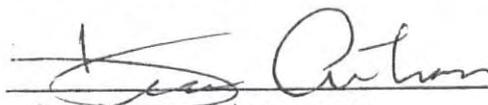
NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

RAZING EXISTING HOME FOR RECONSTRUCTION. REGRADING
EXISTING SITE TO ACCOMMODATE NEW CONSTRUCTION.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

11-13-15
DATE


SIGNATURE OF APPLICANT

Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

(e) Written justification for the proposed conditional use:

Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

SEE ATTACHED ADDENDUM

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

SEE ATTACHED

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

SEE ATTACHED

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

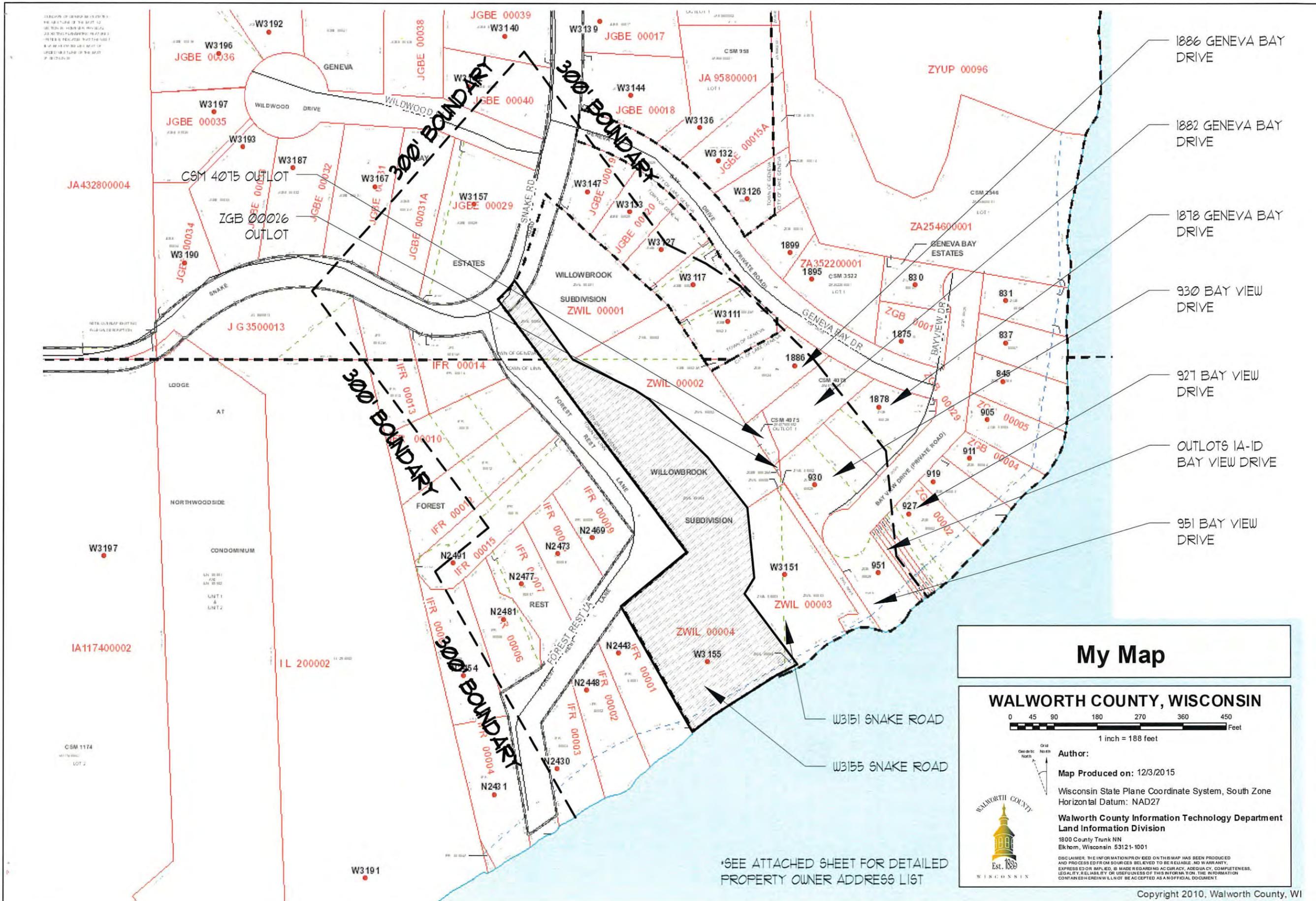
SEE ATTACHED

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

SEE ATTACHED

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

SEE ATTACHED



*SEE ATTACHED SHEET FOR DETAILED PROPERTY OWNER ADDRESS LIST

My Map

WALWORTH COUNTY, WISCONSIN

0 45 90 180 270 360 450
Feet
1 inch = 188 feet

Graphic North

Author:
Map Produced on: 12/3/2015
Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27
**Walworth County Information Technology Department
Land Information Division**
1800 County Trunk NN
Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESS OR IMPLIED, IS MADE REGARDING ACCURACY, ADEQUACY, COMPLETENESS, LEGALITY, RELIABILITY OR USEFULNESS OF THIS INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS A OFFICIAL DOCUMENT.

WALWORTH COUNTY
Est. 1839
WISCONSIN

Copyright 2010, Walworth County, WI

- 1886 GENEVA BAY DRIVE
- 1882 GENEVA BAY DRIVE
- 1878 GENEVA BAY DRIVE
- 930 BAY VIEW DRIVE
- 927 BAY VIEW DRIVE
- OUTLOTS IA-ID BAY VIEW DRIVE
- 951 BAY VIEW DRIVE



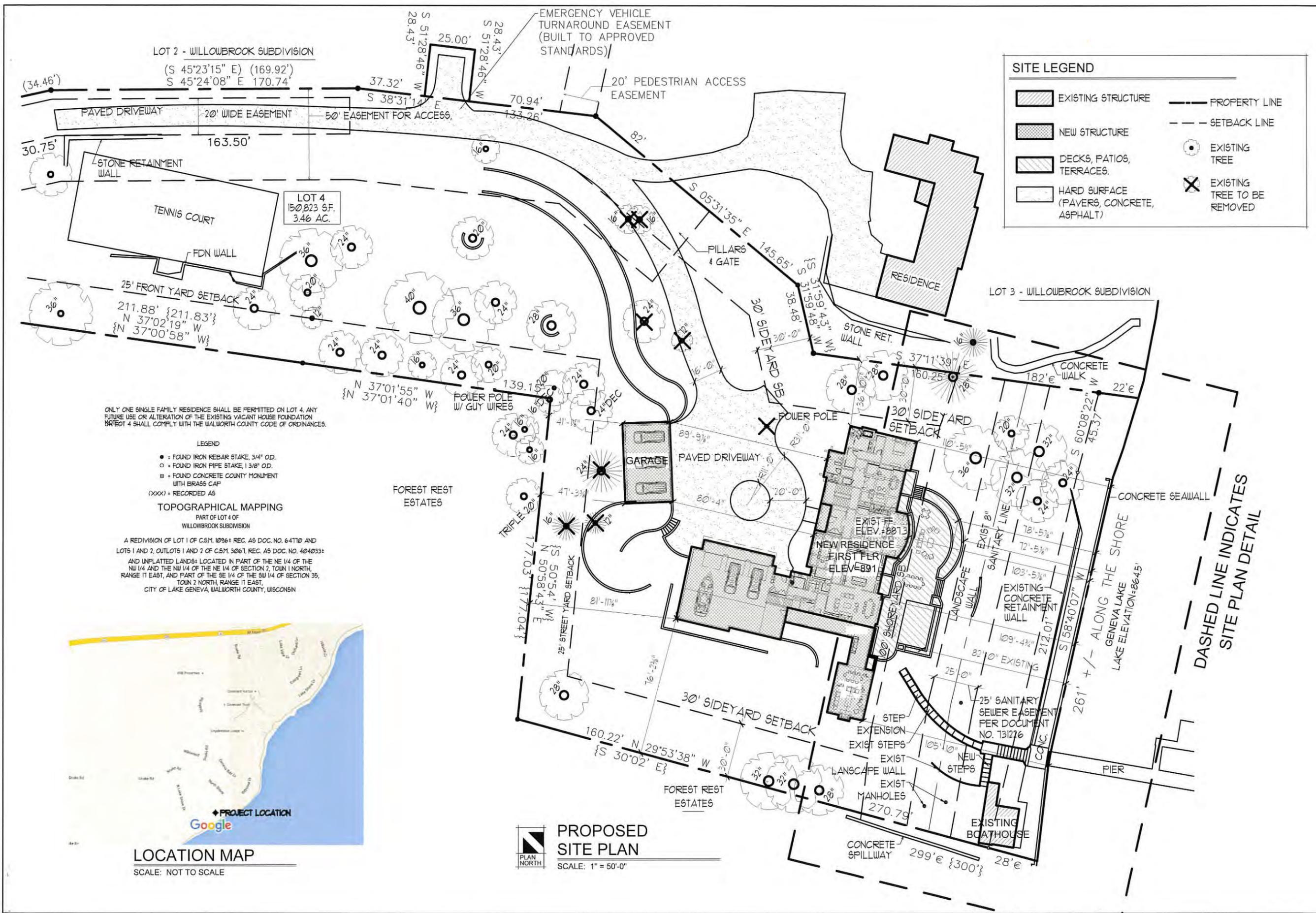
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STUDIO OF JASON R. BERNARD

ATHANS RESIDENCE
W3155 SNAKE ROAD
LAKE GENEVA, WI

DATE: 12.1.15



SITE LEGEND

	EXISTING STRUCTURE		PROPERTY LINE
	NEW STRUCTURE		SETBACK LINE
	DECKS, PATIOS, TERRACES		EXISTING TREE
	HARD SURFACE (PAVERS, CONCRETE, ASPHALT)		EXISTING TREE TO BE REMOVED

ONLY ONE SINGLE FAMILY RESIDENCE SHALL BE PERMITTED ON LOT 4. ANY FUTURE USE OR ALTERATION OF THE EXISTING VACANT HOUSE FOUNDATION OR LOT 4 SHALL COMPLY WITH THE WALLWORTH COUNTY CODE OF ORDINANCES.

- LEGEND**
- = FOUND IRON REBAR STAKE, 3/4" O.D.
 - = FOUND IRON PIPE STAKE, 1 3/8" O.D.
 - = FOUND CONCRETE COUNTY MONUMENT WITH BRASS CAP
 - (XXX) = RECORDED AS

TOPOGRAPHICAL MAPPING
PART OF LOT 4 OF WILLOWBROOK SUBDIVISION

A REDIVISION OF LOT 1 OF C.S.M. 10961 REC. AS DOC. NO. 647110 AND LOTS 1 AND 2, OUTLOTS 1 AND 2 OF C.S.M. 3061, REC. AS DOC. NO. 4040331 AND UNPLATTED LANDS LOCATED IN PART OF THE NE 1/4 OF THE NW 1/4 AND THE NW 1/4 OF THE NE 1/4 OF SECTION 2, TOWN 1 NORTH, RANGE 11 EAST, AND PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 35, TOWN 2 NORTH, RANGE 11 EAST, CITY OF LAKE GENEVA, WALLWORTH COUNTY, WISCONSIN



LOCATION MAP
SCALE: NOT TO SCALE

PROPOSED SITE PLAN
SCALE: 1" = 50'-0"

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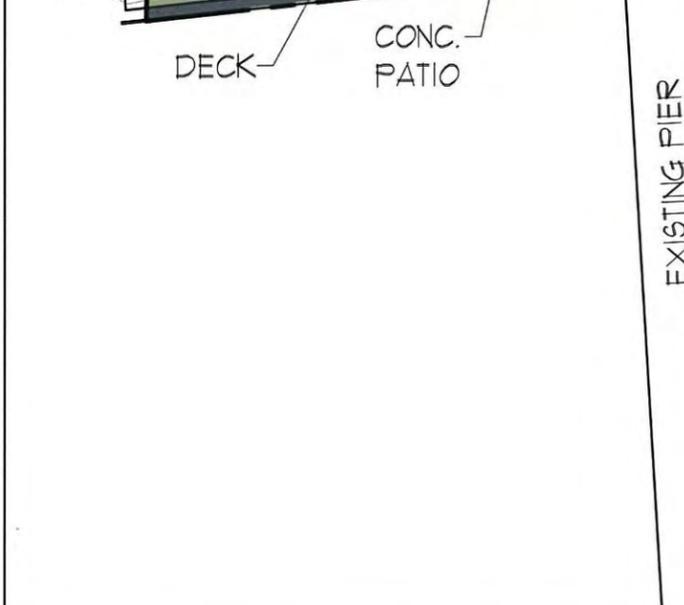
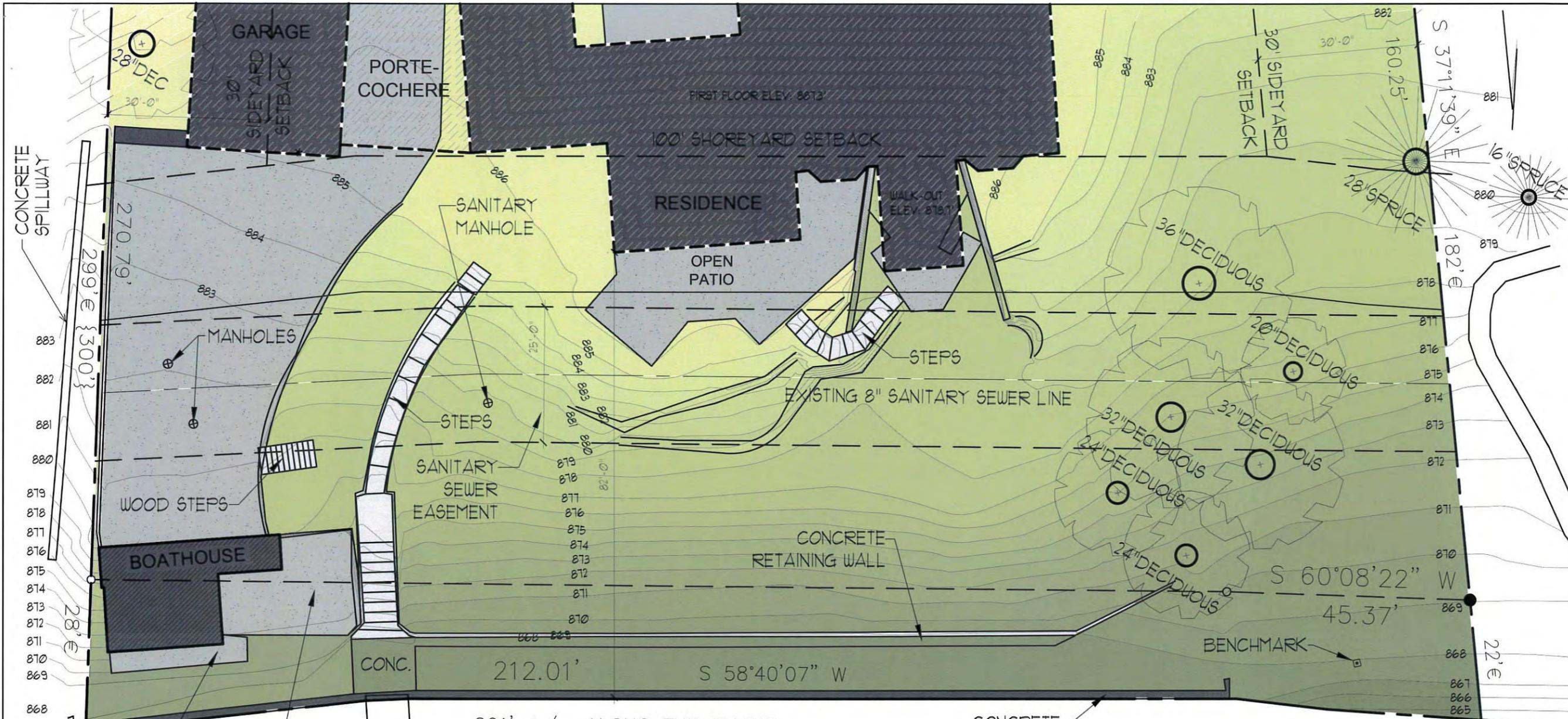
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261' +/- ALONG THE SHORE

GENEVA LAKE
LAKE ELEVATION=864.5'

EXISTING SITE PLAN (DETAIL)
SCALE: 1" = 20'-0"

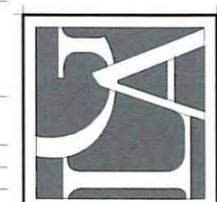
PLAN NORTH

SITE LEGEND

	EXISTING STRUCTURE		EXISTING GRADE
	EXIST STRUC TO BE REMOVED		PROPERTY LINE
	DECKS, PATIOS, TERRACES		SETBACK LINE
	HARD SURFACE (PAVERS, CONCRETE, ASPHALT)		EXISTING TREE

LOT COVERAGE WITHIN SHOREYARD

EXISTING RESIDENCE (TOTAL) FOOTPRINT:	5,825 SF
EXISTING RESIDENCE (WITHIN SHOREYARD):	960 SF
BOAT HOUSE FOOTPRINT:	496 SF
OTHER IMPERVIOUS SURFACES WITHIN SHOREYARD:	4,819 SF
SUBTOTAL:	6,275 SF
TTL IMPERVIOUS SURFACES WITHIN SHOREYARD:	6,275 SF

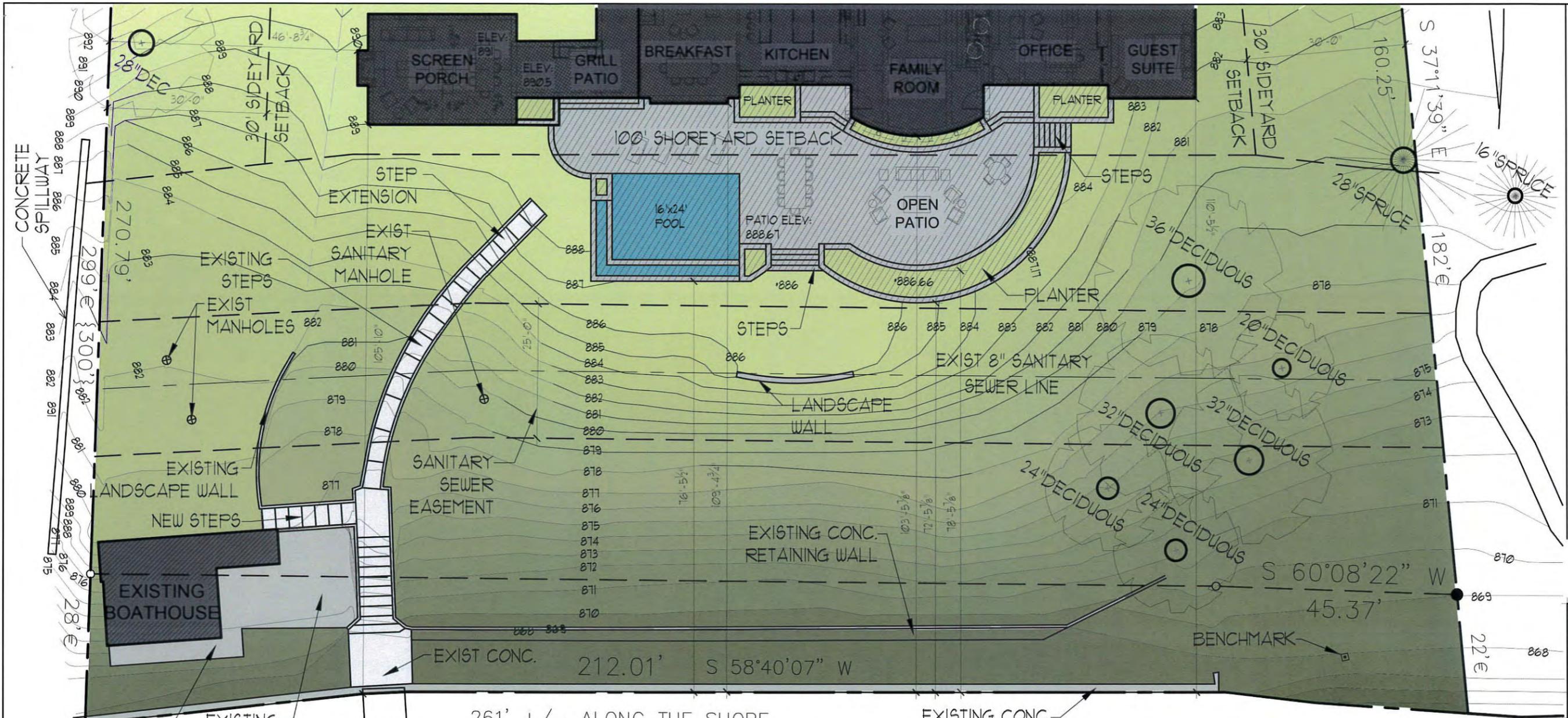


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LAKE GENEVA, WI

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EXISTING DECK, EXISTING CONC. PATIO, 261' +/- ALONG THE SHORE, EXISTING CONC. SEAWALL, BENCHMARK, 22' E, 182' E, 160.25', S 37°1'39\"/>

GENEVA LAKE

LAKE ELEVATION=864.5'

PROPOSED SITE PLAN (DETAIL)

SCALE: 1" = 20'-0"



SITE LEGEND	
	EXISTING STRUCTURE
	NEW STRUCTURE
	DECKS, PATIOS, TERRACES
	HARD SURFACE (PAVERS, CONCRETE, ASPHALT)
	EXISTING GRADE
	NEW GRADE
	PROPERTY LINE
	SETBACK LINE
	EXISTING TREE

LOT COVERAGE WITHIN SHOREYARD

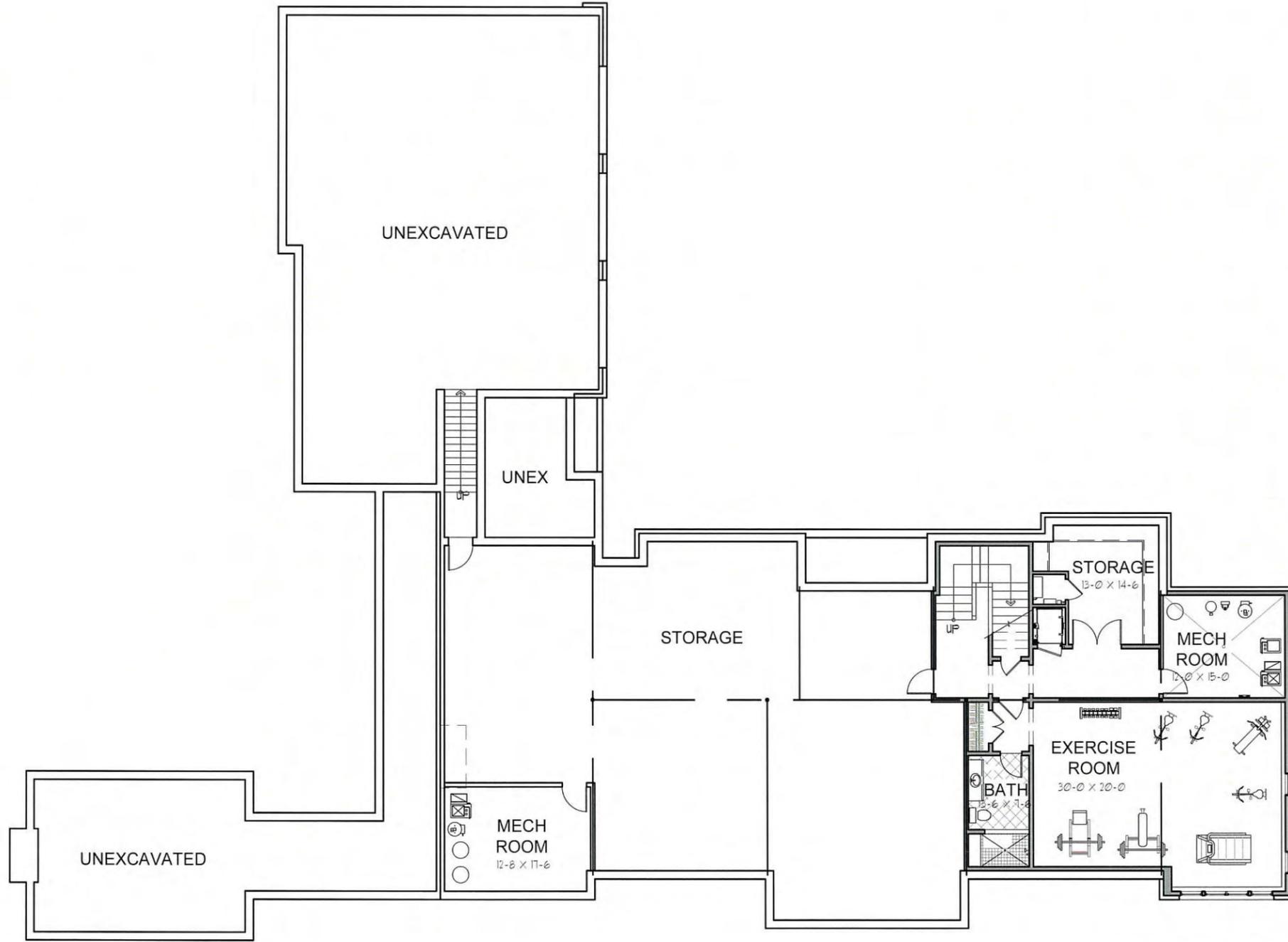
BOAT HOUSE FOOTPRINT:	496 SF
PROPOSED PATIO:	1,736 SF
EXISTING + PROPOSED STEPS FROM LAKE:	683 SF
EXISTING BOAT HOUSE PATIO:	485 SF
TTL IMPERVIOUS SURFACES W/IN SHOREYARD:	3,400 SF
TOTAL NET REDUCTION OF IMPERVIOUS SURFACES:	(-) 2,815 SF



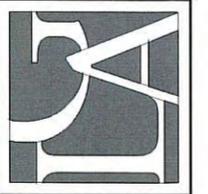
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**PROPOSED
BASEMENT FLOOR PLAN**
SCALE 1/16" = 1'-0"



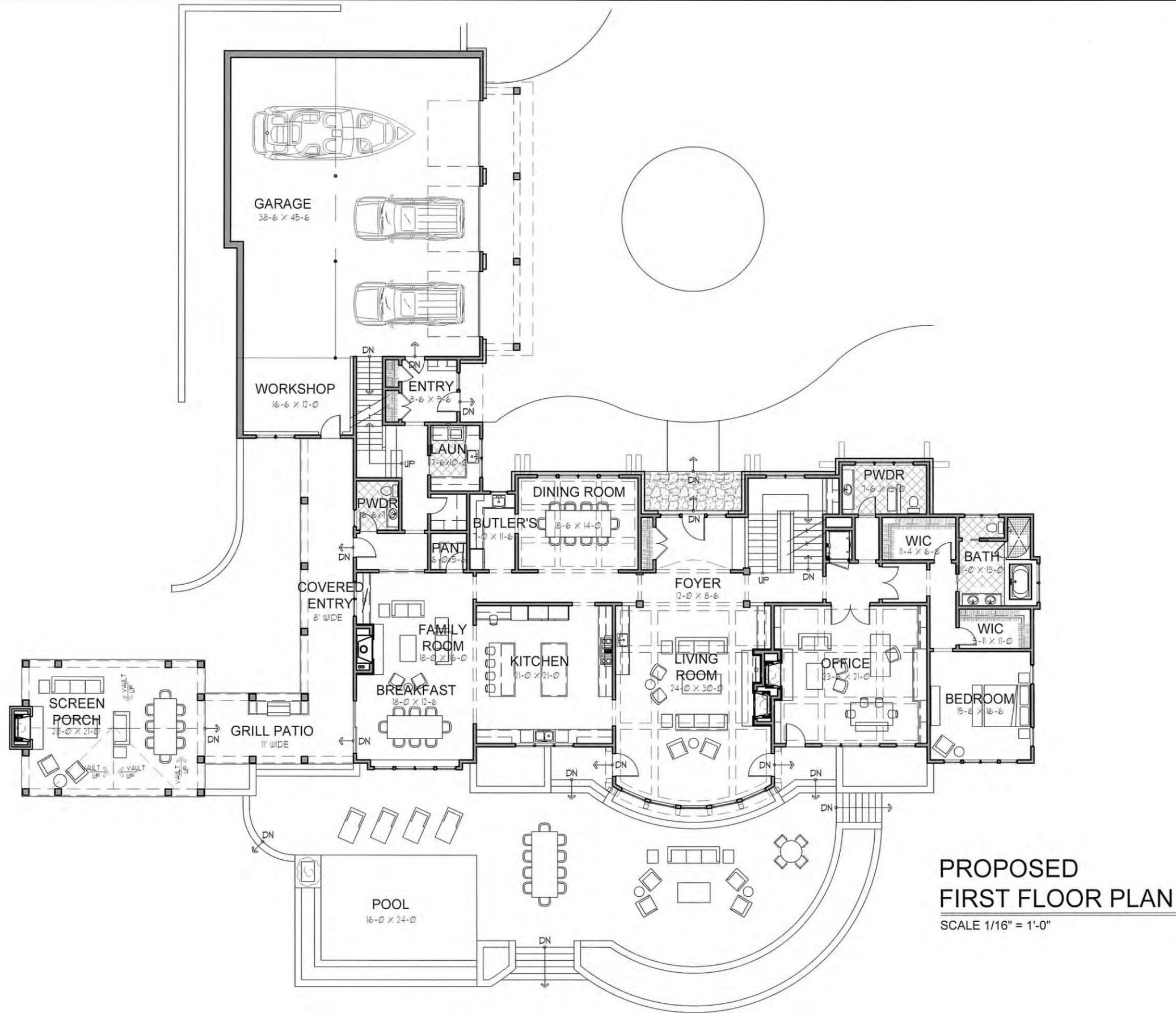
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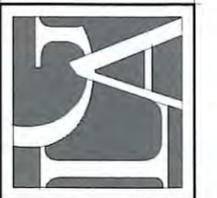


**PROPOSED
FIRST FLOOR PLAN**
SCALE 1/16" = 1'-0"

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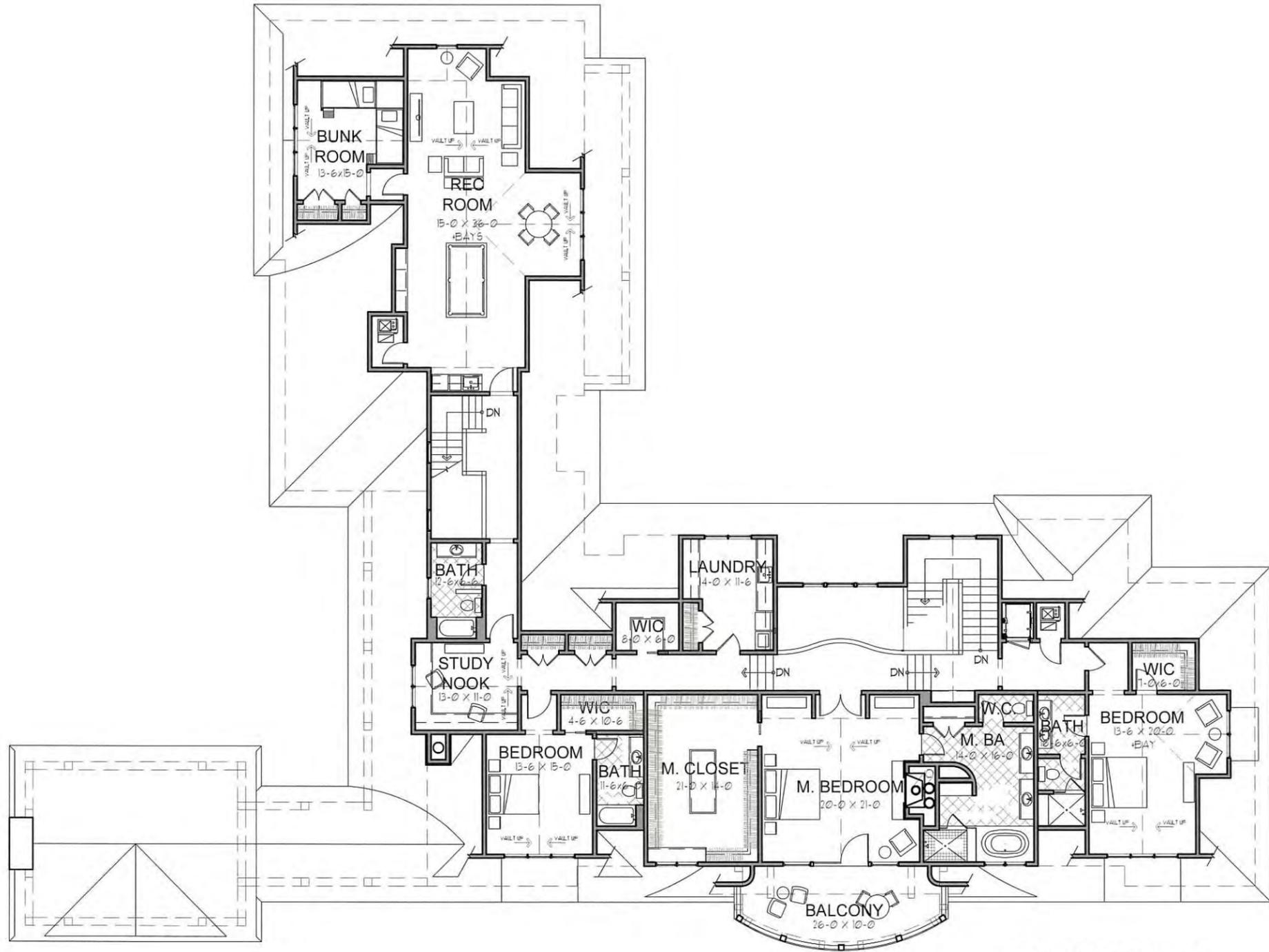


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**PROPOSED
SECOND FLOOR PLAN**
SCALE 1/16" = 1'-0"



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ATHANS RESIDENCE
W3155 SNAKE ROAD
LAKE GENEVA, WI

DATE: 12.1.15

		CIVIL 925
		CIVIL 920
		CIVIL 915
		CIVIL 910
SECOND FLOOR WALL FLT	9'-11"	CIVIL 905
EL. +120'-4 3/4" (ARCH)		CIVIL 900
SECOND FLOOR		CIVIL 895
EL. +111'-3 3/4" (ARCH)		CIVIL 890
WALL FLATE	10'-1"	CIVIL 885
EL. +110'-1" (ARCH)		CIVIL 880
FIRST FLOOR		CIVIL 875
EL. +100'-0" (ARCH)		
T/WALL FLATE	9'-9 1/2"	
EL. +98'-9 1/4" (ARCH)		
BASEMENT SLAB		
EL. +88'-11 3/4" (ARCH)		



**PROPOSED
NORTH ELEVATION**

SCALE 1/16" = 1'-0"



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**PROPOSED
SOUTH ELEVATION**

SCALE 1/16" = 1'-0"



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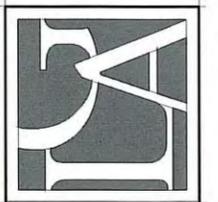
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		CIVIL 925
		CIVIL 920
		CIVIL 915
SECOND FLOOR WALL PLT	9'-1"	CIVIL 910
EL. +120'-4 3/4" (ARCH)		
SECOND FLOOR		CIVIL 905
EL. +111'-3 3/4" (ARCH)		
WALL PLATE	10'-1"	CIVIL 900
EL. +110'-1" (ARCH)		
FIRST FLOOR		CIVIL 895
EL. +100'-0" (ARCH)		
T/WALL PLATE	9'-9 3/4"	CIVIL 890
EL. +98'-9 1/4" (ARCH)		
BASEMENT SLAB		CIVIL 885
EL. +88'-11 3/4" (ARCH)		CIVIL 880
		CIVIL 875

**PROPOSED
EAST ELEVATION**
SCALE 1/16" = 1'-0"



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	CIVIL 925
	CIVIL 920
	CIVIL 915
SECOND FLOOR WALL FLT EL. +120'-4 3/4" (ARCH)	CIVIL 910
SECOND FLOOR EL. +111'-3 3/4" (ARCH)	CIVIL 905
WALL FLATE EL. +110'-1" (ARCH)	CIVIL 900
FIRST FLOOR EL. +100'-0" (ARCH)	CIVIL 895
T/WALL FLATE EL. +98'-9 1/4" (ARCH)	CIVIL 890
BASEMENT SLAB EL. +88'-11 3/4" (ARCH)	CIVIL 885
	CIVIL 880
	CIVIL 875



**PROPOSED
WEST ELEVATION**

SCALE 1/16" = 1'-0"



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EXISTING SOUTH ELEVATION



EXISTING SOUTH ELEVATION



EXISTING WALK OUT BASEMENT

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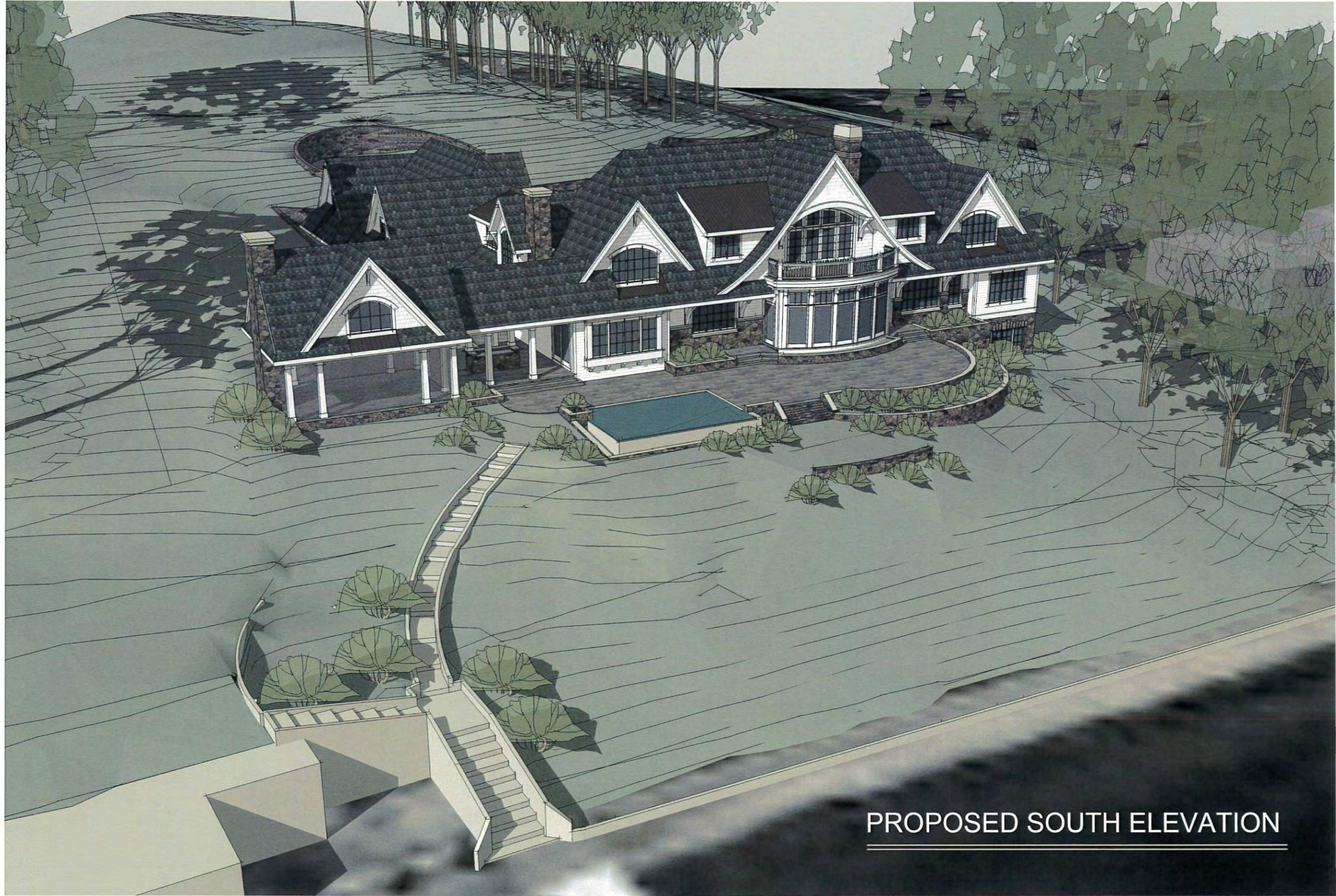


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PROPOSED SOUTH ELEVATION

ATHANS RESIDENCE

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