



REGULAR CITY COUNCIL MEETING

MONDAY, APRIL 23, 2018 – 6:00 PM

COUNCIL CHAMBERS, CITY HALL

Members: Mayor Tom Hartz, Council President Ken Howell, Council Vice President John Halverson, Alderpersons: Selena Proksa, Doug Skates, Tim Dunn, Cindy Flower, Shari Straube, and Rich Hedlund

AGENDA

1. Mayor Hartz calls the meeting to order
2. Pledge of Allegiance – City Administrator Oborn
3. Roll Call
4. Awards, Presentations, and Proclamations
5. Re-consider business from previous meeting
6. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.
7. Acknowledgement of Correspondence
8. Approve Regular City Council Meeting minutes of April 9, 2018 and April 17, 2018 as prepared and distributed
9. **CONSENT AGENDA**– *Recommended by Finance, License and Regulation on April 17, 2018*
Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.
 - a. 2018-2019 Operator (Bartender) License applications filed by Zachary Belanus, Michael Fryar, Kelly Hagren, Robert Peters, Rachael Englehardt, Annette Rude, Johnathon Steltenpohl, David Stinebrink, Timothy Stinebrink, Edward Vogt, Nicholas Grimme, and Cynthia Wisniewski
 - b. Street Banner Permit Application made by VISIT Lake Geneva for the event of Restaurant Week; Banners to be displayed May 1, 2018 through June 11, 2018 (*City Administrator to approve banner display; Applicant is requesting waiver of all fees; FLR recommended approval with payment of \$10 per pole used, totaling \$110 for the display*)
 - c. Event Permit Application made by the American Legion Auxiliary for the event of Fourth of July Children’s Public Parade to be held on July 4, 2018; Parade route starting at Eastview School and ending at American Legion Post (*Applicant is requesting waiver of all fees; FLR approved with the payment of the \$25 application fee*)
 - d. Temporary Class “B”/ “Class B” Retailer’s License Application (Beer Only) made by the Geneva Lake Arts Foundation for the event of Lake Geneva Arts Festival to be held on May 5, 2018 at 223 Broad Street
 - e. Event Permit Application made by Cindy Forster Fueredi for the event of Maple Park Homeowners Block Party to be held June 30, 2018 at 1005- 1010 Geneva St

- f. Parking Stall Bag request filed by Lake Geneva Farmers Market to use 13 stalls on the west side of Broad Street on Thursdays from May 3, 2018 to October 25, 2018 (24 days) from 7:00am to 2:00pm with waiver of all parking stall bag fees
10. Item(s) removed from the Consent Agenda
11. **Second Reading of Ordinance 18-5, Providing for Direct Annexation by Unanimous Consent of Electors and Property Owners of Territory Located in the Town of Geneva to the City of Lake Geneva for the applicant Mark Larkin, 500 Stone Ridge Drive, Lake Geneva, WI 53147, for the 1.95 acre property located at Tax Key No. JG2500014A** *(Annexation recommended by the Plan Commission on February 19, 2018 and approved by the WI Dept. of Administration on March 29, 2018)*
12. **Finance, License, and Regulation Committee Recommendations of April 17, 2018- Ald. Howell**
- a. Discussion/Action of Collection Agency Agreement between the Stark Collection Agency and the City of Lake Geneva
 - b. Discussion/Action of Pay Request No. 3 for \$3,150.00 for the City of Lake Geneva White River disc golf course pedestrian bridge replacement project
 - c. Discussion/Action on Glen Fern Construction Payment Request No. 2 for \$77,854.65 for Visitors Center Project from Capital Projects
 - d. Discussion/Action on Glen Fern Construction Change Order Request No. 6 for \$1,466.30 for Flat Iron Park and Visitors Center Project from Capital Projects
 - e. Discussion/Action of **Resolution 18-R31** Updating the Fee Schedule for the Fire Department
13. **Planning Commission Recommendations of April 16, 2018- Ald. Skates**
- a. Discussion/Action of a Certified Survey Map (CSM) for a Land Division for Kim Pischke of Core Commercial Inc. on the property located at 751 Geneva Parkway, to create three Lots, respectively with 1) Required easements and limiting access to the existing office building parking lot (using the southern line of the driveway coming from the east shown on the current site plan drawing C-2 as a cut-off point) and 2) easement agreement correction designating water line as public Tax Key Nos. ZGBC00001, ZGBC00001A, ZGBC00002. *(Staff recommends correcting boundaries for the access closure and to maintain minimum lot sizes)*
 - b. Discussion/Action of a Certified Survey Map (CSM) for Serendipity and Sunsets LLC, PO Box 649, Cary, IL 60013, c/o R.W. Torhorst to make a lot line adjustment for the property located at 962 Mariane Terrace and include all staff recommendations and fact finding including survey notes for utilities and acknowledging the existence of a possible easement. Tax Key No. ZSY00016.
 - c. Discussion/Action on **Resolution 18-R26**, a Conditional Use Permit filed by Serendipity and Sunsets LLC. PO Box 649, Cary, IL, 60013, c/o R.W. Torhorst, for the demolition and new construction of a single family residence located at 962 Mariane Terrace including all staff recommendations and fact findings in the affirmative. Property is located within the Estate Residential – 1 (ER-1) zoning district and applicant requests to utilize the Single Family–4 (SR-4) zoning. Tax Key No. ZSY00016.
 - d. Discussion/Action to amend the existing Precise Implementation Plan filed by Geneva Theater, 244 Broad Street, Lake Geneva, WI, 53147, to allow for the installation of an exterior walkup concessions and ticket sales, hanging sign, & an affixed wall sign located in the Central Business (CB) zoning district. Tax Key No. ZOP00246, ZOP000247, & ZOP000248.
 - e. Discussion/Action on **Resolution 18-R32**, a Conditional Use Permit filed by Austin Pier Services Inc., applicant Darrell Frederick, for the owner Peggy Roth Trust 837 Bayview Drive located in the Estate Residential (ER-1) zoning, Lake Geneva, WI 53147, to construct a new Pier for George & Peggy Roth located at 837 Bayview Drive including all staff recommendations and fact findings in the affirmative. Tax Key No. ZGR00007.

- f. Discussion/Action on **Resolution 18-R33**, a Conditional Use Permit amending an existing site plan for the Farmers Market for the Horticultural Hall located at 330 Broad Street, applicant Sean Payne, 127 Summer Street, Genoa City, WI 53128. The proposed site plan to include the use of the public alley located in the Central Business (CB) zoning from April through October every Thursday and allow for the sales of homemade, home grown products: cheese vegetables, bread, fruit, flowers, hummus, oils, crepes, empanadas, sauces, desserts, popcorn, seafood, coffee, and crafts, including all staff recommendations and fact findings in the affirmative. Tax Key No. ZOP000163.
- g. Discussion/Action of a Zoning Map Amendment for the property located at 100 North Edward Blvd. for TC Productions LLC. The request is to change the current zoning from Planned Development (PD) to Planned Business (PB). Tax Key No. ZA196100004.
- h. Discussion/Action on **Resolution 18-R34**, a Conditional Use Permit by TC Productions LLC for the property located at 100 North Edwards Blvd., to construct a new commercial building to be used as a Commercial Indoor Entertainment (Magic Theater) land use classification section 98-206(4)(h), including all staff recommendations and fact findings in the affirmative. Tax Key No. ZA196100004.
- i. Discussion/Action of a proposed Ordinance Regulating Tourist Rooming Houses / Residential Short Term Rentals.

14. Discussion/Action of Resolution 18-R35 confirming the Mayor’s Citizens Appointments to the Committees and Commissions of the City of Lake Geneva

15. Presentation of Accounts – Ald. Howell (Recommended by Finance, License and Regulation Committee on April 17, 2018)

- a. Purchase Orders (none)
- b. Prepaid Bills in the amount of \$15,714.57
- c. Regular Bills in the amount of \$280,259.07

16. Motion to go into Closed Session pursuant to Wis. Stat. 19.85(1)(e) deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session with regard to 1) Room Tax Voluntary Collection Agreement with AIRBNB, INC and 2) City property located at North Edwards Blvd near Highway 50 Tax Key No. ZRED0001

17. Motion to return to open session pursuant to Wisconsin Statutes 19.85 (2) and take action on any items discussed in closed session

18. Adjournment

Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk’s office in advance so the appropriate accommodations can be made.

4/20/2018 5:00 PM

cc: Aldermen, Mayor, City Admin., Attorney, Dept. Heads, Media

**REGULAR CITY COUNCIL MEETING
MONDAY, APRIL 9, 2018 – 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Mayor Kupsik called the meeting to order at 6:00 pm

Alderman Kordus led the Pledge of Allegiance.

Roll Call:

Present: Kupsik, Kordus, Hedlund, Halverson, Flower, Chappell, Skates, Straube, and Howell

Absent: None

Guests: City Administrator Oborn, City Attorney Draper, City Clerk Kropf, Mayor Elect Tom Hartz, Alderpersons Elect Dunn and Proksa

Awards, Presentations, and Proclamations

None

Re-consider business from previous meeting

None

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes

Charlene Klein; 817 Wisconsin St; Spoke in regards to the agreement with MSI General, specifically the lack a of a “not to exceed cost” clause within the agreement.

Mary Jo Fesenmaier; 1085 S Lakeshore Drive; Spoke in opposition of changing the Committee of the Whole meetings to quarterly.

Terry O’Neil; 954 George St; Spoke in opposition of changing the Committee of the Whole meetings to quarterly.

Acknowledgement of Correspondence

None

Approve Regular City Council Meeting minutes of March 26, 2018, as prepared and distributed

Motion by Kordus to approve the Common Council meeting minutes of March 26, 2018, second by Skates. Motion carried 8-0.

CONSENT AGENDA– Recommended by Finance, License and Regulation on April 3, 2018

Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.

-Original 2018-2019 Operator’s (Bartender) License applications filed by Jennifer Goodfriend and Lucielle Novak

-Temporary Class “B”/”Class B” Retailer’s License for the Walworth County Food Pantry for the event of Taste of Lake Geneva to be held on June 2, 2018 at Flat Iron Park

-Event Permit Application made by the Lake Geneva Business Improvement District for the event of the Lake Geneva Arts Festival to be held May 4, May 5, and May 6, 2018 on the sidewalks of the downtown business district and alley between Avant Cycle and the Geneva Theater (*Staff recommends unloading zone be in front of Geneva Theatre not on Main Street as indicated in the application*)

-Event Permit Application made by VISIT Lake Geneva for the events of Concerts in the Park to be held July 5, July 12, July 19, July 28, August 2, August 9, and August 23, 2018 at Flat Iron Park, Gazebo and Brunk Pavilion (*Request for waiver of fees except \$25 application fee*)

-Event Permit Application made by Alex Austin for the event of a 3 on 3 Basketball Tournament to be held in Veteran's Park on August 4, 2018 with a rain day option of August 5, 2018 *(Park Board approved contingent upon receipt and City Attorney review of Insurance)*

-Event Permit Application made by the Frank Kresen American Legion Post #24 for the event of the Memorial Day Parade to be held on May 28, 2018 with parade route starting on Wisconsin Street and Broad Street ending at Flat Iron Park with a \$25 for Park Reservation Application Fee

-Event Permit Application made by Tony Tiet and Joseph Ceisel for the event of the Tiet/Ceisel Wedding to be held September 2, 2018 in the Samuel Donian Wetland Preserve

Motion by Skates to approve the consent agenda, second by Kordus. Motion carried 8-0.

Item(s) removed from the Consent Agenda

None

First Reading of Ordinance 18-5, Providing for Direct Annexation by Unanimous Consent of Electors and Property Owners of Territory Located in the Town of Geneva to the City of Lake Geneva for the applicant Mark Larkin, 500 Stone Ridge Drive, Lake Geneva, WI 53147, for the 1.95 acre property located at Tax Key No. JG2500014A *(Annexation recommended by the Plan Commission on February 19, 2018 and approved by the WI Dept. of Administration on March 29, 2018)*

Mayor Kupsik noted that this is a first reading and will be back before the Council at the April 23, 2018 Council meeting. No action taken.

Finance, License, and Regulation Committee Recommendations of April 3, 2018- Ald. Kordus

Discussion/Action of Selection of MSI General to provide architectural and engineering design and project management services for the Riviera Improvement Project *(Selection recommended by the Piers, Harbor, & Lakefront Committee on March 27, 2018)*

Motion by Kordus to approve the selection of MSI General to provide architectural and engineering design and project management for the Riviera Improvement Project pending Attorney review, second by Hedlund. Kordus noted that he felt that this was a good choice and is the primary choice for this project. Motion carried 8-0.

Discussion/Action of approval of Agreement between Owner (City of Lake Geneva) and Architect (MSI General) for Riviera Improvement Project

Motion by Kordus to approve the agreement between the City of Lake Geneva and MSI General as Architect for the Riviera Improvement Project pending Attorney review, second by Hedlund. Oborn noted that there may be more agreements coming forward as the costs are further determined. Motion carried 8-0.

Discussion/Action of approval of Agreement between Owner (City of Lake Geneva) and Construction Manager as Constructor (MSI General) for Riviera Improvement Project

Motion by Kordus to approve the Agreement between the City of Lake Geneva and MSI General as Construction Manager and Constructor for the Riviera Improvement Project pending City Attorney review, second by Hedlund. No discussion. Motion carried 8-0.

Discussion/Action of an Ordinance amending Section 2-230 (b) for the Committee of the Whole to meeting quarterly *(Finance, License, and Regulation Committee motion to approve failed 2-3, with Halverson, Howell, and Skates voting no)*

Motion by Kordus to approve the change of language from shall to may and remove the meeting to commence quarterly language, second by Hedlund. Chappell questioned if language could be added that would indicate how soon in advance an agenda may be sent out. Kordus noted that the Council President does receive the agenda well in advance, but worries about adding language that would determine how far in advance an agenda can be set. Motion carried 5-4, with Skates, Flower, Halverson and Straube voting no. Mayor Kupsik voted aye to break the tie.

Discussion/Action of an Ordinance amending Section 90-198 for Docking Facilities Rental Authority to be the City Administrator or his/her designee

Motion by Kordus to approve, second by Straube. Kordus noted that this would allow this responsibility to be given to the City Administrator or his/her designee. Motion carried 8-0.

Presentation of Accounts – Ald. Kordus (Recommended by Finance, License and Regulation Committee on April 3, 2018)

Purchase Orders

None

Prepaid Bills in the amount of \$10,828.43

Motion by Kordus to approve, second by Hedlund. No discussion. Motion carried 8-0.

Regular Bills in the amount of \$145,511.73

Motion by Kordus to approve, second by Hedlund. No discussion. Motion carried 8-0.

Recognition by Council Vice President Howell of Mayor Alan Kupsik, Alderperson Bob Kordus, and Alderperson Elizabeth Chappell for their service to the City of Lake Geneva

Council Vice President read proclamations in recognition of their service to Bob Kordus, Elizabeth Chappell, and Alan Kupsik.

Motion to go into Closed Session pursuant to Wis. Stat. 19.85(1)(e) deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session with regard to: 1) Approval of the Police Officers Union Labor Agreement between the City of Lake Geneva and the Labor Association of Wisconsin on behalf of the Lake Geneva Police Association for 2018; and pursuant to Wis. Stat. 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved with regard to: 2) Notice of Circumstances of White River Holdings LLC's Claims

Motion by Kordus to convene the Council in closed session, allowing City Administrator Oborn, City Attorney Draper, City Clerk Kropf, Alderperson Elect Tim Dunn, Alderperson Elect Selena Proksa, and Mayor Elect Tom Hartz to remain in the meeting, second by Howell. Motion carried on a roll call vote 8-0. The Council convened into closed session at 6:37 p.m.

Motion to return to open session pursuant to Wisconsin Statutes 19.85 (2) and take action on any items discussed in closed session

Motion by Kordus to reconvene the Council in open session, second by Skates. Motion carried on a roll call vote 8-0. The Council reconvened into open session at 7:52 p.m.

Motion by Kordus to approve the Police Union Labor Agreement as presented, second by Chappell. Motion carried on 8-0.

Kordus stated that there wasn't any action to take on the Notice of Circumstances of White River Holdings LLC's Claims, at this time.

Adjournment

Motion by Kordus to adjourn the April 9, 2018 meeting of the Common Council, second by Straube. Motion carried 8-0. The meeting of the Common Council adjourned at 7:54 pm

THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE COMMON COUNCIL

ORGANIZATIONAL MEETING OF THE COMMON COUNCIL- MINUTES

TUESDAY, APRIL 17, 2018 – 5:00 PM

COUNCIL CHAMBERS, CITY HALL

Members: Mayor Tom Hartz, Alderpersons: Selena Proksa, Doug Skates, Tim Dunn, Cindy Flower, Shari Straube, John Halverson, Rich Hedlund, and Ken Howell

Mayor Hartz called the meeting to order at 5:00 p.m.

The Pledge of Allegiance was lead by Clerk Kropf.

Roll Call: Present: Mayor Hartz, Alderpersons: Proksa, Skates, Dunn (arrived at 5:05 p.m.), Flower, Straube, Halverson, Hedlund, and Howell

Also Present: City Administrator Oborn, City Attorney Draper, and City Clerk Kropf

Invocation by Reverend Ana Luisa Chacon from La Resureccion United Methodist Church in Lake Geneva

Reverend Ana Luisa Chacon gave an invocation to bless the Mayor and the City Council.

Swearing in of newly elected officials

Clerk Kropf swore in the newly elected officials, including Alderpersons Selena Proksa, Doug Skates, Tim Dunn, Cindy Flower, Attorney Draper, and Mayor Hartz.

Welcome by Mayor Hartz

Mayor Hartz gave a welcome to the new Council and all in attendance.

Election of Council President

Hedlund nominated Ken Howell.

Flower nominated Doug Skates.

Dunn nominated John Halverson.

Council cast ballots and determined the Council President to be Ken Howell.

Election of Council Vice-President

Hedlund nominated Halverson. Motion carried 7-0. John Halverson is the Vice President of the Council.

Resolution 18-R27 A resolution confirming the Mayor's Aldermanic Appointments to Standing Committees for the City of Lake Geneva

Mayor Hartz read the alderperson appointments from the resolution aloud to the Council.

Motion by Howell to approve Resolution 18-R27 a resolution confirming the Mayor's Aldermanic Appointments to Standing Committees for the City, second by Halverson. Motion carried 7-0.

Resolution 18-R28 A resolution confirming the Mayor's Aldermanic Appointments to Non-Standing Committees and Commissions for the City of Lake Geneva

Mayor Hartz read the alderperson appointments from the resolution aloud to the Council.

Motion by Doug to approve Resolution 18-R28 a resolution confirming the Mayor's Aldermanic Appointments to Non-Standing Committees, and Commission for the City of Lake Geneva as amended, second by Halverson. Motion carried 7-0.

Forward Citizen Appointments to Boards and Commissions by Mayor Hartz to the April 23, 2018 City Council meeting

Motion by Howell to approve, second by Skates. Motion carried 7-0.

Mayoral Appointment of Jill Rodriguez to the City of Lake Geneva Avian Committee for a term ending May 1, 2018

Motion by Skates to approve, second by Halverson. Motion carried 7-0.

Resolution 18-R29 Designating the Public Depositories and Authorized Signatures for the City of Lake Geneva

Motion by Skates to approve Resolution 18-R29 designating the public depositories and authorized signatures for the City of Lake Geneva, second by Halverson. Motion carried 7-0.

Resolution 18-R30 Designating the Official Newspaper for the City of Lake Geneva

Motion by Howell to approve Resolution 18-R30 designating the Official Newspaper for the City of Lake Geneva, second by Dunn. Flower asked if there are other options in the area available. City Attorney Draper noted that the City is obligated to use the paper that is published within the City. Motion carried 6-0, with Halverson abstaining.

Adjournment

Motion by Skates to adjourn the meeting of the Common Council, second by Halverson. Motion carried 7-0. The meeting of the Common Council adjourned at 5:25 p.m.

Expires 2019

City Clerk's Office
626 Geneva Street
Lake Geneva, WI 53147
(262) 248-3673
www.cityoflakegeneva.com



CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

Please Check:

Original Application

Renew Current License

\$50.00 License Fee

Annual License Expires June 30th each year

Please fill in all blanks completely,
as incomplete applications will be rejected.

APPLICANT INFORMATION

Name: Belarus Zachary I
Last First Middle

Maiden Name: _____ Date of Birth: 1 _____

Address (Physical): _____

Mailing Address (if different): _____

City, State, Zip: _____

Phone: _____

Email: _____

Drivers _____

BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Stinebrink's Piggly Wiggly

Address: 100 E Geneva Square Lake Geneva WI 53147

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

— ORIGINAL — RENEWAL

If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.

2. Have you ever had an Operator (Bartender) License? YES NO

If Yes, please state where: Piggly Wiggly

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES NO

If Yes, please provide charge, date and disposition: _____

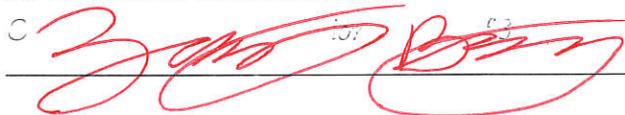
4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE



DATE: 3/30/18

For Office Use Only

Date Filed: April 9, 2018
Receipt No: C180409-16
Total Amount: \$500.00 ✓

Verified: Stark MSI

Forwarded to Police Chief: _____
Background Completed: _____
Recommendation: _____

Approved Denied

FLR Approval: _____
Council Approval: _____

License Issued On: _____
License Number: _____

MAIL TO: Individual
Establishment

Expires 2019



City Clerk's Office
626 Geneva Street
Lake Geneva, WI 53147
(262) 248-3673
www.cityoflakegeneva.com

CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

Please Check:

Original Application

Renew Current License

\$50.00 License Fee

Annual License Expires June 30th each year

Please fill in all blanks completely,
as incomplete applications will be rejected.

APPLICANT INFORMATION

Name: Fryar Michael J
Last First Middle

Maiden Name: _____ Date of Birth: _____

Address (Physical): _____

Mailing Address (if different): _____

City, State, Zip: _____

Phone: _____

Email: _____

Drivers License #: _____

BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Stinebrink's Piggy Wiggy

Address: 100 E Geneva St Lake Geneva WI 53147

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

— ORIGINAL — RENEWAL

If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.

2. Have you ever had an Operator (Bartender) License? YES NO

If Yes, please state where: Stinebrink's Piggy Wiggy

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES NO

If Yes, please provide charge, date and disposition: _____

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

[Handwritten Signature]

DATE: 3/27/18

For Office Use Only

Date Filed: April 9, 2018
Receipt No: C180409-16
Total Amount: 50 - cash

Verified: Stark MSI

Forwarded to Police Chief: _____
Background Completed: _____
Recommendation: _____

Approved Denied

FLR Approval: _____
Council Approval: _____

License Issued On: _____
License Number: _____

MAIL TO: Individual
Establishment

Expires 2019



CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

Please Check:

Original Application

Renewal of Current License

\$50.00 License Fee

Annual License Expires June 30th each year

Please fill in all blanks completely,
as incomplete applications will be rejected.

APPLICANT INFORMATION

Name: Hoegen, Kelly Ann
Last First Middle

Maiden Name: N/A Date of Birth _____

Address (Physical): _____

Mailing Address (if different): _____

City, State, Zip: _____

Phone: _____

Drivers License #: _____

BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Thumbs Up

Address: 260 Broad St, Lake Geneva WI 53147

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL

RENEWAL

If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.

2. Have you ever had an Operator (Bartender) License?

YES

NO

If Yes, please state where: _____

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES NO

If Yes, please provide charge, date and disposition: _____

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

[Signature] DATE: 3/22/18

For Office Use Only

Date Filed: <u>April 2, 2018</u>	Verified: Stark <input checked="" type="checkbox"/> MSI <input checked="" type="checkbox"/>
Receipt No: <u>C180402-1</u>	
Total Amount: <u>\$50</u>	
Forwarded to Police Chief: <u>April 2, 2018</u>	
Background Completed: <u>4-4-18</u> <u>gt</u>	
Recommendation: <u>[Signature]</u>	Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/>
FLR Approval: _____	License Issued: <u>4/24/18</u>
Council Approval: _____	License Number: <u>00000000</u>
MAIL TO: Individual	
Establishment	

WISCONSIN

SELLER / SERVER CERTIFICATION

Trainee Name: kelly hagren

Date of Completion: 03/23/2017

School Name: 360training.com, Inc.

Certification # WI-55280



I, _____
certify that the above named person
successfully completed an approved
Learn2Serve Seller/Server course.

COMPLIES WITH WISCONSIN STATUTES 125.04, 125.17, 134.66



Corporate Headquarters
13801 Burnet Rd., Suite 100
Austin, Texas 78727
P: 800-442-1149

Expires 2019



CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

Please Check:

Original Application

Renew Current License

\$50.00 License Fee

Annual License Expires June 30th each year

Please fill in all blanks completely,
as incomplete applications will be rejected.

APPLICANT INFORMATION

Name: Peters Robert Stephen
Last First Middle

Maiden Name: _____ Date of Birth: _____

Address (Physical): _____

Mailing Address (if different): _____

City, State, Zip: _____

Phone: _____

Email: whoami4439@att.net

Drivers License #: P362-7776-3008-00

BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Stinebrink's Piggy Wiggle

Address: 100 E. Geneva Sq, Lake Geneva WI 53147

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL

RENEWAL

If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.

2. Have you ever had an Operator (Bartender) License?

YES

NO

If Yes, please state where: Stinebrink's Piggy Wiggle

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

Robert S. Peter

DATE: April 9, 2018

For Office Use Only

Date Filed: April 9, 2018
Receipt No: 0180409-16
Total Amount: \$50-cash

Verified: Stark MSI

Forwarded to Police Chief: _____

Background Completed: _____

Recommendation: _____

Approved

Denied

FLR Approval: _____

License Issued On: _____

Council Approval: _____

License Number: _____

MAIL TO: Individual
Establishment

Expires 2019



CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

Please Check:

Original Application

Renew Current License

\$50.00 License Fee

Annual License Expires June 30th each year

Please fill in all blanks completely,
as incomplete applications will be rejected.

APPLICANT INFORMATION

Name: Engelhardt Rachael Tracey
Last First Middle

Maiden Name: Engelhardt Date of Birth: _____

Address (Physical): _____

Mailing Address (if different): _____

City, State, Zip: _____

Phone: _____

Email: _____

Drivers License # _____

BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Stinebrink's Piggly Wiggly

Address: 100 E Geneva Square

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL

RENEWAL

If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.

2. Have you ever had an Operator (Bartender) License?

YES

NO

If Yes, please state where: Piggly Wiggly

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES NO

If Yes, please provide charge, date and disposition: _____

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

Rachael Engelhardt DATE: 4/7/18

For Office Use Only

Date Filed: <u>April 9, 2018</u>	Verified: Stark <input checked="" type="checkbox"/> MSI <input checked="" type="checkbox"/>
Receipt No: <u>2180409-110</u>	
Total Amount: <u>650 - cash</u>	
Forwarded to Police Chief: _____	
Background Completed: _____	
Recommendation: _____	Approved Denied
FLR Approval: _____	License Issued On: _____
Council Approval: _____	License Number: _____
MAIL TO: Individual Establishment	

copy in fee



CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

Please Check:

Original Application

Renew Current License

\$50.00 License Fee

Annual License Expires June 30th each year

Please fill in all blanks completely,
as incomplete applications will be rejected.

APPLICANT INFORMATION

Name: Rude Annette Lee
Last First Middle

Maiden Name: Paylor Date of Birth: _____

Address (Physical): _____

Mailing Address (if different): _____

City, State, Zip: _____

Phone: _____

Email: _____

Drivers License #: _____

BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Champs

Address: 747 Main Street

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL RENEWAL

If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.

2. Have you ever had an Operator (Bartender) License? YES NO

If Yes, please state where: _____

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

Annette Rude

DATE:

4/6/18

For Office Use Only

Date Filed: 4-6-18

Verified: Stark MSI

Receipt No: C180406-1

Total Amount: \$50.00

Forwarded to Police Chief: 4-6-18

Background Completed: _____

Recommendation: _____ Approved Denied

FLR Approval: _____

License Issued On: _____

Council Approval: _____

License Number: _____

MAIL TO: Individual
Establishment

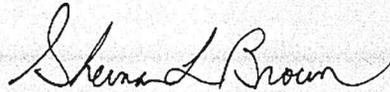
Thank you for participating in the ServSafe Alcohol program. Responsible alcohol service begins with the choices you make, and ServSafe Alcohol training will help you make the right decision when the moment arises.

By completing the ServSafe Alcohol program, you show your dedication to safe and responsible alcohol service. The ServSafe Alcohol program and the National Restaurant Association are dedicated to helping you continue to raise the bar on alcohol safety.

To learn more about our full suite of responsible alcohol service training products, contact your State Restaurant Association, your distributor or visit us at ServSafe.com.

We value your dedication to responsible alcohol service and applaud you for making the commitment to keep your operation, your customers and your community safe.

Sincerely,



Sherman Brown

Senior Vice President, National Restaurant Association Solutions

In Alaska you must laminate your card for it to be valid.



ID # 15520113
CARD # 16271844

ServSafe Alcohol[®] CERTIFICATE



ANNETTE RUDE

NAME

4/5/2018

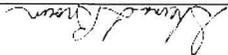
DATE OF EXAMINATION

Card expires three years from the date of examination. Local laws apply.

Complies with WI State Stats. s.125.04(5)(a)5 & s.125.17(6) & s.134.66

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Sherman Brown
Senior Vice President, National Restaurant Association Solutions



This certificate confirms completion of the ServSafe Alcohol[®] responsible alcohol service program.

NOTE: You can access your score and certification information anytime at ServSafe.com with the class number provided on this form.

Please make a copy of your ServSafe Alcohol Certificate blue card for your records. Replacement copies can be obtained for a fee by completing the Certificate and Score Release Request Form available at ServSafe.com.

If you have any questions regarding your certification please contact the National Restaurant Association Service Center at _____ or _____

Expires 2019



CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

Please Check:

Original Application

Renew Current License

\$50.00 License Fee

Annual License Expires June 30th each year

Please fill in all blanks completely,
as incomplete applications will be rejected.

APPLICANT INFORMATION

Name: Steltenpool Johnathon Eugene
Last First Middle

Maiden Name: _____ Date of Birth: _____

Address (Physical): _____

Mailing Address (if different): _____

City, State, Zip: _____

Phone: _____

Email: _____

Drivers License #: _____

BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Piggly Wiggly

Address: 100 E. Geneva Sq. Lake Geneva, WI 53147

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL RENEWAL

If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.

2. Have you ever had an Operator (Bartender) License? YES NO

If Yes, please state where: Lake Geneva

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

Jon E. Suter

DATE: 3/27/2018

For Office Use Only

Date Filed: April 9, 2018
Receipt No: C-18D409-116
Total Amount: \$50- cash

Verified: Stark MSI

Forwarded to Police Chief: _____

Background Completed: _____

Recommendation: _____

Approved

Denied

FLR Approval: _____

License Issued On: _____

Council Approval: _____

License Number: _____

MAIL TO: Individual
Establishment

Expires 2019

City Clerk's Office
626 Geneva Street
Lake Geneva, WI 53147
(262) 248-3673
www.cityoflakegeneva.com



CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

Please Check:	
<input type="checkbox"/>	Original Application
<input checked="" type="checkbox"/>	Renew Current License

\$50.00 License Fee

Annual License Expires June 30th each year

Please fill in all blanks completely,
as incomplete applications will be rejected.

APPLICANT INFORMATION

Name: Stinebrink David Jerome
Last First Middle

Maiden Name: _____ Date of Birth: _____

Address (Physical): _____

Mailing Address (if different): _____

City, State, Zip: _____

Phone: _____

Email: _____

Drivers License #: _____

BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Stinebrink's Piggy Wiggle

Address: 100 E Geneva St Lake Geneva WI 53147

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL RENEWAL

If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.

2. Have you ever had an Operator (Bartender) License? YES NO

If Yes, please state where: Stinebrink's Piggy Wiggle

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

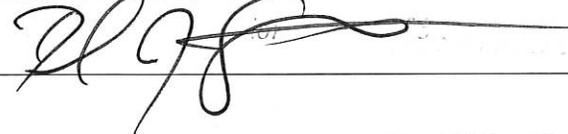
YES

NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE



DATE: 3-27-18

For Office Use Only

Date Filed: April 9, 2018
Receipt No: C180409-16
Total Amount: \$50 - cash ✓

Verified: Stark MSI

Forwarded to Police Chief: _____

Background Completed: _____

Recommendation: _____

Approved

Denied

FLR Approval: _____

License Issued On: _____

Council Approval: _____

License Number: _____

MAIL TO: Individual
Establishment

Expires 2019



CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

Please Check:

Original Application

Renew Current License

\$50.00 License Fee

Annual License Expires June 30th each year

Please fill in all blanks completely,
as incomplete applications will be rejected.

APPLICANT INFORMATION

Name: Stinebrink Timothy Jon
Last First Middle

Maiden Name: _____ Date of Birth: _____

Address (Physical): _____

Mailing Address (if different): _____

City, State, Zip: _____

Phone: _____

Email: _____

Drivers License #: _____

BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Stinebrinks Lake Geneva Piggy Wigly

Address: 100 E. Geneva Sq. Lake Geneva WI 53147

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?
ORIGINAL — RENEWAL —
If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.
2. Have you ever had an Operator (Bartender) License? — YES — NO —
If Yes, please state where: Piggy wigly

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

DATE: 3-29-18

For Office Use Only

Date Filed: April 9, 2018
Receipt No: C180409-110
Total Amount: \$50-cash

Verified: Stark MSI

Forwarded to Police Chief: _____

Background Completed: _____

Recommendation: _____ Approved Denied

FLR Approval: _____

License Issued On: _____

Council Approval: _____

License Number: _____

MAIL TO: Individual
Establishment



CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

Please Check:

Original Application

Renew Current License

\$50.00 License Fee

Annual License Expires June 30th each year

Please fill in all blanks completely,
as incomplete applications will be rejected.

APPLICANT INFORMATION

Name: Vogt Edward R
Last First Middle

Maiden Name: Vogt Date of Birth: _____

Address (Physical): _____

Mailing Address (if different): _____

City, State, Zip: _____

Phone: _____

Email: _____

Drivers License #: _____

BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Walgreens

Address: 351 North Blv Ave

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL

RENEWAL

If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.

2. Have you ever had an Operator (Bartender) License?

YES

NO

If Yes, please state where: _____

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

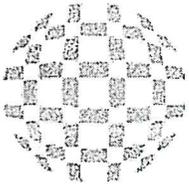
APPLICANT SIGNATURE

Wl Gt

DATE: 4-10-18

For Office Use Only

Date Filed: <u>4/10/18</u>	Verified: Stark <input checked="" type="checkbox"/> MSI <input checked="" type="checkbox"/>
Receipt No: <u>C180410-8</u>	
Total Amount: <u>\$50.00</u>	
Forwarded to Police Chief: <u>4/10/18</u>	
Background Completed: _____	
Recommendation: _____	Approved _____ Denied _____
FLR Approval: <u>4/17/18</u>	License Issued On: _____
Council Approval: _____	License Number: _____
MAIL TO: Individual	
Establishment	



Walgreens Boots Alliance

Walgreens



**Alliance
Healthcare**

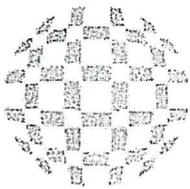
This certifies that

EDWARD VOGT

has completed

Sale of Alcoholic Beverages Policy: Company / Venta de Bebidas Alcohólicas: Reconocimiento de la Política
by Walgreens

Date: 4/6/2018



Walgreens Boots Alliance

Walgreens



**Alliance
Healthcare**

This certifies that

EDWARD VOGT

has completed

Selling Age-restricted Items Responsibly: May I See Your ID?
by Walgreens

Date: 9/2/2015

Divisional Vice President,
Organization Design &
Effectiveness



CITY OF LAKE GENEVA OPERATOR (BARTENDER) LICENSE

Please Check:

Original Application

Renew Current License

\$50.00 License Fee

Annual License Expires June 30th each year

Please fill in all blanks completely,
as incomplete applications will be rejected.

APPLICANT INFORMATION

Name: Grimme Nicholas J
Last First Middle

Maiden Name: _____ Date of Birth: _____

Address (Physical): _____

Mailing Address (if different): _____

City, State, Zip: _____

Phone: _____

Email: _____

Drivers License #: 6 _____

BUSINESS WHERE LICENSEE WILL BE EMPLOYED

Business Name: Next Door Pub

Address: 411 Interchange N, Lake Geneva, WI 53147

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Is this an Original License or a Renewal License for the City of Lake Geneva?

ORIGINAL

RENEWAL

If this is an Original License, you must attach your certificate of completion of the Responsible Beverage Servers Course.

2. Have you ever had an Operator (Bartender) License?

YES

NO

If Yes, please state where: Town of Lyons

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES NO

If Yes, please provide charge, date and disposition: _____

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

Michael J. [Signature] DATE: 4-10-18

For Office Use Only

Date Filed: April 11, 2018 Verified: Stark MSI

Receipt No: C180411-11

Total Amount: \$50 -

Forwarded to Police Chief: April 11, 2018

Background Completed: _____

Recommendation: _____ Approved Denied

FLR Approval: _____ License Issued On: _____

Council Approval: _____ License Number: _____

MAIL TO: Individual
Establishment

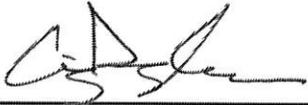
WISCONSIN SELLER / SERVER CERTIFICATION

Trainee Name: Nicholas Grimme

School Name: 360training.com, Inc.

Date of Completion: 05/26/2015

Certification #: WI-22643

I,  _____

**Certify that the above named person
successfully completed an approved
Learn2Serve Seller/Server course.**

COMPLIES WITH WISCONSIN STATUTES 125.04, 125.17,134.66


learn²
serve

Corporate Headquarters

6801 N Capital of Texas Hwy, Suite 150
Austin, TX 78731
P: 877.881.2235

3. Have you ever been convicted of a violation of any law or ordinance pertaining to the sale of beer or intoxicating liquors in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

4. Have you ever been convicted of a felony in Wisconsin or in any other state?

YES

NO

If Yes, please provide charge, date and disposition: _____

I hereby agree to display and/or surrender my operator's license to any police officer or any official of the City of Lake Geneva or the State of Wisconsin for verification while I am working and further agree to abide by the State Statutes and local ordinances governing the sale of beer and intoxicating liquors. I hereby acknowledge being given and having read a copy of Wis. Stat. 125.32 (2) and (3). Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge and belief.

APPLICANT SIGNATURE

Cynthia A. Mistake

DATE: 03/30/18

For Office Use Only

Date Filed: April 9, 2018
Receipt No: C180409-116
Total Amount: \$50-cash

Verified: Stark MSI

Forwarded to Police Chief: _____

Background Completed: _____

Recommendation: _____ Approved Denied

FLR Approval: _____

License Issued On: _____

Council Approval: _____

License Number: _____

MAIL TO: Individual
Establishment



April 2nd, 2018

Mr. Blaine Oborn
City Administrator
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

Dear Mr. Oborn,

This letter is our formal request of the Lake Geneva City Council to have the Lake Geneva Restaurant Week and Taste of Lake Geneva banner fees waived again for this kick-off to summer event that promotes 9 days of delicious dining.

The event will be held June 2 – 10, 2018 and we would like to display the banners in advance of the event to help generate awareness and excitement with visitors and residents. We are requesting to display the banners from May 1st thru June 11, 2018 branding Lake Geneva Restaurant Week and Taste of Lake Geneva as a festive opportunity to dine, stay, shop and play.

The continued support of the City of Lake Geneva helps VISIT Lake Geneva and the Streets of Lake Geneva provide the greatest return on our investment of time and dollars back to the community. Thank you for your consideration.

Best Regards,

A handwritten signature in blue ink that reads "Katie Weeks". The signature is fluid and cursive.

Katie Weeks
Event Manager
VISIT Lake Geneva



CITY OF LAKE GENEVA STREET BANNER DISPLAY APPLICATION

PLEASE FILL IN ALL BLANKS COMPLETELY.
A FEE OF \$1.00 PER BANNER PER DAY SHALL BE PAID, IN ADVANCE,
FOR THE HANGING AND REMOVAL OF BANNERS BY CITY
PERSONNEL.

BANNER INFORMATION

Contact Name: Katie Weeks

Contact Phone: 262-248-0023

Organization Name: Visit Lake Geneva and Streets of Lake Geneva

Mailing Address: 527 Center Street

City, State, Zip: Lake Geneva Wi

Phone: 262-248-1000 Fax: _____

Number of Banners to be displayed: 11

Dates for Banners to be displayed: May 1st-June 11th, 2018

Preferred Location (if available): We would like to use all displays and design similar to last year.

Special Notes or Requests: Restaurant week will have 6 poles and Taste of Lake Geneva will have 5 poles alternating each one.

Are the Banners to be displayed new, or have they been previously displayed?

 NEW PREVIOUSLY DISPLAYED

If the Banners to be displayed are new, a sketch must be submitted prior to production. One copy of the Banner should be submitted for approval.

Total Fee: Number of Banners 11 X Number of Days 42 = \$ 462.00
(Total fee is based on \$1.00 per banner for each day it is displayed)



YOU BRING THE COMPANY
We'll Bring the Food!

JUNE 3 - JUNE 10



MORNING

\$8

BREAKFAST

2-COURSE

\$10

LUNCH

3-COURSE

\$25-\$35

DINNER

VisitLakeGeneva.com/RestaurantWeek

**CAST YOUR VOTE
AND HELP A GREAT CAUSE!**



**\$5,000
CHARITY CHECK**

The more you dine, the more you can vote!

JUNE 3 - JUNE 10

Visit LakeGeneva.com/RestaurantWeek



YOU BRING THE COMPANY
We'll Bring the Food!

JUNE 3 - JUNE 10



MORNING

\$8

BREAKFAST

2-COURSE

\$10

LUNCH

3-COURSE

\$25-\$35

DINNER

VisitLakeGeneva.com/RestaurantWeek



2018 BREAKFAST SANDWICH
 CHICKEN CHEESE CURDS STEAK
 ARTICHOKE DIP SALAD FRIES
LAKE EGGS
 CAKE **GENEVA** PULLED
 APPETIZER **GENEVA** PORK
 LUNCH TIRAMISU SALMON
 GAZPACHO SUNDAE DUCK BREAST
COBB SALAD BABY ARUGULA
 ASPARAGUS CHOCOLATE MUSSELS
 BREAD CHEDDAR FLATBREAD SPOON
RESTAURANT
 CROSTINI SHRIMP DINNER
MAC N' CHEESE
 PICKLE CHIPS TATER TOT PECAN CRUSTED
 KNIFE CORN DOG TENDERLOIN
BEEF N' BLEU
 ENTREES BEACH RINGS BUFFALO CHICKEN WRAP
WEEK CEVICHE BROWNIE CHEESECAKE LEMON CREAM PIE TRIFLE LAMB
 SEAFOOD RASPBERRY TART GAMBERETTI DESSERT
BRUCHETTA ALFREDO
 SCHNITZEL BREAD STREET TACOS
HAM & SWISS
 SOUP POTATOES PUDDING PHILLY STEAK
DESSERT MEDALLIONS SQUASH WALNUTS ROSEMARY CARDAMOM
 ZUCCHINI RISOTTO HOUSE SALAD CHEESE
 QUESADILLA FISH SANDWICH APPLE PIE



September 9, 2017
11:00am - 6:00pm
Flat Iron Park



CITY OF LAKE GENEVA EVENT PERMIT APPLICATION



Please fill in all blanks completely, as incomplete applications will be rejected.
Applications must be submitted AT LEAST 10 WEEKS prior to the proposed event date(s).

copy

Section I - What type of Permit(s) will your event require?

- Parade Permit. Required for any parade on public property.
 - Map or description of the requested route to be traveled.
- Public Assembly Permit. Required for any public gathering on public property. No fee required.
- Street Use Permit. Required for any event using a public street. Per Sec. 62-243 of the municipal code, this application must include the following attachments:
 - Certificate of Comprehensive General Liability Insurance with the City, its employees and agents as additional insured with coverage for contractual liability with minimum limits of \$500,000 per occurrence for bodily injury and property damage limits of \$250,000 per occurrence.
 - Petition signed by more than half of the residential dwelling units and/or commercial units residing along that portion of the street designated for the proposed use or whose property is denied access by virtue of the granting of the permit.
- Parking Stall Bag Request. Required for reserving the use of any City parking stall in conjunction of with an event.
- Park Reservation Permit. Required for reserving the use of a park facility or shelter.
 - Brunk Pavilion. Requires rental of Flat Iron Park. Additional rental fees apply.
- Beach Reservation Permit. Required for reserving the use of the beach.

Section II - Applicant Information

1. Applicant Name: Mary Rose Long Date of Application: 4/6/2018
2. Organization Name: American Legion Auxiliary
3. Organization Type: For Profit Non-Profit (501(c)____) Tax ID: _____
4. Mailing Address: P.O. Box 13
5. City, State, Zip: Lake Geneva, Wi. 53147
6. Phone: _____ E-mail: _____
7. Applicant's Drivers License #: _____ State license issued: _____
8. Are you applying as a resident of the City of Lake Geneva? Yes No
If yes, proof of residency must be attached.

Section III - Event Information

1. Title of Event: 4th of July Childrens Public Parade
2. Date(s) of Event: 7/4/2018
3. Location(s) of Event: Start @ Eastview School - Travel to Henry Street
4. Hours: 10 A.M. 10:30 A.M. (approx.)
Start Time End Time

5. Event Chair/Contact Person: Mary Rose Long Phone _____

6. Day of Event Contact Name: Mary Rose Long Phone _____

7. Is the event open to the public? Yes No

8. Will you charge an admission fee? Yes No

9. Estimated Attendance Number: 100

10. Basis for Estimate: Previous years

11. Will you be setting up a tent? Yes No
If yes, list the location, size, Rental Company, and proof of completion of locates.

12. Will there be any animals? Yes No
If yes, what type and how many: _____

13. Detailed description of proposed event with map of exact location of the event and/or route.
Community Youth Parade
map attached

14. Description of plan for handling refuse collection and after-event clean-up:
Will not be any

15. Description of plan for providing event security (if applicable):
not needed

16. Will there be fireworks or pyrotechnics at your event? Yes No
If yes, please attach a fireworks display permit or application.

17. Will your event include the sale of beer and/or wine? Yes No
If yes, please attach a completed Temporary Alcohol License & Temporary Operator License Application.

18. Will you or any other vendors be selling food or merchandise? Yes No
If yes, please attach list of proposed vendors, including business name and type of food/merchandise sold.

Section IV - Street Use

Check if this section does not apply.

1. Description of the portion(s) of road(s) to be used:

Road closures must include rental of barricades.

Line up @ Eastview School - Sage St.

up Dodge to Center

Down Center (north) to Henry St.

Henry St. to American Legion Hall

map included

2. Will any parking stalls be used or blocked during the event? Yes No

Date(s) of use: _____

Total Number of Stalls Request: _____

Stall Number(s) and Location: _____

Additional Information:

3. Description of signage to be used during event:

If requesting City banner poles, please include a Street Banner Display Application.

Anticipated Services

Please indicate below any additional services you are requesting for your event. Estimated Fees or Deposits for these services may be required prior to issuance of permit(s).

Electricity Explain: _____

Water Explain: _____

Traffic Control Explain: for Parade Route

Police Services Explain: _____

Fire/EMS Services Explain: _____

Other Explain: _____

Section V - Fees

Application and Permit Fees		Unit Fee			Applicable Fee
Parade Permit					<u>25</u>
Application Fee		\$25.00			
Street Use Permit					
Application Fee		\$25.00			
Permit Fee - Events lasting 2 days or less		\$40.00			
Permit Fee - Events lasting more than 2 days		\$100.00			
Parking Stall Bag Request					
Administrative Fee		\$10.00			
Parking Stall Usage/Blockage Fee - Per Stall, Per Day			# of Stalls	# of Days	
March 1 - November 14	\$20.00	x	_____	x _____ =	_____
November 15 - February 29	\$10.00	x	_____	x _____ =	_____
Park Reservation Permit					
Application Fee		\$25.00			
Security Deposit					
Non-Profit or Resident					
49 Attendees or Less	\$50.00				
50-149 Attendees	\$100.00				
150 or more Attendees	<i>Determined by Park Board</i>				
Non-Resident					
49 Attendees or Less	\$100.00				
50-149 Attendees	\$150.00				
150 or more Attendees	<i>Determined by Park Board</i>				
Park Reservation Fees - Per Location, Per Day					
Non-Profit or Resident			# of Parks	# of Days	
49 Attendees or Less	\$30.00	x	_____	x _____ =	_____
50-149 Attendees	\$55.00	x	_____	x _____ =	_____
150 or more Attendees	\$105.00	x	_____	x _____ =	_____
Non-Resident					
49 Attendees or Less	\$75.00	x	_____	x _____ =	_____
50-149 Attendees	\$125.00	x	_____	x _____ =	_____
150 or more Attendees	\$225.00	x	_____	x _____ =	_____
Brunk Pavilion Rental Permit					
<i>Must also include rental of Flat Iron Park to rent Pavilion</i>				# of Days	
Non-Profit or Resident	\$250.00			x _____ =	_____
Non-Resident	\$500.00			x _____ =	_____
Additional Park Amenities					
Equipment (with delivery)	Rental Fee		# Requested	Sec. Dep.	Applicable Fee
Benches	\$5.00 each		x _____ +	\$50.00 =	_____
Picnic Tables	\$15.00 each		x _____ +	\$50.00 =	_____
Barricades	\$5.00 each		x _____ +	\$50.00 =	_____
Trash Receptacles	\$8.00 each		x _____ +	\$50.00 =	_____
Dumpster Delivery	\$50.00 each		x _____ +	\$0 =	_____
Dumpster Pick-up	\$50.00 plus additional landfill		_____		_____
Fencing - Snow	\$30.00 per 50 feet		_____		_____
<i>Requests for equipment are subject to availability.</i>					Subtotal: \$ _____

Application and Permit Fees	Unit Fee	Applicable Fee
Beach Reservation Permit		
<i>Excludes Normal Beach Hours Memorial Day through Labor Day 9am-5pm</i>		
<i>Opening/Cleaning of Beach Bathrooms will be invoiced at an Hourly Rate</i>		
Application Fee	\$25.00	_____
Security Deposit		_____
Non-Profit or Resident		
49 Attendees or Less	\$50.00	_____
50-149 Attendees	\$100.00	_____
150 or more Attendees	<i>Determined by Piers, Harbors & Lakefront</i>	_____
Non-Resident		
49 Attendees or Less	\$100.00	_____
50-149 Attendees	\$150.00	_____
150 or more Attendees	<i>Determined by Piers, Harbors & Lakefront</i>	_____
Beach Reservation Fees - Per Day		
Non-Profit or Resident		
49 Attendees or Less	\$30.00	x _____ = _____
50-149 Attendees	\$55.00	x _____ = _____
150 or more Attendees	\$105.00	x _____ = _____
Non-Resident		
49 Attendees or Less	\$75.00	x _____ = _____
50-149 Attendees	\$125.00	x _____ = _____
150 or more Attendees	\$225.00	x _____ = _____
		Subtotal: \$ _____
		+ Subtotal from Page 4: \$ _____

Total PAID with Application: \$ _____

Accepted by cash, credit card or checks (payable to the City of Lake Geneva)

Section VI - Signature of Applicant

"The information provided in this application is true and correct to the best of my knowledge and belief. I understand that cancellation of any event, for any reason, shall result in the forfeiture of permit fees. I understand that application fees are not refunded in the event the application is not approved. I understand that in addition to the schedule of fees, if any additional City services are requested or determined to be impacted, an additional fee will be charged for those services. I agree to comply with all applicable state, federal and municipal regulations and ordinances."

APPLICANT SIGNATURE:

May Rose Long

DATE: 4/6/2018

Date Filed with Clerk: 4-6-18 Payment with Application: \$ 0 Receipt: _____

Additional Fees Collected: \$ _____ Receipt # _____

Departmental review (all that apply):

Police Chief: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Fire Chief: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Street Dept.: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Parking Dept.: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Piers, Harbors & Lakefront: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Committee/Council review (all that apply):

Park Board: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Finance, License & Regulation: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Council: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Clerk's Office Completion:

Total Add'l fee/deposit to be collected: \$ _____ Receipt # _____

Permit(s) issued: Parade/PA Street Use Park Permit

Date of issue: _____ Deposit Returned: \$ _____ Deposit withheld: \$ _____

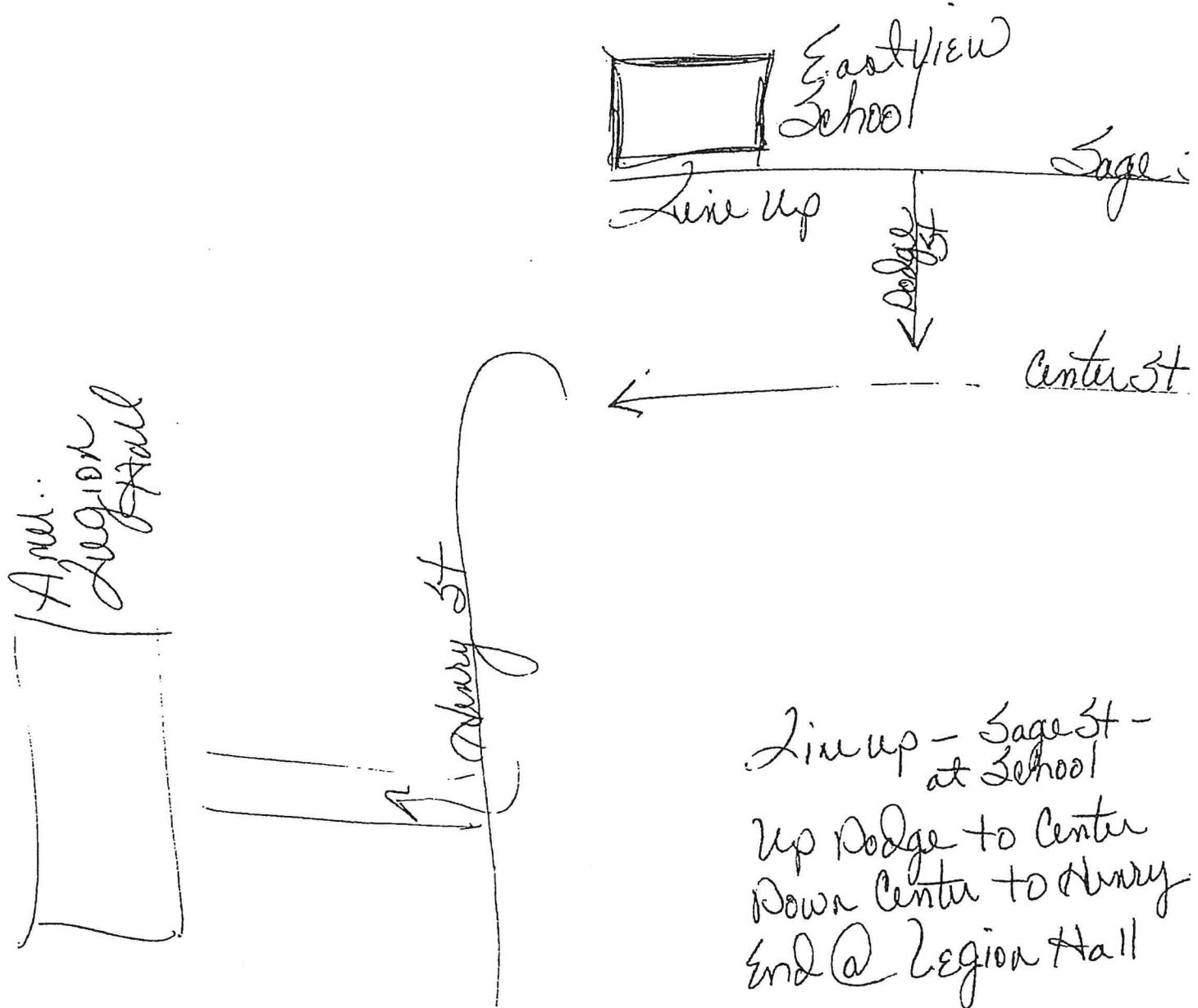
Reason withheld: _____



FRANK KRESEN AMERICAN LEGION
AUXILIARY UNIT #24
PO BOX 897
LAKE GENEVA, WI 53147

Parade route

July 4th, 2018



Application for Temporary Class "B" / "Class B" Retailer's License

See Additional Information on reverse side. Contact the municipal clerk if you have questions.

FEE \$ 10.00

Application Date: _____

Town Village City of Lake Geneva

County of Walworth

The named organization applies for: (check appropriate box(es).)

A Temporary Class "B" license to sell fermented malt beverages at picnics or similar gatherings under s. 125.26(6), Wis. Stats.

A Temporary "Class B" license to sell wine at picnics or similar gatherings under s. 125.51(10), Wis. Stats.

at the premises described below during a special event beginning 5/5/18 and ending 5/5/18 and agrees to comply with all laws, resolutions, ordinances and regulations (state, federal or local) affecting the sale of fermented malt beverages and/or wine if the license is granted.

1. Organization (check appropriate box) → Bona fide Club Church Lodge/Society
 Chamber of Commerce or similar Civic or Trade Organization
 Veteran's Organization Fair Association

(a) Name Geneva Lake Arts Foundation

(b) Address 223 Broad St Lake Geneva
(Street) Town Village City

(c) Date organized 1947

(d) If corporation, give date of incorporation 1990

(e) If the named organization is not required to hold a Wisconsin seller's permit pursuant to s. 77.54 (7m), Wis. Stats., check this box:

(f) Names and addresses of all officers:

President Nichole Marsicano (Nicholetta)

Vice President Gary Wigan

Secretary Star Morini

Treasurer Eileen Stou

(g) Name and address of manager or person in charge of affair: S. M. McArthur (1)

2. Location of Premises Where Beer and/or Wine Will Be Sold, Served, Consumed, or Stored, and Areas Where Alcohol Beverage Records Will be Stored:

(a) Street number 223 Broad St

(b) Lot _____ Block _____

(c) Do premises occupy all or part of building? part

(d) If part of building, describe fully all premises covered under this application, which floor or floors, or room or rooms, license is to cover: _____

3. Name of Event

(a) List name of the event Lake Geneva Arts Festival

(b) Dates of event May 5, 2018

DECLARATION

The Officer(s) of the organization, individually and together, declare under penalties of law that the information provided in this application is true and correct to the best of their knowledge and belief.

Officer Nichole Marsicano
(Signature/date)

Officer John P. Schen
(Signature/date)

Date Filed with Clerk 4/10/2018

Date Granted by Council _____

Geneva Lake Arts Foundation
(Name of Organization)

Officer Pamela Lynn
(Signature/date)

Officer [Signature]
(Signature/date)

Date Reported to Council or Board _____

License No. _____

**SUPPLEMENTAL APPLICATION FORM
TEMPORARY CLASS "B" / "CLASS B" RETAILER'S LICENSE
CITY OF LAKE GENEVA**

This form needs to be submitted as an attachment to the Application for Temporary Class "B" / "Class B" Retailer's License Form (Form AT-315) and returned to the City Clerk.

Applicant Organization: Geneva Lake Arts Foundation

Name of Event: Lake Geneva Arts Festival

Date of Event: May 5 2018

Time of Event: 7:00 pm (Beginning) 9:00 pm (Ending)

Event Contact Person: Sarah McConnell

Contact Phone: _____

Contact Email: SarahTmcc@gmail.com

Will a Licensed Operator be serving or supervising the service of alcohol?
*This includes Temporary Operator's who have completed the Responsible Beverage Servers class.

Yes

No

**PLEASE FILL ALL BLANKS COMPLETELY.
THIS INFORMATION IS NEEDED TO COMPLETELY PROCESS YOUR
TEMPORARY RETAILER'S LICENSE APPLICATION.**

For Office Use Only

Date Filed: <u>4/10/18</u>	Receipt No: <u>C180410-5</u>
Total Amount: <u>\$10.00</u>	
Forwarded to Police Chief: <u>4/10/18</u>	
Recommendation: _____	Approved Denied
Verification that not more than 2 temporary wine licenses have been issued to this applicant within the last 12 months: _____	
FLR Approval: _____	License Issued: _____
Council Approval: _____	License Number: _____
MAILTO: _____	License Expires: _____
Organization	



This certificate is awarded to

Sarah McConnell

on 08/29/2016

for successful completion of the

Wisconsin Responsible Beverage Server Training Program

ServerLicense.com is approved by the Wisconsin Department of Revenue and fully complies with statutes 125.04 and 125.17.

Present this certificate to your local Municipal Clerk's office to receive your Operator's or Retail Server license.

Certificate Number: SL76338

CITY OF LAKE GENEVA EVENT PERMIT APPLICATION



Please fill in all blanks completely, as incomplete applications will be rejected.
Applications must be submitted AT LEAST 10 WEEKS prior to the proposed event date(s).

Section I - What type of Permit(s) will your event require?

- Parade Permit. Required for any parade on public property.
 - Map or description of the requested route to be traveled.
- Public Assembly Permit. Required for any public gathering on public property. No fee required.
- Street Use Permit. Required for any event using a public street. Per Sec. 62-243 of the municipal code, this application must include the following attachments:
 - Certificate of Comprehensive General Liability Insurance with the City, its employees and agents as additional insured with coverage for contractual liability with minimum limits of \$500,000 per occurrence for bodily injury and property damage limits of \$250,000 per occurrence.
 - Petition signed by more than half of the residential dwelling units and/or commercial units residing along that portion of the street designated for the proposed use or whose property is denied access by virtue of the granting of the permit.
- Parking Stall Bag Request. Required for reserving the use of any City parking stall in conjunction of with an event.
- Park Reservation Permit. Required for reserving the use of a park facility or shelter.
 - Brunk Pavilion. Requires rental of Flat Iron Park. Additional rental fees apply.
- Beach Reservation Permit. Required for reserving the use of the beach.

Section II - Applicant Information

1. Applicant Name: Cindy Forster Fucredi Date of Application: 4/6/18
2. Organization Name: Maple Park Homeowners
3. Organization Type: For Profit Non-Profit (501(c)) Tax ID: _____
4. Mailing Address: _____
5. City, State, Zip: Lake Geneva WI 53147
6. Phone: _____ E-mail: _____
7. Applicant's Drivers License #: _____ State license issued: _____
8. Are you applying as a resident of the City of Lake Geneva? Yes No
If yes, proof of residency must be attached.

Section III - Event Information

1. Title of Event: Block Party
2. Date(s) of Event: 6/30/18
3. Location(s) of Event: 1005 - 1010 Geneva St
4. Hours: 4-9 pm
Start Time End Time

5. Event Chair/Contact Person: Cindy Forster & Uered Phone: _____

6. Day of Event Contact Name: Emily Hummel Phone: _____

7. Is the event open to the public? Yes No

8. Will you charge an admission fee? Yes No

9. Estimated Attendance Number: 75

10. Basis for Estimate: last years event

11. Will you be setting up a tent? Yes No
If yes, list the location, size, Rental Company, and proof of completion of locates.

12. Will there be any animals? Yes No
If yes, what type and how many:

13. Detailed description of proposed event with map of exact location of the event and/or route.

Block Party for Maple Park
Residents on Geneva St 1 block
1005 Geneva St →

14. Description of plan for handling refuse collection and after-event clean-up:
will use personal garbage cans

15. Description of plan for providing event security (if applicable):

16. Will there be fireworks or pyrotechnics at your event? Yes No
If yes, please attach a fireworks display permit or application.

17. Will your event include the sale of beer and/or wine? Yes No
If yes, please attach a completed Temporary Alcohol License & Temporary Operator License Application.

18. Will you or any other vendors be selling food or merchandise? Yes No
If yes, please attach list of proposed vendors, including business name and type of food/merchandise sold.

Section IV - Street Use

Check if this section does not apply.

1. Description of the portion(s) of road(s) to be used:

Road closures must include rental of barricades.

1005 → Geneva St 1 block

2. Will any parking stalls be used or blocked during the event?

Yes

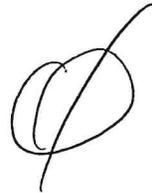
No

Date(s) of use: _____

Total Number of Stalls Request: _____

Stall Number(s) and Location: _____

Additional Information:



3. Description of signage to be used during event:

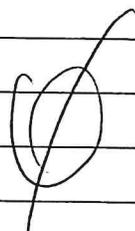
If requesting City banner poles, please include a Street Banner Display Application.



Anticipated Services

Please indicate below any additional services you are requesting for your event. Estimated Fees or Deposits for these services may be required prior to issuance of permit(s).

- Electricity Explain: _____
- Water Explain: _____
- Traffic Control Explain: _____
- Police Services Explain: _____
- Fire/EMS Services Explain: _____
- Other Explain: _____



Section V- Fees

Application and Permit Fees		Unit Fee			Applicable Fee
Parade Permit					
Application Fee		\$25.00			_____
Street Use Permit					
Application Fee		\$25.00			_____
Permit Fee - Events lasting 2 days or less		\$40.00			_____
Permit Fee - Events lasting more than 2 days		\$100.00			_____
Parking Stall Bag Request					
Administrative Fee		\$10.00			_____
Parking Stall Usage/Blockage Fee - Per Stall, Per Day			# of Stalls	# of Days	
March 1 - November 14	\$20.00	x	_____	x	_____ = _____
November 15 - February 29	\$10.00	x	_____	x	_____ = _____
Park Reservation Permit					
Application Fee		\$25.00			_____
Security Deposit					
Non-Profit or Resident					
49 Attendees or Less		\$50.00			_____
50-149 Attendees		\$100.00			_____
150 or more Attendees		<i>Determined by Park Board</i>			_____
Non-Resident					
49 Attendees or Less		\$100.00			_____
50-149 Attendees		\$150.00			_____
150 or more Attendees		<i>Determined by Park Board</i>			_____
Park Reservation Fees - Per Location, Per Day					
			# of Parks	# of Days	
Non-Profit or Resident					
49 Attendees or Less	\$30.00	x	_____	x	_____ = _____
50-149 Attendees	\$55.00	x	_____	x	_____ = _____
150 or more Attendees	\$105.00	x	_____	x	_____ = _____
Non-Resident					
49 Attendees or Less	\$75.00	x	_____	x	_____ = _____
50-149 Attendees	\$125.00	x	_____	x	_____ = _____
150 or more Attendees	\$225.00	x	_____	x	_____ = _____
Brunk Pavilion Rental Permit					
<i>Must also include rental of Flat Iron Park to rent Pavilion</i>					
Non-Profit or Resident	\$250.00			# of Days	x _____ = _____
Non-Resident	\$500.00			# of Days	x _____ = _____
Additional Park Amenities					
Equipment (with delivery)	Rental Fee		# Requested	Sec. Dep.	Applicable Fee
Benches	\$5.00 each		x _____	+ \$50.00	= _____
Picnic Tables	\$15.00 each		x _____	+ \$50.00	= _____
Barricades	\$5.00 each		x <u>4</u>	+ \$50.00	= <u>70</u>
Trash Receptacles	\$8.00 each		x _____	+ \$50.00	= _____
Dumpster Delivery	\$50.00 each		x _____	+ \$0	= _____
Dumpster Pick-up	\$50.00 plus additional landfill		_____		_____
Fencing - Snow	\$30.00 per 50 feet		_____		_____
<i>Requests for equipment are subject to availability.</i>					Subtotal: \$ <u>135</u>

Application and Permit Fees	Unit Fee	Applicable Fee
Beach Reservation Permit		
<i>Excludes Normal Beach Hours Memorial Day through Labor Day 9am-5pm</i>		
<i>Opening/Cleaning of Beach Bathrooms will be invoiced at an Hourly Rate</i>		
Application Fee	\$25.00	_____
Security Deposit		_____
Non-Profit or Resident		
49 Attendees or Less	\$50.00	_____
50-149 Attendees	\$100.00	_____
150 or more Attendees	<i>Determined by Piers, Harbors & Lakefront</i>	_____
Non-Resident		
49 Attendees or Less	\$100.00	_____
50-149 Attendees	\$150.00	_____
150 or more Attendees	<i>Determined by Piers, Harbors & Lakefront</i>	_____
Beach Reservation Fees - Per Day		
Non-Profit or Resident		
49 Attendees or Less	\$30.00	x _____ = _____
50-149 Attendees	\$55.00	x _____ = _____
150 or more Attendees	\$105.00	x _____ = _____
Non-Resident		
49 Attendees or Less	\$75.00	x _____ = _____
50-149 Attendees	\$125.00	x _____ = _____
150 or more Attendees	\$225.00	x _____ = _____
		Subtotal: \$ _____
		+ Subtotal from Page 4: \$ _____

Total PAID with Application: \$ 135

Accepted by cash, credit card or checks (payable to the City of Lake Geneva)

Section VI - Signature of Applicant

"The information provided in this application is true and correct to the best of my knowledge and belief. I understand that cancellation of any event, for any reason, shall result in the forfeiture of permit fees. I understand that application fees are not refunded in the event the application is not approved. I understand that in addition to the schedule of fees, if any additional City services are requested or determined to be impacted, an additional fee will be charged for those services. I agree to comply with all applicable state, federal and municipal regulations and ordinances."

APPLICANT SIGNATURE:

Novster Fuedi DATE: 4/6/18

Date Filed with Clerk: 4/6/18 Payment with Application: \$ 135.00 Receipt: C180406-24

Additional Fees Collected: \$ _____ Receipt # _____

Departmental review (all that apply):

Police Chief: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Fire Chief: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Street Dept.: Approved Denied Signed: [Signature]

Additional services needed: _____

Additional fees or deposit: _____

Parking Dept.: Approved Denied Signed: [Signature]

Additional services needed: * Approved - depend on completion of main st. - no stalls requested

Additional fees or deposit: _____

Piers, Harbors & Lakefront: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Committee/Council review (all that apply):

Park Board: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Finance, License & Regulation: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Council: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Clerk's Office Completion:

Total Add'l fee/deposit to be collected: \$ _____ Receipt # _____

Permit(s) issued: Parade/PA Street Use Park Permit

Date of issue: _____ Deposit Returned: \$ _____ Deposit withheld: \$ _____

Reason withheld: _____

CITY OF LAKE GENEVA EVENT PERMIT APPLICATION



Please fill in all blanks completely, as incomplete applications will be rejected.
Applications must be submitted AT LEAST 10 WEEKS prior to the proposed event date(s).

Section I - What type of Permit(s) will your event require?

- Parade Permit. Required for any parade on public property.
 - Map or description of the requested route to be traveled.
- Public Assembly Permit. Required for any public gathering on public property. No fee required.
- Street Use Permit. Required for any event using a public street. Per Sec. 62-243 of the municipal code, this application must include the following attachments:
 - Certificate of Comprehensive General Liability Insurance with the City, its employees and agents as additional insured with coverage for contractual liability with minimum limits of \$500,000 per occurrence for bodily injury and property damage limits of \$250,000 per occurrence.
 - Petition signed by more than half of the residential dwelling units and/or commercial units residing along that portion of the street designated for the proposed use or whose property is denied access by virtue of the granting of the permit.
- Parking Stall Bag Request. Required for reserving the use of any City parking stall in conjunction of with an event.
- Park Reservation Permit. Required for reserving the use of a park facility or shelter.
 - Brunk Pavilion. Requires rental of Flat Iron Park. Additional rental fees apply.
- Beach Reservation Permit. Required for reserving the use of the beach.

Section II - Applicant Information

1. Applicant Name: Sean P Payne Date of Application: 3/28/18
2. Organization Name: Horticultural Hall
3. Organization Type: For Profit Non-Profit (501(c)) Tax ID:
4. Mailing Address: P.O. Box 71 330 Broad St.
5. City, State, Zip: Lake Geneva WI 53147
6. Phone: E-mail:
7. Applicant's Drivers License # State license issued
8. Are you applying as a resident of the City of Lake Geneva? Yes No
If yes, proof of residency must be attached.

Section III - Event Information

1. Title of Event: Lake Geneva's Farmers Market at Horticultural Hall
2. Date(s) of Event: Every Thursday May 3rd through Oct. 25th
3. Location(s) of Event: 330 Broad St. Lake Geneva 2018
4. Hours: 8 AM 1 PM
Start Time End Time

5. Event Chair/Contact Person: Sean Payne Phone:

6. Day of Event Contact Name: Sean Payne Phone:

7. Is the event open to the public? Yes No

8. Will you charge an admission fee? Yes No

9. Estimated Attendance Number: 250 a day

10. Basis for Estimate: last few years' history

11. Will you be setting up a tent? Yes No

If yes, list the location, size, Rental Company, and proof of completion of locates.

12. Will there be any animals? Yes No

If yes, what type and how many: _____

13. Detailed description of proposed event with map of exact location of the event and/or route.

Selling items by vendors, 330 Broad St.

14. Description of plan for handling refuse collection and after-event clean-up:

We clean up our own garbage

15. Description of plan for providing event security (if applicable):

16. Will there be fireworks or pyrotechnics at your event? Yes No

If yes, please attach a fireworks display permit or application.

17. Will your event include the sale of beer and/or wine? Yes No

If yes, please attach a completed Temporary Alcohol License & Temporary Operator License Application.

18. Will you or any other vendors be selling food or merchandise? Yes No

If yes, please attach list of proposed vendors, including business name and type of food/merchandise sold.

Section IV - Street Use

Check if this section does not apply.

1. Description of the portion(s) of road(s) to be used:

Road closures must include rental of barricades.

2. Will any parking stalls be used or blocked during the event? Yes No

Date(s) of use: Thursdays May 3rd - Oct. 25th 2018

Total Number of Stalls Request: 19

Stall Number(s) and Location: 507 - 519

Additional Information:

We are asking for these fees to be waived. We feel this is a great community event for the City of Lake Geneva.

3. Description of signage to be used during event:

If requesting City banner poles, please include a Street Banner Display Application.

Anticipated Services

Please indicate below any additional services you are requesting for your event. Estimated Fees or Deposits for these services may be required prior to issuance of permit(s).

- Electricity Explain: _____
- Water Explain: _____
- Traffic Control Explain: _____
- Police Services Explain: _____
- Fire/EMS Services Explain: _____
- Other Explain: _____

Section V- Fees

Application and Permit Fees		Unit Fee			Applicable Fee
Parade Permit					<u>25-</u>
Application Fee		\$25.00			
Street Use Permit					
Application Fee		\$25.00			
Permit Fee - Events lasting 2 days or less		\$40.00			
Permit Fee - Events lasting more than 2 days		\$100.00			
Parking Stall Bag Request					<u>10</u>
Administrative Fee		\$10.00			
Parking Stall Usage/Blockage Fee - Per Stall, Per Day			# of Stalls	# of Days	
March 1 - November 14	\$20.00	x	<u>13</u>	x <u>24</u>	= <u>6,240</u>
November 15 - February 29	\$10.00	x	_____	x _____	= _____
Park Reservation Permit					
Application Fee		\$25.00			
Security Deposit					
Non-Profit or Resident					
49 Attendees or Less		\$50.00			
50-149 Attendees		\$100.00			
150 or more Attendees		<i>Determined by Park Board</i>			
Non-Resident					
49 Attendees or Less		\$100.00			
50-149 Attendees		\$150.00			
150 or more Attendees		<i>Determined by Park Board</i>			
Park Reservation Fees - Per Location, Per Day					
Non-Profit or Resident			# of Parks	# of Days	
49 Attendees or Less	\$30.00	x	_____	x _____	= _____
50-149 Attendees	\$55.00	x	_____	x _____	= _____
150 or more Attendees	\$105.00	x	_____	x _____	= _____
Non-Resident					
49 Attendees or Less	\$75.00	x	_____	x _____	= _____
50-149 Attendees	\$125.00	x	_____	x _____	= _____
150 or more Attendees	\$225.00	x	_____	x _____	= _____
Brunk Pavilion Rental Permit					
<i>Must also include rental of Flat Iron Park to rent Pavilion</i>				# of Days	
Non-Profit or Resident	\$250.00	x	_____	x _____	= _____
Non-Resident	\$500.00	x	_____	x _____	= _____
Additional Park Amenities					
Equipment (with delivery)	Rental Fee		# Requested	Sec. Dep.	Applicable Fee
Benches	\$5.00 each	x _____	+	\$50.00	= _____
Picnic Tables	\$15.00 each	x _____	+	\$50.00	= _____
Barricades	\$5.00 each	x _____	+	\$50.00	= _____
Trash Receptacles	\$8.00 each	x _____	+	\$50.00	= _____
Dumpster Delivery	\$50.00 each	x _____	+	\$0	= _____
Dumpster Pick-up	\$50.00 plus additional landfill	_____			_____
Fencing - Snow	\$30.00 per 50 feet	_____			_____
<i>Requests for equipment are subject to availability.</i>					Subtotal: \$ <u>6,250</u> <u>6,275</u>

Application and Permit Fees	Unit Fee	Applicable Fee
Beach Reservation Permit		
<i>Excludes Normal Beach Hours Memorial Day through Labor Day 9am-5pm</i>		
<i>Opening/Cleaning of Beach Bathrooms will be invoiced at an Hourly Rate</i>		
Application Fee	\$25.00	_____
Security Deposit		
Non-Profit or Resident		
49 Attendees or Less	\$50.00	_____
50-149 Attendees	\$100.00	_____
150 or more Attendees	<i>Determined by Piers, Harbors & Lakefront</i>	_____
Non-Resident		
49 Attendees or Less	\$100.00	_____
50-149 Attendees	\$150.00	_____
150 or more Attendees	<i>Determined by Piers, Harbors & Lakefront</i>	_____
Beach Reservation Fees - Per Day		
Non-Profit or Resident		# of Days
49 Attendees or Less	\$30.00	x _____ = _____
50-149 Attendees	\$55.00	x _____ = _____
150 or more Attendees	\$105.00	x _____ = _____
Non-Resident		
49 Attendees or Less	\$75.00	x _____ = _____
50-149 Attendees	\$125.00	x _____ = _____
150 or more Attendees	\$225.00	x _____ = _____
		Subtotal: \$ <u>6275</u>
		+ Subtotal from Page 4: \$ <u>6250</u>

Total PAID with Application: \$ \$10,000.25

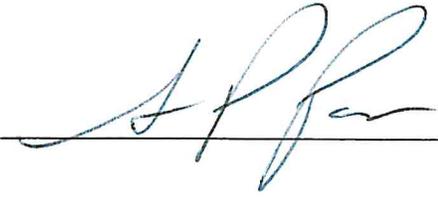
Accepted by cash, credit card or checks (payable to the City of Lake Geneva)

We are asking for \$6,240 to be waived, for the front parking stalls.

Section VI - Signature of Applicant

"The information provided in this application is true and correct to the best of my knowledge and belief. I understand that cancellation of any event, for any reason, shall result in the forfeiture of permit fees. I understand that application fees are not refunded in the event the application is not approved. I understand that in addition to the schedule of fees, if any additional City services are requested or determined to be impacted, an additional fee will be charged for those services. I agree to comply with all applicable state, federal and municipal regulations and ordinances."

APPLICANT SIGNATURE:



DATE: 3/28/18

Date Filed with Clerk: 4/2/18 Payment with Application: \$ 25.00 Receipt: C180402-2

Additional Fees Collected: \$ _____ Receipt # _____

Departmental review (all that apply):

Police Chief: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Fire Chief: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Street Dept.: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Parking Dept.: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Piers, Harbors & Lakefront: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Committee/Council review (all that apply):

Park Board: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Finance, License & Regulation: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Council: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Clerk's Office Completion:

Total Add'l fee/deposit to be collected: \$ _____ Receipt # _____

Permit(s) issued: Parade/PA Street Use Park Permit

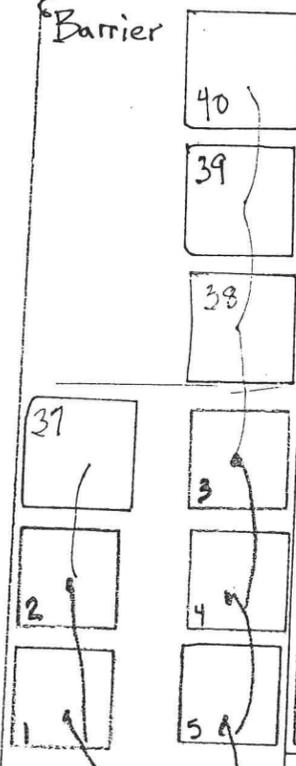
Date of issue: _____ Deposit Returned: \$ _____ Deposit withheld: \$ _____

Reason withheld: _____

SIGN AT
COOK ST,
ALLEY ENTRY
"DEAD END"

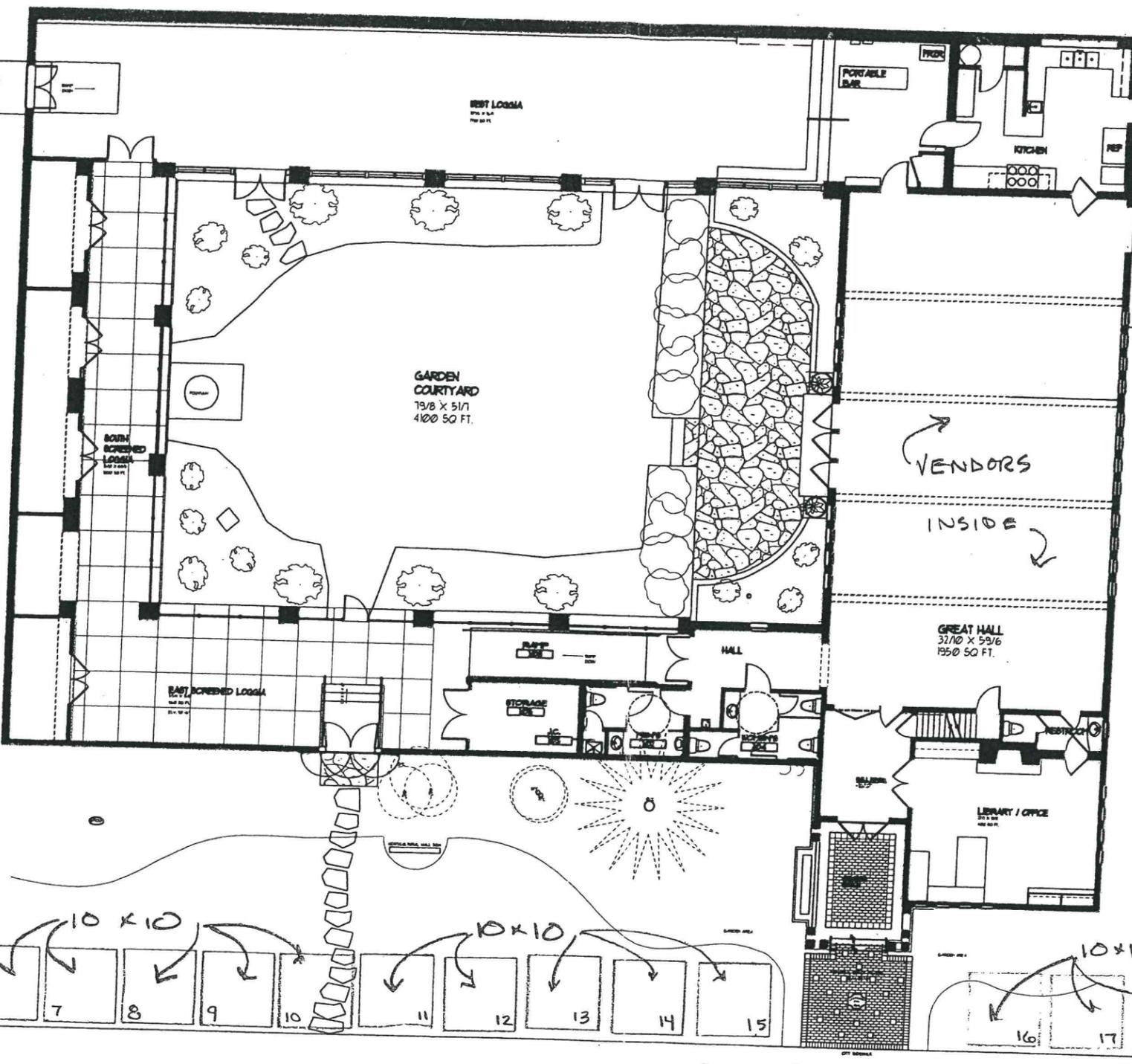
ALLEY

Barrier



(9) 10x10
Spaces

- spots 1-22 10x10
- 23-24 ODD Shape
- 25-36 10x10
- 37-40 10x10



DRIVEWAY

ODD
SHAPE
VENDOR
SPOTS
DUE TO
PLANTINGS

VENDORS

INSIDE

GREAT HALL
32'10" x 55'6"
1950 SQ. FT.

LIBRARY / OFFICE

GARDEN COURTYARD
79'8" x 51'1"
4100 SQ. FT.

WEST LOGGIA

EAST SCREENED LOGGIA

SIDEWALK

PARKING

USCONEN STREET

ALL
10x
10
Vendors

10x10 Vendors

BROAD STREET

STREET
PARKING

HORTICULTURAL HALL
FLOOR PLAN

CROSSWALK
SIGN w/ FLAGS
"PEDESTRIAN
CROSSING"

EGERT LAW, S.C.

835 Geneva Parkway North, Suite 1
Lake Geneva, WI 53147

Nicholas A. Egert, Attorney

Debra K. Arnold, Paralegal
Jean C. Rossmiller, Legal Assistant

Telephone: 262-248-6600
Facsimile: 262-248-6262
info@egertlawfirm.com

March 6, 2018

Wisconsin Department of Administration
Municipal Boundary Review
101 East Wilson Street, 9th Floor
Madison, WI 53703

Re: Mark Larkin - Annexation

Dear Sir or Madam:

Enclosed please find an original Request for Annexation Review for property in the Town of Geneva owned by our client, Mark Larkin, along with a check in the amount of \$200 representing your filing fee.

By copy of this letter, we are providing a copy of this Request to Debra Kirch, the Clerk for the Town of Geneva, where the property is currently located, and Lana Kropf, the Clerk for the City of Lake Geneva, the annexing city.

If you have any questions or need anything further, please call.

Sincerely,



Nicholas A. Egert

NAE/jcr
Enclosures

cc: Ms. Debra L. Kirch (with copy of Request)
Ms. Lana Kropf (with copy of Request)
Mr. Mark Larkin (with copy of Request)
Mr. Fred Walling, Lake Geneva Zoning (with copy of Request)

Request for Annexation Review

Wisconsin Department of Administration

WI Dept. of Administration
Municipal Boundary Review
101 E. Wilson Street, 9th Floor
Madison WI 53703
608-264-6102 Fax: 608-264-6104
wimunicipalboundaryreview@wi.gov
<http://doa.wi.gov/municipalboundaryreview/>

Petitioner Information

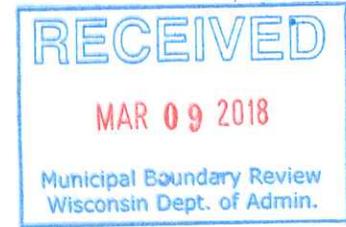
Name: **MARK LARKIN**

Address: **500 SOUTH STONE RIDGE DRIVE**

LAKE GENEVA, WI 53147

Email: **MLARKIN@KEEFEREALESTATE.COM**

Office use only:



1. Town where property is located: **GENEVA**
2. Petitioned City or Village: **LAKE GENEVA**
3. County where property is located: **WALWORTH**
4. Population of the territory to be annexed: **0**
5. Area (in acres) of the territory to be annexed: **1.95**
6. Tax parcel number(s) of territory to be annexed (if the territory is part or all of an existing parcel): **J G 2500014A**

Petitioners phone:

262-853-5576

Town clerk's phone:

262-248-8497

City/Village clerk's phone:

262-248-3673

Contact Information if different than petitioner:

Representative's Name and Address:
ATTORNEY NICHOLAS A. EGERT

EGERT LAW, S.C.

835 GENEVA PARKWAY NORTH, SUITE 1

LAKE GENEVA, WI 53147

Phone: **262-248-6600**

E-mail: **NICK@EGERTLAWFIRM.COM**

Surveyor or Engineering Firm's Name & Address:
FARRIS, HANSEN & ASSOCIATES, INC.

7 RIDGWAY COURT

P.O. BOX 437

ELKHORN, WI 53121

Phone: **262-723-2098**

E-mail: **OFFICE@FARRISHANSEN.COM**

Required Items to be provided with submission (to be completed by petitioner):

1. Legal Description meeting the requirements of s.66.0217 (1) (c) [see attached annexation guide]
2. Map meeting the requirements of s. 66.0217 (1) (g) [see attached annexation guide]
3. Signed Petition or Notice of Intent to Circulate is included
4. Indicate Statutory annexation method used:
 - Unanimous per s. 66.0217 (2), or,
 - OR
 - Direct by one-half approval per s. 66.0217 (3)
5. Check or money order covering review fee [see next page for fee calculation]

Annexation Review Fee Schedule

A Guide for Calculating the Fee Required by ss. 16.53 (4) and 66.0217, Wis. Stats.

Required Fees

There is an initial filing fee and a variable review fee

\$200 Initial Filing Fee (required with the first submittal of all petitions)

\$200 – 2 acres or less

\$350 – 2.01 acres or more

\$_____ Review Fee (required with all annexation submittals except those that consist ONLY of road right-of-way)

\$200 – 2 acres or less

\$600 – 2.01 to 10 acres

\$800 – 10.01 to 50 acres

\$1,000 – 50.01 to 100 acres

\$1,400 – 100.01 to 200 acres

\$2,000 – 200.01 to 500 acres

\$4,000 – Over 500 acres

\$200 TOTAL FEE DUE (Add the Filing Fee to the Review Fee)

Attach check or money order here, payable to: **Department of Administration**

**THE DEPARTMENT WILL NOT PROCESS
AN ANNEXATION PETITION THAT IS NOT ACCOMPANIED
BY THE REQUIRED FEE.**

**THE DEPARTMENT'S 20-DAY STATUTORY REVIEW PERIOD
COMMENCES UPON RECEIPT OF THE PETITION AND REVIEW FEE**

Shaded Area for Office Use Only

Date fee received: _____

Payee: _____ Check Number: _____

Check Date: _____

Amount: _____

PETITION FOR ANNEXATION

The "Petitioner", Mark Larkin, does hereby petition the City of Lake Geneva, Wisconsin, to annex certain real estate, more fully described in Exhibit A, which is attached hereto and incorporated herein by this reference, hereinafter the "Property", to the City of Lake Geneva, which is to be detached from the Town of Geneva, County of Walworth, Wisconsin.

The Property, which is the subject of this Petition, is contiguous to the current boundaries of the City of Lake Geneva and is currently vacant land and has no population. A true and correct map of the Property is attached hereto and incorporated herein by reference as Exhibit B.

Upon acceptance and approval of this Petition for direct annexation by unanimous consent of electors and property owners, subject to review by the State of Wisconsin, the property will be zoned TR6 (One-Two Family Residential) as to the Northern portion of the Property and PB (Planned Business) as to the Southern portion of the Property, as depicted on the scaled Annexation Map attached hereto as Exhibit C. The Petitioner notes that said requested zoning is in full conformance with the City of Lake Geneva's Comprehensive Plan.

In further support of the Petitioner's requests, a proposed annexation ordinance is attached hereto as Exhibit D.

Petitioner agrees to be responsible for five (5) years of property taxes that would otherwise be due by the City of Lake Geneva to the Town of Geneva. Petitioner has already further agreed to pay for services as set forth in Exhibit E.

This instrument constitutes a Petition for direct annexation pursuant to Section 66.0217(2), Wis. Stats. There are zero electors residing within the boundaries of the Property, and the Petitioner is the sole owner and fee title holder to the Property. Therefore, pursuant to Section 66.0217(4), Wis. Stats., no notice or publication is required.

A copy of this Petition is being mailed to the State of Wisconsin, Department of Administration, for review as required by Section 66.0217(6), Wis. Stats., along with the requisite Department of Administration annexation review fee.

Dated this 6th day of March, 2018.



Mark Larkin
500 South Stone Ridge Drive
Lake Geneva, WI 53147
Telephone No. 262-853-5576
E-mail: mlarkin@keeferealestate.com

Legal Description

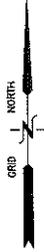
A parcel of land located in the Northeast 1/4 of Section 25, Township 2 North, Range 17 East, Town of Geneva, Walworth County, Wisconsin, described as follows: Commencing at the Northeast corner of Section 25; thence West 1596.00 feet; thence South 1 degree 30' West, 1165.48 feet to the place of beginning; thence North 89 degrees 51' West, 100 feet; thence South 848.17 feet; thence East 100 feet; thence North 850.52 feet to the point of beginning.

Tax Parcel No. JG 2500014A

EXHIBIT A

ANNEXATION MAP

LOCATED IN THE NE 1/4 OF SECTION 25,
TOWN 2 NORTH, RANGE 17 EAST IN THE
TOWN OF GENEVA, WALWORTH COUNTY, WI



ZSR 00174
FAIRWYN DEVELOPMENT CORP
875 TOWNLINE RD
SUITE 103
LAKE GENEVA, WI 53147

(WEST)
(1596.00') NE CORNER
25-2-17

**LEGAL DESCRIPTION
ANNEXATION PARCEL**

A PARCEL OF LAND LOCATED
IN THE NORTHEAST 1/4 OF
SECTION 25, TOWNSHIP 2
NORTH, RANGE 17 EAST,
TOWN OF GENEVA, WALWORTH
COUNTY, WISCONSIN,
DESCRIBED AS FOLLOWS:
COMMENCING AT THE
NORTHEAST CORNER OF
SECTION 25, THENCE WEST
1596.00 FEET; THENCE SOUTH
1 DEG 30MIN WEST, 1165.48
FEET TO THE PLACE OF
BEGINNING, THENCE NORTH
89DEG 51MIN WEST, 100
FEET; THENCE SOUTH 848.17
FEET; THENCE EAST 100 FEET;
THENCE NORTH 850.52 FEET
TO THE POINT OF BEGINNING.

CONTAINING 84,890 SQUARE
FEET OF LAND (1.95) ACRES
OF LAND MORE OR LESS.

SOUTH STONE RIDGE DRIVE

CITY OF
LAKE
GENEVA

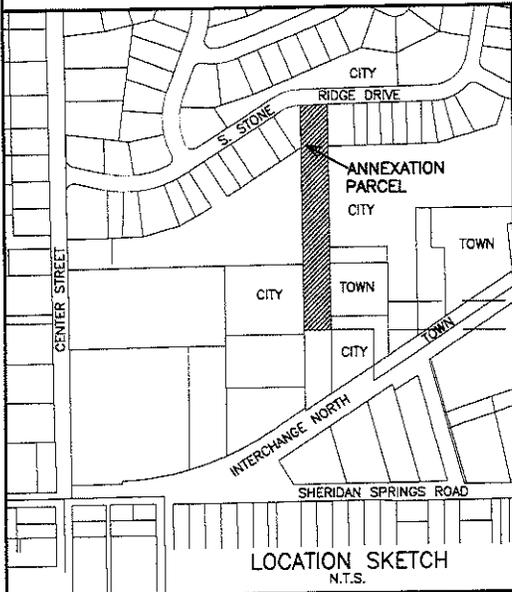
S 88°20'44" W
(N 89° 51' W)

J G
2500014A
MARK
LARKIN
500 S
STONE
RIDGE DR
LAKE
GENEVA,
WI 53147

ZSR 00064
GREGORY STAN
SHELLEY STAN
440 S STONE
RIDGE DR
LAKE GENEVA, WI
53147

ZSR 00173
FAIRWYN DEVELOPMENT CORP
875 TOWNLINE RD
SUITE 103
LAKE GENEVA, WI 53147

ZSR 00172
FAIRWYN DEVELOPMENT CORP
875 TOWNLINE RD
SUITE 103
LAKE GENEVA, WI 53147



ZYUP 00150A
PAUL COSTOFF
AUGUST COSTOFF, ETAL
4120 WHITE ASH RD
CRYSTAL LAKE, IL 60014

ZYUP 00137N
AUTO-WARES
WISCONSIN DBA
BUMPER TO BUMPER
440 KIRTLAND SW
GRAND RAPIDS, MI
49507

ZYUP 00137M
BITNER PROPERTIES LLC
259 SKYLANE
LAKE GENEVA, WI 53147

J G 2500003
WILLIAM D BURKE TRUST
8615 OGDEN AVE
LYONS, IL 60534



NOTE:
SURVEY INFORMATION TAKEN FROM 04-16-2013
SURVEY PREPARED BY KROIT SURVEYING INC.

X:\PROJECTS\9743\ACAD\9743_ANNEX.dwg



TOWN OF GENEVA, WALWORTH COUNTY, WI

FARRIS, HANSEN & ASSOCIATES, INC.

ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-8886

- WORK ORDERED BY -
MARK LARKIN
500 S. STONE RIDGE DRIVE
LAKE GENEVA, WI 53147

REVISIONS

PROJECT NO.
9743

DATE:
05-01-2017

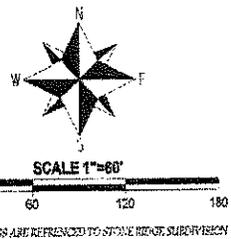
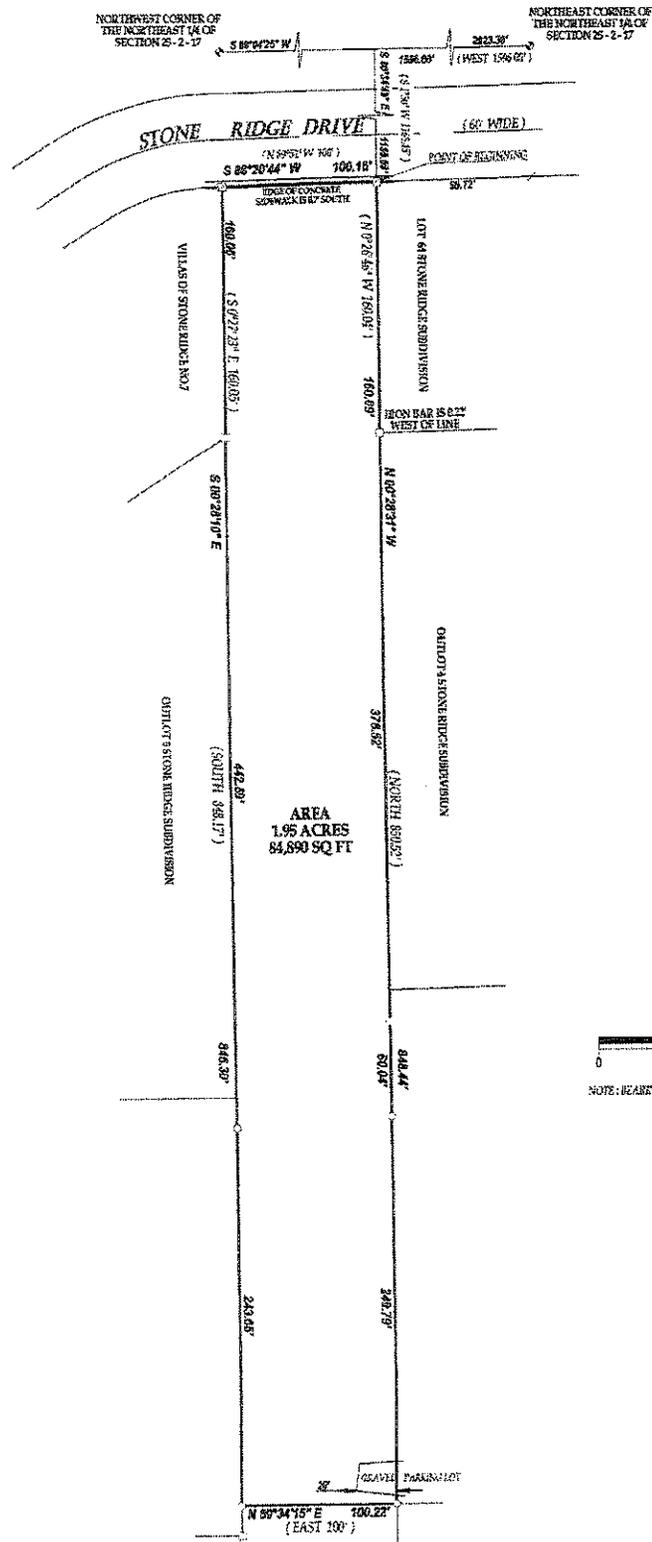
SHEET NO.
1 OF 1

PREPARED FOR
MARK LARKIN
500 S. STONE RIDGE DR.
LAKE GENEVA WI. 53147

PLAT OF SURVEY

KROTT SURVEYING INC.
N3703 WILLOW BEND LANE
LAKE GENEVA WI. 53147
PHONE # (262)248-3097
FAX # (262)249-0639

A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 2 NORTH, RANGE 17 EAST, TOWN OF GENEVA, WAUPORATH COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 25, THENCE WEST 156.60 FEET; THENCE SOUTH 158.40 FEET; THENCE WEST 165.40 FEET TO THE PLACE OF BEGINNING; THENCE NORTH 89°51' WEST, 100 FEET; THENCE SOUTH 848.17 FEET; THENCE EAST 100 FEET; THENCE NORTH 830.52 FEET TO THE POINT OF BEGINNING.



- LEGEND**
- FOUND IRON PIPE
 - FOUND IRON BAR
 - ⊕ FOUND CROSS IN SIDEWALK
 - ⊕ CHISELED CROSS IN SIDEWALK
 - ⊕ COUNTY MONUMENT
- 000 RECORDED AS
TAX ID # 1025000144
JOB # 13-059

I have surveyed the above-described property and the above map is a true representation thereof and shows the size and location of the property as shown on the map.

This is the true and correct plat of the above property.

EXHIBIT B

WISCONSIN
JOHN F. KROTT
S-2258
LAKE GENEVA
WI
LAND SURVEYOR

DATED THIS 16th DAY OF APRIL 2013

JOHN KROTT S-2258
Wisconsin Registered Land Surveyor
(original if signed in red)

217-3864

EGERT LAW, S.C.

835 Geneva Parkway North, Suite 1
Lake Geneva, WI 53147

**COPY FOR YOUR
INFORMATION**

Nicholas A. Egert, Attorney

Debra K. Arnold, Paralegal
Jean C. Rossmiller, Legal Assistant

Telephone: 262-248-6600
Facsimile: 262-248-6262
info@egertlawfirm.com

March 6, 2018

HAND DELIVERED

City of Lake Geneva
Attention: Fred Walling
626 Geneva Street
Lake Geneva, WI 53147

Re: Mark Larkin

Dear Fred:

Enclosed please find the original Petition for Annexation which we are submitting on behalf of our client, Mark Larkin.

By copy of this letter, we are mailing a copy of the Petition to the Clerk of the Town of Geneva and to the Department of Administration.

If you need anything else, please let me know.

Sincerely,



Nicholas A. Egert

NAE/jcr
Enclosure

cc: Clerk, Town of Geneva (with copy of enclosure)
Clerk, City of Lake Geneva (with copy of enclosure)
Department of Administration (with copy of enclosure)
Mr. Mark Larkin (with copy of enclosure)

ORDINANCE NO. 18-5

AN ORDINANCE PROVIDING FOR DIRECT ANNEXATION BY UNANIMOUS CONSENT OF ELECTORS AND PROPERTY OWNERS OF TERRITORY LOCATED IN THE TOWN OF GENEVA, WALWORTH COUNTY, WISCONSIN, TO THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

WHEREAS, Mark Larkin ("Petitioner") has made and filed with the City Clerk of the City of Lake Geneva ("City") a Petition for Direct Annexation by unanimous consent of electors and property owners of territory located in the Town of Geneva, Walworth County, Wisconsin, to the City of Lake Geneva, Walworth County, Wisconsin, pursuant to Wis. Stat. §66.0217(2) ("Annexation Petition"), in the office of the City Clerk for the City of Lake Geneva, Walworth County, Wisconsin, on the day of _____ day of _____, 20_____, requesting the annexation to the City of lands described in Exhibit A attached hereto and incorporated herein by reference ("Subject Territory"), which such lands are contiguous to the City; and

WHEREAS, it appears by acknowledgment of receipt on file herein that Petitioner has filed a duplicate original of the Annexation Petition, including a legal description and scale map of the Subject Territory, with the Town Clerk of the Town of Geneva, Walworth County, Wisconsin, and the State of Wisconsin, Department of Administration, within five (5) days after filing the Annexation Petition with the City Clerk; and

WHEREAS, it further appears that all of the requirements of Wis. Stat. §66.0217(2) have been fully complied with, and that the State of Wisconsin, Department of Administration, has reviewed the proposed annexation and, by letter, found it to be in the public interest, and said letter has been duly considered and reviewed by the City and/or the City's Counsel; and

WHEREAS, the proposed annexation was referred to the Plan Commission of the City and said Plan Commission has recommended annexing the Subject Territory to the City; and

WHEREAS, the Common Council of the City of Lake Geneva, Walworth County, Wisconsin, makes the following findings with respect to the Subject Territory:

1. That the annexation of the Subject Territory to the City of Lake Geneva, Walworth County, Wisconsin, is in the best interest of the City.
2. That the annexation of the Subject Territory will enable the City to regulate and control development of these lands which are contiguous to the City.
3. That, upon annexation, the Northern portion of the Subject Territory shall be temporarily zoned pursuant to Wis. Stat. §66.0217(8) in the One-Two Family Residential (TR6) Zoning District.

EXHIBIT D

4. That, upon annexation, the Southern portion of the Subject Territory shall be temporarily zoned pursuant to Wis. Stat. §66.0217(8) in the Planned Business (PB) Zoning District.
5. That the annexation of the Subject Territory does not create a town island under the provisions of Wis. Stat. §66.0221.
6. That the City is in need of additional lands suitable for business and residential development, as herein described, as and for this Subject Territory.

NOW, THEREFORE, the Common Council of the City of Lake Geneva, Walworth County, Wisconsin, does ordain as follows:

1. Those lands comprising the Subject Territory to be annexed, as described in Exhibit A attached hereto and incorporated herein by reference, be, and the same hereby are, annexed to the City of Lake Geneva, Walworth County, Wisconsin.
2. Those lands comprising the northern portion of the Subject Territory shall be temporarily zoned pursuant to Wis. Stat. §66.0217(8) in the TR6, One-Two Family Residential Zoning District.
3. Those lands comprising the southern portion of the Subject Territory shall be temporarily zoned pursuant to Wis. Stat. §66.0217(8) in the PB, Planned Business Zoning District.
4. Those lands comprising the Subject Territory shall be included within Supervisory District 11 of Walworth County and in Aldermanic District 3 of the City of Lake Geneva.
5. This Ordinance, and the annexation hereby effected, shall be in full force and effect from and after its passing and posting.
6. The City Clerk shall immediately, after the final enactment hereof, file such certified copies with all parties as required by State Statute to be so served.
7. All ordinances or parts of ordinances inconsistent with or contravening the provisions of this Ordinance are hereby repealed.

(signatures on following page)

Adopted, passed, and approved by the Common Council of the City of Lake Geneva,
Walworth County, Wisconsin, this _____ day of _____, 20__.

Alan Kupsik, Mayor

Attest:

City Clerk

EXHIBIT A

Legal Description

A parcel of land located in the Northeast 1/4 of Section 25, Township 2 North, Range 17 East, Town of Geneva, Walworth County, Wisconsin, described as follows: Commencing at the Northeast corner of Section 25; thence West 1596.00 feet; thence South 1 degree 30' West, 1165.48 feet to the place of beginning; thence North 89 degrees 51' West, 100 feet; thence South 848.17 feet; thence East 100 feet; thence North 850.52 feet to the point of beginning.

Tax Parcel No. J G 2500014A

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Mark Larkin, as applicant/petitioner for:

Name: Mark Larkin

Address: _____

Phone: _____

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 25th day of January, 2017.

Mark Larkin
Printed name of Applicant/Petitioner

Mal LK
Signature of Applicant/Petitioner

EXHIBIT E



SCOTT WALKER
GOVERNOR
ELLEN NOWAK
SECRETARY

Municipal Boundary Review
PO Box 1645, Madison WI 53701
Voice (608) 264-6102 Fax (608) 264-6104
Email: wimunicipalboundaryreview@wi.gov
Web: <http://doa.wi.gov/municipalboundaryreview>

March 09, 2018

PETITION FILE NO. 14102

SABRINA WASWO, CLERK
CITY OF LAKE GENEVA
626 GENEVA ST
LAKE GENEVA, WI 53147-1914

DEBRA KIRCH, CLERK
TOWN OF GENEVA
N3496 COMO RD
LAKE GENEVA, WI 53147-2617

Subject: MARK LARKIN ANNEXATION

Section 66.0217 (6), Wis. Stats., provides that the annexation of lands to cities and villages within a county having a population of 50,000 or more shall be reviewed by the Department of Administration in order to determine if the proposed annexation is in the public interest or against the public interest. The proposed annexation from the TOWN OF GENEVA to the CITY OF LAKE GENEVA (see attached description) must be reviewed pursuant to the statute.

To assist us in making this determination, we urge that you promptly supply the data requested on the enclosed questionnaire (where possible) and return the questionnaire to the department.

The purpose of this questionnaire is to assist the department in determining "Whether the governmental services, including zoning, to be supplied to the territory could clearly be better supplied by the town...." The statute further stipulates that the department shall study the "shape of the proposed annexation and the homogeneity of the territory with the annexing municipality." In addition, we would appreciate receiving from you any comments or information bearing on governmental services or shape and homogeneity that would indicate whether the annexation is in or against the public interest.

Please return the questionnaire as soon as possible so that the information can be reviewed prior to the department's statutory deadline of March 29, 2018. Direct any questions and comments to Erich Schmidtke at (608) 264-6102. Thank you for your cooperation.

For additional information on annexation or other land use issues, visit our web site at <http://doa.wi.gov/municipalboundaryreview/>.

Sincerely,

Erich Schmidtke

Enclosures

REAL PROPERTY LISTERS ANNEXATION REVIEW

1. Territory to be annexed: J G 2500014A	From Town of: GENEVA	To City/Village of: LAKE GENEVA
---	-------------------------	------------------------------------

2. Checklist: (Y) Yes; (N) No; (NA) Not applicable; (NC) Not checked

Location and Position

- _Y___ (1) Location description by government lot, recorded private claim, ¼ - ¼ section, section, township, range and county
- _Y___ (2) Contiguous with existing village/city boundaries
- _N___ (3) Creates an island area in Township (completely surrounded by city)
- _N___ (4) Creates an island area in City (completely surrounded by town)

Petition and Map Information

- _Y___ (1) Identify owner(s) of annexed land
- _Y___ (2) Identify parcel ID numbers included in annexation.
- _Y___ (3) Identify parcel ID numbers being split by annexation
- _Y___ (4) North arrow
- _Y___ (5) Graphic Scale
- _Y___ (6) Streets and Highways shown and identified
- _Y___ (7) Legend
- _Y___ (8) Total area/acreage of annexation

3. Other relevant information and comments:

Annexing this parcel into the City of Lake Geneva does leave a few parcels behind in the Township of Geneva that are surrounded by the City of Lake Geneva, however those "islands" were created by previous annexations and this one will remove one parcel from that "island".

Prepared by: Sue Finster
to: Title: Property Liater

Please **RETURN PROMPTLY**
Municipal Boundary Review

Annexation Review Questionnaire

Wisconsin Department of Administration

WI Dept. of Administration
Municipal Boundary Review
PO Box 1645
Madison WI 53701
608-264-6102 Fax: 608-264-6104
wimunicipalboundaryreview@wi.gov
<http://doa.wi.gov/municipalboundaryreview>

Petitioner: **Mark Larkin**

Petition Number: **14102**

1. Territory to be annexed: From **TOWN OF GENEVA** To **CITY OF LAKE GENEVA**

2. Area (Acres): 1.95

3. Pick one: Property Tax Payments

OR Boundary Agreement

a. Annual town property tax on territory to be annexed:

\$ 10.68

a. Title of boundary agreement _____

b. Year adopted _____

b. Total that will be paid to Town

(annual tax multiplied by 5 years): 53.40

c. Participating jurisdictions _____

d. Statutory authority (pick one)

c. Paid by: Petitioner City Village

s.66.0307 s.66.0225 s.66.0301

Other: _____

4. Resident Population: Electors: 0 Total: 0

5. Approximate present land use of territory:

Residential: _____ % Recreational: _____ % Commercial: _____ % Industrial: _____ %

Undeveloped: 100 %

6. If territory is undeveloped, what is the anticipated use?

Residential: 64 % Recreational: _____ % Commercial: 36 % Industrial: _____ %

Other: _____ %

Comments: _____

7. Has a preliminary or final plat been submitted to the Plan Commission: Yes No

Plat Name: Not to Town of Geneva

8. What is the nature of land use adjacent to this territory in the city or village?

Residential + Commercial

In the town?: Commercial

9. What are the basic service needs that precipitated the request for annexation?

Sanitary sewer Water supply Storm sewers

Police/Fire protection EMS Zoning

Other Development

10. Is the city/village or town capable of providing needed utility services?

City/Village Yes No Town Yes No

If yes, approximate timetable for providing service: City/Village Town
Sanitary Sewers immediately n/a
or, write in number of years. _____

Water Supply immediately n/a
or, write in number of years. _____

Will provision of sanitary sewers and/or water supply to the territory proposed for annexation require capital expenditures (i.e. treatment plant expansion, new lift stations, interceptor sewers, wells, water storage facilities)?

Yes No

If yes, identify the nature of the anticipated improvements and their probable costs: _____

11. Planning & Zoning:

a. Do you have a comprehensive plan for the City/Village/Town? Yes No
Is this annexation consistent with your comprehensive plan? Yes No

b. How is the annexation territory now zoned? A-3 + B-2

c. How will the land be zoned and used if annexed? TR6 + PB

12. Elections: New ward or Existing ward? Will the annexation create a new ward or join an existing ward? For more information, please contact the Wisconsin Election Commission at (608) 266-8005, elections@wi.gov or see their annexation checklist here: <http://elections.wi.gov/forms/el-100>

Unknown

13. Other relevant information and comments bearing upon the public interest in the annexation:

Prepared by: Town City Village

Name: Debra L. Kirck

Email: treasurer@townofgeneva.wi.com

Phone: 262-248-8497

Date: 03/12/2018

(March 2018)

Please RETURN PROMPTLY to:

wimunicipalboundaryreview@wi.gov

Municipal Boundary Review

PO Box 1645, Madison WI 53701

Fax: (608) 264-6104



SCOTT WALKER
GOVERNOR
ELLEN NOWAK
SECRETARY

Municipal Boundary Review
PO Box 1645, Madison WI 53701
Voice (608) 264-6102 Fax (608) 264-6104
Email: wimunicipalboundaryreview@wi.gov
Web: <http://doa.wi.gov/municipalboundaryreview>

March 29, 2018

PETITION FILE NO. 14102

SABRINA WASWO, CLERK
CITY OF LAKE GENEVA
626 GENEVA ST
LAKE GENEVA, WI 53147-1914

DEBRA KIRCH, CLERK
TOWN OF GENEVA
N3496 COMO RD
LAKE GENEVA, WI 53147-2617

Subject: MARK LARKIN ANNEXATION

The proposed annexation submitted to our office on March 09, 2018, has been reviewed and found to be in the public interest. In determining whether an annexation is in the public interest, s. 66.0217 (6), Wis. Stats. requires the Department to examine "[t]he shape of the proposed annexation and the homogeneity of the territory with the annexing village or city...." so as, to ensure the resulting boundaries are rational and compact. The statute also requires the Department to consider whether the annexing city or village can provide needed municipal services to the territory. The subject petition is for territory that is reasonably shaped and contiguous to the **CITY OF LAKE GENEVA**, which is able to provide needed municipal services.

The Department reminds clerks of annexing municipalities of the requirements of s. 66.0217 (9)(a), Wis. Stats., which states:

"The clerk of a city or village which has annexed shall file immediately with the secretary of administration a certified copy of the ordinance, certificate and plat, and shall send one copy to each company that provides any utility service in the area that is annexed. The clerk shall record the ordinance with the register of deeds and file a signed copy of the ordinance with the clerk of any affected school district..."

State and federal aids based on population and equalized value may be significantly affected through failure to file with the Department of Administration. Please file a copy of your annexing ordinance, including a statement certifying the population of the annexed territory. **Please include your MBR number 14102 with your ordinance.** Ordinance filing checklist available at <http://mds.wi.gov/>, click on "Help on How to Submit Municipal Records". Email scanned copy of required materials (color scan maps with color) to mds@wi.gov or mail to: Wisconsin Department of Administration, Municipal Boundary Review, PO Box 1645, Madison WI 53701-1645.

The petition file is available for viewing at: <http://mds.wi.gov/View/Petition?ID=2175>
Please call me at (608) 264-6102, should you have any questions concerning this annexation review.

Sincerely,

Erich Schmidtke, Municipal Boundary Review

cc: petitioner



**COLLECTION AGENCY AGREEMENT
THE STARK COLLECTION AGENCY AND
THE CITY OF LAKE GENEVA**

THIS AGREEMENT made and entered into between The City of Lake Geneva (“Creditor”), whose signature appears below, and The Stark Collection Agency (“Agency”), a collection agency duly licensed under and pursuant to the laws of the State of Wisconsin:

WITNESSETH:

WHEREAS, Creditor desires Agency to undertake the collection of Creditor’s accounts and other evidences of indebtedness from time to time, in the manner and under the terms and conditions hereinafter set forth, and,

WHEREAS, the parties contemplate a future course of dealing as Creditor and Agency, and desire to set forth and define herein the mutual rights, obligations and liabilities of the parties hereto in such course of dealing.

NOW THEREFORE, in consideration of the promises and of the mutual agreement of the parties hereto, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, it is hereby agreed as follows:

1. Definitions. Capitalized terms used but not defined in the body of this Agreement shall have their respective, generally accepted industry meaning.
 - 1.1. “Creditor” shall mean The City of Lake Geneva and any department, agency, court, corporation, or other affiliated subdivision of The City of Lake Geneva which refers accounts and other evidences of indebtedness to Creditor.
2. Creditor Duties
 - 2.1. Creditor hereby appoints Agency to collect and receive for Creditor all sums of money due or payable to Creditor for claims which Creditor lists with Agency.
 - 2.2. Creditor warrants that all placements are valid and legally enforceable debts. Creditor shall not submit accounts that Creditor knows or reasonably should know are of a highly disputed nature, are in bankruptcy, or are outside the applicable statute of limitations. Creditor shall use at least the same degree of care as it employs to ensure accurate demographic data for its own clients when it submits accounts to Agency, but in no event less than a commercially reasonable degree of care.
 - 2.3. Creditor shall notify Agency within 24 hours of receipt in writing, by email, or by phone of any disputes, direct payments, or bankruptcy notifications received by Creditor with respect to any placement.
3. Agency Duties
 - 3.1. Agency shall use customary and reasonable collection efforts as permitted by law.

- 3.2. Agency shall list consumer accounts with the three largest national credit reporting agencies and commercial accounts with Dun & Bradstreet according to applicable national and state law unless Creditor requests accounts not be listed. Agency has no permission to furnish data on a court debt or parking violation.
- 3.3. Agency shall carry appropriate levels of insurance.

4. Confidentiality; Data Security

- 4.1. “Confidential Information” means information, in any form, relating to or disclosed in the course of the Agreement, which is or should be reasonably understood to be confidential or proprietary to the disclosing party, including, but not limited to, the material terms of this Agreement, proprietary information relating to Agency’s and Creditor’s respective businesses, Trade Secrets, Protected Health Information, Protected Personal Information, and Consumer data.
- 4.2. Each Party acknowledges that Confidential Information may be disclosed to the other Party during the course of this Agreement. Each Party shall use at least the same degree of care as it employs to avoid unauthorized disclosure of its own information, but in no event less than a commercially reasonable degree of care to prevent the duplication or disclosure of Confidential Information of the other Party.
- 4.3. Notwithstanding the foregoing, Agency Employees may use such Confidential Information for the purpose of performing Agency’s obligations under this Agreement and then only to the extent needed to do so. Furthermore, Agency may disclose Confidential Information when required by law, including but not limited to enforcing the obligation between Creditor and the Creditor’s customers.
- 4.4. In order to protect the Confidential Information, each Party shall maintain appropriate standard security measures with respect to the Confidential Information, including but not limited to technical, physical, and organizational controls, and shall maintain the confidentiality, integrity and availability thereto. In no event shall such security measures fall below a commercially reasonable degree of care.
- 4.5. In the event that one Party becomes aware of an improper or inadvertent disclosure of Confidential Information, that Party shall notify the other Party immediately of such disclosure.

5. Agency Authority

- 5.1. Payment. Agency shall have authority to endorse checks, drafts, money orders and other negotiable instruments which may be received in payment and made out to Creditor. Agency shall deposit all sums collected in a designated trust account maintained at a federally insured financial institution of Agency’s choosing. Agency shall remit all money received, less agreed upon commissions monthly, or as designated by Creditor, and as otherwise required by law.
- 5.2. Settlement. The City and each of its departments, agencies, courts, corporations, or other affiliated subdivisions which refer accounts to Agency will grant Agency settlement authority according to its own preference. This section does not apply to Municipal Court Accounts or Park Violations. Agency must have explicit authorization to settle a Municipal Court Account or Parking Violation for less than 100% of the outstanding balance.
- 5.3. Forwarding Accounts. Agency shall have authority to forward any of Creditor’s claims to another collection agency if the debtor has moved out of the General Business Area of Agency, and such other collection agency shall have authority to exercise all ordinary and reasonable collection efforts as permitted by law, and shall remit any payments made to Agency less agreed commissions, and Agency shall then remit to Creditor less any agreed upon commissions. Creditor reserves to itself the decision whether the forwarded claims will be sued, and may appoint in writing such collection agency to retain an attorney and commence legal action, and

the provisions in Section Seven (7) herein shall be controlling in creating the relationship between Creditor and the attorney.

5.3.1. “General Business Area” means the geographic area in which Agency is licensed to collect.

5.4. Perfecting Judgments. Agency shall have authority, under its own discretion, to perfect on an existing Judgment, such as but not limited to filing liens, filing garnishment actions, filing Court Ordered Income Assignments, requesting Sheriff Executions, or transcribing a Judgment, without a fee increase to Agency.

5.5. Certifying to DOR. Agency shall have authority to certify the Total Balance Due to the Wisconsin Department of Revenue (“DOR”). Agency shall certify to the DOR accrued interest charges on referred debt where Creditor has certified the principal balance to DOR. In the case of Municipal Court Accounts, Agency may only certify accrued Post-Judgment Interest charges where Creditor has certified the principal balance to DOR.

6. Legal Action. Agency will recommend legal action be taken to recover any monies owed to Creditor if it believes this to be the last available means to affect collection. The Creditor reserves the right to determine whether a claim shall be sued and to select an attorney for that purpose. In the event of legal action, if the Creditor elects not to designate an attorney agency reserves the right to designate an attorney with the understanding that the legal action is to be in the name of the Creditor. This attorney shall be considered Creditor’s attorney. Creditor may authorize Agency to conduct correspondence with any such attorney and to receive payments made by the debtor, however, the conduct of the attorney shall at times be subject to the control of Creditor, and the attorney may report directly to Creditor or through Agency, as he desires. Agency will absorb court costs and pay attorney’s fees on those accounts where Agency recommends legal action. Creditor is expected to absorb court costs if Creditor requests Agency to sue an account when it is not recommended by Agency and attorney will be retained on a contingency fee basis. Funds collected will be applied first to court costs and fees, then to principal balance then to interest charges. In the event a legal case is to be tried and a Creditor representative fails to show or requests claim be dropped, court costs paid by Agency will be billed to the Creditor. In addition, in the event of a counter suit, Creditor is responsible for paying an attorney to try the case. Creditor can choose to hire their own attorney or hire Agency’s attorney.

7. Payments and Costs

7.1. Contingency Fees. Each Party acknowledges that Agency operates on a contingency fee basis and earns commission on actual monies received whether that money is paid direct to the Creditor or paid to Agency. Agency shall be paid 100% commission on all interest collected. In the case of Municipal Court Accounts, this will only apply to interest on judgments transcribed to a Circuit Court. Agency shall offset commission it is owed on pay directs against monies paid to Agency and owed to Creditor by Agency, or it shall invoice Creditor for commission due on pay directs and the Creditor agrees to pay said invoice within 30 days. *If Creditor accepts payment on an account listed with Agency, Creditor shall notify Agency in writing, by email, or by phone within 24 hours of receipt of said payment and before payment is deposited. Creditor agrees to pay agency normal fee on all paid directs. In the event a payment made by personal check should be returned unpaid, the payment will be reversed and it may appear as a negative entry on Creditor’s statement.*

7.1.1. Creditor agrees to pay agency contingency fees on all paid directs, provided Agency shall not charge or be eligible for a fee if Creditor receives payment via its efforts through TRIP, an arrest due to an active warrant, vehicle registration charge, or driver’s license suspension.

7.2. Commission Rates are as follows:

A. Municipal Court Accounts – Standard	19 %
B. Municipal Court Accounts – Legal	19%
C. Municipal Court Accounts – Forwarded	40%
D. Standard Accounts less than \$300	25%

E. Standard Accounts \$300 or greater	21%
F. Standard Accounts – Legal	40%
G. Standard Accounts – Forwarded	40%
H. No Collection	No Charge

- 7.3. Pre-Judgment Interest. Agency will not accrue interest on Municipal Court Accounts. If Creditor does not charge Pre-Judgment Interest on standard accounts, Agency shall have no authority to do so. Creditor shall notify Agency whether it will charge Pre-Judgment Interest, in which case the following shall apply: Creditor shall assess interest on each account, accruing from the date of delinquency, consistent with Creditor's normal practice. Creditor shall maintain sufficient documentation of such accrual and shall make said documentation available to Agency upon referral to Agency and upon request. In the absence of a contractual rate, Creditor agrees to accrue interest at the legal rate, currently \$5 per \$100, in accordance with Wis. Stat. § 138.04. Upon referral to Agency, Creditor assigns its rights to and requests that Agency assess interest at contractual or legal rate. Agency is to accrue statutory interest from listing date on Principal balance on parking violations.
- 7.4. Post-Judgment Interest. Creditor hereby assigns its rights to and requests that Agency assess the legal rate of interest, currently the Prime Rate plus \$1 per \$100, on all post-judgment accounts, accruing from the date of filing.
- 7.5. Collection Fee. Creditor assigns its rights to and requests that Agency collect the fees specifically authorized in City of Lake Geneva Resolution 07-R63 and generally authorized by City of Lake Geneva Ordinance 1-18.
8. Return; Cancellation. Upon Creditor's request for cancellation of accounts, Agency shall cancel and return within 30 days those specified accounts, provided Agency may negotiate to retain accounts with a promise to pay, pending legal actions, and cases in judgment. Creditor shall reimburse Agency any outstanding advanced court costs upon Creditor's request Creditor to return legal accounts. Upon termination of this Agreement according to Section 10, Agency shall cancel and return all accounts to Creditor.
9. Termination. This agreement may be terminated on 30 days written notice by either party. Creditor must return all of Agency's forms, supplies, and decals, and must cease using the corporate and any and all trade names of The Stark Collection Agency, Inc. in its correspondence and in its normal course of business.
- 9.1. Survival. The provisions of Sections 2.3, 4.1, 5, and 9 of this Agreement shall survive any termination and/or cancellation of this Agreement. In addition, all provisions of this Agreement that can only be given proper effect if they survive termination and/or cancellation of this Agreement will survive the termination and/or cancellation of this Agreement.

10. General Provisions

- 10.1. Audit. To ensure, among other things, compliance with this Agreement and with state and federal collection and privacy laws, Agency, at its expense and following at least a forty-eight (48) hour written notice to Creditor, shall have the right to audit Creditor. Audits shall occur no more than one (1) time per year and shall be conducted during regular business hours at Creditor's offices in such a manner as not to interfere unreasonably with Creditor's normal business activities.
- 10.2. Entire Agreement. This Agreement, together with any exhibit attached hereto, if any, constitutes the entire agreement between the parties with respect to the subject matter hereof, and supersedes any and all agreements or understandings, whether written or oral, between the parties with respect to such subject matter.
- 10.3. Choice of Law; Venue. The validity of this Agreement, the construction and enforcement of its terms and the interpretation of the rights and duties of the parties hereto shall be governed by the laws of the State of Wisconsin, without regard to its conflicts of law principles. Any suit arising from or related to this Agreement shall be brought in a court of competent jurisdiction in Dane County, State of Wisconsin.

- 10.4. Severability. In the event that any provision of this Agreement is found invalid or unenforceable pursuant to judicial decree or decision, the remainder of this Agreement shall remain valid and enforceable according to its terms.
- 10.5. Assignment. Creditor may not assign, delegate, or otherwise transfer this Agreement or any of its rights or obligations hereunder without Agency's prior written consent. The rights and obligations of the Parties to this Agreement shall be binding on and shall inure to the benefit of the Parties, their successors, and permitted assigns.
- 10.6. Modification and Waiver. This Agreement, except as otherwise provided, may only be modified or amended by a writing duly executed by Agency and Creditor. Waiver of any provision herein shall not be deemed a waiver of any other provision herein, nor shall waiver of any breach of this Agreement be construed as a continuing waiver of other breaches of the same or other provisions of this Agreement.
- 10.7. Relationship of Parties. The Agreement shall not be construed as creating an employee/employer, agency, partnership, or joint venture relationship between Agency and Creditor, nor is it the intention of the parties to establish any such relationship. Neither Party has the power to bind the other or incur obligations on the other's behalf without the other's prior written consent, except as otherwise expressly provided herein.
- 10.8. Headings. The headings used in this Agreement are for convenience only and shall not be used to interpret or construe any of its provisions.
- 10.9. Authority. Each party represents and warrants to the other party that it has the full right, power, and authority to enter into and to perform this Agreement in accordance with all of the terms, provisions, covenants, and conditions hereof, and that the execution and delivery of this Agreement has been duly authorized by proper corporate action after appropriate review. Any rule of construction to the effect that ambiguities are to be resolved against the drafting party shall not apply in the interpretation of this Agreement.

SIGNATURES APPEAR ON FOLLOWING PAGE

CLIENT INFORMATION:

CITY OF LAKE GENEVA

SIGNED _____ TITLE _____

PRINTED
NAME _____

ADDRESS _____

CITY/ST/ZIP _____

CONTACT
PERSON _____

TELEPHONE _____ FAX _____

EMAIL ADDRESS OF CONTACT PERSON

DATE _____

SPECIAL INSTRUCTIONS:

THE STARK COLLECTION AGENCY

BY: _____

TITLE: _____

DATE: _____

SECTION 01 22 00

APPLICATION FOR PAYMENT OF CONTRACT

DATE: March 29, 2018

PAYMENT REQUEST: 3

PROJECT: City of Lake Geneva White River disc golf course pedestrian bridge replacement project.

1. CONTRACT PRICE:	<u>\$45,716.00</u>
2. CHANGE ORDER No.1(BRIDGE EXTENSION):.....	<u>\$3,625.00</u>
3. CHANGE ORDER NO.2 (BORINGS):.....	<u>\$3,500.00</u>
4. TOTAL CONTRACT PRICE TO DATE:	<u>\$52,841.00</u>
5. TOTAL COMPLETED TO DATE:.....	<u>\$35,325.00</u>
6. RETAINAGE (10% of completed work).....	<u>\$3,532.50</u>
7. TOTAL EARNED LESS RETAINAGE (line 5-6).....	<u>\$31,792.50</u>
8. LESS PREVIOUS REQUEST FOR PAYMENT (paid to date).....	<u>\$28,642.50</u>
9. CURRENT PAYMENT DUE (line 7-8).....	<u>\$3,150.00</u>
10. BALANCE TO FINISH, PLUS RETAINAGE (line 4 - 7).....	<u>\$24,581.00</u>

APPLICATION SUBMITTED BY:

Richard T. Krukowski
AUTHORIZED SIGNATURE

Richard T. Krukowski
PRINT NAME

3/29/2018
DATE

APPLICATION APPROVED BY:

AUTHORIZED SIGNATURE

PRINT NAME

DATE

END OF SECTION 01 22 00

DATE APPROVED	<u>4/11/18</u>
APPROVED BY	<u>[Signature]</u>
ACCOUNT #(S)	<u>43-52-00-5300</u>
DESCRIPTION	<u>WHITE RIVER BRIDGE PAY REQ #3</u>
PO #	_____

TO (OWNER): City of Lake Geneva
626 Geneva St.
Lake Geneva, WI 53147

PROJECT: Flat Iron Park Bathroom Reno
201 Wrigley Dr
Lake Geneva, WI 53147

APPLICATION NO: 2
PERIOD TO: 3/31/2018

DISTRIBUTION
TO:
X OWNER
- ARCHITECT
- CONTRACTOR

FROM (CONTRACTOR): Glen Fern Construction, LLC
705 Madison St. #101
Lake Geneva, WI 53147

VIA (ARCHITECT): McCormack & Etten Architects
400 Broad St.
Lake Geneva, WI 53147

ARCHITECT'S
PROJECT NO: 1023

CONTRACT FOR: General Contractor

CONTRACT DATE: 1/18/2018

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for Payment, as shown below, in connection with the Contract. Continuation Sheet, AIA Type Document is attached.

1. ORIGINAL CONTRACT SUM	\$	157,907.00
2. Net Change by Change Orders	\$	0.00
3. CONTRACT SUM TO DATE (Line 1 + 2)	\$	157,907.00
4. TOTAL COMPLETED AND STORED TO DATE	\$	111,355.02

5. RETAINAGE:

a. 7.09 % of Completed Work	\$	7,895.35
b. 0.00 % of Stored Material	\$	0.00

Total retainage (Line 5a + 5b)	\$	7,895.35
6. TOTAL EARNED LESS RETAINAGE	\$	103,459.67
(Line 4 less Line 5 Total)		

7. LESS PREVIOUS CERTIFICATES FOR PAYMENT

(Line 6 from prior Certificate)	\$	25,605.02
8. CURRENT PAYMENT DUE	\$	77,854.65

9. BALANCE TO FINISH, INCLUDING RETAINAGE

(Line 3 less Line 6)	\$	54,447.33
----------------------	----	-----------

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	0.00	0.00
Total approved this Month	0.00	0.00
TOTALS	0.00	0.00
NET CHANGES by Change Order	0.00	0.00

The Undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the work covered by this application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the owner, and that current payment shown herein is now due.

CONTRACTOR: Glen Fern Construction, LLC
705 Madison St. #101 Lake Geneva, WI 53147

By: [Signature] Date: 3/27/18
Gregory E. Odden / Owner

State of: WI

County of: Walworth
Subscribed and sworn to before me this 27th Day of March 20 18
Notary Public: [Signature]
My Commission Expires: August 18, 2018

ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising the above application, the Architect certifies to owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ 77,854.65
(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ARCHITECT: [Signature] Date: 3.30.18

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, Payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

MA Type Document
Application and Certification for Payment

TO (OWNER): City of Lake Geneva
626 Geneva St.
Lake Geneva, WI 53147

PROJECT: Flat Iron Park Bathroom Reno
201 Wrigley Dr
Lake Geneva, WI 53147

APPLICATION NO: 2
PERIOD TO: 3/31/2018

DISTRIBUTION
TO:
_ OWNER
_ ARCHITECT
_ CONTRACTOR

FROM (CONTRACTOR): Glen Fern Construction, LLC
705 Madison St. #101
Lake Geneva, WI 53147

VIA (ARCHITECT): McCormack & Ethen Architects
400 Broad St.
Lake Geneva, WI 53147

ARCHITECT'S
PROJECT NO: 1023

CONTRACT FOR: General Contractor

CONTRACT DATE: 1/18/2018

ITEM	DESCRIPTION	SCHEDULE VALUE	PREVIOUS APPLICATIONS	COMPLETED THIS PERIOD	STORED MATERIAL	COMPLETED STORED	%	BALANCE	RETAINAGE
1	General Conditions	4,369.00	1,150.00	1,925.00	0.00	3,075.00	70.38	1,294.00	218.45
2	Demolition	9,400.00	9,400.00	0.00	0.00	9,400.00	100.00	0.00	470.00
3	Concrete	2,980.00	0.00	2,980.00	0.00	2,980.00	100.00	0.00	149.00
4	Masonry	7,400.00	0.00	7,400.00	0.00	7,400.00	100.00	0.00	370.00
5	Carpentry	9,100.00	850.00	5,500.00	0.00	6,350.00	69.78	2,750.00	455.00
6	Casework	6,850.00	0.00	500.00	0.00	500.00	7.30	6,350.00	50.00
7	Doors & Hardware	2,810.00	0.00	1,800.00	0.00	1,800.00	64.06	1,010.00	140.50
8	Gypsum Board	5,300.00	0.00	5,300.00	0.00	5,300.00	100.00	0.00	265.00
9	Hard Tile	6,500.00	0.00	5,100.00	0.00	5,100.00	78.46	1,400.00	325.00
10	Painting	3,735.00	0.00	2,000.00	0.00	2,000.00	53.55	1,735.00	186.75
11	Toilet Accessories	3,590.00	0.00	0.00	0.00	0.00	0.00	3,590.00	0.00
12	Toilet Partitians	4,750.00	0.00	0.00	0.00	0.00	0.00	4,750.00	0.00
13	Plumbing	28,026.00	4,500.00	16,000.00	0.00	20,500.00	73.15	7,526.00	1,401.30
14	HVAC	30,100.00	4,500.00	19,500.00	0.00	24,000.00	79.73	6,100.00	2,003.70
15	Electrical	16,650.00	1,200.00	9,100.00	0.00	10,300.00	61.86	6,350.00	832.50
16	Bond Fee	4,737.00	4,737.00	0.00	0.00	4,737.00	100.00	0.00	236.85
17	General Contractor Fee	11,610.00	2,113.02	5,800.00	0.00	7,913.02	68.16	3,696.98	791.30

REPORT TOTALS \$157,907.00 \$28,450.02 \$82,905.00 \$0.00 \$111,355.02 70.52 \$46,551.98 \$7,895.35

WAIVER OF CONSTRUCTION LIEN
§779.05, Wis. Stats.

PROJECT: Flat Iron Park Visitors Center
201 Wrigley Drive
Lake Geneva, WI 53147

OWNER: City of Lake Geneva
626 Geneva St.
Lake Geneva, WI 53147

ARCHITECTS PROJECT NUMBER: 1023

CONTRACT FOR: General Contractor

CONTRACT DATED: 1/18/18

WAVER DATED: 3/27/18

STATE OF: Wisconsin
COUNTY OF: Walworth

Waiver of lien rights is made for (select one):

The following Work: (Describe)

All work as described on draw #2 dated 3/27/18

All Work to date of this Waiver.

All past and future Work, including all labor performed and/or material furnished at any time by the Contractor at the Property. This is a full waiver of all lien rights.

Title Companies, Lenders or others may require disclosure of the Contractor's subcontractors and material suppliers before disbursement of funds related to the Contractor's above-described Work. If so required, specify name(s) of Contractor's subcontractors and material suppliers furnishing any portion of the Work being waived:

N/A

(Attach additional sheet if more space is required)

CONTRACTOR (name & address):

Glen Fern Construction, LLC
705 Madison St. #101
Lake Geneva, WI 53147

By:

[Signature]

(Signature of authorized representative)

Gregory E. Odden, Principal Owner

(Printed name and title)

Subscribed (or affirmed) before me on this 27th day of March, 2018

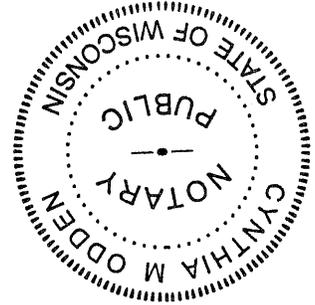
Notary Public:

[Signature]

My Commission Expires: August 18, 2018

§779.05 Waivers of Lien, provides, in part, "(1) Any document signed by a lien claimant or potential claimant and purporting to be a waiver of construction lien rights under this subchapter, is valid and binding as a waiver whether or not consideration was paid therefor and whether the document was signed before or after the labor or material was furnished or contracted for. Any ambiguity in such document shall be construed against the person signing it. Any waiver document shall be deemed to waive all lien rights of the signer for all labor and materials furnished or to be furnished by the claimant at any time for the improvement to which the waiver relates, except to the extent that the document specifically and expressly limits the waiver to apply to a particular portion of such labor and materials. A lien claimant or potential lien claimant of whom a waiver is requested is entitled to refuse to furnish a waiver unless claimant otherwise existing."

Contractor's failure to pay its subcontractors or material suppliers from monies received for its Work may result in civil or criminal liability under Wisconsin's theft by contractor statute, §779.02(5), Wis. Stats.



Glen Fern Construction, LLC

705 Madison Street #101, Lake Geneva, WI 53147

Telephone: (262)203-7034 Fax (262)546-1457

PROPOSED CHANGE ORDER QUOTATION

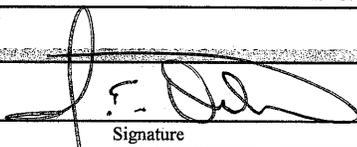
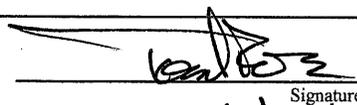
PCO # 6

Project:	FLAT IRON PARK VISITORS CENTER RENOVATION	A/E Job No. 1023
		Date: 4/6/18
Owner:	Architect:	Distribution:
CITY OF LAKE GENEVA 626 GENEVA STREET LAKE GENEVA, WI 53147 Att: MR. BLAIN OBORN	McCORMACK AND ETTEN ARCHITECTS 400 BROAD STREET LAKE GENEVA, WI 53147 Att: MR. KEN ETTEN	Owner GFC <input checked="" type="checkbox"/> X A/E <input checked="" type="checkbox"/> X File <input checked="" type="checkbox"/> X Other <input type="checkbox"/>

BACKGROUND: ALLIANT ENERGY HAS DETERMINED THE EXISTING ELECTRICAL SERVICE IS NOT ACCEPTABLE FOR THEM TO MAKE THE SECOND SERVICE. PREVIOUSLY THIS WAS CONSIDERED ACCEPTABLE. WITH THE NEWEST GUIDELINES ESTABLISHED FOR 2018 THIS IS NO LONGER ACCEPTABLE. ADAMS ELECTRIC HAS SENT A RFI REQUESTING A DETERMINATION FROM THE ARCHITECT/ENGINEER. ENGINEER HAS CONCURED THAT A CHANGE IS REQUIRED. ADAM ELECTRIC HAS SUBMITTED A COST CHANGE REQUEST DATED 4/2/2018. THE ENGINEER SAID COSTS ARE INLINE WITH THE WORK REQUIRED. BELOW IS THE SUMMARY OF THE CHANGE REQUEST.

1 Adams Electric proposal dated 4/2/2018.	\$1,333.00
2 Subtotal	\$1,333.00
3 General Contractor Fee (10%)	\$133.30

Total Cost for this change.	\$1,466.30
------------------------------------	-------------------

Submitted By: Glen Fern Construction	By: 	4/6/2018
	Signature	Requested Response Date
Architect Review: McCormack and Etten Architects By:	By: _____	_____
<input type="checkbox"/> Recommend/No Exception <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	Comments: _____	Date
Owner Response: Visit Lake Geneva City <input checked="" type="checkbox"/> Accepted & Authorized <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	By: 	06 April 2018
	Signature	Date
	Comments: <u>split between City & Visit</u>	

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.



REQUEST FOR CHANGE

PROJECT INFORMATION

TO	Glen-Fern Construction 705 Madison St Lake Geneva, WI 53147	JOB TYPE	Commercial (Contract)	PREPARED ON	04/02/18
		JOB LOCATION	201 Wrigley Drive Lake Geneva, WI 53147		<i>This proposal valid for 15 days.</i>
PHONE	262.203.7034			PREPARED BY	Adam Peters
CELL	0	JOB NAME	Flat Iron Park Visitors Center		REQUEST FOR CHANGE # 4
FAX	0				
EMAIL	0				

REQUEST FOR CHANGE ITEMS

DESCRIPTION OF CHANGES FROM ORIGINAL PROPOSAL:

Upgrade existing 2 position meter pack per Alliant Energy's request \$1,333.00

**NOTES:

The 2 position meter pack noted above has a lead time of 4-6 weeks

We propose hereby to furnish material and labor - complete in accordance with the above specifications, for the sum of: \$1,333.00

PAYMENT TERMS:

- 50% of payment is due upon signing this contract.
- Full payment is to be made on completion of work, or as invoiced with the following terms:
 - Invoice Terms: 30 days.
 - Late Fees: 1.5% (18% per annum) monthly interest fee (finance charge) will be added.

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above this estimate/proposal. All agreements contingent upon strikes, accidents, weather or delays beyond our control. Owner to carry fire, tornado and other necessary insurances. Our workers are fully covered by the Workers' Compensation Insurance.

THIS NOTICE IS TO COMPLY WITH WISCONSIN CONSTRUCTION LIEN LAW NOTIFICATION REQUIREMENTS s. 779.02:

Acceptance of this proposal and contracting for the improvements described above may subject your property listed above and any contiguous property to be liened if we are not paid in full. A copy of this notice should be provided to any bank or mortgage holder which may be providing funds for this project.

ACCEPTANCE OF REQUEST FOR CHANGE PROPOSAL

The above changes, prices, specifications and conditions are satisfactory and are hereby accepted. Adams Electric, Inc. is authorized to do the work as specified. Scheduling for this project will begin after a signed copy of this proposal with any required deposits are received at the Adams Electric office.

OWNER SIGNATURE

DATE ACCEPTED

504 A Nathan Lane Elkhorn, WI 53121
PH:262-723-6565 Fax:262-723-6568

To: MCCORMACK & ETTEN

Request for Information

Att: JAY STANDISH

Re: FLAT IRON PARK TOILETROOM RENOVATION

From:



705 Madison Street, Suite 101
Lake Geneva, WI 53147
Phone: 262-703-7034

For Office Use Only

RFI # 7

Date Received 4/3/2018

C M Project # 17-144

A/E Project # 1023

Date: 4/3/2018

Re: Specs: _____ Re: Drawings: E1 Re: Addm: _____

Request: COPIED FROM E-MAIL RECEIVED FROM ADAMS ELECTRIC ON 4/2/2018.

Good afternoon, hope all is well. I received some unfortunate news from Alliant last week and followed up on it this morning. Even though last year the Alliant engineering department said the existing 2 position meter socket could remain as-is. They are now requiring that meter socket to be brought up to code. I've attached the e-mail correspondence from them. Attached is our change order for this additional, unexpected cost. The new 2 position meter pack does have a lead time of 4-6 weeks so I would like to get this approved and ordered as soon as possible. Due to this lead time I suspect we may have to temp in new panel 2 off of the existing panel 1 so everything is operational.

My Best,
Adam Peters 504 A Nathan Lane
Elkhorn, WI 53121
Office: 262.723.6565
Direct: 262.741.3982
Adam Peters <adam@aei-wi.com>

SEE ATTCHED DATA FROM ALLIANT ENERGY.

ADAM PETERS AT ADAMS ELECTRIC CAN BE REACHED FOF FURTHER INFORMATION.

Gregory Odden

MCCORMACK & ETTEN RESPONSE:

Well, this is obviously a change in position from the utility company. This is an unforeseen change and the price from Adams seems to be inline with the work required.

The information furnished is interpreted to be within the scope of referenced contract issued in accordance with the Contract Documents and without change in Contract Sum or Contract Time, and, as such, is not an authorization for work beyond the scope of the contract.

Legacy Designs, Inc.
Company Name

Page 1 of 1

Frank Gallagher
Reply By

04.05.2018
Date

Greg Odden

From: Gorman, Nicholas <NicholasGorman@alliantenergy.com>
Sent: Monday, April 2, 2018 9:56 AM
To: Adam Peters
Subject: RE: Flat Iron Park - LG Visitors Center
Attachments: 2018 Equipment Manual.pdf

Good morning Adam,

I was able to talk with our meter technician & supervisor. Based on the conversation with them, Alliant will require the meter socket to be upgraded to a commercial rated duplex meter socket w/ a lever bypass to bring the service in line with current standards.

I've attached the 2018 Electric Service Equipment Manual to this email, Pg. 1-14 has the approved multi-meter packs w/ lever bypasses.

I understand this may not have been expected, I will follow up with them if you have any other questions,

Thanks,

Nick

From: Adam Peters [mailto:adam@aei-wi.com]
Sent: Monday, April 2, 2018 9:24 AM
To: Beltz, Nickolas; Gorman, Nicholas
Cc: Powell, Kathryn
Subject: RE: Flat Iron Park - LG Visitors Center

[This is an external email. Be cautious with links, attachments and responses.]

Sorry about that. I am also looping Kathy in on this since I believe she was the one I spoke with during bid stage several months ago.

My Best,

Adam Peters



504 A Nathan Lane
Elkhorn, WI 53121
Office: 262.723.6565
Direct: 262.741.3982
Facsimile : 262.723.6568
Website: www.aei-wi.com

Quality Electrical Contracting Since 1988



ACCREDITED
BUSINESS



focus on energy

Partnering with Wisconsin utilities

From: Beltz, Nickolas [mailto:NickolasBeltz@alliantenergy.com]
Sent: Monday, April 02, 2018 8:33 AM
To: Gorman, Nicholas <NicholasGorman@alliantenergy.com>
Cc: Adam Peters <adam@aei-wi.com>
Subject: FW: Flat Iron Park - LG Visitors Center
Importance: High

Nick:

I believe this email was intended for you.

Thank you,

Nickolas Beltz | Engineering Technician

ALLIANT ENERGY

3730 Kennedy Road | Janesville, WI 53545
Office: (608) 757-7517 | Cell: (608) 295-8192
alliantenergy.com | nickolasbeltz@alliantenergy.com

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From: Adam Peters [mailto:adam@aei-wi.com]
Sent: Monday, April 02, 2018 8:30 AM
To: Beltz, Nickolas
Subject: Flat Iron Park - LG Visitors Center
Importance: High

[This is an external email. Be cautious with links, attachments and responses.]

Nickolas,

Good morning, hope all is well. Following up on our conversation last week. Were you able to confirm with the meter tech if the existing 2 position meter pack absolutely had to be changed out? I have not gone back in my paperwork yet to see if I have it in writing but it was discussed with Alliant during the bid stage of the project and it was noted at that time that the existing 2 position meter pack could remain. We are aware that the current wiring from the meter to the panel is not to Alliant standards so we did include correcting this in the budget.

Please let me know so I can have the conversation with the City of Lake Geneva as soon as possible.

My Best,

Adam Peters

FLAT IRON PARK VISITORS CENTER BUILDING



PCO LOG

PCO#	DATE SUBMITTED	DESCRIPTION	CITY OF LAKE GENEVA	VISIT LAKE GENEVA	ARCHITECT RESPONSE		OWNER RESPONSE		ACCEPTED CHANGE \$	CHANGE ORDER #
					YES	R & R	NO	YES		
1	2/21/2018	REMOVE INSULATION CONTAINING MOLD FROM PREVIOUS ROOF LEAKS. INSTALL NEW INSULATION TO REPLACE THIS MATERIAL	\$ 990.00		X			X	\$ 990.00	
2	2/21/2018	RELOCATE WATER SERVICE ENTRANCE INTO BUILDING. WATER SERVICE NEEDS TO TERMINATE AT JANITOR'S CLOSET IN WOMEN'S TOILET.	\$ 2,158.20		X			X	\$ 2,158.20	
3 REVISED	3/5/2018	MAKE MODIFICATIONS TO VISIT LAKE GENEVA SPACE WITHIN BUILDING PER MODIFICATIONS PROVIDED BY INTERIOR DESIGNER.		\$ 2,933.93	N/A			X VLG	\$ 2,933.93	
4	3/7/2018	PROVIDE I.C. RATED LIGHT FIXTURES IN MEN'S AND WOMEN'S TOILET AREA. SPECIFIED FIXTURES ARE NOT RATED FOR DIRECT CONTACT WITH INSULATION.	\$ 192.00					X	\$ 192.00	
5	3/20/2018	PROVIDE WINDOW BLINDS PER REQUEST OF OWNER		\$ 1,060.00						
6	4/6/2018	PROVIDE NEW SERVICE DISCONNECT FOR ELECTRICAL SYSTEM PER ALLIANT ENERGY REQUIREMENTS	\$ 1,466.30						\$ 1,466.30	
7	4/6/2018	SLATWALL SYSTEM		\$ 1,234.09						
TOTAL VALUE OF CHANGE REQUESTS PENDING			\$ 4,806.50	\$ 5,228.02						
TOTAL VALUE OF CHANGE ORDER REQUESTS ACCEPTED										\$ 7,740.43

GLEN FERN CONSTRUCTION



Resolution 18-R31

The Common Council of the City of Lake Geneva does hereby establish the following revised schedule of fees, effective April 23, 2018.

SCHEDULE OF FEES

CITY OF LAKE GENEVA, WISCONSIN

The City of Lake Geneva may retain overpayments of taxes, fees, licenses, and similar charges when the overpayment is \$2 or less, unless such refund is specifically requested by the remitter.

LICENSES & PERMITS	
ALCOHOL LICENSE FEES * STATUTORY LIMITS	
Temporary Retailer's	\$10.00 Each
Provisional/Temp. Operator (60 days)	\$15.00 each
Operator	\$50.00 Annual Prorated after January 1 to \$30.00
Class A Liquor	\$500.00
Class A Beer	\$100.00
Class C Wine	\$100.00
Class B Liquor (Quota License)	\$500.00
Class B Beer	\$100.00
Reserve Class B Liquor	\$10,000.00
Change of Agent	\$10.00
Publication Fee	\$25.00
Extension of Premises	\$25.00
ANNEXATION FILING FEE - DUE UPON PETITION	\$200.00
AMUSEMENTS	
Coin Operated music machine/juke box	\$20.00 per machine
ASSESSMENT REQUEST LETTER	\$35.00 each
BANNER PERMIT	\$20.00 per banner per two-week time period
BUSINESS LICENSE	\$25.00 Annual
Late fee after July 1	\$20.00 (in addition to license fee)
CAT LICENSE	
Not Spayed/Neutered	\$8.00 Annual
Spayed/Neutered	\$4.00 Annual
Late fee after April 1, or 30 days after adoption of new animal if adoption occurs after April 1	\$5.00 (in addition to license fee)
DOG LICENSE	
Not Spayed/Unneutered	\$29.00 Annual
Spayed/Neutered	\$14.00 Annual
Late fee after April 1, or 30 days after adoption of new animal if adoption occurs after April 1	\$5.00 (in addition to license fee)
BOWLING ALLEY	\$20.00 per lane
BILLIARDS OR POOL TABLE	\$40.00 per table
CARRIAGE COMPANY LICENSE	\$50.00 Annual
Each Additional Carriage	\$25.00
CLOSING OUT SALE	\$25.00 event
CIGARETTE/TOBACCO LICENSE * STATUTORY	\$100.00 Annual

CREAMERY PERMIT	\$50.00
DIRECT SELLERS PERMIT	\$50.00 nonrefundable application fee
MESSAGE ESTABLISHMENT	
Investigation	\$50.00 Annual
Transfer	\$50.00
MOBILE HOME PARK LICENSE	\$100.00 Annual
PARADE PERMITS	\$25.00 nonrefundable application fee
CITY PARK PERMITS	
RENTAL FEES ARE PER DAY, PER LOCATION	\$25.00 nonrefundable application fee
49 Attendees or less	
Non-Profit Organization	\$50.00 deposit, \$30.00 Rental
Resident	\$50.00 deposit, \$30.00 Rental
Non-Resident	\$100.00 deposit, \$75.00 Rental
50 to 149 Attendees	
Non-Profit Organization	\$100.00 deposit, \$55.00 Rental
Resident	\$100.00 deposit, \$55.00 Rental
Non-Resident	\$150.00 deposit, \$125.00 Rental
150 or more Attendees	
Non-Profit Organization	Deposit Determined by Park Board, \$105.00 Rental
Resident	Deposit Determined by Park Board, \$105.00 Rental
Non-Resident	Deposit Determined by Park Board, \$225.00 Rental
BASEBALL TOURNAMENT PERMIT FEE - VETERAN'S PARK	\$1,000 Security Deposit
Friday Rental	\$150.00
Saturday Rental	\$300.00
Sunday Rental	\$300.00
ADDITIONAL PARK AMENITIES	
Brunk Pavilion Rental	\$250.00 Resident/Non-Profit \$500.00 Non-Resident
Benches	\$50.00 deposit, \$5.00 each
Picnic Tables	\$50.00 deposit, \$15.00 each
Barricades	\$50.00 deposit, \$5.00 each
Fencing - Snow	\$30.00 per 50 feet
Trash Receptacles	\$50.00 deposit, \$8.00 each
PARKING STICKERS	
Resident & Non-Resident Residence Owners - Lasts 2 years (even) - 2 hours free parking	4 free per residence each additional \$25.00
Business Owner - 2 hours free parking	\$25.00 Lasts 2 years (even) \$25.00 for 1 year (effective Jan. 1 2017) \$50.00 (effective Jan. 1, 2018)
Walworth County Resident - 2 hours free parking	\$160.00 Lasts 2 years (even) \$80.00 for 1 year
Parking Lot Permit	\$400.00 Annual

PARKING RATES	
Parking Stall Rate for stalls on Wrigley Dr., 10 stalls at the boat launch, stalls on lower Center St. south of Main St., stalls on lower Broad St. south of Main St., 700 & 800 blocks of Main St., and Center St. Parking Lot	\$2.00 per hour
All other Parking Stalls Rate	\$1.00 per hour
Parking Meter Bags/Contractor Permits	\$10.00 administrative fee \$25.00 deposit per locked bag March 1 - Nov 14: \$20.00 daily per bag Nov 15 - Feb 29: \$10.00 daily per bag
PARKING TICKETS	
Expired Stall (Over 2 hours; Over 5 hours; Over 25 min.)	\$20.00
More than 3 motorcycles	\$20.00
Improper Use or Display of Sticker	\$20.00
Backed into parking stall	\$25.00
Compact Car Only	\$25.00
No Parking Zone	\$25.00
Over the Line	\$25.00
Parking by fire hydrant	\$40.00
Handicap Zone	\$150.00
Parking with Trailer or Trailer alone in Sage Lot D	\$25.00
Parking any Vehicle without a Trailer or with an occupied Trailer in Boat Launch Parking Lot F	\$25.00
LATE FEES	
Expired Stall After 10 days	\$40.00
More than 3 motorcycles After 10 days	\$40.00
Backed into parking stall After 10 days	\$50.00
Compact Car Only After 10 days	\$50.00
No Parking Zone After 10 days	\$50.00
Parking by fire hydrant	\$80.00
Handicap Zone	\$300.00
Second Collection Letter Fee	\$6.00
Vehicle Suspension Release Fee	\$20.00
PUBLIC ASSEMBLY PERMIT	Free
PUBLIC RECORDS REQUESTS * STATUTORY	
Photocopies (can include hourly wage for gathering data)	\$0.25 per page
RADON TEST KIT	\$10.00
REISSUE CHECK FEE	\$25.00
RETURNED CHECK FEE (NSF)	\$30.00 each
ROOM TAX LICENSE	\$10.00 Annual
SHOWS, CIRCUS, CARNIVALS	
Circus	\$50.00 per day
Tent Show - Day 1	\$15.00
Tent Show - Each Additional Day	\$10.00
All Other	\$2.00 per day
SIDEWALK CAFÉ PERMIT	\$15.00 per seat Annual

STREET USE PERMIT	\$25.00 nonrefundable application fee
Up to two days	\$40.00
More than two days	\$100.00
TAX EXEMPT REPORT FILING (every other year)	\$20.00
Late Fee	\$20.00
TAXI CAB COMPANY LICENSE	\$50.00 Annual
Each Additional Car	\$25.00
TAXI CAB DRIVER LICENSE	\$25.00 Annual
THEATER LICENSE	
Up to 1,200 seats	\$200.00
Over 1,200 seats	\$275.00
TRAPPING PERMIT	\$25.00 Annual
CITY HALL MEETING ROOM RENT	\$25 per event

LAKEFRONT	
BEACH (Open Memorial Day thru Labor Day - no glass containers allowed)	
Children age 6 and under	Free
Children age 7-12	\$4.00 per day
Ages 13 to Adult	\$8.00 per day
Resident Beach Tags (Maximum 6 per Household)	\$3.00 per tag
Seasonal Pass Adult 13 and up	\$70.00 per year
Seasonal Pass Child 7-12	\$40.00 per year
Beach Use Permits Rental Excludes Beach Operating Hours Memorial Day through Labor Day 9:00am to 6:00pm Rental Fees are Per Day	\$25.00 nonrefundable application fee
49 Attendees or less	
Non-Profit Organization	\$50.00 deposit, \$30.00 Rental
Resident	\$50.00 deposit, \$30.00 Rental
Non-Resident	\$100.00 deposit, \$75.00 Rental
50 to 149 Attendees	
Non-Profit Organization	\$100.00 deposit, \$55.00 Rental
Resident	\$100.00 deposit, \$55.00 Rental
Non-Resident	\$150.00 deposit, \$125.00 Rental
150 or more Attendees	
Non-Profit Organization	Deposit Determined by Piers, Harbors & Lakefront, \$105.00 Rental
Resident	Deposit Determined by Piers, Harbors & Lakefront, \$105.00 Rental
Non-Resident	Deposit Determined by Piers, Harbors & Lakefront, \$225.00 Rental
Beach Bathrooms - Opening/Cleaning	Hourly Rate

BOAT LAUNCH PERMIT		
One-Time Launch	Resident	Non-Resident
Non-Trailer Non-Motor	\$7.00	\$8.00
Less than 20 feet	\$10.00	\$11.00
20 feet to 25 feet 11 inches	\$14.00	\$21.00
26 feet and over	\$16.00	\$24.00
Season Launch Permit	Resident	Non-Resident
Non-Trailer Non-Motor	\$70.00	\$80.00
Less than 20 feet	\$100.00	\$110.00
20 feet to 25 feet 11 inches	\$140.00	\$210.00
26 feet and over	\$160.00	\$240.00
BUOY/SLIP RATES ESTABLISHED ANNUALLY BY RESOLUTION		
Season Launch Pass for Kayaks, Canoes and Paddleboards (non-trailer, non-motor)	\$30.00 per year	
RIVIERA RENTALS		
<i>Maximum attendees is 380</i>		
Security Deposit	\$1,000.00	
Resident Rental Fee (Friday, Saturday, Sunday)	\$2,500.00	
Non-Resident Rental Fee (Friday, Saturday, Sunday)	\$3,000.00	
Resident & Non-Resident Weekday Rental Fee (Monday - Thursday)	\$500.00	
Not-for-Profit Group Rental Fee	\$400.00	
Per Hour Set Up Fee	\$20.00 per hour	
Security Guards for Event (2)	Additional Renter Expense- Hourly Rate	
Extra Security Guard over 250 attendees	Additional Renter Expense - Hourly Rate	

BUILDING & ZONING	
Building	
Minimum permit fee for all building permits	Residential \$60.00 Commercial \$100.00
Residential Construction:	
One & Two family & attached garage (new, addition and alterations)	\$0.31 / sq. ft. New Single Family Construction \$1,000.00 Minimum
Accessory buildings & garages	\$0.25 / sq. ft.
Decks	\$0.15 / sq. ft., or \$60.00 Minimum
Roofing and Siding	\$60.00
Commercial Construction:	
Residences - Apartments, Three family & over, Row Housing, Multiple Family Dwellings, Institutional (new, addition and alterations)	\$0.31 / sq. ft. New Commercial Construction \$1,500.00 Minimum
Local Business, Office Building (new, addition or alteration)	\$0.30/ sq. ft.
Manufacturing or Industrial (new, addition or alteration)	\$0.30 / sq. ft.

Commercial , structures, alterations, residing, reroofing, repairs, where square footage cannot be calculated	\$10.00 / \$1,000.00 valuation
Plan Examination:	
One and Two Family Residence	\$150.00
Apartments, Three Family Residence, Row Housing, Multiple family Building State Approved Plans	\$150.00 plus \$10.00 / unit
Commercial, Industrial, Institutional & Additions State Approved Plans	\$350.00
Heating Plans, Energy Calculations, or Lighting Plans submitted separately	\$125.00/ Plan
Additions, Alterations to 1 & 2 Family Dwellings	\$75.00
Accessory building over 240 sq. ft., and decks for 1 & 2 family dwellings	\$40.00
Wisconsin Uniform Building Permit Seal	\$45.00
Occupancy Permit - Residential	\$60.00
Commercial and Industrial	\$100.00
Temporary (6 months or less Commercial only)	\$75.00
Permit Renewal (6 month extension or less)	\$200.00 Commercial \$50 Residential
Heating and Air Conditioning:	
Heating and Air Conditioning Distribution Systems	\$3.00/ 100 sq. ft. of conditioned area with a minimum fee of \$60.00
New Residential Heating	\$125.00 first unit, \$60.00 each additional unit.
Replacement Residential Heating	\$60.00 / unit
Commercial New or Replacement Heating	\$150.00/ unit, up to and including 150,000 BTU units. Additional fee of \$20.00 / each 50,000 BTU fraction thereof up to a maximum of \$900.00 / unit.
Residential Air Conditioning – Other than Wall Units (new or replacement)	\$60.00 / unit
Commercial Air Conditioning - Other than Wall Units (new or replacement)	\$150.00/ unit up to 5tons or 60,000 BTU's. Additional fee of \$20.00 each ton or 12,000 BTU's or fraction thereof up to a maximum of \$900.00 / unit
Permanently installed Wall unit (example - Fireplace, wall pack)	\$60.00 / unit
Commercial/Industrial Exhaust Hoods and Exhaust Systems	\$75.00
Plumbing Permit:	
Fixture Count	\$15.00/ fixture, drain or device, \$60.00 Minimum
Water Main	\$1.00 / lineal foot of sewer or private water main, \$60.00 Minimum

Sanitary Sewer	\$1.00 / lineal foot of sewer or private water main, / \$9.00 per manhole \$60.00 Minimum
Storm Sewer	\$1.00 / lineal foot of sewer or private water main / \$12.00 per manhole or basin \$60.00 Minimum
Exterior Grease Trap	\$100.00
Electrical:	
Residential Minimum	\$60.00 minimum.
New Residential Service	\$100.00/ Service First 200 Amps, \$25.00 each additional 100 Amps.
Sanitary Sewer	\$1.00 / lineal foot of sewer or private water main, \$60.00 minimum & / \$9.00 per manhole.
Residential Service Update	\$100.00/ Service
Residential Sub-Panel	\$50.00/ Panel
Residential Generator	\$75.00 (includes gas piping)
Temporary Electrical Service	\$100.00 up to 200 Amps. \$25.00 each additional 100 Amps.
Commercial Electrical Minimum	\$150.00 Minimum
Commercial Electrical Re-Inspections	\$150.00/ Inspection
Commercial Service (New or Update)	\$150.00 First 200 Amps, \$25.00 each additional 100 Amps.
Commercial Sub-Panel	\$50.00 First 100 Amps, \$10.00 each additional 100 Amps.
Commercial Generator	\$150.00 (included gas piping)
Commercial Low Voltage	\$1.00/ Device, \$100.00 Minimum
Commercial Exterior Light Fixture Replacement	\$100.00 per site
Residential Electrical Permit - for minor installations with fees not exceeding \$5.00, the permit fee may be waived by the inspector.	\$0.10 / sq. ft. of area served, \$60.00 minimum.
Commercial Electrical Permit - for minor installations with fees not exceeding \$5.00, the permit fee may be waived by the inspector.	\$0.10 / sq. ft. of area served, \$150.00 minimum.
Erosion control fees:	
New One and Two Family Buildings	\$125.00 / lot
One and Two Family Additions and Accessory Structures	\$50.00
Multi-Family Residential, Commercial, Industrial and Institutional	\$175.00/Building, plus \$5.00/1,000 sq. ft. disturbed lot area up to \$2,000.00 max.
Other	\$40.00

Zoning	
Zoning Permit	\$60.00
Certificate of Occupancy (per Section 98-909)	\$60.00
Temporary Use (per Section 98-906)	\$60.00
Zoning Verification Letter	\$50.00
Sign Permit (per Section 98-907)	\$60.00 minimum or \$0.35/ sq ft of sign area
Early Start Permit to start construction	\$125.00 (1-2 family) \$250.00 (all others)
Fuel Tanks	\$75.00 administrative fee/ tank for installation or removal
Wrecking or Razing- Building Inspector may waive the fee if the structure is condemned	\$100.00 (One or two family residences and accessory Structure over 250 sq ft)
Commercial/ Industrial Razing	\$350.00
Moving buildings over public right-of-ways	\$250.00 plus \$0.03/ sq ft
Special Inspections and Reports	\$150.00/ inspection report
Text Amendment (per Section 98-902)	\$400.00
Zoning Map Amendment (per Section 98-903)	\$400.00
Certified Survey Map (CSM)	For each new Residential Lot Created: \$400.00 For each new Commercial Lot Created: \$200.00
Plat Renewal	\$150.00
Conditional Use (per Section 98-905)	\$400.00 \$100.00
Site Plan (per Section 98-908)	\$400.00
Variance (per Section 98-910)	\$400.00
Interpretation (per Section 98-911)	\$150.00
Appeal (per Section 98-912)	\$400.00
PD Zoning Map Amendment (Includes 1 PIP Review)	\$750.00
PIP Review	\$400.00
Filing or Recording fee with City Clerk, plus actual recording fee	\$10.00
Triple Fees: Upon failure to obtain a permit before work on a building has been started, except in emergency cases, the total fee shall be triple the total fees charged.	
NOTE: Fees shall be charged on gross square footage defined as follows: <ul style="list-style-type: none"> The exterior dimensions, including attached garage and each floor level 	
NOTE: In determining costs, all construction shall be included with the exception of heating, air conditioning, electrical or	

plumbing work.	
NOTE: All fee amounts shall be rounded up to the next full dollar amount.	
NOTE: An additional fee for plan review may be assessed at the time of application for renewal of the permit.	
* Base fee may be modified by Subsection (4) of Section 98-935, Fees of the Zoning Code	

CEMETERY FEES	
Opening Grave - Weekdays (Full Burial)	\$675.00
Opening Grave - Saturdays (Full Burial)	\$800.00
Opening Grave - Weekdays (Cremation)	\$450.00
Opening Grave - Saturdays (Cremation)	\$525.00
Two cremations buried in same grave at one time	\$100.00 extra charge
Opening Grave - Weekdays - Baby Under 1 Year	\$200.00
Opening Grave - Saturdays - Baby Under 1 Year	\$300.00
Grave (50% Perpetual Care)	\$650.00
Grave - Single Cremation (50% Perpetual Care)	\$400.00
Grave - Double Cremation (50% Perpetual Care)	\$500.00
Columbarium Niche (includes opening & inurnment) (\$200 Perpetual Care)	\$1,200.00 \$1,000.00 bottom row
2 nd Inurnment if Niche allows for two	\$150.00 additional
Niche Door Inscriptions	\$240.00
Frost Charges (November 1 to March 15)	\$75.00
Stake Out Fee for Foundations	\$50.00
Foundation Charges	\$0.40 per square inch
Use of Cemetery for Functions	20% of Gross Receipts
POLICE DEPARTMENT FEES	
FINGERPRINTING	
City Residents	\$15.00
Individuals employed in business in city limits or working for city licensed business	\$15.00
Non-Residents	\$60.00
PUBLIC WORKS FEES	
CONSTRUCTION PERMIT FEE	
Curb Cut/Driveway Approach Fee	\$25.00
Right-of-Way Excavation Fee	\$25.00
Storm Sewer Connection Fee	\$25.00
Sanitary Sewer Connection Fee	\$25.00
Special brush, limb and refuse pick-up	\$24.00 per 15 minutes
Dumpster Delivery	\$50.00 per dumpster
Dumpster Pick-up	\$50.00 plus additional landfill fees

FIRE DEPARTMENT FEES	
Fees for Apparatus and Personnel	1 hour minimum and fractions thereafter on hourly rates unless stated otherwise
Chief, Deputy Chief or Assistant Chief	\$ 216 .00/hr.
Fire and EMS Personnel	\$ 216 .00/hr.
Engine/Squad	\$550.00/hr.
Truck (aerial apparatus)	\$875.00/hr.
Brush Truck	\$300.00/hr.
Air Boat	\$300.00/hr.
Technical Rescue and Utility	\$500.00/hr.
Chief, Deputy Chief, Assistant Chief, or Command Vehicle	\$50.00/hr.
Utility	\$50.00/hr.
Ambulance	\$ 175 270 .00/hr.
EMS First Responder and Transport Fees	
Residents Fee	\$ 105 0.00 per call
Non-Resident Fee	\$ 15 200 .00 per call
Ambulance Transport Fee Schedule	
Advanced Life Support Base Rate	\$ 750 918.89 00
Advanced Life Support Base Rate (ALS2)	\$ 850 1010.47 00
Advanced Life Support Base Rate (Intercept)	\$918.89
Advanced Life Support Base Rate (Intercept ALS2)	\$1010.47
Equal Level Staffing Mutual Aid	\$300.00
Basic Life Support Base Rate	\$ 65 70 0.00
Mileage Charge	\$ 18 20 .00 per mile
Supplies used fee	
Defibrillation	\$100.00
EKG Monitoring	\$150.00

Spinal Immobilization	\$150.00
I/O Needle & Associated Supplies	\$200.00
Airway Placement	\$150.00
Oxygen & Associated Supplies	\$100.00
IV & Associated Supplies	\$150.00
CPAP Disposable	\$150.00
Epi 1:1,000	\$35.00
Nitro Tabs	\$22.00
Albuterol/Ventolin	\$30.00
Glucagon	\$211.00
Narcan	\$48.00
ASA	\$32.00
Dextrose 25gms/50cc	\$32.00
Glucose	\$10.50
CO2 Monitor Nasal/Tube	\$40.00
Oil Dry	\$10.00 per bag
Class A, B, or AB Firefighting Foam	\$30.00/gallon
BLS Supplies Used	\$75.00
ALS Supplies Used	\$125.00
Paramedic Medications	
Adenocard	\$31.00
Amiodorone	\$125.00
Atropine	\$37.00
Calcium Chloride	\$43.00
Dextrose 5%	\$32.00
Diltiazem	\$9.00
Diphenhydramine	\$5.00
Epi 1:10,000	\$16.00

Etomidate	\$94.00
Heparin	\$32.00
Ketamine	\$54.00
Lidocaine	\$36.00
Magnesium Sulfate	\$7.00
-Methylprednisolone	\$101.00-
-Metoprolol	\$9.00-
Midazolam	\$68.00
Norepinephrine	\$22.00
Ondansteron	\$28.00
Sodium Bicarbonate	\$37.00
Sublimaze	\$5.00
Succinylcholine	\$41.00
Clonidogral	\$19.00
Dopamine	\$97.00
Hydromorphone	\$10.00
Hydroxycobalamin	\$1270.00
Metoclopramide	\$5.00
Morphine Sulfate	\$56.00
Tranexamic Acid	\$96.00

Adopted this 23rd day of April, 2018.

Tom Hartz, Mayor

Attest:

Lana Kropf, City Clerk



Resolution 18-R31

The Common Council of the City of Lake Geneva does hereby establish the following revised schedule of fees, effective April 23, 2018.

SCHEDULE OF FEES

CITY OF LAKE GENEVA, WISCONSIN

The City of Lake Geneva may retain overpayments of taxes, fees, licenses, and similar charges when the overpayment is \$2 or less, unless such refund is specifically requested by the remitter.

LICENSES & PERMITS	
ALCOHOL LICENSE FEES * STATUTORY LIMITS	
Temporary Retailer's	\$10.00 Each
Provisional/Temp. Operator (60 days)	\$15.00 each
Operator	\$50.00 Annual Prorated after January 1 to \$30.00
Class A Liquor	\$500.00
Class A Beer	\$100.00
Class C Wine	\$100.00
Class B Liquor (Quota License)	\$500.00
Class B Beer	\$100.00
Reserve Class B Liquor	\$10,000.00
Change of Agent	\$10.00
Publication Fee	\$25.00
Extension of Premises	\$25.00
ANNEXATION FILING FEE - DUE UPON PETITION	\$200.00
AMUSEMENTS	
Coin Operated music machine/juke box	\$20.00 per machine
ASSESSMENT REQUEST LETTER	\$35.00 each
BANNER PERMIT	\$20.00 per banner per two-week time period
BUSINESS LICENSE	\$25.00 Annual
Late fee after July 1	\$20.00 (in addition to license fee)
CAT LICENSE	
Not Spayed/Neutered	\$8.00 Annual
Spayed/Neutered	\$4.00 Annual
Late fee after April 1, or 30 days after adoption of new animal if adoption occurs after April 1	\$5.00 (in addition to license fee)
DOG LICENSE	
Not Spayed/Unneutered	\$29.00 Annual
Spayed/Neutered	\$14.00 Annual
Late fee after April 1, or 30 days after adoption of new animal if adoption occurs after April 1	\$5.00 (in addition to license fee)
BOWLING ALLEY	\$20.00 per lane
BILLIARDS OR POOL TABLE	\$40.00 per table
CARRIAGE COMPANY LICENSE	\$50.00 Annual
Each Additional Carriage	\$25.00
CLOSING OUT SALE	\$25.00 event
CIGARETTE/TOBACCO LICENSE * STATUTORY	\$100.00 Annual

CREAMERY PERMIT	\$50.00
DIRECT SELLERS PERMIT	\$50.00 nonrefundable application fee
MESSAGE ESTABLISHMENT	
Investigation	\$50.00 Annual
Transfer	\$50.00
MOBILE HOME PARK LICENSE	\$100.00 Annual
PARADE PERMITS	\$25.00 nonrefundable application fee
CITY PARK PERMITS	
RENTAL FEES ARE PER DAY, PER LOCATION	\$25.00 nonrefundable application fee
49 Attendees or less	
Non-Profit Organization	\$50.00 deposit, \$30.00 Rental
Resident	\$50.00 deposit, \$30.00 Rental
Non-Resident	\$100.00 deposit, \$75.00 Rental
50 to 149 Attendees	
Non-Profit Organization	\$100.00 deposit, \$55.00 Rental
Resident	\$100.00 deposit, \$55.00 Rental
Non-Resident	\$150.00 deposit, \$125.00 Rental
150 or more Attendees	
Non-Profit Organization	Deposit Determined by Park Board, \$105.00 Rental
Resident	Deposit Determined by Park Board, \$105.00 Rental
Non-Resident	Deposit Determined by Park Board, \$225.00 Rental
BASEBALL TOURNAMENT PERMIT FEE - VETERAN'S PARK	\$1,000 Security Deposit
Friday Rental	\$150.00
Saturday Rental	\$300.00
Sunday Rental	\$300.00
ADDITIONAL PARK AMENITIES	
Brunk Pavilion Rental	\$250.00 Resident/Non-Profit \$500.00 Non-Resident
Benches	\$50.00 deposit, \$5.00 each
Picnic Tables	\$50.00 deposit, \$15.00 each
Barricades	\$50.00 deposit, \$5.00 each
Fencing - Snow	\$30.00 per 50 feet
Trash Receptacles	\$50.00 deposit, \$8.00 each
PARKING STICKERS	
Resident & Non-Resident Residence Owners - Lasts 2 years (even) - 2 hours free parking	4 free per residence each additional \$25.00
Business Owner - 2 hours free parking	\$25.00 Lasts 2 years (even) \$25.00 for 1 year (effective Jan. 1 2017) \$50.00 (effective Jan. 1, 2018)
Walworth County Resident - 2 hours free parking	\$160.00 Lasts 2 years (even) \$80.00 for 1 year
Parking Lot Permit	\$400.00 Annual

PARKING RATES	
Parking Stall Rate for stalls on Wrigley Dr., 10 stalls at the boat launch, stalls on lower Center St. south of Main St., stalls on lower Broad St. south of Main St., 700 & 800 blocks of Main St., and Center St. Parking Lot	\$2.00 per hour
All other Parking Stalls Rate	\$1.00 per hour
Parking Meter Bags/ Contractor Permits	\$10.00 administrative fee \$25.00 deposit per locked bag March 1 - Nov 14: \$20.00 daily per bag Nov 15 - Feb 29: \$10.00 daily per bag
PARKING TICKETS	
Expired Stall (Over 2 hours; Over 5 hours; Over 25 min.)	\$20.00
More than 3 motorcycles	\$20.00
Improper Use or Display of Sticker	\$20.00
Backed into parking stall	\$25.00
Compact Car Only	\$25.00
No Parking Zone	\$25.00
Over the Line	\$25.00
Parking by fire hydrant	\$40.00
Handicap Zone	\$150.00
Parking with Trailer or Trailer alone in Sage Lot D	\$25.00
Parking any Vehicle without a Trailer or with an occupied Trailer in Boat Launch Parking Lot F	\$25.00
LATE FEES	
Expired Stall After 10 days	\$40.00
More than 3 motorcycles After 10 days	\$40.00
Backed into parking stall After 10 days	\$50.00
Compact Car Only After 10 days	\$50.00
No Parking Zone After 10 days	\$50.00
Parking by fire hydrant	\$80.00
Handicap Zone	\$300.00
Second Collection Letter Fee	\$6.00
Vehicle Suspension Release Fee	\$20.00
PUBLIC ASSEMBLY PERMIT	Free
PUBLIC RECORDS REQUESTS * STATUTORY	
Photocopies (can include hourly wage for gathering data)	\$0.25 per page
RADON TEST KIT	\$10.00
REISSUE CHECK FEE	\$25.00
RETURNED CHECK FEE (NSF)	\$30.00 each
ROOM TAX LICENSE	\$10.00 Annual
SHOWS, CIRCUS, CARNIVALS	
Circus	\$50.00 per day
Tent Show - Day 1	\$15.00
Tent Show - Each Additional Day	\$10.00
All Other	\$2.00 per day
SIDEWALK CAFÉ PERMIT	\$15.00 per seat Annual

STREET USE PERMIT	\$25.00 nonrefundable application fee
Up to two days	\$40.00
More than two days	\$100.00
TAX EXEMPT REPORT FILING (every other year)	\$20.00
Late Fee	\$20.00
TAXI CAB COMPANY LICENSE	\$50.00 Annual
Each Additional Car	\$25.00
TAXI CAB DRIVER LICENSE	\$25.00 Annual
THEATER LICENSE	
Up to 1,200 seats	\$200.00
Over 1,200 seats	\$275.00
TRAPPING PERMIT	\$25.00 Annual
CITY HALL MEETING ROOM RENT	\$25 per event

LAKEFRONT	
BEACH (Open Memorial Day thru Labor Day - no glass containers allowed)	
Children age 6 and under	Free
Children age 7-12	\$4.00 per day
Ages 13 to Adult	\$8.00 per day
Resident Beach Tags (Maximum 6 per Household)	\$3.00 per tag
Seasonal Pass Adult 13 and up	\$70.00 per year
Seasonal Pass Child 7-12	\$40.00 per year
Beach Use Permits Rental Excludes Beach Operating Hours Memorial Day through Labor Day 9:00am to 6:00pm Rental Fees are Per Day	\$25.00 nonrefundable application fee
49 Attendees or less	
Non-Profit Organization	\$50.00 deposit, \$30.00 Rental
Resident	\$50.00 deposit, \$30.00 Rental
Non-Resident	\$100.00 deposit, \$75.00 Rental
50 to 149 Attendees	
Non-Profit Organization	\$100.00 deposit, \$55.00 Rental
Resident	\$100.00 deposit, \$55.00 Rental
Non-Resident	\$150.00 deposit, \$125.00 Rental
150 or more Attendees	
Non-Profit Organization	Deposit Determined by Piers, Harbors & Lakefront, \$105.00 Rental
Resident	Deposit Determined by Piers, Harbors & Lakefront, \$105.00 Rental
Non-Resident	Deposit Determined by Piers, Harbors & Lakefront, \$225.00 Rental
Beach Bathrooms - Opening/Cleaning	Hourly Rate

BOAT LAUNCH PERMIT		
One-Time Launch	Resident	Non-Resident
Non-Trailer Non-Motor	\$7.00	\$8.00
Less than 20 feet	\$10.00	\$11.00
20 feet to 25 feet 11 inches	\$14.00	\$21.00
26 feet and over	\$16.00	\$24.00
Season Launch Permit	Resident	Non-Resident
Non-Trailer Non-Motor	\$70.00	\$80.00
Less than 20 feet	\$100.00	\$110.00
20 feet to 25 feet 11 inches	\$140.00	\$210.00
26 feet and over	\$160.00	\$240.00
BUOY/SLIP RATES ESTABLISHED ANNUALLY BY RESOLUTION		
Season Launch Pass for Kayaks, Canoes and Paddleboards (non-trailer, non-motor)	\$30.00 per year	
RIVIERA RENTALS		
<i>Maximum attendees is 380</i>		
Security Deposit	\$1,000.00	
Resident Rental Fee (Friday, Saturday, Sunday)	\$2,500.00	
Non-Resident Rental Fee (Friday, Saturday, Sunday)	\$3,000.00	
Resident & Non-Resident Weekday Rental Fee (Monday - Thursday)	\$500.00	
Not-for-Profit Group Rental Fee	\$400.00	
Per Hour Set Up Fee	\$20.00 per hour	
Security Guards for Event (2)	Additional Renter Expense- Hourly Rate	
Extra Security Guard over 250 attendees	Additional Renter Expense - Hourly Rate	

BUILDING & ZONING	
Building	
Minimum permit fee for all building permits	Residential \$60.00 Commercial \$100.00
Residential Construction:	
One & Two family & attached garage (new, addition and alterations)	\$0.31 / sq. ft. New Single Family Construction \$1,000.00 Minimum
Accessory buildings & garages	\$0.25 / sq. ft.
Decks	\$0.15 / sq. ft., or \$60.00 Minimum
Roofing and Siding	\$60.00
Commercial Construction:	
Residences - Apartments, Three family & over, Row Housing, Multiple Family Dwellings, Institutional (new, addition and alterations)	\$0.31 / sq. ft. New Commercial Construction \$1,500.00 Minimum
Local Business, Office Building (new, addition or alteration)	\$0.30/ sq. ft.
Manufacturing or Industrial (new, addition or alteration)	\$0.30 / sq. ft.

Commercial , structures, alterations, residing, reroofing, repairs, where square footage cannot be calculated	\$10.00 / \$1,000.00 valuation
Plan Examination:	
One and Two Family Residence	\$150.00
Apartments, Three Family Residence, Row Housing, Multiple family Building State Approved Plans	\$150.00 plus \$10.00 / unit
Commercial, Industrial, Institutional & Additions State Approved Plans	\$350.00
Heating Plans, Energy Calculations, or Lighting Plans submitted separately	\$125.00/ Plan
Additions, Alterations to 1 & 2 Family Dwellings	\$75.00
Accessory building over 240 sq. ft., and decks for 1 & 2 family dwellings	\$40.00
Wisconsin Uniform Building Permit Seal	\$45.00
Occupancy Permit - Residential	\$60.00
Commercial and Industrial	\$100.00
Temporary (6 months or less Commercial only)	\$75.00
Permit Renewal (6 month extension or less)	\$200.00 Commercial \$50 Residential
Heating and Air Conditioning:	
Heating and Air Conditioning Distribution Systems	\$3.00/ 100 sq. ft. of conditioned area with a minimum fee of \$60.00
New Residential Heating	\$125.00 first unit, \$60.00 each additional unit.
Replacement Residential Heating	\$60.00 / unit
Commercial New or Replacement Heating	\$150.00/ unit, up to and including 150,000 BTU units. Additional fee of \$20.00 / each 50,000 BTU fraction thereof up to a maximum of \$900.00 / unit.
Residential Air Conditioning – Other than Wall Units (new or replacement)	\$60.00 / unit
Commercial Air Conditioning - Other than Wall Units (new or replacement)	\$150.00/ unit up to 5tons or 60,000 BTU's. Additional fee of \$20.00 each ton or 12,000 BTU's or fraction thereof up to a maximum of \$900.00 / unit
Permanently installed Wall unit (example - Fireplace, wall pack)	\$60.00 / unit
Commercial/Industrial Exhaust Hoods and Exhaust Systems	\$75.00
Plumbing Permit:	
Fixture Count	\$15.00/ fixture, drain or device, \$60.00 Minimum
Water Main	\$1.00 / lineal foot of sewer or private water main, \$60.00 Minimum

Sanitary Sewer	\$1.00 / lineal foot of sewer or private water main, / \$9.00 per manhole \$60.00 Minimum
Storm Sewer	\$1.00 / lineal foot of sewer or private water main / \$12.00 per manhole or basin \$60.00 Minimum
Exterior Grease Trap	\$100.00
Electrical:	
Residential Minimum	\$60.00 minimum.
New Residential Service	\$100.00/ Service First 200 Amps, \$25.00 each additional 100 Amps.
Sanitary Sewer	\$1.00 / lineal foot of sewer or private water main, \$60.00 minimum & / \$9.00 per manhole.
Residential Service Update	\$100.00/ Service
Residential Sub-Panel	\$50.00/ Panel
Residential Generator	\$75.00 (includes gas piping)
Temporary Electrical Service	\$100.00 up to 200 Amps. \$25.00 each additional 100 Amps.
Commercial Electrical Minimum	\$150.00 Minimum
Commercial Electrical Re-Inspections	\$150.00/ Inspection
Commercial Service (New or Update)	\$150.00 First 200 Amps, \$25.00 each additional 100 Amps.
Commercial Sub-Panel	\$50.00 First 100 Amps, \$10.00 each additional 100 Amps.
Commercial Generator	\$150.00 (included gas piping)
Commercial Low Voltage	\$1.00/ Device, \$100.00 Minimum
Commercial Exterior Light Fixture Replacement	\$100.00 per site
Residential Electrical Permit - for minor installations with fees not exceeding \$5.00, the permit fee may be waived by the inspector.	\$0.10 / sq. ft. of area served, \$60.00 minimum.
Commercial Electrical Permit - for minor installations with fees not exceeding \$5.00, the permit fee may be waived by the inspector.	\$0.10 / sq. ft. of area served, \$150.00 minimum.
Erosion control fees:	
New One and Two Family Buildings	\$125.00 / lot
One and Two Family Additions and Accessory Structures	\$50.00
Multi-Family Residential, Commercial, Industrial and Institutional	\$175.00/Building, plus \$5.00/1,000 sq. ft. disturbed lot area up to \$2,000.00 max.
Other	\$40.00

Zoning	
Zoning Permit	\$60.00
Certificate of Occupancy (per Section 98-909)	\$60.00
Temporary Use (per Section 98-906)	\$60.00
Zoning Verification Letter	\$50.00
Sign Permit (per Section 98-907)	\$60.00 minimum or \$0.35/ sq ft of sign area
Early Start Permit to start construction	\$125.00 (1-2 family) \$250.00 (all others)
Fuel Tanks	\$75.00 administrative fee/ tank for installation or removal
Wrecking or Razing- Building Inspector may waive the fee if the structure is condemned	\$100.00 (One or two family residences and accessory Structure over 250 sq ft)
Commercial/ Industrial Razing	\$350.00
Moving buildings over public right-of-ways	\$250.00 plus \$0.03/ sq ft
Special Inspections and Reports	\$150.00/ inspection report
Text Amendment (per Section 98-902)	\$400.00
Zoning Map Amendment (per Section 98-903)	\$400.00
Certified Survey Map (CSM)	For each new Residential Lot Created: \$400.00 For each new Commercial Lot Created: \$200.00
Plat Renewal	\$150.00
Conditional Use (per Section 98-905)	\$400.00 \$100.00
Site Plan (per Section 98-908)	\$400.00
Variance (per Section 98-910)	\$400.00
Interpretation (per Section 98-911)	\$150.00
Appeal (per Section 98-912)	\$400.00
PD Zoning Map Amendment (Includes 1 PIP Review)	\$750.00
PIP Review	\$400.00
Filing or Recording fee with City Clerk, plus actual recording fee	\$10.00
Triple Fees: Upon failure to obtain a permit before work on a building has been started, except in emergency cases, the total fee shall be triple the total fees charged.	
NOTE: Fees shall be charged on gross square footage defined as follows: <ul style="list-style-type: none"> The exterior dimensions, including attached garage and each floor level 	
NOTE: In determining costs, all construction shall be included with the exception of heating, air conditioning, electrical or	

plumbing work.	
NOTE: All fee amounts shall be rounded up to the next full dollar amount.	
NOTE: An additional fee for plan review may be assessed at the time of application for renewal of the permit.	
* Base fee may be modified by Subsection (4) of Section 98-935, Fees of the Zoning Code	

CEMETERY FEES	
Opening Grave - Weekdays (Full Burial)	\$675.00
Opening Grave - Saturdays (Full Burial)	\$800.00
Opening Grave - Weekdays (Cremation)	\$450.00
Opening Grave - Saturdays (Cremation)	\$525.00
Two cremations buried in same grave at one time	\$100.00 extra charge
Opening Grave - Weekdays - Baby Under 1 Year	\$200.00
Opening Grave - Saturdays - Baby Under 1 Year	\$300.00
Grave (50% Perpetual Care)	\$650.00
Grave - Single Cremation (50% Perpetual Care)	\$400.00
Grave - Double Cremation (50% Perpetual Care)	\$500.00
Columbarium Niche (includes opening & inurnment) (\$200 Perpetual Care)	\$1,200.00 \$1,000.00 bottom row
2 nd Inurnment if Niche allows for two	\$150.00 additional
Niche Door Inscriptions	\$240.00
Frost Charges (November 1 to March 15)	\$75.00
Stake Out Fee for Foundations	\$50.00
Foundation Charges	\$0.40 per square inch
Use of Cemetery for Functions	20% of Gross Receipts
POLICE DEPARTMENT FEES	
FINGERPRINTING	
City Residents	\$15.00
Individuals employed in business in city limits or working for city licensed business	\$15.00
Non-Residents	\$60.00
PUBLIC WORKS FEES	
CONSTRUCTION PERMIT FEE	
Curb Cut/Driveway Approach Fee	\$25.00
Right-of-Way Excavation Fee	\$25.00
Storm Sewer Connection Fee	\$25.00
Sanitary Sewer Connection Fee	\$25.00
Special brush, limb and refuse pick-up	\$24.00 per 15 minutes
Dumpster Delivery	\$50.00 per dumpster
Dumpster Pick-up	\$50.00 plus additional landfill fees

FIRE DEPARTMENT FEES	
Fees for Apparatus and Personnel	1 hour minimum and fractions thereafter on hourly rates unless stated otherwise
Chief, Deputy Chief or Assistant Chief	\$26.00/hr.
Fire and EMS Personnel	\$26.00/hr.
Engine/Squad	\$550.00/hr.
Truck (aerial apparatus)	\$875.00/hr.
Brush Truck	\$300.00/hr.
Air Boat	\$300.00/hr.
Technical Rescue and Utility	\$500.00/hr.
Chief, Deputy Chief, Assistant Chief, or Command Vehicle	\$50.00/hr.
Utility	\$50.00/hr.
Ambulance	\$270.00/hr.
EMS First Responder and Transport Fees	
Residents Fee	\$150.00 per call
Non-Resident Fee	\$200.00 per call
Ambulance Transport Fee Schedule	
Advanced Life Support Base Rate	\$918.89
Advanced Life Support Base Rate (ALS2)	\$1010.47
Advanced Life Support Base Rate (Intercept)	\$918.89
Advanced Life Support Base Rate (Intercept ALS2)	\$1010.47
Equal Level Staffing Mutual Aid	\$300.00
Basic Life Support Base Rate	\$700.00
Mileage Charge	\$20.00 per mile
Supplies used fee	
Defibrillation	\$100.00
EKG Monitoring	\$150.00
Spinal Immobilization	\$150.00
I/O Needle & Associated Supplies	\$200.00
Airway Placement	\$150.00
Oxygen & Associated Supplies	\$100.00
IV & Associated Supplies	\$150.00
CPAP Disposable	\$150.00
Epi 1:1,000	\$35.00
Nitro Tabs	\$22.00
Albuterol/Ventolin	\$30.00
Glucagon	\$211.00
Narcan	\$48.00
ASA	\$32.00
Dextrose 25gms/50cc	\$32.00

Glucose	\$10.50
CO2 Monitor Nasal/Tube	\$40.00
Oil Dry	\$10.00 per bag
Class A, B, or AB Firefighting Foam	\$30.00/gallon
BLS Supplies Used	\$75.00
ALS Supplies Used	\$125.00
Paramedic Medications	
Adenocard	\$31.00
Amiodorone	\$125.00
Atropine	\$37.00
Calcium Chloride	\$43.00
Dextrose 5%	\$32.00
Diltiazem	\$9.00
Diphenhydramine	\$5.00
Epi 1:10,000	\$16.00
Etomidate	\$94.00
Heparin	\$32.00
Ketamine	\$54.00
Lidocaine	\$36.00
Magnesium Sulfate	\$7.00
Methylprednisolone	\$101.00
Metoprolol	\$9.00
Midazolam	\$68.00
Norepinephrine	\$22.00
Ondansteron	\$28.00
Sodium Bicarbonate	\$37.00
Sublimaze	\$5.00
Succinylcholine	\$41.00
Clopidogral	\$19.00
Dopamine	\$97.00
Hydromorphone	\$10.00
Hydroxycobalamin	\$1270.00
Metoclopramide	\$5.00
Morphine Sulfate	\$56.00
Tranexamic Acid	\$96.00

Adopted this 23rd day of April, 2018.

Tom Hartz, Mayor

Attest:

Lana Kropf, City Clerk

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 16, 2018

Agenda Item:8

Applicant:

Kim Pischke, Core Commercial, Inc.
P.O. Box 1154
Appleton, WI 54912

Request:

Certified Survey Map CSM Land Division
At 751 Geneva Parkway for Tax Key Nos.
ZGBC00001, ZGBC00001A, & ZGBC00002
intended for commercial development.

Description of Proposed Certified Survey Map (CSM) land division:

The applicant is proposing to re-divide a single site into three separate lots. The subject property is located on the north side of Geneva Parkway, east of Edwards Boulevard and south of Wal-Mart. A Certified Survey Map (CSM) land division has been submitted to accomplish this purpose. The subject property contains just over six acres and the multi-tenant office building housing Keefe Real Estate and other businesses.

The northern part of subject property was recently rezoned from the Planned Business Park (PBP) zoning district to the Planned Business (PB) zoning district. The proposed lot sizes are:

- Lot 1 of 1.54 acres, zoned Planned Business Park (PBP);
- Lot 2 of 1.51 acres, zoned Planned Business (PB); and,
- Lot 3 of 2.54 acres, zoned Planned Business.

Please note that development in the form of new buildings and paved areas is proposed on Lots 2 and 3. Revised paved areas are proposed on Lot 1. The current building will remain. These proposed development projects will be reviewed independently of this land division. Specifically, they appear as Items 9, 10, and 11 on this Plan Commission agenda.

Action by the Plan Commission:

Review of the proposed Certified Survey Map (CSM) as it complies with the Land Division and Zoning provisions of the Municipal Code, and recommendation to the Common Council.

Staff Review and Recommendation on the Proposed Land Division:

1. Staff has reviewed the proposed Certified Survey Map land division. Staff notes that each of the proposed Lots 1-3 meets all requirements of its respective zoning districts.
2. Staff further notes the provision of easements for shared cross-access between the three proposed lots, as depicted on page 2 of the CSM.
3. Staff recommends that the Plan Commission recommend *approval* of the Certified Survey Map (CSM), as submitted for the property.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP

or

SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Roger Wolff, Member

GBC Business Centre, LLC.

P.O. BOX 460, Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: (262) 903-3222

EMAIL ADDRESS: roger@rogerwolff.com

PROJECT ADDRESS: 751 and 753 Geneva Parkway, Lake Geneva, WI 53147

TAX KEY NUMBER(S): ZGBC 00001A, ZGBC 00001, ZGBC 00002 and ZLGBP 00002

NAME AND ADDRESS OF APPLICANT:

Kim Pischke

Core Commercial, Inc.

P.O. Box 1154, Appleton, WI 54912

TELEPHONE NUMBER OF APPLICANT: (920) 205-9505

EMAIL ADDRESS: kimp@corewis.com

NAME AND ADDRESS OF SURVEYOR:

Mike Greason, PLS

V2G Surveying, LLC.

123 Wolf Run, Suite 4, Mukwonago, WI 53149

TELEPHONE NUMBER OF SURVEYOR: (262) 378-5097

EMAIL ADDRESS: MikeG@V2G-Surveying.com

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Combining current parcels owned by Geneva Business Centre, LLC. and separating into three separate parcels; parcel #1 – existing Keefe office building located at 751 Geneva Parkway, parcel #2 – new 22,000 square foot single tenant building and parcel #3 – new construction of a 13,915 square foot single tenant building. Parcel #1 will remain in the Lake Geneva Business Park and parcels 2 & 3 have been removed from the business park and rezoned Planned Business.

CERTIFIED SURVEY MAP NO.

Being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva., Walworth County, Wisconsin

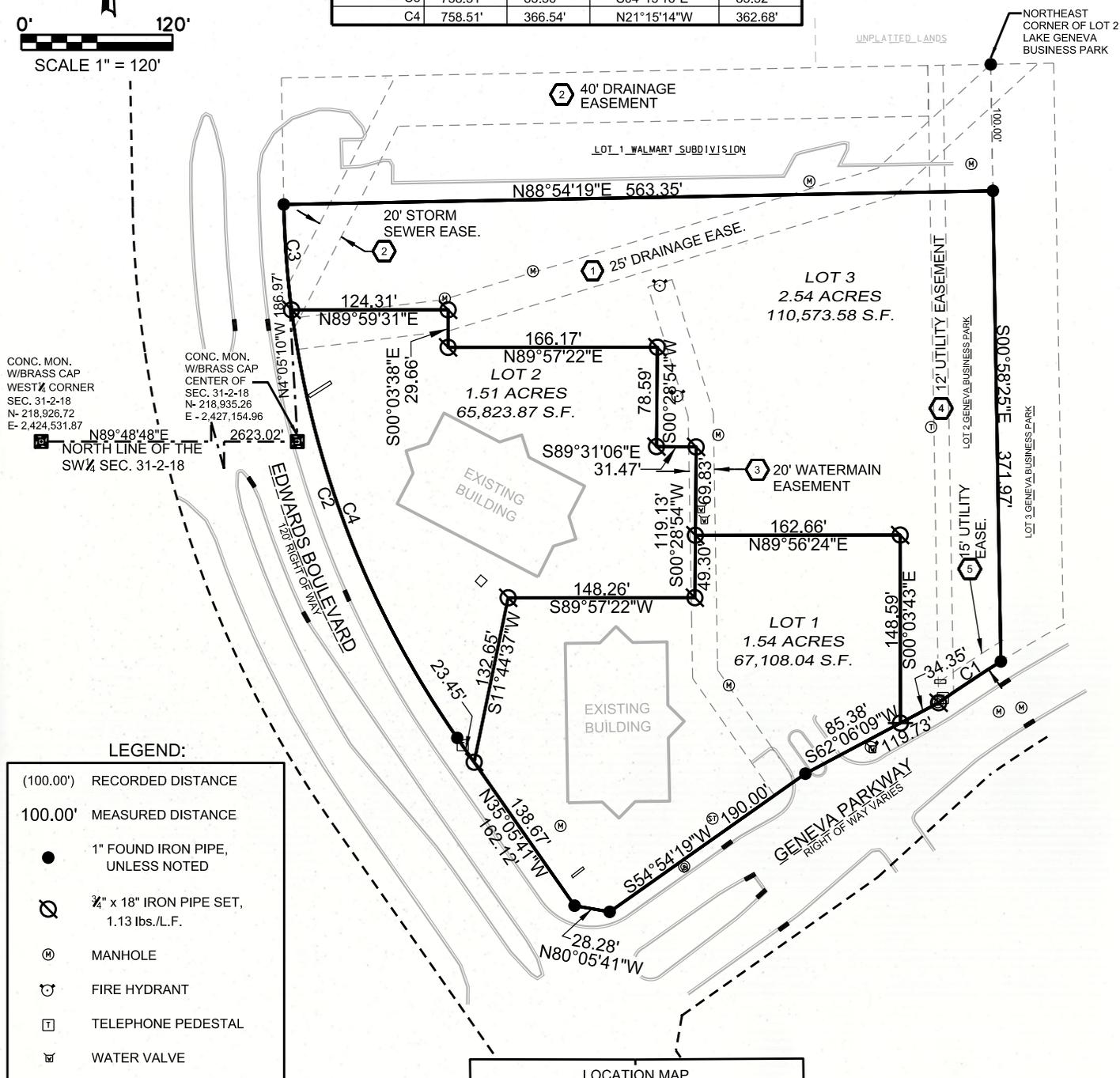
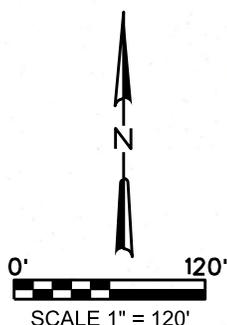
BASIS OF BEARING:
THE NORTH LINE OF
THE SW 1/4 OF SEC. 31,
T 2 N - R 18 E WAS TAKEN
TO BEAR N89°48'32"E.

OWNER:
KIM PISCHKE
CORE COMMERCIAL, INC.
P.O. BOX 1154
APPLETON, WI 54912

SURVEYOR:
V2G SURVEYING LLC.
550 BAY VIEW ROAD SUITE B
MUKWONAGO, WI 53149
262-378-5097

CURVE INFORMATION

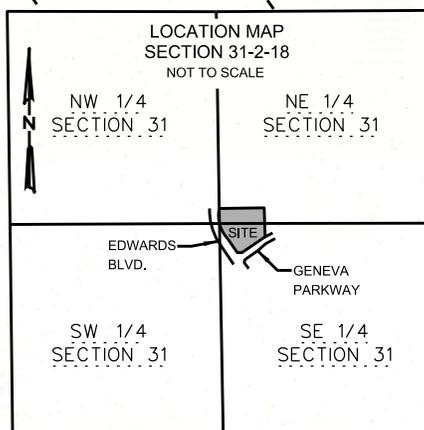
CURVE NO.	RADIUS	ARC	CHORD BEARING	CHORD
C1	1024.08'	59.28'	N56°32'43"E	59.27'
C2	758.51'	450.09'	N18°05'53"W	443.52'
C3	758.51'	83.56'	S04°15'16"E	83.52'
C4	758.51'	366.54'	N21°15'14"W	362.68'



LEGEND:

(100.00')	RECORDED DISTANCE
100.00'	MEASURED DISTANCE
●	1" FOUND IRON PIPE, UNLESS NOTED
⊙	3/4" x 18" IRON PIPE SET, 1.13 lbs./L.F.
⊙	MANHOLE
⊙	FIRE HYDRANT
⊙	TELEPHONE PEDESTAL
⊙	WATER VALVE

No.	EASEMENT DESCRIPTION	DOCUMENT No.
1	25' DRAINAGE EASEMENT	227992, 313695
2	STORM SEWER AND DRAINAGE	313695
3	20' PUBLIC WATERMAIN EASEMENT	313695
4	EASEMENT FOR UNDERGROUND ELECTRIC LINES	323067
5	EASEMENT FOR UNDERGROUND ELECTRIC LINES	323068

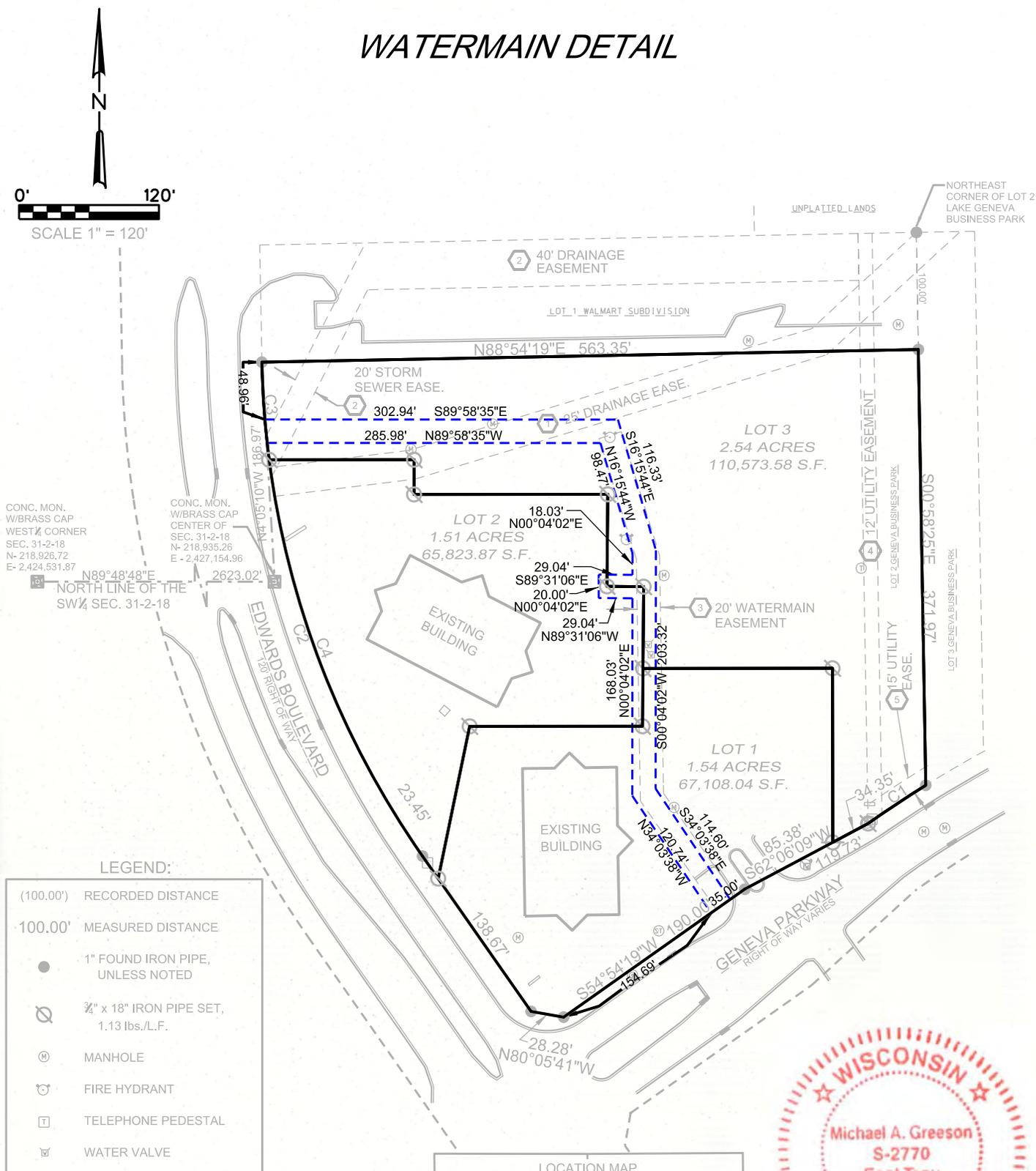


SHEET 1 OF 3
DRAFT DATE: 11/25/2016
REV. LOTS 10/12/2017
REV. LOTS 03/17/2018
REV. EASEMENT 03/28/2018
V2G JOB NO.: 2016-047

CERTIFIED SURVEY MAP NO.

Being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva., Walworth County, Wisconsin

WATERMAIN DETAIL



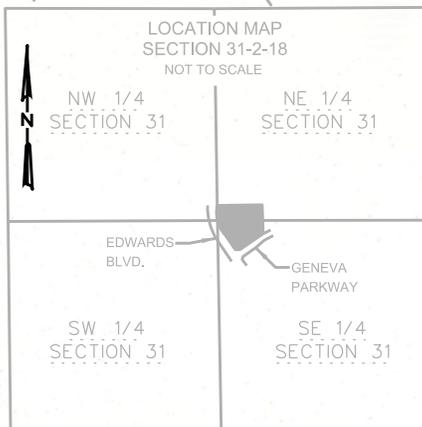
CONC. MON. W/BRASS CAP WEST CORNER SEC. 31-2-18
N- 218,926.72
E- 2,424,531.87

CONC. MON. W/BRASS CAP CENTER OF SEC. 31-2-18
N- 218,935.26
E - 2,427,154.96

LEGEND:

- (100.00') RECORDED DISTANCE
- 100.00' MEASURED DISTANCE
- 1" FOUND IRON PIPE, UNLESS NOTED
- ⊘ 3/4" x 18" IRON PIPE SET, 1.13 lbs./L.F.
- ⊙ MANHOLE
- ⊕ FIRE HYDRANT
- ⊠ TELEPHONE PEDESTAL
- ⊡ WATER VALVE

No.	EASEMENT DESCRIPTION	DOCUMENT No.
1	25' DRAINAGE EASEMENT	227992, 313695
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5	EASEMENT FOR UNDERGROUND ELECTRIC LINES	323068



SHEET 2 OF 3
DRAFT DATE: 11/25/2016
REV. LOTS 10/12/2017
REV. LOTS 03/17/2018
REV. EASEMENT 03/28/2018
V2G JOB NO.: 2016-047

CERTIFIED SURVEY MAP NO. _____

Being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva., Walworth County, Wisconsin

SURVEYORS CERTIFICATE:

I, MICHAEL A. GREESON, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE FOLLOWING LAND BOUNDED AND DESCRIBED AS FOLLOWS:

Being part of Units 1, 2 and Expansion Units in Geneva Business Centre Condominium and part of Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva., Walworth County, Wisconsin. Being further described as follows: Beginning at a point S00°58'25"E, 100.00' from the Northeast corner of said Lot 2, Thence S00°58'25"E, 371.97' to the Southeast corner of said Lot 2, said point being a point on a curve; Thence along said curve 59.28' to the left, said curve having a radius of 1024.08', a chord that Bears S56°32'43"W for a length of 59.27'; Thence S62°06'09"W, 119.73'; Thence S54°54'19"W, 190.00'; thence N80°05'41"W, 28.28'; Thence N35°05'41"W, 162.12' to a point on a curve; Thence 450.09' along said curve to the right, said curve having a radius of 758.51', a chord that bears N18°05'53"W for a length of 443.52' to a point on the South Line of Lot 1 - Walmart Subdivision; Thence N88°54'19"E, 563.35' to the point of beginning. Said parcel contains 5.59 acres more or less.

I FURTHER CERTIFY THAT I HAVE MADE THIS SURVEY AND MAP IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES, THE SUBDIVISION ORDINANCES FOR THE CITY OF LAKE GENEVA AND BY THE DIRECTION OF THE OWNER KIM PISCHKE. THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED.

THIS 28th DAY OF MARCH, 2018.

Michael A. Greeson
MICHAEL A. GREESON, P.L.S. #2770

OWNERS CERTIFICATE:

AS OWNER, I KIM PISCHKE, HEREBY CERTIFY THAT WE HAVE CAUSED THE LAND DESCRIBED ABOVE TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS CERTIFIED SURVEY MAP IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 236.34 OF THE STATE STATUTES AND SUBDIVISION ORDINANCES FOR THE CITY OF LAKE GENEVA.

WITNESS THE HAND AND SEAL OF SAID OWNERS THIS _____ DAY OF _____, 2018.

KIM PISCHKE, OWNER
STATE OF WISCONSIN)
) ss.

 COUNTY)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2018, THE ABOVE NAMED KIM PISCHKE, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, _____ COUNTY, WISCONSIN.

MY COMMISSION EXPIRES _____

CITY OF LAKE GENEVA PLANNING COMMISSION RESOLUTION:

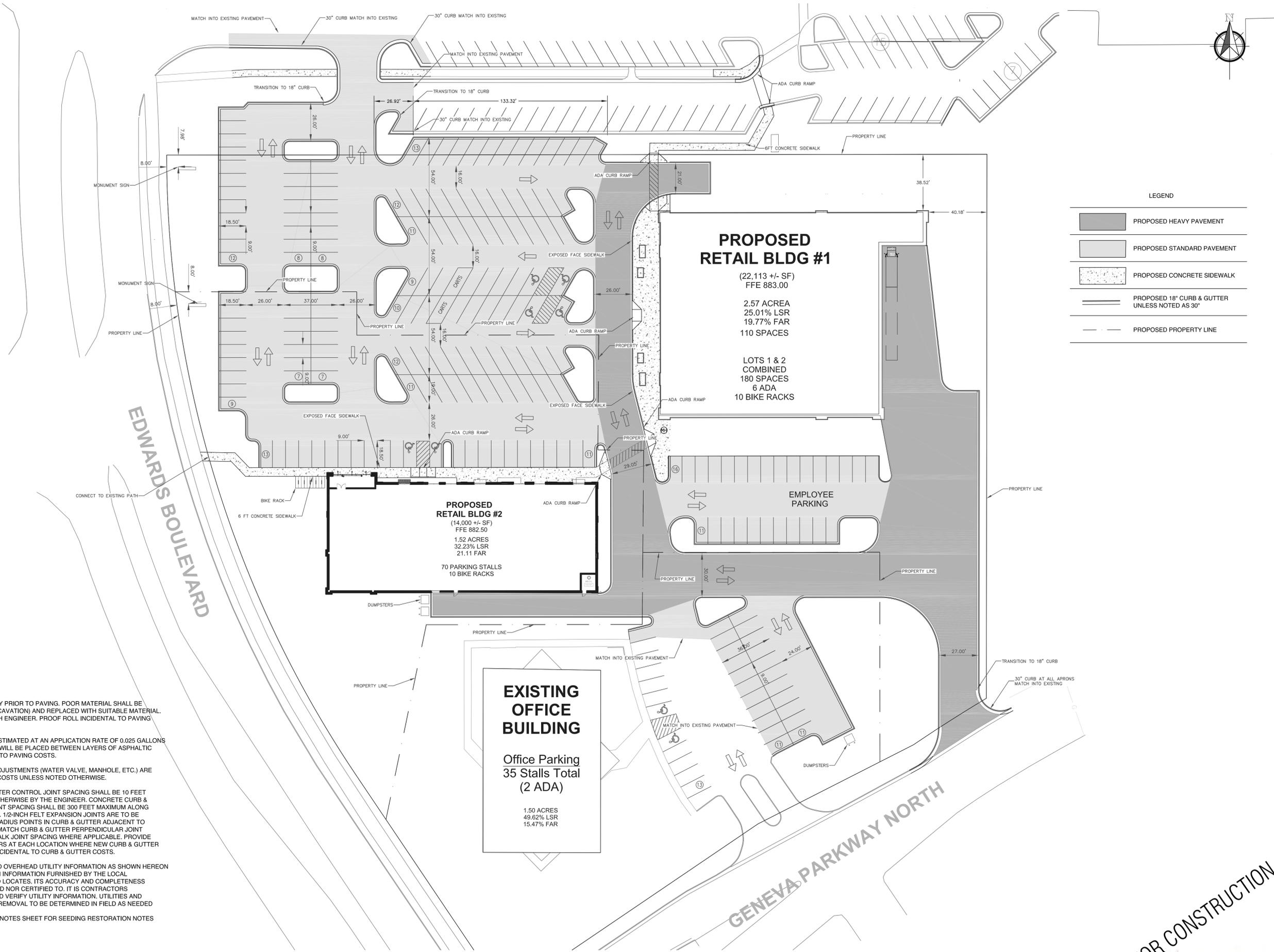
RESOLVED: THAT THE CERTIFIED SURVEY MAP SHOWN HEREON, IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN. OWNER KIM PISCHKE, IS HEREBY APPROVED BY THE CITY OF LAKE GENEVA ON THIS ___ DAY OF _____, 2018.

ALAN KUPSİK, MAYOR

_____, CITY CLERK



SHEET 3 OF 3
DRAFT DATE: 11/25/2016
REV. LOTS 10/12/2017
REV. LOTS 03/17/2018
REV. EASEMENT 03/28/2018
V2G JOB NO.: 2016-047



LEGEND

	PROPOSED HEAVY PAVEMENT
	PROPOSED STANDARD PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED 18" CURB & GUTTER UNLESS NOTED AS 30"
	PROPOSED PROPERTY LINE

PROPOSED RETAIL BLDG #1

(22,113 +/- SF)
FFE 883.00
2.57 ACREA
25.01% LSR
19.77% FAR
110 SPACES

LOTS 1 & 2 COMBINED
180 SPACES
6 ADA
10 BIKE RACKS

PROPOSED RETAIL BLDG #2

(14,000 +/- SF)
FFE 882.50
1.52 ACRES
32.23% LSR
21.11 FAR

70 PARKING STALLS
10 BIKE RACKS

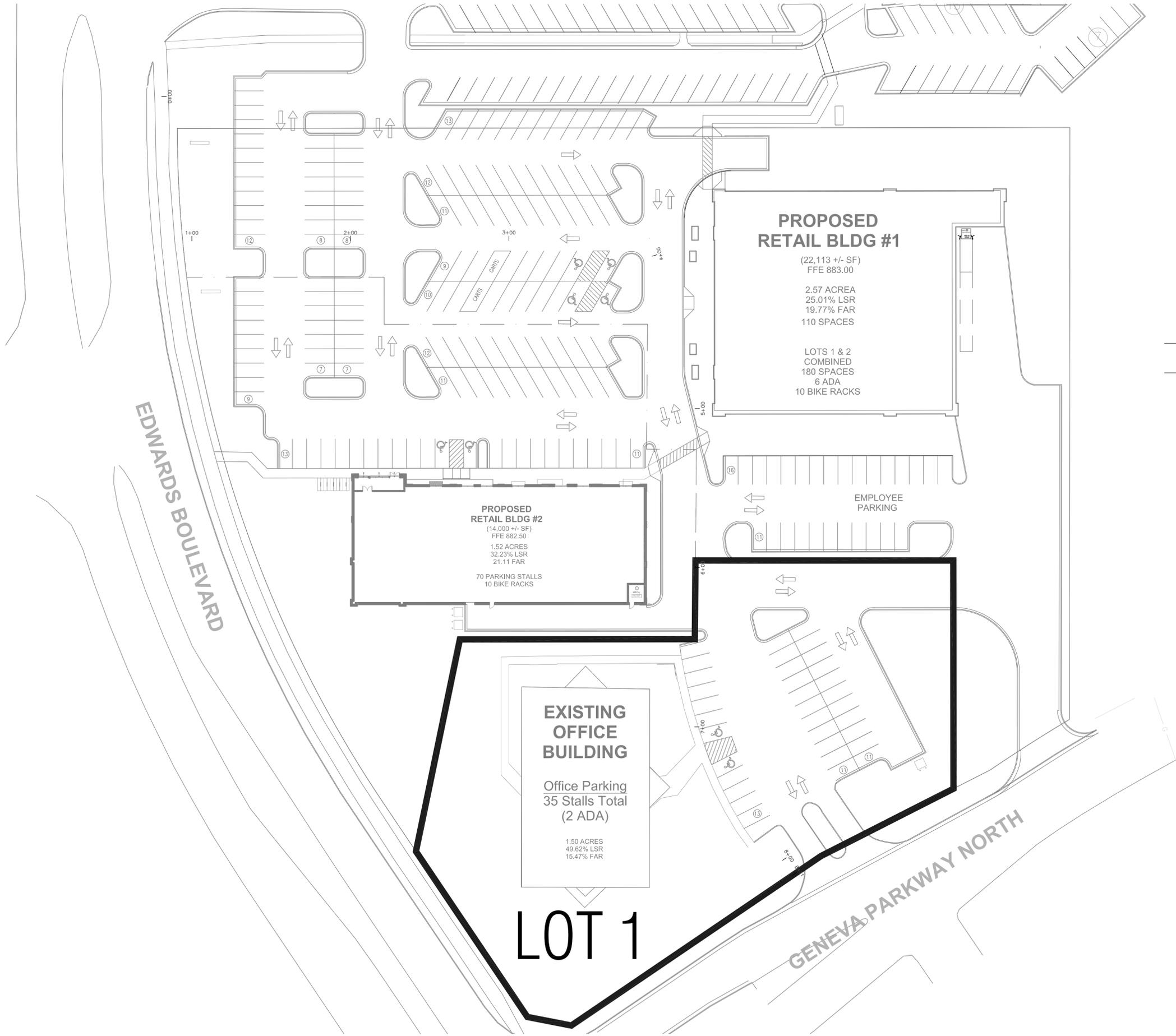
EXISTING OFFICE BUILDING

Office Parking
35 Stalls Total
(2 ADA)

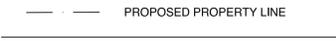
1.50 ACRES
49.62% LSR
15.47% FAR

- SITE PLAN NOTES**
1. PROOF ROLL NECESSARY PRIOR TO PAVING. POOR MATERIAL SHALL BE REMOVED (COMMON EXCAVATION) AND REPLACED WITH SUITABLE MATERIAL. CONFIRM MATERIAL WITH ENGINEER. PROOF ROLL INCIDENTAL TO PAVING COSTS.
 2. TACK COAT HAS BEEN ESTIMATED AT AN APPLICATION RATE OF 0.025 GALLONS PER SQUARE YARD AND WILL BE PLACED BETWEEN LAYERS OF ASPHALTIC PAVEMENT, INCIDENTAL TO PAVING COSTS.
 3. ANY EXISTING UTILITY ADJUSTMENTS (WATER VALVE, MANHOLE, ETC.) ARE INCIDENTAL TO PAVING COSTS UNLESS NOTED OTHERWISE.
 4. CONCRETE CURB & GUTTER CONTROL JOINT SPACING SHALL BE 10 FEET UNLESS AUTHORIZED OTHERWISE BY THE ENGINEER. CONCRETE CURB & GUTTER EXPANSION JOINT SPACING SHALL BE 300 FEET MAXIMUM ALONG TANGENTS AND CURVES. 1/2-INCH FELT EXPANSION JOINTS ARE TO BE CONSTRUCTED AT ALL RADIUS POINTS IN CURB & GUTTER ADJACENT TO ASPHALTIC PAVEMENT. MATCH CURB & GUTTER PERPENDICULAR JOINT SPACING TO THE SIDEWALK JOINT SPACING WHERE APPLICABLE. PROVIDE COATED DRILLED TIE BARS AT EACH LOCATION WHERE NEW CURB & GUTTER JOINS WITH EXISTING, INCIDENTAL TO CURB & GUTTER COSTS.
 5. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY THE LOCAL MUNICIPALITY AND FIELD LOCATES. ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO. IT IS CONTRACTORS RESPONSIBILITY TO FIELD VERIFY UTILITY INFORMATION. UTILITIES AND ADDITIONAL ITEMS FOR REMOVAL TO BE DETERMINED IN FIELD AS NEEDED
 6. SEE EROSION CONTROL NOTES SHEET FOR SEEDING RESTORATION NOTES





LEGEND



Sketchworks
architecture llc
7760 ELLAWOOD AVENUE, SUITE 208 - MADISON, WISCONSIN - 53662

ROSS DRESS FOR LESS
RETAIL DEVELOPMENT
LAKE GENEVA, WISCONSIN

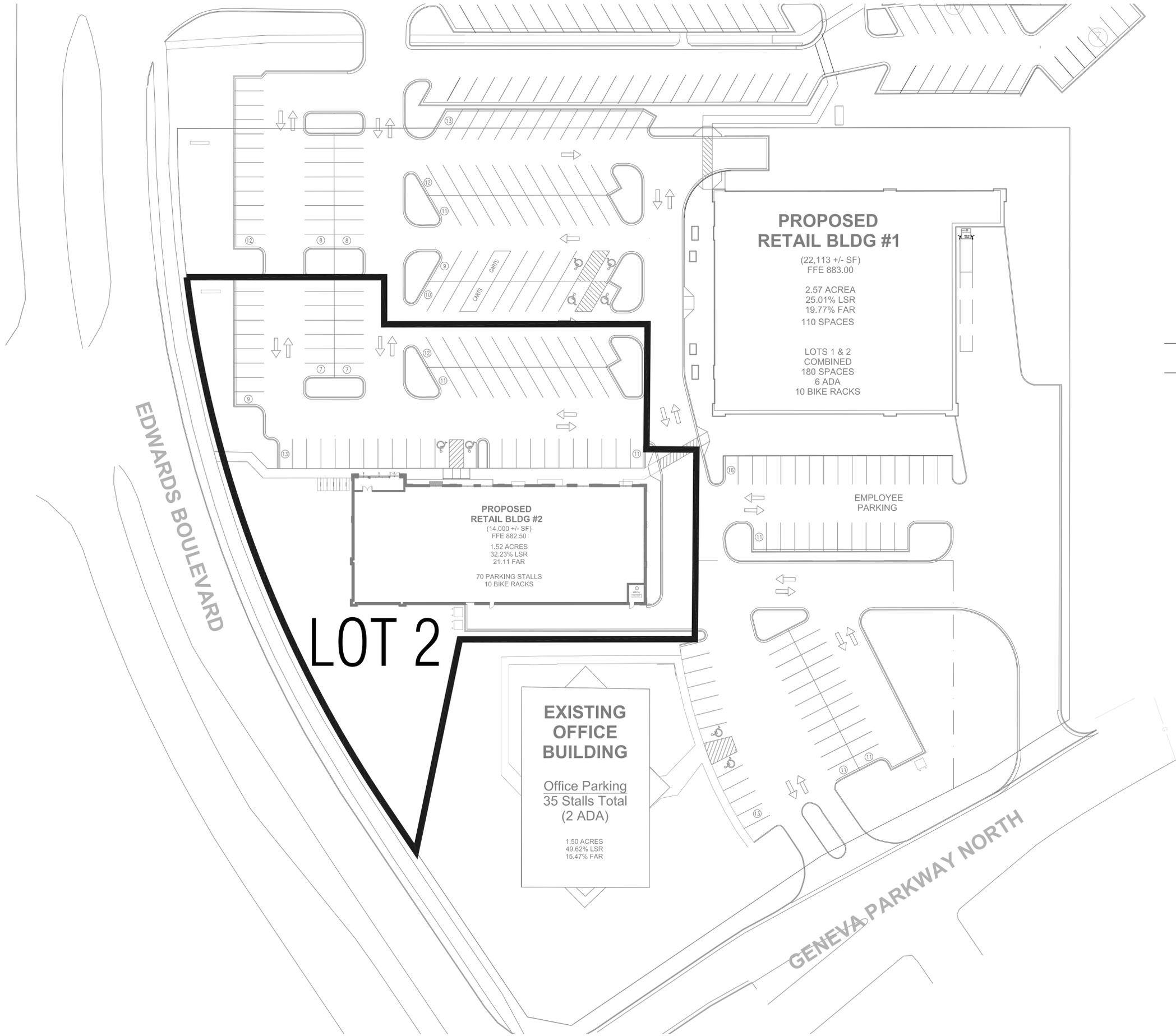
PRELIMINARY
LOT 1

03/28/18
STAFF REVIEW



NOT FOR CONSTRUCTION
CARDINAL
ENGINEERING
DESIGNING IN TRUE DIRECTIONS
262-757-8778
www.cardinalengineeringwi.com

C-4



**PROPOSED
RETAIL BLDG #1**

(22,113 +/- SF)
FFE 883.00

2.57 ACREA
25.01% LSR
19.77% FAR
110 SPACES

LOTS 1 & 2
COMBINED
180 SPACES
6 ADA
10 BIKE RACKS

**PROPOSED
RETAIL BLDG #2**

(14,000 +/- SF)
FFE 882.50

1.52 ACRES
32.23% LSR
21.11 FAR

70 PARKING STALLS
10 BIKE RACKS

**EXISTING
OFFICE
BUILDING**

Office Parking
35 Stalls Total
(2 ADA)

1.50 ACRES
49.62% LSR
15.47% FAR

LOT 2

EDWARDS BOULEVARD

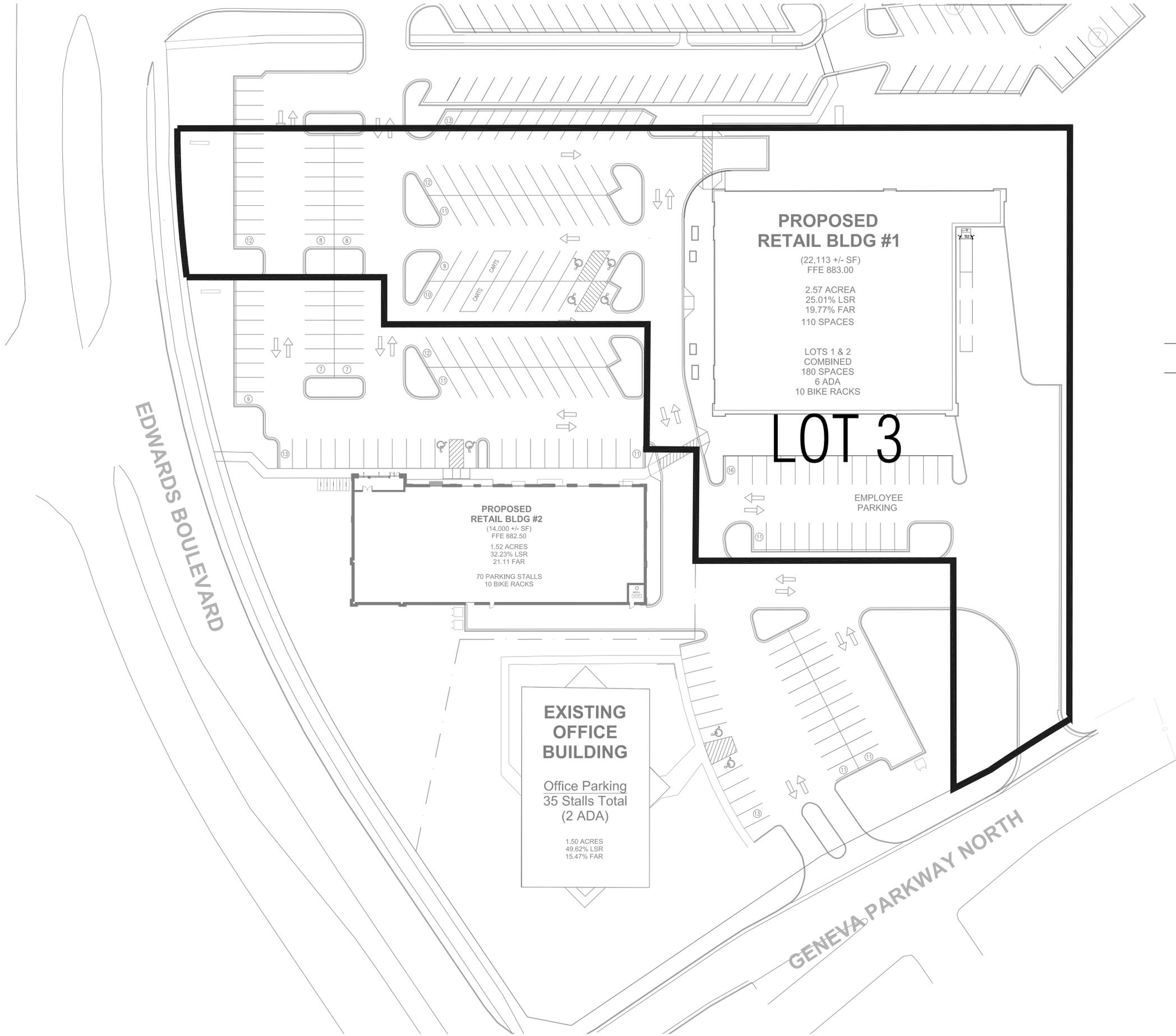
GENEVA PARKWAY NORTH



LEGEND

--- PROPOSED PROPERTY LINE





**PROPOSED
RETAIL BLDG #1**

(22,113 +/- SF)
FFE 883.00

2.57 ACRES
25.01% LSR
19.77% FAR
110 SPACES

LOTS 1 & 2
COMBINED
180 SPACES
6 ADA
10 BIKE RACKS

LOT 3

EMPLOYEE
PARKING

**PROPOSED
RETAIL BLDG #2**

(14,000 +/- SF)
FFE 882.50

1.52 ACRES
32.23% LSR
21.11 FAR

70 PARKING STALLS
10 BIKE RACKS

**EXISTING
OFFICE
BUILDING**

Office Parking
35 Stalls Total
(2 ADA)

1.50 ACRES
49.62% LSR
15.47% FAR



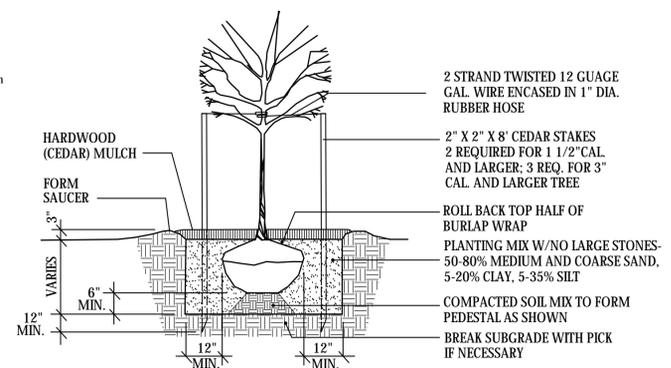
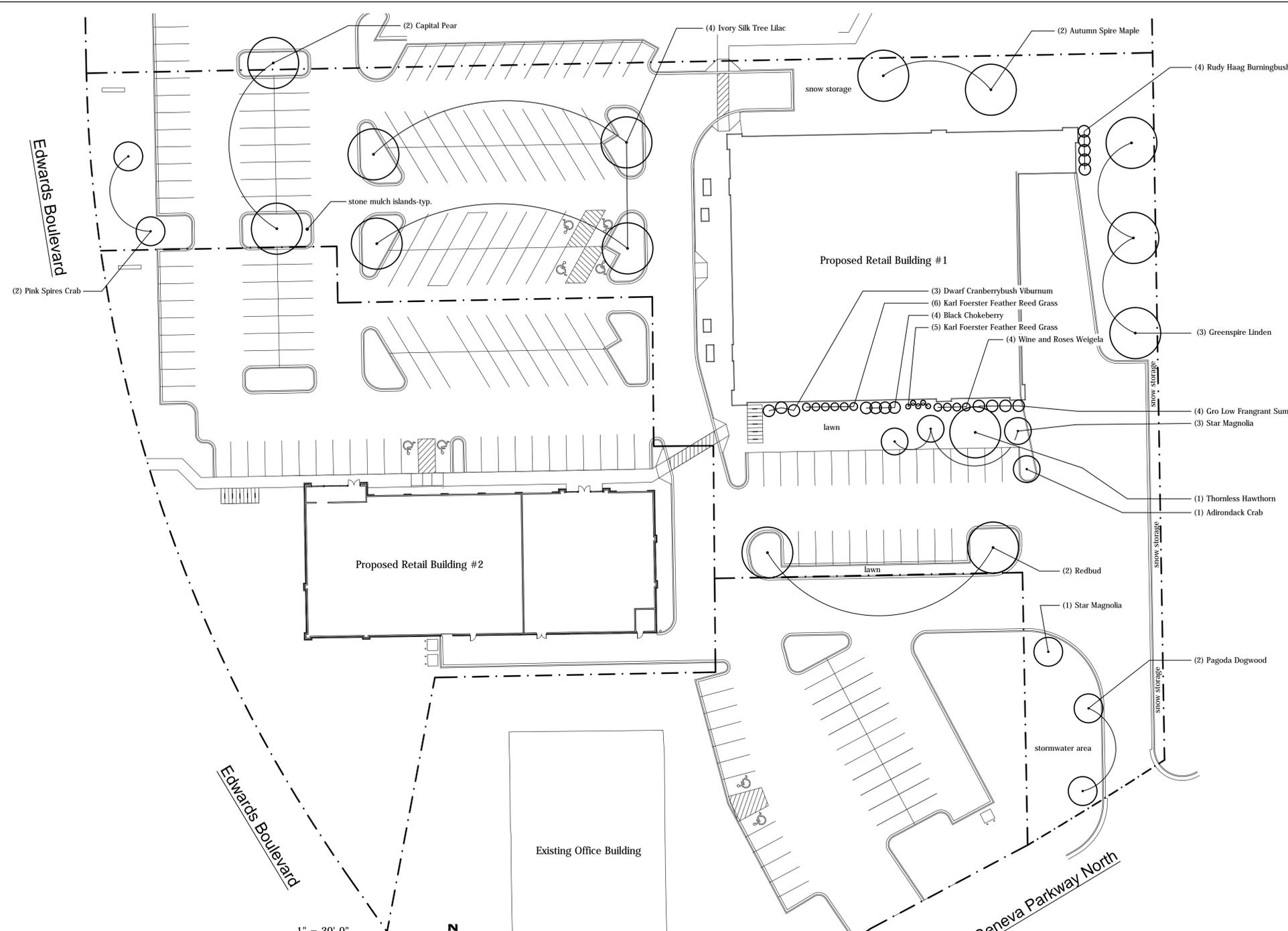
LEGEND

--- PROPOSED PROPERTY LINE

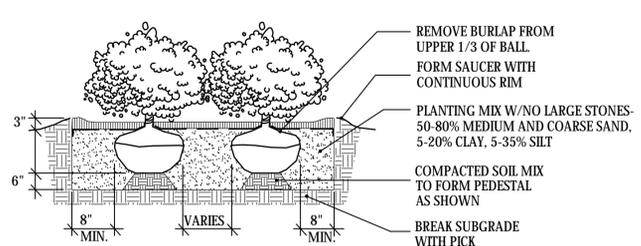
EDWARDS BOULEVARD

GENEVA PARKWAY NORTH

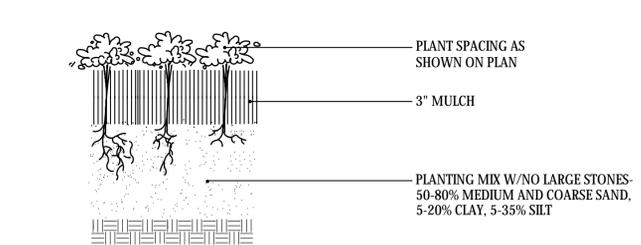




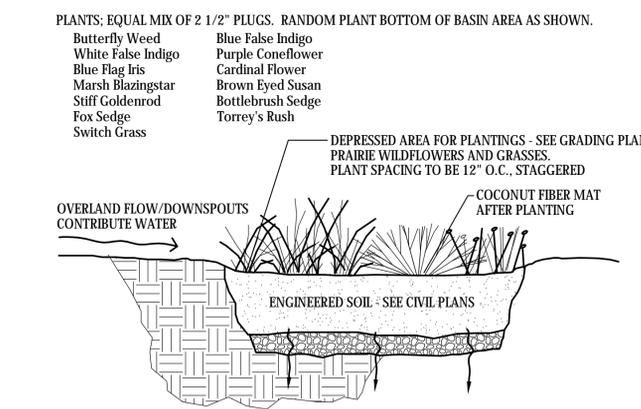
2 TREE PLANTING
NTS



3 SHRUB PLANTING
NTS

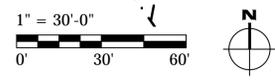


4 PERENNIAL PLANTING
NTS



5 BIOINFILTRATION AREA PLANTS
NTS

1 LANDSCAPE PLAN



- Notes:**
- Individual tree and shrub groupings found within lawn areas are to receive wood mulch rings and/or wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
 - "Edging" to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design: Valley View Black Diamond. Valley View Industries. (www.valleyviewintl.com/professionals/)
 - "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation. (www.seedsolutions.com)
 - Unless otherwise indicated, plant beds to receive locally available, clean washed 1 1/2" - 2 1/2" durable landscape stone spread to a 3" min. depth over a commercial grade weed barrier fabric.
 - Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

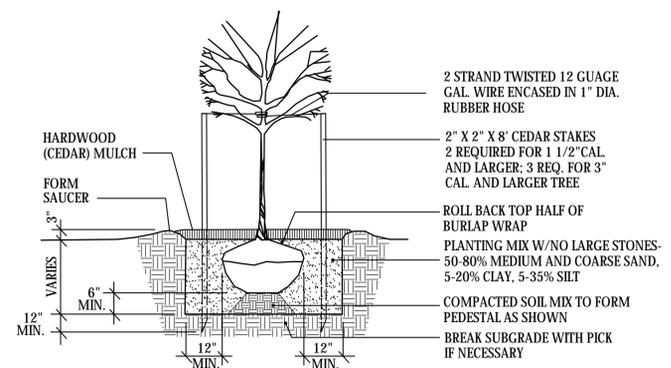
Article VI: Landscaping and Bufferyard Regulations
Zoning: Planned Business Development
Landscape Requirement Measurements

Building Foundations:	Site	Min. Required Points
40 landscape points per 100 lf	656 lf	263
Developed Lot: 10 landscape points per 1,000 gross floor area	22,450 sf	225
Street Frontage: 40 landscape points per 100 lf	179 lf	72
Area of Paved Areas: 80 landscape points per 10,000 sf	58,840 sf	471
Total Points Required		1,031

Landscaping Points and Min. Installation Sizes:

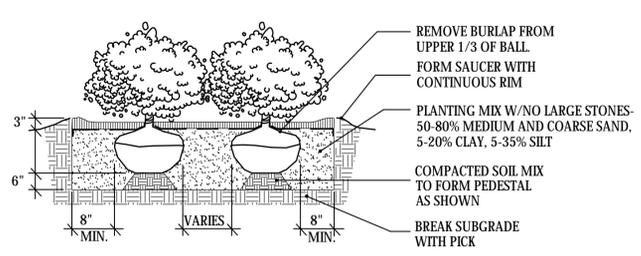
Plant Category	Min. size	Points	Proposed Qty.	Points
Climax Tree	2" cal.	75	14	1,050
Tall Deciduous Tree	1 1/2" cal.	30	5	150
Med. Deciduous Tree	6" tall	15	-	-
Tall Evergreen Tree	5" tall	40	-	-
Tall Deciduous Shrub	36" tall	5	3	15
Low Deciduous Shrub	18" tall	1	15	15
Total Points Proposed				1,230

TREES		
Redbud	<i>Cercis canadensis</i> 'Columbus Strain'	2" cal.
Pink Spires Crab	<i>Malus Pink Spires</i>	6" ht.
Pagoda Dogwood	<i>Cornus alternifolia</i>	1 1/2" cal.
Capital Pear	<i>Pyrus calleryana</i> 'Capital'	2" cal.
Ivory Silk Tree Lilac	<i>Syringa reticulata</i> 'Ivory Silk'	2" cal.
Autumn Spire Maple	<i>Acer rubrum</i> 'Autumn Spire'	2" cal.
Greenspire Littleleaf Linden	<i>Tilia cordata</i> 'Greenspire'	2" cal.
Thornless Cocksbur Hawthorn	<i>Crataegus crus-galli</i> 'inermis'	1 1/2" cal.
Adirondack Crab	<i>Malus 'Adirondack'</i>	6" ht.
SHRUBS		
Dwarf Cranberrybush Viburnum	<i>Viburnum trilobum</i> 'Compactum'	18" ht.
Rudy Haag Burningbush	<i>Euonymus alatus</i> 'Rudy Haag'	18" ht.
Wine and Roses Weigela	<i>Weigela florida</i> 'Alexandra'	18" ht.
Gro low Fragrant Sumac	<i>Rhus aromatica</i>	18" ht.
Star Magnolia	<i>Magnolia stellata</i>	36" ht.
Black Chokeberry	<i>Aronia melanocarpa</i>	18" ht.
PERENNIALS		
Karl Foerster Feather Reed Grass	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	1 gal.



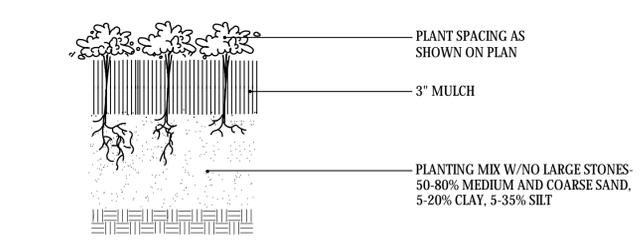
2 TREE PLANTING

NTS



3 SHRUB PLANTING

NTS

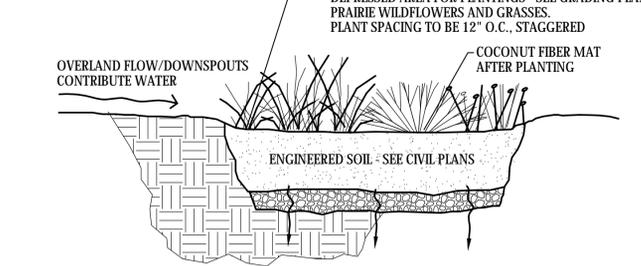


4 PERENNIAL PLANTING

NTS

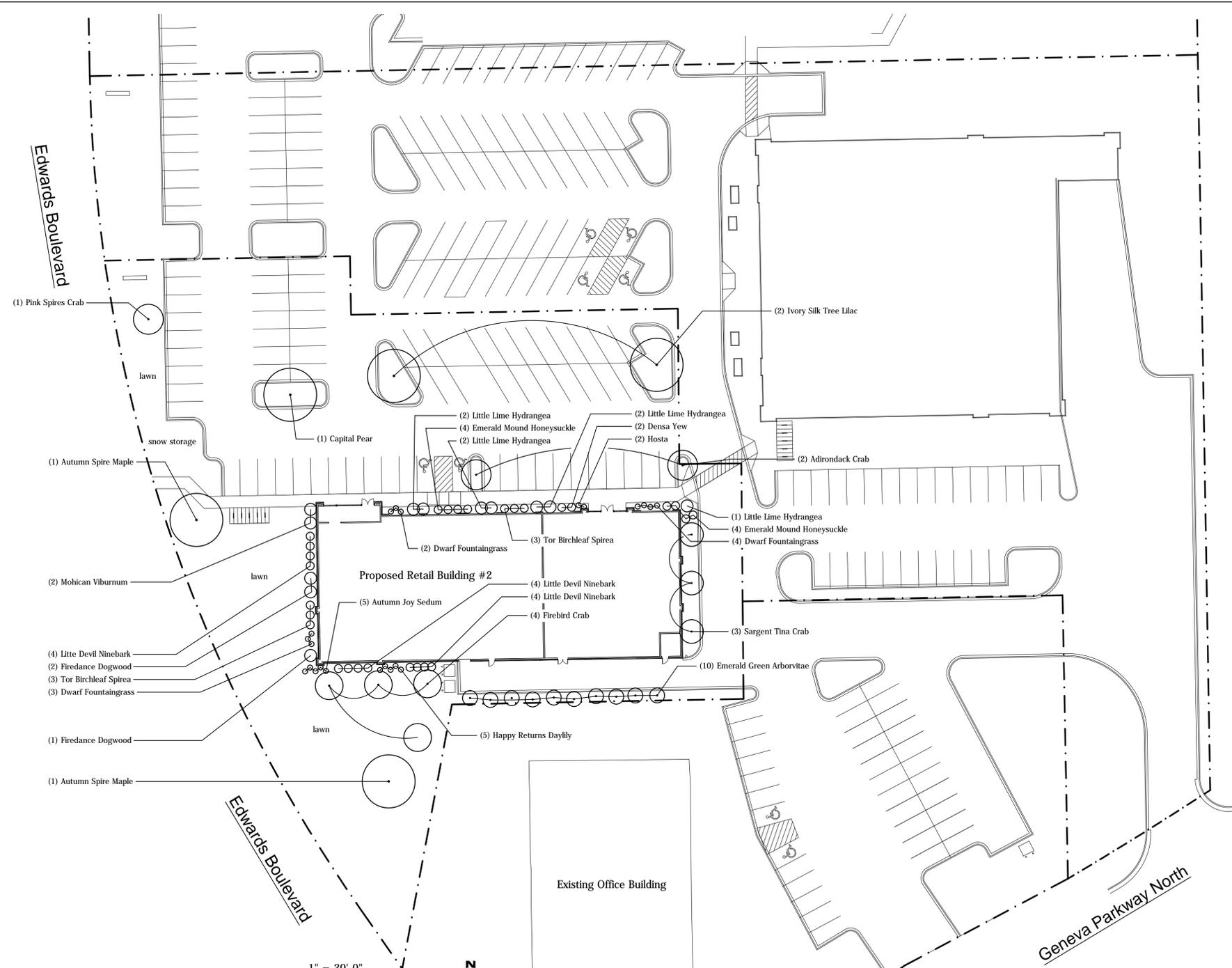
PLANTS: EQUAL MIX OF 2 1/2" PLUGS. RANDOM PLANT BOTTOM OF BASIN AREA AS SHOWN.

- Butterfly Weed
- White False Indigo
- Blue Flag Iris
- Marsh Blazingstar
- Stiff Goldenrod
- Fox Sedge
- Switch Grass
- Blue False Indigo
- Purple Coneflower
- Cardinal Flower
- Brown Eyed Susan
- Bottlebrush Sedge
- Torrey's Rush



5 BIOINFILTRATION AREA PLANTS

NTS



1 LANDSCAPE PLAN

Notes:

- Individual tree and shrub groupings found within lawn areas are to receive wood mulch rings and/or wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
- "Edging" to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design: Valley View Black Diamond. Valley View Industries. (www.valleyviewind.com/professionals/)
- Lawn areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation. (www.seedsolutions.com)
- Unless otherwise indicated, plant beds to receive locally available, clean washed 1 1/2" - 2 1/2" durable landscape stone spread to a 3" min. depth over a commercial grade weed barrier fabric.
- Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

Article VI: Landscaping and Bufferyard Regulations
Zoning: Planned Business Development
Landscape Requirement Measurements

Building Foundations:	40 landscape points per 100 lf	537 lf	215
Developed Lot:	10 landscape points per 1,000 gross floor area	14,075 sf	140
Street Frontage:	40 landscape points per 100 lf	392 lf	157
Area of Paved Areas:	80 landscape points per 10,000 sf	24,920 sf	200
Total Points Required			712

Landscaping Points and Min. Installation Sizes:		Proposed	
Plant Category	Min. size	Points	Qty. Points
Climax Tree	2" cal.	75	5 375
Tall Deciduous Tree	1 1/2" cal.	30	-
Med. Deciduous Tree	6" tall	15	7 105
Tall Evergreen Tree	5" tall	40	10 400
Tall Deciduous Shrub	36" tall	5	11 55
Low Deciduous Shrub	18" tall	1	27 27
Total Points Proposed			962

TREES		
Pink Spires Crab	Malus Pink Spires	6' ht.
Fire Bird Crab	Malus sergentii 'Select A'	6' ht.
Emerald Green Arborvitae	Thuja emerald	6' ht.
Capital Pear	Pyrus calleryana 'Capital'	2" cal.
Ivory Silk Tree Lilac	Syringa reticulata 'Ivory Silk'	2" cal.
Autumn Spire Maple	Acer rubrum 'Autumn Spire'	2" cal.
Adirondack Crab	Malus 'Adirondack'	6' ht.
Sargent Tina Crab	Malus sergentii 'Tina'	6' ht.

SHRUBS		
Little Devil Nineback	Physocarpus opulifolius 'Little Devil'	18" ht.
Little Lime Hydrangea	Hydrangea paniculata 'Little Lime'	18" ht.
Emerald Mound Honeysuckle	Lonicera xylosteum 'Emerald Mound'	18" ht.
Mohican Viburnum	Viburnum lantana 'Mohican'	18" ht.
Tor Birchleaf Spirea	Spiraea betulifolia 'Tor'	18" ht.
Firedance Dogwood	Cornus sericea 'Bailadeline'	18" ht.
Densa Yew	Taxus cuspidata 'Densata'	18" ht.

PERENNIALS		
Autumn Joy Sedum	Sedum spectabile 'Autumn Joy'	1 gal.
Dwarf Fountaingrass	Pennisetum alopecuroides 'Hamel'	1 gal.
Happy Returns Daylily	Hemerocallis 'Happy Returns'	1 gal.
Varieted Hosta	Hosta sieboldiana 'Elegans'	1 gal.

CONTRACTOR:
 MILLER ELECT. CO
 INC
 313 WEST VINE
 STREET
 MILWAUKEE WI
 53212
 414-265-2521
 DEL McCLURE

**ROSS ANCHORED SITE - LAKE GENEVA
 RAB - LITHONIA VE OPTIONS**

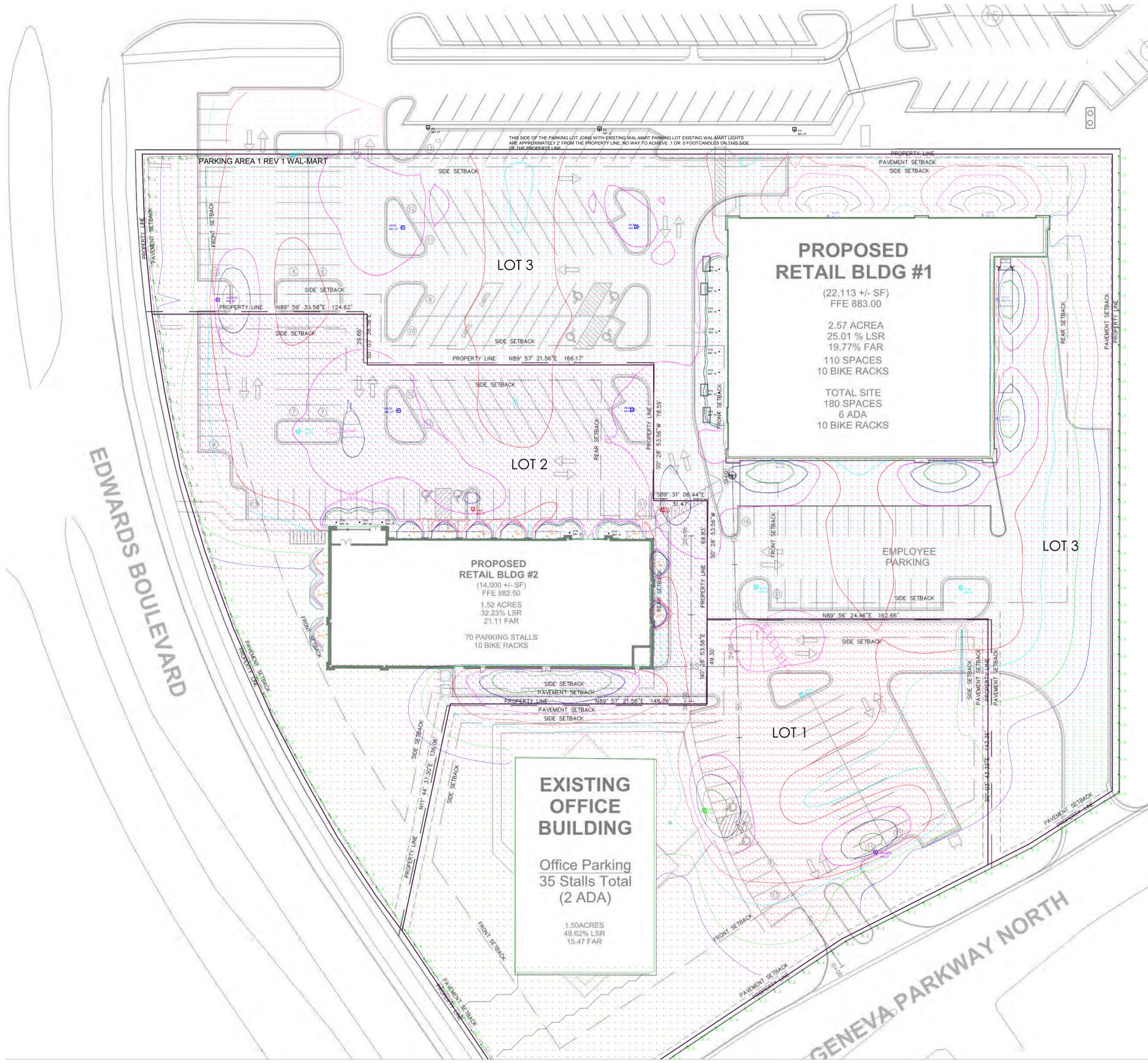
Scale: Feet

Date: 3/28/2018

Drawn By
 Eric Svobda
 Lighting Designer
 Viking Electric Supply
 Phone: 414-773-4451
 Email: eric.svobda@vikingelectric.com

FLOOR PLAN

Revisions:
 1. REVISED LAYOUT
 2. REVISED ZONES



ROSS PARKING
 Scale: 1 inch= 25 Ft.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE REV 1	Illuminance	Fc	1.18	52.9	0.0	N.A.	N.A.
PARKING AREA 1 REV 1 WAL-MART	Illuminance	Fc	1.51	2.4	0.4	3.78	6.00
PARKING AREA LOT 1	Illuminance	Fc	1.39	4.8	0.1	13.90	48.00
PARKING AREA LOT 2	Illuminance	Fc	2.41	54.0	0.2	12.05	270.00
PARKING AREA LOT 3	Illuminance	Fc	1.51	15.0	0.0	N.A.	N.A.
PROPERTY LINE REV 1	Illuminance	Fc	0.03	0.4	0.0	N.A.	N.A.

Tag	Symbol	Qty	Lum. Lumens	Total Watts	LLF	Description
A3-01	[Symbol]	2	7264	131.2	0.980	RAB - LOT3T65_D10
A3-02	[Symbol]	1	12807	110.3	0.980	RAB - LOT3T110_D10
A3-02HS	[Symbol]	2	8959	221.4	0.900	LOT3T110_D10_HS
A5-02	[Symbol]	5	12876	554	0.980	RAB - LOT5T110_D10
A5-03	[Symbol]	4	18324	645.2	0.980	RAB - LOT5T160_D10
W3-01	[Symbol]	8	6855	441.6	0.900	RAB - ALED3T50 - RWLED3T50SF - WPLED3T50 (TYPE III)
D10	[Symbol]	13	1677	260	0.900	RAB - ND6R20D-NDLED6RD-60N-W-W
S	[Symbol]	11	2789	381.59	1.000	LITHONIA - LDN6CYL 50/10 LOGAR LS MVOLT EZ10 WM DDB WL
EX	[Symbol]	3	12807	330.9	0.900	EXISTING WAL-MART FIXTURE ESTIMATED 12000 LUMEN

CONTRACTOR:
MILLER ELECT. CO
INC
313 WEST VINE
STREET
MILWAUKEE WI
53212
414-265-2521
DEL McCLURE

ROSS ANCHORED SITE - LAKE GENEVA
RAB - LITHONIA VE OPTIONS

Scale: Feet

Date: 3/28/2018

Drawn By
Eric Svoboda
Lighting Designer
Viking Electric Supply
Phone: 414-773-4451
Email: eric.svoboda@vikingelectric.com

CUTSHEETS

Revisions:
1. REVISED LAYOUT
2. REVISED ZONES

PS4-11-25D2 **RAB**

Project: _____ Type: _____
Prepared By: _____ Date: _____

Lamp Info **Ballast Info**

Type:	NA	Type:	NA
Watts:	5W	Color Temp:	5000K
Base:	NA	Color Accuracy:	72 CRI
Beam Size:	NA	L70 lifespan:	100000
Beam:	NA	Lumens:	680
ANSI:	NA	Input Watts:	5W
Hours:	NA	Input Voltage:	277V
Lamp Lifetime:	NA	Efficiency:	99%

Specify exact color desired for 2 Area Lights at 180°. Designed for ground mounting. Poles are included (optional) for quick installation. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze Weight: 18.0 lbs

Technical Specifications

Listings: UL Listed: Suitable for wet locations.

Construction: 40000 A.I. minimum yield.

Hand Holes: Reinforced with grounding lug and removable cover.

Base Plates: 36000 A.I. minimum yield.

Shipping Protection: All poles are shipped in individual corrugated cartons to prevent frame damage.

Color: Bronze powder coating.

Height: 25 FT.

Weight: 18.0 lbs

Anchor Bolt: Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates: 1/2" x 11" x 11" Template must be printed on 11" x 11" sheet for actual size. CHECK SCALE BEFORE USING. Template shipped with anchor bolts and pre-shipped anchor bolts.

Max EPM/Max Weights: 750 EPM @ 110.0 lbs, 800 EPM @ 110.0 lbs, 500 EPM @ 110.0 lbs.

Ball Circles: 8 1/2"

Ball Dimensions: 7"

Buy American Act Compliance: RAB uses 100% manufacturing (upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Sheet 1 of 1 | Viking Electric Supply | All Rights Reserved | Note: Specifications are subject to change at any time without notice.

Image File : TYPE A3-01 POLE - PS4-11-25D2

LOT3T65/D10 **RAB**

Project: _____ Type: _____
Prepared By: _____ Date: _____

Driver Info **LED Info**

Type:	120V	Constant Current:	NA	Watts:	65W
208V:	0.85A	Color Temp:	5000K	Color Accuracy:	72 CRI
240V:	0.85A	L70 lifespan:	100000	Lumens:	720
277V:	0.85A	Lumens:	720	Input Watts:	65W
Input Watts:	65W	Efficiency:	99%		

Specify exact color desired for 2 Area Lights at 180°. Designed for ground mounting. Poles are included (optional) for quick installation. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze Weight: 20.9 lbs

Technical Specifications

Listings: UL Listed: Suitable for wet locations.

DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Construction: Formulated for high-durability and long-lasting color.

Green Technology: Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replace with 120V Metal Halide.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Drive as low as 10%.

Surge Protection: L-N and L-GND BIV

LED Characteristics: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Sheet 1 of 1 | Viking Electric Supply | All Rights Reserved | Note: Specifications are subject to change at any time without notice.

Image File : type c3-01 - LOT3T65_D10

LOT3T10/D10 **RAB**

Project: _____ Type: _____
Prepared By: _____ Date: _____

Driver Info **LED Info**

Type:	120V	Constant Current:	NA	Watts:	110W
208V:	0.85A	Color Temp:	5000K	Color Accuracy:	72 CRI
240V:	0.85A	L70 lifespan:	100000	Lumens:	1200
277V:	0.85A	Lumens:	1200	Input Watts:	110W
Input Watts:	110W	Efficiency:	99%		

Specify exact color desired for 2 Area Lights at 180°. Designed for ground mounting. Poles are included (optional) for quick installation. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze Weight: 20.9 lbs

Technical Specifications

Listings: UL Listed: Suitable for wet locations.

DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Construction: Formulated for high-durability and long-lasting color.

Green Technology: Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replace with 120V Metal Halide.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Drive as low as 10%.

Surge Protection: L-N and L-GND BIV

LED Characteristics: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Sheet 1 of 1 | Viking Electric Supply | All Rights Reserved | Note: Specifications are subject to change at any time without notice.

Image File : type c3-02 - LOT3T10_D10

LOT3T65/D10/HS **RAB**

Project: _____ Type: _____
Prepared By: _____ Date: _____

Driver Info **LED Info**

Type:	120V	Constant Current:	NA	Watts:	65W
208V:	0.85A	Color Temp:	5000K	Color Accuracy:	72 CRI
240V:	0.85A	L70 lifespan:	100000	Lumens:	680
277V:	0.85A	Lumens:	680	Input Watts:	65W
Input Watts:	65W	Efficiency:	99%		

Specify exact color desired for 2 Area Lights at 180°. Designed for ground mounting. Poles are included (optional) for quick installation. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze Weight: 20.9 lbs

Technical Specifications

Listings: UL Listed: Suitable for wet locations.

DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Construction: Formulated for high-durability and long-lasting color.

Green Technology: Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replace with 120V Metal Halide.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Drive as low as 10%.

Surge Protection: L-N and L-GND BIV

LED Characteristics: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Sheet 1 of 1 | Viking Electric Supply | All Rights Reserved | Note: Specifications are subject to change at any time without notice.

Image File : TYPE A3-02HS - LOT3T65_D10_HS

LOT5T110/D10 **RAB**

Project: _____ Type: _____
Prepared By: _____ Date: _____

Driver Info **LED Info**

Type:	120V	Constant Current:	NA	Watts:	110W
208V:	0.85A	Color Temp:	5000K	Color Accuracy:	72 CRI
240V:	0.85A	L70 lifespan:	100000	Lumens:	1200
277V:	0.85A	Lumens:	1200	Input Watts:	110W
Input Watts:	110W	Efficiency:	99%		

Specify exact color desired for 2 Area Lights at 180°. Designed for ground mounting. Poles are included (optional) for quick installation. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze Weight: 20.9 lbs

Technical Specifications

Listings: UL Listed: Suitable for wet locations.

DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Construction: Formulated for high-durability and long-lasting color.

Green Technology: Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replace with 120V Metal Halide.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Drive as low as 10%.

Surge Protection: L-N and L-GND BIV

LED Characteristics: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Sheet 1 of 1 | Viking Electric Supply | All Rights Reserved | Note: Specifications are subject to change at any time without notice.

Image File : type a5-02 - LOT5T110_D10

LOT5T160/D10 **RAB**

Project: _____ Type: _____
Prepared By: _____ Date: _____

Driver Info **LED Info**

Type:	120V	Constant Current:	NA	Watts:	160W
208V:	0.85A	Color Temp:	5000K	Color Accuracy:	72 CRI
240V:	0.85A	L70 lifespan:	100000	Lumens:	1600
277V:	0.85A	Lumens:	1600	Input Watts:	160W
Input Watts:	160W	Efficiency:	99%		

Specify exact color desired for 2 Area Lights at 180°. Designed for ground mounting. Poles are included (optional) for quick installation. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze Weight: 20.9 lbs

Technical Specifications

Listings: UL Listed: Suitable for wet locations.

DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Construction: Formulated for high-durability and long-lasting color.

Green Technology: Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replace with 120V Metal Halide.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Drive as low as 10%.

Surge Protection: L-N and L-GND BIV

LED Characteristics: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Sheet 1 of 1 | Viking Electric Supply | All Rights Reserved | Note: Specifications are subject to change at any time without notice.

Image File : type a5-03 - LOT5T160_D10

NDLED6RD-50N-W-W **RAB**

Project: _____ Type: _____
Prepared By: _____ Date: _____

Driver Info **LED Info**

Type:	120V	See Rough-in*	Watts:	NA
208V:	See Rough-in*	Color Temp:	4000K	
240V:	See Rough-in*	Color Accuracy:	92 CRI	
277V:	See Rough-in*	L70 lifespan:	100000	
Input Watts:	See Rough-in*	Lumens:	2000-1621*	
Efficiency:	See Rough-in*	Input Watts:	200W/162W*	
		Efficiency:	NA	

High performance LED downlight module for use with RAB new construction rough-in. Incorporating diffusion lens optimizes lumens output and delivers smooth, uniform illumination that enhances any space.

Color: White cone white trim Weight: 2.0 lbs

Technical Specifications

Listings: UL Listed: Suitable for wet locations (recessed only).

ENERGY STAR® V2.0 Certified: NDLED can be used in ENERGY STAR® V2.0 Certified.

Optical: Photometrics are based on standard practices. Contact the RAB Lighting Design department for the most up-to-date data.

Trim Component: The component must be ordered with a compatible Rough-in Module in order to make a complete fixture.

Housing: Professional grade, die-cast aluminum construction.

Trim Ring: White powder coated die cast trim ring.

Trim Cap: White round trim cap.

Drop Ceiling Installation: NDLED can be installed in drop ceiling tiles when using optional aluminum trim and following local installation codes.

Aperture Size: 8" trim module.

Easy Installation: The EZ-Connector makes installation easy.

Juncton Box: Integral junction box with wiring capacity for Min 30°C supply conductors.

Electrical: Dimming: Dimmable. Requires rough-in with dimming driver.

Dimming Driver: 0-10V (at 120-277V), TRIAC and ELV (at 120V only).

All-Other: Housing certified Air-Tight as per ASTM E283.

Warranty: RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish.

Buy American Act Compliance: RAB uses 100% manufacturing (upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

LED Characteristics: 3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Sheet 1 of 1 | Viking Electric Supply | All Rights Reserved | Note: Specifications are subject to change at any time without notice.

Image File : TYPE D10 - NDLED6RD-50N-W-W

WPLED3T50 **RAB**

Project: _____ Type: _____
Prepared By: _____ Date: _____

Driver Info **LED Info**

Type:	120V	Constant Current:	NA	Watts:	50W
208V:	0.65A	Color Temp:	5000K	Color Accuracy:	71 CRI
240V:	0.65A	L70 lifespan:	100000	Lumens:	680
277V:	0.65A	Lumens:	680	Input Watts:	50W
Input Watts:	50W	Efficiency:	97%		

Ultra high output, high efficiency 50 Watt LED workpole. Patents Pending airflow technology ensures long LED and driver lifespan. 5 Year Warranty.

Color: Bronze Weight: 34.8 lbs

Technical Specifications

Listings: UL Listed: Suitable for wet locations as a downlight.

DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Construction: Formulated for high-durability and long-lasting color.

Green Technology: Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replace with 120V Metal Halide.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Drive as low as 10%.

Surge Protection: L-N and L-GND BIV

LED Characteristics: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Sheet 1 of 1 | Viking Electric Supply | All Rights Reserved | Note: Specifications are subject to change at any time without notice.

Image File : type W3-01 - WPLED3T50



SIGN FASCIA IS TO:
1) HAVE AN APPROPRIATE SUBSTRATE FOR SIGN INSTALLATION.
2) BE CLEAR OF JOINTS AND REVEALS BEHIND SIGN.
3) HAVE AN ENCLOSED, REAR ACCESS. INSTALLATION WORK AREA BEHIND SIGN (DETAIL 3/A3.0 FOR PRIMARY FEATURE). ARCHITECT OF RECORD MUST OBTAIN ACCEPTANCE OF PROPOSED CONFIGURATION FROM ROSS SIGN CONSULTANT.

COLOR LEGEND BY LRV% (LRV % = LIGHT REFLECTIVE VALUE)

THESE COLORS ARE BASED ON THE SHERWIN-WILLIAMS INTERIOR COLOR DECK. THEY REPRESENT TONE AND VALUE BY LRV % ONLY. ACTUAL LRV IS AFFECTED BY THE SURFACE APPLICATION AND TEXTURE. HEAVY TEXTURE SURFACES MUST BE LIGHTENED TO GIVE EQUIVALENT LRV LEVELS. EFS TEXTURE TO MATCH 130 STOLT 1.0 UNLESS OTHERWISE NOTED.

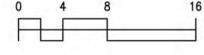
COLORS:

NO.	COLOR NAME	SW NUMBER	STRIP	LRV%
1	DOVER WHITE	SW 6385	C	83%
2	TATAMI TAN	SW 6116	17	30%
R1	BLUE IDENTITY BANDS: TK PRODUCTS "TK 6010-40" COLOR PMS 300 "ROSS BLUE" MATTE FINISH LATEX PAINT OVER SMOOTH SURFACE EFS SUBSTRATE TO PROVIDE A SMOOTH AND UNIFORM APPEARANCE; RECESSED 1"; SOURCE: TK PRODUCTS; ATTENTION: MIKE BOULKA; PHONE: 1-800-441-2129; EMAIL: MBOULKA@TKPRODUCTS.COM			
R3	LOWER WALL & BASE ARCHITECTURAL SPLIT FACE CMU			
R4	CAST STONE CAP			





1 SOUTH EXTERIOR ELEVATION
1/8"=1'-0"

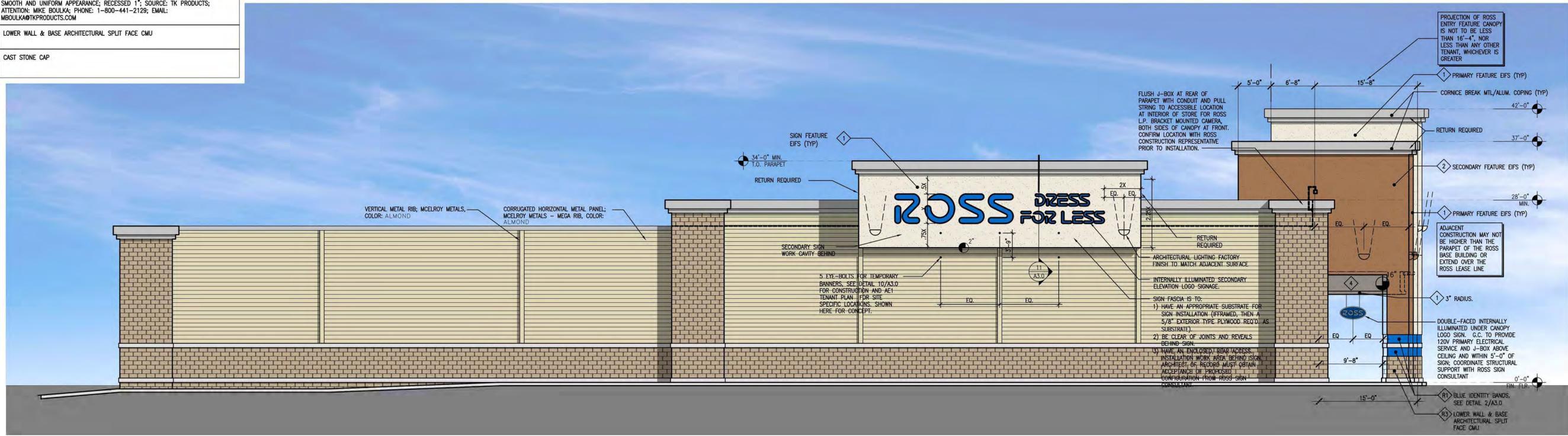


COLOR LEGEND BY LRV% (LRV% = LIGHT REFLECTIVE VALUE)

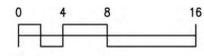
THESE COLORS ARE BASED ON THE SHERWIN-WILLIAMS INTERIOR COLOR DECK. THEY REPRESENT TONE AND VALUE BY LRV% ONLY. ACTUAL LRV IS AFFECTED BY THE SURFACE APPLICATION AND TEXTURE. HEAVY TEXTURE SURFACES MUST BE LIGHTENED TO GIVE EQUIVALENT LRV LEVELS. EFS TEXTURE TO MATCH 130 STOLTJ 1.0 UNLESS OTHERWISE NOTED.

COLORS:

NO.	COLOR NAME	SW NUMBER	STRIP	LRV%
1	DOVER WHITE	SW 6385	C	83%
2	TATAMI TAN	SW 6116	17	30%
R1	BLUE IDENTITY BANDS: TK PRODUCTS "TK 6010-40" COLOR PMS 300 "ROSS BLUE" MATTE FINISH LATEX PAINT OVER SMOOTH SURFACE EFS SUBSTRATE TO PROVIDE A SMOOTH AND UNIFORM APPEARANCE; RECESSED 1"; SOURCE: TK PRODUCTS; ATTENTION: MIKE BOULKA; PHONE: 1-800-441-2129; EMAIL: MBOULKA@TKPRODUCTS.COM			
R3	LOWER WALL & BASE ARCHITECTURAL SPLIT FACE CMU			
R4	CAST STONE CAP			



2 NORTH EXTERIOR ELEVATION
1/8"=1'-0"





March 28, 2018

City of Lake Geneva
Building & Zoning Administrator
Mr. Fred Walling
626 Geneva Street
Lake Geneva, WI 53147

Re: Site plan review - Parcels # ZGBC 00001A, ZGBC 00001 (751 Geneva Parkway), ZGBC 00002 (753 Geneva Parkway) and ZLGBP 00002 in the City of Lake Geneva, WI.

On behalf of the development team, we are submitting this letter of intent for a commercial development and redevelopment, to occur on the above mentioned parcels, located on the northwest corner of N. Edwards Blvd and Geneva Parkway, Lake Geneva, WI.

Development Team

Developer:

Core Commercial, Inc.
Kim Pischke
P.O. Box 1154
Appleton, WI 54912
920-205-9505
kimp@corewis.com

General Contractor:

MJI Building Services
Mark Ihlenfeldt
5017 Applebend Drive
Appleton, WI 54913
920-422-0015
mark@buildwithmji.com

Architect:

Sketchworks Architecture, LLC
Steve Shulfer
7780 Elmwood Avenue, Suite 208
Middleton, WI 53562
608-836-7570
sshulfer@sketchworksarch.com

Civil Engineer:

Cardinal Engineering
Ryan Cardinal
N6786 Avataia Trail
Elkhorn, WI 53121
262-379-0270
ryan@cardinalengineering.com

Landscape Architect:

Jeff Delaura, RLA
801 Bear Claw Way
Madison, WI 53717
608-334-7949
jeffreydelaura@gmail.com



Subject Properties:

Parcels totaling 5.59 acres:

- Lot 1:** 1.54 acres – 751 Geneva Parkway, Lake Geneva, WI 53147
(existing office building to remain)
- Lot 2:** 1.51 acres – 753 Geneva Parkway, Lake Geneva, WI 53147
(existing office building to be removed and new 13,915 square foot building constructed)
- Lot 3:** 2.54 acres – Vacant land to be developed for a 22,000 square foot building

Current Zoning:

- Planned Business – 2.54 acres, 22,000 SF (Building #1), Lot 3
- Planned Business – 1.51 acres, 13,915 SF (Building #2), Lot 2
- Planned Industrial – 1.54 acres, 751 Geneva Parkway, Lake Geneva, WI, Lot 1

Proposed CSM and Land Division Application have been submitted along with this submittal.

Project Description:

The proposed project consists of razing the existing, vacant office building located at 753 Geneva Parkway, Lake Geneva, WI, relocating and centralizing the parking for the existing office building located at 751 Geneva Parkway and constructing two new commercial buildings with each building located on a separate parcel.

Cross access and cross parking for all three buildings and the existing Walmart development will provide safe, efficient traffic flow between properties for customers, employees and emergency vehicles and the general public.

Lot #1, 751 Geneva Parkway (Keefe Real Estate) will remain “as is” with the exception of the relocation of the current row of parking on the north side of the building

Lot #2, Building #2 will be a single-occupant, up to 13,915 square foot building for a retail, office or medical user. The final Tenancy for this building is TBD.

Lot #3, Building #1 will be a single-occupant, 22,000 square foot retail building for Ross Dress for Less, the anchor tenant for the proposed development.

Buildings heights are shown on the attached drawings, and are approximately 42’ tall to the canopy parapet of building # 1 and 31’ to the parapet of building #2.



The development with its proposed mix of retail, office and medical users is a suitable fit within the overall landscape along Edwards Blvd, which includes the Walmart anchored development immediately to the north and northwest, medical immediately to the south and office to the south and east.

In addition, the existing retail along the Edwards Blvd/Hwy 120 corridor and the retail component proposed with our development mirrors the Lake Geneva Commons business park with retail proposed along the entire perimeter of the business park and adjacent to the north and east. While our development will be removed from the Lake Geneva Business Park and it is on a much smaller scale, our retail development and proximity to the business park is the same that the Lake Geneva Economic Development Corporation is marketing for their new business park.

Materials will be decorative concrete masonry units (CMU) to 6' tall minimum on building #1, and same on building #2 where in proximity to pedestrian contact. A field of horizontal ribbed metal panel and EIFS will be used. Decorative piers, sign bands, and glazing will comprise each building.

Serving the site will be surface parking for 180 vehicles, as well as bicycle parking for approximately 10 bicycles.

Access to the site is gained from the north, via a modification/relocation of the existing cross-access easement with Walmart, east of the current location, to align with the west access drive serving Walmart. From the south, the current driveway for 751 Geneva Parkway will remain and a cross-access easement will be created between properties. Truck deliveries will access the site from Geneva Parkway at the proposed access drive shown adjacent to the east property line.

Pedestrian access is gained via a new sidewalk and bike path entering the site from Edwards Boulevard, as well as from the existing shared sidewalk on Walmart property.

Underground storm water management, designed per code, will treat runoff and store storm water flow from the site (refer to civil engineering documents for additional design criteria).

Organizational Structure:

The existing cross access agreement with Walmart will be amended. There will be a cross access and cross parking agreement between proposed the three newly created lots.

Signage:

Two monument signs are proposed for the site, one for each building, located on the each proposed lots.



Site Lighting:

Site lighting will be provided in accordance with City ordinance.

Parking lot lighting will be accommodated via pole-mounted LED cut-off style area lighting fixtures on poles 20 feet in height. Building, entry/exit, and sidewalk lighting will be accommodated by building-mounted LED wall-pack fixtures of a cut-off / down-light style. Entry canopies will have recessed LED can lights to illuminate entry points.

A full photometric diagram of the site lighting design is included.

Landscaping:

The landscape plan is provided herein, meeting the City landscape ordinance.

The existing office building, to be located on Lot 1, will remain with sufficient landscape and greenspace as required per code.

As our team has been working with City staff for two years on this project, we believe the process and site requirements have been thoroughly vetted. We are seeking both site plan approval and CSM/Land Division approval for this development within the Planned Business zoning.

Thank you for your consideration in your review of this project.

Respectfully,

A handwritten signature in black ink, appearing to read "Steve Shulfer", written in a cursive style.

Steve Shulfer, AIA.
Sketchworks Architecture, LLC



Ross Dress for Less Commercial Development

**City of Lake Geneva
Walworth County
Wisconsin**

Stormwater Management Report

Prepared By:

**Cardinal Engineering LLC
N6786 Avataia Trail
Elkhorn, WI 53121
262-757-8776**

1/26/18

Storm Sewer Calcs and Maint. Agreement Updated 3/28/18

262-757-8776
WALWORTH COUNTY, WISCONSIN
WWW.CARDINALENGINEERINGWI.COM

January 2018

ROSS DRESS FOR LESS

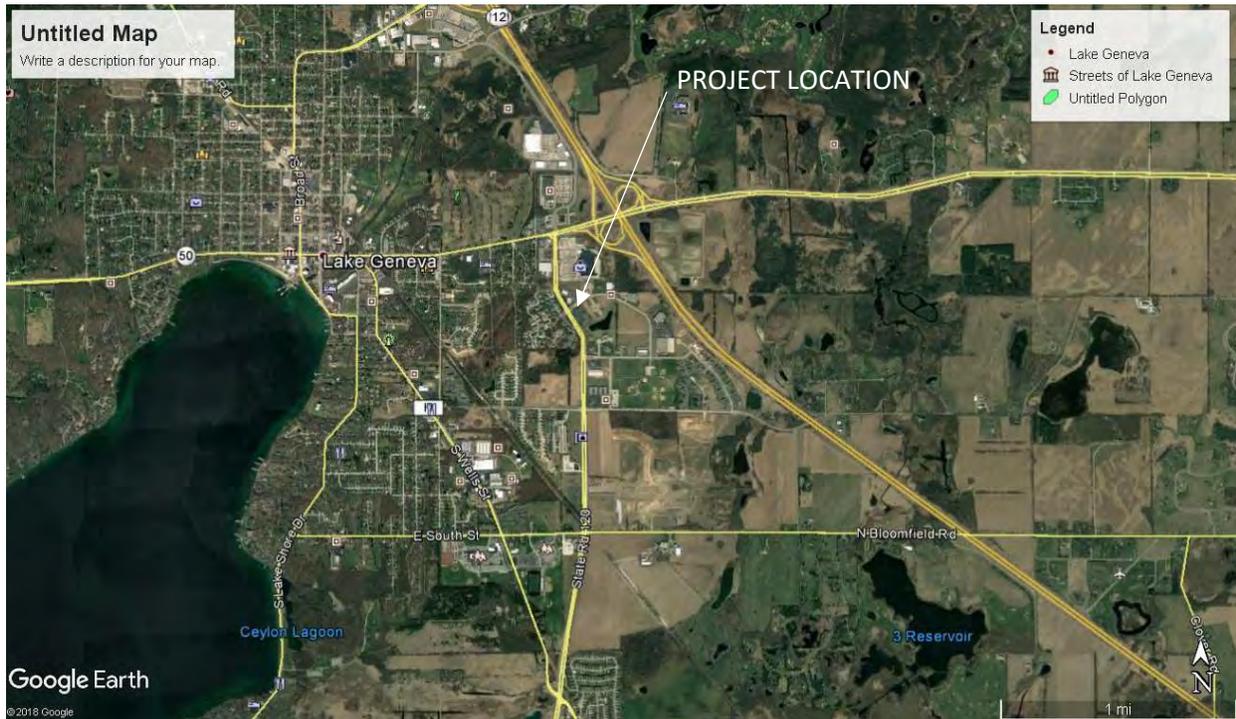
RETAIL DEVELOPMENT

PROJECT NARRATIVE

Location

The subject property is located as follows. Southwest ¼ of the Northeast ¼ and the Northwest ¼ of the Southeast ¼ of Section 31, Township 2 North, Range 18 East in the City of Lake Geneva, Walworth County, Wisconsin. The development is located on the northeast corner of Geneva Parkway and S Edwards Blvd.

Site Location Maps



Site Area Overview



Zoomed Site Area Overview

PROJECT NARRATIVE

The property is in the City of Lake Geneva. The parcel is part of the Geneva Business Center, with existing office buildings and pavement. This parcel was originally developed under plans from American Surveying Company, Inc. dated 1995 that included a total of 5 office buildings. The site was designed with stormwater drainage to the northeast, including a stormwater easement for runoff from Edwards Blvd. These plans are to specifically redevelop the site into commercial retail space.

As part of this project, a CSM will be completed leaving one building under it’s own parcel and TAX ID, being the Keefe Real Estate office building. The existing building to the Northwest will be razed and redeveloped into commercial space.

The intent of the stormwater management plan is to allow the stormwater to continue being discharged to the wetlands east of Walmart, after undergoing quantity and quality treatment. The portion of the site that is staying as “Keefe Real Estate” will be shown as a straight “pass-through” as that is not being disturbed as part of this project. The portion of the site that is being redeveloped is shown as weighted average in requirements that differ between new and redevelopment.

Below is a summary of the proposed disturbances and development of the site

Total Site: 5.59 acres

Proposed Parcel 1: 1.50 acres (Existing Keefe Real Estate Office)

Parcel 1 Greenspace: 48.86%

Proposed Parcel 2: 4.09 acres (Proposed Commercial Retail)

Parcel 2 Greenspace: 25.12%

Total Area of Disturbance: 4.83 acres

Predeveloped Impervious Surfaces: 1.51 acres (Total Site)

Predeveloped Impervious Surface Undisturbed: 0.54 acres (Keefe Site)

Predeveloped Impervious being redeveloped: 0.97 acres (Proposed Commercial Retail)

STORM WATER NARRATIVE

Existing Soils

A review of the NRCS Soil Survey indicated the existing soils of this project to be CyA (Conover silt loam, 1 to 3 percent slopes), MpB (McHenry silt loam, 2 to 6 percent slopes), and MxC2 (Miami loam, sandy loam substratum). The soils have a hydrologic soil group C/D, B, and B rating, per previously listed soils. **To be conservative, the entire site was modeled as a hydrologic soil group B, which per Lake Geneva Ordinance, has a Pre-Development Curve number of 61.**

Regulatory Requirements

This project is required to conform to Chapter 78, Article 3, § 247(i) of the Lake Geneva Municipal Code, along with WDNR NR216 and NR151. In addition to the Notice of Intent required with 1-acre of disturbance, the site will be required to achieve a weighted average of 40% reduction in TSS runoff due to the redevelopment of the site and 80% reduction of new development. The site is designed to release at the same or less of the 1, 2, 10, and 100 year 24-hour storm events.

Erosion Control Best Management Practices

Practices are shown to protect the existing and proposed development features. Silt fence is shown in areas that are downslope and before discharging off-site. A tracking pad is to be installed at the entrance of the site as to avoid tracking of solids offsite. All erosion control measures are to be monitored and maintained per current standards.

Post-Construction Stormwater Management

The site is designed to collect in several areas through a series of storm sewer piping, and then discharge into an underground stormwater treatment device. This device handles stormwater quantity release rates and water quality improvements.

262-757-8776

WALWORTH COUNTY, WISCONSIN

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The site was designed to maintain predevelopment rates, as per the Lake Geneva ordinance. The two ponds are detailed below:

Pre-Development, 24-hour Discharge rates

1-year: 1.76 CFS
 2-year: 2.77 CFS
 10-year: 6.88 CFS
 100-year: 16.32 CFS

Total Proposed Stormwater Discharge

Underground Storage:

Normal Water Level: 873.00
 6.5" Vertical Orifice: 873.00
 Weir Wall: 877.20

Total Discharge Rate Summary

The below summary includes the entire site, with some uncaptured discharge, see enclosed HydroCAD model for details.

Event	Predevelopment	Total Post Rate	Underground Storage	
			Rate (CFS)	Max Height
1	1.76	1.36	1.33	875.23
2	2.77	1.50	1.45	875.61
10	6.88	2.12	1.80	876.86
100	16.32	15.87	15.15	877.98

Water Quality Summary

The site being partially redevelopment, a weighted average of 80% for new development and 40% for redevelopment was utilized.

0.97 acres @ 40% TSS Reduction for Redevelopment
 3.86 acres @ 80% TSS Reduction for New Development
 Weighted Average Requirement = **71.97 TSS Reduction required for this Site**

The enclosed WinSLAMM Model shows the **proposed system provides 72.43% TSS Reduction**. This meets required water quality standards.

No additional impervious surfaces were included for any future work on this site

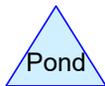
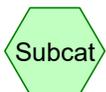
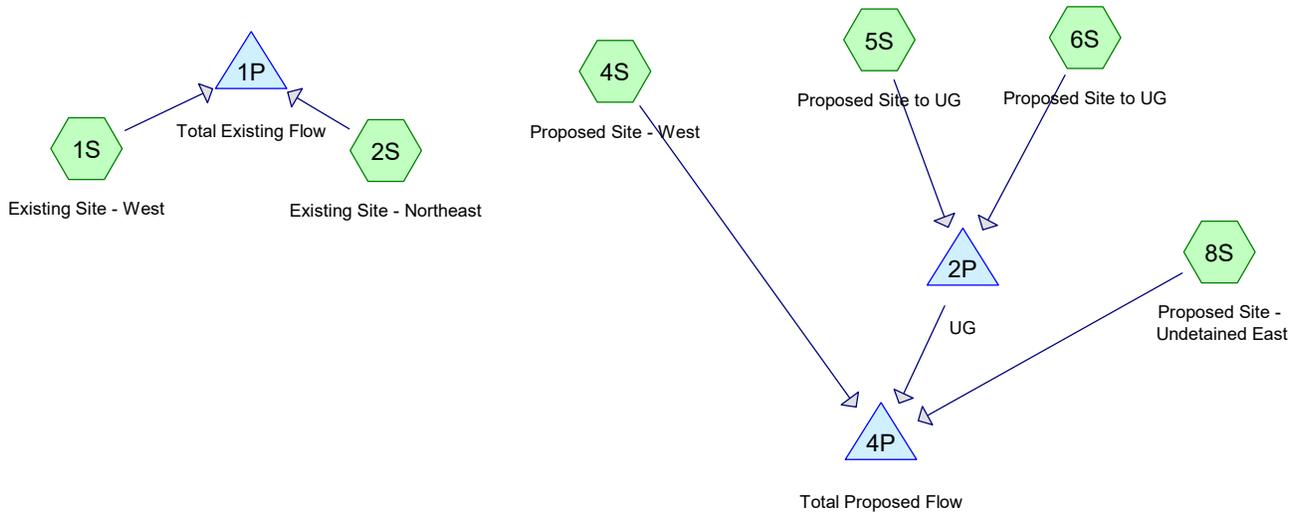


Section 2

HydroCAD Predevelopment and Post-Construction Report



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Routing Diagram for Ross Development ALL UG
 Prepared by Cardinal Engineering LLC, Printed 2/12/2018
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Ross Development ALL UG

Prepared by Cardinal Engineering LLC

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Page 2

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
5.020	61	>75% Grass cover, Good, HSG B (1S, 2S, 4S, 5S, 6S, 8S)
3.226	98	Paved parking, HSG B (1S, 2S, 5S, 6S)
1.078	98	Roofs, HSG B (2S, 5S, 6S)
0.345	98	Walks, HSG B (1S, 2S, 4S, 5S, 6S)
9.669	79	TOTAL AREA

Ross Development ALL UG

Prepared by Cardinal Engineering LLC

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Page 3

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
9.669	HSG B	1S, 2S, 4S, 5S, 6S, 8S
0.000	HSG C	
0.000	HSG D	
0.000	Other	
9.669		TOTAL AREA

Ross Development ALL UG

Prepared by Cardinal Engineering LLC

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Page 4

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	5.020	0.000	0.000	0.000	5.020	>75% Grass cover, Good	1S, 2S, 4S, 5S, 6S, 8S
0.000	3.226	0.000	0.000	0.000	3.226	Paved parking	1S, 2S, 5S, 6S
0.000	1.078	0.000	0.000	0.000	1.078	Roofs	2S, 5S, 6S
0.000	0.345	0.000	0.000	0.000	0.345	Walks	1S, 2S, 4S, 5S, 6S
0.000	9.669	0.000	0.000	0.000	9.669	TOTAL AREA	

Ross Development ALL UG

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Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Diam/Width (inches)	Height (inches)	Inside-Fill (inches)
1	2P	873.00	872.80	10.0	0.0200	0.025	24.0	0.0	0.0

Ross Development ALL UG

Prepared by Cardinal Engineering LLC

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MSE 24-hr 3 1-yr Rainfall=2.41"

Printed 2/12/2018

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Existing Site - West Runoff Area=18,383 sf 2.52% Impervious Runoff Depth>0.17"
Tc=6.0 min CN=62 Runoff=0.06 cfs 0.006 af

Subcatchment 2S: Existing Site - Runoff Area=192,205 sf 23.88% Impervious Runoff Depth>0.38"
Flow Length=362' Tc=17.3 min CN=70 Runoff=1.72 cfs 0.140 af

Subcatchment 4S: Proposed Site - West Runoff Area=15,949 sf 2.68% Impervious Runoff Depth>0.17"
Tc=6.0 min CN=62 Runoff=0.05 cfs 0.005 af

Subcatchment 5S: Proposed Site to UG Runoff Area=94,830 sf 84.49% Impervious Runoff Depth>1.55"
Tc=6.0 min CN=92 Runoff=6.10 cfs 0.281 af

Subcatchment 6S: Proposed Site to UG Runoff Area=97,106 sf 77.87% Impervious Runoff Depth>1.39"
Tc=6.0 min CN=90 Runoff=5.72 cfs 0.259 af

Subcatchment 8S: Proposed Site - Runoff Area=2,701 sf 0.00% Impervious Runoff Depth>0.15"
Tc=6.0 min CN=61 Runoff=0.01 cfs 0.001 af

Pond 1P: Total Existing Flow Inflow=1.76 cfs 0.146 af
Primary=1.76 cfs 0.146 af

Pond 2P: UG Peak Elev=875.23' Storage=0.269 af Inflow=11.81 cfs 0.540 af
Outflow=1.33 cfs 0.532 af

Pond 4P: Total Proposed Flow Inflow=1.36 cfs 0.538 af
Primary=1.36 cfs 0.538 af

Total Runoff Area = 9.669 ac Runoff Volume = 0.693 af Average Runoff Depth = 0.86"
51.91% Pervious = 5.020 ac 48.09% Impervious = 4.649 ac

Summary for Subcatchment 1S: Existing Site - West

Runoff = 0.06 cfs @ 12.19 hrs, Volume= 0.006 af, Depth> 0.17"

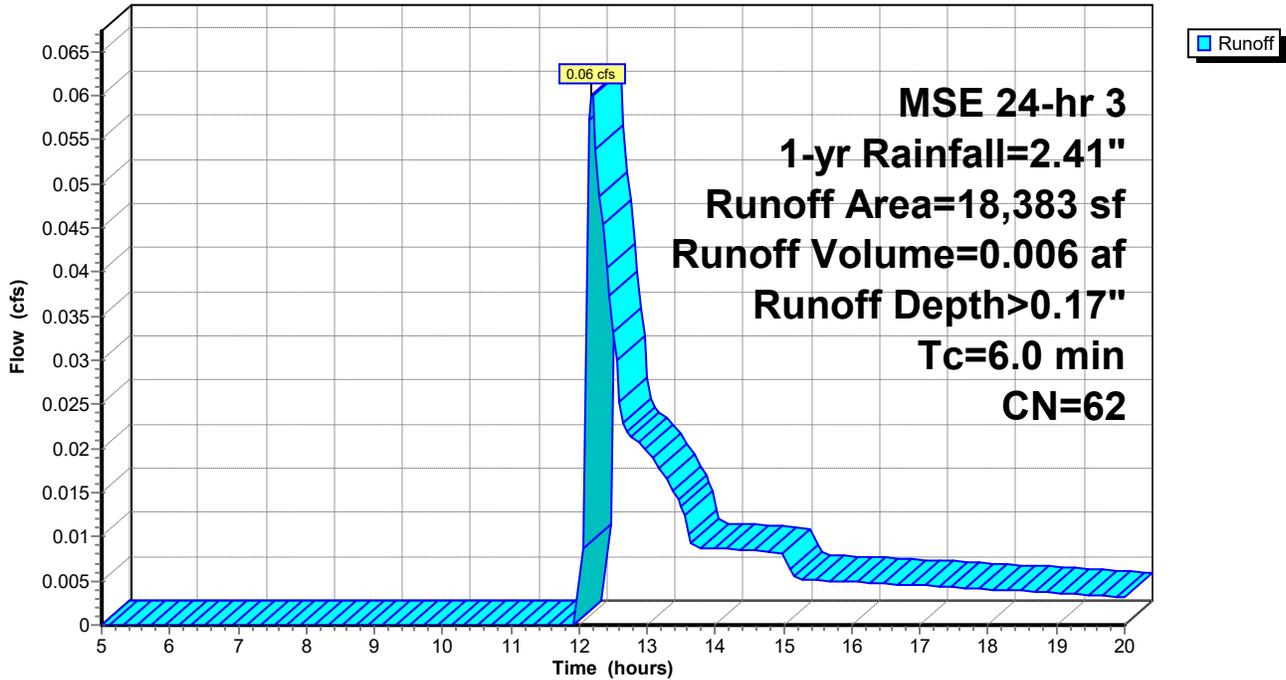
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 1-yr Rainfall=2.41"

Area (sf)	CN	Description
17,920	61	>75% Grass cover, Good, HSG B
* 428	98	Walks, HSG B
35	98	Paved parking, HSG B
18,383	62	Weighted Average
17,920		97.48% Pervious Area
463		2.52% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 1S: Existing Site - West

Hydrograph



Summary for Subcatchment 2S: Existing Site - Northeast

Runoff = 1.72 cfs @ 12.31 hrs, Volume= 0.140 af, Depth> 0.38"

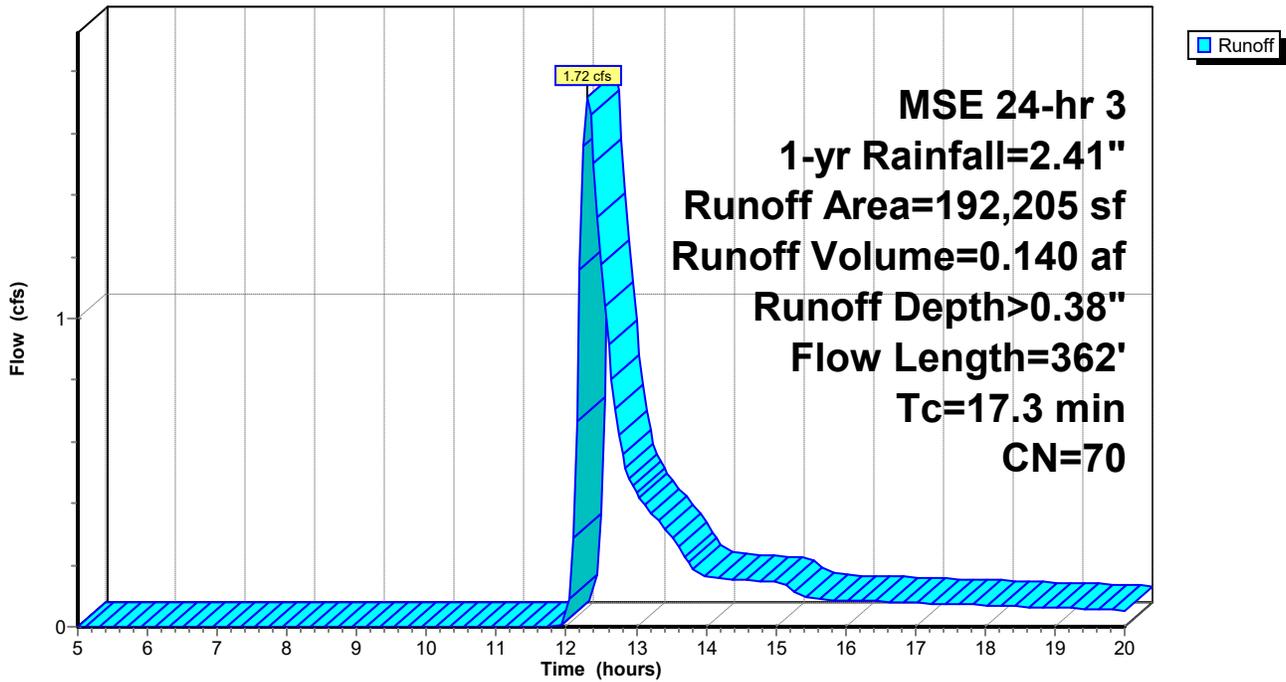
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 1-yr Rainfall=2.41"

Area (sf)	CN	Description
30,908	98	Paved parking, HSG B
10,968	98	Roofs, HSG B
* 4,017	98	Walks, HSG B
146,312	61	>75% Grass cover, Good, HSG B
192,205	70	Weighted Average
146,312		76.12% Pervious Area
45,893		23.88% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.8	130	0.0250	0.18		Sheet Flow, Grass: Short n= 0.150 P2= 2.79"
5.5	232	0.0100	0.70		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
17.3	362	Total			

Subcatchment 2S: Existing Site - Northeast

Hydrograph



Summary for Subcatchment 4S: Proposed Site - West

Runoff = 0.05 cfs @ 12.19 hrs, Volume= 0.005 af, Depth> 0.17"

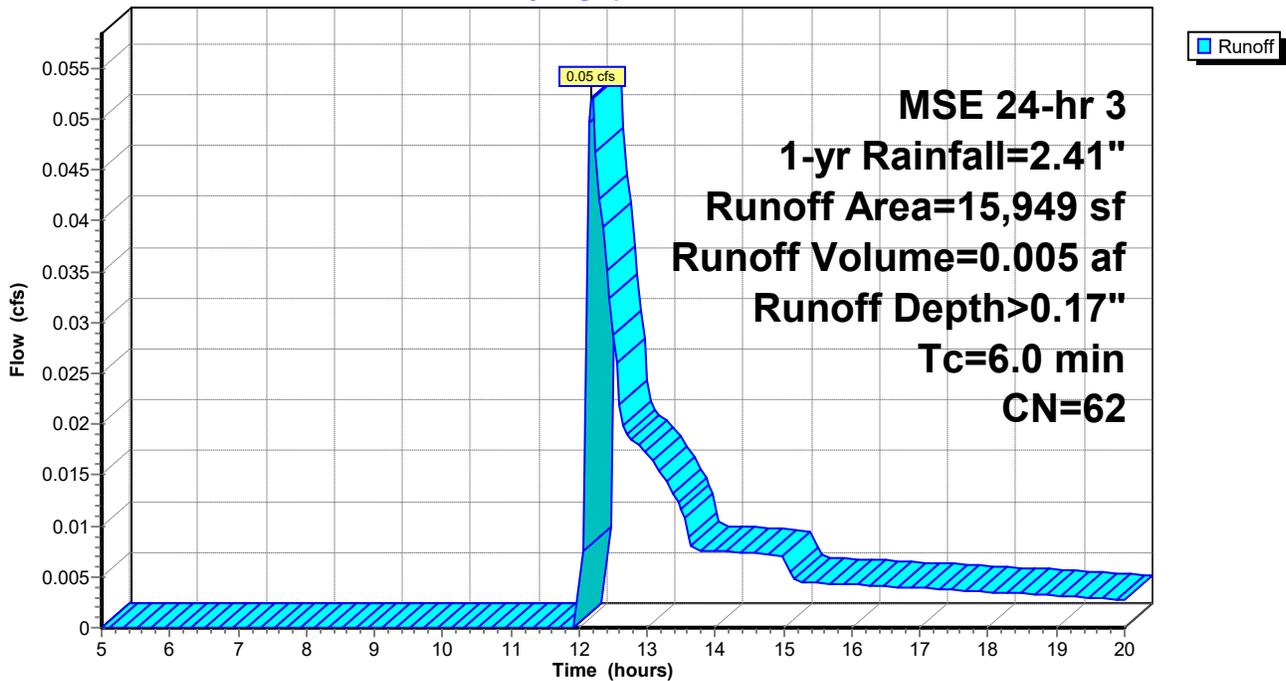
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 1-yr Rainfall=2.41"

Area (sf)	CN	Description
* 428	98	Walks, HSG B
15,521	61	>75% Grass cover, Good, HSG B
15,949	62	Weighted Average
15,521		97.32% Pervious Area
428		2.68% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 4S: Proposed Site - West

Hydrograph



Summary for Subcatchment 5S: Proposed Site to UG

Runoff = 6.10 cfs @ 12.13 hrs, Volume= 0.281 af, Depth> 1.55"

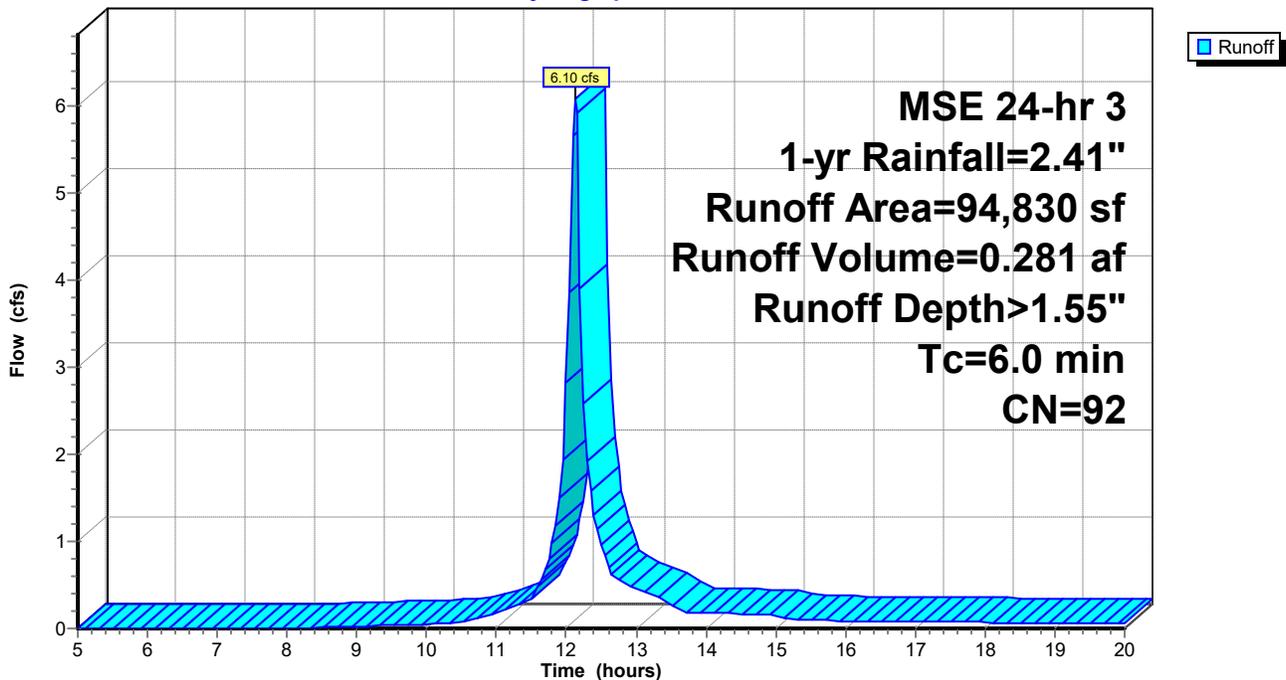
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 1-yr Rainfall=2.41"

Area (sf)	CN	Description
59,811	98	Paved parking, HSG B
18,000	98	Roofs, HSG B
* 2,308	98	Walks, HSG B
4,739	61	>75% Grass cover, Good, HSG B
9,972	61	>75% Grass cover, Good, HSG B
94,830	92	Weighted Average
14,711		15.51% Pervious Area
80,119		84.49% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 5S: Proposed Site to UG

Hydrograph



Summary for Subcatchment 6S: Proposed Site to UG

Runoff = 5.72 cfs @ 12.13 hrs, Volume= 0.259 af, Depth> 1.39"

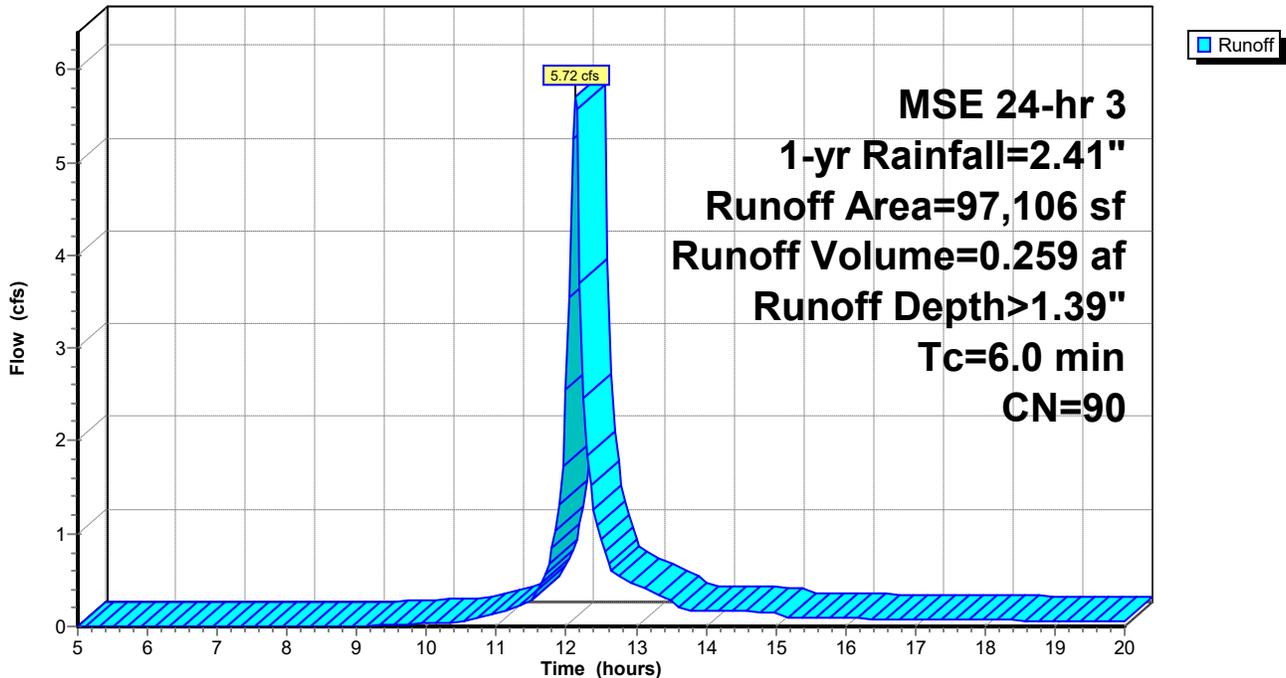
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 1-yr Rainfall=2.41"

Area (sf)	CN	Description
49,779	98	Paved parking, HSG B
18,000	98	Roofs, HSG B
* 7,841	98	Walks, HSG B
12,306	61	>75% Grass cover, Good, HSG B
9,180	61	>75% Grass cover, Good, HSG B
97,106	90	Weighted Average
21,486		22.13% Pervious Area
75,620		77.87% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 6S: Proposed Site to UG

Hydrograph



Summary for Subcatchment 8S: Proposed Site - Undetained East

Runoff = 0.01 cfs @ 12.21 hrs, Volume= 0.001 af, Depth> 0.15"

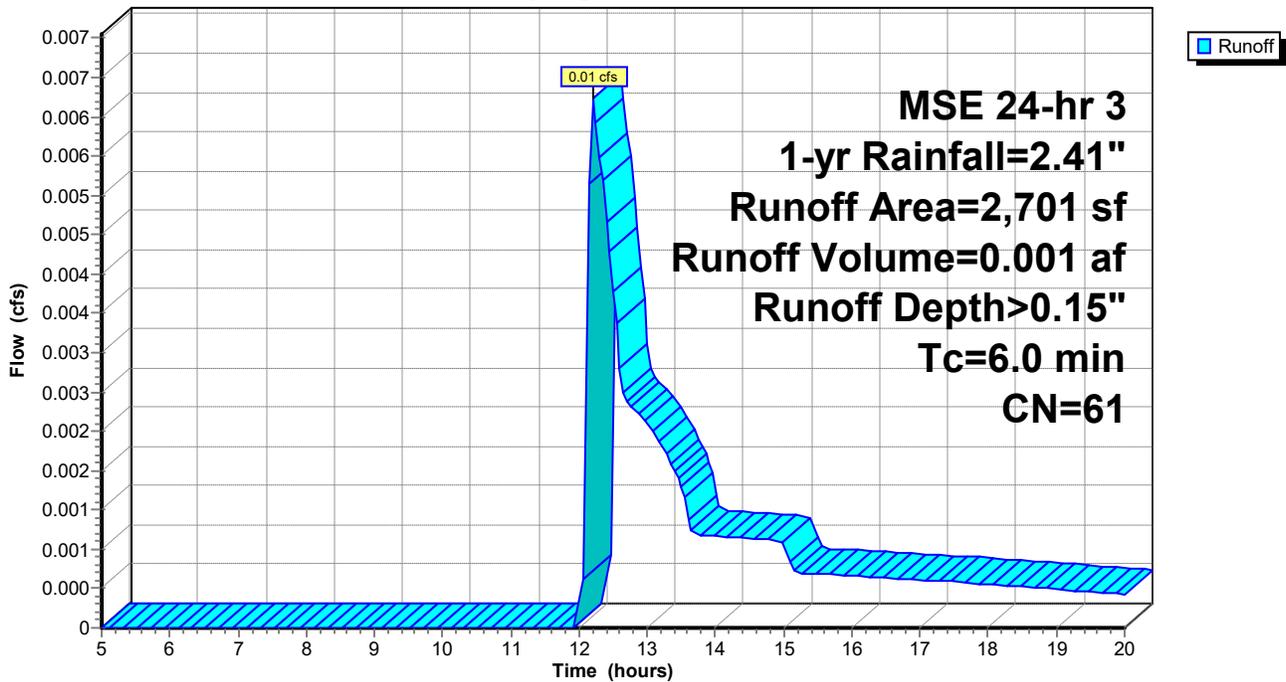
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 1-yr Rainfall=2.41"

Area (sf)	CN	Description
2,701	61	>75% Grass cover, Good, HSG B
2,701		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 8S: Proposed Site - Undetained East

Hydrograph



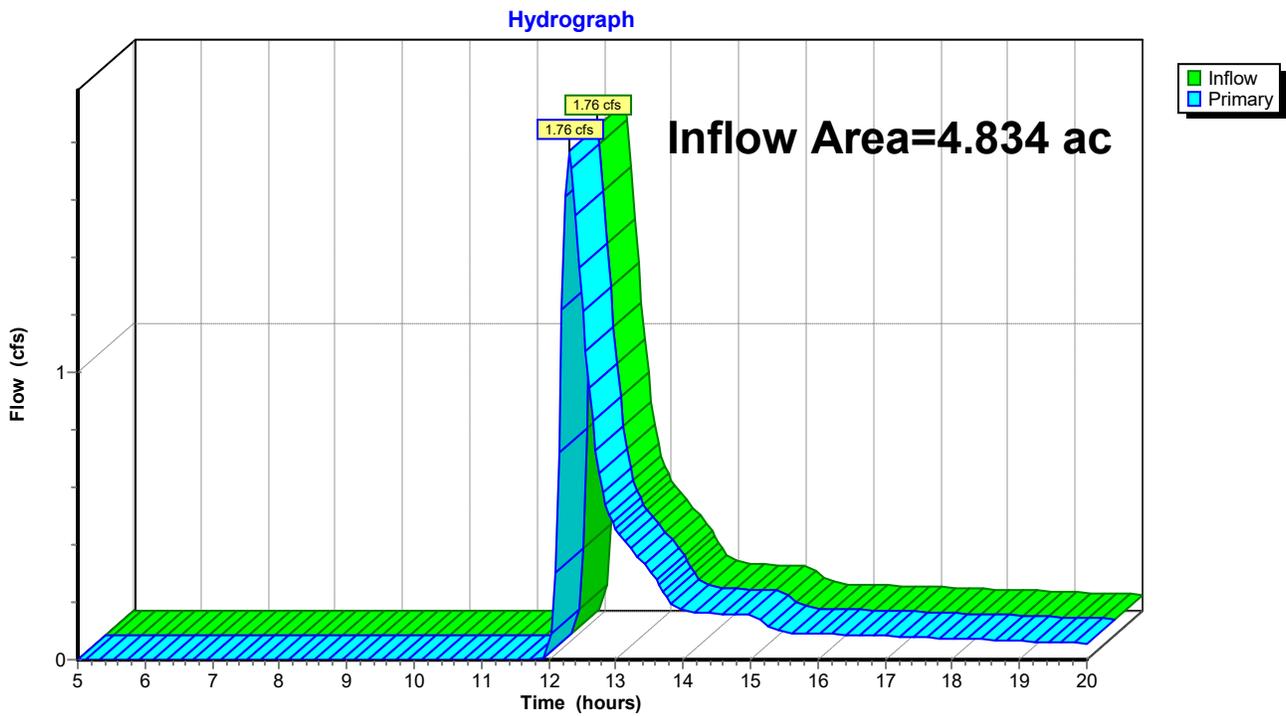
Summary for Pond 1P: Total Existing Flow

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.834 ac, 22.01% Impervious, Inflow Depth > 0.36" for 1-yr event
Inflow = 1.76 cfs @ 12.31 hrs, Volume= 0.146 af
Primary = 1.76 cfs @ 12.31 hrs, Volume= 0.146 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 1P: Total Existing Flow



Summary for Pond 2P: UG

Inflow Area = 4.406 ac, 81.14% Impervious, Inflow Depth > 1.47" for 1-yr event
 Inflow = 11.81 cfs @ 12.13 hrs, Volume= 0.540 af
 Outflow = 1.33 cfs @ 12.61 hrs, Volume= 0.532 af, Atten= 89%, Lag= 29.0 min
 Primary = 1.33 cfs @ 12.61 hrs, Volume= 0.532 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 875.23' @ 12.61 hrs Surf.Area= 0.172 ac Storage= 0.269 af

Plug-Flow detention time= 100.1 min calculated for 0.532 af (98% of inflow)
 Center-of-Mass det. time= 93.9 min (867.4 - 773.5)

Volume	Invert	Avail.Storage	Storage Description
#1	873.00'	1.623 af	120.0" Round Pipe Storage L= 900.0'

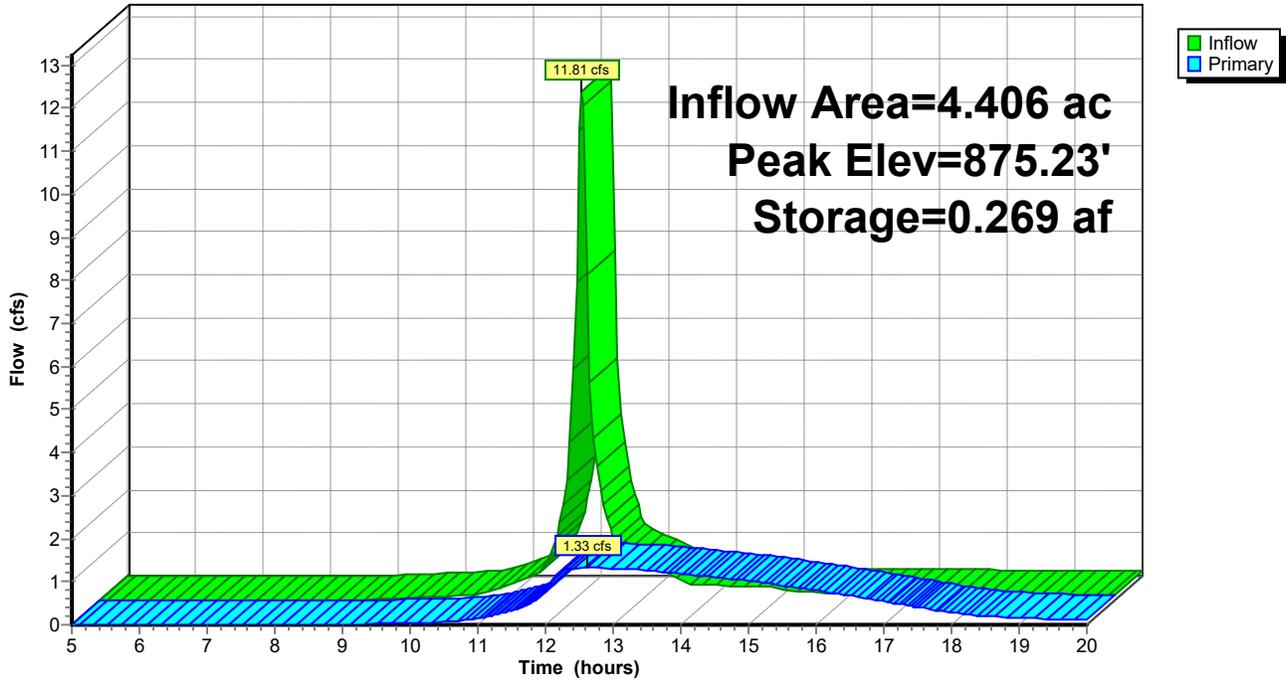
Device	Routing	Invert	Outlet Devices
#1	Primary	873.00'	24.0" Round Culvert L= 10.0' CMP, projecting, no headwall, Ke= 0.900 Inlet / Outlet Invert= 873.00' / 872.80' S= 0.0200 '/' Cc= 0.900 n= 0.025 Corrugated metal, Flow Area= 3.14 sf
#2	Device 1	873.00'	6.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	877.20'	6.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)

Primary OutFlow Max=1.33 cfs @ 12.61 hrs HW=875.23' (Free Discharge)

- 1=Culvert (Passes 1.33 cfs of 13.03 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 1.33 cfs @ 6.77 fps)
- 3=Sharp-Crested Rectangular Weir (Controls 0.00 cfs)

Pond 2P: UG

Hydrograph



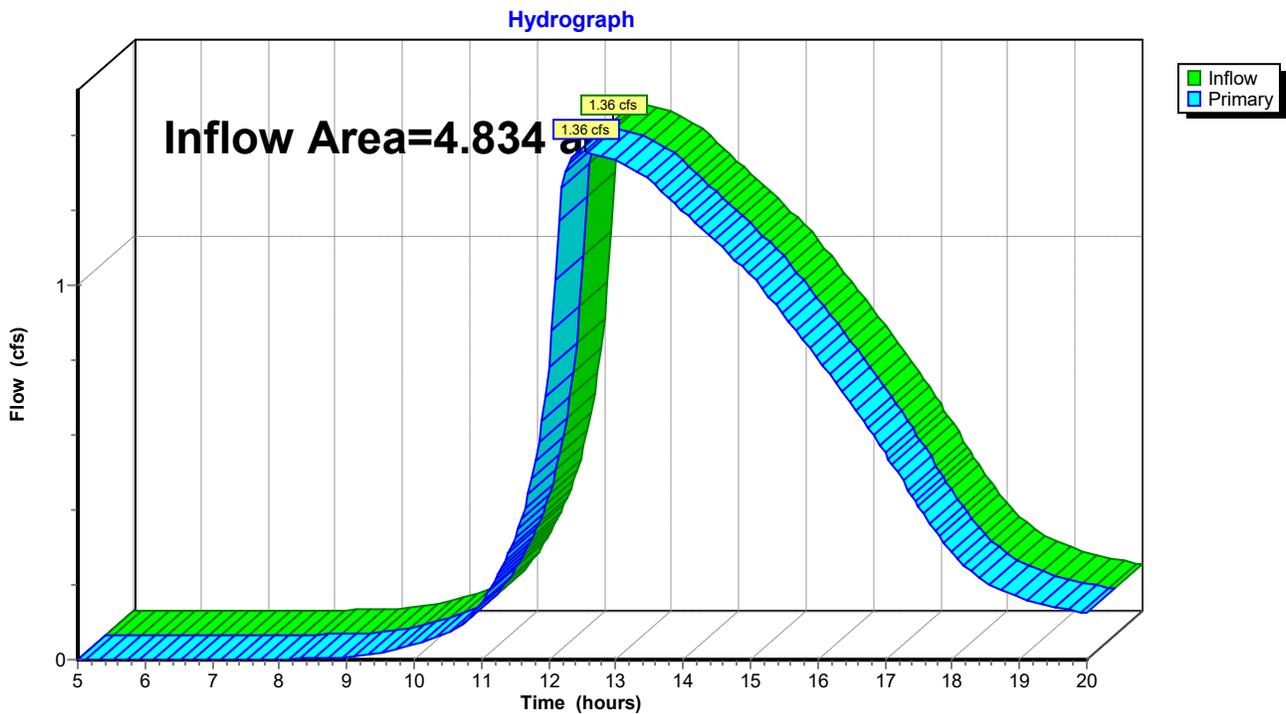
Summary for Pond 4P: Total Proposed Flow

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.834 ac, 74.16% Impervious, Inflow Depth > 1.34" for 1-yr event
Inflow = 1.36 cfs @ 12.53 hrs, Volume= 0.538 af
Primary = 1.36 cfs @ 12.53 hrs, Volume= 0.538 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 4P: Total Proposed Flow



Summary for Subcatchment 1S: Existing Site - West

Runoff = 0.16 cfs @ 12.16 hrs, Volume= 0.010 af, Depth> 0.28"

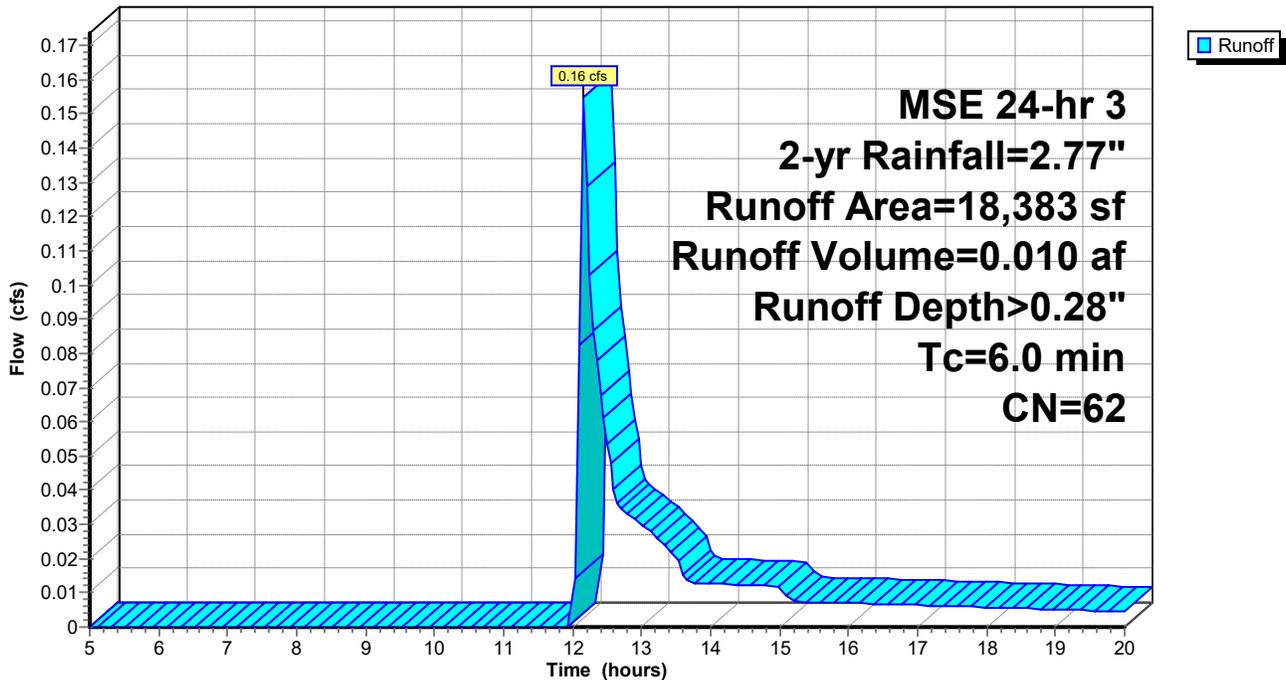
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 2-yr Rainfall=2.77"

Area (sf)	CN	Description
17,920	61	>75% Grass cover, Good, HSG B
* 428	98	Walks, HSG B
35	98	Paved parking, HSG B
18,383	62	Weighted Average
17,920		97.48% Pervious Area
463		2.52% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 1S: Existing Site - West

Hydrograph



Summary for Subcatchment 2S: Existing Site - Northeast

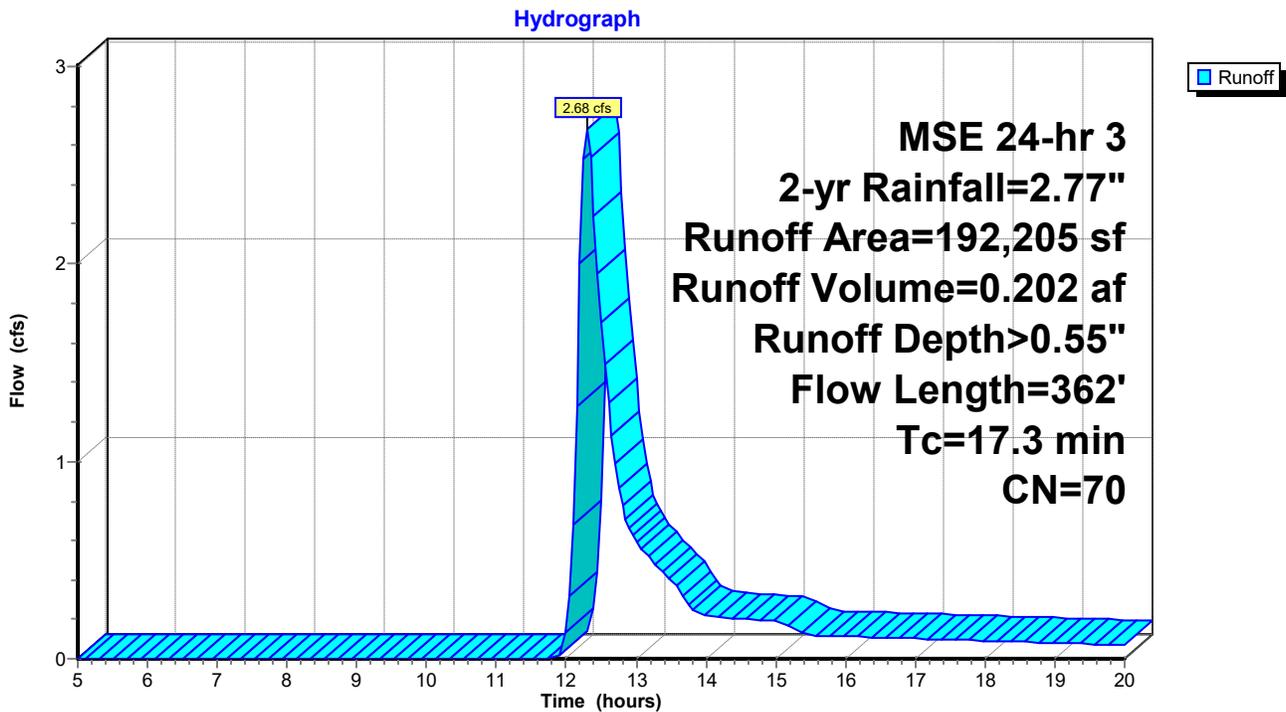
Runoff = 2.68 cfs @ 12.30 hrs, Volume= 0.202 af, Depth> 0.55"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 2-yr Rainfall=2.77"

Area (sf)	CN	Description
30,908	98	Paved parking, HSG B
10,968	98	Roofs, HSG B
* 4,017	98	Walks, HSG B
146,312	61	>75% Grass cover, Good, HSG B
192,205	70	Weighted Average
146,312		76.12% Pervious Area
45,893		23.88% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.8	130	0.0250	0.18		Sheet Flow, Grass: Short n= 0.150 P2= 2.79"
5.5	232	0.0100	0.70		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
17.3	362	Total			

Subcatchment 2S: Existing Site - Northeast



Summary for Subcatchment 4S: Proposed Site - West

Runoff = 0.13 cfs @ 12.16 hrs, Volume= 0.009 af, Depth> 0.28"

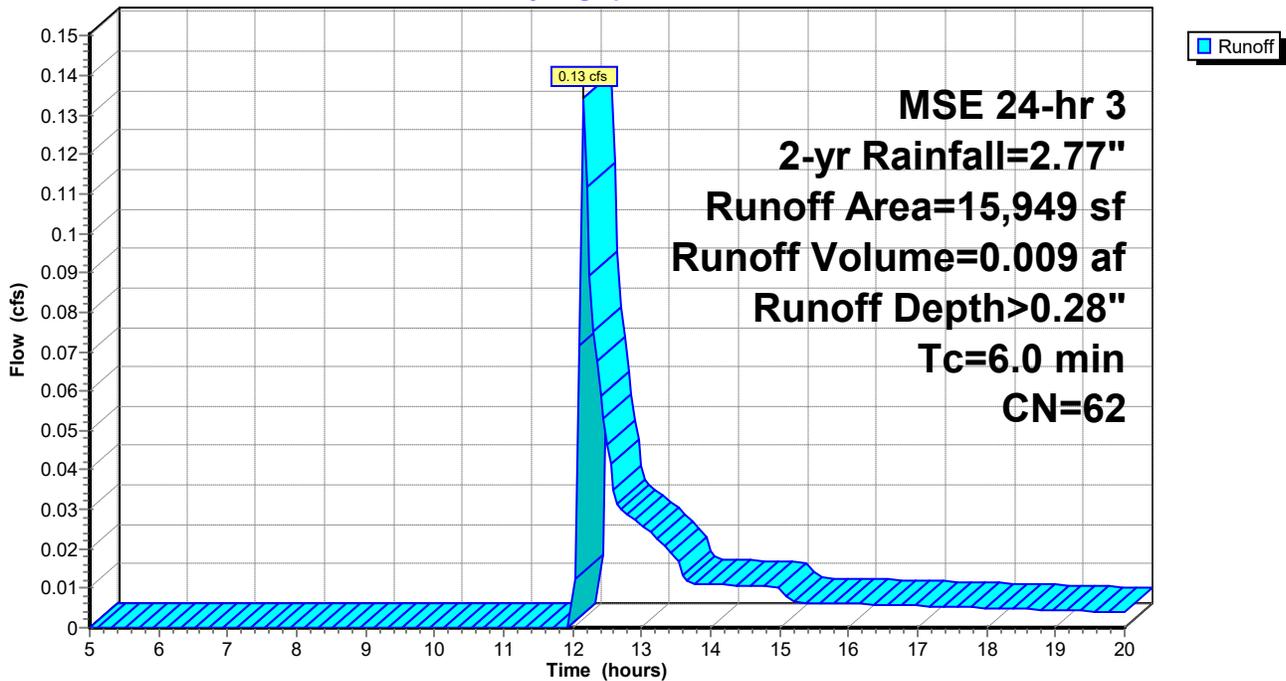
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 2-yr Rainfall=2.77"

Area (sf)	CN	Description
* 428	98	Walks, HSG B
15,521	61	>75% Grass cover, Good, HSG B
15,949	62	Weighted Average
15,521		97.32% Pervious Area
428		2.68% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 4S: Proposed Site - West

Hydrograph



Summary for Subcatchment 5S: Proposed Site to UG

Runoff = 7.29 cfs @ 12.13 hrs, Volume= 0.340 af, Depth> 1.88"

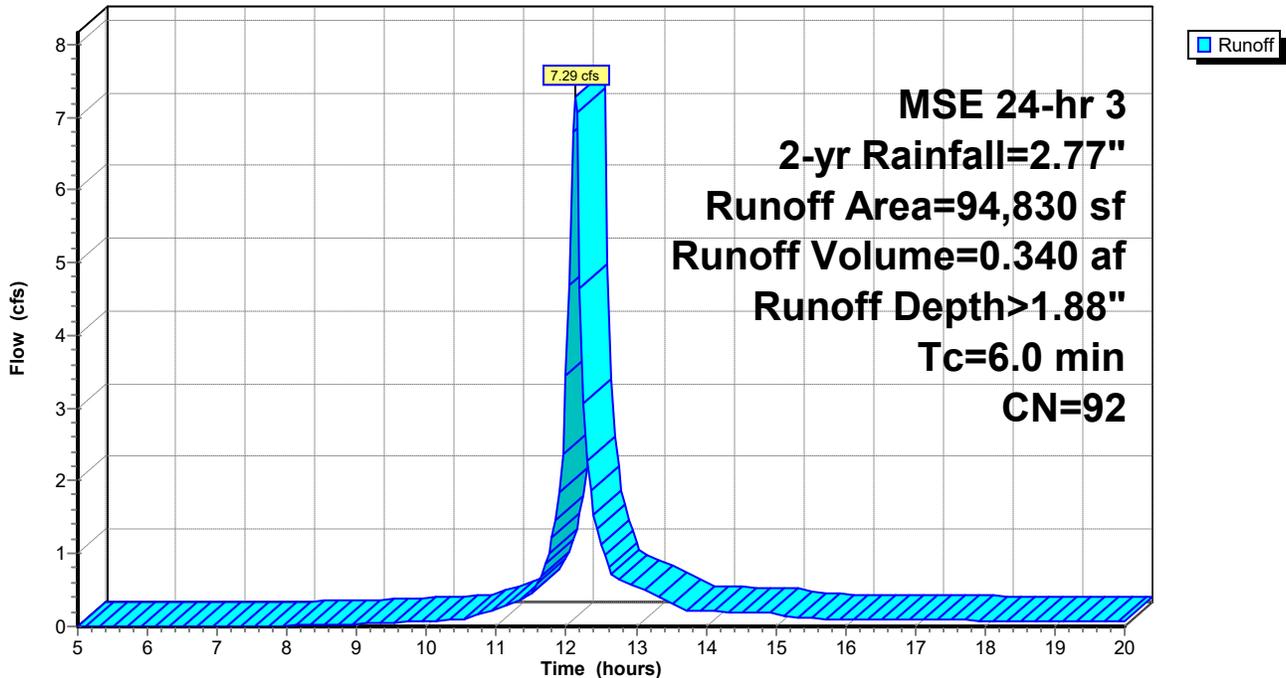
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 2-yr Rainfall=2.77"

Area (sf)	CN	Description
59,811	98	Paved parking, HSG B
18,000	98	Roofs, HSG B
* 2,308	98	Walks, HSG B
4,739	61	>75% Grass cover, Good, HSG B
9,972	61	>75% Grass cover, Good, HSG B
94,830	92	Weighted Average
14,711		15.51% Pervious Area
80,119		84.49% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 5S: Proposed Site to UG

Hydrograph



Summary for Subcatchment 6S: Proposed Site to UG

Runoff = 6.93 cfs @ 12.13 hrs, Volume= 0.317 af, Depth> 1.71"

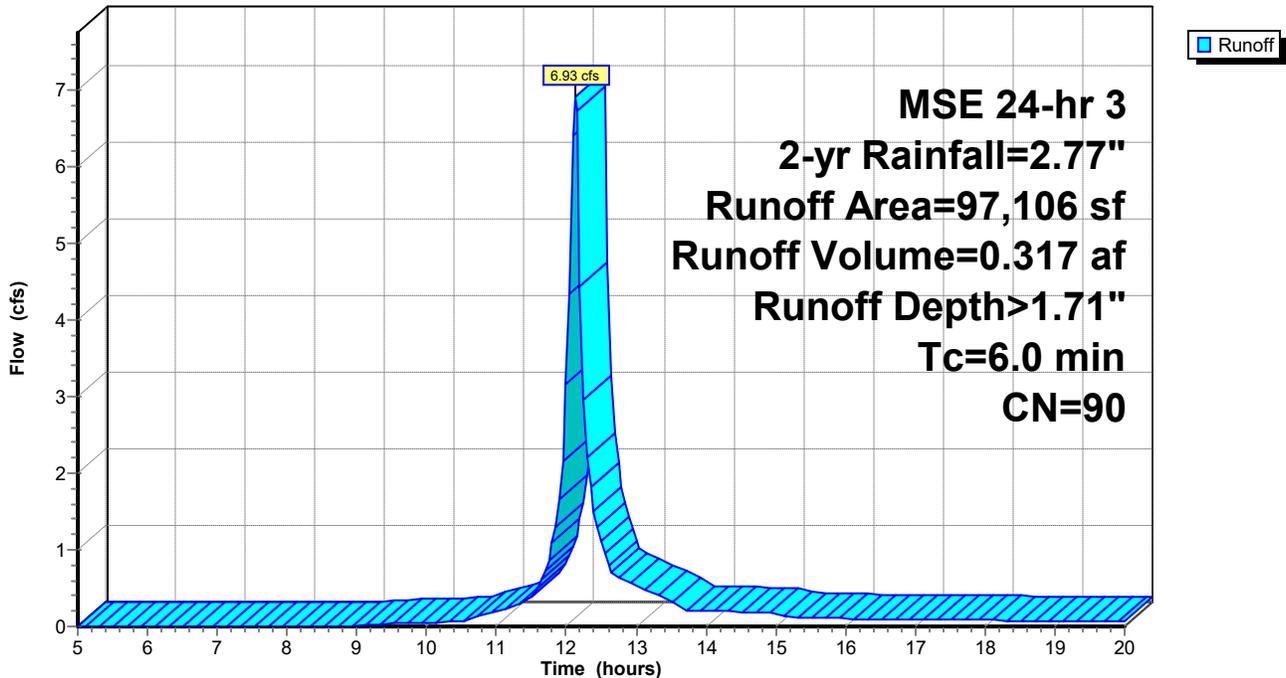
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 2-yr Rainfall=2.77"

Area (sf)	CN	Description
49,779	98	Paved parking, HSG B
18,000	98	Roofs, HSG B
* 7,841	98	Walks, HSG B
12,306	61	>75% Grass cover, Good, HSG B
9,180	61	>75% Grass cover, Good, HSG B
97,106	90	Weighted Average
21,486		22.13% Pervious Area
75,620		77.87% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 6S: Proposed Site to UG

Hydrograph



Summary for Subcatchment 8S: Proposed Site - Undetained East

Runoff = 0.02 cfs @ 12.17 hrs, Volume= 0.001 af, Depth> 0.26"

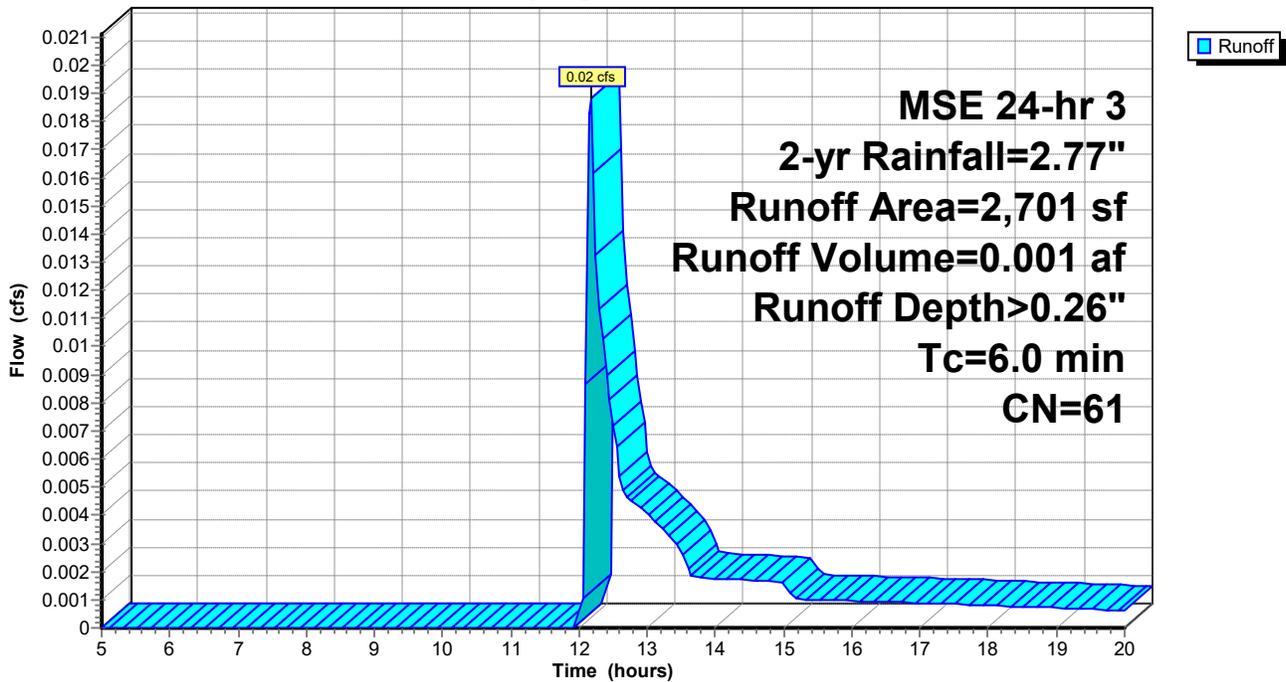
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 2-yr Rainfall=2.77"

Area (sf)	CN	Description
2,701	61	>75% Grass cover, Good, HSG B
2,701		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 8S: Proposed Site - Undetained East

Hydrograph



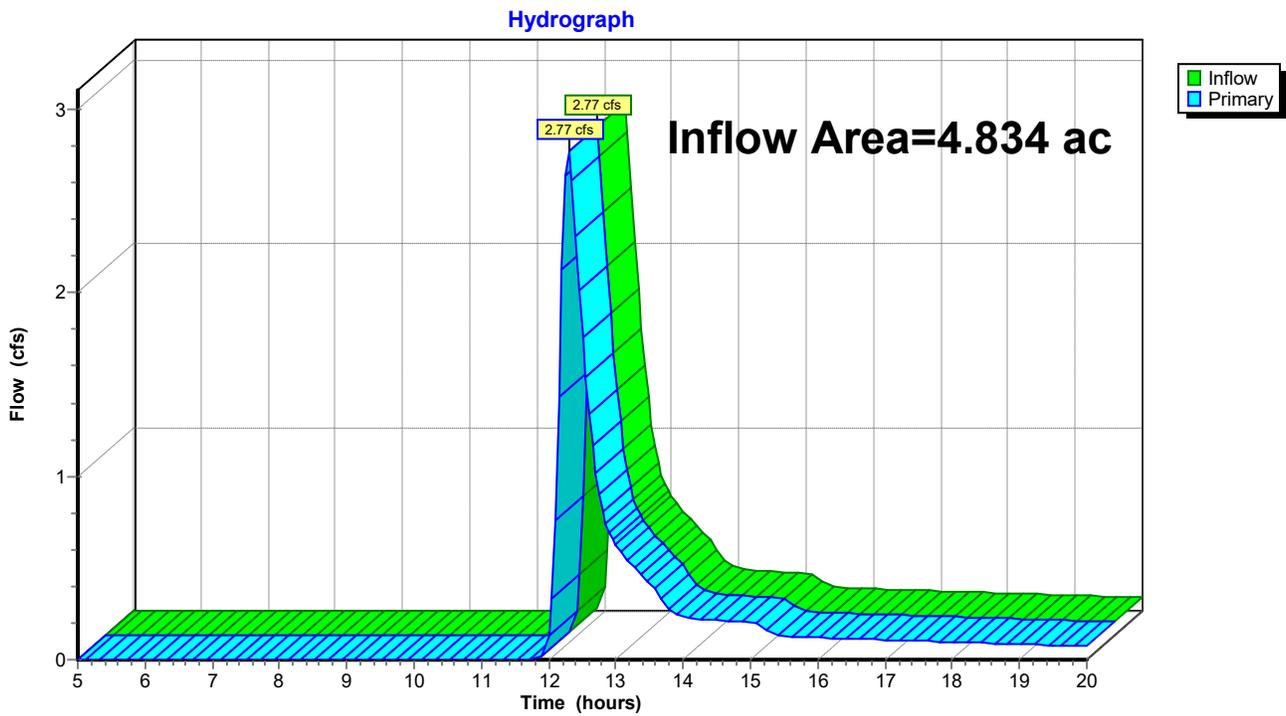
Summary for Pond 1P: Total Existing Flow

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.834 ac, 22.01% Impervious, Inflow Depth > 0.53" for 2-yr event
Inflow = 2.77 cfs @ 12.30 hrs, Volume= 0.212 af
Primary = 2.77 cfs @ 12.30 hrs, Volume= 0.212 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 1P: Total Existing Flow



Ross Development ALL UG

Prepared by Cardinal Engineering LLC

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MSE 24-hr 3 2-yr Rainfall=2.77"

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Summary for Pond 2P: UG

Inflow Area = 4.406 ac, 81.14% Impervious, Inflow Depth > 1.79" for 2-yr event
 Inflow = 14.22 cfs @ 12.13 hrs, Volume= 0.657 af
 Outflow = 1.45 cfs @ 12.65 hrs, Volume= 0.647 af, Atten= 90%, Lag= 31.1 min
 Primary = 1.45 cfs @ 12.65 hrs, Volume= 0.647 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 875.61' @ 12.65 hrs Surf.Area= 0.182 ac Storage= 0.337 af

Plug-Flow detention time= 113.9 min calculated for 0.645 af (98% of inflow)
 Center-of-Mass det. time= 107.4 min (877.6 - 770.2)

Volume	Invert	Avail.Storage	Storage Description
#1	873.00'	1.623 af	120.0" Round Pipe Storage L= 900.0'

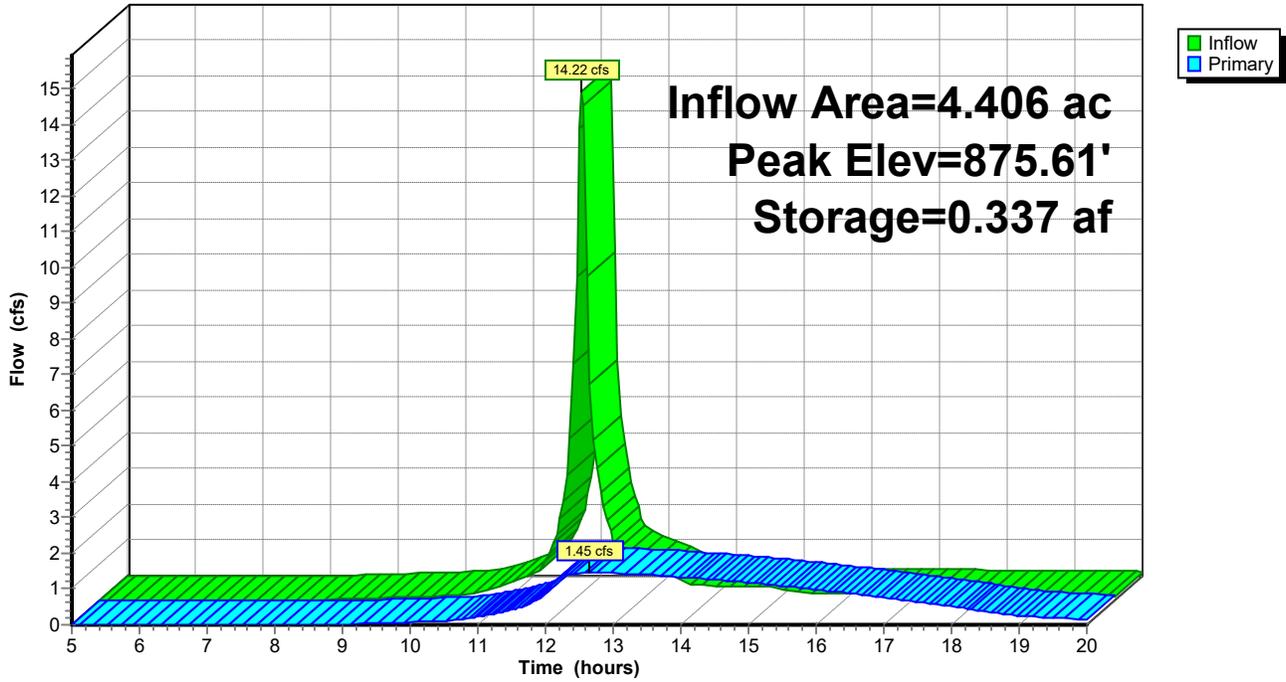
Device	Routing	Invert	Outlet Devices
#1	Primary	873.00'	24.0" Round Culvert L= 10.0' CMP, projecting, no headwall, Ke= 0.900 Inlet / Outlet Invert= 873.00' / 872.80' S= 0.0200 '/' Cc= 0.900 n= 0.025 Corrugated metal, Flow Area= 3.14 sf
#2	Device 1	873.00'	6.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	877.20'	6.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)

Primary OutFlow Max=1.45 cfs @ 12.65 hrs HW=875.61' (Free Discharge)

- 1=Culvert (Passes 1.45 cfs of 15.16 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 1.45 cfs @ 7.40 fps)
- 3=Sharp-Crested Rectangular Weir (Controls 0.00 cfs)

Pond 2P: UG

Hydrograph



Summary for Pond 4P: Total Proposed Flow

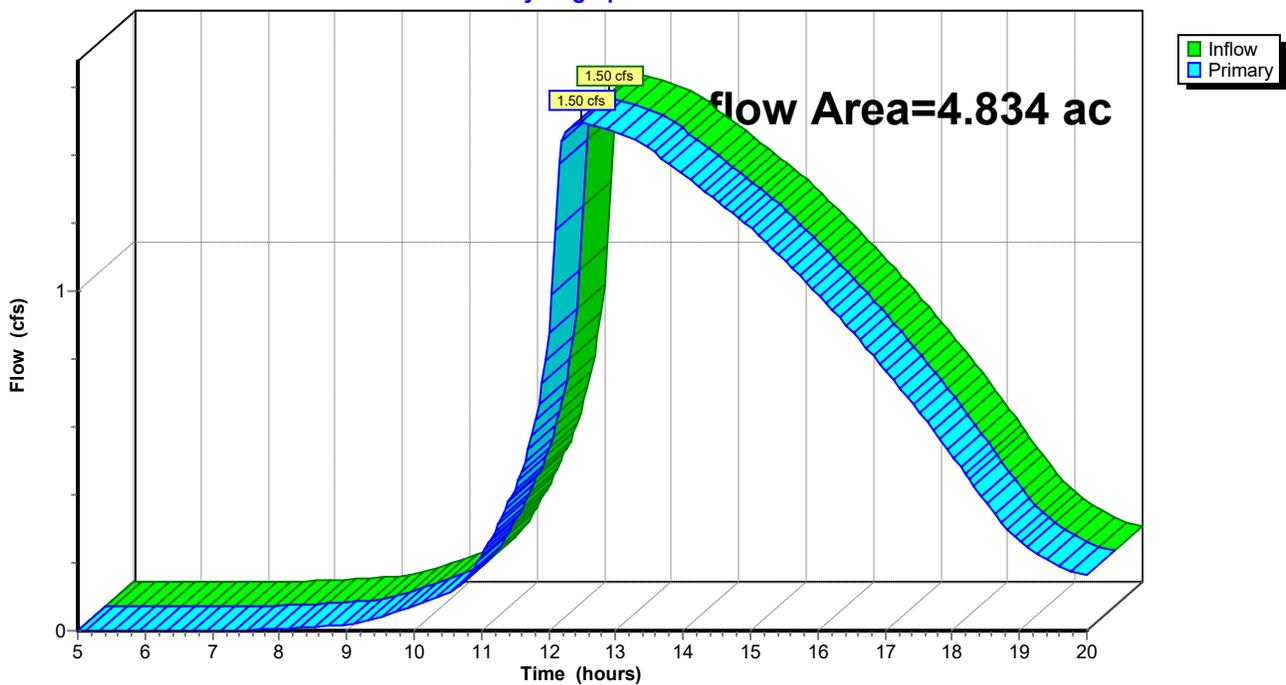
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.834 ac, 74.16% Impervious, Inflow Depth > 1.63" for 2-yr event
Inflow = 1.50 cfs @ 12.47 hrs, Volume= 0.657 af
Primary = 1.50 cfs @ 12.47 hrs, Volume= 0.657 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 4P: Total Proposed Flow

Hydrograph



Summary for Subcatchment 1S: Existing Site - West

Runoff = 0.59 cfs @ 12.15 hrs, Volume= 0.028 af, Depth> 0.79"

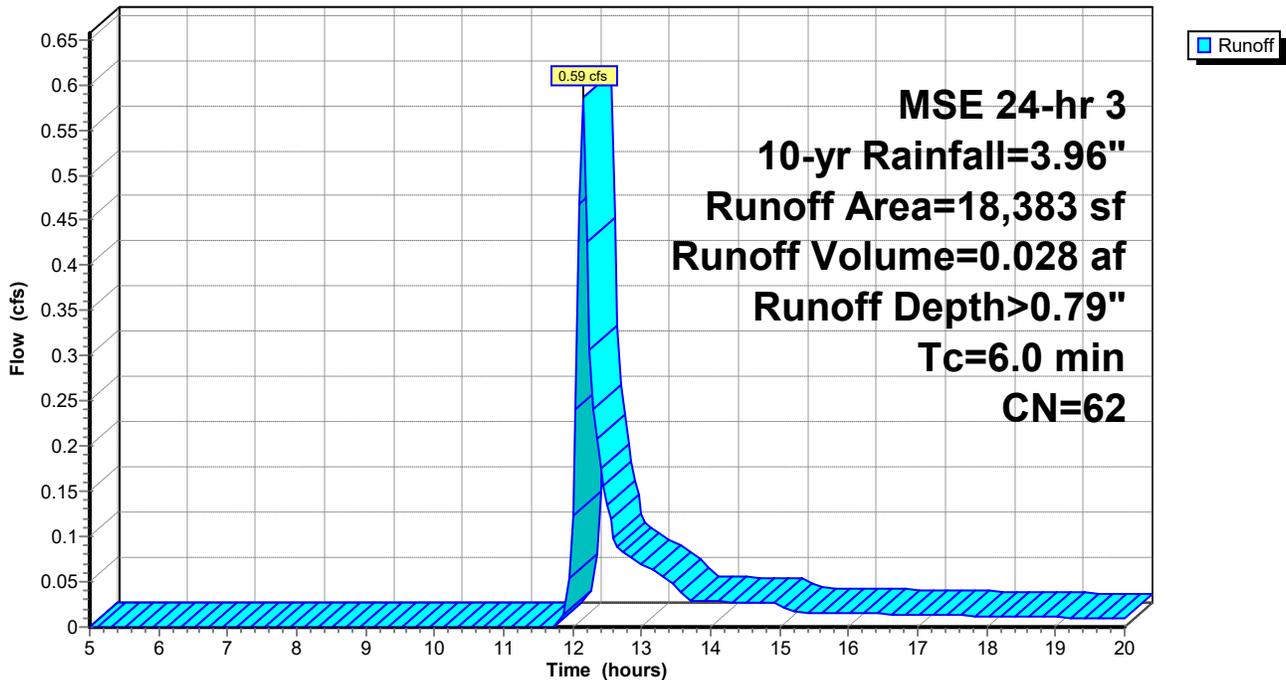
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 10-yr Rainfall=3.96"

Area (sf)	CN	Description
17,920	61	>75% Grass cover, Good, HSG B
* 428	98	Walks, HSG B
35	98	Paved parking, HSG B
18,383	62	Weighted Average
17,920		97.48% Pervious Area
463		2.52% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 1S: Existing Site - West

Hydrograph



Summary for Subcatchment 2S: Existing Site - Northeast

Runoff = 6.61 cfs @ 12.28 hrs, Volume= 0.452 af, Depth> 1.23"

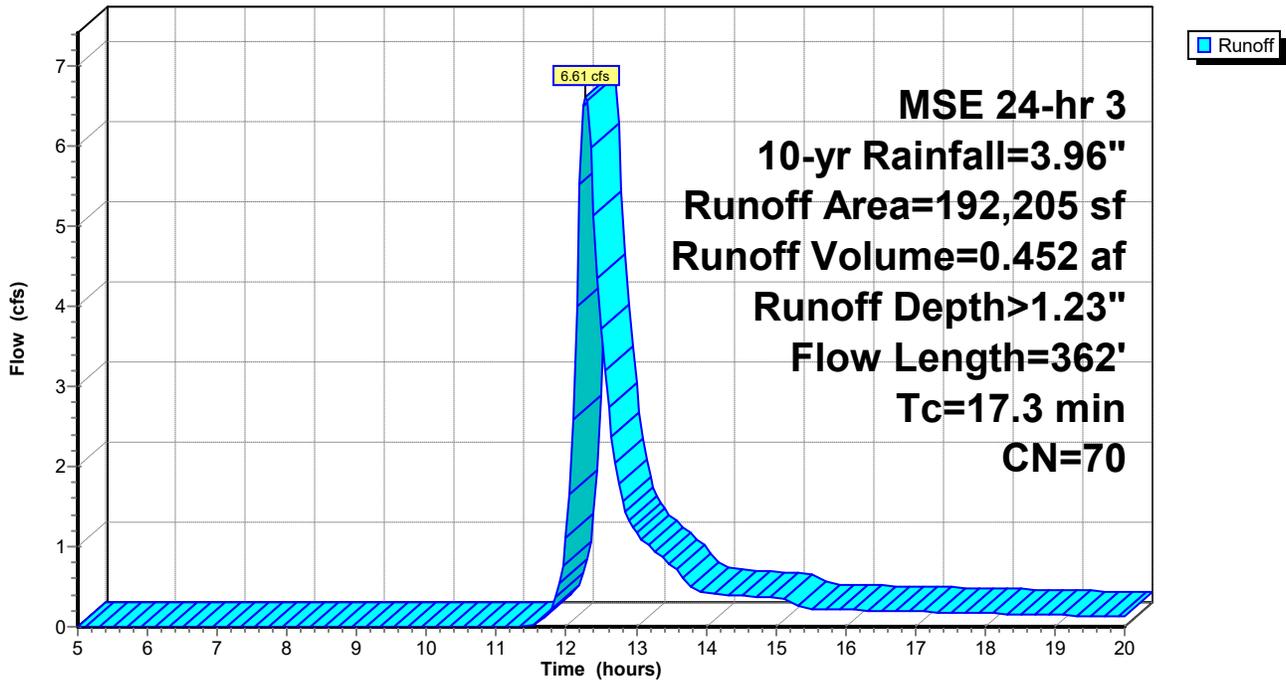
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 10-yr Rainfall=3.96"

Area (sf)	CN	Description
30,908	98	Paved parking, HSG B
10,968	98	Roofs, HSG B
* 4,017	98	Walks, HSG B
146,312	61	>75% Grass cover, Good, HSG B
192,205	70	Weighted Average
146,312		76.12% Pervious Area
45,893		23.88% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.8	130	0.0250	0.18		Sheet Flow, Grass: Short n= 0.150 P2= 2.79"
5.5	232	0.0100	0.70		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
17.3	362	Total			

Subcatchment 2S: Existing Site - Northeast

Hydrograph



Summary for Subcatchment 4S: Proposed Site - West

Runoff = 0.51 cfs @ 12.15 hrs, Volume= 0.024 af, Depth> 0.79"

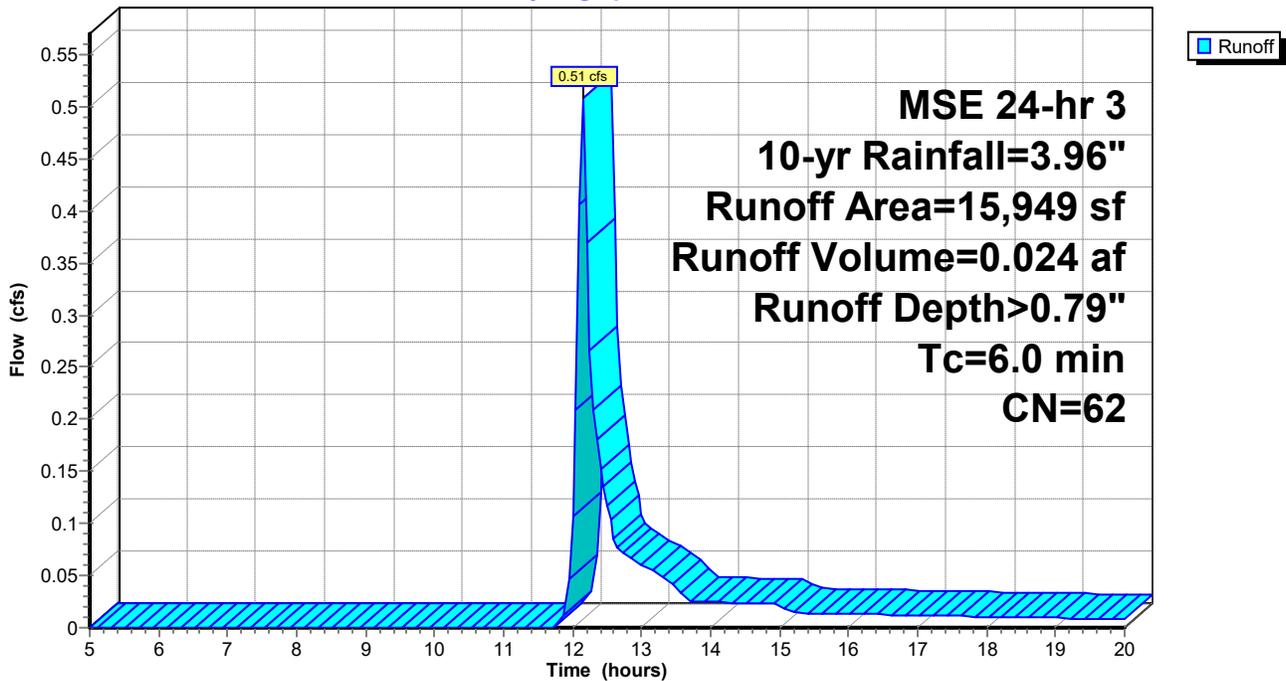
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 10-yr Rainfall=3.96"

Area (sf)	CN	Description
* 428	98	Walks, HSG B
15,521	61	>75% Grass cover, Good, HSG B
15,949	62	Weighted Average
15,521		97.32% Pervious Area
428		2.68% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 4S: Proposed Site - West

Hydrograph



Summary for Subcatchment 5S: Proposed Site to UG

Runoff = 11.22 cfs @ 12.13 hrs, Volume= 0.540 af, Depth> 2.98"

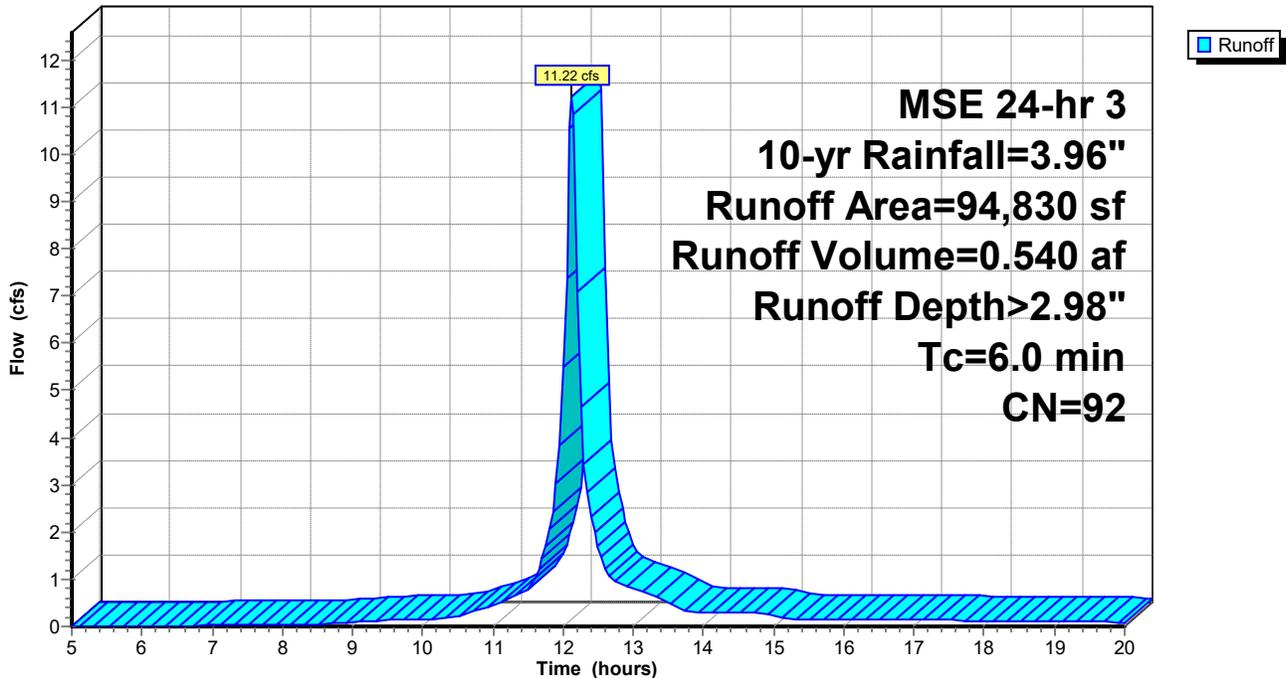
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 10-yr Rainfall=3.96"

Area (sf)	CN	Description
59,811	98	Paved parking, HSG B
18,000	98	Roofs, HSG B
* 2,308	98	Walks, HSG B
4,739	61	>75% Grass cover, Good, HSG B
9,972	61	>75% Grass cover, Good, HSG B
94,830	92	Weighted Average
14,711		15.51% Pervious Area
80,119		84.49% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 5S: Proposed Site to UG

Hydrograph



Summary for Subcatchment 6S: Proposed Site to UG

Runoff = 10.97 cfs @ 12.13 hrs, Volume= 0.517 af, Depth> 2.78"

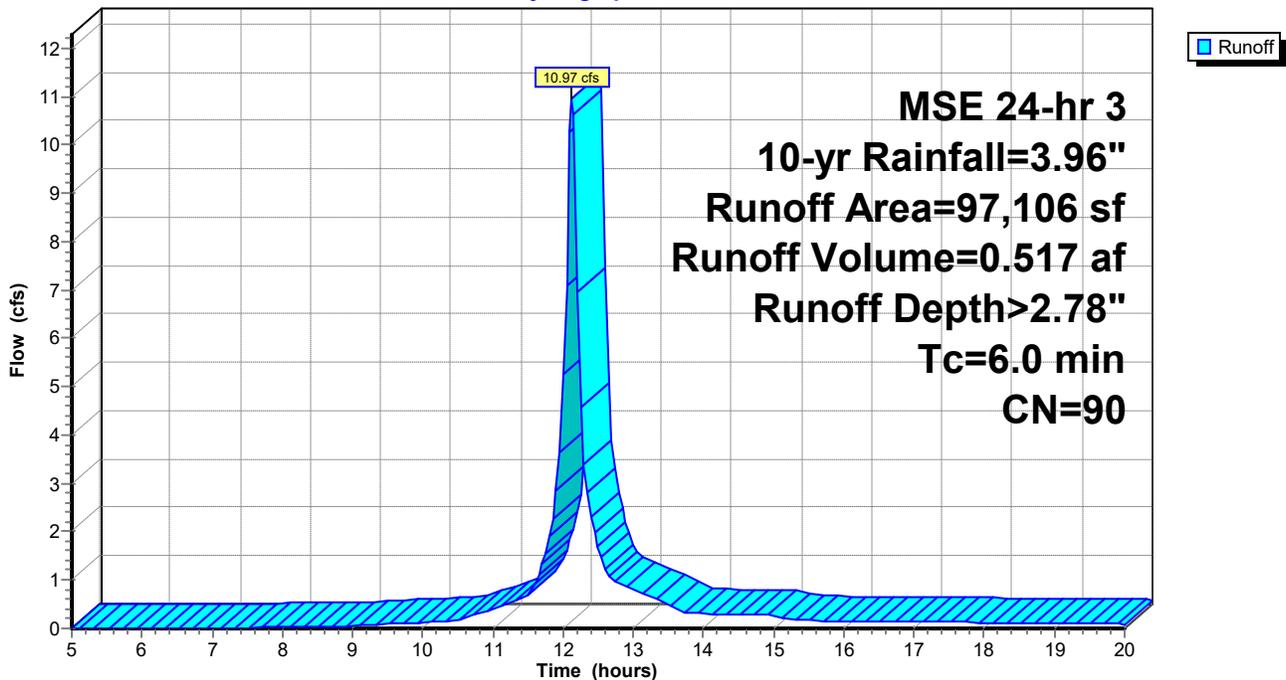
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 10-yr Rainfall=3.96"

Area (sf)	CN	Description
49,779	98	Paved parking, HSG B
18,000	98	Roofs, HSG B
* 7,841	98	Walks, HSG B
12,306	61	>75% Grass cover, Good, HSG B
9,180	61	>75% Grass cover, Good, HSG B
97,106	90	Weighted Average
21,486		22.13% Pervious Area
75,620		77.87% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 6S: Proposed Site to UG

Hydrograph



Summary for Subcatchment 8S: Proposed Site - Undetained East

Runoff = 0.08 cfs @ 12.15 hrs, Volume= 0.004 af, Depth> 0.74"

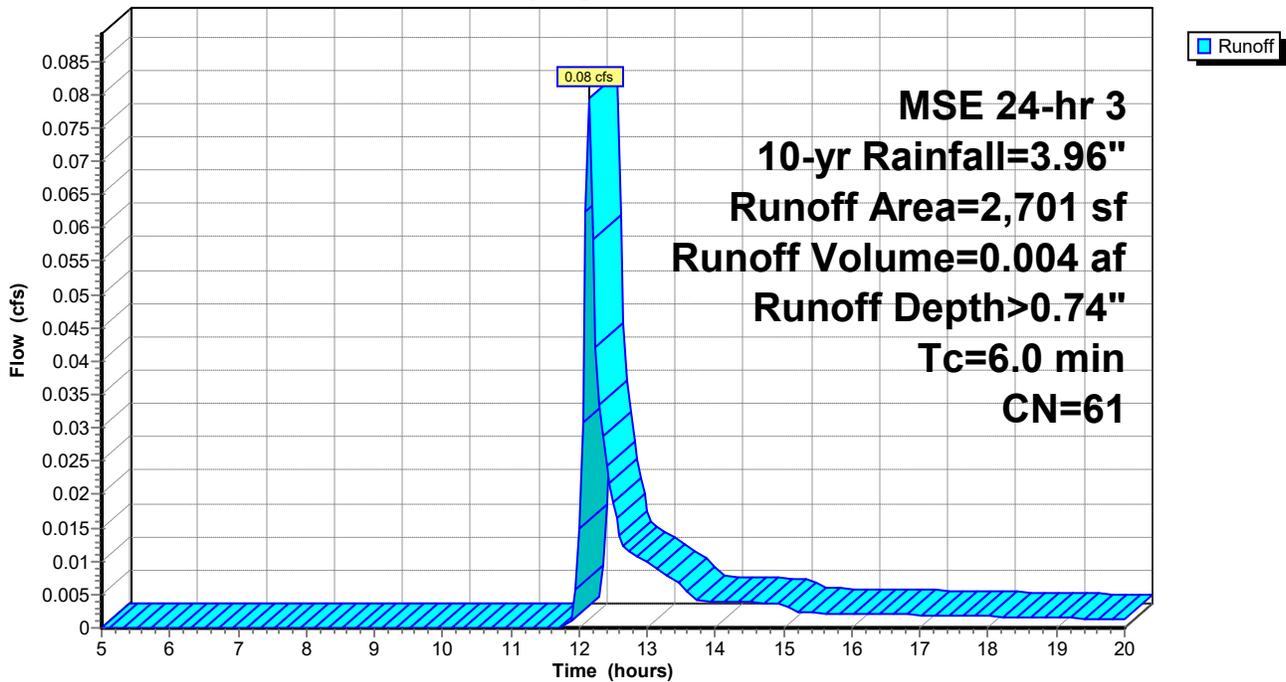
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 10-yr Rainfall=3.96"

Area (sf)	CN	Description
2,701	61	>75% Grass cover, Good, HSG B
2,701		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 8S: Proposed Site - Undetained East

Hydrograph



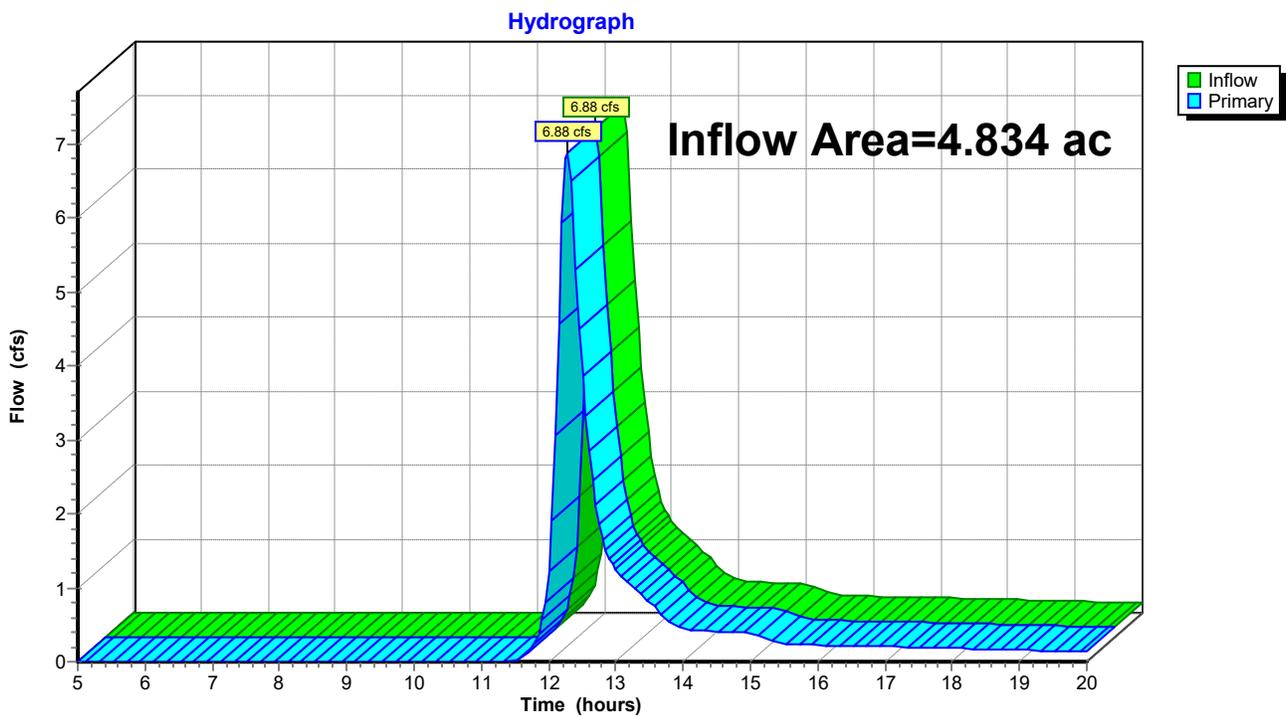
Summary for Pond 1P: Total Existing Flow

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.834 ac, 22.01% Impervious, Inflow Depth > 1.19" for 10-yr event
Inflow = 6.88 cfs @ 12.28 hrs, Volume= 0.479 af
Primary = 6.88 cfs @ 12.28 hrs, Volume= 0.479 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 1P: Total Existing Flow



Summary for Pond 2P: UG

Inflow Area = 4.406 ac, 81.14% Impervious, Inflow Depth > 2.88" for 10-yr event
 Inflow = 22.19 cfs @ 12.13 hrs, Volume= 1.057 af
 Outflow = 1.80 cfs @ 12.86 hrs, Volume= 1.004 af, Atten= 92%, Lag= 43.9 min
 Primary = 1.80 cfs @ 12.86 hrs, Volume= 1.004 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 876.86' @ 12.86 hrs Surf.Area= 0.201 ac Storage= 0.578 af

Plug-Flow detention time= 156.5 min calculated for 1.001 af (95% of inflow)
 Center-of-Mass det. time= 138.4 min (900.4 - 762.0)

Volume	Invert	Avail.Storage	Storage Description
#1	873.00'	1.623 af	120.0" Round Pipe Storage L= 900.0'

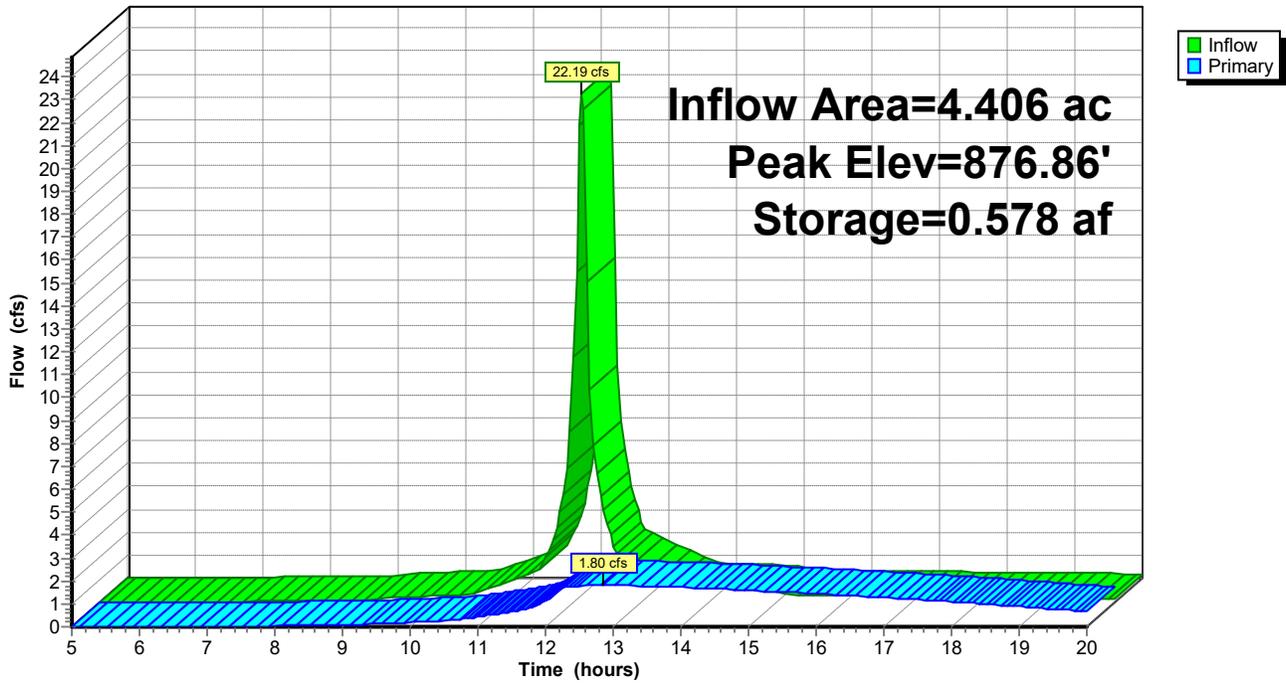
Device	Routing	Invert	Outlet Devices
#1	Primary	873.00'	24.0" Round Culvert L= 10.0' CMP, projecting, no headwall, Ke= 0.900 Inlet / Outlet Invert= 873.00' / 872.80' S= 0.0200 '/ Cc= 0.900 n= 0.025 Corrugated metal, Flow Area= 3.14 sf
#2	Device 1	873.00'	6.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	877.20'	6.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)

Primary OutFlow Max=1.80 cfs @ 12.86 hrs HW=876.86' (Free Discharge)

- 1=Culvert (Passes 1.80 cfs of 20.20 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 1.80 cfs @ 9.15 fps)
- 3=Sharp-Crested Rectangular Weir (Controls 0.00 cfs)

Pond 2P: UG

Hydrograph



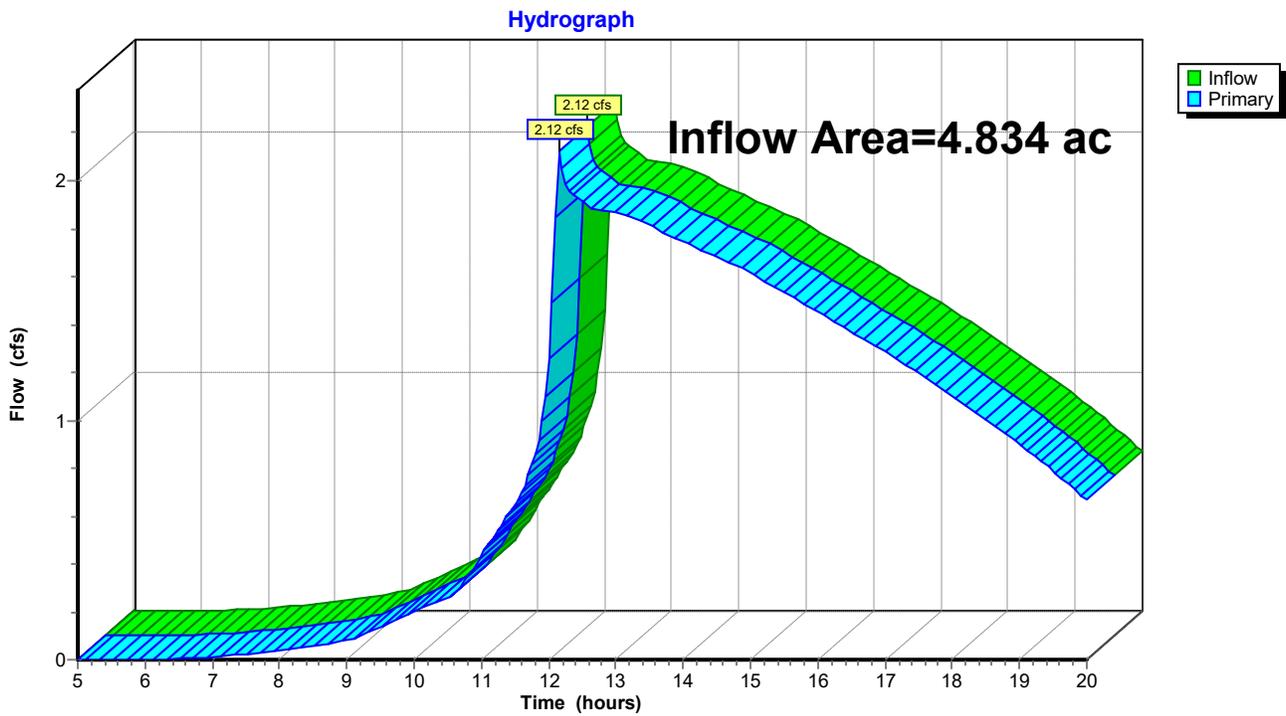
Summary for Pond 4P: Total Proposed Flow

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.834 ac, 74.16% Impervious, Inflow Depth > 2.56" for 10-yr event
Inflow = 2.12 cfs @ 12.17 hrs, Volume= 1.032 af
Primary = 2.12 cfs @ 12.17 hrs, Volume= 1.032 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 4P: Total Proposed Flow



Summary for Subcatchment 1S: Existing Site - West

Runoff = 1.67 cfs @ 12.14 hrs, Volume= 0.074 af, Depth> 2.10"

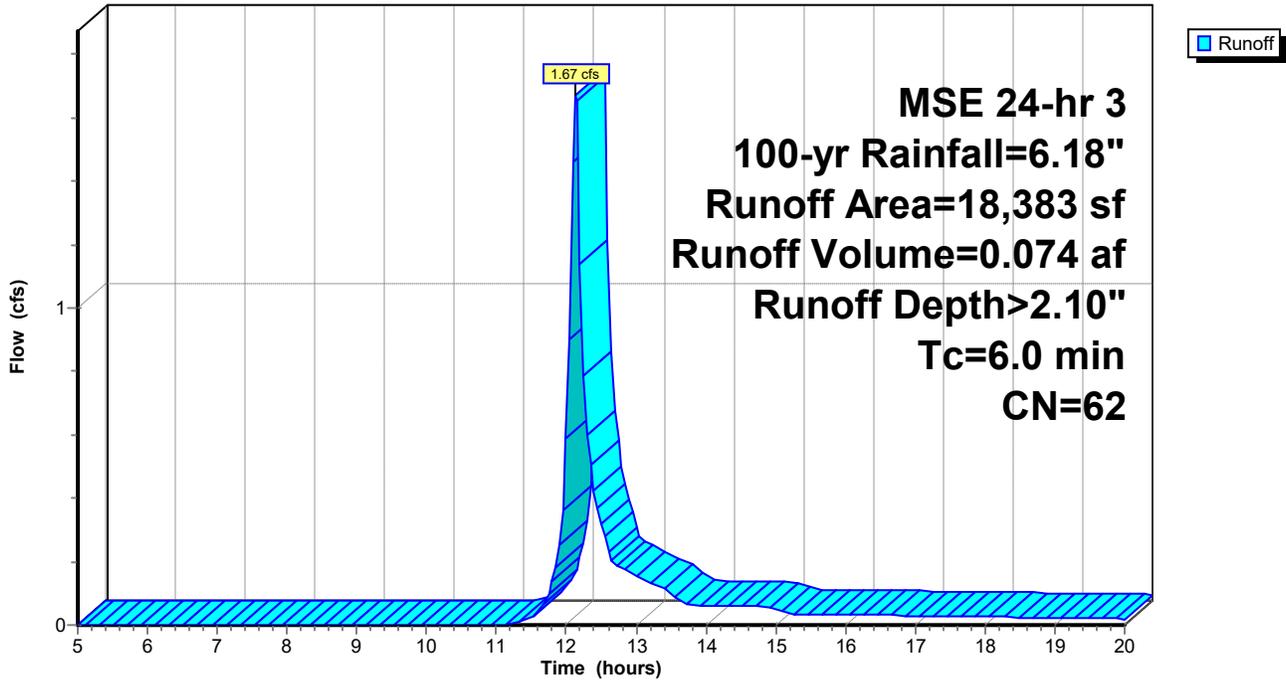
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 100-yr Rainfall=6.18"

Area (sf)	CN	Description
17,920	61	>75% Grass cover, Good, HSG B
* 428	98	Walks, HSG B
35	98	Paved parking, HSG B
18,383	62	Weighted Average
17,920		97.48% Pervious Area
463		2.52% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 1S: Existing Site - West

Hydrograph



Summary for Subcatchment 2S: Existing Site - Northeast

Runoff = 15.62 cfs @ 12.27 hrs, Volume= 1.032 af, Depth> 2.81"

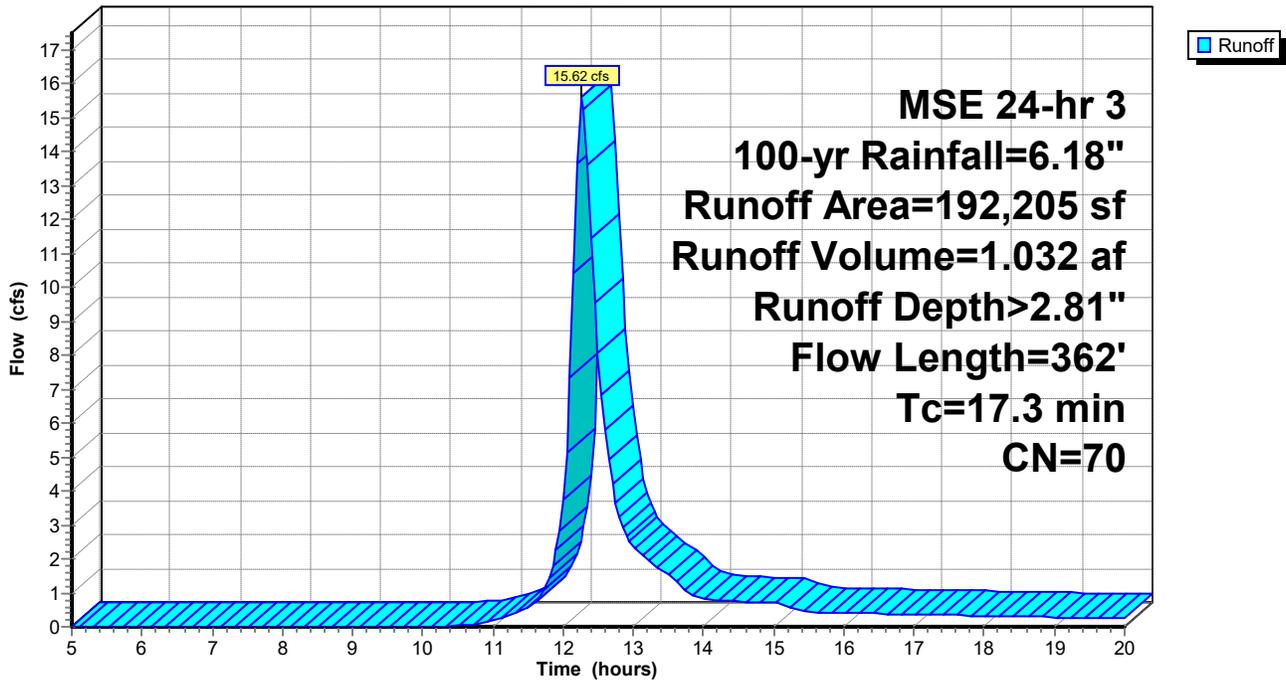
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 100-yr Rainfall=6.18"

Area (sf)	CN	Description
30,908	98	Paved parking, HSG B
10,968	98	Roofs, HSG B
* 4,017	98	Walks, HSG B
146,312	61	>75% Grass cover, Good, HSG B
192,205	70	Weighted Average
146,312		76.12% Pervious Area
45,893		23.88% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.8	130	0.0250	0.18		Sheet Flow, Grass: Short n= 0.150 P2= 2.79"
5.5	232	0.0100	0.70		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
17.3	362	Total			

Subcatchment 2S: Existing Site - Northeast

Hydrograph



Summary for Subcatchment 4S: Proposed Site - West

Runoff = 1.45 cfs @ 12.14 hrs, Volume= 0.064 af, Depth> 2.10"

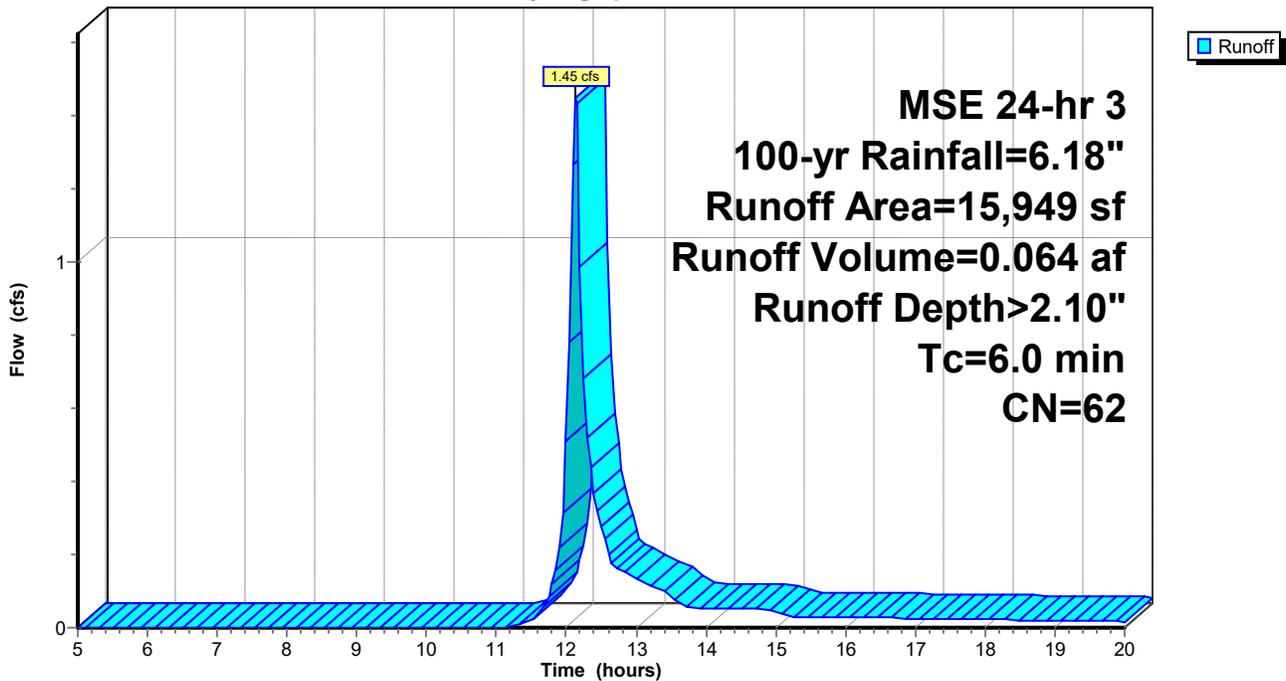
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 100-yr Rainfall=6.18"

Area (sf)	CN	Description
* 428	98	Walks, HSG B
15,521	61	>75% Grass cover, Good, HSG B
15,949	62	Weighted Average
15,521		97.32% Pervious Area
428		2.68% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 4S: Proposed Site - West

Hydrograph



Summary for Subcatchment 5S: Proposed Site to UG

Runoff = 18.47 cfs @ 12.13 hrs, Volume= 0.922 af, Depth> 5.08"

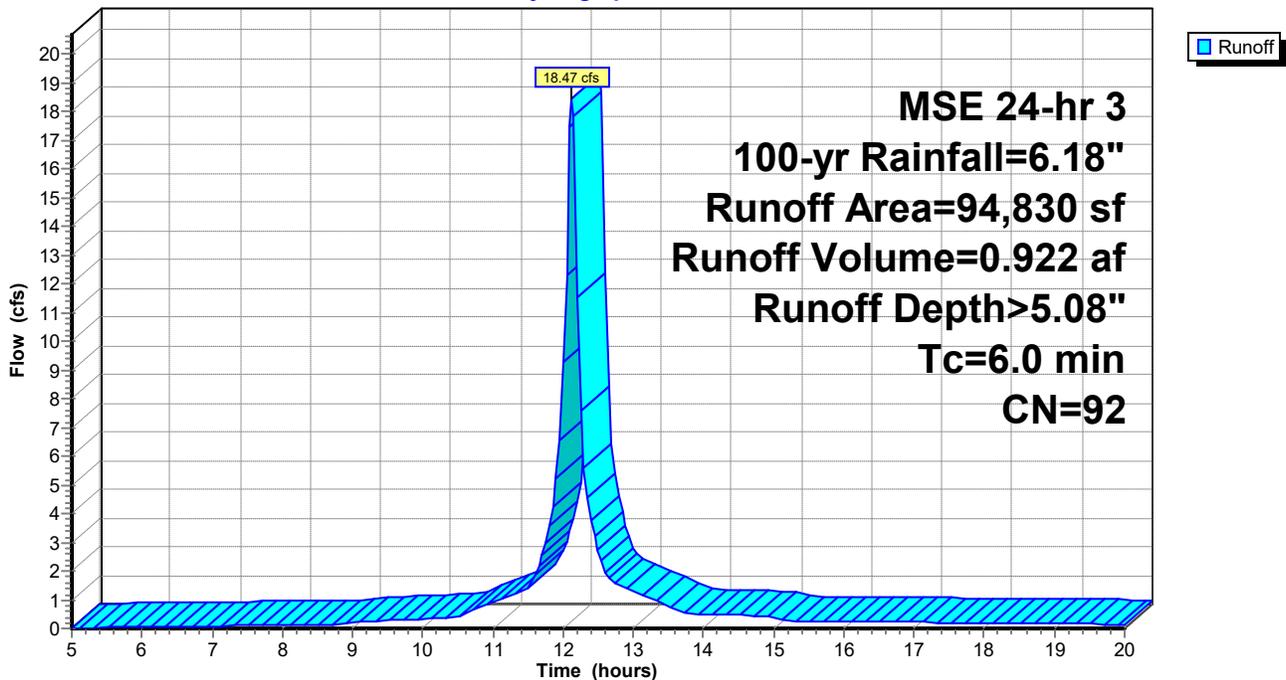
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 100-yr Rainfall=6.18"

Area (sf)	CN	Description
59,811	98	Paved parking, HSG B
18,000	98	Roofs, HSG B
* 2,308	98	Walks, HSG B
4,739	61	>75% Grass cover, Good, HSG B
9,972	61	>75% Grass cover, Good, HSG B
94,830	92	Weighted Average
14,711		15.51% Pervious Area
80,119		84.49% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 5S: Proposed Site to UG

Hydrograph



Summary for Subcatchment 6S: Proposed Site to UG

Runoff = 18.45 cfs @ 12.13 hrs, Volume= 0.903 af, Depth> 4.86"

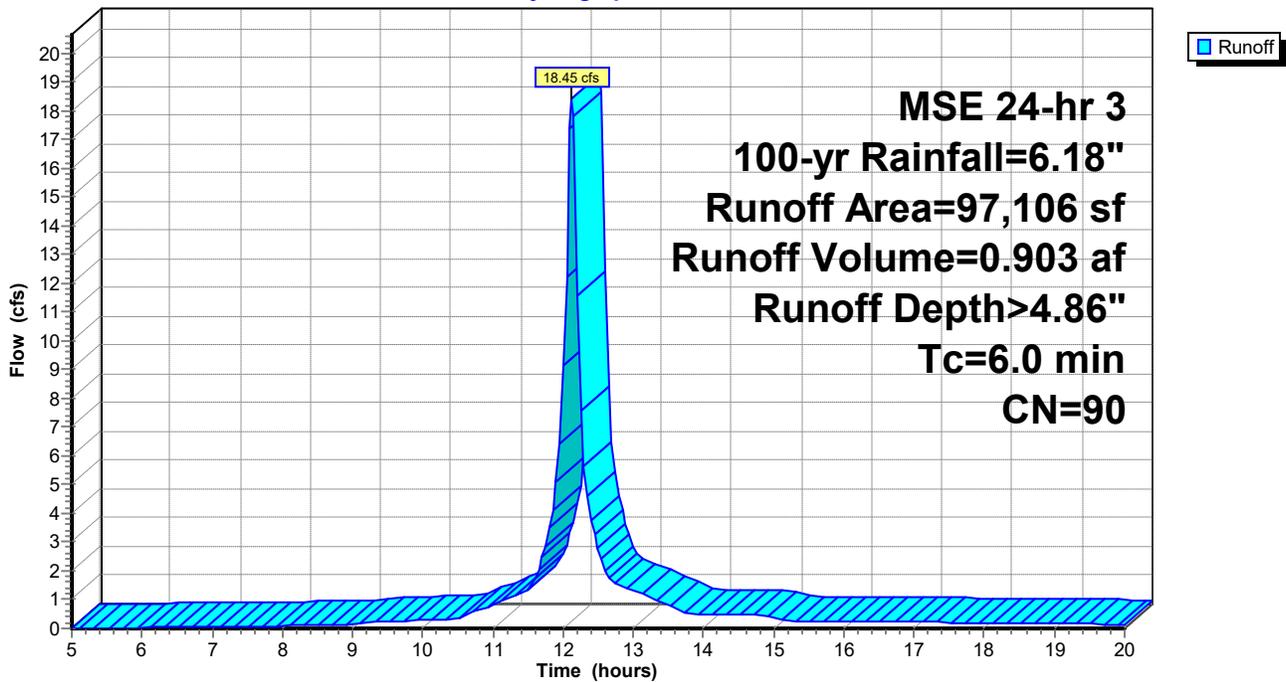
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 100-yr Rainfall=6.18"

Area (sf)	CN	Description
49,779	98	Paved parking, HSG B
18,000	98	Roofs, HSG B
* 7,841	98	Walks, HSG B
12,306	61	>75% Grass cover, Good, HSG B
9,180	61	>75% Grass cover, Good, HSG B
97,106	90	Weighted Average
21,486		22.13% Pervious Area
75,620		77.87% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 6S: Proposed Site to UG

Hydrograph



Summary for Subcatchment 8S: Proposed Site - Undetained East

Runoff = 0.23 cfs @ 12.14 hrs, Volume= 0.010 af, Depth> 2.02"

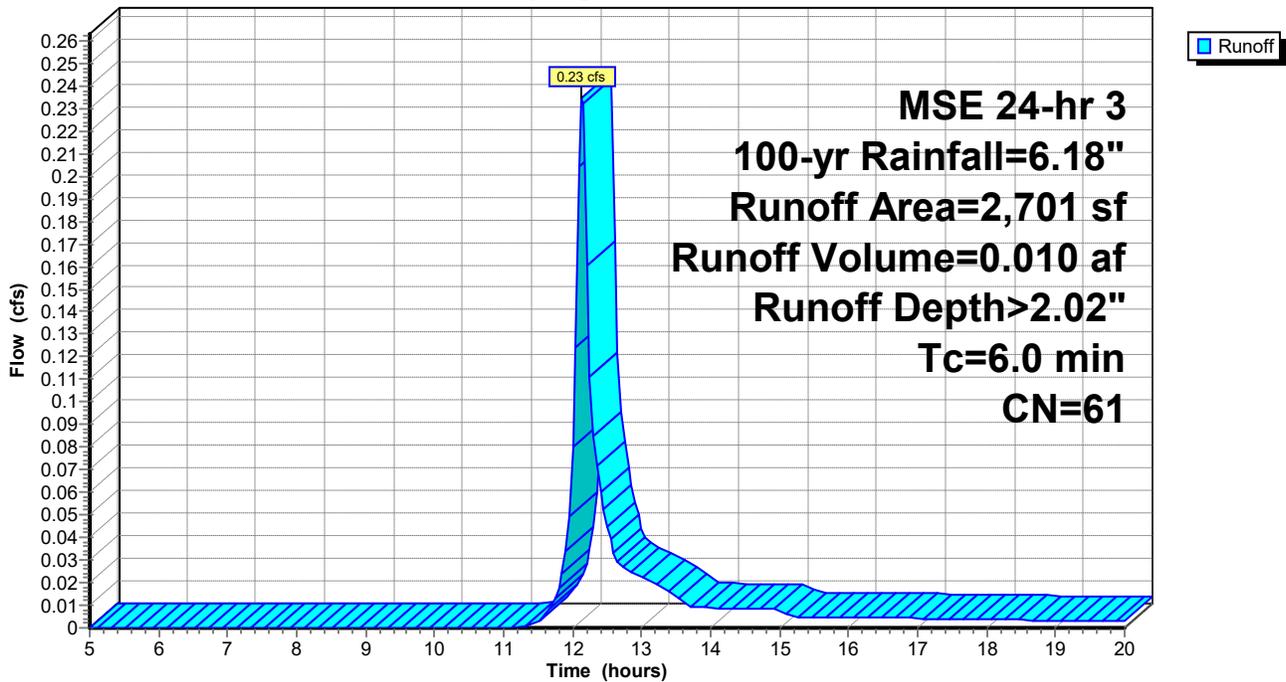
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 100-yr Rainfall=6.18"

Area (sf)	CN	Description
2,701	61	>75% Grass cover, Good, HSG B
2,701		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

Subcatchment 8S: Proposed Site - Undetained East

Hydrograph



Summary for Pond 1P: Total Existing Flow

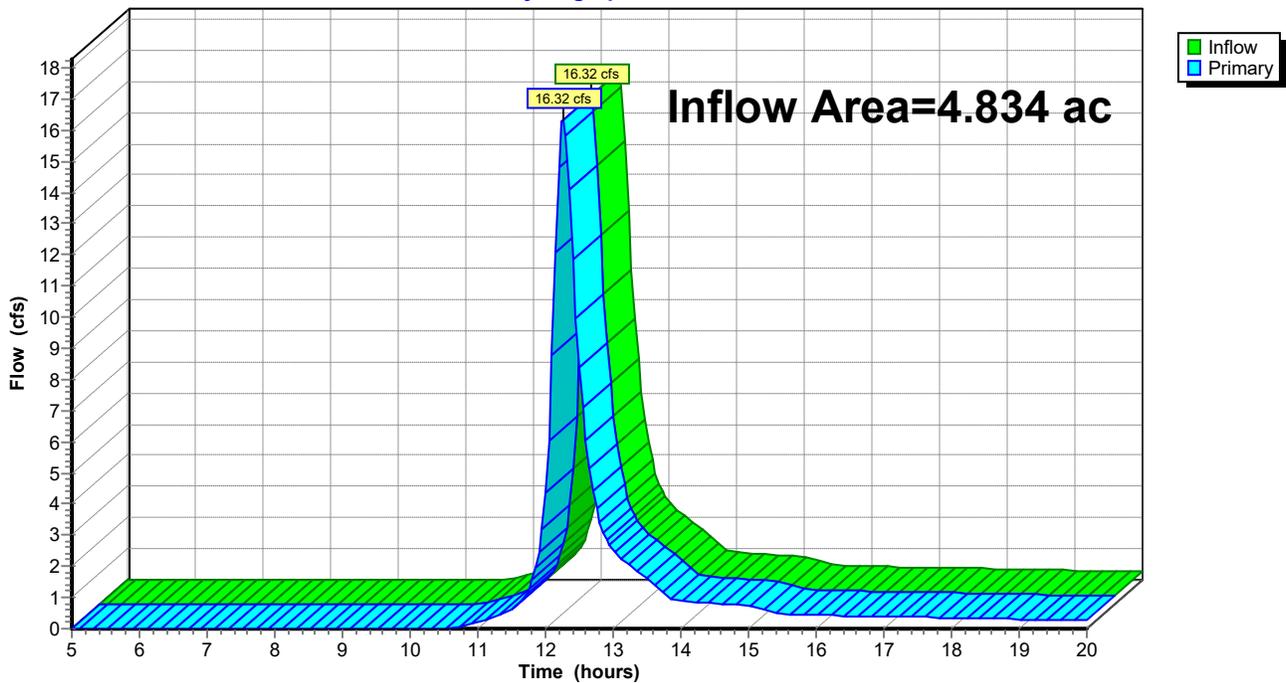
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.834 ac, 22.01% Impervious, Inflow Depth > 2.75" for 100-yr event
Inflow = 16.32 cfs @ 12.26 hrs, Volume= 1.106 af
Primary = 16.32 cfs @ 12.26 hrs, Volume= 1.106 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 1P: Total Existing Flow

Hydrograph



Summary for Pond 2P: UG

Inflow Area = 4.406 ac, 81.14% Impervious, Inflow Depth > 4.97" for 100-yr event
 Inflow = 36.92 cfs @ 12.13 hrs, Volume= 1.825 af
 Outflow = 15.15 cfs @ 12.26 hrs, Volume= 1.685 af, Atten= 59%, Lag= 8.2 min
 Primary = 15.15 cfs @ 12.26 hrs, Volume= 1.685 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 877.98' @ 12.26 hrs Surf.Area= 0.207 ac Storage= 0.807 af

Plug-Flow detention time= 125.0 min calculated for 1.685 af (92% of inflow)
 Center-of-Mass det. time= 99.4 min (852.0 - 752.6)

Volume	Invert	Avail.Storage	Storage Description
#1	873.00'	1.623 af	120.0" Round Pipe Storage L= 900.0'

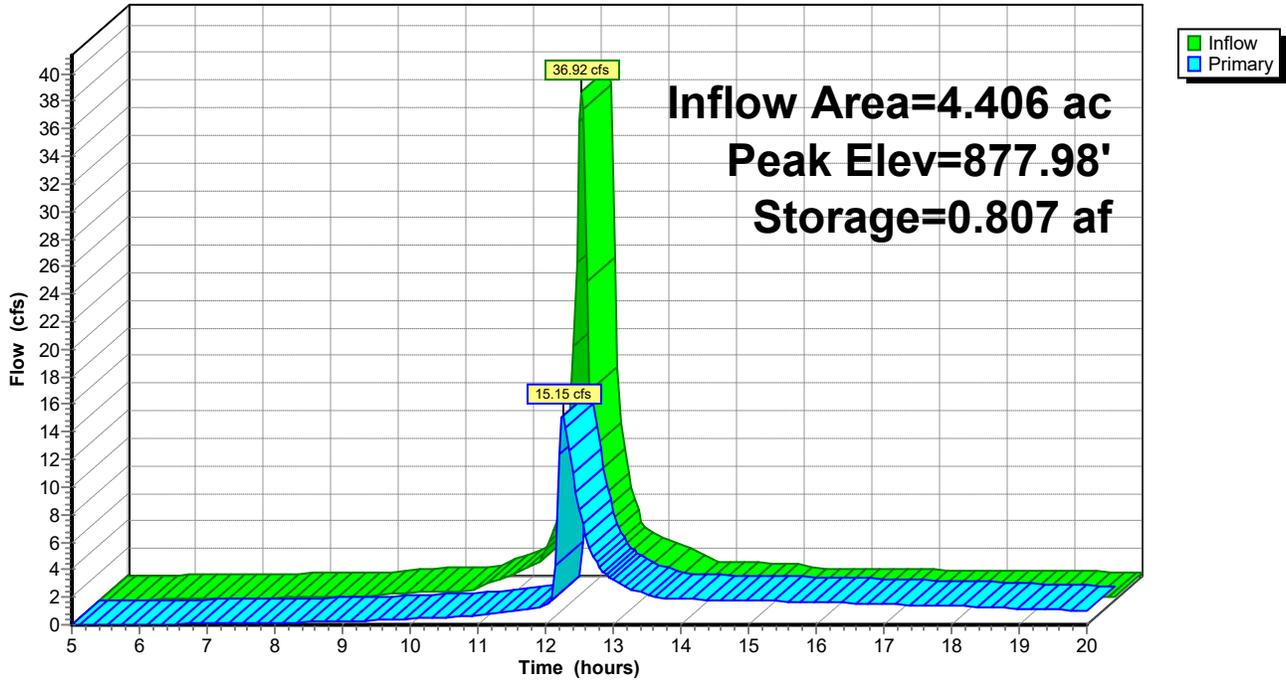
Device	Routing	Invert	Outlet Devices
#1	Primary	873.00'	24.0" Round Culvert L= 10.0' CMP, projecting, no headwall, Ke= 0.900 Inlet / Outlet Invert= 873.00' / 872.80' S= 0.0200 ' / Cc= 0.900 n= 0.025 Corrugated metal, Flow Area= 3.14 sf
#2	Device 1	873.00'	6.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	877.20'	6.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)

Primary OutFlow Max=14.79 cfs @ 12.26 hrs HW=877.96' (Free Discharge)

- 1=Culvert (Passes 14.79 cfs of 23.77 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 2.05 cfs @ 10.45 fps)
- 3=Sharp-Crested Rectangular Weir (Weir Controls 12.74 cfs @ 2.86 fps)

Pond 2P: UG

Hydrograph



Summary for Pond 4P: Total Proposed Flow

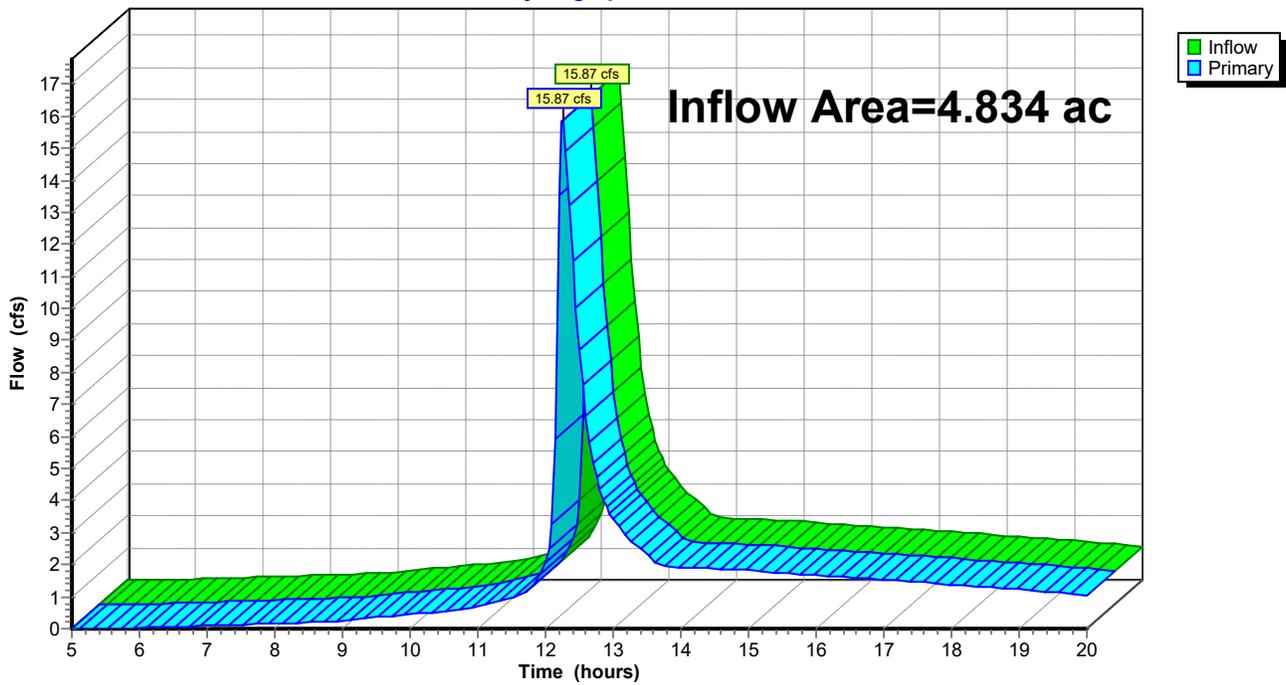
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.834 ac, 74.16% Impervious, Inflow Depth > 4.37" for 100-yr event
Inflow = 15.87 cfs @ 12.26 hrs, Volume= 1.760 af
Primary = 15.87 cfs @ 12.26 hrs, Volume= 1.760 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 4P: Total Proposed Flow

Hydrograph



Section 3
WinSLAMM Report



Ross Development ALL UG - InputData.txt

Data file name: Y:\Projects\1601316_Ross Site\USE THIS\1601316_Ross Site\Eng Data\Hydrology\Ross Development ALL UG.mdb

WinSLAMM Version 10.3.1

Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Madison WI 1981.RAN

Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx

Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx

Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std

Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False

Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdx

Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv

Cost Data file name:

Seed for random number generator: -42

Study period starting date: 01/01/81

Study period ending date: 12/31/81

Start of Winter Season: 12/02

End of Winter Season: 03/12

Date: 02-12-2018

Time: 14:31:44

Site information:

LU# 1 - Commercial: 5S Proposed to UG Total area (ac): 2.177

1 - Roofs 1: 0.413 ac. Flat Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

13 - Paved Parking 1: 1.373 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

31 - Sidewalks 1: 0.053 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 0.229 ac. Normal Silty Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

51 - Small Landscaped Areas 1: 0.109 ac. Normal Silty Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 2 - Commercial: 4S Proposed to West Total area (ac): 0.366

31 - Sidewalks 1: 0.010 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 0.356 ac. Normal Silty Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

Ross Development ALL UG - InputData.txt

LU# 3 - Commercial: 6S Proposed Site to UG Total area (ac): 2.230
 1 - Roofs 1: 0.413 ac. Flat Connected Source Area PSD File:
 C:\WinSLAMM Files\NURP.cpz
 13 - Paved Parking 1: 1.143 ac. Connected Source Area PSD File:
 C:\WinSLAMM Files\NURP.cpz
 31 - Sidewalks 1: 0.180 ac. Connected Source Area PSD File: C:\WinSLAMM
 Files\NURP.cpz
 45 - Large Landscaped Areas 1: 0.211 ac. Normal Silty Source Area PSD
 File: C:\WinSLAMM Files\NURP.cpz
 51 - Small Landscaped Areas 1: 0.283 ac. Normal Silty Source Area PSD
 File: C:\WinSLAMM Files\NURP.cpz

LU# 4 - Commercial: 8S Proposed to East Total area (ac): 0.062
 45 - Large Landscaped Areas 1: 0.062 ac. Normal Silty Source Area PSD
 File: C:\WinSLAMM Files\NURP.cpz

Control Practice 1: Wet Detention Pond CP# 1 (DS) - DS Wet Pond # 1
 Particle Size Distribution file name: Not needed - calculated by program
 Initial stage elevation (ft): 5
 Peak to Average Flow Ratio: 3.8
 Maximum flow allowed into pond (cfs): No maximum value entered
 Outlet Characteristics:

- Outlet type: Orifice 1
 1. Orifice diameter (ft): 0.5
 2. Number of orifices: 1
 3. Invert elevation above datum (ft): 5
- Outlet type: Broad Crested Weir
 1. Weir crest length (ft): 6
 2. Weir crest width (ft): 0.1
 3. Height from datum to bottom of weir opening: 9.2

Pond stage and surface area

(cfs)	Entry Number	Stage (ft)	Pond Area (acres)	Natural Seepage (in/hr)	Other Outflow
	0	0.00	0.0000	0.00	
0.00	1	0.05	0.0291	0.00	
0.00	2	0.15	0.0502	0.00	
0.00	3	0.25	0.0645	0.00	
0.00	4	0.50	0.0901	0.00	

Ross Development ALL UG - InputData.txt

0.00	5	1.00	0.1240	0.00
0.00	6	1.50	0.1475	0.00
0.00	7	2.00	0.1653	0.00
0.00	8	2.50	0.1789	0.00
0.00	9	3.00	0.1894	0.00
0.00	10	3.50	0.1971	0.00
0.00	11	4.00	0.2024	0.00
0.00	12	4.50	0.2056	0.00
0.00	13	5.00	0.2066	0.00
0.00	14	5.50	0.2066	0.00
0.00	15	6.00	0.2066	0.00
0.00	16	6.50	0.2066	0.00
0.00	17	7.00	0.2066	0.00
0.00	18	7.50	0.2066	0.00
0.00	19	8.00	0.2066	0.00
0.00	20	8.50	0.2066	0.00

Ross Development ALL UG - Output Summary.txt

SLAMM for Windows Version 10.3.1
 (c) Copyright Robert Pitt and John Voorhees 2012
 All Rights Reserved

Data file name: Y:\Projects\1601316_Ross Site\USE THIS\1601316_Ross Site\Eng
 Data\Hydrology\Ross Development ALL UG.mdb
 Data file description:
 Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Madison WI 1981.RAN
 Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx
 Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx
 Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban
 Dec06.std
 Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust
 Dec06.std
 Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust
 Dec06.std
 Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust
 Dec06.std
 Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban
 Dec06.std
 Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std
 Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppd
 Start of Winter Season: 12/02 End of Winter Season: 03/12
 Model Run Start Date: 01/01/81 Model Run End Date: 12/31/81
 Date of run: 02-12-2018 Time of run: 14:31:31
 Total Area Modeled (acres): 4.835
 Years in Model Run: 1.00

Particulate	Percent	Runoff	Percent Particulate
Solids	Particulate	Volume	Solids
Yield	Solids	(cu ft)	Conc.
(lbs)	Reduction	Reduction	(mg/L)
Total of all Land Uses without Controls:		283532	106.4
1884	-		
Outfall Total with Controls:		284261	29.27
519.4	72.43%		
Annualized Total After Outfall Controls:		285042	
520.9			

Section 4

Project Maps





NOAA Atlas 14, Volume 8, Version 2
Location name: Lake Geneva, Wisconsin, USA*
Latitude: 42.5907°, Longitude: -88.4116°
Elevation: 873.69 ft**



* source: ESRI Maps
 ** source: USGS

POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffrey Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aeriels](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.350 (0.271-0.444)	0.407 (0.315-0.517)	0.503 (0.387-0.639)	0.584 (0.447-0.745)	0.699 (0.520-0.915)	0.790 (0.575-1.04)	0.884 (0.623-1.19)	0.980 (0.665-1.34)	1.11 (0.727-1.55)	1.21 (0.774-1.71)
10-min	0.513 (0.396-0.651)	0.596 (0.461-0.757)	0.736 (0.567-0.936)	0.855 (0.655-1.09)	1.02 (0.761-1.34)	1.16 (0.842-1.53)	1.29 (0.912-1.74)	1.44 (0.973-1.97)	1.63 (1.06-2.27)	1.78 (1.13-2.51)
15-min	0.625 (0.484-0.793)	0.727 (0.562-0.923)	0.898 (0.691-1.14)	1.04 (0.799-1.33)	1.25 (0.929-1.63)	1.41 (1.03-1.86)	1.58 (1.11-2.12)	1.75 (1.19-2.40)	1.99 (1.30-2.77)	2.17 (1.38-3.06)
30-min	0.877 (0.678-1.11)	1.02 (0.787-1.29)	1.26 (0.969-1.60)	1.46 (1.12-1.87)	1.76 (1.31-2.30)	1.99 (1.45-2.63)	2.23 (1.57-3.00)	2.48 (1.69-3.40)	2.83 (1.85-3.95)	3.10 (1.97-4.37)
60-min	1.11 (0.860-1.41)	1.31 (1.01-1.66)	1.64 (1.26-2.09)	1.93 (1.48-2.46)	2.35 (1.75-3.08)	2.68 (1.96-3.55)	3.03 (2.14-4.08)	3.40 (2.31-4.66)	3.90 (2.55-5.46)	4.30 (2.74-6.06)
2-hr	1.35 (1.05-1.69)	1.60 (1.25-2.01)	2.03 (1.58-2.55)	2.40 (1.86-3.03)	2.94 (2.22-3.82)	3.38 (2.49-4.43)	3.83 (2.74-5.11)	4.31 (2.97-5.86)	4.98 (3.30-6.89)	5.50 (3.56-7.68)
3-hr	1.48 (1.17-1.85)	1.77 (1.39-2.21)	2.26 (1.78-2.83)	2.69 (2.10-3.38)	3.32 (2.53-4.30)	3.84 (2.85-5.00)	4.37 (3.15-5.79)	4.94 (3.42-6.67)	5.72 (3.83-7.88)	6.35 (4.14-8.80)
6-hr	1.75 (1.40-2.16)	2.08 (1.66-2.56)	2.65 (2.10-3.27)	3.15 (2.49-3.90)	3.89 (3.00-4.98)	4.49 (3.39-5.80)	5.13 (3.75-6.74)	5.81 (4.09-7.77)	6.77 (4.59-9.22)	7.52 (4.97-10.3)
12-hr	2.08 (1.68-2.54)	2.42 (1.95-2.94)	3.00 (2.41-3.66)	3.52 (2.82-4.32)	4.30 (3.37-5.45)	4.95 (3.78-6.31)	5.63 (4.17-7.31)	6.37 (4.54-8.42)	7.40 (5.10-9.98)	8.23 (5.52-11.2)
24-hr	2.41 (1.97-2.90)	2.77 (2.26-3.34)	3.40 (2.76-4.10)	3.96 (3.20-4.79)	4.78 (3.79-5.98)	5.46 (4.23-6.88)	6.18 (4.64-7.93)	6.95 (5.03-9.08)	8.03 (5.61-10.7)	8.90 (6.05-11.9)
2-day	2.73 (2.26-3.25)	3.16 (2.61-3.76)	3.90 (3.21-4.65)	4.54 (3.72-5.43)	5.47 (4.38-6.75)	6.23 (4.88-7.75)	7.02 (5.34-8.88)	7.86 (5.76-10.1)	9.01 (6.38-11.8)	9.93 (6.85-13.1)
3-day	3.01 (2.51-3.55)	3.45 (2.88-4.09)	4.22 (3.50-5.00)	4.90 (4.04-5.82)	5.88 (4.74-7.20)	6.68 (5.27-8.24)	7.51 (5.75-9.43)	8.39 (6.20-10.7)	9.62 (6.87-12.6)	10.6 (7.37-13.9)
4-day	3.25 (2.72-3.82)	3.70 (3.10-4.36)	4.48 (3.74-5.28)	5.17 (4.29-6.11)	6.17 (5.01-7.53)	7.00 (5.56-8.60)	7.86 (6.06-9.83)	8.78 (6.53-11.2)	10.1 (7.23-13.1)	11.1 (7.76-14.5)
7-day	3.85 (3.26-4.49)	4.32 (3.65-5.03)	5.14 (4.33-6.00)	5.86 (4.91-6.86)	6.92 (5.68-8.35)	7.79 (6.26-9.48)	8.71 (6.79-10.8)	9.69 (7.29-12.2)	11.1 (8.05-14.2)	12.2 (8.62-15.7)
10-day	4.39 (3.74-5.08)	4.90 (4.17-5.67)	5.78 (4.90-6.70)	6.55 (5.53-7.62)	7.67 (6.33-9.18)	8.58 (6.93-10.4)	9.54 (7.49-11.7)	10.6 (7.99-13.2)	12.0 (8.76-15.3)	13.1 (9.34-16.8)
20-day	6.01 (5.18-6.87)	6.70 (5.78-7.67)	7.84 (6.74-8.99)	8.79 (7.52-10.1)	10.1 (8.42-11.9)	11.1 (9.10-13.2)	12.2 (9.66-14.7)	13.2 (10.1-16.3)	14.6 (10.9-18.4)	15.7 (11.4-20.0)
30-day	7.45 (6.48-8.46)	8.30 (7.21-9.43)	9.67 (8.37-11.0)	10.8 (9.29-12.3)	12.2 (10.2-14.2)	13.4 (11.0-15.7)	14.4 (11.5-17.2)	15.5 (12.0-18.9)	16.8 (12.6-21.0)	17.8 (13.1-22.5)
45-day	9.35 (8.19-10.5)	10.4 (9.11-11.7)	12.0 (10.5-13.6)	13.3 (11.6-15.1)	15.0 (12.6-17.2)	16.1 (13.3-18.7)	17.2 (13.9-20.4)	18.3 (14.2-22.0)	19.5 (14.7-24.0)	20.4 (15.1-25.5)
60-day	11.0 (9.72-12.4)	12.2 (10.8-13.7)	14.1 (12.4-15.8)	15.5 (13.5-17.5)	17.3 (14.6-19.7)	18.5 (15.4-21.3)	19.6 (15.8-23.0)	20.6 (16.1-24.6)	21.7 (16.4-26.5)	22.4 (16.7-28.0)

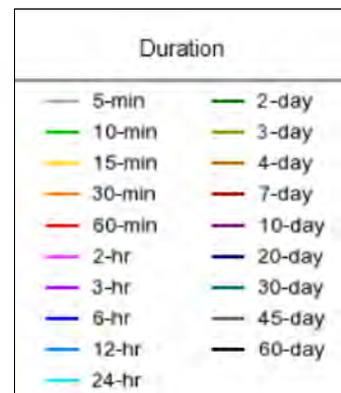
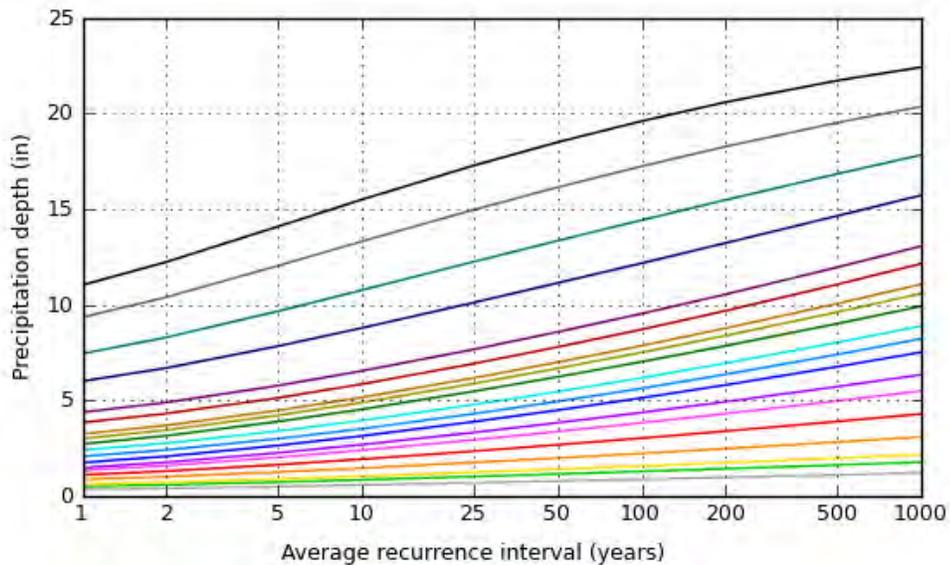
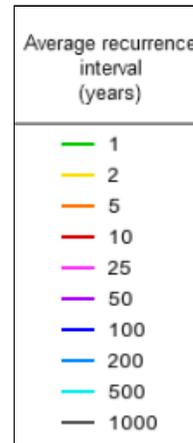
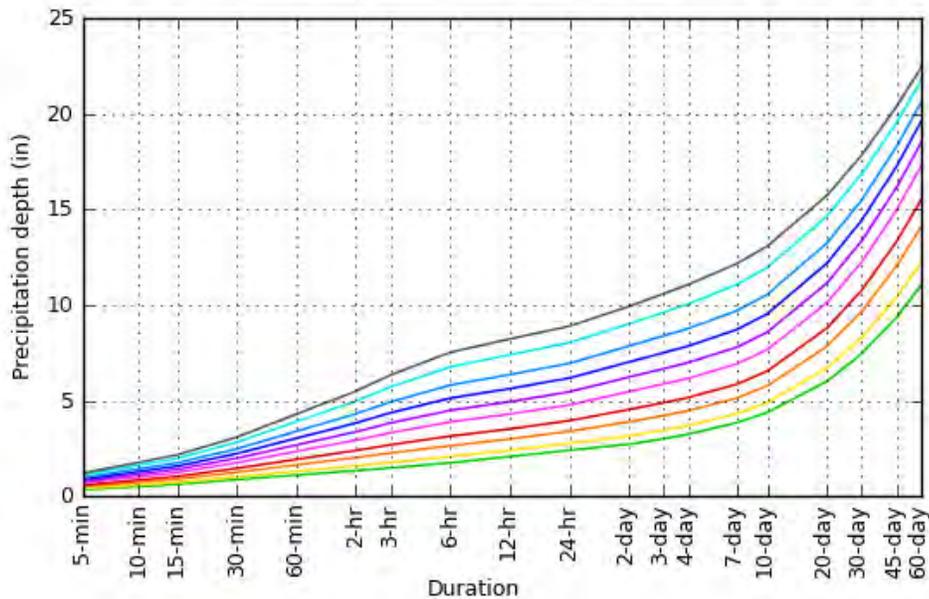
¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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PF graphical

PDS-based depth-duration-frequency (DDF) curves

Latitude: 42.5907°, Longitude: -88.4116°



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Maps & arials

Small scale terrain



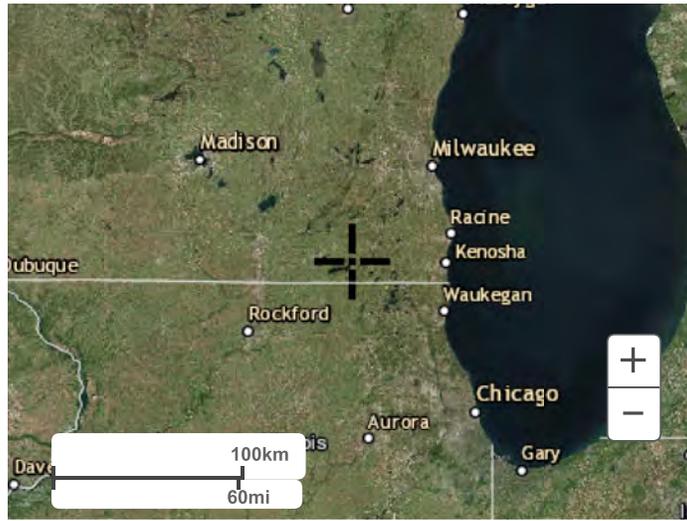
Large scale terrain



Large scale map



Large scale aerial



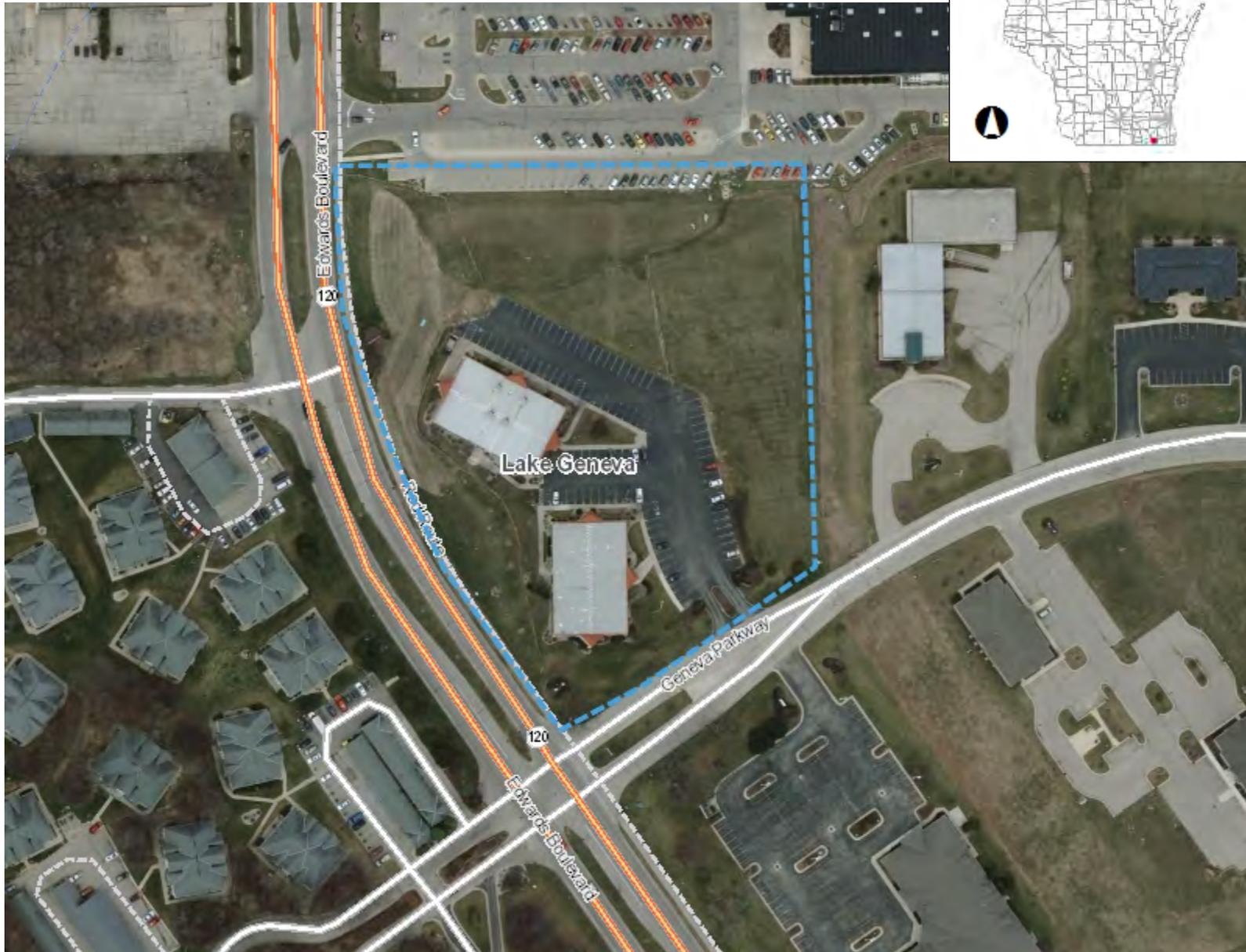
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1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

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Aerial View



- ### Legend
- Municipality
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1: 1,980

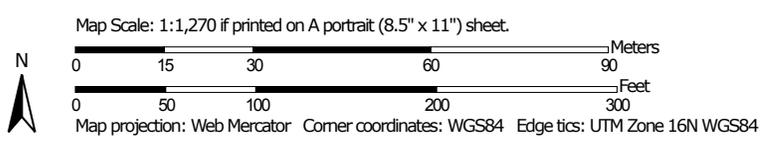
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Notes

Soil Map—Walworth County, Wisconsin



Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Walworth County, Wisconsin

Survey Area Data: Version 14, Oct 6, 2017

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 29, 2011—Mar 28, 2012

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CyA	Conover silt loam, 1 to 3 percent slopes	1.2	19.8%
MpB	McHenry silt loam, 2 to 6 percent slopes	3.2	51.6%
MxC2	Miami loam, sandy loam substratum, 6 to 12 percent slopes, eroded	1.8	28.6%
Totals for Area of Interest		6.3	100.0%

Walworth County, Wisconsin

CyA—Conover silt loam, 1 to 3 percent slopes

Map Unit Setting

National map unit symbol: g8w9

Elevation: 660 to 980 feet

Mean annual precipitation: 30 to 38 inches

Mean annual air temperature: 43 to 48 degrees F

Frost-free period: 150 to 190 days

Farmland classification: Prime farmland if drained

Map Unit Composition

Conover and similar soils: 100 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Conover

Setting

Landform: Till plains

Parent material: Thin loess over loamy till

Typical profile

Ap,E - 0 to 11 inches: silt loam

Bt - 11 to 23 inches: clay loam

2Bt,2BC,2C - 23 to 60 inches: loam

Properties and qualities

Slope: 1 to 3 percent

Depth to restrictive feature: More than 80 inches

Natural drainage class: Somewhat poorly drained

Capacity of the most limiting layer to transmit water (Ksat):

Moderately low to moderately high (0.14 to 0.57 in/hr)

Depth to water table: About 0 to 24 inches

Frequency of flooding: Occasional

Frequency of ponding: Occasional

Calcium carbonate, maximum in profile: 30 percent

Available water storage in profile: Moderate (about 8.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2w

Hydrologic Soil Group: C/D

Other vegetative classification: Mod AWC, high water table

(G095BY004WI)

Hydric soil rating: No

Minor Components

Pella

Percent of map unit:

Landform: Depressions

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Walworth County, Wisconsin
Survey Area Data: Version 14, Oct 6, 2017

Walworth County, Wisconsin

MpB—McHenry silt loam, 2 to 6 percent slopes

Map Unit Setting

National map unit symbol: 2tjyr

Elevation: 820 to 1,490 feet

Mean annual precipitation: 31 to 37 inches

Mean annual air temperature: 45 to 48 degrees F

Frost-free period: 126 to 181 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Mchenry and similar soils: 90 percent

Minor components: 10 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Mchenry

Setting

Landform: Moraines

Landform position (two-dimensional): Backslope

Landform position (three-dimensional): Side slope

Down-slope shape: Linear

Across-slope shape: Convex

Parent material: Loess over loamy till

Typical profile

Ap - 0 to 5 inches: silt loam

E - 5 to 10 inches: silt loam

Bt1 - 10 to 22 inches: silty clay loam

2Bt2 - 22 to 32 inches: loam

2Bt3 - 32 to 37 inches: fine sandy loam

2C - 37 to 79 inches: gravelly sandy loam

Properties and qualities

Slope: 2 to 6 percent

Depth to restrictive feature: More than 80 inches

Natural drainage class: Well drained

Runoff class: Low

Capacity of the most limiting layer to transmit water (Ksat):

Moderately high to high (0.60 to 2.00 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum in profile: 30 percent

Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

Available water storage in profile: High (about 9.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: B

Hydric soil rating: No

Minor Components

Dodge, eroded

Percent of map unit: 5 percent

Landform: Moraines

Landform position (two-dimensional): Backslope

Landform position (three-dimensional): Side slope

Down-slope shape: Linear

Across-slope shape: Convex

Hydric soil rating: No

Elburn

Percent of map unit: 3 percent

Landform: Drainageways

Landform position (two-dimensional): Backslope

Landform position (three-dimensional): Side slope

Down-slope shape: Linear

Across-slope shape: Convex

Hydric soil rating: No

Fox

Percent of map unit: 2 percent

Landform: Moraines

Landform position (two-dimensional): Backslope

Landform position (three-dimensional): Side slope

Down-slope shape: Linear

Across-slope shape: Convex

Hydric soil rating: No

Data Source Information

Soil Survey Area: Walworth County, Wisconsin

Survey Area Data: Version 14, Oct 6, 2017

Walworth County, Wisconsin

MxC2—Miami loam, sandy loam substratum, 6 to 12 percent slopes, eroded

Map Unit Setting

National map unit symbol: g8xp

Elevation: 660 to 980 feet

Mean annual precipitation: 30 to 38 inches

Mean annual air temperature: 43 to 48 degrees F

Frost-free period: 150 to 190 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Miami and similar soils: 100 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Miami

Setting

Landform: Till plains

Parent material: Loamy lodgment till

Typical profile

Ap - 0 to 10 inches: loam

Bt - 10 to 36 inches: clay loam

C - 36 to 60 inches: gravelly sandy loam

Properties and qualities

Slope: 6 to 12 percent

Depth to restrictive feature: More than 80 inches

Natural drainage class: Well drained

Capacity of the most limiting layer to transmit water (Ksat):

Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 60 to 80 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum in profile: 50 percent

Available water storage in profile: Moderate (about 8.5 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 3e

Hydrologic Soil Group: B

Other vegetative classification: Mod AWC, adequately drained
(G095BY005WI)

Hydric soil rating: No

Data Source Information

Soil Survey Area: Walworth County, Wisconsin

Survey Area Data: Version 14, Oct 6, 2017



Wetland Inventory



- ### Legend
- Wetland Class Points**
 - Dammed pond
 - Excavated pond
 - Filled excavated pond
 - Filled/draind wetland
 - Wetland too small to delineate
 - Filled Points**
 - Filled Points
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 - Filled Areas
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 - Tribal Lands
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 - Rivers and Streams
 - Intermittent Streams
 - Lakes and Open water**
 - Lakes and Open water

Notes



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Wetland Indicators



- ### Legend
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 - Railroads
 - Tribal Lands
 - Rivers and Streams
 - Intermittent Streams
 - Lakes and Open water



NAD_1983_HARN_Wisconsin_TM

1: 1,980

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Notes

Section 5

Storm Sewer Calculations



Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
7	6	152.857	0.18	0.53	0.90	0.16	0.48	6.0	6.6	6.3	2.99	4.55	3.96	15	0.50	876.34	877.10	877.08	877.84	881.55	879.75	CB2 to Storage
8	7	100.377	0.35	0.35	0.90	0.32	0.32	6.0	6.0	6.5	2.06	2.51	3.57	12	0.50	877.35	877.85	878.04	878.54	879.75	881.00	CB1 to CB2
9	6	93.994	0.32	0.32	0.90	0.29	0.29	6.0	6.0	6.5	1.88	1.95	2.83	12	0.26	876.14	876.38	876.93	877.17	881.55	878.38	CB3 to Storage
10	End	124.605	0.30	1.93	0.90	0.27	1.74	6.0	8.2	5.7	9.96	19.64	4.95	24	0.75	874.83	875.77	876.17	876.90	883.75	881.39	CB8 to Storage
11	10	98.975	0.09	1.22	0.90	0.08	1.10	6.0	7.4	6.0	6.57	23.74	4.17	24	1.10	875.77	876.86	876.90	877.77	881.39	881.41	CB7 to CB8
12	11	74.217	0.14	0.14	0.90	0.13	0.13	6.0	6.0	6.5	0.82	1.94	2.38	12	0.30	877.86	878.08	878.31	878.53	881.41	880.95	CB9 to CB7
13	11	57.415	0.01	0.99	0.90	0.01	0.89	6.0	7.1	6.1	5.43	6.80	4.27	18	0.42	876.86	877.10	877.87	878.11	881.41	882.10	CB6 to CB7
14	13	87.177	0.46	0.98	0.90	0.41	0.88	6.0	6.7	6.3	5.52	5.73	3.21	18	0.30	877.10	877.36	878.54	878.74	882.10	880.79	CB5 to CB6
15	14	100.274	0.52	0.52	0.90	0.47	0.47	6.0	6.0	6.5	3.06	3.22	2.55	15	0.25	877.61	877.86	878.82	879.02	880.79	880.79	CB4 to CB5
16	10	36.624	0.41	0.41	0.90	0.37	0.37	6.0	6.0	6.5	2.41	2.51	3.63	12	0.49	876.77	876.95	877.56	877.74	881.39	881.19	CB10 to CB8
17	End	130.574	0.11	0.11	0.90	0.10	0.10	6.0	6.0	6.5	0.65	1.68	2.04	12	0.22	875.65	875.94	876.06	876.38	883.75	878.47	CB11 to Storage

Project File: Storm2.stm

Number of lines: 11

Run Date: 3/22/2018

NOTES: Intensity = 30.46 / (Inlet time + 4.20) ^ 0.66; Return period = Yrs. 10 ; c = cir e = ellip b = box

Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
7	6	152.857	0.18	0.53	0.90	0.16	0.48	6.0	6.4	9.5	4.55	4.55	4.23	15	0.50	876.34	877.10	877.36	878.12	881.55	879.75	CB2 to Storage
8	7	100.377	0.35	0.35	0.90	0.32	0.32	6.0	6.0	9.8	3.09	2.51	3.94	12	0.50	877.35	877.85	878.35	879.11	879.75	881.00	CB1 to CB2
9	6	93.994	0.32	0.32	0.90	0.29	0.29	6.0	6.0	9.8	2.83	1.95	3.60	12	0.26	876.14	876.38	877.14	877.65	881.55	878.38	CB3 to Storage
10	End	124.605	0.30	1.93	0.90	0.27	1.74	6.0	7.5	8.9	15.53	19.64	6.72	24	0.75	874.83	875.77	876.17	877.19	883.75	881.39	CB8 to Storage
11	10	98.975	0.09	1.22	0.90	0.08	1.10	6.0	7.0	9.2	10.13	23.74	4.87	24	1.10	875.77	876.86	877.19	878.00	881.39	881.41	CB7 to CB8
12	11	74.217	0.14	0.14	0.90	0.13	0.13	6.0	6.0	9.8	1.24	1.94	2.62	12	0.30	877.86	878.08	878.44	878.66	881.41	880.95	CB9 to CB7
13	11	57.415	0.01	0.99	0.90	0.01	0.89	6.0	6.8	9.3	8.33	6.80	4.71	18	0.42	876.86	877.10	878.36	878.72	881.41	882.10	CB6 to CB7
14	13	87.177	0.46	0.98	0.90	0.41	0.88	6.0	6.4	9.5	8.41	5.73	4.76	18	0.30	877.10	877.36	879.24	879.80	882.10	880.79	CB5 to CB6
15	14	100.274	0.52	0.52	0.90	0.47	0.47	6.0	6.0	9.8	4.60	3.22	3.75	15	0.25	877.61	877.86	879.97	880.48	880.79	880.79	CB4 to CB5
16	10	36.624	0.41	0.41	0.90	0.37	0.37	6.0	6.0	9.8	3.62	2.51	4.62	12	0.49	876.77	876.95	877.77	878.15	881.39	881.19	CB10 to CB8
17	End	130.574	0.11	0.11	0.90	0.10	0.10	6.0	6.0	9.8	0.97	1.68	2.43	12	0.22	875.65	875.94	876.06	876.63	883.75	878.47	CB11 to Storage

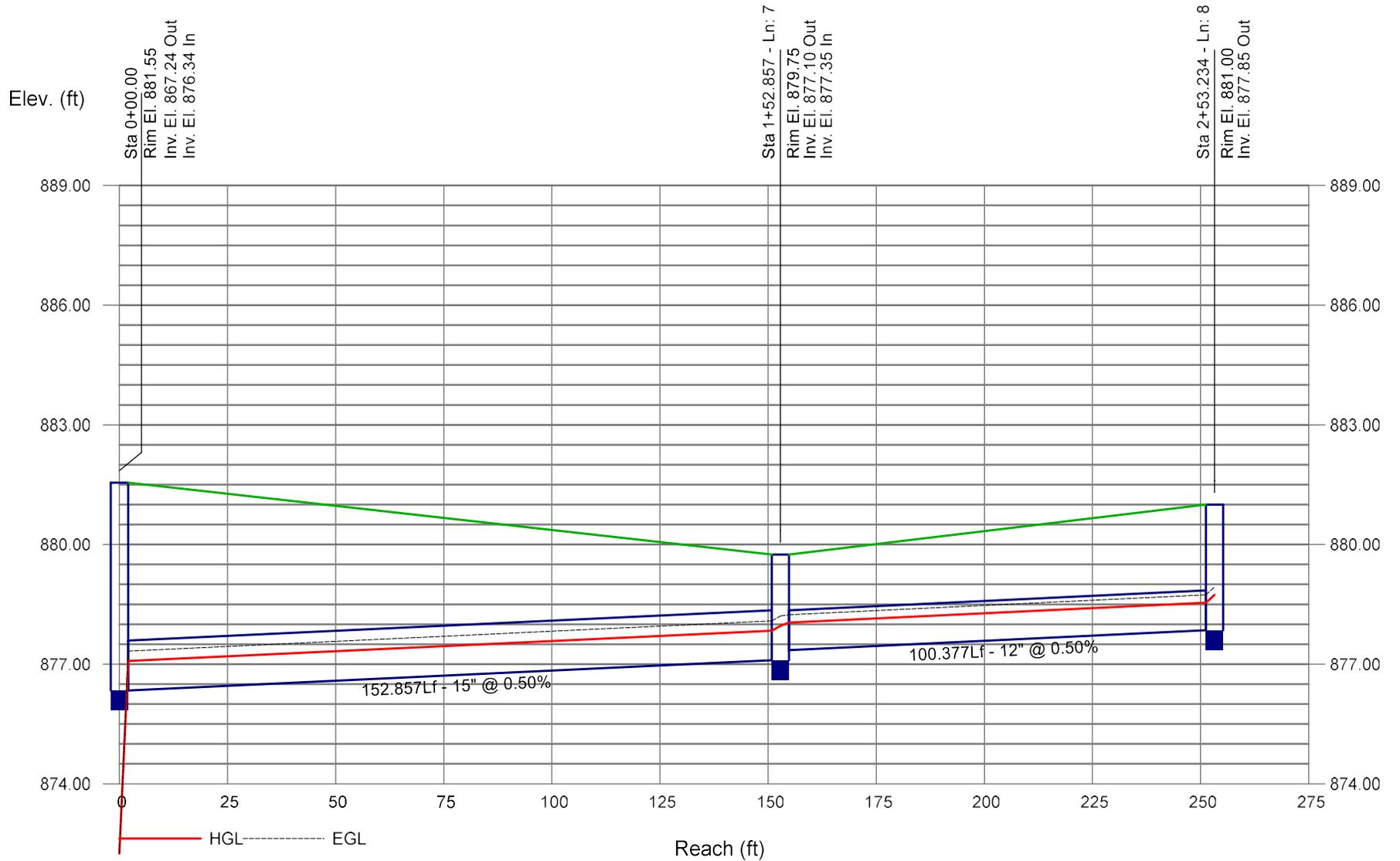
Project File: Storm2.stm

Number of lines: 11

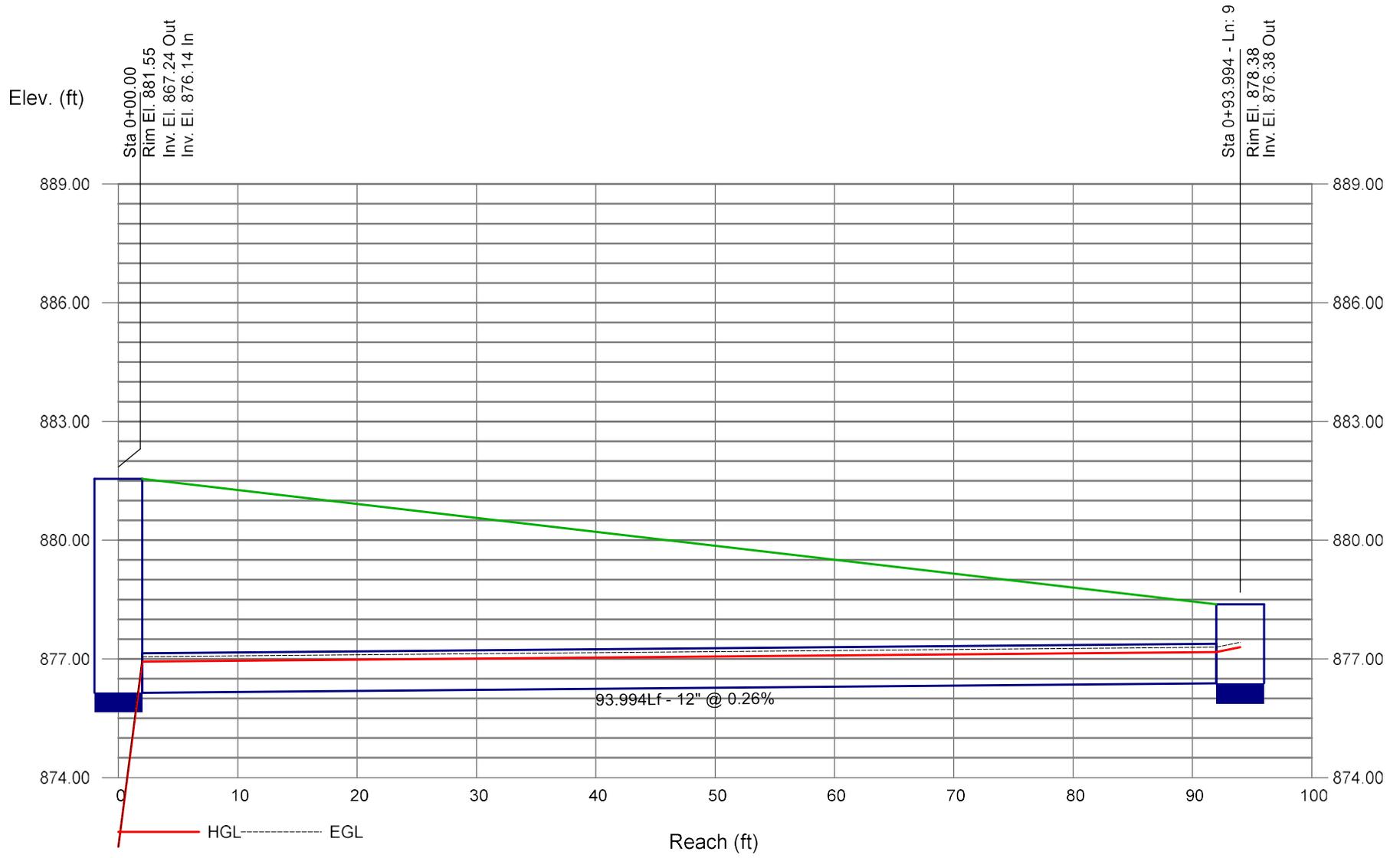
Run Date: 3/22/2018

NOTES: Intensity = 35.15 / (Inlet time + 2.60) ^ 0.59; Return period = Yrs. 100 ; c = cir e = ellip b = box

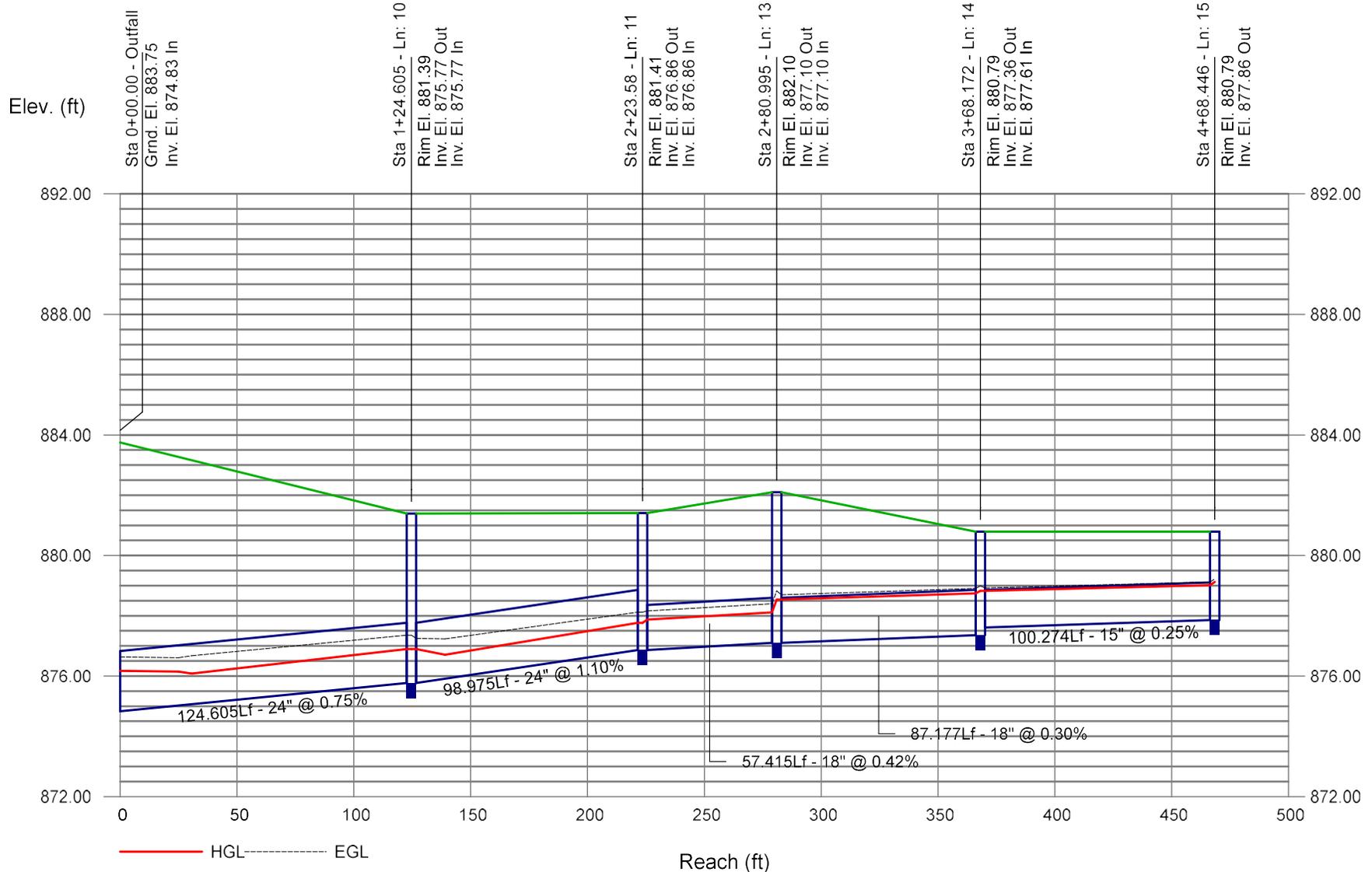
Storm Sewer Profile



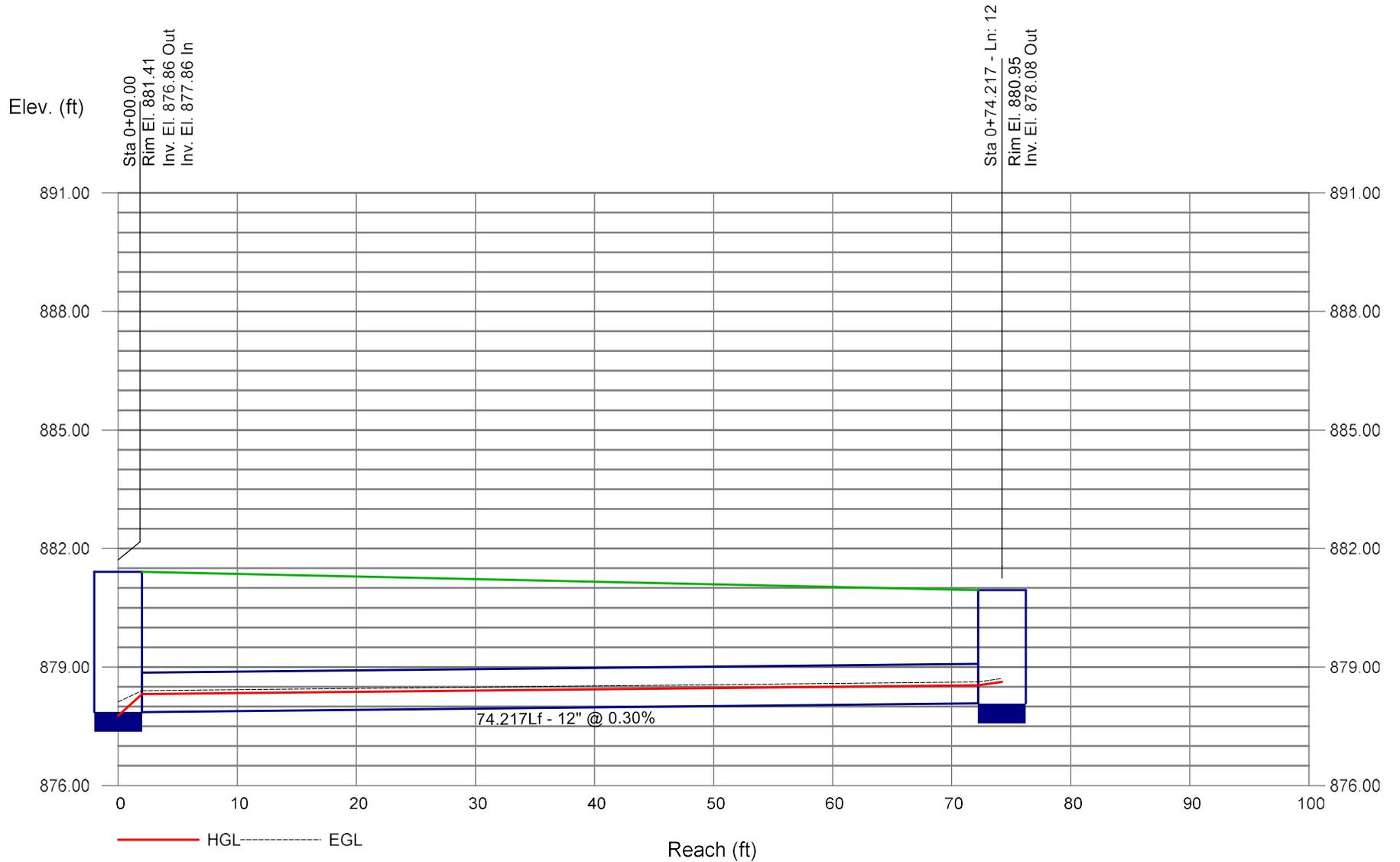
Storm Sewer Profile



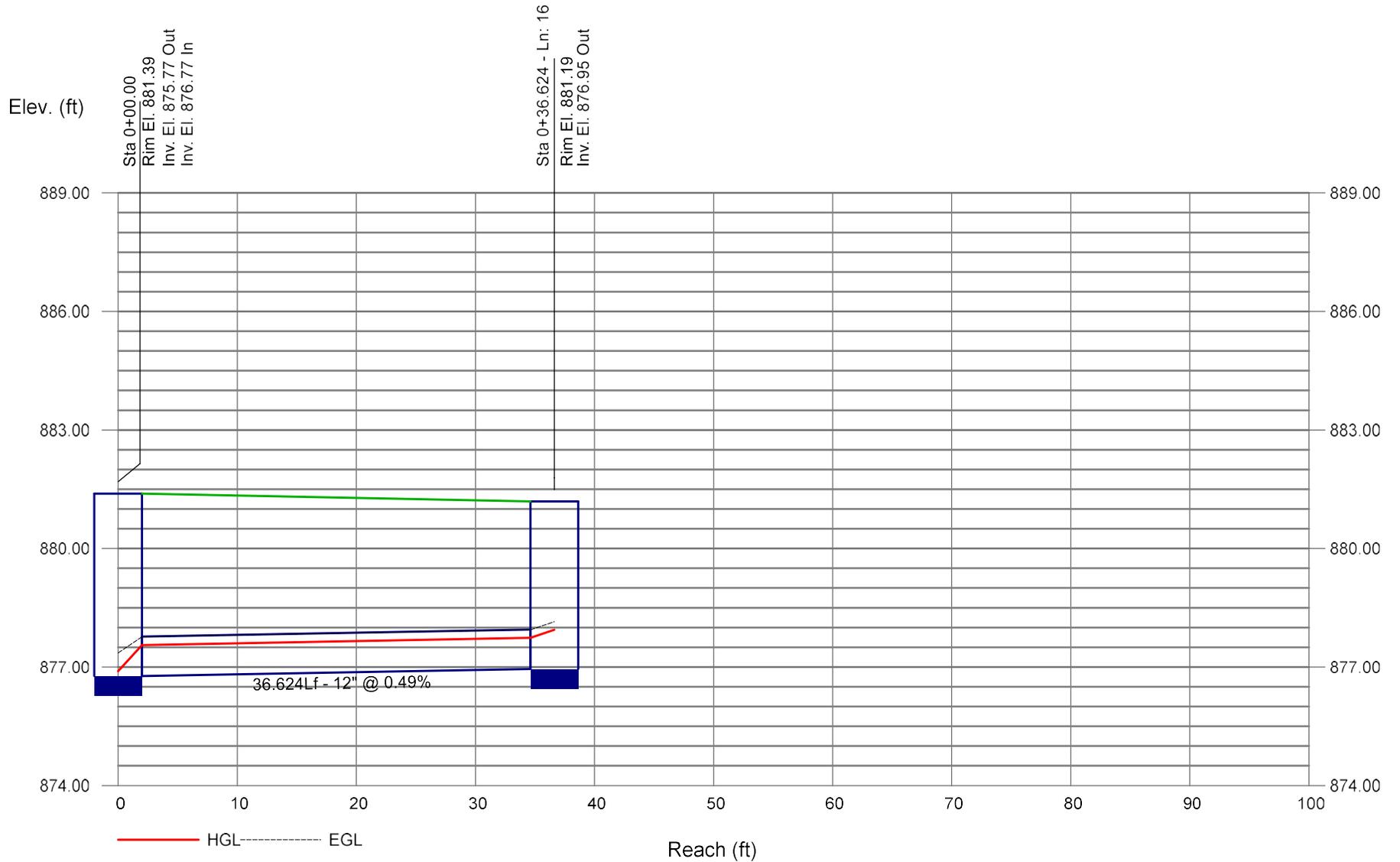
Storm Sewer Profile



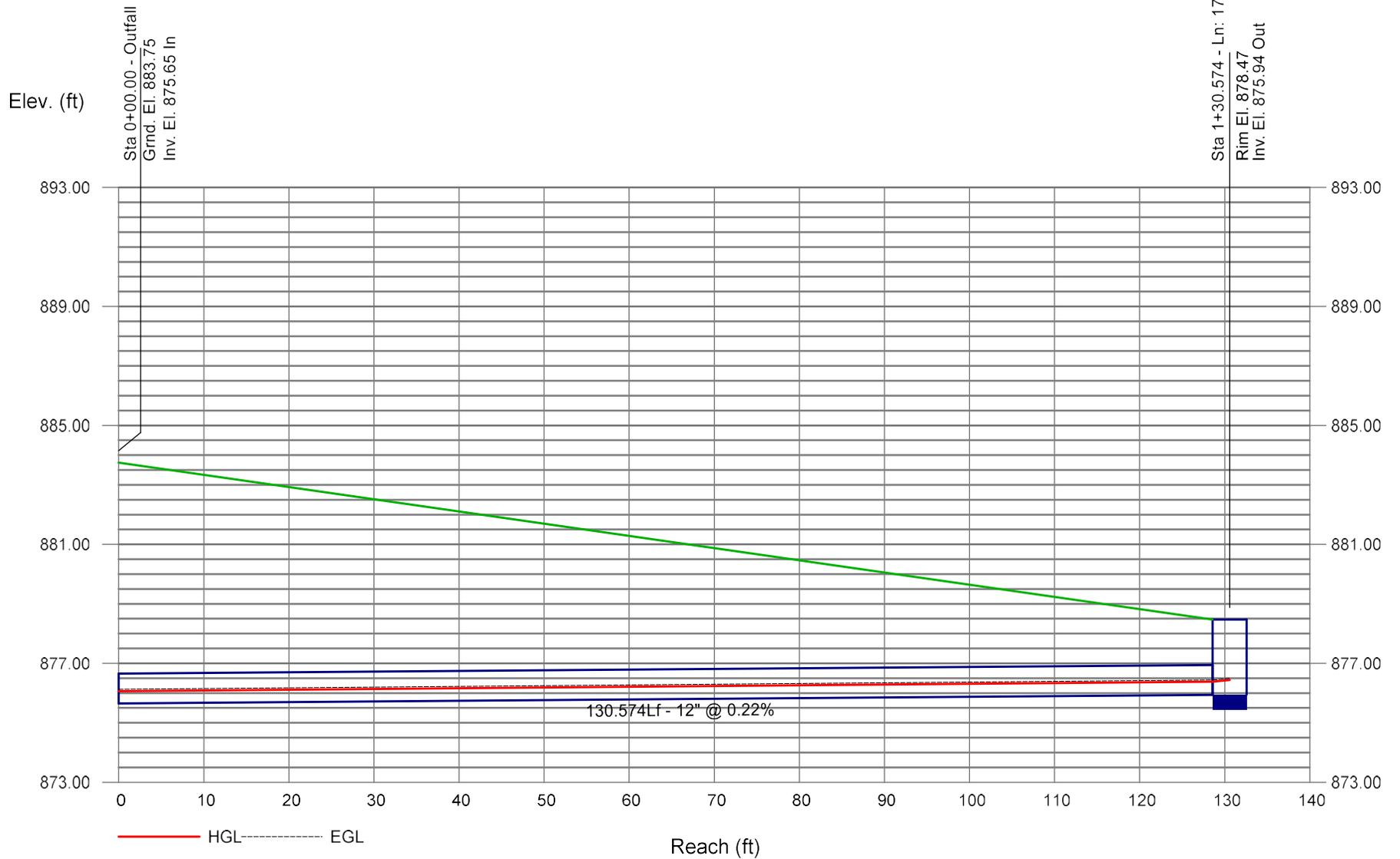
Storm Sewer Profile



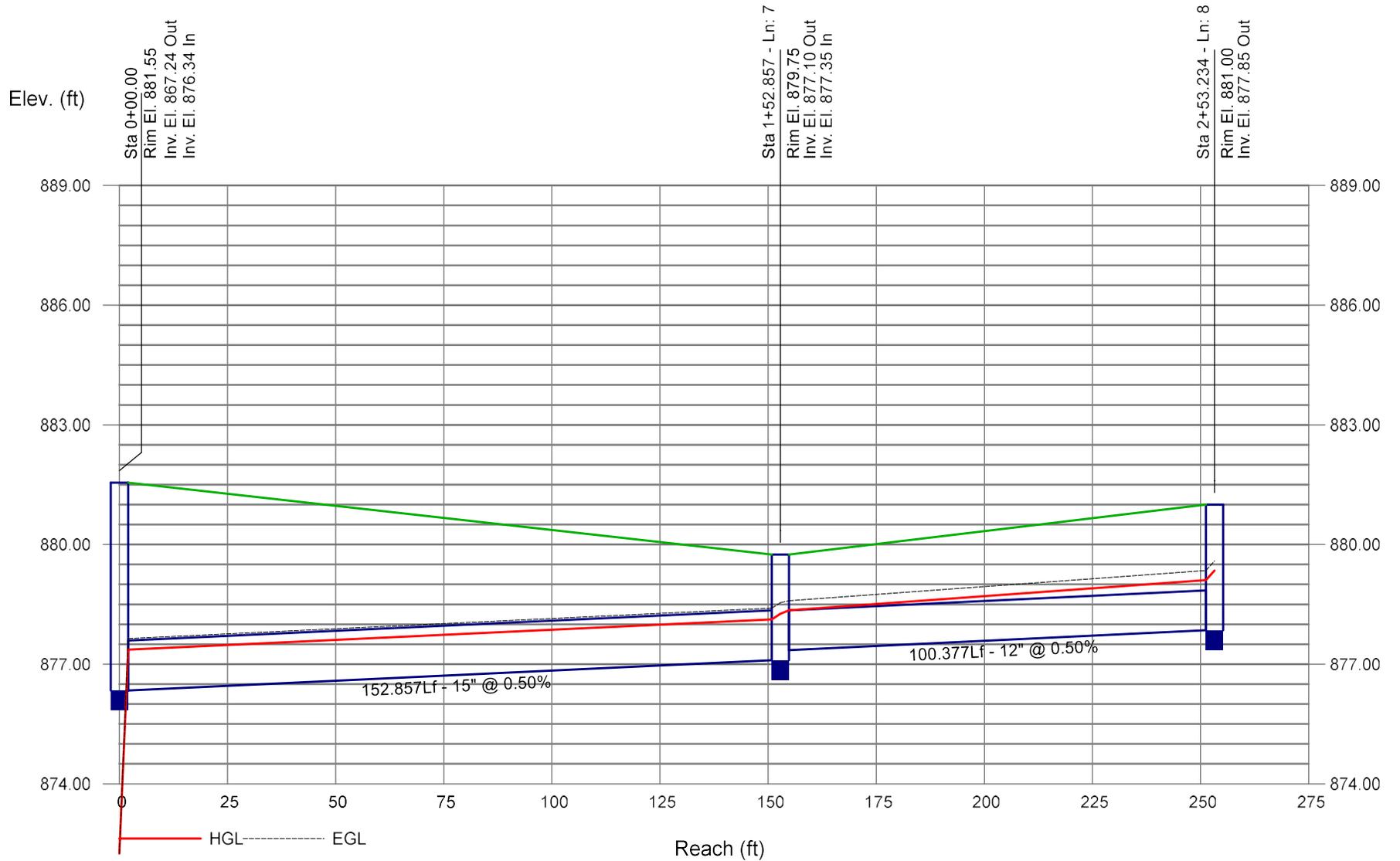
Storm Sewer Profile



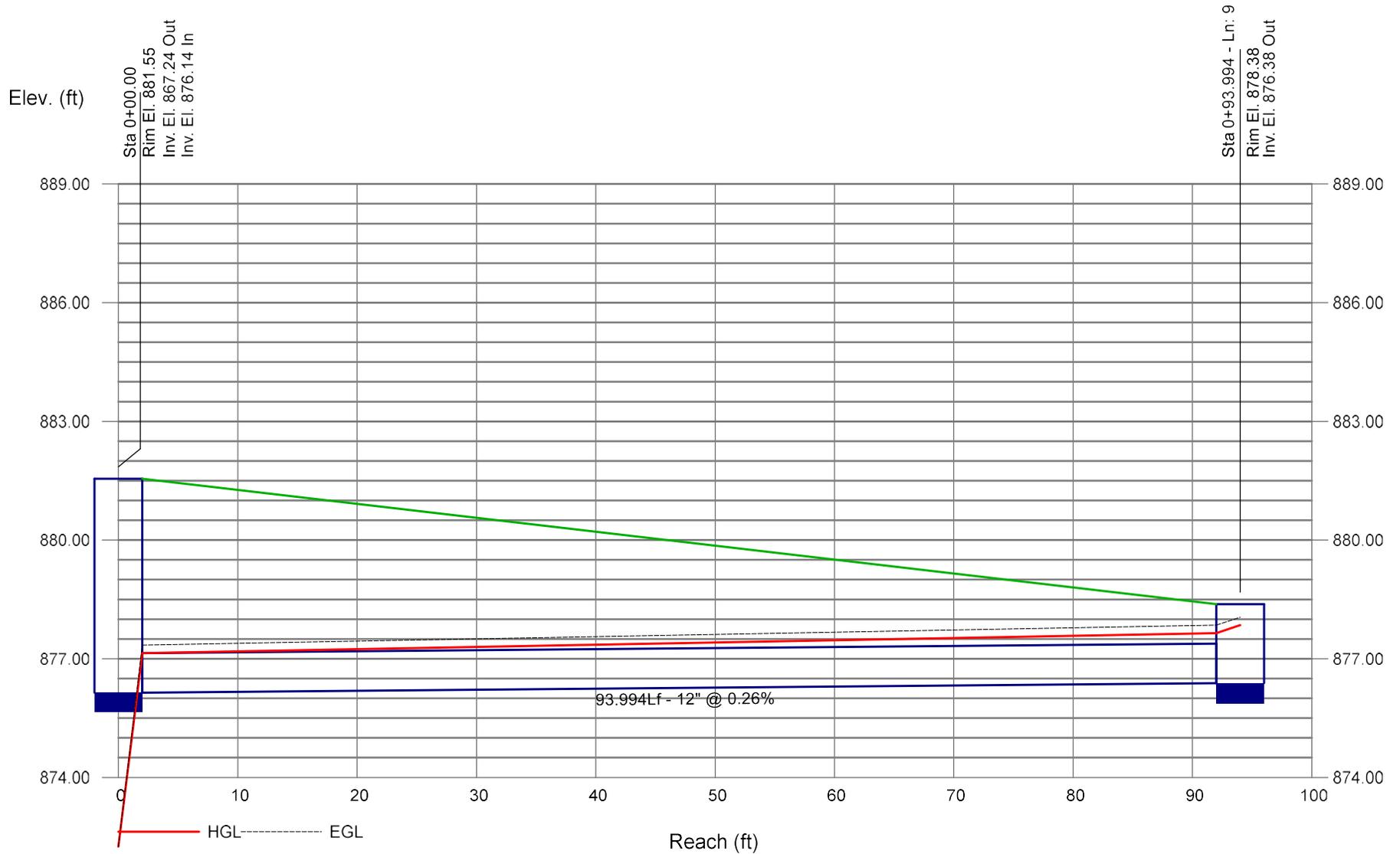
Storm Sewer Profile



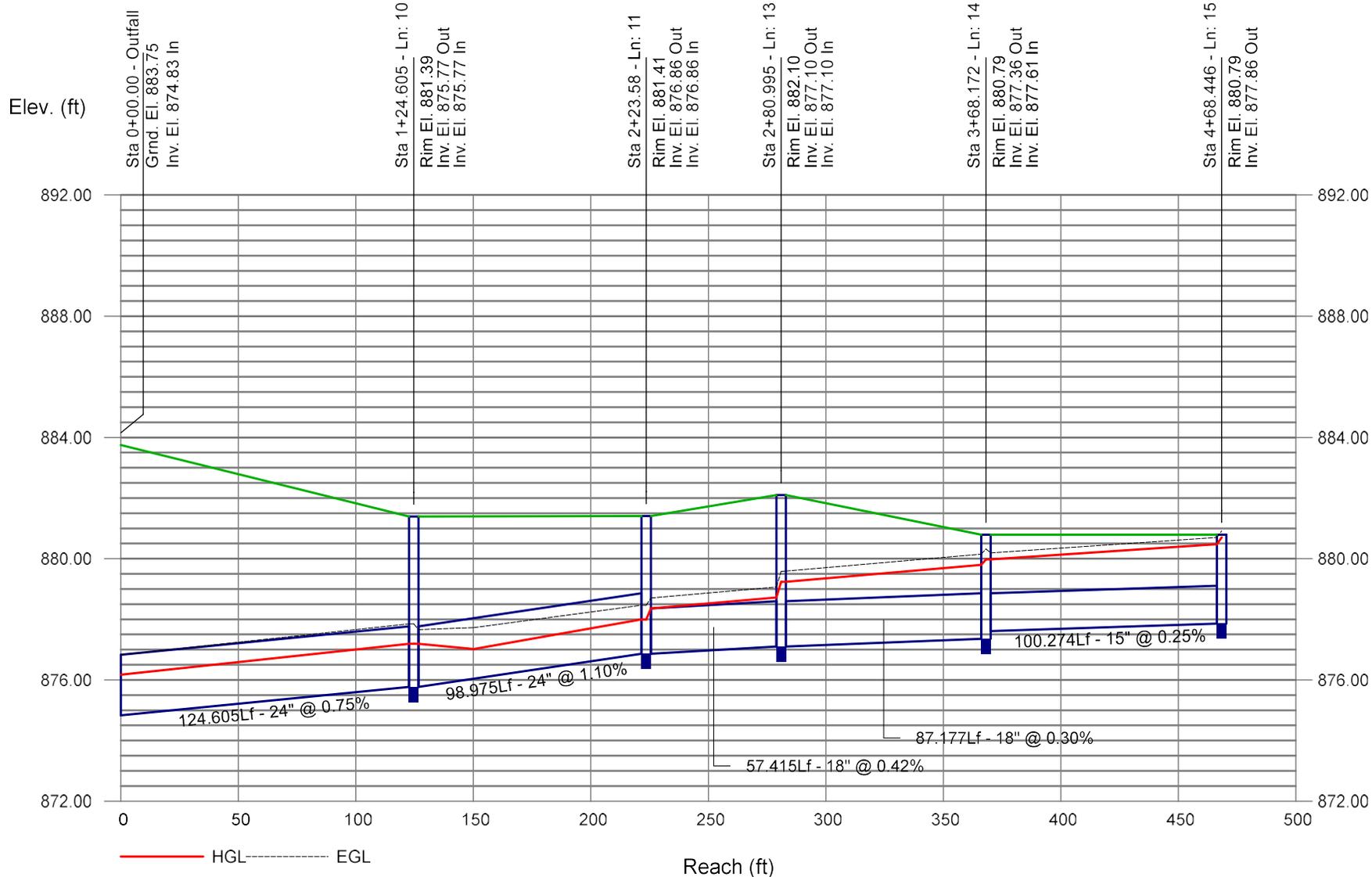
Storm Sewer Profile



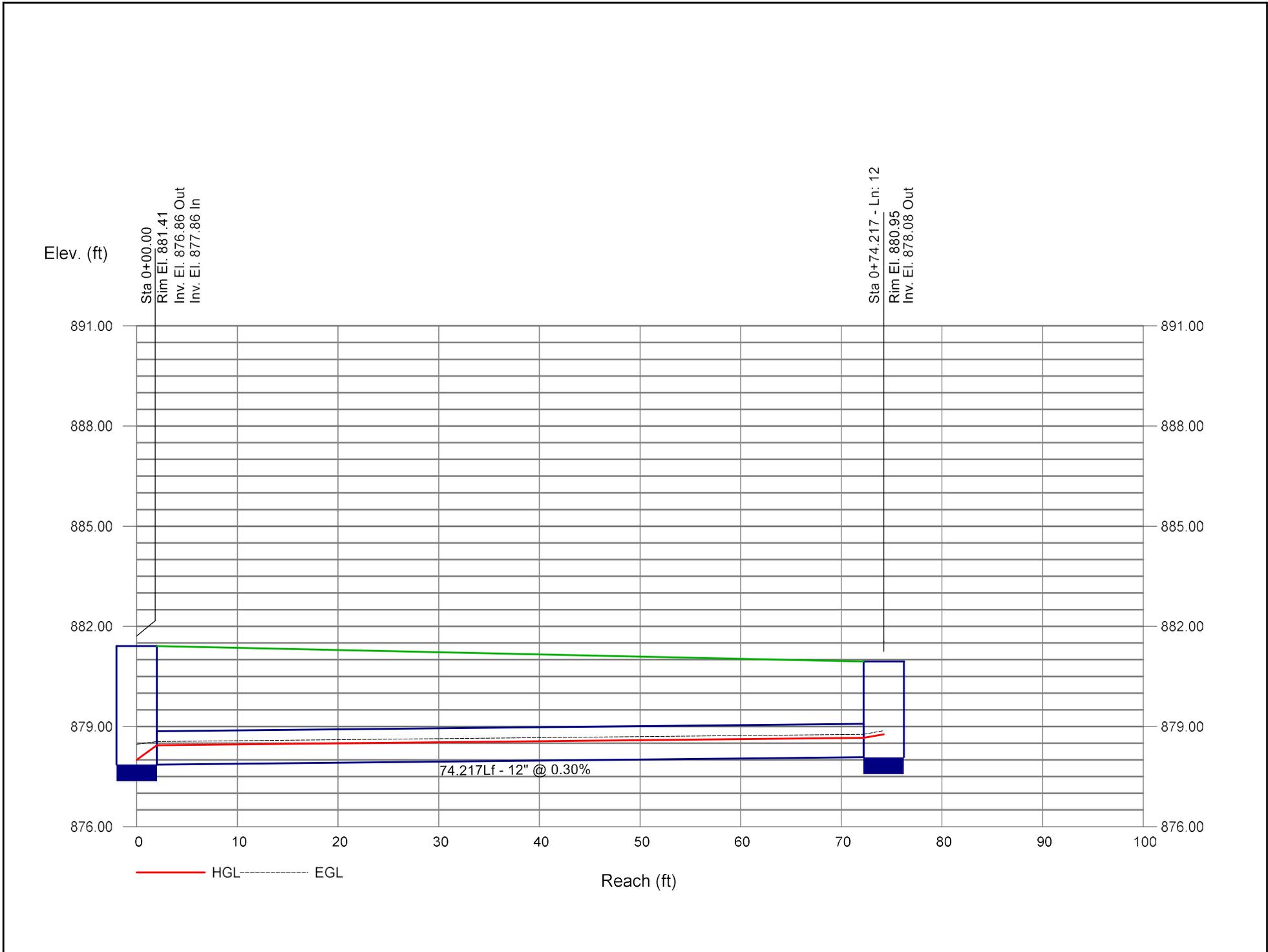
Storm Sewer Profile



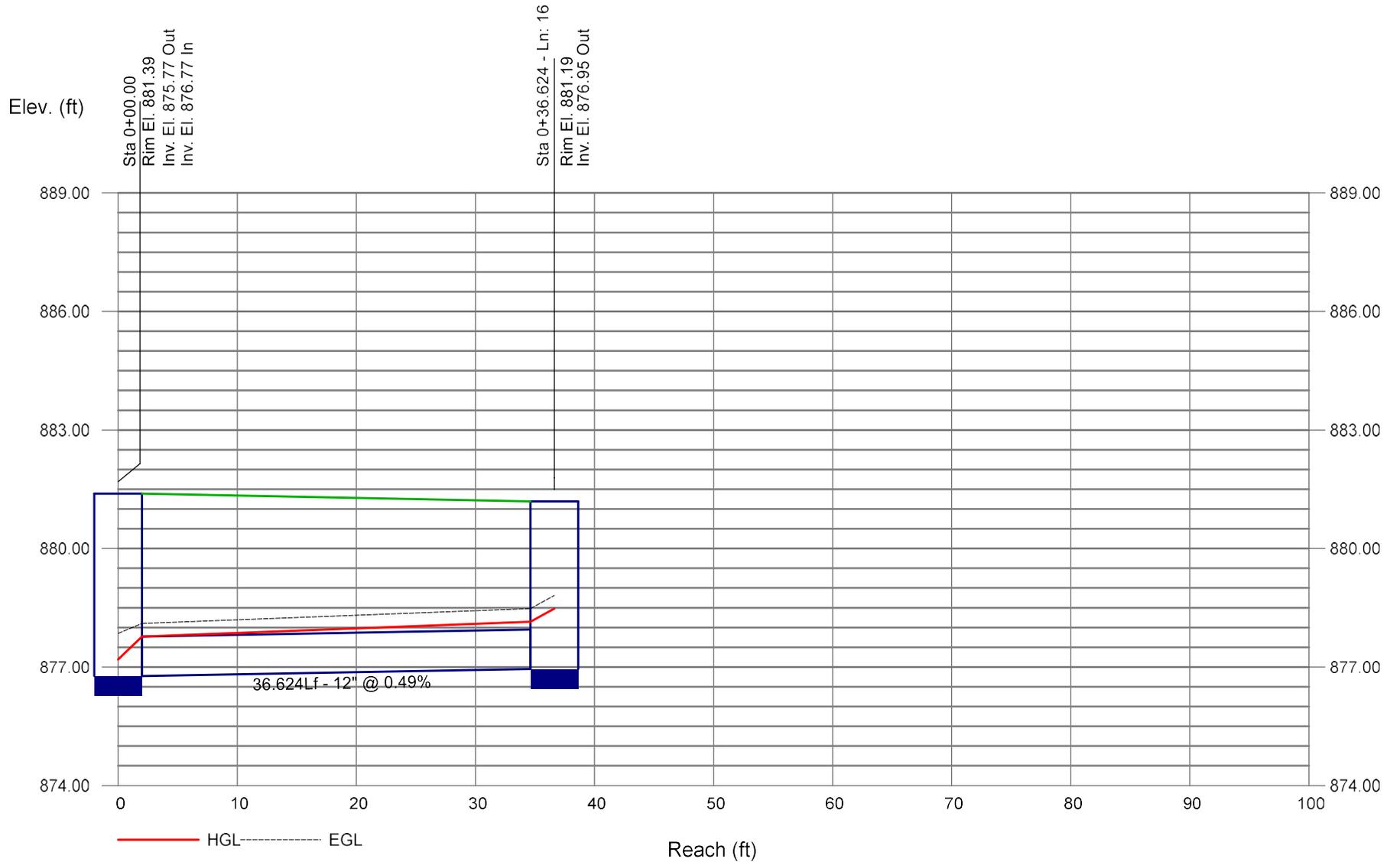
Storm Sewer Profile



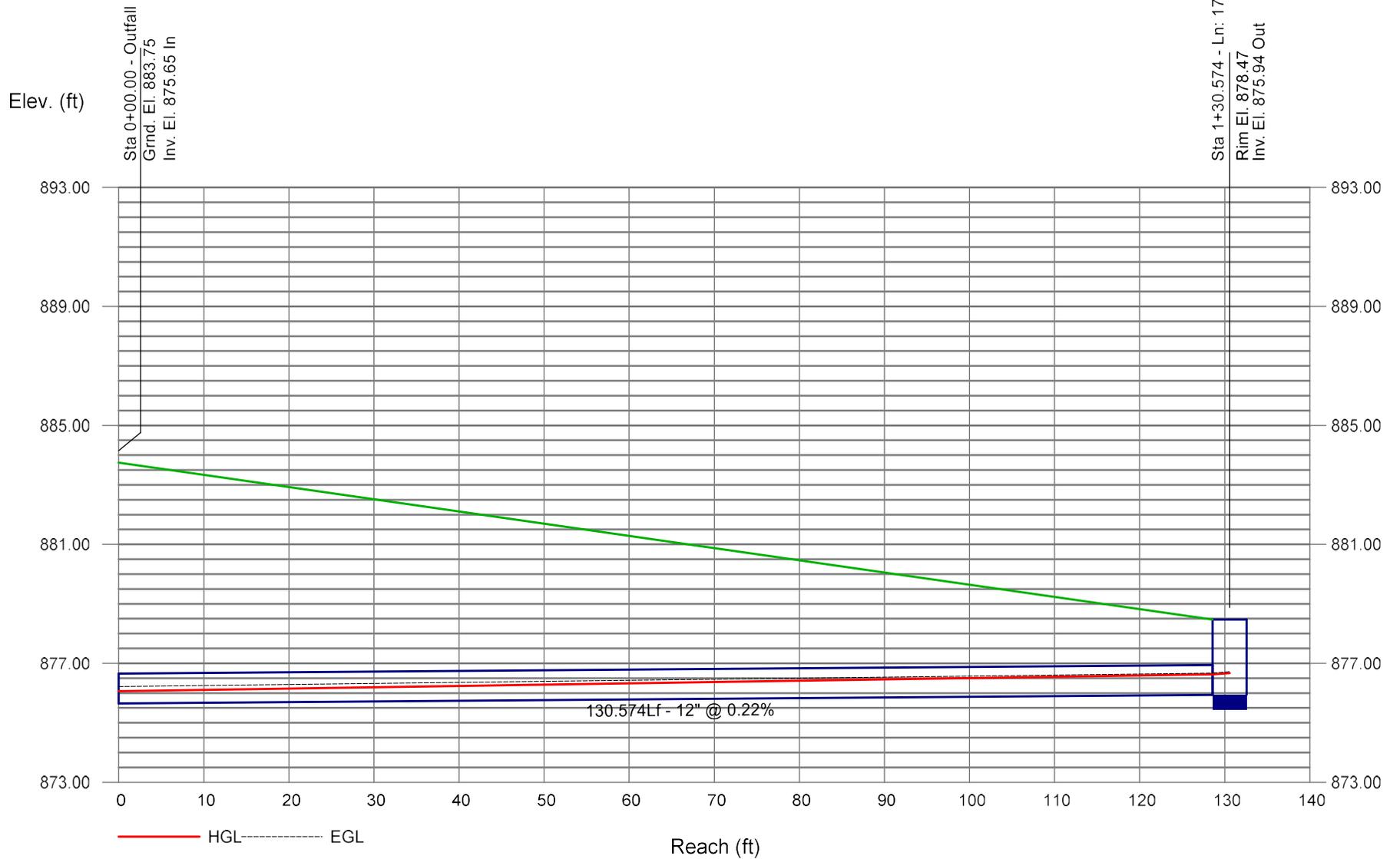
Storm Sewer Profile



Storm Sewer Profile



Storm Sewer Profile





Section 6

Maintenance Agreement



262-757-8776
WALWORTH COUNTY, WISCONSIN
WWW.CARDINALENGINEERINGWI.COM

STORM WATER MANAGEMENT SYSTEM MAINTENANCE AGREEMENT

THIS AGREEMENT (“Agreement”), entered into this _____ day of _____, by and between *Core Commercial, Inc.* (the "Owner"), and CITY OF LAKE GENEVA a Wisconsin Municipal Corporation (the "City"), collectively, the “Parties”.

RECITALS

A. The Owner is *developing* certain real property located in the City of Lake Geneva legally described in paragraph 2 herein (the “Property”).

B. The WI DNR requires owner to record this Declaration regarding maintenance of stormwater management measures to be located on the Property. Owner agrees to maintain the Stormwater Management Measures and to grant to the City the rights set forth below.

NOW THEREFORE, in consideration of the mutual covenants herein set forth and other good and valuable consideration the receipt and sufficiency of which is hereby acknowledged, the Parties hereby agree as follows.

1. Sole Agreement. This agreement is the sole applicable agreement pertaining to storm water management for the described Property.

2. Site Legal Description. The Property subject to this agreement is legally described as follows: *Lot 2 & Lot 3 of CSM _____ being a part of the Lake Geneva Business Park, a subdivision located in the SE ¼ of the NW ¼, the SW ¼ of the NE ¼, the NW¼ of the SE ¼, the NE ¼ of the SE ¼ and the SW ¼ of the SE ¼ of Section 31 Township 2N Range 18E, the “Site.”*

3. Responsible Party.

a. CONSTRUCTION PHASE MAINTENANCE. The Owner is responsible for satisfying the provisions of this agreement throughout the Property for the duration of the construction and warranty period.

b. POST-CONSTRUCTION PERPETUAL MAINTENANCE. Upon completion of all construction phases and expiration of the warranty period, the *Owner* shall assume responsibility for maintaining the storm water management system in perpetuity.

4. Permanent Components Of The Storm Water Management System.

a. The storm water management system for the property consists of the following management practices or components:

- + *Storm Sewer Pipes and Structures* + *Underground Storm water detention facility*
- + *Detention pond outfall control structures*

b. The drainage areas served by the storm water management practices components on this site *Include Structures and Infrastructure on Lots 1 & 2.*

Recording area (Walworth Co. Register of Deeds)

Send To: City Clerk
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

Lot 2 & 3 of CSM _____

Parcel Identification Number

5. Inspection And Maintenance Schedule.

- a. All components of the storm water management system shall be inspected by the Responsible Party:
- at least semiannually in early Spring and early Autumn; and
 - within 72 hours following any major storm or flood event of sufficient intensity or duration to pose significant risk of damage to the system.
- b. Components to be more frequently inspected by the Responsible Party are listed in the attached table for Maintenance Tasks and Scheduled During Construction, if any.
- c. The Responsible Party shall make the appropriate repairs whenever the performance of a storm water management practice or component is compromised due to sediment or debris.

6. Regulations.

- a. Mowing in areas of underground storage facility, and drainage ways shall be minimized to the greatest extent possible in order to maximize filtration of runoff. If occasional mowing is necessary, the mowing height shall be no shorter than six inches.
- b. Applications of fertilizers, herbicides, pesticide or other chemical applications are prohibited in buffer areas, over detention facility and along drainage ways, unless specifically authorized by the City Engineer on an individual event basis, and provided that the application is performed by professional personnel certified for that purpose.
- c. Snow shall not be dumped directly onto conditioned planting beds designed for infiltration or for bioretention, or on sites designated as buffer areas.

7. Maintenance Of Inspection Records and Reporting.

The Owner shall maintain records of the results of all site inspections and any enforcement actions, correction actions or other documented contacts and any follow-up actions taken by or at the direction of Owner or Responsible Party for seven years after such action.

8. Default by Responsible Party

If Owner fails to maintain the Stormwater Management Measures as required in Section 5, the City shall have the right, if deemed necessary, after providing Owner with written notice of the maintenance issue ("Maintenance Notice") and thirty (30) days to comply with the City's Maintenance Notice, to enter the Property in order to conduct the maintenance specified in the Maintenance Notice. No such Maintenance Notice need be given by the City to Owner for such maintenance or repair work, however, in the event emergency maintenance or repairs are needed. The City will conduct such maintenance work in accordance with all applicable laws, codes, regulations, and similar requirements and will not unreasonably interfere with Owner's use of Property. All costs and expenses incurred by the City in conducting such maintenance may be charged to the Owner of the Property by placing the amount on the tax roll for the Property as a special charge under the provisions of Section 66.0627, Wisconsin Statutes (or similar statutes or City of Burlington ordinances). Owner hereby waives any and all rights to any condition precedents, procedures, notices, and/or public hearings otherwise normally required under the laws of the State of Wisconsin for the placement of the said special charge on the tax roll of the Property.

9. Severability. All provisions of this Agreement are severable, and if any one or more provision is deemed unenforceable for any reason, the remaining provisions shall remain in full force and effect.

10. Binding Agreement. All provisions of this Agreement, including the benefits and burdens hereunder, run with the property and are binding upon and inure to the benefit of the parties hereto and their successors and assigns.

11. Amendment; Termination. This Agreement may be amended or terminated by a document signed by the Owner and the City.

12. Requirement to Record. This Agreement and any subsequent amendments thereto shall be recorded at the Walworth County Register of Deeds.

13. Governing Law. This Agreement at all times shall be enforced in accordance with the laws of the State of Wisconsin.

14. Assignment. A Responsible Party's obligations may not be assigned to another party without the prior written consent of City except that such consent is not required when a Responsible Party as property owner transfers fee simple title to a buyer who will assume the maintenance responsibilities of the owner / responsible party.

15. Notices. All notices to be given under the terms of this Agreement shall be in writing and signed by the person serving the notice and shall be sent registered or certified mail, return receipt requested, postage prepaid, or hand delivered to the addresses of the parties listed below:

FOR THE CITY:

City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 5314
262-248-3673

FOR THE OWNER:

Core Commercial, Inc.
4004 E Appleseed Drive
Appleton, WI 54913
920-882-0759

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first written above.

FOR THE OWNER:

By: _____

Name: _____

Title: _____

Date: _____

STATE OF WISCONSIN)
) ss.
COUNTY OF _____)

Personally came before me this _____ day of _____, 20__, the above-named _____, to me known to be the person who executed the foregoing and acknowledged the same.

Notary Public, State of Wisconsin
My Commission: _____

CITY OF LAKE GENEVA

By: _____

By: _____

Name: _____

Name: _____

Title: City Manager _____

Title: City Clerk _____

Date: _____

Date: _____

AMENDMENT ACCESS EASEMENT AGREEMENT

THIS AMENDMENT (“Amendment”) to the Access Easement Agreement is made and entered into as of the _____ day of _____, 2017 (the “Effective Date”) by and among **LAKE GENEVA SHOPPING CENTER L.L.C.**, a Missouri limited liability company, (a/k/a Geneva Shopping Center L.L.C.) the address of which is c/o Raul Walters Properties, 2101 West Broadway, Suite 200, Columbia, Missouri 65203 (“**GSC**”), **WAL-MART REAL ESTATE BUSINESS TRUST**, a Delaware statutory trust, the address of which is 702 S.W. Eighth Street, Bentonville, Arkansas 72716-0550, Attention: Realty Management – Wisconsin (“**Wal-Mart**”) and **GENEVA BUSINESS CENTER, LLC**, a Wisconsin limited liability company, the address of which is 751 Geneva Parkway, Lake Geneva, Wisconsin 53147 (“**GBC**”) (referred to collectively as the “Parties”).

RECITALS:

WHEREAS, GSC is the owner of a certain tract of land situated in the City of Lake Geneva, Walworth County, Wisconsin, the legal description of which is attached as **Exhibit A** (the “GSC Property”);

WHEREAS, Wal-Mart leases the GSC Property from GSC pursuant to that certain Ground Lease dated November 12, 2002;

WHEREAS, GBC is the owner of a certain tract of land adjacent to the GSC Property situated in the City of Lake Geneva, Walworth County, Wisconsin, the legal description of which is attached as **Exhibit B** (the “GBC Property”).

WHEREAS, the GSC Property and the GBC Property are depicted on the Exhibit C (the “Site Plan”) as set forth in the original Access Easement Agreement described below;

WHEREAS, GSC, Wal-Mart and GBC entered into an Access Easement Agreement (“Original Access Easement”), dated December 10, 2002 and recorded as Document Number 0537148 in the Walworth County Register of Deeds Office for the purposes of granting an easement for ingress and egress over the GSC Property to benefit the GBC Property;

WHEREAS, Pursuant to paragraph 13 (g) of the Original Access Easement, the Original Access Easement shall only be amended by the mutual written agreement of the Parties;

WHEREAS, GBC requires that the location of the Original Access Easement area be moved in order to provide better traffic flow between the GSC Property and GBC Property, and GSC and Wal-Mart have agreed to modify the easement area and amend the Original Access Easement in accordance with the terms and provisions of this Amendment;

WHEREAS, GBC desires to provide additional cross-access for parking as identified on **Exhibit D-1** as consideration for removal of parking stalls on the GSC Property as necessitated by the relocation of the Original Access Easement; and

WHEREAS, the Parties desire to amend the Original Access Easement.

NOW, THEREFORE, in consideration of the foregoing, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, GSC, Wal-Mart and GBC hereby agree as follows:

1. Incorporation. The Recitals above are hereby incorporated into the terms of this Amendment by reference as if fully stated herein. Any capitalized terms not specifically defined herein shall have the same meaning as set forth in the Original Access Easement.

2. Amendment. Paragraph 2 of the Original Access Easement is hereby amended to read as follows:

GSC and Wal-Mart hereby grant and convey for the benefit of GBC, its successors and assigns, and the GBC Property a non-exclusive perpetual easement and right to the use of the easement area located on the GSC Property identified on **Exhibit D-1** and more particularly described on **Exhibit E-1** attached hereto (hereinafter referred to as the "Cross-Easement Area"). GBC hereby grants and conveys for the benefit of GSC, Wal-Mart and the GSC Property a non-exclusive perpetual easement and right to the use of the Cross Easement Area located on the GBC Property identified on **Exhibit D-1** and more particularly described on **Exhibit E-1**. The perpetual easements are for the purpose of ingress, egress, parking and passage and delivery by vehicles and pedestrians. The perpetual easements granted in this Agreement, shall be for the benefit of, and restricted solely to, GBC, GSC, Wal-Mart, and each of their customers, employees, agents, business invitees as the same may use the GBC Property or the GSC Property. GSC and Wal-Mart may grant the benefit of such easement to other parties, and to the customers, employees, agents and business invitees thereof, in other documents but such grant is not intended nor shall it be construed as creating any rights in or for the benefit of the general public.

3. Temporary Construction Easement. In connection with the additional construction work to be performed by GBC, its successors and assigns, in the Cross Easement Area required as a result of the relocation of the easement area, GSC and Wal-Mart hereby grant to GBC, its successors and assigns, temporary construction easements for incidental encroachments upon the GSC Property which may occur as a result of construction consistent with the provisions of Paragraph 3 as set forth in the original Access Easement Agreement, so long as such encroachments are kept within the reasonable requirements of construction work expeditiously pursued and customary insurance is maintained protecting GSC and Wal-Mart from the risks involved. GBC. GBC shall not interfere with or disturb Wal-Mart's business on the GSC Property and shall promptly restore the GSC Property affected by such work to the condition existing prior to entry by GBC upon the GSC Property with such modifications as agreed to by the Parties hereto and as identified on **Exhibit D-1** and described on **Exhibit E-1**.

4. Construction, Maintenance and Repair. GBC, its successors and assigns, shall be responsible, at its sole cost and expense, for the construction and/or modification of the paved portion of the Cross Easement Area as identified on **Exhibit D-1**. GBC, its successors and assigns, shall be responsible for obtaining all necessary permits, approvals and for all costs associated with the construction and/or modification of the Cross Easement Area as identified on the Exhibit D-1. *Prior to any such construction by GBC, its successors and assigns, GBC shall submit its plans and specifications (the "Plans") to Wal-Mart for Wal-Mart's review and approval. Wal-Mart shall provide GBC with written approval or disapproval of the Plans within ninety (90) days after Wal-Mart's receipt of the same from GBC. GBC shall not commence any such work in the Cross Easement Area until Wal-Mart has provided its written approval to the Plans. GBC shall send GSC and Wal-Mart notice upon completion of construction related to the Cross Easement Area. After completion of construction, Wal-Mart and GSC shall maintain, repair and replace the Cross Easement Area solely on its property and GBC shall maintain, repair and replace all other areas in the Cross Easement Area.*

5. Miscellaneous.

(a) If any term, covenant or condition of this Amendment, or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of this Amendment shall not be affected, and each and every remaining term, covenant or condition of this Amendment shall be valid and enforced to the fullest extent permitted by law.

(b) All terms and conditions of the Original Access Easement not amended pursuant to this Amendment are hereby ratified and confirmed and shall remain in full force and effect. In the event of any inconsistency between this Amendment and the Original Access Easement, the terms of this Amendment shall control.

(c) This Amendment shall be binding upon and inure to the benefit of the successors and assigns of the Parties.

(d) This Amendment may be executed in several counterparts, each of which shall be deemed an original, and all of which together shall constitute one and the same Amendment. Facsimile and email signatures shall be deemed valid on all documents related to this Amendment.

(e) The Parties represent and warrant that each has the authority and right to enter into this Amendment without the consent, approval or joinder of any party, and, if such consent is required, such consent has been obtained. Each person executing this Amendment is fully authorized and empowered to do so.

WAL-MART:

WAL-MART REAL ESTATE BUSINESS TRUST
a Delaware statutory trust

By: _____
Printed _____
Its: _____
Dated: _____,

STATE OF ARKANSAS)
) SS.
COUNTY OF BENTON)

This document was acknowledged before me this _____ day of _____,
2017 by _____, the _____ of **WAL-MART REAL
ESTATE BUSINESS TRUST**, a Delaware statutory trust, on behalf of the Trust.

Printed: _____
Notary Public, _____ County, Arkansas
My Commission Expires: _____

GBC:

GENEVA BUSINESS CENTRE, LLC
a Wisconsin limited liability company

By: _____
Printed _____
Its: _____
Dated: _____,

STATE OF WISCONSIN)
) SS.
COUNTY OF WALWORTH)

This document was acknowledged before me this _____ day of _____,
2017 by _____, the _____ of **GENEVA BUSINESS
CENTRE, LLC**, a Wisconsin limited liability company, on behalf of the company.

Printed: _____
Notary Public, _____ County, Wisconsin
My Commission Expires: _____

This Instrument Drafted By:
Atty. Jennifer W. Koeppl
Koeppl Law Offices, S.C.
P.O. Box 270
Wild Rose WI 54984

EXHIBIT A

Legal Description of GSC Property

A tract of land being Lots 2 thru 10 of Lake Geneva Business Park as per Plat recorded on February 28, 1992 in Cabinet B of Plats, Slide 117, Document No. 227992, part of Geneva Business Centre Condominium (formally Lot 1 of said Lake Geneva Business Park) as per Plat recorded on September 20, 1995, in Volume 636, Page 9119, Document No. 313696, all of Lots 2 and 3 of Certified Survey Map No. 2973 as recorded in Volume 15, Page 293, all in the Office the Register of Dees for Walworth County, Wisconsin, being in the North Half of Section 31, Township 2 North, Range 18 East of the 4th P.M., City of Lake Geneva, Walworth County, Wisconsin, to wit:

Beginning at a found spike in the southwest corner of said Lot 2, also being the northwest corner Geneva Business Centre Condominium (formally Lot 1 of said Lake Geneva Business Park), also being in the east right-of way line of Edwards Boulevard (State Route 120); thence along the west line of said Lot 2 and said east right-of-way line N01°-05'-02"W 659.96 ft. to a found spike at the northwest corner of said Lot 2; thence leaving said east right-of-way line along the north line of said Lot 2 N88°-56'-20"E 218.03 ft. to a found spike, thence N01°-06'-25"W 245.19 ft. to a set iron rod, in the south right-of-way line of State Route 50; thence along said north line and the north line of Lot 3 of said Certified Survey Map and said south right-of-way line N87°-34'-51"E 483.18 ft. to a set rod at the northeast corner of said Lot 3 also being at the intersection of said south right-of-way line and the west right-of-way line of State Highway No. 12; thence leaving said south right-of-way line along the east line of said Lot 3 and the west right-of-way line S45°-53'-17"E 425.47 ft. to a set iron rod, thence S82°-31'-45"E 72.18 ft. to a round iron rod, thence leaving said south right-of-way line along the east line of said Lot 3 S01°-00'-57"E 549.74 ft. to a set iron rod at the southeast corner of said Lot 3 also being the north line of said Lot 10; thence along said south line S89°-54'-22"W 42.99 ft. to a set iron rod; thence leaving said south line S00°-57'-08"E 96.01 ft. to a set iron rod; thence S89°-54'-22"W 390.60 ft. to a set iron rod; thence S47°-37'-47"W 99.04 ft. to a set iron rod in the east line of said Lot 2; thence S 88°-54'-19"W 563.35 ft. to a set iron rod in the west line of said Geneva Business Centre Condominium also being in said east right-of-way line of State Route 120 (Edwards Boulevard); thence along said line N01°-05'-02"W 100.00 ft. to the point of beginning, containing 21.35 acres. A Subdivision Plat or Certified Survey Map might be required by the City of Lake Geneva before the property can be transferred.

EXHIBIT B

Legal Description of GBC Property

PARCEL I: Geneva Business Centre Condominium, a condominium declared and existing under and by virtue of the Condominium Ownership Act of the State of Wisconsin and recorded by a Declaration as such condominium in the Office of the Register of Deeds for Walworth County, Wisconsin on September 20, 1995 in Volume 636 of Records, page 9119 to 9128, inclusive, as Document No. 313696, and First Amendment to Declaration for Geneva Business Centre Condominium, dated March 4, 1996 and recorded on March 4, 1996 in Volume 639 of Records, Page 4846, as Document No. 324084, said condominium being located in the City of Lake Geneva, County of Walworth, State of Wisconsin on the real estate described in said Declaration and incorporated herein by this reference thereto, excepting the North 100 feet thereof. (End of legal description).

PARCEL II: Lot 2 of the Lake Geneva Business Park, a Subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, including a replat of Lot 2 of Certified Survey Map No. 2010, City of Lake Geneva, Walworth County, Wisconsin, excepting the North 100 feet thereof. (End of legal description).

EXHIBIT C

The Site Plan

Exhibit C remains the same as recorded in the original Access Easement Agreement dated December 10, 2002 and recorded as Document Number 0537148 in the Walworth County Register of Deeds Office.

EXHIBIT D-1

Cross Easement Area Depiction

EXHIBIT E-1

Legal Description – Cross Easement Area

RECIPROCAL EASEMENT AGREEMENT

This Reciprocal Easement Agreement (“Agreement”) is made and entered into as of the _____ day of _____, 2018 (“Effective Date”), by and between **Geneva Business Centre, LLC**, a Wisconsin limited liability company (“**GBC**”) and **Core Commercial, Inc.**, a Wisconsin corporation (“**Core**”).

RECITALS

- A. GBC is the owner of that certain real property situated in the City of Lake Geneva, Walworth County, Wisconsin, more particularly described on Exhibit A, attached hereto and incorporated herein by reference (hereinafter referred to as “Parcel A”).
- B. Core is the owner of that certain real property situated in the City of Lake Geneva, Walworth County, Wisconsin, more particularly described on Exhibit B, attached hereto and incorporated herein by reference (hereinafter referred to as “Parcel B”).
- C. Core is the owner of that certain real property situated in the City of Lake Geneva, Walworth County, Wisconsin, more particularly described on Exhibit C, attached hereto and incorporated herein by reference (hereinafter referred to as “Parcel C”).
- D. GBC and Core propose to grant reciprocal easements to share the right of ingress, egress and parking over and across all paved portions of Parcel A, Parcel B and Parcel C as set forth on the site plan attached hereto and incorporated by reference as Exhibit D (“Site Plan”).

NOW, THEREFORE, in consideration of the foregoing and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, GBC and Core hereby agree as follows:

1. **Incorporation**. Recitals A through D above are hereby incorporated into the terms of this Agreement by reference as if fully restated herein.

2. **Definitions**. For purposes herof:

(a) The term "Owner" shall mean GBC and Core, in respect to their individual Parcels, and any and all successors or assigns of such persons as the owner or owners of fee simple title to all or any portion of the real property covered hereby, whether by sale,

Return to:

Attorney Jennifer W. Koepl
Koepl Law Offices, S.C.
P.O. Box 270
Wild Rose WI 54984-0270

Tax Parcel No.: _____

assignment, inheritance, operation of law, trustee's sale, foreclosure, or otherwise, but not including the holder of any lien or encumbrance on such real property.

(b) The term "Parcel" or "Parcels" shall mean each separately identified parcel of real property now constituting a part of the real property subjected to this Agreement as described on Exhibit A, Exhibit B and Exhibit C, that is, Parcel A, Parcel B and Parcel C, and any future subdivisions thereof.

(c) The term "Permittees" shall mean the tenant(s) or occupant(s) of a Parcel, and the respective employees, agents, contractors, customers, invitees and licensees of (i) the Owner of such Parcel, and/or (ii) such tenant(s) or occupant(s).

(d) The term "Site Plan" shall mean that site plan of the Parcels attached hereto as Exhibit D and by reference made a part hereof. The Site Plan shown on the Site Plan has been approved by GBC and Core.

(e) The term "Paved Areas" shall mean any area on Parcel A, Parcel B or Parcel C, identified as paved areas, whether presently existing or to be constructed upon any Parcel, as indicated on the Site Plan, including without limitation all parking areas and driveways.

2. **Temporary Construction Easement and Construction of Paved Areas.** In connection with any construction of proposed Paved Areas as identified on the Site Plan, to be performed by and at the sole cost of Core on Parcel A, GBC hereby grants to Core temporary easements for incidental encroachments upon Parcel A which may occur as a result of such construction, so long as such encroachments are kept within the reasonable requirements of construction work expeditiously pursued and so long as customary insurance is maintained protecting GBC from the risks involved. In connection with any work performed by Core related to the foregoing, Core shall not interfere with or disturb GBC's business on Parcel A and shall promptly restore the GBC Property affected by such work to the condition existing prior to entry by GBC upon Parcel A. Core shall be responsible for obtaining all necessary permits, approvals and for all costs to Core to construct and connect the Paved Areas and any other improvements on Parcel A as identified on the Site Plan.

3. **Grants of Easement.** GBC and Core hereby grant, establish, covenant and agree that the Parcels, all Owners and Permittees of the Parcels and their respective employees, agents, contractors, customers, invitees and licensees, shall be benefited and burdened by the following nonexclusive, perpetual and reciprocal easement which are hereby imposed upon the Parcels and all present and future owners, tenants or occupants of the Parcels:

(a) An easement for (i) reasonable access, ingress and egress over all Paved Areas constituting a part of any of the Parcels as indicated on the Site Plan; and (ii) parking of pedestrian vehicles on and over areas designated as parking as presently or hereafter constructed and constituting a part of any of the Parcels, so as to provide for the passage of motor vehicles and pedestrians between all portions of such Parcels intended for such purposes, and to and from all abutting streets or rights of way furnishing access to such Parcels. Notwithstanding that all parking shall be used on a nonexclusive basis

in common with all Owners and Permittees of the Parcels, each individual Parcel shall be developed and utilized such that any building located on each Parcel shall comply with the number of parking stalls required by local codes.

4. **Maintenance and Repair.** Throughout the term of this Agreement each Parcel Owner shall be responsible, at its sole cost and expense, for the maintenance, repair and replacement of the Paved Areas and any other improvements on each owner's respective Parcel. Notwithstanding the foregoing, the Parcel B Owner shall be solely responsible for the clearing of snow and removal of debris from all Paved Areas identified on the Site Plan. Each Parcel Owner shall proportionately share in the cost of the clearing of snow and removal of debris from the paved areas, which share shall be determined by taking the total acreage of said Owner's Parcel, as set forth on the Site Plan, divided by the total acreage of all Parcels. The Parcel B Owner, at least quarterly basis but more often as necessary in Parcel B Owner's discretion, shall provide the Owners of Parcel A and Parcel C with a statement of shared expenses, including an administrative fee equal to 15% of the shared expenses, which statement identifies the costs incurred by the Owner of Parcel B and identifies the proportionate share of each Parcel Owner. The Owners of Parcel A and Parcel C agree to pay their proportionate share directly to the Owner of Parcel B within thirty (30) days of receipt of said statement.

5. **Indemnification and Insurance.**

(a) **Indemnification.** All Owners shall indemnify and save harmless the other Owners from all liability, damage, expense, causes of action, suits, claims or judgments arising from personal injury, death, or property damage occurring or arising from the use of the Paved Areas within the Owner's Parcel, except if caused by the act or negligence of the indemnified Owner its Permittees.

(b) **Insurance.** Each Owner shall procure and maintain in full force and effect throughout the term of this Agreement general public liability insurance against claims for personal injury, death or property damage occurring upon in or about the Paved Areas on said Owner's Parcel, such insurance to afford protection to the limit of not less than Three Million Dollars (\$3,000,000.00) for injury or death of a single person, and to the limit of not less than Three Million Dollars (\$3,000,000.00) for property damage. The indemnifying Owner shall provide the indemnified Owners with certificates of such insurance from time to time upon written request to evidence that such insurance is in force. Such insurance may be written by additional premises endorsement on any master policy of insurance carried by the indemnifying Owner which may cover other property in addition to the property covered by this Agreement. Such insurance shall provide that the same may not be canceled without thirty (30) days prior written notice to the indemnified Owners.

6. **Term.** This Agreement and the easements, rights, obligations and liabilities created hereby shall be effective commencing on the date of recording this Agreement in the Register of Deeds Office of Walworth County Wisconsin, and, to the extent permitted by law, remain in full force and effect thereafter in perpetuity unless otherwise modified, amended, canceled or terminated by the written consent of all then record owners of Parcel A, Parcel B and Parcel C in accordance with the terms of this Agreement.

7. **Subordination.** Any mortgage or deed of trust affecting the Parcels shall at all times be subject and subordinate to the terms of this Agreement, except to the extent provided herein, and anyone foreclosing any such mortgage or deed of trust, or acquiring title by deed in lieu of foreclosure or trustee's sale shall acquire title subject to all of the terms and provisions of this Agreement.

8. **Non-Dedication.** Nothing contained in this Agreement shall be deemed to be a gift or dedication of any portion of the Paved Area to the general public or for any public use or purpose whatsoever, it being the intention of the Owners and their successors and assigns that nothing in this Agreement, expressed or implied, shall confer upon any person, other than the Owners and their successors and assigns, any rights or remedies under or by reason of this Agreement.

9. **Remedies and Enforcement.**

(a) **All Legal and Equitable Remedies Available.** In the event of a breach or threatened breach by any Owner or its Permittees of any of the terms, covenants, restrictions or conditions hereof, the other Owner(s) shall be entitled forthwith to full and adequate relief by injunction and/or all such other available legal and equitable remedies from the consequences of such breach, including payment of any amounts due and/or specific performance.

(b) **Self-Help.** In addition to all other remedies available at law or in equity, upon the failure of a defaulting Owner to cure a breach of this Agreement within thirty (30) days following written notice thereof by an Owner (unless, with respect to any such breach the nature of which cannot reasonably be cured within such 30-day period, the defaulting Owner commences such cure within such 30-day period and thereafter diligently prosecutes such cure to completion), any Owner shall have the right to perform such obligation contained in this Agreement on behalf of such defaulting Owner and be reimbursed by such defaulting Owner upon demand for the reasonable costs thereof together with interest at the prime rate, as published in the Wall Street Journal from time to time, plus two percent (2%) (not to exceed the maximum rate of interest allowed by law). Notwithstanding the foregoing, in the event of an emergency an Owner may immediately cure the same and be reimbursed by the other Owner upon demand for the reasonable cost thereof together with interest at the prime rate, plus two percent (2%), as above described.

(c) **Lien Rights.** Any claim for reimbursement, including interest as aforesaid, and all costs and expenses including reasonable attorneys' fees awarded to any Owner in enforcing any payment in any suit or proceeding under this Agreement shall be assessed against the defaulting Owner in favor of the prevailing party and shall constitute a lien (the "Assessment Lien") against the Parcel of the defaulting Owner until paid, effective upon the recording of a notice of lien with respect thereto in the Register of Deeds Office of Walworth County, Wisconsin; provided, however, that the nondefaulting Owner shall provide the defaulting Owner with five (5) days written notice that it will record a notice

of the Assessment Lien and such default remains uncured after such 5 day period, and further provided that any such Assessment Lien shall be subject and subordinate to (i) liens for taxes and other public charges which by applicable law are expressly made superior, (ii) all liens recorded in the Register of Deeds Office of Walworth County, Wisconsin prior to the date of recordation of said notice of lien, and (iii) all leases entered into, whether or not recorded, prior to the date of recordation of said notice of lien. All liens recorded subsequent to the recordation of the notice of lien described herein shall be junior and subordinate to the Assessment Lien. Upon the timely curing by the defaulting Owner of any default for which a notice of lien was recorded, the party recording same shall record an appropriate release of such notice of lien and Assessment Lien.

(d) Remedies Cumulative. The remedies specified herein shall be cumulative and in addition to all other remedies permitted at law or in equity.

10. Miscellaneous.

(a) Attorneys' Fees. In the event a party institutes any legal action or proceeding for the enforcement of any right or obligation herein contained, the prevailing party after a final adjudication shall be entitled to recover its costs and reasonable attorneys' fees incurred in the preparation and prosecution of such action or proceeding.

(b) Amendment. The parties agree that the provisions of this Agreement may be modified or amended, in whole or in part, or terminated, only by the written consent of all record Owners of Parcel A, Parcel B and Parcel C, evidenced by a document that has been fully executed and acknowledged by all such record Owners and recorded in the Register of Deeds Office of Walworth County, Wisconsin. No modification, waiver, amendment, discharge, or change of this Agreement shall be valid unless the same is in writing and signed by the Owner of Parcel A, the Owner of Parcel B and the Owner of Parcel C. No consent or approval of any Owner or Permittee other than the Owner of Parcel A, the Owner of Parcel B and the Owner of Parcel C shall be required in order to modify or amend any provisions of this Agreement.

(c) Consents. Wherever in this Agreement the consent or approval of an Owner is required, unless otherwise expressly provided herein, such consent or approval shall not be unreasonably withheld or delayed. Any request for consent or approval shall: (a) be in writing; (b) specify the section hereof which requires that such notice be given or that such consent or approval be obtained; and (c) be accompanied by such background data as is reasonably necessary to make an informed decision thereon. The consent of an Owner under this Agreement, to be effective, must be given, denied or conditioned expressly and in writing.

(d) No Wavier. No wavier of any default of any obligation by any party hereto shall be implied from any omission by the other party to take any action with respect to such default.

(e) No Agency. Nothing in this Agreement shall be deemed or construed by either party or by any third person to create the relationship of principal and agent or of limited or general partners or of joint venturers or of any other association between the parties.

(f) Covenants to Run with Land. It is intended that each of the easements, covenants, conditions, rights and obligations set forth herein shall run with the land and create equitable servitude in favor of the real property benefited thereby, shall bind every person having any fee, leasehold or other interest therein and shall inure to the benefit of the respective parties and their successors, assigns, heirs, and personal representatives.

(g) Grantee's Acceptance. The grantee of any Parcel or any portion thereof, by acceptance of a deed conveying title thereto or the execution of a contract for the purchase thereof, whether from an original party or from a subsequent owner of such Parcel, shall accept such deed or contract upon and subject to each and all of the easements, covenants, conditions, restrictions and obligations contained herein. By such acceptance, any such grantee shall for himself and his successors, assigns, heirs, and personal representatives, covenant, consent, and agree to and with the other party, to keep, observe, comply with, and perform the obligations and agreements set forth herein with respect to the property so acquired by such grantee.

(h) Severability. Each provision of this Agreement and the application thereof to Parcel A, Parcel B and Parcel C are hereby declared to be independent of and severable from the remainder of this Agreement. If any provision contained herein shall be held to be invalid or to be unenforceable or not to run with the land, such holding shall not affect the validity or enforceability of the remainder of this Agreement. In the event the validity or enforceability of any provision of this Agreement is held to be dependent upon the existence of a specific legal description, the parties agree to promptly cause such legal description to be prepared. Ownership of the Parcels by the same person or entity shall not terminate this Agreement, merge obligations, nor in any manner affect or impair the validity or enforceability of this Agreement.

(i) Time of Essence. Time is of the essence of this Agreement.

(j) Entire Agreement. This Agreement contains the complete understanding and agreement of the parties hereto with respect to all matters referred to herein, and all prior representations, negotiations, and understandings are superseded hereby.

(k) Notices. Notices or other communication hereunder shall be in writing and shall be sent certified or registered mail, return receipt request, or by other national overnight courier company, or personal delivery. Notice shall be deemed given upon receipt or refusal to accept delivery. Each may change from time to time their respective address for notice hereunder by like notice to the other parties. The notice addresses of the Parcel A Owner, the Parcel B Owner and the Parcel C Owner are as follows:

Parcel A Owner: Geneva Business Centre LLC

c/o Keefe & Associates, Inc.
751 Geneva Parkway N
Lake Geneva WI 53147-4579

Parcel B Owner: Core Commercial, Inc.
4004 E. Appleseed Drive
Appleton WI 54913

Parcel C Owner: Core Commercial, Inc.
4004 E. Appleseed Drive
Appleton WI 54913

(l) Governing Law. The laws of the State in which the Parcels are located shall govern the interpretation, validity, performance, and enforcement of this Agreement.

(m) Estoppel Certificate. Each Owner, within twenty (20) days of its receipt of a written request from the other Owner(s), shall from time to time provide the requesting Owner, a certificate binding upon such Owner stating: (a) to the best of such Owner's knowledge, whether any party to this Agreement is in default or violation of this Agreement and if so identifying such default or violation; and (b) that this Agreement is in full force and effect and identifying any amendments to the Agreement as of the date of such certificate.

(n) Bankruptcy. In the event of any bankruptcy affecting any Owner or occupant of any Parcel, the parties agree that this Agreement shall, to the maximum extent permitted by law, be considered an agreement that runs with the land and that is not rejectable, in whole or in part, by the bankrupt person or entity.

(o) No Partnership. Neither this Agreement nor any acts of the Owners hereto shall be deemed or construed by the parties hereto, or any of them, or any third person, to create the relationship of principal and agent, or of partnership, or of joint venture, or of any association between any of the Owners to this Agreement.

(p) Capitalized Terms. All initially capitalized terms used but not otherwise defined herein shall have the meanings ascribed to them in this Agreement.

(q) Joint and Several Liability. All of the entities comprising an Owner, shall be jointly and severally liable under this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first written above.

Signature Pages of Owners to follow

**PARCEL A OWNER:
Geneva Business Centre, LLC**

By: _____
Thomas Keefe, Member

By: _____
Roger Wolff, Member

STATE OF WISCONSIN)
) ss.
COUNTY OF WALWORTH)

The foregoing instrument was acknowledged before me this _____ day of _____, 2018 by Thomas Keefe and Roger Wolff, known to me to be the only Members of Geneva Business Center, LLC, on behalf of the limited liability company.

Printed: _____
Notary Public, State of Wisconsin
My commission expires/is _____

**PARCEL B OWNER:
Core Commercial Inc.**

By: _____
Kim Pischke, President

STATE OF WISCONSIN)
) ss.
COUNTY OF OUTAGAMIE)

The foregoing instrument was acknowledged before me this _____ day of _____, 2018 by Kim Pischke, known to me to be the President of Core Commercial, Inc, on behalf of the corporation.

Printed: _____
Notary Public, State of Wisconsin
My commission expires/is _____

EXHIBIT A

LEGAL DESCRIPTION – PARCEL A

Lot 1 of Certified Survey Map No. _____, recorded in the Office of the Register of Deeds for Walworth County, Wisconsin on _____, 2018, as Document No. _____, being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part of Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva, Walworth County, Wisconsin.

EXHIBIT B

LEGAL DESCRIPTION – PARCEL B

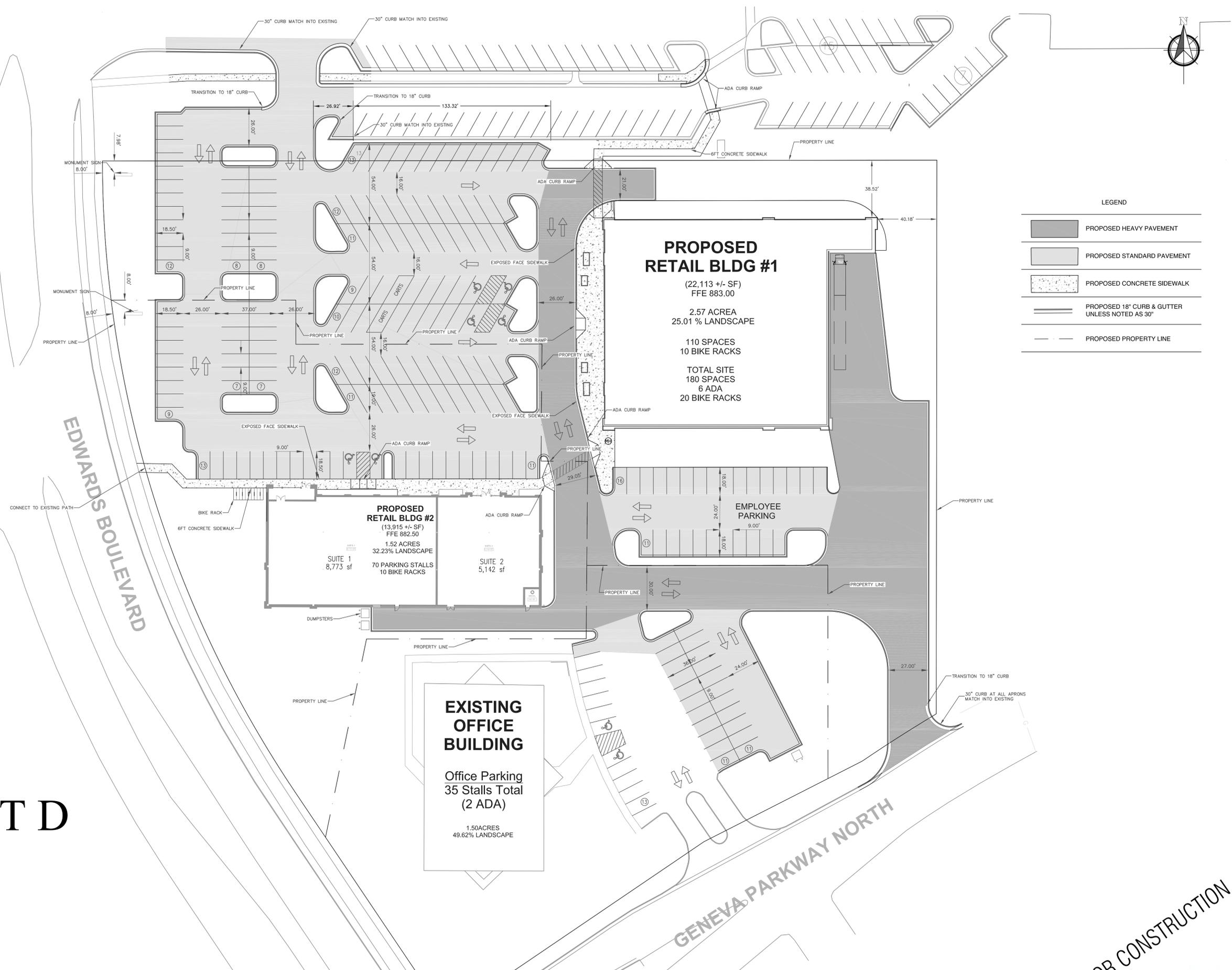
Lot 2 of Certified Survey Map No. _____, recorded in the Office of the Register of Deeds for Walworth County, Wisconsin on _____, 2018, as Document No. _____, being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part of Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva, Walworth County, Wisconsin.

EXHIBIT C

LEGAL DESCRIPTION – PARCEL C

Lot 3 of Certified Survey Map No. _____, recorded in the Office of the Register of Deeds for Walworth County, Wisconsin on _____, 2018, as Document No. _____, being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part of Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva, Walworth County, Wisconsin.

EXHIBIT D



STORMWATER DRAINAGE EASEMENT

THIS EASEMENT (the "Agreement") is made and entered into this ____ day of _____, 2018, ("Effective Date") by **Core Commercial Inc.**, Wisconsin corporation ("**Core**").

RECITALS

- A. Core is the owner of that certain real property situated in the City of Lake Geneva, Walworth County, Wisconsin, more particularly described on Exhibit A, attached hereto and incorporated herein by reference (hereinafter referred to as "Parcel A").
- B. Core is the owner of that certain real property situated in the City of Lake Geneva, Walworth County, Wisconsin, more particularly described on Exhibit B, attached hereto and incorporated herein by reference (hereinafter referred to as "Parcel B").
- C. Core proposes to provide a nonexclusive easement for the drainage of storm water through underground drainage lines and into an underground detention pond ("Detention Area") and related facilities which are used for the holding of storm water from Parcel A and Parcel B. The location of the storm water lines, facilities and Detention Area are set forth on the site plan, attached hereto and incorporated herein by reference as "Exhibit C" ("Site Plan").

NOW, THEREFORE, in consideration of the foregoing and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Core hereby agrees as follows:

1. **Incorporation**. Recitals A through C above are hereby incorporated into the terms of this Agreement by reference as if fully restated herein.

2. **Definitions**. For purposes hereof:

(a) The term "Owner" shall mean Core, in respect to its individual Parcels, and any and all successors or assigns of such persons as the owner or owners of fee simple title to all or any portion of the real property covered hereby, whether by sale, assignment, inheritance, operation of law, trustee's sale, foreclosure, or otherwise, but not including the holder of any lien or encumbrance on such real property.

(b) The term "Parcel" or "Parcels" shall mean each separately identified parcel of real property now constituting a part of the real property subjected to this Agreement as

Return to:

Attorney Jennifer W. Koepl
Koepl Law Offices, S.C.
P.O. Box 270
Wild Rose WI 54984-0270

Tax Parcel No.: _____

described on Exhibit A and Exhibit B, that is, Parcel A and Parcel B, and any future subdivisions thereof.

(c) The term "Permittees" shall mean the tenant(s) or occupant(s) of a Parcel, and the respective employees, agents, contractors, customers, invitees and licensees of (i) the Owner of such Parcel, and/or (ii) such tenant(s) or occupant(s).

(d) The term "Site Plan" shall mean that site plan of the Parcels attached hereto as Exhibit C and by reference made a part hereof.

2. **Grants of Easement.** Core hereby grants, establishes, covenants and agrees that the Parcels, all Owners, their heirs, successors and assigns shall be benefited and burdened by the following nonexclusive, private easement to discharge storm water into the Detention Area which is hereby imposed upon the Parcels and all present and future owners, tenants or occupants of the Parcels. The purpose of this easement grant is to provide for the drainage of storm water collected on Parcel A and Parcel B through the storm water lines and facilities installed by Core, and as identified on the Site Plan, and the discharge of such collected storm water into the Detention Area located on Parcel A. The Parcel A Owner hereby reserves and retains all of the property rights in and to Parcel A, including without limitation, the right to use such areas for any purpose whatsoever, so long as such use does not unreasonably interfere with any rights as created herein.

3. **Maintenance and Repair.** The Parcel A Owner and the Parcel B Owner shall proportionately share the cost of maintenance, repair and replacement of any of the facilities and Detention Area shown on the Site Plan, which maintenance, repair and replacement shall be performed in a timely manner by the Owner on whose Parcel such improvements are located ("Responsible Owner"). Each Owner's proportionate share of such costs shall be determined by dividing the total acreage of the Owner's Parcel by the total acreage contained in Parcel A and Parcel B. The Owner not responsible for the work as identified above ("Nonresponsible Owner") agrees to pay the Responsible Owner said Nonresponsible Owner's proportionate share of costs within thirty (30) days of receipt of a statement for costs of such maintenance, repair or replacement from the Responsible Owner.

4. **Term.** This Agreement and the easements, rights, obligations and liabilities created hereby shall be effective commencing on the date of recording this Agreement in the Register of Deeds Office of Walworth County Wisconsin, and, to the extent permitted by law, remain in full force and effect thereafter in perpetuity unless otherwise modified, amended, canceled or terminated by the written consent of all then record owners of Parcel A and Parcel B in accordance with the terms of this Agreement.

5. **Subordination.** Any mortgage or deed of trust affecting the Parcels shall at all times be subject and subordinate to the terms of this Agreement, except to the extent provided herein, and anyone foreclosing any such mortgage or deed of trust, or acquiring title by deed in lieu of foreclosure or trustee's sale shall acquire title subject to all of the terms and provisions of this Agreement.

6. **Remedies and Enforcement.**

(a) All Legal and Equitable Remedies Available. In the event of a breach or threatened breach by any Owner or its Permittees of any of the terms, covenants, restrictions or conditions hereof, the other Owner(s) shall be entitled forthwith to full and adequate relief by injunction and/or all such other available legal and equitable remedies from the consequences of such breach, including payment of any amounts due and/or specific performance.

(b) Self-Help. In addition to all other remedies available at law or in equity, upon the failure of a defaulting Owner to cure a breach of this Agreement within thirty (30) days following written notice thereof by an Owner (unless, with respect to any such breach the nature of which cannot reasonably be cured within such 30-day period, the defaulting Owner commences such cure within such 30-day period and thereafter diligently prosecutes such cure to completion), any Owner shall have the right to perform such obligation contained in this Agreement on behalf of such defaulting Owner and be reimbursed by such defaulting Owner upon demand for the reasonable costs thereof together with interest at the prime rate, as published in the Wall Street Journal from time to time, plus two percent (2%) (not to exceed the maximum rate of interest allowed by law). Notwithstanding the foregoing, in the event of an emergency an Owner may immediately cure the same and be reimbursed by the other Owner upon demand for the reasonable cost thereof together with interest at the prime rate, plus two percent (2%), as above described.

(c) Lien Rights. Any claim for reimbursement, including interest as aforesaid, and all costs and expenses including reasonable attorneys' fees awarded to any Owner in enforcing any payment in any suit or proceeding under this Agreement shall be assessed against the defaulting Owner in favor of the prevailing party and shall constitute a lien (the "Assessment Lien") against the Parcel of the defaulting Owner until paid, effective upon the recording of a notice of lien with respect thereto in the Register of Deeds Office of Walworth County, Wisconsin; provided, however, that the nondefaulting Owner shall provide the defaulting Owner with five (5) days written notice that it will record a notice of the Assessment Lien and such default remains uncured after such 5 day period, and further provided that any such Assessment Lien shall be subject and subordinate to (i) liens for taxes and other public charges which by applicable law are expressly made superior, (ii) all liens recorded in the Register of Deeds Office of Walworth County, Wisconsin prior to the date of recordation of said notice of lien, and (iii) all leases entered into, whether or not recorded, prior to the date of recordation of said notice of lien. All liens recorded subsequent to the recordation of the notice of lien described herein shall be junior and subordinate to the Assessment Lien. Upon the timely curing by the defaulting Owner of any default for which a notice of lien was recorded, the party recording same shall record an appropriate release of such notice of lien and Assessment Lien.

(d) Remedies Cumulative. The remedies specified herein shall be cumulative and in addition to all other remedies permitted at law or in equity.

7. **Miscellaneous.**

(a) **Attorneys' Fees.** In the event a party institutes any legal action or proceeding for the enforcement of any right or obligation herein contained, the prevailing party after a final adjudication shall be entitled to recover its costs and reasonable attorneys' fees incurred in the preparation and prosecution of such action or proceeding.

(b) **Amendment.** The parties agree that the provisions of this Agreement may be modified or amended, in whole or in part, or terminated, only by the written consent of all record Owners of Parcel A and Parcel B, evidenced by a document that has been fully executed and acknowledged by all such record Owners and recorded in the Register of Deeds Office of Walworth County, Wisconsin. No modification, waiver, amendment, discharge, or change of this Agreement shall be valid unless the same is in writing and signed by the Owner of Parcel A and the Owner of Parcel B. No consent or approval of any Owner or Permittee other than the Owner of Parcel A and the Owner of Parcel B shall be required in order to modify or amend any provisions of this Agreement.

(c) **Consents.** Wherever in this Agreement the consent or approval of an Owner is required, unless otherwise expressly provided herein, such consent or approval shall not be unreasonably withheld or delayed. Any request for consent or approval shall: (a) be in writing; (b) specify the section hereof which requires that such notice be given or that such consent or approval be obtained; and (c) be accompanied by such background data as is reasonably necessary to make an informed decision thereon. The consent of an Owner under this Agreement, to be effective, must be given, denied or conditioned expressly and in writing.

(d) **No Wavier.** No wavier of any default of any obligation by any party hereto shall be implied from any omission by the other party to take any action with respect to such default.

(e) **No Agency.** Nothing in this Agreement shall be deemed or construed by either party or by any third person to create the relationship of principal and agent or of limited or general partners or of joint venturers or of any other association between the parties.

(f) **Covenants to Run with Land.** It is intended that each of the easements, covenants, conditions, rights and obligations set forth herein shall run with the land and create equitable servitude in favor of the real property benefited thereby, shall bind every person having any fee, leasehold or other interest therein and shall inure to the benefit of the respective parties and their successors, assigns, heirs, and personal representatives.

(g) **Grantee's Acceptance.** The grantee of any Parcel or any portion thereof, by acceptance of a deed conveying title thereto or the execution of a contract for the purchase thereof, whether from an original party or from a subsequent owner of such Parcel, shall accept such deed or contract upon and subject to each and all of the easements, covenants, conditions, restrictions and obligations contained herein. By such acceptance, any such

grantee shall for himself and his successors, assigns, heirs, and personal representatives, covenant, consent, and agree to and with the other party, to keep, observe, comply with, and perform the obligations and agreements set forth herein with respect to the property so acquired by such grantee.

(h) Severability. Each provision of this Agreement and the application thereof to Parcel A and Parcel B are hereby declared to be independent of and severable from the remainder of this Agreement. If any provision contained herein shall be held to be invalid or to be unenforceable or not to run with the land, such holding shall not affect the validity or enforceability of the remainder of this Agreement. In the event the validity or enforceability of any provision of this Agreement is held to be dependent upon the existence of a specific legal description, the parties agree to promptly cause such legal description to be prepared. Ownership of the Parcels by the same person or entity shall not terminate this Agreement, merge obligations, nor in any manner affect or impair the validity or enforceability of this Agreement.

(i) Time of Essence. Time of the essence of this Agreement.

(j) Entire Agreement. This Agreement contains the complete understanding and agreement of the parties hereto with respect to all matters referred to herein, and all prior representations, negotiations, and understandings are superseded hereby.

(k) Notices. Notices or other communication hereunder shall be in writing and shall be sent certified or registered mail, return receipt request, or by other national overnight courier company, or personal delivery. Notice shall be deemed given upon receipt or refusal to accept delivery. Each may change from time to time their respective address for notice hereunder by like notice to the other parties. The notice addresses of the Parcel A Owner and the Parcel B Owner are as follows:

Parcel A Owner: Core Commercial, Inc.
4004 E. Appleseed Drive
Appleton WI 54913

Parcel B Owner: Core Commercial, Inc.
4004 E. Appleseed Drive
Appleton WI 54913

(l) Governing Law. The laws of the State in which the Parcels are located shall govern the interpretation, validity, performance, and enforcement of this Agreement.

(m) Estoppel Certificate. Each Owner, within twenty (20) days of its receipt of a written request from the other Owner(s), shall from time to time provide the requesting Owner, a certificate binding upon such Owner stating: (a) to the best of such Owner's knowledge, whether any party to this Agreement is in default or violation of this Agreement and if so identifying such default or violation; and (b) that this Agreement is in full force

and effect and identifying any amendments to the Agreement as of the date of such certificate.

(n) Bankruptcy. In the event of any bankruptcy affecting any Owner or occupant of any Parcel, the parties agree that this Agreement shall, to the maximum extent permitted by law, be considered an agreement that runs with the land and that is not rejectable, in whole or in part, by the bankrupt person or entity.

(o) No Partnership. Neither this Agreement nor any acts of the Owners hereto shall be deemed or construed by the parties hereto, or any of them, or any third person, to create the relationship of principal and agent, or of partnership, or of joint venture, or of any association between any of the Owners to this Agreement.

(p) Capitalized Terms. All initially capitalized terms used but not otherwise defined herein shall have the meanings ascribed to them in this Agreement.

(q) Joint and Several Liability. All of the entities comprising an Owner, shall be jointly and severally liable under this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first written above.

Signature Pages of Owners to follow

EXHIBIT A

LEGAL DESCRIPTION – PARCEL A

Lot 3 of Certified Survey Map No. _____, recorded in the Office of the Register of Deeds for Walworth County, Wisconsin on _____, 2018, as Document No. _____, being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part of Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva, Walworth County, Wisconsin.

EXHIBIT B

LEGAL DESCRIPTION – PARCEL B

Lot 2 of Certified Survey Map No. _____, recorded in the Office of the Register of Deeds for Walworth County, Wisconsin on _____, 2018, as Document No. _____, being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part of Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva, Walworth County, Wisconsin.

**EASEMENT AGREEMENT
FOR SANITARY SEWER SYSTEM
AND WATERMAIN SYSTEM**

THIS EASEMENT AGREEMENT (the "Agreement") is made and entered into this _____ day of _____, 2018, ("Effective Date") by and between **Geneva Business Centre, LLC**, a Wisconsin limited liability company ("GBC") and **Core Commercial Inc.**, Wisconsin corporation ("**Core**").

RECITALS

- A. GBC is the owner of that certain real property situated in the City of Lake Geneva, Walworth County, Wisconsin, more particularly described on Exhibit A, attached hereto and incorporated herein by reference (hereinafter referred to as "Parcel A").
- B. Core is the owner of that certain real property situated in the City of Lake Geneva, Walworth County, Wisconsin, more particularly described on Exhibit B, attached hereto and incorporated herein by reference (hereinafter referred to as "Parcel B").
- C. Core is the owner of that certain real property situated in the City of Lake Geneva, Walworth County, Wisconsin, more particularly described on Exhibit C, attached hereto and incorporated herein by reference (hereinafter referred to as "Parcel C").
- D. GBC and Core propose to provide a nonexclusive easements for the tapping into and drainage of sanitary sewerage and for tapping into and obtaining water from the existing lines and lines to be constructed on Parcel A, Parcel B and Parcel as set forth on the site plan attached hereto an incorporated by reference as "Exhibit D" ("Site Plan").

NOW, THEREFORE, in consideration of the foregoing and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, GBC and Core hereby agree as follows:

1. **Incorporation.** Recitals A through D above are hereby incorporated into the terms of this Agreement by reference as if fully restated herein.

2. **Definitions.** For purposes hereof:

(a) The term "Owner" shall mean GBC and Core, in respect to their individual Parcels, and any and all successors or assigns of such persons as the owner or owners of fee simple title to all or any portion of the real property covered hereby, whether by sale,

Return to:

Attorney Jennifer W. Koepl
Koepl Law Offices, S.C.
P.O. Box 270
Wild Rose WI 54984-0270

Tax Parcel No.: _____

assignment, inheritance, operation of law, trustee's sale, foreclosure, or otherwise, but not including the holder of any lien or encumbrance on such real property.

(b) The term "Parcel" or "Parcels" shall mean each separately identified parcel of real property now constituting a part of the real property subjected to this Agreement as described on Exhibit A, Exhibit B and Exhibit C, that is, Parcel A, Parcel B and Parcel C, and any future subdivisions thereof.

(c) The term "Permittees" shall mean the tenant(s) or occupant(s) of a Parcel, and the respective employees, agents, contractors, customers, invitees and licensees of (i) the Owner of such Parcel, and/or (ii) such tenant(s) or occupant(s).

(d) The term "Site Plan" shall mean that site plan of the Parcels attached hereto as Exhibit D and by reference made a part hereof. The Site Plan shown on the Site Plan has been approved by GBC and Core.

(e) The term "Sanitary Sewer Easement Area" shall mean a fifteen foot (15') wide area as identified on the Site Plan, and legally described on "Exhibit E" attached hereto and incorporated herein by reference.

(f) The term "Watermain Easement Area" shall mean a twenty foot (20') wide area as identified on the Site Plan, and legally described on "Exhibit F" attached hereto and incorporated herein by reference.

2. **Grants of Easement.** GBC and Core hereby grant, establish, covenant and agree that the Parcels, all Owners and Permittees of the Parcels and their respective employees, agents, contractors, customers, invitees and licensees, shall be benefited and burdened by the following nonexclusive, perpetual and reciprocal easement which are hereby imposed upon the Parcels and all present and future owners, tenants or occupants of the Parcels:

(a) **Sanitary Sewer Easement.** A fifteen foot (15') wide permanent nonexclusive easement within the Sanitary Sewer Easement Area, including the right and authority to allow Core, its heirs, successors and assigns, at its cost, to tap into and drain sanitary sewage from Parcel B and Parcel C through the existing private sanitary sewer pipe located on Parcel A. Core hereby represents, agrees and warrants that Core's connection to the present underground sanitary sewer system located on Parcel A shall be constructed, reconstructed, maintained, repaired, used and operated in accordance with all laws, statutes, codes, ordinances, rules and regulations ("Laws") including those of the City of Lake Geneva, Walworth County and the State of Wisconsin. Core further represents that all inspections necessary for the completion of such installation will be undertaken as required. Notwithstanding anything else set forth herein, except as otherwise specifically agreed to in writing between the Parties and recorded in the records of Walworth County, no portion of the sanitary sewer system shall be located above the surface of the ground.

(b) **Watermain Easement.** A twenty foot (20') wide permanent nonexclusive easement within the Watermain Easement Area, including the right and authority to allow Core, its heirs, successors and assigns, at its cost, to tap into and access water for Parcel B and Parcel C through the existing water line pipe located on Parcel A, and the right of GBC, its heirs, successors and assigns to access water for Parcel A through the water line loop to be constructed on Parcel B and Parcel C, as identified on the Site Plan. Core hereby represents, agrees and warrants that Core's connection to the present watermain system located on Parcel A shall be constructed, reconstructed, maintained, repaired, used and operated in accordance with all laws, statutes, codes, ordinances, rules and regulations ("Laws") including those of the City of Lake Geneva, Walworth County and the State of Wisconsin. Core further represents that all inspections necessary for the completion of such installation will be undertaken as required. Notwithstanding anything else set forth herein, except as otherwise specifically agreed to in writing between the Parties and recorded in the records of Walworth County, no portion of the sanitary sewer system shall be located above the surface of the ground.

3. **Maintenance and Repair.**

(a) Core will, at its sole cost and expense and promptly after completion of its work replace the surface (including, without limitation, the surface paving) and subsurface of the soil as may be disturbed in tapping into the present sanitary sewer pipe and watermain line located within the Sanitary Sewer Easement Area and Watermain Easement Area, respectively. Core covenants and agree that it shall be responsible for initiating, maintaining, and providing supervisions of safety precautions and programs in connection with the location, construction, installation, inspection, maintenance, relocation and replacement of Core's facilities within the easement. Core shall erect and maintain, as required by existing conditions and the work being undertaken by Core, reasonable safeguards for safety and protection, including posting danger signs and other warnings against hazards, promulgating safety regulations, and notifying owners and users of adjacent property and utilities. Core shall also be responsible for all measures reasonably necessary to protect any property adjacent to the easement and the Parcel A property and Parcel A improvements therein from damage due to the activities of Core and Core's contractors and agents under this easement. Any damage to such property or improvements shall be promptly repaired by Core. In the event Core fails to take any action required by this Paragraph, GBC shall have the right, but not the obligation, to perform any such action, and the cost thereof shall be payable on demand by the Core.

(b) Upon completion of the connection to the private sanitary sewer and watermain loop, GBC, Core, and their heirs, successors and assigns, shall thereafter share proportionately in all expenses necessary for the maintenance and repair of the private sanitary sewer and watermain loop. Proportionate share shall be determined by a fraction, the numerator of which is square footage of the completed improvements on each Owner's respective Parcel(s) and the denominator of which is the square footage of all Parcels.

4. **Term.** This Agreement and the easements, rights, obligations and liabilities created hereby shall be effective commencing on the date of recording this Agreement in the Register of Deeds Office of Walworth County Wisconsin, and, to the extent permitted by law,

remain in full force and effect thereafter in perpetuity unless otherwise modified, amended, canceled or terminated by the written consent of all then record owners of Parcel A, Parcel B and Parcel C in accordance with the terms of this Agreement.

5. **Subordination.** Any mortgage or deed of trust affecting the Parcels shall at all times be subject and subordinate to the terms of this Agreement, except to the extent provided herein, and anyone foreclosing any such mortgage or deed of trust, or acquiring title by deed in lieu of foreclosure or trustee's sale shall acquire title subject to all of the terms and provisions of this Agreement.

6. **Remedies and Enforcement.**

(a) **All Legal and Equitable Remedies Available.** In the event of a breach or threatened breach by any Owner or its Permittees of any of the terms, covenants, restrictions or conditions hereof, the other Owner(s) shall be entitled forthwith to full and adequate relief by injunction and/or all such other available legal and equitable remedies from the consequences of such breach, including payment of any amounts due and/or specific performance.

(b) **Self-Help.** In addition to all other remedies available at law or in equity, upon the failure of a defaulting Owner to cure a breach of this Agreement within thirty (30) days following written notice thereof by an Owner (unless, with respect to any such breach the nature of which cannot reasonably be cured within such 30-day period, the defaulting Owner commences such cure within such 30-day period and thereafter diligently prosecutes such cure to completion), any Owner shall have the right to perform such obligation contained in this Agreement on behalf of such defaulting Owner and be reimbursed by such defaulting Owner upon demand for the reasonable costs thereof together with interest at the prime rate, as published in the Wall Street Journal from time to time, plus two percent (2%) (not to exceed the maximum rate of interest allowed by law). Notwithstanding the foregoing, in the event of an emergency an Owner may immediately cure the same and be reimbursed by the other Owner upon demand for the reasonable cost thereof together with interest at the prime rate, plus two percent (2%), as above described.

(c) **Lien Rights.** Any claim for reimbursement, including interest as aforesaid, and all costs and expenses including reasonable attorneys' fees awarded to any Owner in enforcing any payment in any suit or proceeding under this Agreement shall be assessed against the defaulting Owner in favor of the prevailing party and shall constitute a lien (the "Assessment Lien") against the Parcel of the defaulting Owner until paid, effective upon the recording of a notice of lien with respect thereto in the Register of Deeds Office of Walworth County, Wisconsin; provided, however, that the nondefaulting Owner shall provide the defaulting Owner with five (5) days written notice that it will record a notice of the Assessment Lien and such default remains uncured after such 5 day period, and further provided that any such Assessment Lien shall be subject and subordinate to (i) liens for taxes and other public charges which by applicable law are expressly made superior, (ii) all liens recorded in the Register of Deeds Office of Walworth County, Wisconsin prior

to the date of recordation of said notice of lien, and (iii) all leases entered into, whether or not recorded, prior to the date of recordation of said notice of lien. All liens recorded subsequent to the recordation of the notice of lien described herein shall be junior and subordinate to the Assessment Lien. Upon the timely curing by the defaulting Owner of any default for which a notice of lien was recorded, the party recording same shall record an appropriate release of such notice of lien and Assessment Lien.

(d) Remedies Cumulative. The remedies specified herein shall be cumulative and in addition to all other remedies permitted at law or in equity.

7. **Miscellaneous.**

(a) Attorneys' Fees. In the event a party institutes any legal action or proceeding for the enforcement of any right or obligation herein contained, the prevailing party after a final adjudication shall be entitled to recover its costs and reasonable attorneys' fees incurred in the preparation and prosecution of such action or proceeding.

(b) Amendment. The parties agree that the provisions of this Agreement may be modified or amended, in whole or in part, or terminated, only by the written consent of all record Owners of Parcel A, Parcel B and Parcel C, evidenced by a document that has been fully executed and acknowledged by all such record Owners and recorded in the Register of Deeds Office of Walworth County, Wisconsin. No modification, waiver, amendment, discharge, or change of this Agreement shall be valid unless the same is in writing and signed by the Owner of Parcel A, the Owner of Parcel B and the Owner of Parcel C. No consent or approval of any Owner or Permittee other than the Owner of Parcel A, the Owner of Parcel B and the Owner of Parcel C shall be required in order to modify or amend any provisions of this Agreement.

(c) Consents. Wherever in this Agreement the consent or approval of an Owner is required, unless otherwise expressly provided herein, such consent or approval shall not be unreasonably withheld or delayed. Any request for consent or approval shall: (a) be in writing; (b) specify the section hereof which requires that such notice be given or that such consent or approval be obtained; and (c) be accompanied by such background data as is reasonably necessary to make an informed decision thereon. The consent of an Owner under this Agreement, to be effective, must be given, denied or conditioned expressly and in writing.

(d) No Wavier. No wavier of any default of any obligation by any party hereto shall be implied from any omission by the other party to take any action with respect to such default.

(e) No Agency. Nothing in this Agreement shall be deemed or construed by either party or by any third person to create the relationship of principal and agent or of limited or general partners or of joint venturers or of any other association between the parties.

(f) Covenants to Run with Land. It is intended that each of the easements, covenants, conditions, rights and obligations set forth herein shall run with the land and create equitable servitude in favor of the real property benefited thereby, shall bind every person having any fee, leasehold or other interest therein and shall inure to the benefit of the respective parties and their successors, assigns, heirs, and personal representatives.

(g) Grantee's Acceptance. The grantee of any Parcel or any portion thereof, by acceptance of a deed conveying title thereto or the execution of a contract for the purchase thereof, whether from an original party or from a subsequent owner of such Parcel, shall accept such deed or contract upon and subject to each and all of the easements, covenants, conditions, restrictions and obligations contained herein. By such acceptance, any such grantee shall for himself and his successors, assigns, heirs, and personal representatives, covenant, consent, and agree to and with the other party, to keep, observe, comply with, and perform the obligations and agreements set forth herein with respect to the property so acquired by such grantee.

(h) Severability. Each provision of this Agreement and the application thereof to Parcel A, Parcel B and Parcel C are hereby declared to be independent of and severable from the remainder of this Agreement. If any provision contained herein shall be held to be invalid or to be unenforceable or not to run with the land, such holding shall not affect the validity or enforceability of the remainder of this Agreement. In the event the validity or enforceability of any provision of this Agreement is held to be dependent upon the existence of a specific legal description, the parties agree to promptly cause such legal description to be prepared. Ownership of the Parcels by the same person or entity shall not terminate this Agreement, merge obligations, nor in any manner affect or impair the validity or enforceability of this Agreement.

(i) Time of Essence. Time of the essence of this Agreement.

(j) Entire Agreement. This Agreement contains the complete understanding and agreement of the parties hereto with respect to all matters referred to herein, and all prior representations, negotiations, and understandings are superseded hereby.

(k) Notices. Notices or other communication hereunder shall be in writing and shall be sent certified or registered mail, return receipt request, or by other national overnight courier company, or personal delivery. Notice shall be deemed given upon receipt or refusal to accept delivery. Each may change from time to time their respective address for notice hereunder by like notice to the other parties. The notice addresses of the Parcel A Owner, the Parcel B Owner and the Parcel C Owner are as follows:

Parcel A Owner: Geneva Business Centre LLC
c/o Keefe & Associates, Inc.
751 Geneva Parkway N
Lake Geneva WI 53147-4579

Parcel B Owner: Core Commercial, Inc.

4004 E. Appleseed Drive
Appleton WI 54913

Parcel C Owner: Core Commercial, Inc.
4004 E. Appleseed Drive
Appleton WI 54913

(l) Governing Law. The laws of the State in which the Parcels are located shall govern the interpretation, validity, performance, and enforcement of this Agreement.

(m) Estoppel Certificate. Each Owner, within twenty (20) days of its receipt of a written request from the other Owner(s), shall from time to time provide the requesting Owner, a certificate binding upon such Owner stating: (a) to the best of such Owner's knowledge, whether any party to this Agreement is in default or violation of this Agreement and if so identifying such default or violation; and (b) that this Agreement is in full force and effect and identifying any amendments to the Agreement as of the date of such certificate.

(n) Bankruptcy. In the event of any bankruptcy affecting any Owner or occupant of any Parcel, the parties agree that this Agreement shall, to the maximum extent permitted by law, be considered an agreement that runs with the land and that is not rejectable, in whole or in part, by the bankrupt person or entity.

(o) No Partnership. Neither this Agreement nor any acts of the Owners hereto shall be deemed or construed by the parties hereto, or any of them, or any third person, to create the relationship of principal and agent, or of partnership, or of joint venture, or of any association between any of the Owners to this Agreement.

(p) Capitalized Terms. All initially capitalized terms used but not otherwise defined herein shall have the meanings ascribed to them in this Agreement.

(q) Joint and Several Liability. All of the entities comprising an Owner, shall be jointly and severally liable under this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first written above.

Signature Pages of Owners to follow

**PARCEL A OWNER:
Geneva Business Centre, LLC**

By: _____
Thomas Keefe, Member

By: _____
Roger Wolff, Member

STATE OF WISCONSIN)
) ss.
COUNTY OF WALWORTH)

The foregoing instrument was acknowledged before me this _____ day of _____, 2018 by Thomas Keefe and Roger Wolff, known to me to be the only Members of Geneva Business Center, LLC, on behalf of the limited liability company.

Printed: _____
Notary Public, State of Wisconsin
My commission expires/is _____

EXHIBIT A

LEGAL DESCRIPTION – PARCEL A

Lot 1 of Certified Survey Map No. _____, recorded in the Office of the Register of Deeds for Walworth County, Wisconsin on _____, 2018, as Document No. _____, being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part of Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva, Walworth County, Wisconsin.

EXHIBIT B

LEGAL DESCRIPTION – PARCEL B

Lot 2 of Certified Survey Map No. _____, recorded in the Office of the Register of Deeds for Walworth County, Wisconsin on _____, 2018, as Document No. _____, being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part of Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva, Walworth County, Wisconsin.

EXHIBIT C

LEGAL DESCRIPTION – PARCEL C

Lot 3 of Certified Survey Map No. _____, recorded in the Office of the Register of Deeds for Walworth County, Wisconsin on _____, 2018, as Document No. _____, being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part of Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva, Walworth County, Wisconsin.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 16, 2018

Agenda Item:8

Applicant:
Kim Pischke, Core Commercial, Inc.
P.O. Box 1154
Appleton, WI 54912

Request:
Certified Survey Map CSM Land Division
At 751 Geneva Parkway for Tax Key Nos.
ZGBC00001, ZGBC00001A, & ZGBC00002
intended for commercial development.

Description of Proposed Certified Survey Map (CSM) land division:

The applicant is proposing to re-divide a single site into three separate lots. The subject property is located on the north side of Geneva Parkway, east of Edwards Boulevard and south of Wal-Mart. A Certified Survey Map (CSM) land division has been submitted to accomplish this purpose. The subject property contains just over six acres and the multi-tenant office building housing Keefe Real Estate and other businesses.

The northern part of subject property was recently rezoned from the Planned Business Park (PBP) zoning district to the Planned Business (PB) zoning district. The proposed lot sizes are:

- Lot 1 of 1.54 acres, zoned Planned Business Park (PBP);
- Lot 2 of 1.51 acres, zoned Planned Business (PB); and,
- Lot 3 of 2.54 acres, zoned Planned Business.

Please note that development in the form of new buildings and paved areas is proposed on Lots 2 and 3. Revised paved areas are proposed on Lot 1. The current building will remain. These proposed development projects will be reviewed independently of this land division. Specifically, they appear as Items 9, 10, and 11 on this Plan Commission agenda.

Action by the Plan Commission:

Review of the proposed Certified Survey Map (CSM) as it complies with the Land Division and Zoning provisions of the Municipal Code, and recommendation to the Common Council.

Staff Review and Recommendation on the Proposed Land Division:

1. Staff has reviewed the proposed Certified Survey Map land division. Staff notes that each of the proposed Lots 1-3 meets all requirements of its respective zoning districts.
2. Staff further notes the provision of easements for shared cross-access between the three proposed lots, as depicted on page 2 of the CSM.
3. Staff recommends that the Plan Commission recommend *approval* of the Certified Survey Map (CSM), as submitted for the property.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP

or

SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Roger Wolff, Member

GBC Business Centre, LLC.

P.O. BOX 460, Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: (262) 903-3222

EMAIL ADDRESS: roger@rogerwolff.com

PROJECT ADDRESS: 751 and 753 Geneva Parkway, Lake Geneva, WI 53147

TAX KEY NUMBER(S): ZGBC 00001A, ZGBC 00001, ZGBC 00002 and ZLGBP 00002

NAME AND ADDRESS OF APPLICANT:

Kim Pischke

Core Commercial, Inc.

P.O. Box 1154, Appleton, WI 54912

TELEPHONE NUMBER OF APPLICANT: (920) 205-9505

EMAIL ADDRESS: kimp@corewis.com

NAME AND ADDRESS OF SURVEYOR:

Mike Greason, PLS

V2G Surveying, LLC.

123 Wolf Run, Suite 4, Mukwonago, WI 53149

TELEPHONE NUMBER OF SURVEYOR: (262) 378-5097

EMAIL ADDRESS: MikeG@V2G-Surveying.com

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Combining current parcels owned by Geneva Business Centre, LLC. and separating into three separate parcels; parcel #1 – existing Keefe office building located at 751 Geneva Parkway, parcel #2 – new 22,000 square foot single tenant building and parcel #3 – new construction of a 13,915 square foot single tenant building. Parcel #1 will remain in the Lake Geneva Business Park and parcels 2 & 3 have been removed from the business park and rezoned Planned Business.

CERTIFIED SURVEY MAP NO.

Being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva., Walworth County, Wisconsin

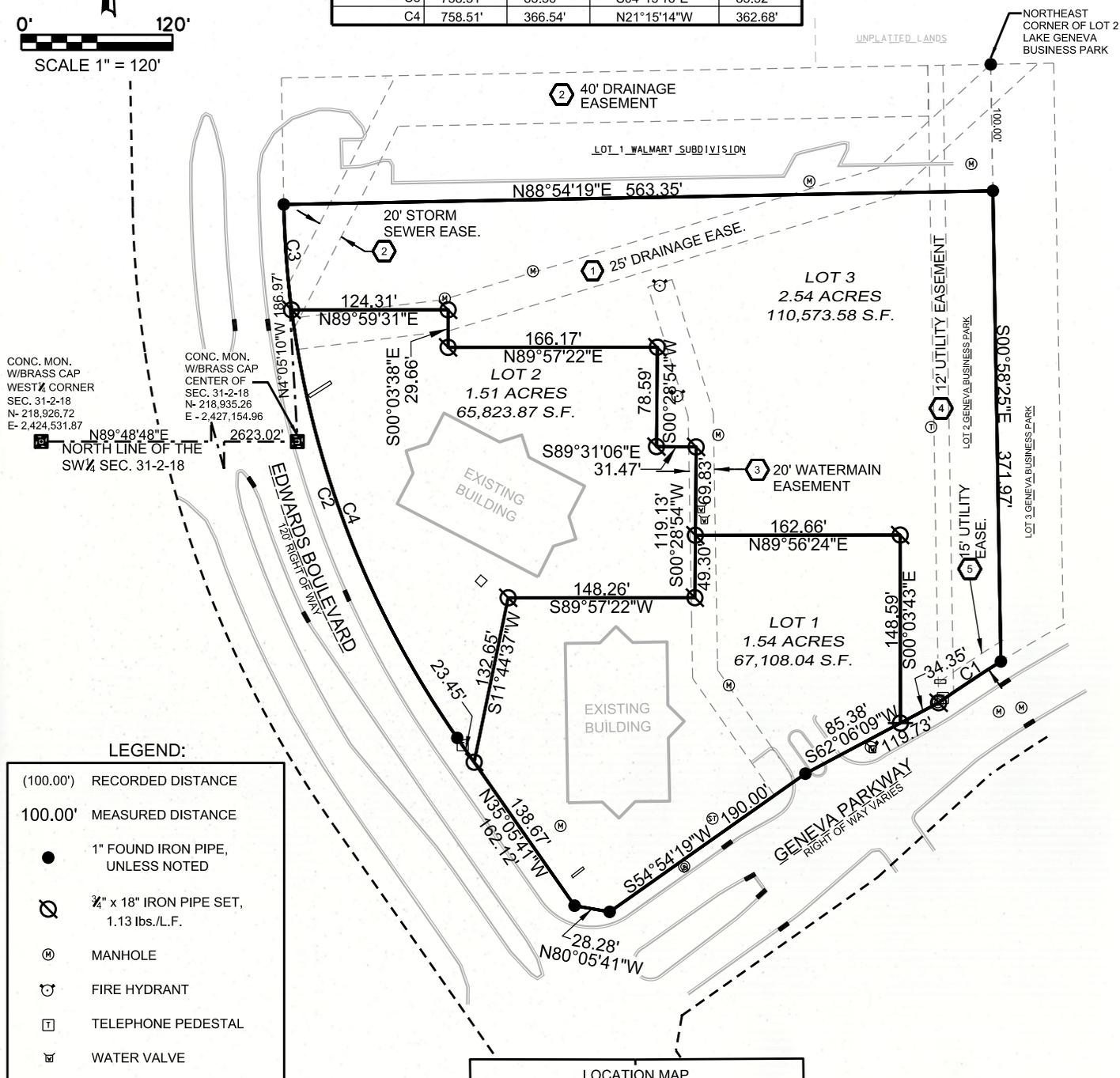
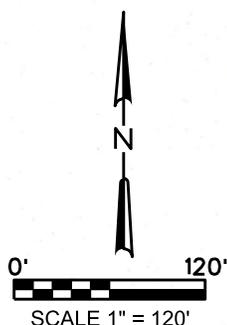
BASIS OF BEARING:
THE NORTH LINE OF
THE SW 1/4 OF SEC. 31,
T 2 N - R 18 E WAS TAKEN
TO BEAR N89°48'32"E.

OWNER:
KIM PISCHKE
CORE COMMERCIAL, INC.
P.O. BOX 1154
APPLETON, WI 54912

SURVEYOR:
V2G SURVEYING LLC.
550 BAY VIEW ROAD SUITE B
MUKWONAGO, WI 53149
262-378-5097

CURVE INFORMATION

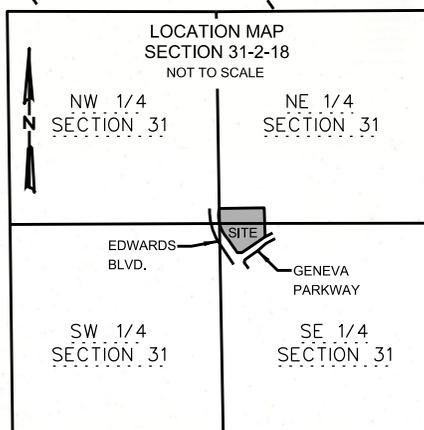
CURVE NO.	RADIUS	ARC	CHORD BEARING	CHORD
C1	1024.08'	59.28'	N56°32'43"E	59.27'
C2	758.51'	450.09'	N18°05'53"W	443.52'
C3	758.51'	83.56'	S04°15'16"E	83.52'
C4	758.51'	366.54'	N21°15'14"W	362.68'



LEGEND:

(100.00')	RECORDED DISTANCE
100.00'	MEASURED DISTANCE
●	1" FOUND IRON PIPE, UNLESS NOTED
⊙	3/4" x 18" IRON PIPE SET, 1.13 lbs./L.F.
⊙	MANHOLE
⊙	FIRE HYDRANT
⊙	TELEPHONE PEDESTAL
⊙	WATER VALVE

No.	EASEMENT DESCRIPTION	DOCUMENT No.
1	25' DRAINAGE EASEMENT	227992, 313695
2	STORM SEWER AND DRAINAGE	313695
3	20' PUBLIC WATERMAIN EASEMENT	313695
4	EASEMENT FOR UNDERGROUND ELECTRIC LINES	323067
5	EASEMENT FOR UNDERGROUND ELECTRIC LINES	323068

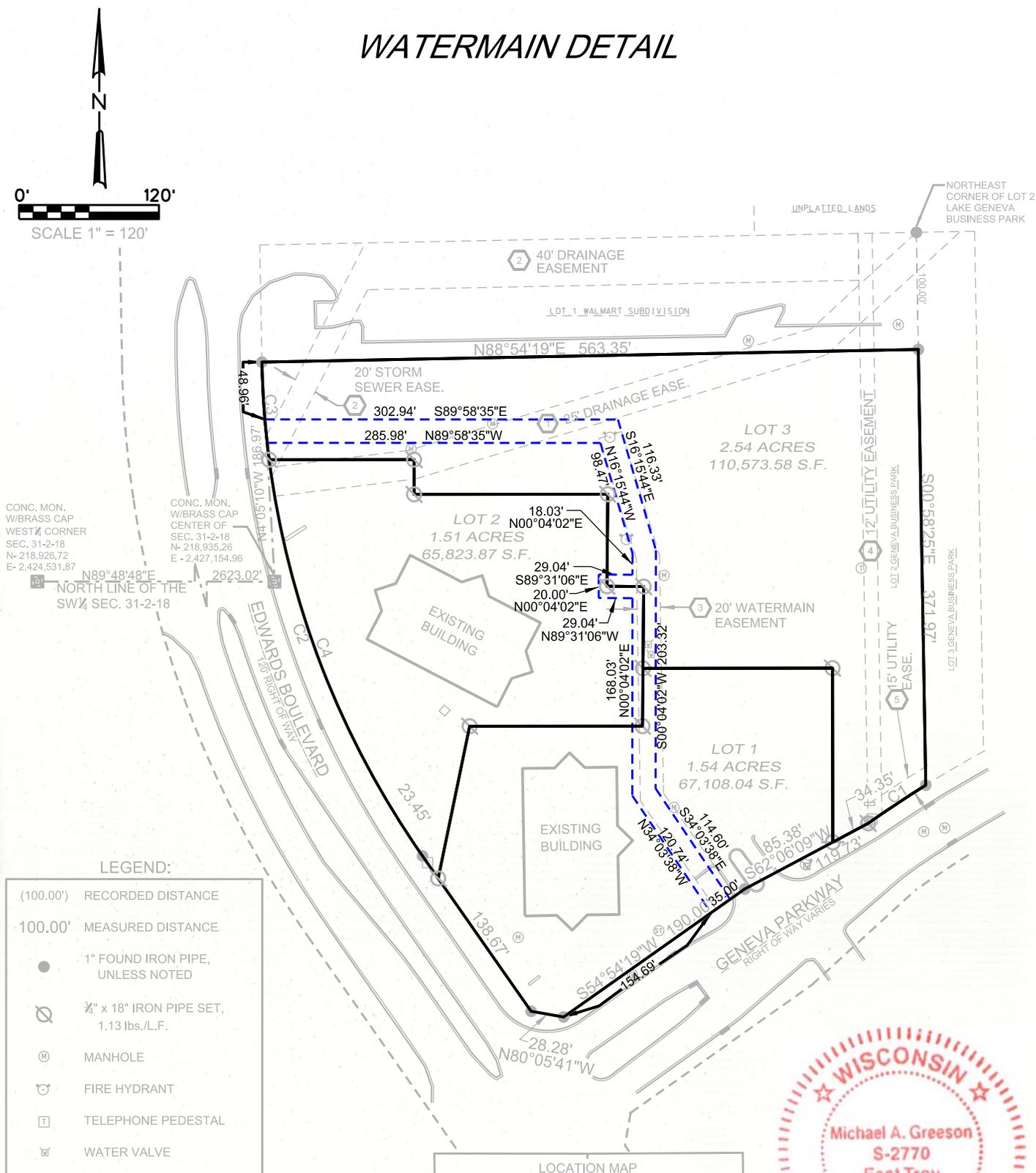


SHEET 1 OF 3
DRAFT DATE: 11/25/2016
REV. LOTS 10/12/2017
REV. LOTS 03/17/2018
REV. EASEMENT 03/28/2018
V2G JOB NO.: 2016-047

CERTIFIED SURVEY MAP NO.

Being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva., Walworth County, Wisconsin

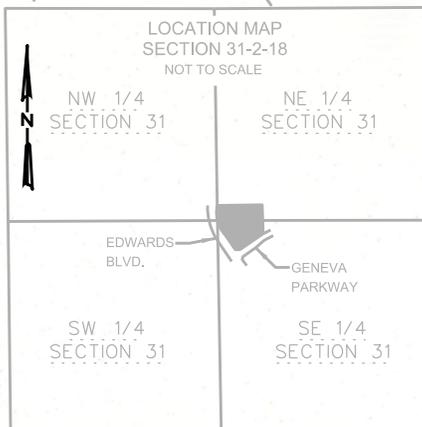
WATERMAIN DETAIL



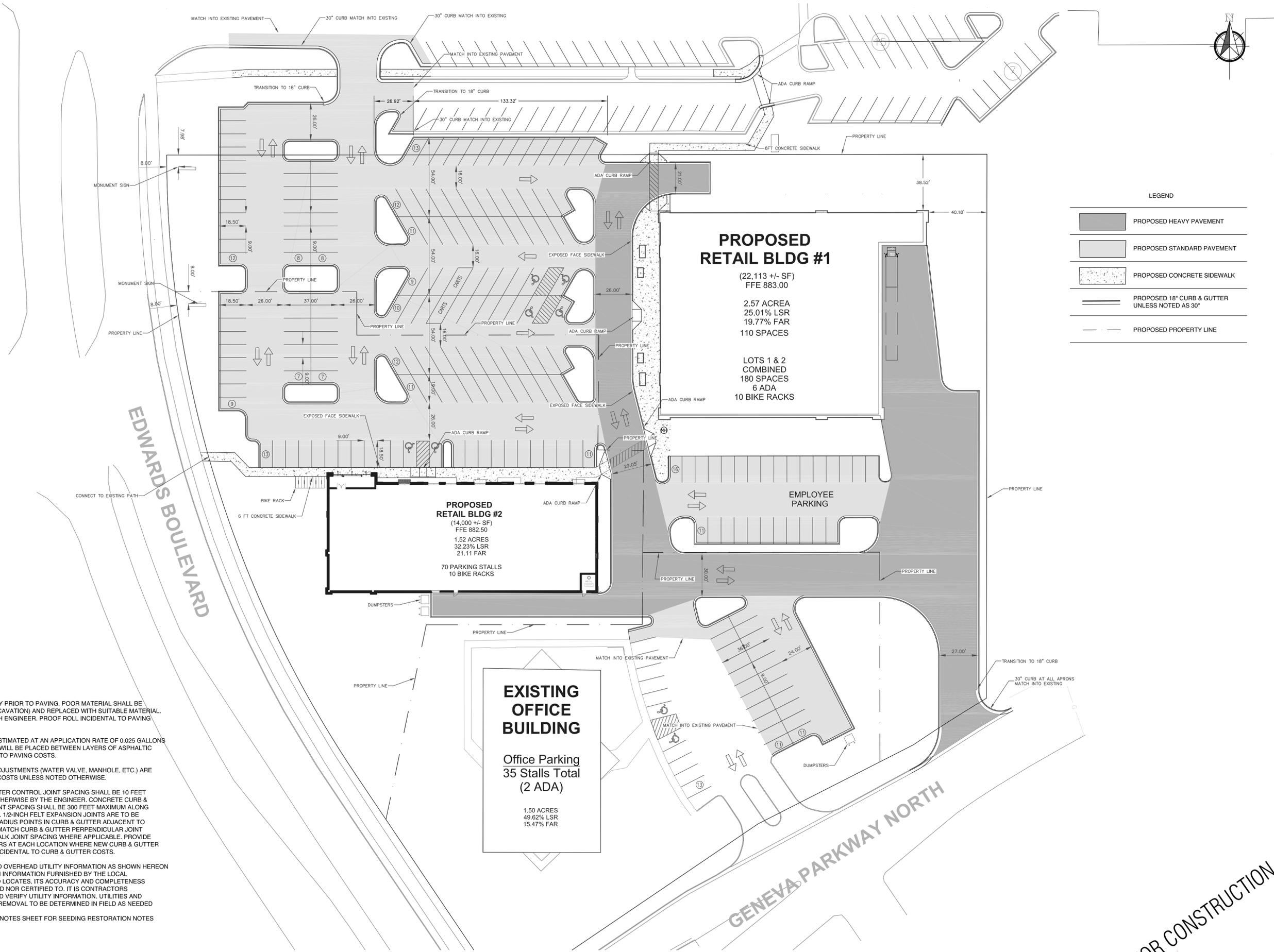
LEGEND:

- (100.00') RECORDED DISTANCE
- 100.00' MEASURED DISTANCE
- 1" FOUND IRON PIPE, UNLESS NOTED
- ⊙ 3/4" x 18" IRON PIPE SET, 1.13 lbs./L.F.
- ⊙ MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ WATER VALVE

No.	EASEMENT DESCRIPTION	DOCUMENT No.
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3	20' PUBLIC WATERMAIN EASEMENT	313695
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5	EASEMENT FOR UNDERGROUND ELECTRIC LINES	323068



SHEET 2 OF 3
DRAFT DATE: 11/25/2016
REV. LOTS 10/12/2017
REV. LOTS 03/17/2018
REV. EASEMENT 03/28/2018
V2G JOB NO.: 2016-047



LEGEND

	PROPOSED HEAVY PAVEMENT
	PROPOSED STANDARD PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED 18" CURB & GUTTER UNLESS NOTED AS 30"
	PROPOSED PROPERTY LINE

PROPOSED RETAIL BLDG #1

(22,113 +/- SF)
FFE 883.00
2.57 ACREA
25.01% LSR
19.77% FAR
110 SPACES

LOTS 1 & 2
COMBINED
180 SPACES
6 ADA
10 BIKE RACKS

PROPOSED RETAIL BLDG #2

(14,000 +/- SF)
FFE 882.50
1.52 ACRES
32.23% LSR
21.11 FAR
70 PARKING STALLS
10 BIKE RACKS

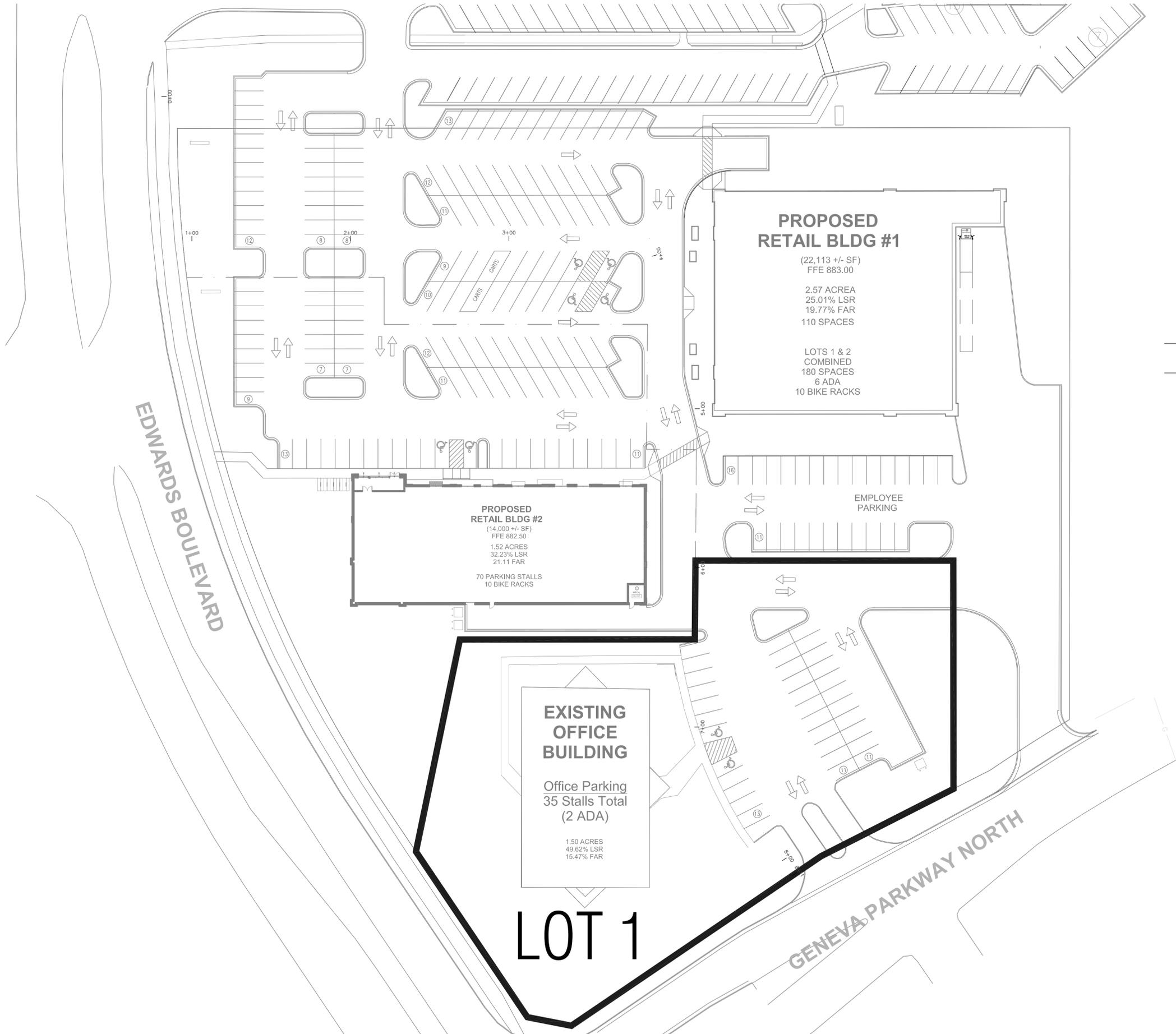
EXISTING OFFICE BUILDING

Office Parking
35 Stalls Total
(2 ADA)

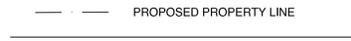
1.50 ACRES
49.62% LSR
15.47% FAR

- SITE PLAN NOTES**
1. PROOF ROLL NECESSARY PRIOR TO PAVING. POOR MATERIAL SHALL BE REMOVED (COMMON EXCAVATION) AND REPLACED WITH SUITABLE MATERIAL. CONFIRM MATERIAL WITH ENGINEER. PROOF ROLL INCIDENTAL TO PAVING COSTS.
 2. TACK COAT HAS BEEN ESTIMATED AT AN APPLICATION RATE OF 0.025 GALLONS PER SQUARE YARD AND WILL BE PLACED BETWEEN LAYERS OF ASPHALTIC PAVEMENT, INCIDENTAL TO PAVING COSTS.
 3. ANY EXISTING UTILITY ADJUSTMENTS (WATER VALVE, MANHOLE, ETC.) ARE INCIDENTAL TO PAVING COSTS UNLESS NOTED OTHERWISE.
 4. CONCRETE CURB & GUTTER CONTROL JOINT SPACING SHALL BE 10 FEET UNLESS AUTHORIZED OTHERWISE BY THE ENGINEER. CONCRETE CURB & GUTTER EXPANSION JOINT SPACING SHALL BE 300 FEET MAXIMUM ALONG TANGENTS AND CURVES. 1/2-INCH FELT EXPANSION JOINTS ARE TO BE CONSTRUCTED AT ALL RADIUS POINTS IN CURB & GUTTER ADJACENT TO ASPHALTIC PAVEMENT. MATCH CURB & GUTTER PERPENDICULAR JOINT SPACING TO THE SIDEWALK JOINT SPACING WHERE APPLICABLE. PROVIDE COATED DRILLED TIE BARS AT EACH LOCATION WHERE NEW CURB & GUTTER JOINS WITH EXISTING, INCIDENTAL TO CURB & GUTTER COSTS.
 5. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY THE LOCAL MUNICIPALITY AND FIELD LOCATES. ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO. IT IS CONTRACTORS RESPONSIBILITY TO FIELD VERIFY UTILITY INFORMATION. UTILITIES AND ADDITIONAL ITEMS FOR REMOVAL TO BE DETERMINED IN FIELD AS NEEDED
 6. SEE EROSION CONTROL NOTES SHEET FOR SEEDING RESTORATION NOTES

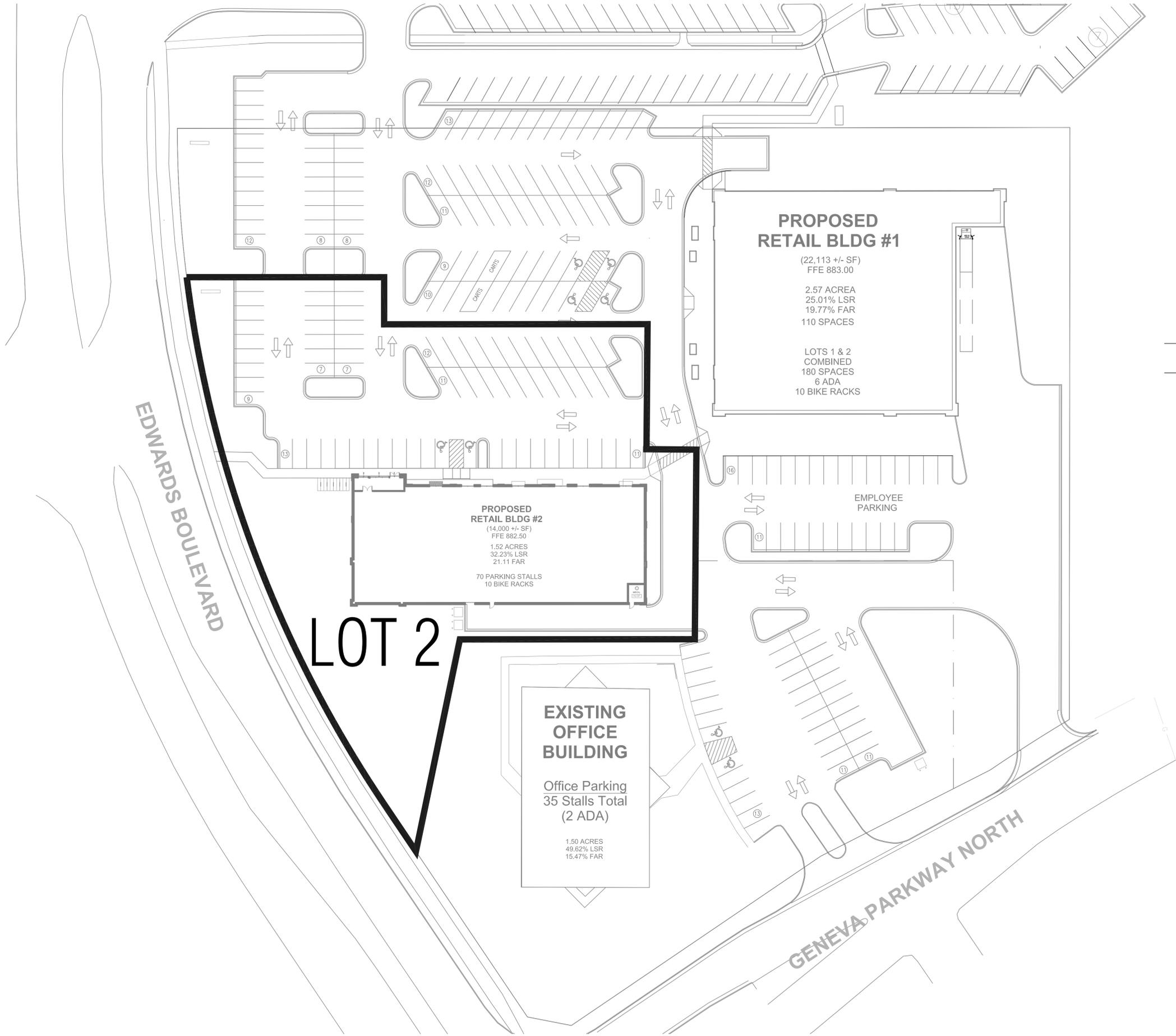




LEGEND



NOT FOR CONSTRUCTION
CARDINAL
ENGINEERING
DESIGNING IN TRUE DIRECTIONS
262-757-8778
www.cardinalengineeringwi.com



**PROPOSED
RETAIL BLDG #1**

(22,113 +/- SF)
FFE 883.00

2.57 ACREA
25.01% LSR
19.77% FAR
110 SPACES

LOTS 1 & 2
COMBINED
180 SPACES
6 ADA
10 BIKE RACKS

**PROPOSED
RETAIL BLDG #2**

(14,000 +/- SF)
FFE 882.50

1.52 ACRES
32.23% LSR
21.11 FAR

70 PARKING STALLS
10 BIKE RACKS

**EXISTING
OFFICE
BUILDING**

Office Parking
35 Stalls Total
(2 ADA)

1.50 ACRES
49.62% LSR
15.47% FAR

LOT 2

EDWARDS BOULEVARD

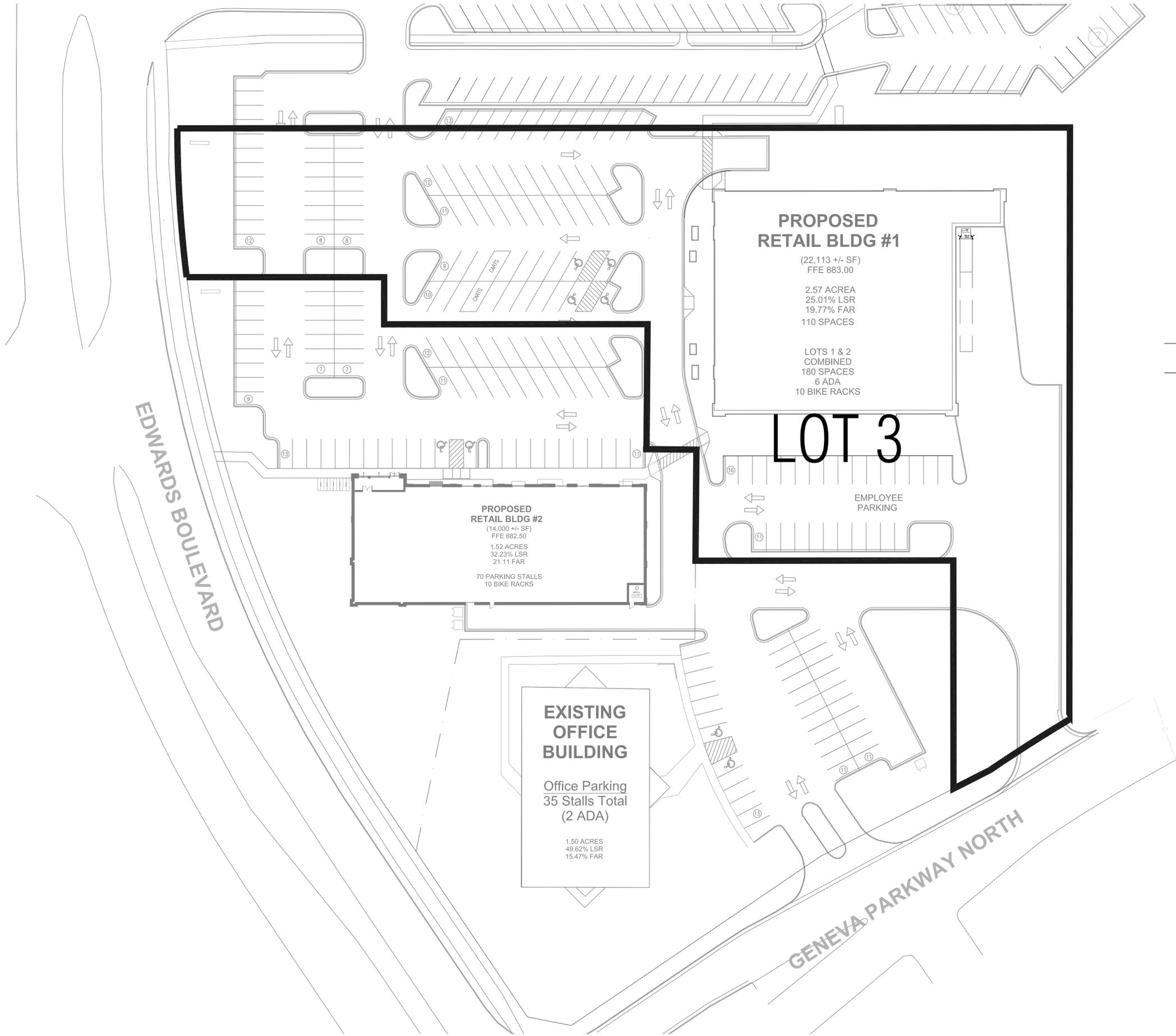
GENEVA PARKWAY NORTH



LEGEND

--- PROPOSED PROPERTY LINE





**PROPOSED
RETAIL BLDG #1**

(22,113 +/- SF)
FFE 883.00

2.57 ACREA
25.01% LSR
19.77% FAR
110 SPACES

LOTS 1 & 2
COMBINED
180 SPACES
6 ADA
10 BIKE RACKS

LOT 3

EMPLOYEE
PARKING

**PROPOSED
RETAIL BLDG #2**

(14,000 +/- SF)
FFE 882.50

1.52 ACRES
32.23% LSR
21.11 FAR

70 PARKING STALLS
10 BIKE RACKS

**EXISTING
OFFICE
BUILDING**

Office Parking
35 Stalls Total
(2 ADA)

1.50 ACRES
49.62% LSR
15.47% FAR

EDWARDS BOULEVARD

GENEVA PARKWAY NORTH

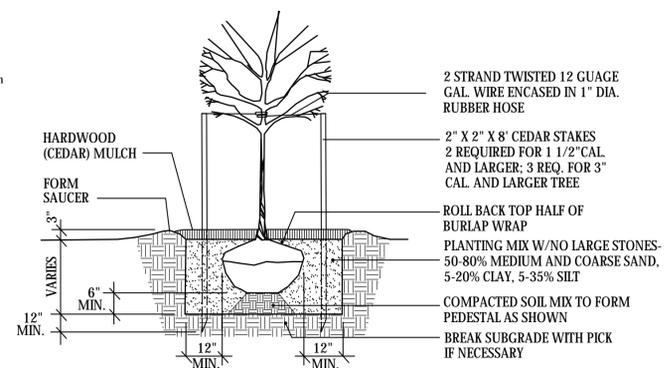
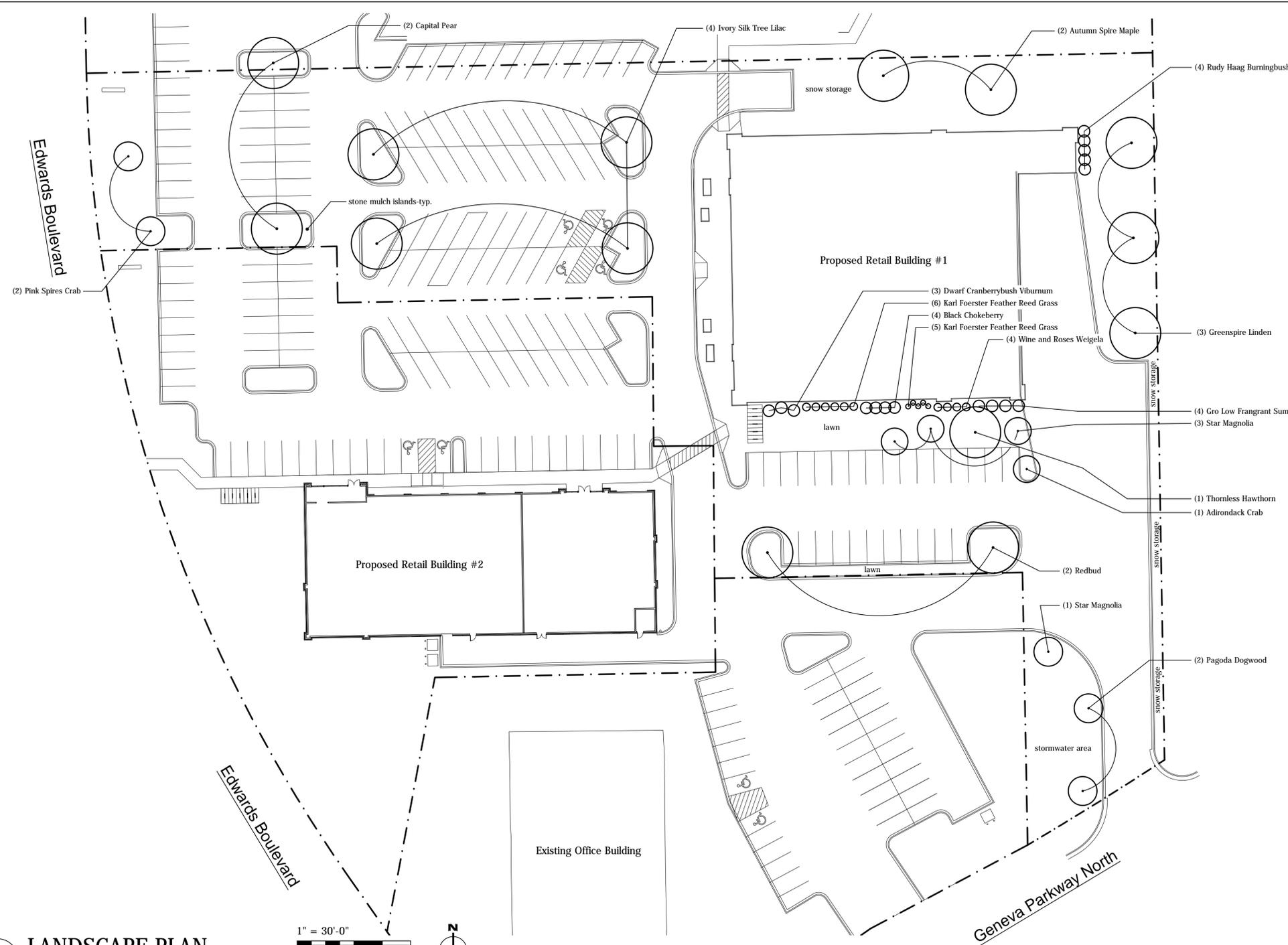


LEGEND

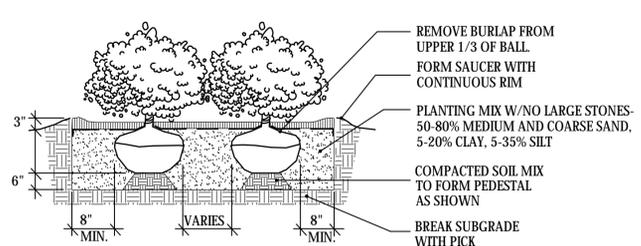


NOT FOR CONSTRUCTION

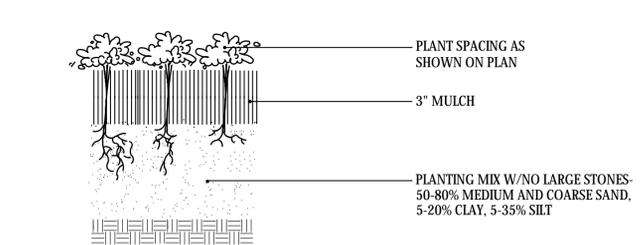




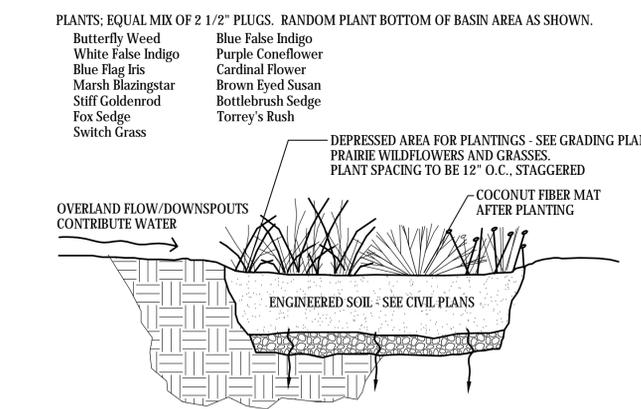
2 TREE PLANTING
NTS



3 SHRUB PLANTING
NTS

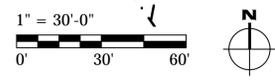


4 PERENNIAL PLANTING
NTS



5 BIOINFILTRATION AREA PLANTS
NTS

1 LANDSCAPE PLAN



- Notes:**
- Individual tree and shrub groupings found within lawn areas are to receive wood mulch rings and/or wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
 - "Edging" to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design: Valley View Black Diamond. Valley View Industries. (www.valleyviewintl.com/professionals/)
 - "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation. (www.seedsolutions.com)
 - Unless otherwise indicated, plant beds to receive locally available, clean washed 1 1/2" - 2 1/2" durable landscape stone spread to a 3" min. depth over a commercial grade weed barrier fabric.
 - Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

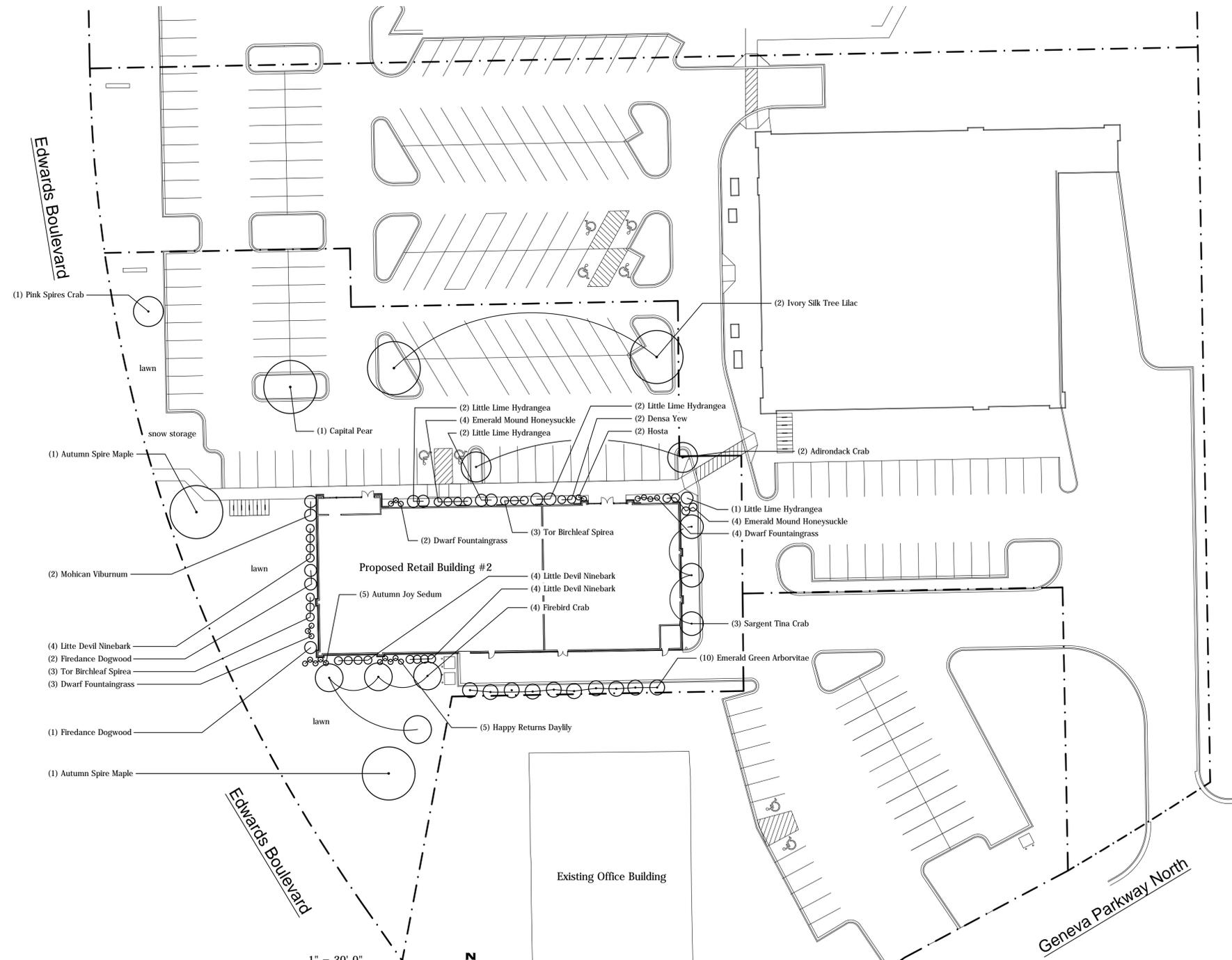
Article VI: Landscaping and Bufferyard Regulations
Zoning: Planned Business Development
Landscape Requirement Measurements

Building Foundations:	Site	Min. Required Points
40 landscape points per 100 lf	656 lf	263
Developed Lot: 10 landscape points per 1,000 gross floor area	22,450 sf	225
Street Frontage: 40 landscape points per 100 lf	179 lf	72
Area of Paved Areas: 80 landscape points per 10,000 sf	58,840 sf	471
Total Points Required		1,031

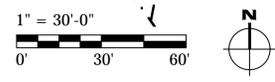
Landscaping Points and Min. Installation Sizes:

Plant Category	Min. size	Points	Proposed Qty.	Points
Climax Tree	2" cal.	75	14	1,050
Tall Deciduous Tree	1 1/2" cal.	30	5	150
Med. Deciduous Tree	6" tall	15	-	-
Tall Evergreen Tree	5" tall	40	-	-
Tall Deciduous Shrub	36" tall	5	3	15
Low Deciduous Shrub	18" tall	1	15	15
Total Points Proposed				1,230

TREES		
Redbud	<i>Cercis canadensis</i> 'Columbus Strain'	2" cal.
Pink Spires Crab	<i>Malus Pink Spires</i>	6" ht.
Pagoda Dogwood	<i>Cornus alternifolia</i>	1 1/2" cal.
Capital Pear	<i>Pyrus calleryana</i> 'Capital'	2" cal.
Ivory Silk Tree Lilac	<i>Syringa reticulata</i> 'Ivory Silk'	2" cal.
Autumn Spire Maple	<i>Acer rubrum</i> 'Autumn Spire'	2" cal.
Greenspire Littleleaf Linden	<i>Tilia cordata</i> 'Greenspire'	2" cal.
Thornless Cocksbur Hawthorn	<i>Crataegus crus-galli</i> 'inermis'	1 1/2" cal.
Adirondack Crab	<i>Malus 'Adirondack'</i>	6" ht.
SHRUBS		
Dwarf Cranberrybush Viburnum	<i>Viburnum trilobum</i> 'Compactum'	18" ht.
Rudy Haag Burningbush	<i>Euonymus alatus</i> 'Rudy Haag'	18" ht.
Wine and Roses Weigela	<i>Weigela florida</i> 'Alexandra'	18" ht.
Gro low Fragrant Sumac	<i>Rhus aromatica</i>	18" ht.
Star Magnolia	<i>Magnolia stellata</i>	36" ht.
Black Chokeberry	<i>Aronia melanocarpa</i>	18" ht.
PERENNIALS		
Karl Foerster Feather Reed Grass	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	1 gal.



1 LANDSCAPE PLAN



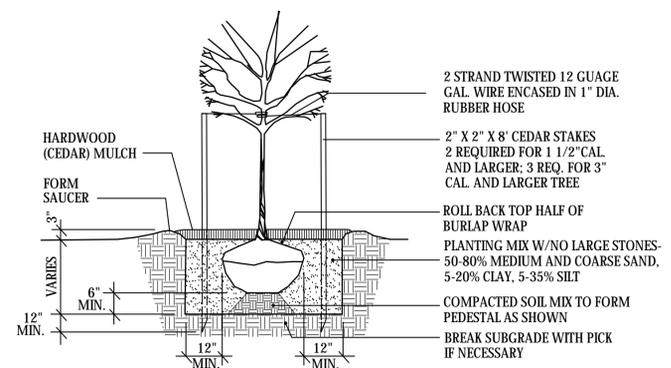
- Notes:**
- Individual tree and shrub groupings found within lawn areas are to receive wood mulch rings and/or wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
 - "Edging" to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design: Valley View Black Diamond. Valley View Industries. (www.valleyviewind.com/professionals/)
 - "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation. (www.seedsolutions.com)
 - Unless otherwise indicated, plant beds to receive locally available, clean washed 1 1/2" - 2 1/2" durable landscape stone spread to a 3" min. depth over a commercial grade weed barrier fabric.
 - Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

Article VI: Landscaping and Bufferyard Regulations
Zoning: Planned Business Development
Landscape Requirement Measurements

Building Foundations:	40 landscape points per 100 lf	Site	Min. Required Points
Developed Lot:	10 landscape points per 1,000 gross floor area	537 lf	215
Street Frontage:	40 landscape points per 100 lf	14,075 sf	140
Area of Paved Areas:	80 landscape points per 10,000 sf	392 lf	157
		24,920 sf	200
			712
Total Points Required			

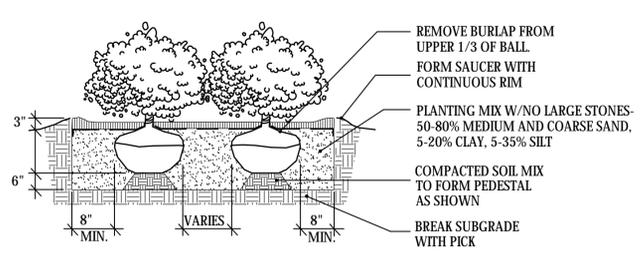
Landscaping Points and Min. Installation Sizes:		Proposed	
Plant Category	Min. size	Points	Qty. Points
Climax Tree	2" cal.	75	5 375
Tall Deciduous Tree	1 1/2" cal.	30	-
Med. Deciduous Tree	6' tall	15	7 105
Tall Evergreen Tree	5' tall	40	10 400
Tall Deciduous Shrub	36" tall	5	11 55
Low Deciduous Shrub	18" tall	1	27 27
Total Points Proposed			962

TREES		
Pink Spires Crab	Malus Pink Spires	6' ht.
Fire Bird Crab	Malus sergentii 'Select A'	6' ht.
Emerald Green Arborvitae	Thuja emerald	6' ht.
Capital Pear	Pyrus calleryana 'Capital'	2" cal.
Ivory Silk Tree Lilac	Syringa reticulata 'Ivory Silk'	2" cal.
Autumn Spire Maple	Acer rubrum 'Autumn Spire'	2" cal.
Adirondack Crab	Malus 'Adirondack'	6' ht.
Sargent Tina Crab	Malus sergentii 'Tina'	6' ht.
SHRUBS		
Little Devil Ninebark	Physocarpus opulifolius 'Little Devil'	18" ht.
Little Lime Hydrangea	Hydrangea paniculata 'Little Lime'	18" ht.
Emerald Mound Honeysuckle	Lonicera xylosteum 'Emerald Mound'	18" ht.
Mohican Viburnum	Viburnum lantana 'Mohican'	18" ht.
Tor Birchleaf Spirea	Spiraea betulifolia 'Tor'	18" ht.
Firedance Dogwood	Cornus sericea 'Bailadeline'	18" ht.
Densa Yew	Taxus cuspidata 'Densata'	18" ht.
PERENNIALS		
Autumn Joy Sedum	Sedum spectabile 'Autumn Joy'	1 gal.
Dwarf Fountaingrass	Pennisetum alopecuroides 'Hameln'	1 gal.
Happy Returns Daylily	Hemerocallis 'Happy Returns'	1 gal.
Varieted Hosta	Hosta sieboldiana 'Elegans'	1 gal.



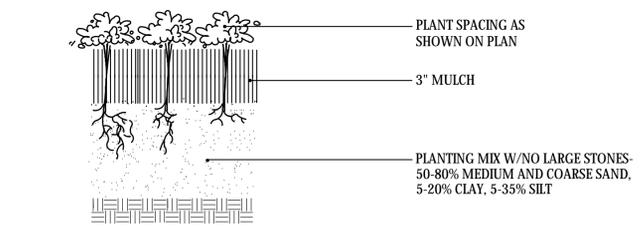
2 TREE PLANTING

NTS



3 SHRUB PLANTING

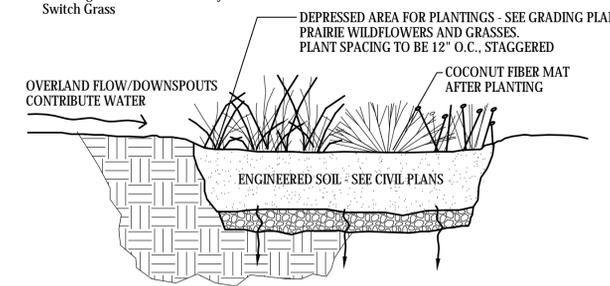
NTS



4 PERENNIAL PLANTING

NTS

- PLANTS: EQUAL MIX OF 2 1/2" PLUGS. RANDOM PLANT BOTTOM OF BASIN AREA AS SHOWN.
- Butterfly Weed
 - White False Indigo
 - Blue Flag Iris
 - Marsh Blazingstar
 - Stiff Goldenrod
 - Fox Sedge
 - Switch Grass
 - Blue False Indigo
 - Purple Coneflower
 - Cardinal Flower
 - Brown Eyed Susan
 - Bottlebrush Sedge
 - Torrey's Rush



5 BIOINFILTRATION AREA PLANTS

NTS

CONTRACTOR:
 MILLER ELECT. CO
 INC
 313 WEST VINE
 STREET
 MILWAUKEE WI
 53212
 414-265-2521
 DEL McCLURE

**ROSS ANCHORED SITE - LAKE GENEVA
 RAB - LITHONIA VE OPTIONS**

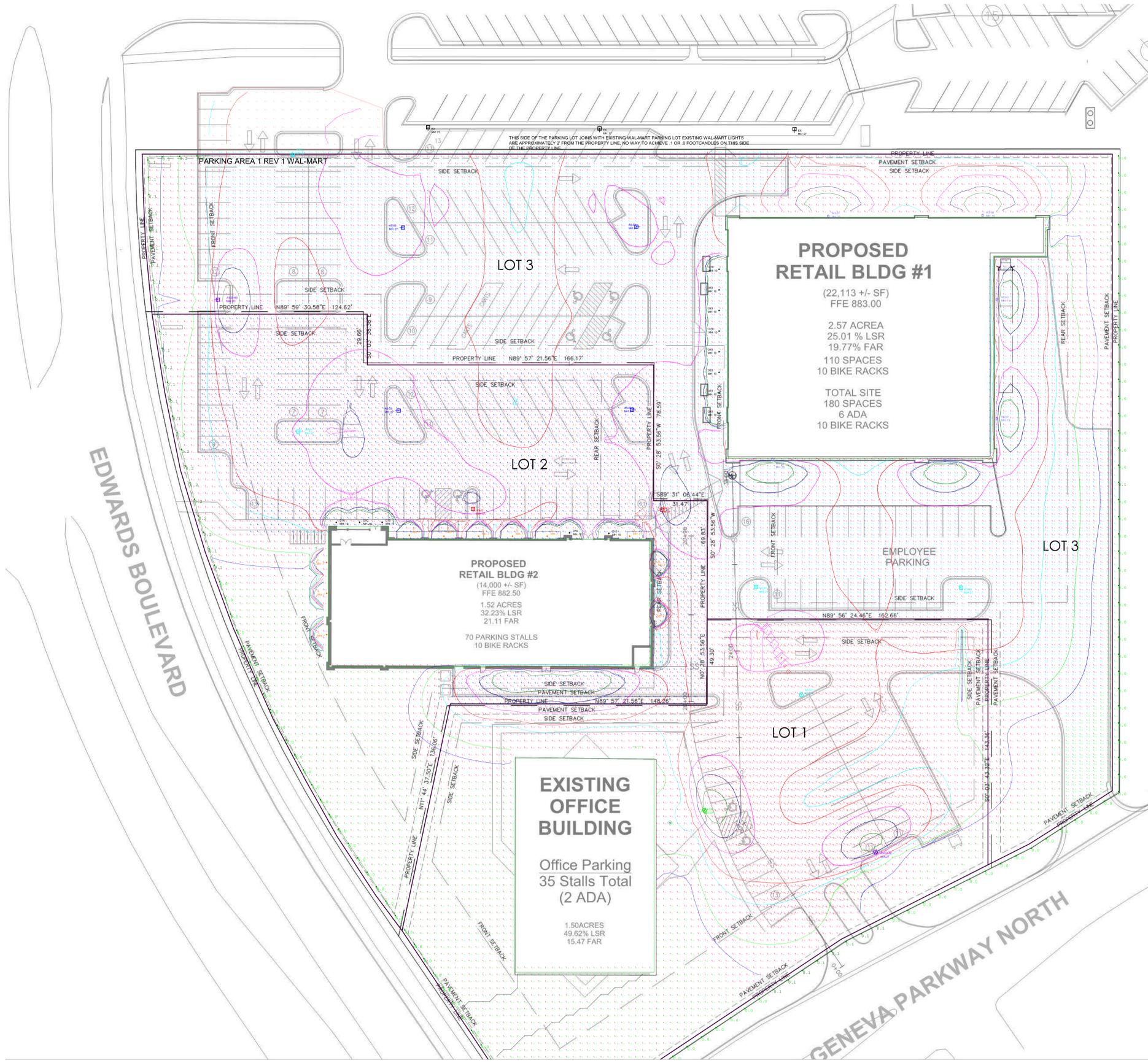
Scale: Feet

Date: 3/28/2018

Drawn By
 Eric Svobda
 Lighting Designer
 Viking Electric Supply
 Phone: 414-773-4451
 Email: eric.svobda@vikingelectric.com

FLOOR PLAN

Revisions:
 1. REVISED LAYOUT
 2. REVISED ZONES



ROSS PARKING
 Scale: 1 inch= 25 Ft.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE REV 1	Illuminance	Fc	1.18	52.9	0.0	N.A.	N.A.
PARKING AREA 1 REV 1 WAL-MART	Illuminance	Fc	1.51	2.4	0.4	3.78	6.00
PARKING AREA LOT 1	Illuminance	Fc	1.39	4.8	0.1	13.90	48.00
PARKING AREA LOT 2	Illuminance	Fc	2.41	54.0	0.2	12.05	270.00
PARKING AREA LOT 3	Illuminance	Fc	1.51	15.0	0.0	N.A.	N.A.
PROPERTY LINE REV 1	Illuminance	Fc	0.03	0.4	0.0	N.A.	N.A.

Tag	Symbol	Qty	Lum. Lumens	Total Watts	LLF	Description
A3-01	[Symbol]	2	7264	131.2	0.980	RAB - LOT3T65 D10
A3-02	[Symbol]	1	12807	110.3	0.980	RAB - LOT3T110 D10
A3-02HS	[Symbol]	2	8959	221.4	0.900	LOT3T110 D10 HS
A5-02	[Symbol]	5	12876	554	0.980	RAB - LOT5T110 D10
A5-03	[Symbol]	4	18324	645.2	0.980	RAB - LOT5T160 D10
W3-01	[Symbol]	8	6855	441.6	0.900	RAB - ALED3T50 - RWLED3T50F - WPLED3T50 (TYPE III)
D10	[Symbol]	13	1677	260	0.900	RAB - ND6R20D-NDLED6RD-60N-W-W
S	[Symbol]	11	2789	381.59	1.000	LITHONIA - LDN6CYL 50/10 LOGAR LS MVOLT EZ10 WM DDB WL
EX	[Symbol]	3	12807	330.9	0.900	EXISTING WAL-MART FIXTURE ESTIMATED 12000 LUMEN

CONTRACTOR:
MILLER ELECT. CO
INC
313 WEST VINE
STREET
MILWAUKEE WI
53212
414-265-2521
DEL McCLURE

ROSS ANCHORED SITE - LAKE GENEVA
RAB - LITHONIA VE OPTIONS

Scale: Feet

Date: 3/28/2018

Drawn By
Eric Svobda
Lighting Designer
Viking Electric Supply
Phone: 414-773-4451
Email: eric.svobda@vikingelectric.com

CUTSHEETS

Revisions:
1. REVISED LAYOUT
2. REVISED ZONES

PS4-11-25D2 **RAB**



Specification grade area lights available in IES Type II distributions. For use for roadway, general parking and other area lighting applications where a larger pool of lighting is required. Best-in-class 5-G vibration rating, 5-Year Warranty.

Color: Bronze Weight: 168.0 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: N/A	Watts: N/A
Constant Current: N/A	Color Temp: N/A
120V: 0.5A	Color Accuracy: N/A
208V: 0.56A	72 CRI
240V: 0.64A	L70 lifespan: 100000
277V: 0.72A	Lumens: 5092
Input Watts: N/A	Input Watts: 6691
Efficiency: N/A	Efficiency: 99%

Technical Specifications

Listings: UL Listing: Suitable for wet locations.

DLCListed: This product is on the Design Lights Consortium (DLC) Qualified Product List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Electrical: Driver: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dimm as low as 10%.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Mounting: Mounts to RAB square poles. Mounts to all square and round poles if optional Universal Pole Adapter is used.

Green Technology: Mercury and UV free. RoHS compliant components. Polymer powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replaces 150W Metal Halide.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

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Image File : TYPE A3-01 POLE - PS4-11-25D2

LOT3T65/D10 **RAB**



Specification grade area lights available in IES Type II distributions. For use for roadway, general parking and other area lighting applications where a larger pool of lighting is required. Best-in-class 5-G vibration rating, 5-Year Warranty.

Color: Bronze Weight: 20.9 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: N/A	Watts: 65W
Constant Current: N/A	Color Temp: 5000K
120V: 0.5A	Color Accuracy: 72 CRI
208V: 0.56A	L70 lifespan: 100000
240V: 0.64A	Lumens: 7264
277V: 0.72A	Input Watts: 66W
Input Watts: 66W	Efficiency: 99%

Technical Specifications

Listings: UL Listing: Suitable for wet locations.

DLCListed: This product is on the Design Lights Consortium (DLC) Qualified Product List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Electrical: Driver: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dimm as low as 10%.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Mounting: Mounts to RAB square poles. Mounts to all square and round poles if optional Universal Pole Adapter is used.

Green Technology: Mercury and UV free. RoHS compliant components. Polymer powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replaces 150W Metal Halide.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

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Image File : type c3-01 - LOT3T65_D10

LOT3T110/D10 **RAB**



Specification grade area lights available in IES Type II distributions. For use for roadway, general parking and other area lighting applications where a larger pool of lighting is required. Best-in-class 5-G vibration rating, 5-Year Warranty.

Color: Bronze Weight: 20.9 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: N/A	Watts: 110W
Constant Current: N/A	Color Temp: 5000K
120V: 0.83A	Color Accuracy: 72 CRI
208V: 0.86A	L70 lifespan: 100000
240V: 0.96A	Lumens: 12607
277V: 1.07A	Input Watts: 110W
Input Watts: 110W	Efficiency: 99%

Technical Specifications

Listings: UL Listing: Suitable for wet locations.

DLCListed: This product is on the Design Lights Consortium (DLC) Qualified Product List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Electrical: Driver: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dimm as low as 10%.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Mounting: Mounts to RAB square poles. Mounts to all square and round poles if optional Universal Pole Adapter is used.

Green Technology: Mercury and UV free. RoHS compliant components. Polymer powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replaces 150W Metal Halide.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

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Image File : type c3-02 - LOT3T110_D10

LOT3T65/D10/HS **RAB**



Specification grade area lights available in IES Type II distributions. For use for roadway, general parking and other area lighting applications where a larger pool of lighting is required. Best-in-class 5-G vibration rating, 5-Year Warranty.

Color: Bronze Weight: 20.9 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: N/A	Watts: 65W
Constant Current: N/A	Color Temp: 5000K
120V: 0.5A	Color Accuracy: 72 CRI
208V: 0.56A	L70 lifespan: 100000
240V: 0.64A	Lumens: 5092
277V: 0.72A	Input Watts: 66W
Input Watts: 66W	Efficiency: 99%

Technical Specifications

Listings: UL Listing: Suitable for wet locations.

DLCListed: This product is on the Design Lights Consortium (DLC) Qualified Product List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Electrical: Driver: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dimm as low as 10%.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Mounting: Mounts to RAB square poles. Mounts to all square and round poles if optional Universal Pole Adapter is used.

Green Technology: Mercury and UV free. RoHS compliant components. Polymer powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replaces 150W Metal Halide.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Need help? Tech help line: (888) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com Copyright © 2018 RAB Lighting Inc. All Rights Reserved. Note: Specifications are subject to change at any time without notice.

Image File : TYPE A3-02HS - LOT3T65_D10_HS

LOT5T110/D10 **RAB**



Specification grade area lights available in IES Type V distributions. Wide and uniform 360 degree pattern ideal for large outdoor areas such as parking lots, corporate parks, and retail settings. Best-in-class 5-G vibration rating, 5-year warranty.

Color: Bronze Weight: 20.9 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: N/A	Watts: 160W
Constant Current: N/A	Color Temp: 4000K
120V: 1.35A	Color Accuracy: 71 CRI
208V: 0.83A	L70 lifespan: 100000
240V: 0.72A	Lumens: 18321
277V: 0.64A	Input Watts: 161W
Input Watts: 161W	Efficiency: 99%

Technical Specifications

Listings: UL Listing: Suitable for wet locations.

DLCListed: This product is on the Design Lights Consortium (DLC) Qualified Product List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Electrical: Driver: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dimm as low as 10%.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Mounting: Mounts to RAB square poles. Mounts to all square and round poles if optional Universal Pole Adapter is used.

Green Technology: Mercury and UV free. RoHS compliant components. Polymer powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replaces up to 250W Metal Halide.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

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Image File : type a5-02 - LOT5T110_D10

LOT5T160/D10 **RAB**



Specification grade area lights available in IES Type V distributions. Wide and uniform 360 degree pattern ideal for large outdoor areas such as parking lots, corporate parks, and retail settings. Best-in-class 5-G vibration rating, 5-year warranty.

Color: Bronze Weight: 20.9 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: N/A	Watts: 160W
Constant Current: N/A	Color Temp: 4000K
120V: 1.35A	Color Accuracy: 71 CRI
208V: 0.83A	L70 lifespan: 100000
240V: 0.72A	Lumens: 18321
277V: 0.64A	Input Watts: 161W
Input Watts: 161W	Efficiency: 99%

Technical Specifications

Listings: UL Listing: Suitable for wet locations.

DLCListed: This product is on the Design Lights Consortium (DLC) Qualified Product List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Electrical: Driver: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dimm as low as 10%.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Mounting: Mounts to RAB square poles. Mounts to all square and round poles if optional Universal Pole Adapter is used.

Green Technology: Mercury and UV free. RoHS compliant components. Polymer powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replaces up to 250W Metal Halide.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

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Image File : type a5-03 - LOT5T160_D10

NDLED6RD-50N-W-W **RAB**



High-performance LED downlight module for use with RAB new construction rough-in. Microprismatic diffusion lens optimizes lumen output and delivers smooth, uniform illumination that enhances any space.

Color: White cone white trim Weight: 2.0 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: N/A	Watts: N/A
See Rough-in*	Color Temp: 4000K
See Rough-in*	Color Accuracy: 80 CRI
See Rough-in*	L70 lifespan: 100000
See Rough-in*	Lumens: 20000
See Rough-in*	Input Watts: 20W (240P)
See Rough-in*	Efficiency: N/A

Technical Specifications

Listings: UL Listing: Suitable for wet locations covered ceiling.

ENERGY STAR® V2.0: This product is ENERGY STAR Version 2.0 Certified.

Optical: Photometrics: Photometrics are based on standard reports. Contact the RAB Lighting Design department for the most up-to-date data.

Trim Component: This component must be ordered with new Construction Rough-In for use in a new construction application.

Housing: Professional-grade, die-cast aluminum construction.

Trim Ring: White powder coated die cast trim ring.

Trim Cap: White round trim cone.

Drop Ceiling Installation: NDLED can be installed in drop ceiling tiles when using optional connector bars and following local construction codes.

Aperture Size: 4" trim module.

Easy Installation: The EZ-Connector makes installation easy.

Junction Box: Integral junction box with wiring capacity for Min 50°C supply conductors 4 in out.

Electrical: Dimming: Dimmable. Requires rough-in with dimming driver.

Dimming Driver: 0 - 10V (at 120-277V), TRIAC and ELV (at 120V only).

Warranty: RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish.

Buy American Act Compliance: RAB uses USA manufacturing. Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to make BAA compliant.

LED Characteristics: Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Green Technology: Mercury and UV free. RoHS compliant components. Polymer powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replaces up to 600W Metal Halide.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

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Image File : TYPE D10 - NDLED6RD-50N-W-W

WPLED3T50 **RAB**



Ultra high output, high efficiency 50 Watt LED workstrip. Patent Pending airflow technology ensures long LED and driver lifespan, 5 Year Warranty.

Color: Bronze Weight: 34.8 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: N/A	Watts: 50W
Constant Current: N/A	Color Temp: 5000K
120V: 0.46A	Color Accuracy: 71 CRI
208V: 0.27A	L70 lifespan: 100000
240V: 0.23A	Lumens: 6885
277V: 0.25A	Input Watts: 50W
Input Watts: 50W	Efficiency: 91%

Technical Specifications

Listings: UL Listing: Suitable for wet locations as a downlight.

DLCListed: This product is on the Design Lights Consortium (DLC) Qualified Product List and is eligible for rebates from DLC Member Utilities.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Electrical: Driver: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Effective Projected Area: EPA = 0.8

Vibration Rating: Industry leading 5G vibration rating per ANSI C136.31.

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dimm as low as 10%.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Mounting: Mounts to RAB square poles. Mounts to all square and round poles if optional Universal Pole Adapter is used.

Green Technology: Mercury and UV free. RoHS compliant components. Polymer powder coat finish formulated without the use of VOC or toxic heavy metals.

5 Yr Limited Warranty: Fixture operation and paint finish are covered for a period of 5 years.

Replacement: Replaces up to 600W Metal Halide.

Surge Protection: L-N 4kV, L-L, L-GND 6kV

LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Need help? Tech help line: (888) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com Copyright © 2018 RAB Lighting Inc. All Rights Reserved. Note: Specifications are subject to change at any time without notice.

Image File : type W3-01 - WPLED3T50

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 16, 2018

Agenda Item:12

Applicant:

Serendipity and Sunsets LLC
P.O. Box 649
Cary, IL 60013

Request:

962 Mariane Terrace
Certified Survey Map CSM Land Division on
Mariane Terrace for Tax Key No. ZSY00016.

Description of Proposed Certified Survey Map (CSM) land division:

The applicant is submitting a Certified Survey Map (CSM) land division for a proposed new land division to combine 2 parcels to construct a Single Family Residence at 962 Mariane Terrace.

As proposed, the newly created lot will be located within the Estate Residential – 1 zoning district, the proposed lot size is .34 acres.

The following agenda item will discuss the Conditional Use Permit request to raze and rebuild a single family residence on the newly created Tax Key No. ZSY00016.

Action by the Plan Commission:

Review the on the proposed Certified Survey Map (CSM) as it complies with the Comprehensive Plan as identified.

Staff Recommendation on the proposed

1. Staff recommends that the Plan Commission recommend *approval* of the Certified Survey Map (CSM): as submitted for the property as Tax Key No. ZSY00016

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP or

SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Serendipity and Sunsets LLC

PO Box 649

Cary, IL 60013

TELEPHONE NUMBER OF CURRENT OWNER: (847) 565-3791

EMAIL ADDRESS: creativelr@gmail.com

PROJECT ADDRESS 962 Mariane Terrace

TAX KEY NUMBER: ZSY 00016

NAME AND ADDRESS OF APPLICANT:

Serendipity and Sunsets LLC

c/o Attorney Richard W. Torhorst

PO Box 1300, Lake Geneva WI 53147

TELEPHONE NUMBER OF APPLICANT: (262) 248-3333

EMAIL ADDRESS: torhorstlaw@genevaonline.com

NAME AND ADDRESS OF SURVEYOR:

Brian M. Carlson

7 Ridgway Court, PO Box 437

Elkhorn, WI 53121

TELEPHONE NUMBER OF SURVEYOR: (262) 723-2098

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

CSM to combine unplatted lands to platted lot in Syverstad Subdivision to allow lot line adjustment.

SUBMITTAL CHECKLIST

- LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.

- SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.

- CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.

- PROVIDE 5 FULL SETS AND 20 - 11" x 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.

- PROVIDE AN ELECTRONIC COPY OF THE FULL APPLICATION PACKET TO THE LAKE GENEVA BUILDING AND ZONING DEPARTMENT AT BZADMIN@CITYOFLAKEGENEVA.COM OR BZCLERK@CITYOFLAKEGENEVA.COM

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

March 27, 2018

DATE



SIGNATURE OF APPLICANT

FARRIS, HANSEN & ASSOC. INC.

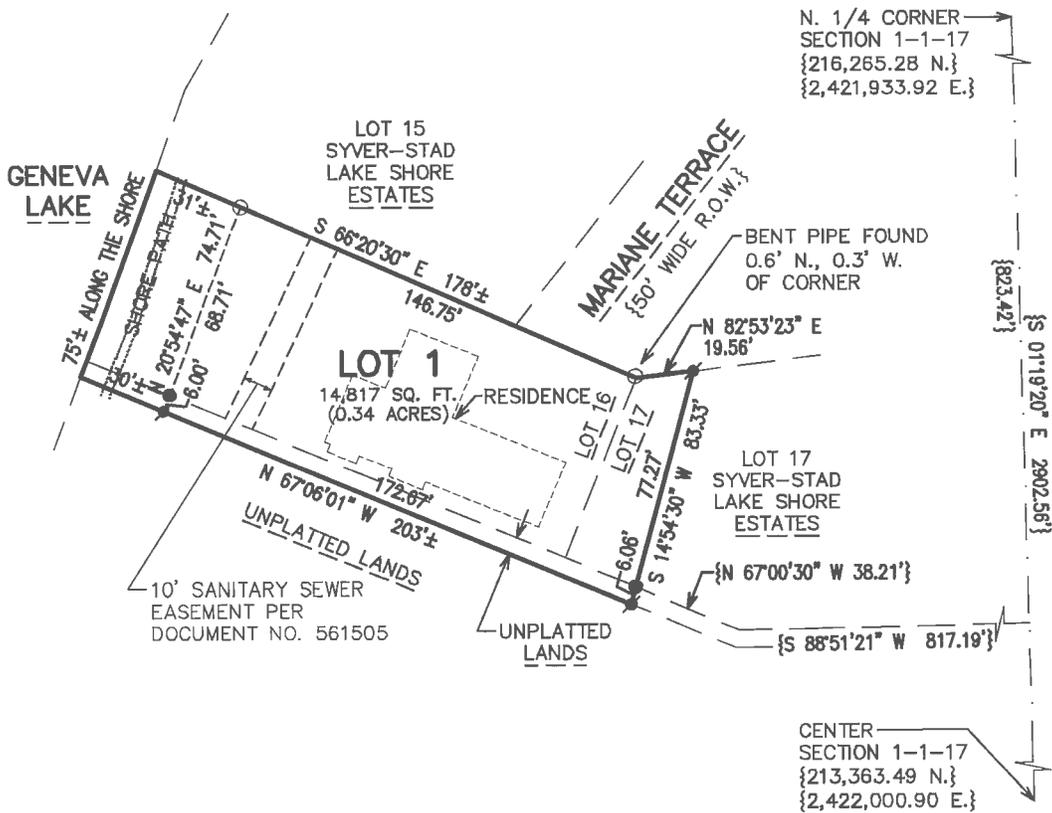
CERTIFIED SURVEY MAP NO. _____

7 RIDGWAY COURT- P.O. BOX 437
 ELKHORN, WISCONSIN 53121
 PHONE (262) 723-2098
 FAX (262) 723-5886

OWNER: SERENDIPITY & SUNSETS LLC
 P.O. BOX 649
 CARY, IL 60013

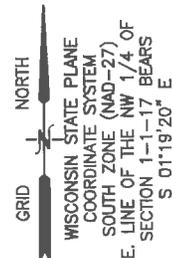
ZONING: ER-1

LOT 16 & PART OF LOT 17 OF SYVER-STAD LAKE SHORE ESTATES AND UNPLATTED LANDS, ALL LOCATED IN PART OF THE NE 1/4 OF THE NW 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



LEGEND

- = FOUND IRON PIPE STAKE, 1 3/8" O.D.
- = FOUND IRON REBAR STAKE, 3/4" DIA.
- ✦ = SET IRON REBAR STAKE, 3/4" x 18" x 1.13 lbs./ft.
- {XXX} = RECORDED AS



THIS INSTRUMENT DRAFTED
 BY BRIAN M. CARLSON
 PROJECT: 9833.18
 DATE: 03/26/2018
 SHEET 1 OF 3 SHEETS



LOT 16 & PART OF LOT 17 OF SYVER-STAD LAKE SHORE ESTATES AND UNPLATTED LANDS, ALL LOCATED IN PART OF THE NE 1/4 OF THE NW 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

CERTIFIED SURVEY MAP NO. _____

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT AT THE DIRECTION OF SERENDIPITY & SUNSETS LLC, OWNER, AND IN FULL COMPLIANCE WITH THE PROVISIONS OF SECTION 236.34 OF WISCONSIN STATUTES AND THE LAND DIVISION ORDINANCE FOR THE CITY OF LAKE GENEVA, I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING DESCRIBED LANDS AND THAT THIS MAP IS A TRUE REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND OF THE DIVISION THEREOF TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF:
PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST; THENCE ALONG THE EASTERLY BOUNDARY OF THE NORTHWEST 1/4 OF SAID SECTION 1, S 01DEG 19MIN 20SEC E, 823.42 FEET; THENCE S 88DEG 51MIN 21SEC W, 817.19 FEET; THENCE N 67DEG 00MIN 30SEC W, 38.21 FEET TO AN IRON REBAR STAKE FOUND MARKING A POINT ALONG THE SOUTHERLY BOUNDARY OF LOT 17 OF SYVER-STAD LAKE SHORE ESTATES AND THE POINT OF BEGINNING; THENCE S 14DEG 54MIN 30SEC W, 6.06 FEET TO A POINT ALONG A LINE PARALLEL TO AND OFFSET 6.00 FEET FROM THE SOUTHERLY BOUNDARIES OF LOT 17 AND LOT 16 OF SYVER-STAD LAKE SHORE ESTATES; THENCE ALONG THAT LINE PARALLEL TO AND OFFSET 6.00 FEET FROM THE SOUTHERLY BOUNDARIES OF LOT 17 AND LOT 16 OF SYVER-STAD LAKE SHORE ESTATES, N 67DEG 06MIN 01SEC W, 203 FEET, MORE OR LESS, TO THE EASTERLY SHORE LINE OF GENEVA LAKE; THENCE NORTHEASTERLY, 75 FEET, MORE OR LESS, ALONG SAID SHORE LINE TO THE NORTHWEST CORNER OF LOT 16 OF SYVER-STAD LAKE SHORE ESTATES; THENCE ALONG THE NORTHERLY BOUNDARY OF SAID LOT 16, S 66DEG 20MIN 30SEC E, 178 FEET, MORE OR LESS, TO THE NORTHWEST CORNER OF LOT 17 OF SYVER-STAD LAKE SHORE ESTATES; THENCE ALONG THE NORTHERLY BOUNDARY OF SAID LOT 17, N 82DEG 53MIN 23SEC E, 19.56 FEET; THENCE S 14DEG 54MIN 30SEC W, 77.27 FEET TO THE POINT OF BEGINNING. CONTAINING 14,817 SQUARE FEET (0.34 ACRES) OF LAND, MORE OR LESS.

DATED: MARCH 26 , 2018

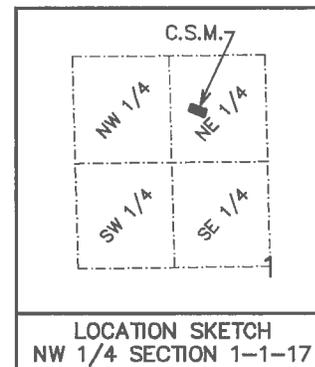
BRIAN M. CARLSON, PLS 2039

CITY OF LAKE GENEVA APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE CITY OF LAKE GENEVA, WISCONSIN ON THIS _____ DAY OF _____, 2018.

AUTHORIZED SIGNATURE FOR THE CITY OF LAKE GENEVA

THIS INSTRUMENT DRAFTED
BY BRIAN M. CARLSON
PROJECT: 9833.18
DATE: 03/26/2018
SHEET 2 OF 3 SHEETS



LOT 16 & PART OF LOT 17 OF SYVER-STAD LAKE
SHORE ESTATES AND UNPLATTED LANDS, ALL LOCATED
IN PART OF THE NE 1/4 OF THE NW 1/4 OF SECTION
1, TOWN 1 NORTH, RANGE 17 EAST, CITY OF LAKE
GENEVA, WALWORTH COUNTY, WISCONSIN

CERTIFIED SURVEY MAP NO. _____

CONSENT OF OWNER

SERENDIPITY & SUNSETS LLC, A LIMITED LIABILITY COMPANY DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF DELAWARE, OWNER OF THE ABOVE DESCRIBED LANDS, DOES HEREBY CERTIFY THAT SAID LIMITED LIABILITY COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, MAPPED, AND DEDICATED AS REPRESENTED ON THIS MAP. THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE CITY OF LAKE GENEVA FOR APPROVAL.

IN WITNESS WHEREOF, SAID SERENDIPITY & SUNSETS LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY
KIETH F. ROZOLIS AND LINDA J. ROZOLIS, IT'S MEMBERS AT LAKE GENEVA, WISCONSIN THIS _____ DAY OF
_____, 2018.

KIETH F. ROZOLIS

LINDA J. ROZOLIS

STATE OF WISCONSIN)
COUNTY OF WALWORTH) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2018, KIETH F. ROZOLIS AND LINDA J. ROZOLIS, MEMBERS OF THE ABOVE NAMED LIMITED LIABILITY COMPANY, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND TO ME KNOWN TO BE SUCH MEMBERS OF SAID LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS THE DEED OF SAID LIMITED LIABILITY COMPANY BY ITS AUTHORITY.

RICHARD W. TORHORST

MY COMMISSION IS PERMANENT

NOTARY PUBLIC, STATE OF WISCONSIN

CONDITIONAL USE RESOLUTION

18-R26

A resolution authorizing the issuance of a Conditional Use Permit to Serendipity and Sunsets LLC., P.O. Box 649, Cary IL 60013, to allow for a use of SR-4 zoning setbacks in the ER-1 zoning district to construct a new Single Family Residence.

WHEREAS, the City Plan Commission has considered the application of Serendipity and Sunsets LLC. to construct a new Single Family Residence at 962 Mariane Terrace Tax Key No. ZSY00016;

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on April 5, 2018.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to Serendipity and Sunsets LLC., .O. Box 649, Cary IL 60013, to allow for a new Single Family Residence located in the (ER- 1) zoning district, for Tax Key No. ZSY00016 as Recommended by the Plan Commission on April 16, 2018 to include:

A. Affirmative findings of fact and note staff recommendations:

1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
7. Note that the proposal is a fully consistent with the setback requirements of the SR-4 zoning district, and results in the same setbacks on all four sides of the building over the current home.
8. The additional condition that the location of all approved building setbacks be verified by an on-site inspection by the Building Administrator prior to pouring building foundation walls.

Granted by action of the Common Council of the City of Lake Geneva this 23th day of April 2018.

Tom Hartz, Mayor

ATTEST:

Lana Kropf, City Clerk

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 16, 2018

Agenda Item: 13

Applicant:
Serendipity and Sunsets LLC.
P.O. Box 649
Cary, IL 60013

Request:
962 Mariane Terrace
Conditional Use Permit
SR-4 Setbacks in ER-1 Zoning District
Tax Key No. ZSY00016

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) for a new residence for the Serendipity and Sunsets LLC. located at 962 Mariane Terrace. The project would begin with the Razing of the existing residence. The applicants have carefully designed the proposed residence to maintain building setbacks and to maintain impervious surface coverage on the property.

The second story elevation will meet the maximum allowances for building elevations this proposed residence as designed will be a maximum of 33’4”. This compares to a maximum permitted height of 35 feet in both the SR-4 and ER-1 zoning districts Tax Key No. ZSY00016.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Proposed Site Plans:(Sheet S-1) (dated 03/02/2018 respectively)

The Site Plan demonstrates that the proposed home maintains all existing setback distances provided by the existing home. The proposed home provides the following setback measurements:

	<u>Required in SR-4</u>	<u>Existing Home</u>	<u>Proposed Home</u>
Min Street Yard Setback	25 feet	12.6 feet to front of home	same 12.6 feet
Minside Setback	no closer than now	12.4 feet to nearest point	same 12.4feet

Southeast Elevation Plan: Sheet A-4:

The upper elevation provided on Sheet A-7 depicts the proposed building’s tallest height. The Zoning Ordinance measures building height from the lowest exposed grade to the mid-point height of the tallest roof plane. This elevation depicts a maximum height of about 33’4” feet, which complies with the height limit of 35 feet for both the ER-1 and the SR-4 zoning districts.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed conditional use includes all existing setbacks provided on all four sides of the proposed home. The proposed maximum height of the home, at about 35 feet, is lower than the permitted height of the zoning district.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

- 1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
- 2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above, noting that the proposal is a fully consistent with the setback requirements of the SR-4 zoning district, and results in the same setbacks on all four sides of the building over the current home.
- 3. Finally, staff recommends that *the following additional condition of approval* be attached to the approval:
 - a. That the location of all approved building setbacks be verified by an on-site inspection by the Building Administrator prior to pouring building foundation walls.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

962 Mariane Ter, Lake Geneva, WI 53147; Parcel No.: ZSY 00016

Full legal description attached

NAME AND ADDRESS OF CURRENT OWNER:

Serendipity & Sunsets, LLC, PO Box 649, Cary, IL 60013

TELEPHONE NUMBER OF CURRENT OWNER: (847) 516-0740

NAME AND ADDRESS OF APPLICANT:

Keith & Linda Rosolis, 22 Saint Cronan Ct., Cary, IL 60013

TELEPHONE NUMBER OF APPLICANT: (847) 516-0740

PROPOSED CONDITIONAL USE:

Home rebuild in ER-1 Zoning District.

Lot: 13,604 SF (Req'd: 40,000 SF); Landscape Ratio: 52.1% (Req'd: 60%)

Side Setback: 12', 6'6", 20'6" (Req'd: 15' each)

ZONING DISTRICT IN WHICH LAND IS LOCATED: ER-1

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Lowell Custom Homes, 401 Geneva National Ave S, Lake Geneva, WI 53147

Todd Cauffman, Architect

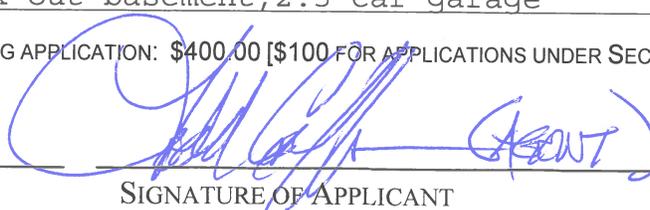
SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Teardown of old home; New construction of 2 story home, approx. 8,745 SF,
4 bedrooms, 6 baths, wlk-out basement, 2.5 car garage

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

1/26/2018

DATE


SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Lowell Custom Homes, as applicant/petitioner for:

Name: Keith & Linda Rosolis

Address: 22 St. Cronan Ct., Cary, IL 60013

Phone: (847) 516-0740

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 26th day of January, 2018.

Todd Cauffman (Agent)
Printed name of Applicant/Petitioner

Todd Cauffman (AGENT)
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I.RECORDATION OF ADMINISTRATIVE PROCEDURES

___ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

___ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

___ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II.APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ *by:* _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ *by:* _____

↓

___ (a) **A map of the proposed conditional use:**

___ Showing all lands for which the conditional use is proposed;

___ Showing all other lands within 300 feet of the boundaries of the subject property;

___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

___ Map and all its parts are clearly reproducible with a photocopier;

___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft:

___ All lot dimensions of the subject property provided;

___ Graphic scale and north arrow provided.

___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed structure conforms to SR-4 Zoning under the Lake Geneva Zoning Ordinance, with Lot: 13,604 SF (Req'd: 9,000 SF); Landscape Ratio: 52.1% (Req'd: 50%); Side Setbacks: 12', 6'6" and 20'6" (Req'd: 6' each)

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed structure conforms to SR-4 Zoning under the Lake Geneva Zoning Ordinance.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

The proposed structure replaces an existing structure, within 5.5' of existing side setback. No change in lot size, street or lakeside setbacks. No change to public property or rights-of-way.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Lot size is currently non-conforming for ER-1 Zoning District. Lot: 13,604 SF (Req'd for ER-1: 40,000 SF). To remain within policies & standards of the City of Lake Geneva Comprehensive Plan, proposed structure conforms to SR-4 Zoning Lot: 13,604 SF (Req'd for SR-4: 9,000 SF); Side Setbacks: 12', 6'6" and 20'6" (Req'd for SR-4: 6' each).

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The improvements, facilities, utilities and services provided by public agencies serving the subject property will remain unchanged. The subject property is a single-family residence replacing an existing single-family residence with a similar footprint.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

The proposed structure is an improvement on the current structure and thus improves the look of the neighborhood. There are no known adverse impacts of the proposed conditional use.

IV.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I.RECORDATION OF ADMINISTRATIVE PROCEDURES

___ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

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___ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

___ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II.APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ *by:* _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ *by:* _____

↓

___ (a) **A written description of the intended use describing in reasonable detail the:**

___ Existing zoning district(s) (and proposed zoning district(s) if different);

___ Land use plan map designation(s);

___ Current land uses present on the subject property;

___ Proposed land uses for the subject property (per Section 98-206);

___ Projected number of residents, employees, and daily customers;

___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;

___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- ___ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- ___ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- ___ Exterior building and fencing materials (Sections 98-718 and 98-720);
- ___ Possible future expansion and related implications for points above;
- ___ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

___ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

___ (c) A **Property Site Plan drawing which includes:**

- ___ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- ___ The date of the original plan and the latest date of revision to the plan;
- ___ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- ___ A reduction of the drawing at 11" x 17";
- ___ A legal description of the subject property;
- ___ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- ___ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- ___ All required building setback lines;
- ___ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- ___ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- ___ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- ___ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- ___ The location of all outdoor storage areas and the design of all screening devices;
- ___ The location, type, height, size and lighting of all signage on the subject property;
- ___ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- ___ The location and type of any permanently protected green space areas;
- ___ The location of existing and proposed drainage facilities;
- ___ In the legend, data for the subject property on:
 - ___ Lot Area;

- ___ Floor Area;
- ___ Floor Area Ratio (b/a);
- ___ Impervious Surface Area;
- ___ Impervious Surface Ratio (d/a);
- ___ Building Height.

- ___ (d) **A Detailed Landscaping Plan of the subject property:**
 - ___ Scale same as main plan (> or equal to 1" equals 100')
 - ___ Map reduction at 11" x 17"
 - ___ Showing the location of all required bufferyard and landscaping areas
 - ___ Showing existing and proposed Landscape Point fencing
 - ___ Showing berm options for meeting said requirements
 - ___ Demonstrating complete compliance with the requirements of Article VI
 - ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

- ___ (e) **A Grading and Erosion Control Plan:**
 - ___ Same scale as the main plan (> or equal to 1" equals 100')
 - ___ Map reduction at 11" x 17"
 - ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

- ___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
 - ___ Showing finished exterior treatment;
 - ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
 - ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

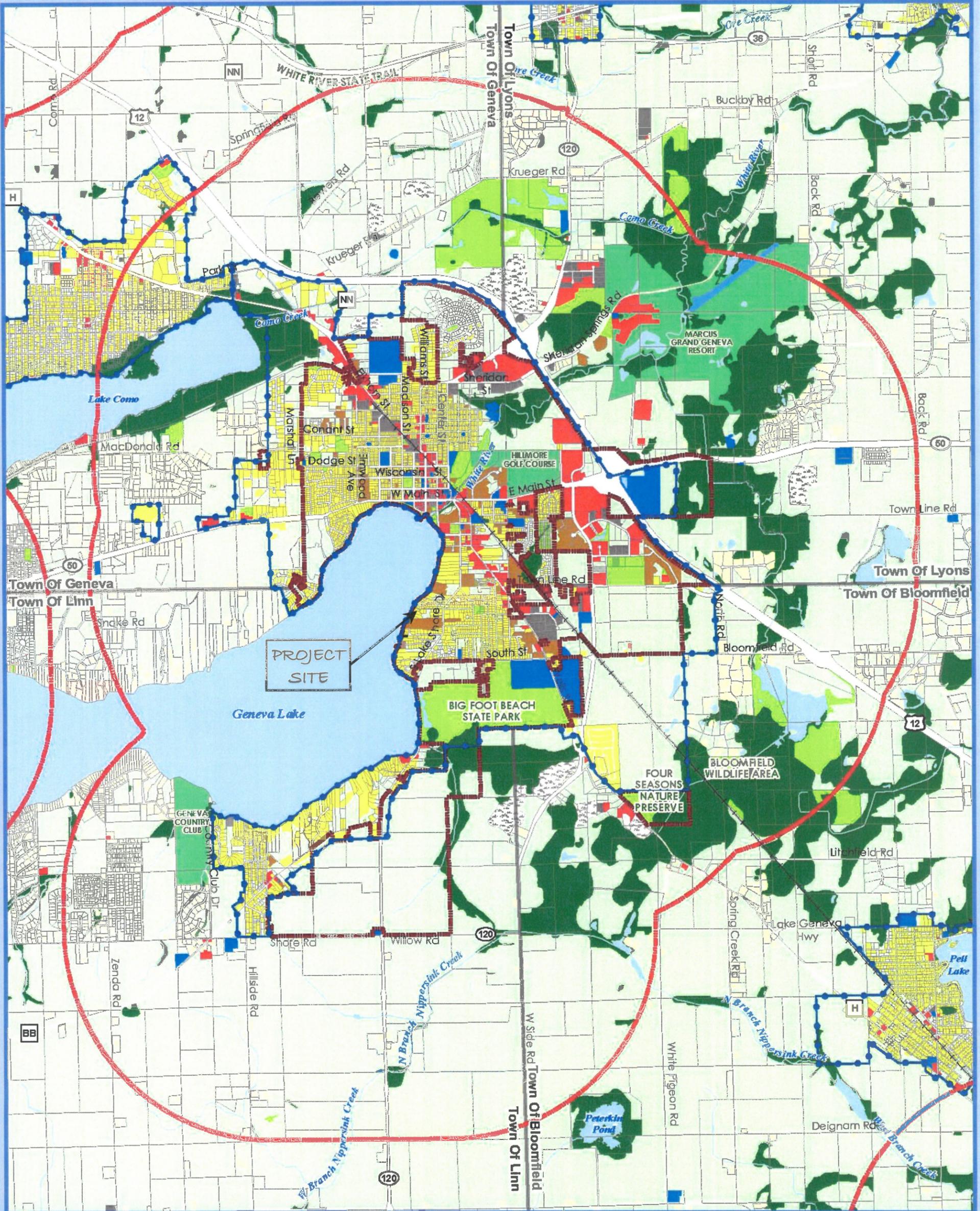
NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

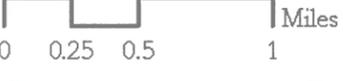
- ___ Receipt of 5 full scale copies in blue line or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

- ___ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____



Map 4: Existing Land Use - City of Lake Geneva Comprehensive Plan

<ul style="list-style-type: none">  City of Lake Geneva  Township Boundary  Urban Service Area Boundary  Extraterritorial Jurisdiction Boundary  Parcels  Surface Water  Abandoned Railroads 	<p>Land Use Categories</p> <ul style="list-style-type: none">  Agricultural, Open Lands, & Vacant  Single Family Residential (Unsewered)  Single Family Residential (Sewered)  Two-Family/Townhouse Residential  Multi-Family Residential  Commercial  Government & Institutional  Airport 	<ul style="list-style-type: none">  Private Recreation Facilities  Public Park & Open Space  Industrial  Extraction  Wetland  Right of Way
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Miles



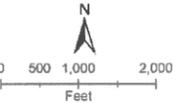


VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change

Date: December 14, 2009
Source: SEWRPC, WIDNR,
Walworth County LIO, V&A

City of Lake Geneva Zoning Map

December 10, 2008



CRISPPELL-SNYDER, INC.
PROFESSIONAL CONSULTANTS

PROJECT SITE
ER-1 ZONING

- RH** Rural Holding
Areas for agricultural uses; agricultural support businesses; schools, parks, churches or very low-density single-family residential at a density of less than one dwelling unit per 35 acres
- CR-5** **Countrywide Residential - 5AC**
Areas for very low density single-family development at maximum densities of one dwelling unit for every five gross acres, and support institutional uses such as schools, parks, and churches.
- ER-1** **Entire Residential-1**
Areas for low density single-family development at maximum densities of one dwelling unit per acre, and support institutional uses such as schools, parks, and churches.
- SR-3** **Single-Family Residential-3**
Areas for moderate density single-family development at maximum densities of three dwelling units per acre, and support institutional uses such as schools, parks, and churches.
- SR-4** **Single-Family Residential-4**
Areas for moderate density single-family development at maximum densities of four dwelling units per acre, and support institutional uses such as schools, parks, and churches.
- PD** **Planned Residential-4**
Areas approved for planned development zoning unique to the subject property
- TR-6** **Two-Family Residential-6**
Areas for single-family detached and two-family residential development at densities up to six dwelling units per acre, and support institutional uses such as schools, parks, and churches.
- MR-8** **Two-Family Residential-8**
Areas for small single-family attached and two-family residential development at densities up to eight dwelling units per acre and support institutional uses.
- C-2** **Resource Conservation**
Areas for filling, floodwater overflow and storage; pedestrian trails; preservation of scenic, historic and scientific areas; soil and water conservation; stream bank and shoreline protection; water retention ponds and wetland areas.
- NO** **Neighborhood Office**
Areas for high-quality office and office-support commercial uses in older, transitioning residential areas of the community. Residential qualities set an attractive, high quality character.
- PO** **Planned Office**
Areas for office and office-support commercial and service uses. Generous landscaping and limited signage set an attractive, high quality character.
- NB** **Neighborhood Business**
Areas for small scale, neighborhood-oriented service and retail uses, which shall not spread into adjacent residential areas. Generous landscaping and limited signage.
- PB** **Planned Business**
Newly developing areas for a full complement of commercial, office, and institutional uses. (Generous landscaping and limited signage).
- GB** **General Business**
Existing areas for a full complement of commercial, office, and institutional uses. (moderate amounts of landscaping and signage).
- CB** **Central Business**
Areas for a full complement of downtown and high density neighborhood character commercial, office, and institutional uses. (Restriction-oriented landscaping and signage).
- PI** **Planned Industrial**
Areas for a full complement of light office, manufacturing, assembly and storage uses. Generous landscaping and limited signage set an attractive, high-quality character.
- GI** **General Industrial**
Areas for a full complement of light and heavy industrial land uses, and carefully controlled outdoor storage uses. Moderate amounts of landscaping and signage set an attractive character.
- HI** **Heavy Industrial**
Areas for primarily outdoor and/or heavy industrial production, storage, extraction and disposal uses.
- PBP** **Planned Business Park**
Areas approved for planned development zoning unique to the subject property.

- Primary Environmental Corridor
- City Boundary
- Woodlands Overlay
- Downtown Design Review
- Lakeshore Overlay
- Drainage Veb
- Slopes (12% or greater)
- Shorelines, Ponds and Streams



Geneva Lake

ZSY 00010

ZSY 00011

ZSY 00012

ZSY 00013

ZSY 00014

ZSY 00015

23.0' SETBACK

1.5' SETBACK

17.0' SETBACK

16.8' SETBACK

8.1' SETBACK

8.1' SETBACK

Mariane Terrace

Pine Tree Lane



Proposed Residence

Project 9833.18

**FARRIS, HANSEN
& ASSOCIATES**



7 RIDGWAY COURT - P.O. BOX 437
ELKHORN, WI 53121
(262) 723-2098
FAX: (262) 723-5886

Note: Orthophotography (2015 flight) provided by South Eastern Wisconsin Regional Planning Commission. For reference only.

Parcel boundaries provided by Walworth County Information Technology Department, Land Information Division. For reference only.



Todd Cauffman

From: Warren E Hansen <office@farrishansen.com>
Sent: Wednesday, February 28, 2018 11:19 AM
To: Scott Lowell
Cc: Todd Cauffman
Subject: Rozolis Residence - 962 Mariane Terr, Lake Geneva - F/H Project No. 9833.18
Attachments: 20180228113355327.pdf

Scott,

At your request, we have further researched and documented existing building setbacks along Mariane Terrace for the following tax parcels. These were done for the purpose of averaging and included all lots fronting the lake.

Tax Parcel:

ZSY 00015 - 8.1 feet
ZSY 00014 - 8.1 feet
ZSY 00013 - 16.8 feet
ZSY 00012 - 17.0 feet
ZSY 00011 - 1.5 feet
ZSY 00010 - 23.0 feet

Total 6 – Lots = $74.5/6 = 12.4$ Average Setback

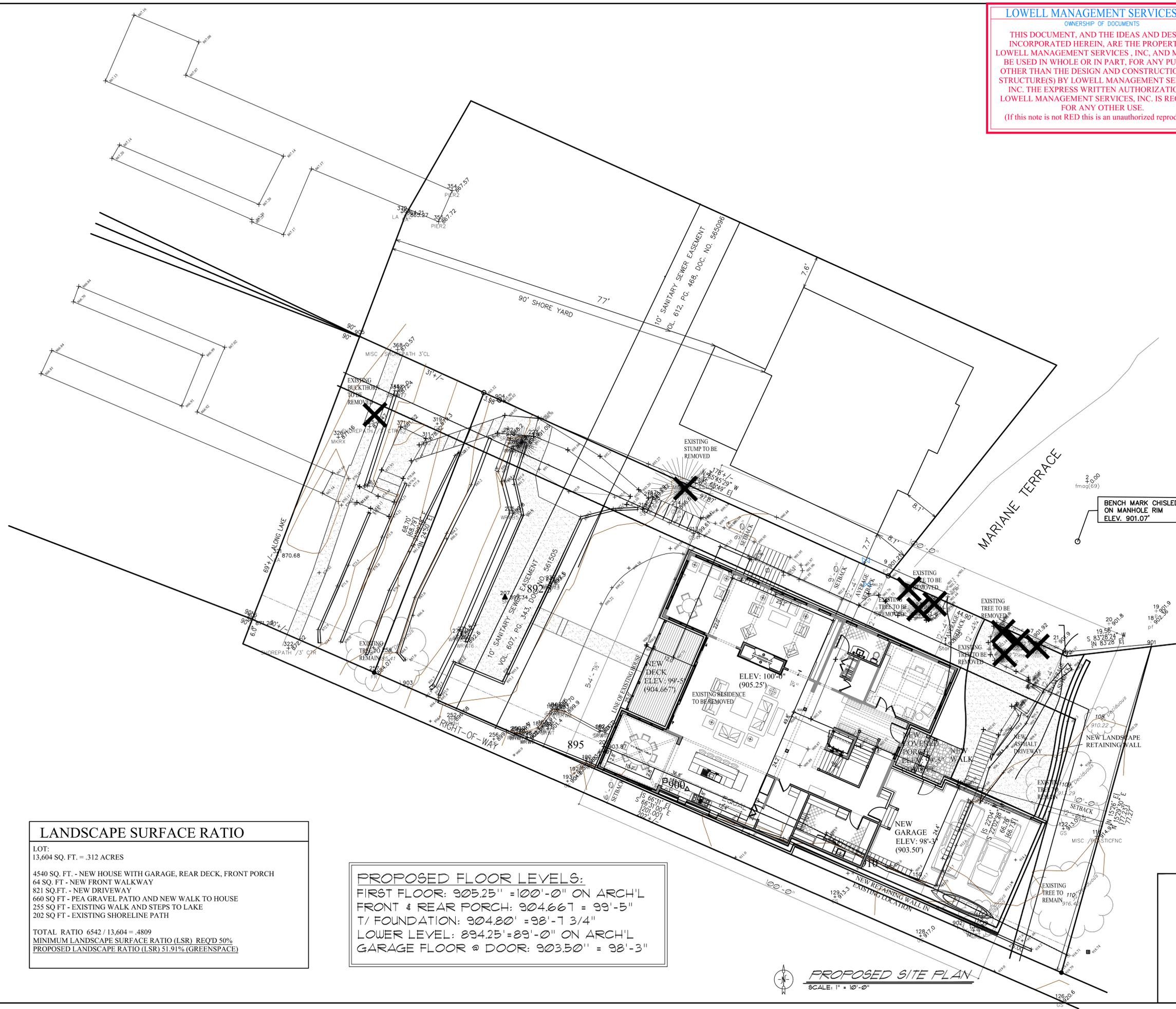
If you have further questions regarding this matter, please call. Warren is out of the office until Friday 3/2/18 morning. Is this what you need?

Cindy
For Warren

Warren E. Hansen, P.E.
Farris, Hansen & Associates, Inc.
P.O. Box 437
Elkhorn, WI 53121
Phone (262)723-2098
Fax (262)723-5886
office@farrishansen.com
Engineers, Architects, and Surveyors
Hours 8 – 4:30

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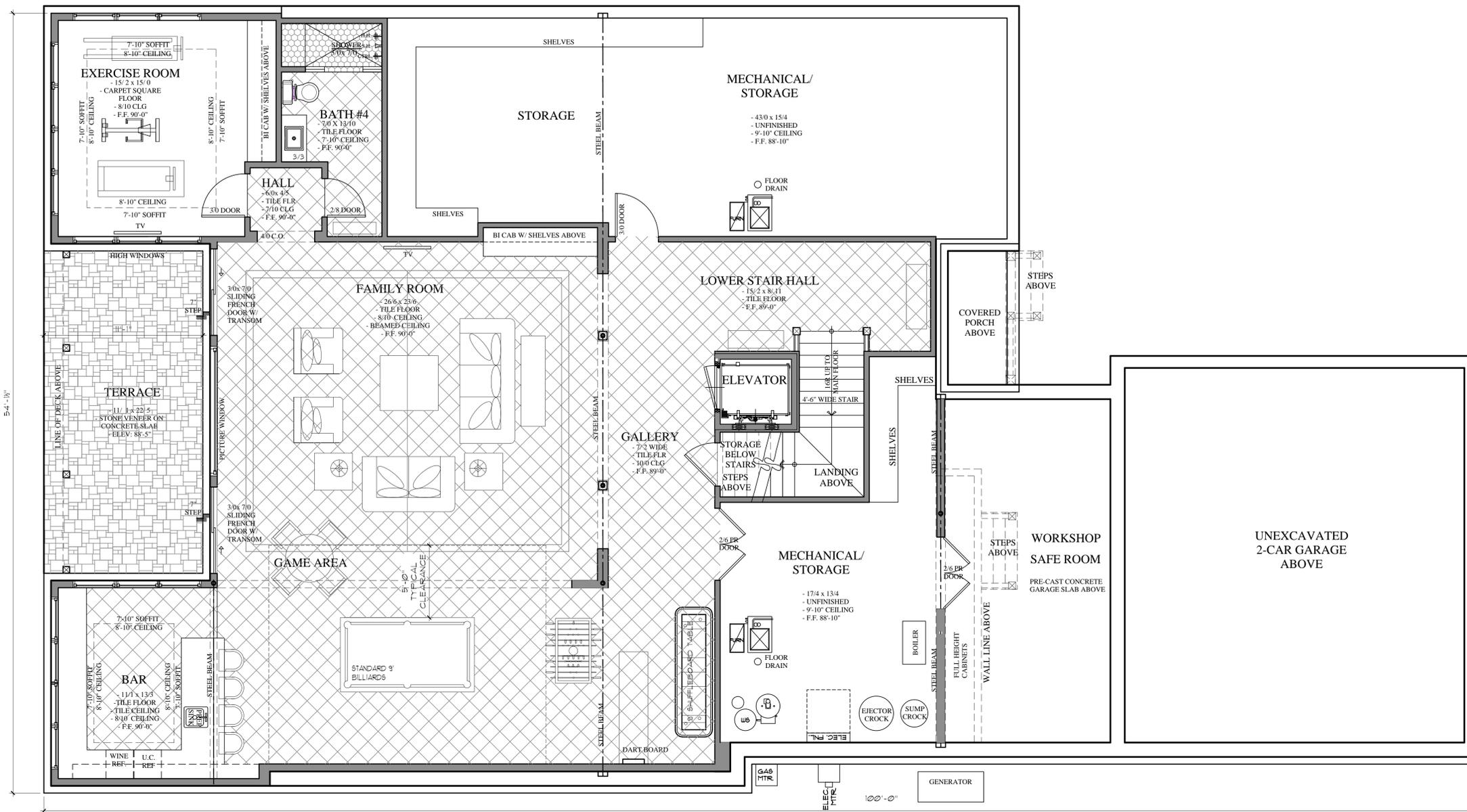
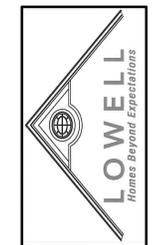
LANDSCAPE SURFACE RATIO
 LOT:
 13,604 SQ. FT. = .312 ACRES
 4540 SQ. FT. - NEW HOUSE WITH GARAGE, REAR DECK, FRONT PORCH
 64 SQ. FT. - NEW FRONT WALKWAY
 821 SQ. FT. - NEW DRIVEWAY
 660 SQ. FT. - PEA GRAVEL PATIO AND NEW WALK TO HOUSE
 255 SQ. FT. - EXISTING WALK AND STEPS TO LAKE
 202 SQ. FT. - EXISTING SHORELINE PATH
 TOTAL RATIO 6542 / 13,604 = .4809
 MINIMUM LANDSCAPE SURFACE RATIO (LSR) REQ'D 50%
 PROPOSED LANDSCAPE RATIO (LSR) 51.91% (GREENSPACE)

PROPOSED FLOOR LEVELS:
 FIRST FLOOR: 905.25' = 100'-0" ON ARCH'L
 FRONT & REAR PORCH: 904.667' = 99'-5"
 T/ FOUNDATION: 904.80' = 98'-7 3/4"
 LOWER LEVEL: 894.25' = 89'-0" ON ARCH'L
 GARAGE FLOOR @ DOOR: 903.50" = 98'-3"

BENCH MARK CHISLED "X"
 ON MANHOLE RIM
 ELEV. 901.07'

the ROZOLIS RESIDENCE
 962 Mariane Terrace
 LAKE GENEVA, WI 53147

PROJECT NUMBER
DATE 03-02-18
G-1

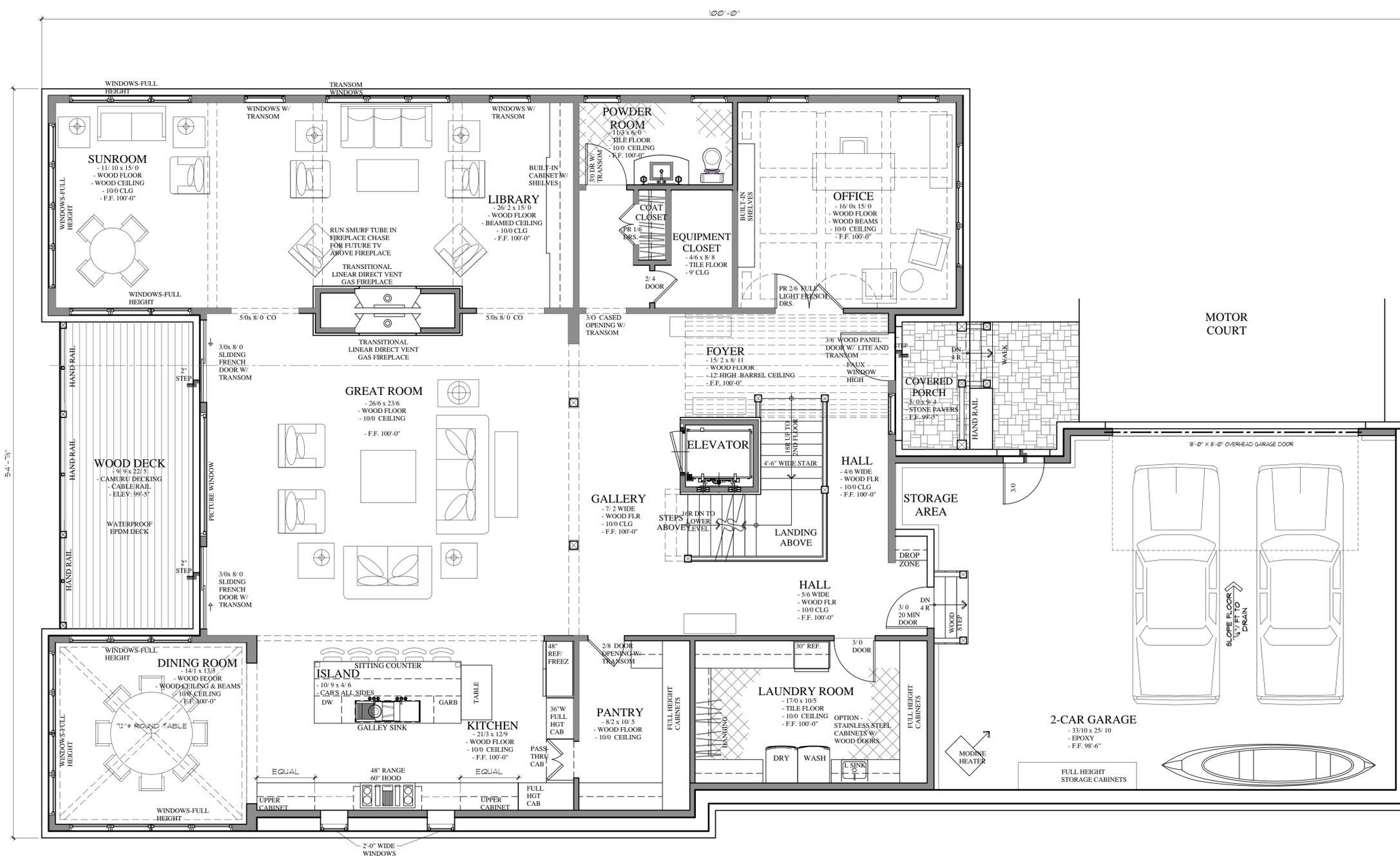
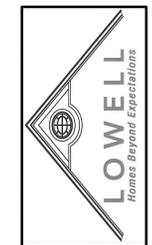


LOWER LEVEL PLAN
 SCALE: 1/4" = 1'-0" 2,089 SQ. FT. FINISHED

SQUARE FOOTAGE TABULATION	
LOWER LEVEL	2,089 SF
FIRST FLOOR:	3,123 SF
SECOND FLOOR:	3,460 SF
TOTAL:	8,672 SF

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A-2	

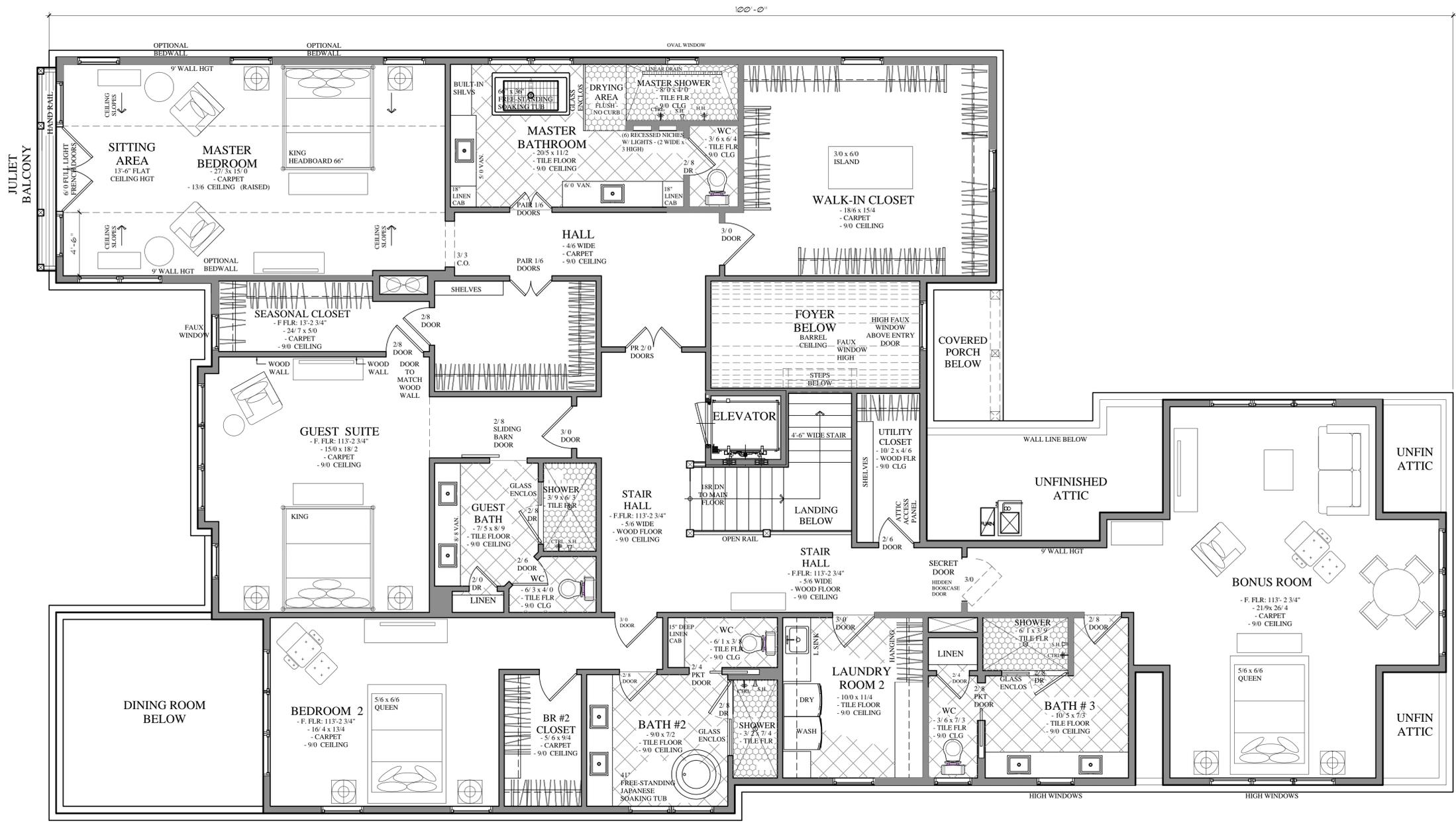
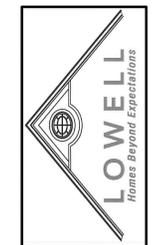


FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0" 3,123 SQ. FT. FINISHED

SQUARE FOOTAGE TABULATION	
LOWER LEVEL:	2,089 SF
FIRST FLOOR:	3,123 SF
SECOND FLOOR:	3,460 SF
TOTAL:	8,672 SF

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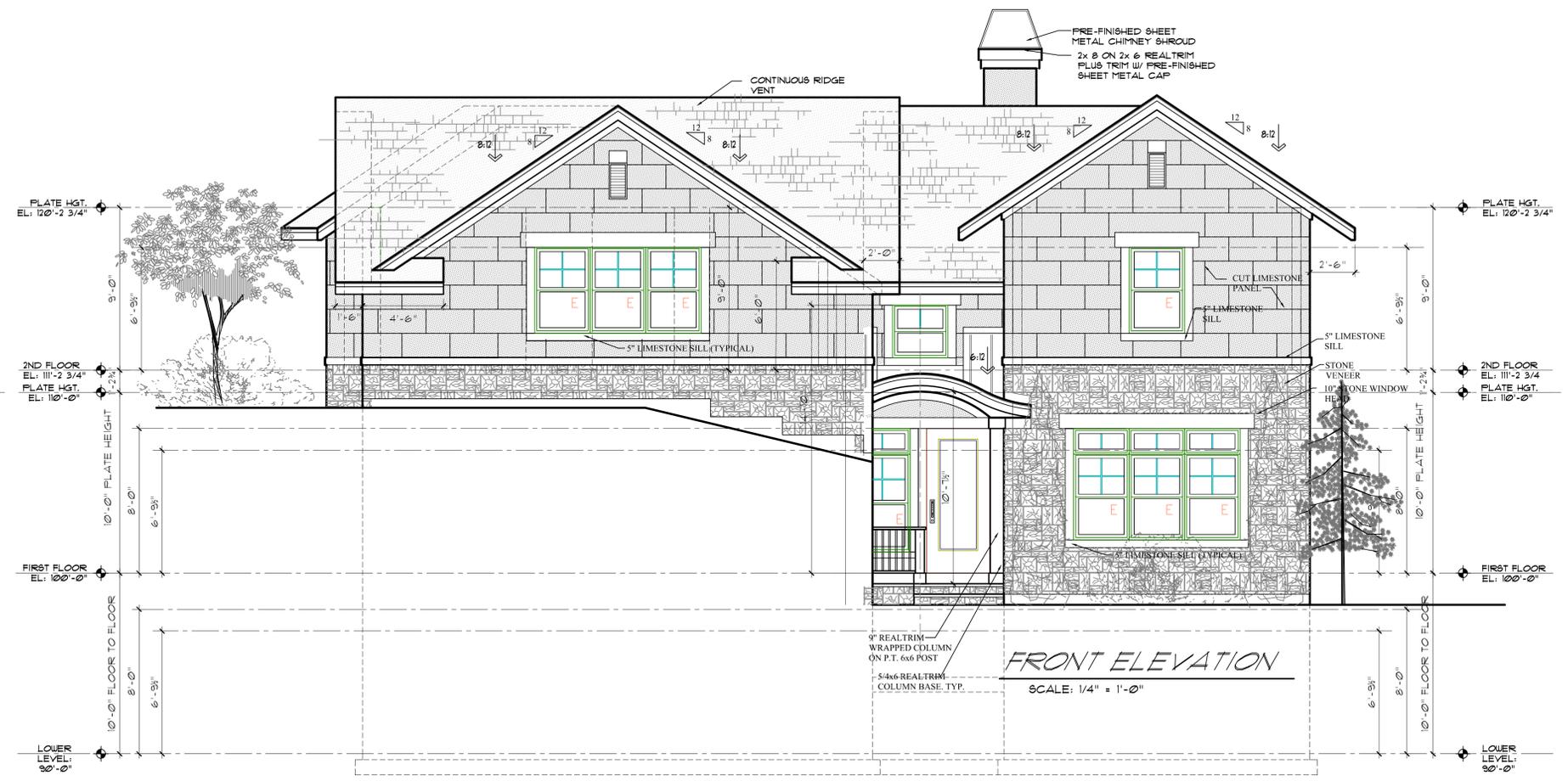
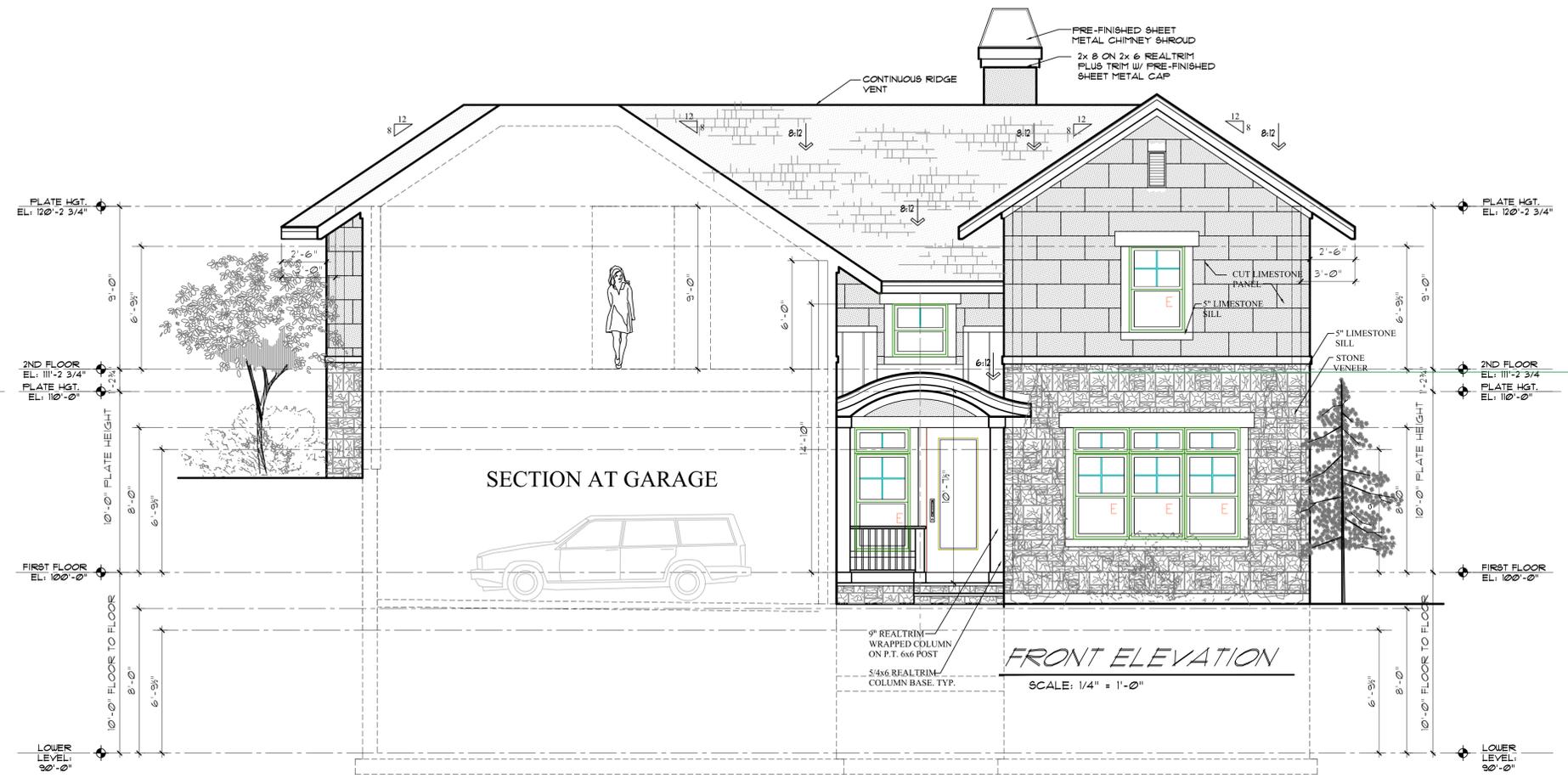
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" 3,460 SQ. FT. FINISHED

SQUARE FOOTAGE TABULATION	
LOWER LEVEL	2,089 SF
FIRST FLOOR:	3,123 SF
SECOND FLOOR:	3,460 SF
TOTAL:	8,672 SF

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the ROZOLIS RESIDENCE
 962 MARIANNE TERRACE
 LAKE GENEVA, WI, 53147

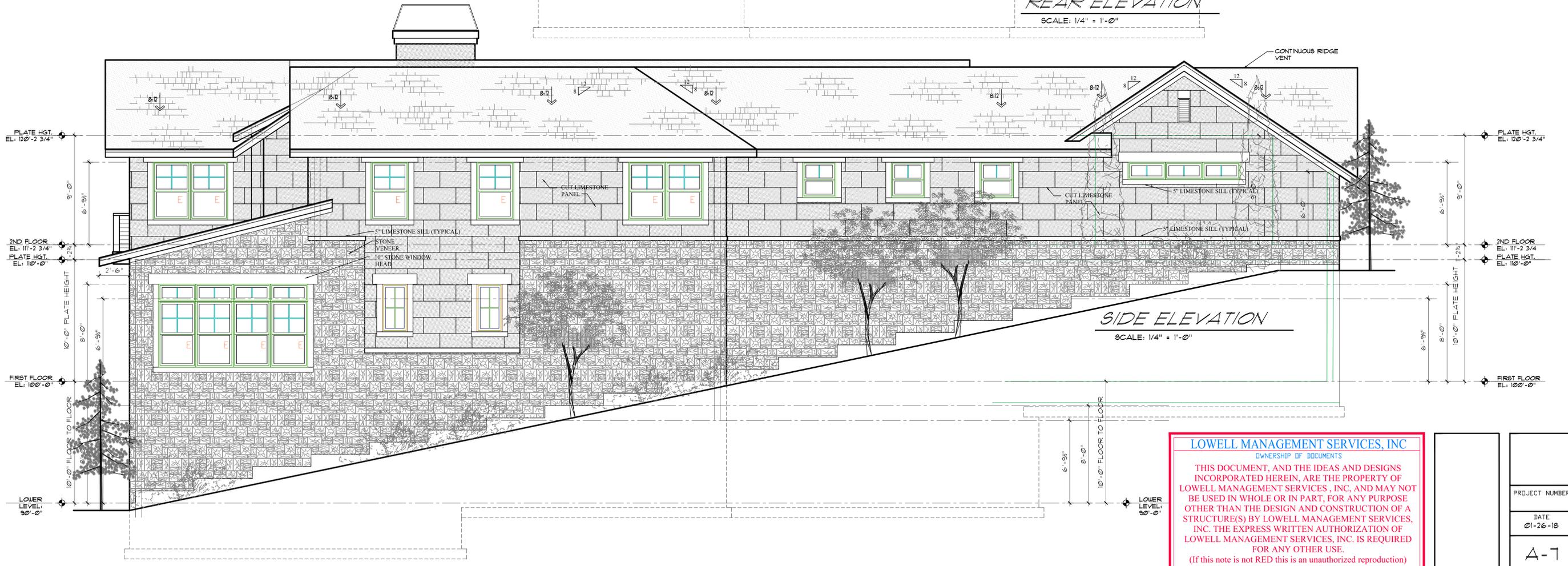
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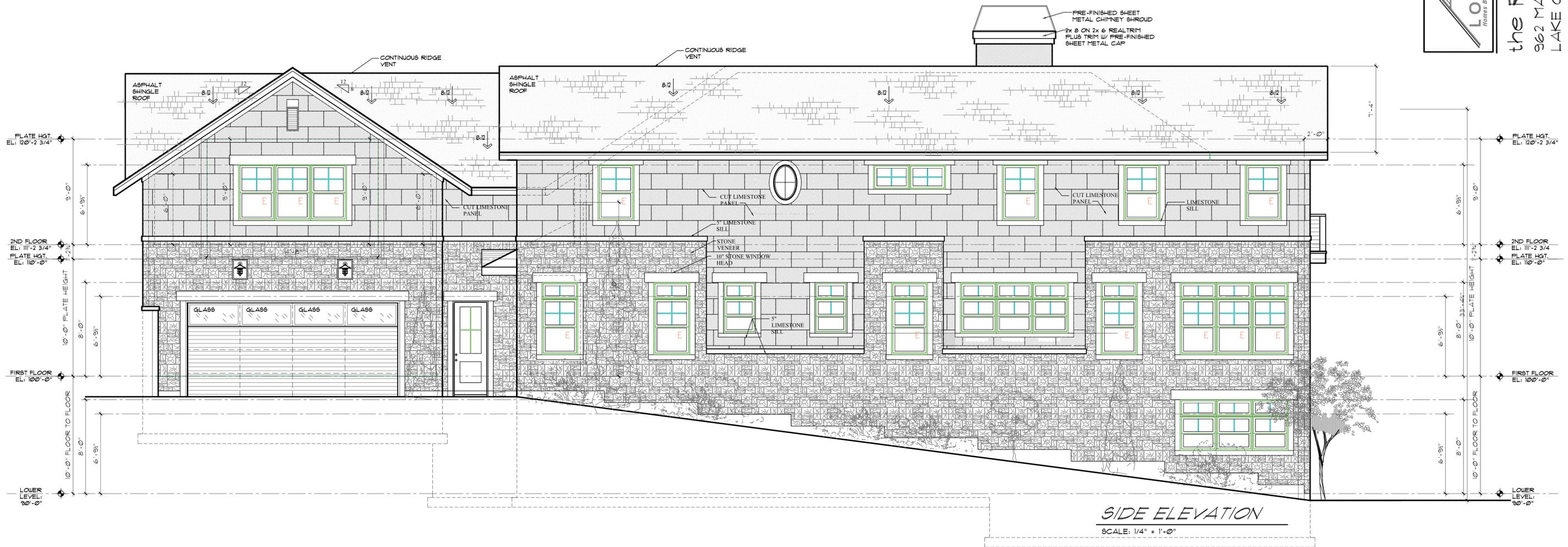


the ROZOLIS RESIDENCE
 962 MARIANNE TERRACE
 LAKE GENEVA, WI, 53147

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PROJECT NUMBER
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 01-26-18

A-7



SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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PROJECT NUMBER

DATE
 01-26-18
 A-8

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 16, 2018

Agenda Item: 14

Applicant:

Shad Branen
1464 Devon Rd.
Burlington , WI 53105

Request:

Geneva Theater to Amend Precise Implementation Plan (PIP) to allow for the exterior window installation for sales.

Description:

The applicant is submitting to amend the Precise Implementation Plan (PIP) to install an exterior window that would allow expediting of the ticket sales and concessions.

The applicant is also requesting additional signage in conjunction to the exterior sales request

- Hanging “Concessions to Go” sign located under the marquee and above the public sidewalk with adequate elevation in accordance to the required sign clearances.
- Movable Sandwich board sign (which currently is not permitted as a standard request) albeit, with the allowances of the (PIP) Plan Commission & Common Council can choose to allow.

The change will require the recommendation for or against the amendment on a site plan review.

The proposed request does not require additional parking spaces.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including Precise Implementation Plan (PIP) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the land use category for the subject property. This category allows for neighborhood-scale mixed use development. The proposed PIP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the Planned Development (PD), the current zoning of the property, provides that comparison zoning district. The project is requesting the following:

As no other changes are proposed to the site that would change existing conditions, no other flexibilities are requested.

Approved Land Uses:

The PIP enables the following land uses as permitted:

- Planned Development (PD)

Zoning Map Amendment / PIP - Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / PIP

As part of the consideration of a requested Planned Development / Precise Implementation Plan (PIP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to PIP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the PIP for Recommendation to Common Council:

A proposed PIP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed PIP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
 3. The proposed PIP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:

1. The proposed PIP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed PIP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
3. The proposed PIP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the Precise Implementation Plan (PIP):

1. Staff recommends that the Plan Commission recommend *approval* of the Precise Implementation Plan (PIP) as submitted, all other zoning requirements have been met.
2. Reject the request for the sandwich board sign.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

244 Broad St., Lake Geneva ZP00246, ZP00247, ZP00248
dba Geneva Theater

Name and Address of Current Owner:

Shad Brunen, 1464 Devon Rd., Burlington, WI
53105

Telephone No. with area code & Email of Current Owner: 262-210-1362

Name and Address of Applicant:

Shad Brunen, 1464 Devon Rd., Burlington, WI
53105

Telephone No. with area code & Email of Current Owner: 262-210-1362

Proposed Use:

Sales and service of concessions and/or
tickets, along with promotion of movies
and events at theater.

Zoning District in which land is located: 1

Names and Addresses of architect, professional engineer and contractor of project:

Geneva Bay Construction, Pete Jurgens
2689 Sunset Blvd, Lake Geneva, WI 53147

Short statement describing activities to take place on site:

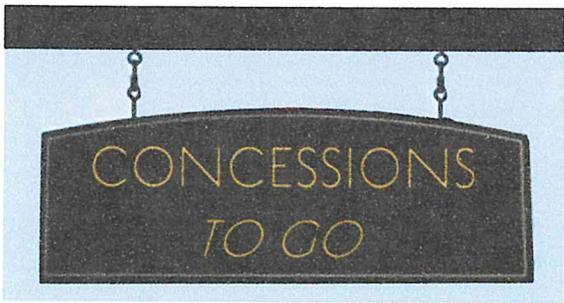
Replacement of an existing video monitor
window with a walk-up service window for
sale of concessions and/or tickets, with a small
sign above. Also, installation of a similar size
display case and placement of a sandwich board
for display of movie listings and events.

PIP Amendment fee \$400.00, payable upon filing application.

3/23/18
Date


Signature of Applicant

GENEVA THEATER WALK-UP WINDOW



Sample Sidewalk Sign



CONDITIONAL USE RESOLUTION

18-R32

A resolution authorizing the issuance of a Conditional Use Permit to Peggy Roth Trust, 837 Bayview Drive, Lake Geneva, WI 53147, to install a boat slip.

WHEREAS, the City Plan Commission has considered the application of Peggy Roth Trust for a boat slip installation;

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on April 5, 2018.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to Peggy Roth Trust, 837 Bayview Drive, Lake Geneva, WI 53147, to install a boat slip at the same address, in the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZGR00007 to include all affirmative findings of fact and note staff recommendations.

Granted by action of the Common Council of the City of Lake Geneva this 23th day of April 2018.

Tom Hartz, Mayor

ATTEST:

Lana Kropf, City Clerk

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 16, 2018

Agenda Item: 15

Applicant:

George & Peggy Roth
Peggy Roth Trust
837 Bayview Dr.
Lake Geneva, WI 53147

Request:

Peggy Roth Trust
837 Bayview Dr.
Lake Geneva, WI53147
Proposed Conditional Use Permit for a Boat Pier

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a new boat pier at 837 Bayview Drive. The pier would involve a wood pier with 9 wood cribs filled with rock. Detailed crib and decking designs are included in the submittal. The 2 covered slips are proposed to be 13' x 31 feet. The boat slip would be parallel to the main pier and would be used for private boat docking and summer boat storage.

The City conditions all Conditional Use Permits for boat slips and piers on approval from the DNR. A copy of the Wisconsin DNR Water Resources permit application is included in the submittal.

As proposed, the new boat slip meets the 100-foot maximum length for piers (per Section 90-142 of the Lake Geneva Municipal Code). The pier meets the 12.5-foot setback from the adjacent riparian zone boundary (Section 90-143(e)). The pier does not seem to create an unlawful obstruction, although this will be confirmed by the required review by Wisconsin DNR.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Municipal Ordinance.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached.
 - a. Conditional Use Permit approval is contingent on review and approval of the proposed slip by the Wisconsin DNR.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

837 Bayview Dr. Lake Geneva 2GR00007 Lot 7 Block 1 of Geneva Bay Estates
Located in the NW 1/4 of the NE 1/4 section 2, Town 1 North, Range 17 East & The SW 1/4 of the
SE 1/4 section 35, Town 2 North Range 17 East City of Lake Geneva, Walworth County WI

NAME AND ADDRESS OF CURRENT OWNER:

George and Peggy Roth (Peggy A Roth Trust) 837 Bayview Drive Lake Geneva WI

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: 312-656-6327 iamgrocks25@yahoo.com

NAME AND ADDRESS OF APPLICANT:

Austin Pier Service Inc. Darrell Frederick

N1398 Hwy 14 Walworth WI 53184

TELEPHONE NUMBER & EMAIL OF APPLICANT: 262-275-2615 Darrell@austinpier.com

PROPOSED CONDITIONAL USE:

New 2-Slip Pier to replace existing pier.

ZONING DISTRICT IN WHICH LAND IS LOCATED: City of Lake Geneva

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Austin Pier Service Inc. Darrell Frederick

N1398 Hwy 14 Walworth WI 53184

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Construct New 2 Slip Cove style pier with rooves. 9-Rock-filled Crib

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

3/6/18

DATE

Darrell Frederick

SIGNATURE OF APPLICANT

George & Peggy Roth 837 Bayview Dr. Lake Geneva Cost Recovery # _____

Petitioner Name

Project Address

OFFICE USE ONLY

Description of Request _____

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** Surplus deposits shall be returned to the Applicant at the conclusion of the project.

Austin Pier Service Inc., as applicant/petitioner for

Project: George & Peggy Roth

Project Address: 837 Bayview Drive Lake Geneva.

Name: George & Peggy Roth

Address: 837 Bayview Drive

Lake Geneva WI 53147

Cell Phone: (312) - 656 - 6327 Phone: () - -

Email: iamgrock25@yahoo.com

Dated this 6th Day of March, 20 18

Printed Name of Applicant / Petitioner

Austin Pier Service Inc. Darrell Frederick 262-275-2615

Signature of Applicant/Petitioner



- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Replacing existing Pier to accommodate 2nd boat.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

It will be similar in size to all neighbors as not to create a navigable hazard.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

The project will have no additional impact on surrounding area or neighbors.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

No work to be done on shore.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Project is all done waterward of Shoreline.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

This is aprivate pier that will not affect the public.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____



N1398 Hwy. 14 West of Walworth
Walworth, WI 53184-5704
(262) 275-2615 • Fax (262) 275-3301

March 5th, 2018

To Whom it May Concern,

We are applying for a Conditional Use permit for a new pier to replace an old pier, for the Peggy A Roth Trust in the City of Lake Geneva, WI on Geneva Lake. This new pier will replace and relocate from the existing pier on the property. The new pier will be constructed of 6x6, 2x6, and 2x10 Douglass Fir with 9 rock filled cribs placed on the bottom of the lake. The cribs will cover a total of 748 square feet of Lake Bottom. The pier will have 2 covered slips 13'x31' with a 220 square foot loading platform off the end of the pier facing North East.

The purpose of this construction is to locate the pier to the center of the property, moor 2 boats and 2 PWC units, a boat landing 12' x 16' at shore for launching Kayaks and such, along with a loading platform to be used for loading boats, swimming and fishing.

The pier construction will all be from the water with a barge crane so no shoreline will be disturbed for this project.

The neighbors to the East are Bill and Carla Young, 1119 Sheridan Road, Winnetka, IL 60093. The neighbors to the West are Mary Deborah Somerville Trust, 4901 Gulf Shore BLVD N Apt. 401, Naples, FL, 34103.

If should have any questions I can be reached at 262-275-2615 or darrell@austinpierservice.com.

Sincerely,

Darrell Frederick

Austin Pier Service Inc.



ePermitting

Waterway and Wetland Individual Permit Application General Information

Applications are completed in a series of steps, identified by the tabs below (e.g. Application, Fee Schedule, etc.) Click on a tab, follow the instructions and complete the following steps:

Complete all sections, **Save** your work, **Move** between tabs, **Pay** by credit card or check. (You must use this system to pay all application fees), **Include** your digital signature, **Submit** the Permit Application to the DNR.

Large Format Documents: If you submitted an application in hard copy with documents that are larger than 11x17, WDNR staff may request that you submit a copy of the document in electronic format, either as an email attachment, or on digital media, such as a CD

Note: If you have wetland impacts associated with your activity, you will need to apply for a wetland permit in addition to your project activities.

Please review the following links for additional county and Corps of Engineering requirements:

Army Corps of Engineers: <http://www.mvp.usace.army.mil/Missions/Regulatory.aspx>
County Zoning: <http://dnr.wi.gov/topic/shorelandzoning/contacts/county.html>

Application

Attachments

Payment

Sign & Submit

Basic Permit Info

NOTE: Missing or incomplete fields are highlighted at the bottom of each page. You may save, close and return to your draft permit as often as necessary to complete your application. If there are no updates in 90 days, your draft is deleted.

Permit Name

Peggy A Roth Trust

You must enter a project name and select an activity to begin an application.

Please select your project activities below. A detailed project checklist will display for all selected activities. The information included in these checklists is necessary for a complete application. A complete submittal with detailed drawings will help us make a decision about your permit application. Any applicable statutory review times do not begin until the application is received by the Department and is determined to be complete.

Waterway Activity:

- Boat House Repair Certification
- Boat Shelter
- Boat Ramp
- Bridges
- Culvert
- Dam- New Construction
- Dam - Repair or Reconstruction
- Dam - Transfer of Ownership
- Dam - Abandonment and Removal

- Dredging - Lake
- Dredging - Stream
- Dry fire hydrant
- Ford crossing of stream
- Grading
- Habitat structures - Lake
- Habitat structures - Stream
- Intake outfall structure
- Lake shore erosion control
- Lake shore erosion control- Great Lakes
- Miscellaneous structures
- Non-metallic mining
- Pea gravel blanket
- Pilings
- Piers, docks and wharves
 1. Review the following links for more information: [Instructions](#)
 2. Attach a copy of your deed or similar proof of ownership.
 3. Attach a good photo that clearly shows the existing project area.
 4. Attach a narrative description of your proposal.
 5. Attach a site map based on the following format: [Blank Site Map](#).
 6. Complete all displayed forms and fee sheets.
 7. Pay fee online
 8. Sign and Submit form.
- Pond - Landscape
- Pond - Storm water pond
- Pond - Wildlife pond
- Stream bank erosion control
- Stream realignment
- Swim raft
- Temporary in-stream crossing
- Water withdrawal and irrigation
- Waterski platform
- Weed rake
- Wetland conservation
- Wetland disturbance

Wetland Activity:

Continue



ePermitting



Save



Do not close your work until you **SAVE**. Close

- Home
- Attachments

State of Wisconsin
Department of Natural Resources
dnr.wi.gov

Water Resources Application for Project Permits

Form 3500-053 (R 8/16)

Page 1 of 2

Notice: Pursuant to chs. 30 and 31, Wis. Stats., ch. 281, Wis. Stats., and s. 283.33, Wis. Stats., this form is used to apply for coverage under the state construction site storm water runoff general permit, and to apply for a state or federal permit or certification for waterway and wetland projects or dam projects. This form and any required attachments constitute the permit application. Failure to complete and submit this application form may result in a fine and/or imprisonment or forfeiture under the provisions of applicable laws including s. 283.91, Wis. Stats. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Public Records Laws (ss. 19.31-19.39, Wis. Stats.). This form is required for U.S. Army Corps of Engineers (ACOE) regulatory purposes pursuant to 33 CF 325.

Read all instructions provided before completing

Section 1: Landowner Information

Organization, Entity or Name Peggy A Roth Trust	Authorized Representative (Last Name, First Name) Roth, George		
Mailing Address 837 Bayview Drive	City Lake Geneva	State WI ▾	Zip Code 53147
Email iamgrock25@yahoo.com	Phone Number (xxx-xxx-xxxx format) 312-656-6327	Alternative Phone Number	

Section 2: Applicant Information Select if same as landowner

Organization, Entity or Name Peggy A Roth Trust	Contact Person (Last Name, First Name) Roth, George		
Mailing Address 837 Bayview Drive	City Lake Geneva	State WI ▾	Zip Code 53147
Email iamgrock25@yahoo.com	Phone Number (xxx-xxx-xxxx format) 312-656-6327	Alternative Phone Number	

Section 3: Agency Contact Select if same as landowner

Consultant or Plan Preparer Contractor Agent Other - specify: _____

Name (Organization or Entity) Austin Pier Service Inc	Contact Person (Last Name, First Name) Frederick, Darrell		
Mailing Address N1398 Hwy 14	City Walworth	State WI ▾	Zip Code 53184
Email Darrell@austinpier.com	Phone Number (xxx-xxx-xxxx format) 262-275-2615	Alternative Phone Number	

Section 4: Project or Site Location

Project Name Peggy A Roth Trust	County Walworth ▾	<input checked="" type="radio"/> City <input type="radio"/> Township <input type="radio"/> Village of City of LAKE GENEVA ▾
Location Address / Description 837 Bayview Drive Lake Geneva, WI 53147		

Public Land Survey System (PLSS)– Provide the section, range, township information and latitude and longitude in decimal degrees, if available.

of Section (xx) Township (xx) Range (xx) E
 NW ¼ NE ¼ 02 01 N 17 W Latitude (xx.xxxxx) Longitude (-xx.xxxxx)

If this site is not wholly contained in the quarter-quarter section, more description:

Contained on quarter-quarter section

Waterways: Provide the name(s) of closest water bodies:

Geneva Lake

Water Resources Application for Project Permits

Form 3500-053 (R 8/16)

Page 2 of 2

Wetland Delineation

If a wetland is present at a project site and permit approvals are sought through the waterway and wetland program, storm water program, or concentrated animal feeding operations (CAFO) program, the department requires that a wetland delineation that accurately shows the location of a wetland is submitted with an application. A wetland delineation needs to be verified/concurred with before the application can be submitted or be considered a complete application. See the department "

Wetland screening and delineation procedures" for more information.

Is a wetland present in the project area? Yes No

If yes, select all sources of information used and attach supporting report or documentation

- A copy of your wetland delineation and a Wetland Confirmation Service concurrence letter (wetland boundary verification service offered for a fee from the department)
- An assured delineator's wetland delineation report
- A copy of your wetland delineation and an Army Corps of Engineers concurrence letter
- A copy of your correspondence with a WDNR Office of Energy Water Management Specialist or WDNR Transportation Liaison regarding your wetland review/ concurrence.

If no, please select one of the following items showing that a wetland is not present within the project boundaries:

- A copy of your wetland determination and a letter from the department's Wetland Identification Program stating wetlands are not present or the activity proposed in the wetland is exempt under NR 103.06(4)
- A letter from an assured delineator stating wetlands are not present
- Maps showing each resource(s) was reviewed for wetland absence (Surface Water Data Viewer):
 - Surface Water Data Viewer- Wisconsin Wetland Inventory
 - Surface Water Data Viewer- Wisconsin Indicator layer
 - Surface Water Data Viewer- Digital Topographic map layer or aerial photo indicating if waterways, drainage ways, ditches, depressions, or standing water are within project boundary
- Show that the project limits are entirely in existing paved, graveled, or concrete areas
- A copy of your correspondence with a WDNR Office of Energy Water Management Specialist or WDR Transportation Liaison regarding your wetland review/concurrence

(Please note that if the information provided is incorrect or incomplete, the overall permit application may be considered incomplete and may be returned to the applicant.)

Section 6: Endangered or Threatened Resources

Has the presence of endangered or threatened resources been evaluated according to protocols developed by the DNR Bureau of National Heritage Conservation (BNHC) <http://dnr.wi.gov/topic/ERRReview> Yes No

If Yes, select how the evaluation was completed and attach supporting report or documentation:

- Endangered Resources Preliminary Assessment from the Public Portal
- Certified ER Review Letter - specify: ERR- (example ERR-15-123)
- Broad Incidental Take Permit /Authorization -specify (e.g. No / Low Impact Activities, Grassland & Savanna)

Management, etc.): _____

d. Other: _____

Section 7: Project Information (If new or additional items are necessary)	
Anticipated Project Start Date: 6/1/2018	Projected Project End Date: 8/1/2018
Photos: Provide photographs of the "before" condition.	Date of Photographs: 8/14/2017
Narrative of the Project: Provide a one to two paragraph description of the proposed project, including land and water alterations and intended use(s) of the project. Include this in the attachment section.	

Press to Refresh Missing Items

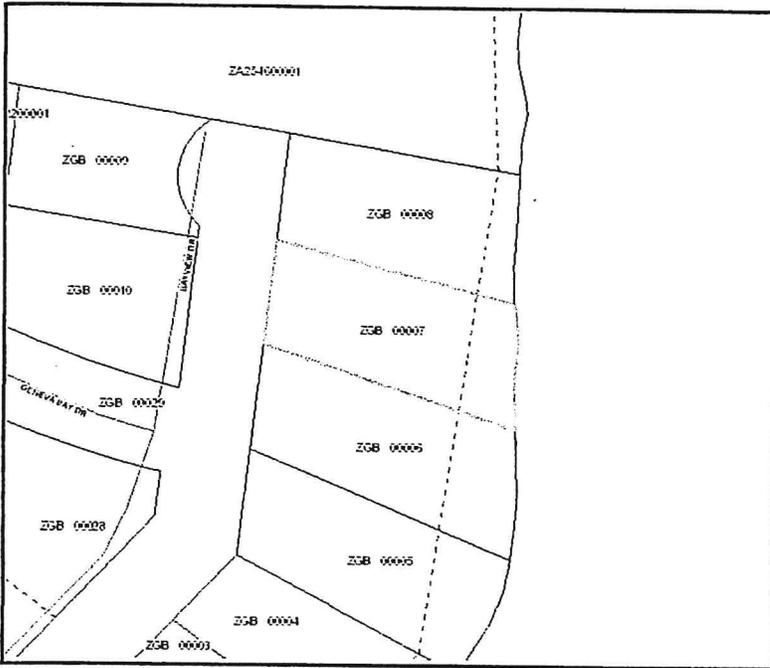
Validation Summary:

Section 1 & 2:

Section 4 & 5

Other errors:

Save	Home	Attachments
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Walworth County, WI Land Information Division

Property Details

Municipality: CITY OF LAKE GENEVA
 Parcel Number: ZGB 00007
 School District: 2884-LAKE GENEVA-GENOA CITY U
 Zoning District:

Owner Information

Owner Name: PEGGY A ROTH TRUST
 Owner Name 2:
 Mailing Address: 837 BAYVIEW DR

LAKE GENEVA WI, 53147

2017 Valuation Information

Land: \$1,660,000.00
 Improvements: \$580,000.00
 Total: \$2,240,000.00
 Acres: 0.4500
 Fair Market Value: \$2,284,800.00
 Assessment Ratio: 0.9803720040
 Mill Rate: 0.0207988980

Tax Information

First Dollar Credit: \$80.27	School Credit: \$5,171.99
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$0.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$46,509.25	Woodland Tax Law Taxes: \$0.00
Net Tax: \$46,509.25	

Tax Jurisdictions

CITY OF LAKE GENEVA \$13086.25
 GATEWAY TECHNICAL \$1863.93
 LAKE GENEVA J1 SCHOOL DIST \$13747.13
 WALWORTH COUNTY \$9709.34
 STATE OF WISCONSIN \$0.00
 LAKE GENEVA-GENOA CITY UHS \$8182.87

Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)
 State Representative: Tyler August(R) (32nd District)
 State Senator: Stephen Nass(R) (11th District)
 US Representative: Paul Ryan(R) (1st District)
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

Soil Classification

Soil Type	Soil Name	Acres
MyB	MIAMI SILT LOAM, 2 TO 6 PERCENT SLOPES	0.2406
ScB	ST. CHARLES SILT LOAM, 2 TO 6 PERCENT SLOPES	0.1550

Special Assessments / Charges

Property Address

837 BAYVIEW DR LAKE GENEVA

Legal Description

LOT 7 BLK 1 GENEVA BAY EST. CITY OF LAKE GENEVA

Disclaimer

The information provided in this property information page is not official information. All official tax information is recorded in the Walworth County Treasurer's Office. To verify tax payment/payoff status, contact the Walworth County Treasurer's Office at 262-741-4251.



WORK ORDERED BY -
LAND DEVELOPMENT CO.
813 EAGLETON DRIVE
LAKE GENEVA WI 53147

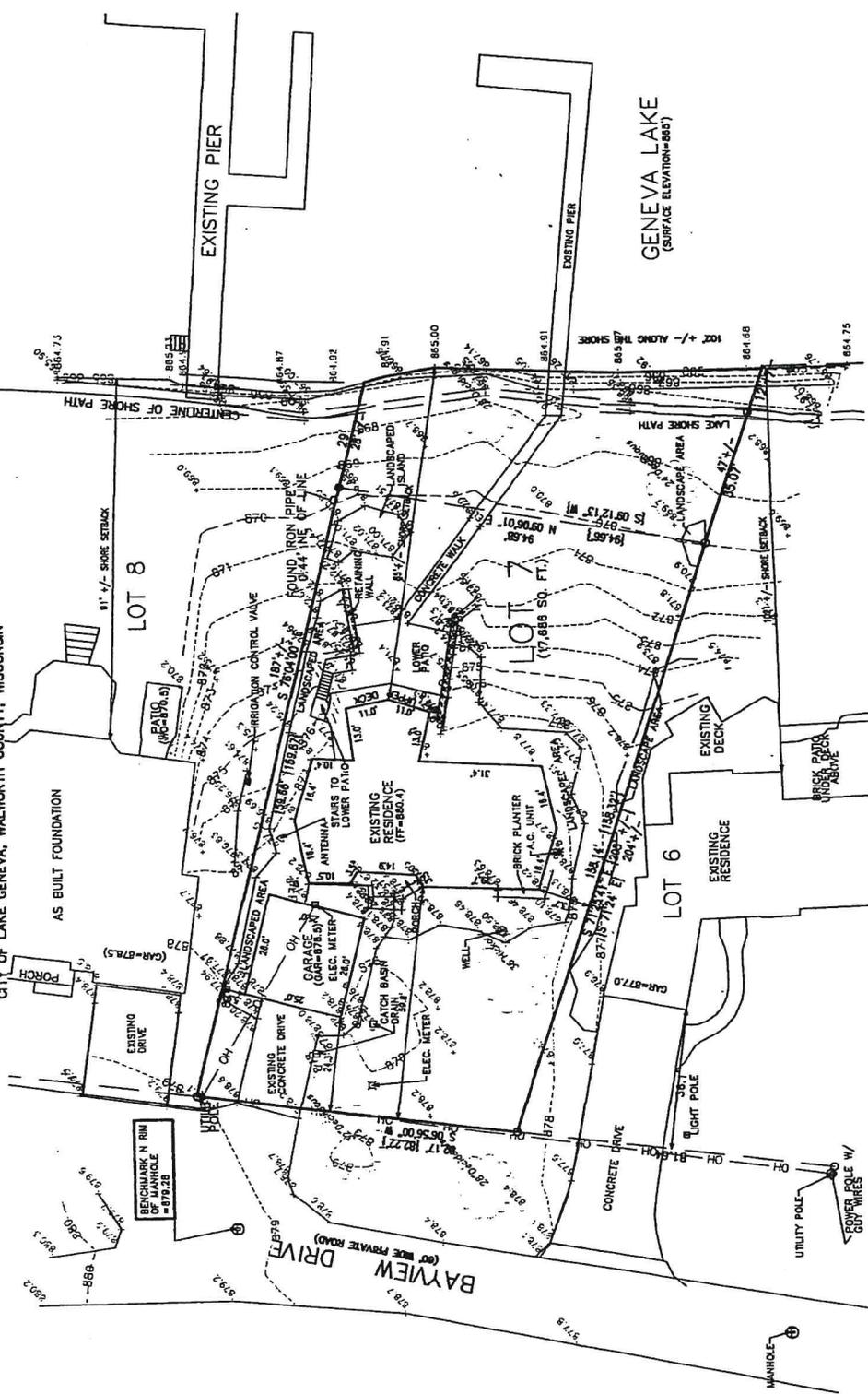
FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RICHMOND COURT P.O. BOX 437
EUROPEA, WISCONSIN 53121
OFFICE (262) 723-2098 FAX (262) 723-5888

REVISIONS

PROJECT NO. 8740
DATE: 04/27/2017
SHEET NO. 1 OF 1

PLAT OF SURVEY LOT 7 BLOCK ONE OF GENEVA BAY ESTATES

LOCATED IN THE NW 1/4 OF THE NE 1/4 SECTION 2, TOWN 1 NORTH, RANGE 17 EAST &
THE SE 1/4 OF THE SE 1/4 SECTION 35, TOWN 2 NORTH, RANGE 17 EAST
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND ITS EXTERIOR BOUNDARIES. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERE TO WITHIN ONE YEAR FROM THE DATE HEREOF.

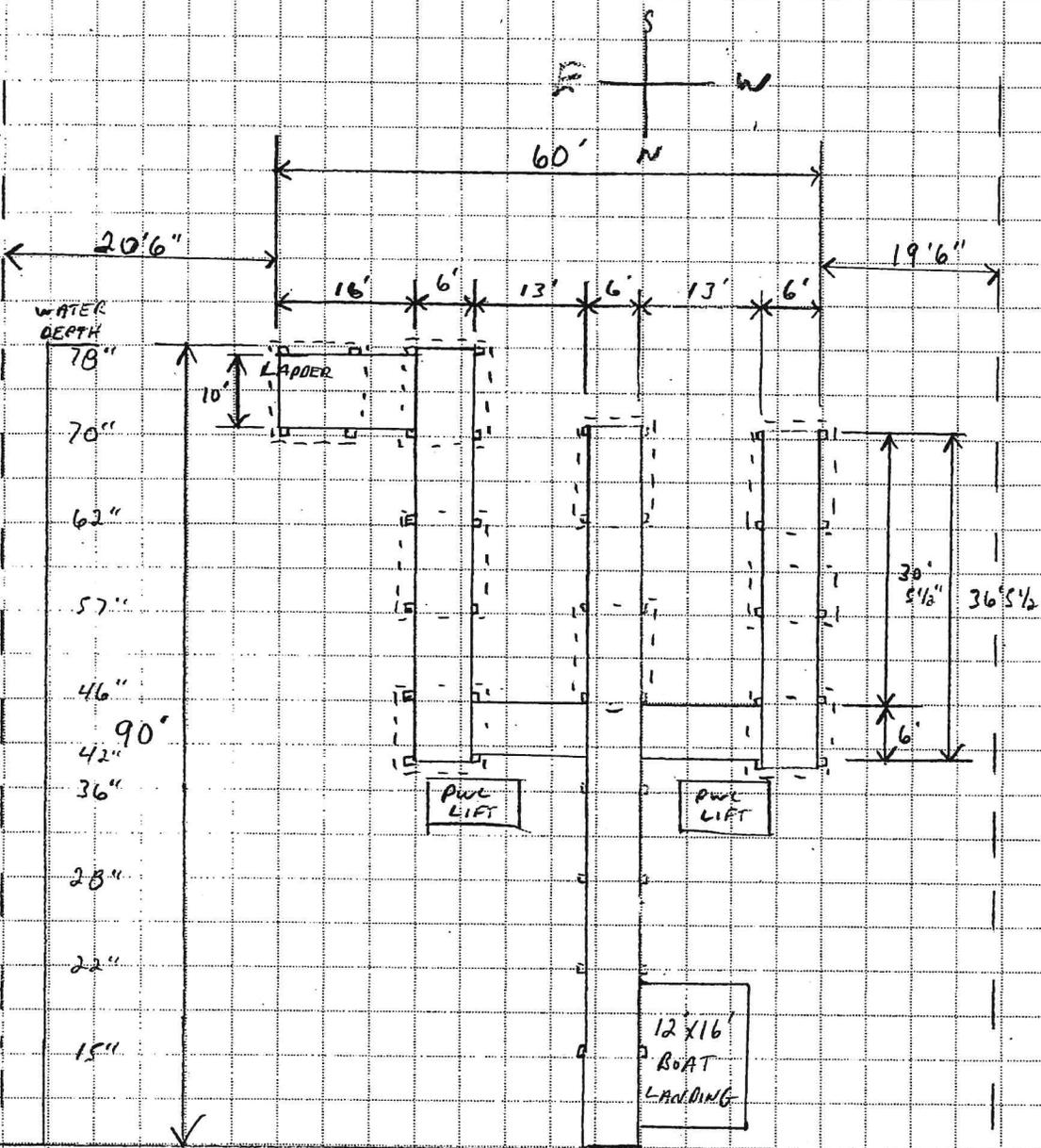
DATED: 04/28/2017
PETER S. GORDON P.L.S. 210

- LEGEND**
- FOUND IRON PIPE STAKE
 - FOUND IRON REBAR STAKE
 - ⊙ FOUND CONCRETE COUNTY MONUMENT
 - ⊙ SET IRON REBAR STAKE
 - △ SET "JAG NAIL" IN PAVEMENT
 - (NXX) RECORDED AS
 - (F) FINISHED FLOOR ELEVATION
 - (GAR) GARAGE FLOOR ELEVATION
 - (W) WALKOUT FLOOR ELEVATION

ASSIGNED SOUTH LINE LOT 7
S 87° 18' 2" E
PER ORIGINAL SURV. PLAT

MAY 01 2017

ZG15-7 067-1017



PIER # 33

837 Bayview Drive Lake Geneva

AUSTIN PIER SERVICE, INC.
 North 1398 Highway 14
 WALWORTH, WISCONSIN 53184
 (262) 275-2615

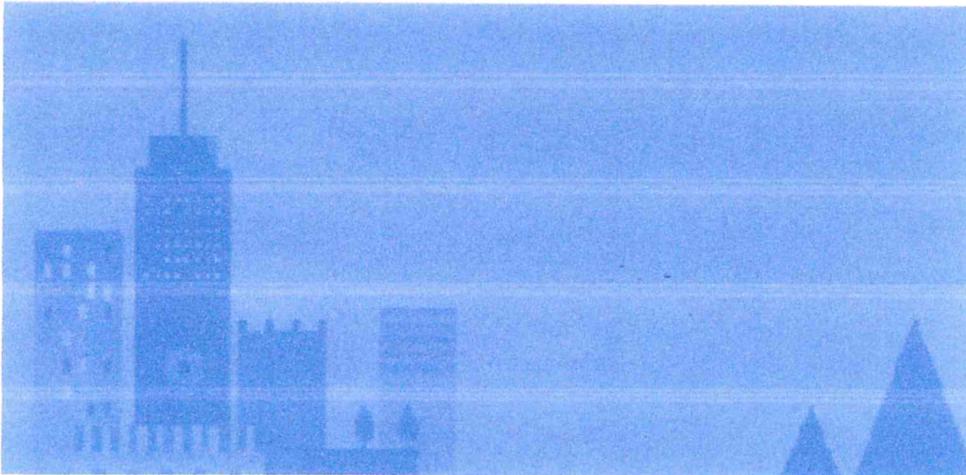
JOB GEORGE & PEGGY ROTH
 SHEET NO. 1 OF 1
 CALCULATED BY DARRELL FREDERICK DATE 8/4/17
 CHECKED BY _____ DATE _____
 SCALE 1" = 20'



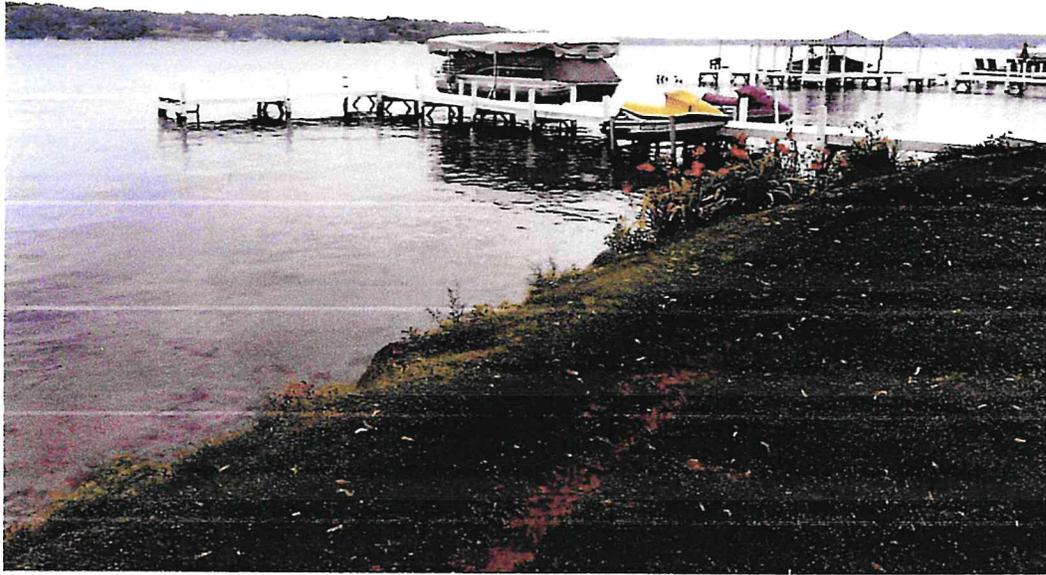
837 Bayview Dr
Peggy A Roth Trust



Imagery ©2018 Google, Map data ©2018 Google 50 ft



837 Bayview Dr
Lake Geneva, WI 53147



8-14-17

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 16, 2018

Agenda Item: 16

Applicant:

Geneva Area Foundation
Sean Payne
330 Broad Street
Lake Geneva, WI 53147

Request:

Geneva Area Foundation - Farmers Market
330 Broad Street
Lake Geneva, WI53147
Proposed Conditional Use Permit

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a newsite plan for the Farmers Market located at 330 Broad Street. The applicant is looking are utilizing the public alley way in addition removing the vendors from the public Right of Way (ROW) adjacent to the parking stalls on Broad St.

The use of the public alley was identified and discussed at the public works committee without opposition of the proposed use.

The applicant is also expanding the original request of vendors to have for sale to be identified as –
“Sales of Homemade / Home Grown Products: cheese, vegetables, bread, fruit, flowers, hummus, oils, coffee, crepes, empanadas, sauces, desserts, popcorn, seafood, and crafts”.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Municipal Ordinance.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

330 Broad St / #ZOP 00163
Lots 1 and 2, Block 17, original plat, city of Lake Geneva

NAME AND ADDRESS OF CURRENT OWNER:

Geneva Area Foundation 330 Broad St / P.O. Box 71
Lake Geneva WI 53147

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: 262-248-4382 director @

horticulturalhall.com

NAME AND ADDRESS OF APPLICANT:

Sean Payne (on behalf of Horticultural Hall)
127 Sumner St. Genoa City WI 53128

TELEPHONE NUMBER & EMAIL OF APPLICANT: 262 745-9341 Spayne3737@gmail.com

PROPOSED CONDITIONAL USE:

Farmers Market, Thursdays, April through October

ZONING DISTRICT IN WHICH LAND IS LOCATED: Central Business

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

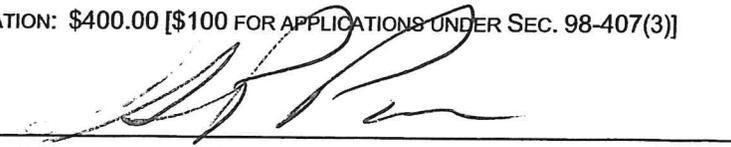
N/A

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Sales of homemade/home grown products: cheese, vegetables, bread, fruit, flowers, hummize, oils, crepes, empanadas, sauces, desserts, popcorn, seafood + crafts.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

2/6/2018



DATE

SIGNATURE OF APPLICANT

ME. Cooy

City Plan Commission Meeting
Monday, March 15, 1999 – 6:30 P. M.
Council Chambers, City Hall

Meeting called to order by Mayor Condos.

Roll Call: Present: Commissioners Etten, Waldeck, Gleason, Dunham, Condos, Schiche and Huston.

Motion made by Commissioner Waldeck, seconded by Commissioner Schiche to approve the minutes of the City Plan Commission Meeting of February 15, 1999 as distributed. Unanimously carried.

Comments from the public:

Attorney Tim Swatek, representing Lake Geneva Woodlands Owners Association, requested direction from the Commission on how to proceed, if he had to request an extension of time under the original developer's agreement. Attorney Swatek was informed that he would have to formally appear with a public hearing on the matter.

Attorney Pete Wilson appeared in behalf of Dr. Dermot Fleming, 7273 Highway 50 East, Town of Lyons, requesting a change of zoning before the Walworth County Zoning Office on that property. He was informed that the County has not notified the City of the proposed rezone, so that is the reason it is not on the agenda.

Correspondence: none.

Public Hearing on site plan review filed by Geneva Lake Foundation AKA Horticultural Hall, proposed use, to operate a Farmer's Market, April through November of each year, one day per week, tax key #ZOP 00163, 330 Broad Street was the first hearing before the Commission. Mr. Don McGuff, Director of the Horticultural Hall appeared in behalf of the petition, one day a week during the summer months, sales inside the hall, inside the courtyard, and area at Broad and Wisconsin Streets, inside the sidewalk. The reason for the site plan review is just for the area between the sidewalk and the building. David C. Williams, 325 Cook Street, would be opposed if a flea market was allowed. After all was heard, a motion was made by Commissioner Waldeck, seconded by Commissioner Dunham and unanimously carried. Motion was made by Commissioner Dunham, seconded by Commissioner Gleason to recommend approval to the City Council for a Farmer's Market, April through November, one day per week, tax key ZOP 00163, 330 Broad Street with the conditions that the display tables be kept back 5 feet from the sidewalks and that the sales be limited to fruits, vegetables, flowers and bake goods. Unanimously carried.

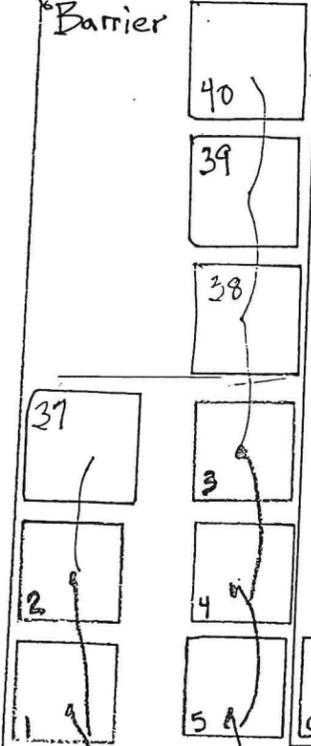
Public Hearing on conditional use application filed by A. Campbell Perks, proposed use, addition of 8 x 16 foot section onto main pier; addition of 8 x 30 foot L to north and addition of 4 x 30 foot slip to the north, tax key #ZA 1240 00002, 946 Ceylon Court. Mr. Jeff Reed of Reed's Construction appeared in behalf of the petitioner to explain the proposed use. Closest pier to the Perks' pier is 78 feet as they touch the shoreline and additions would be going away from the 78 feet. Total length of Perks pier will be 100 feet. No one else appeared in favor or in opposition. A motion was made by Commissioner Gleason, seconded by Commissioner Dunham to close the Public Hearing. Unanimously carried. Motion was made by Commissioner Dunham, seconded by Commissioner Gleason to recommend approval to the City Council of the conditional use filed by Mr. A. Campbell Perks with the condition that there be no additional moorings on buoys. Unanimously carried.

Public Hearing on conditional use application filed by State of Wisconsin/Department of Natural Resources, proposed use, to install a fishing pier near the southeast corner of the Ceylon Lagoon, tax key #ZYUP 00146, Big Foot State Park. Mr. Doug Welch of the DNR appeared in behalf of the petition stating that the weedy condition along the shoreline of the lagoon starting in June is an impediment for the fisherman in that area and with the installation of the pier they will be able to get beyond the weedy area. No one else appeared in favor or in opposition. Motion was made by Commissioner Dunham, seconded by Commissioner Gleason to close the Public Hearing. Unanimously carried. Motion was made by Commissioner Gleason, seconded by Commissioner Etten to recommend approval to the City Council on

SIGN AT ALLEY ACCESS
 COOK ST,
 ALLEY ENTRY
 "DEAD END"

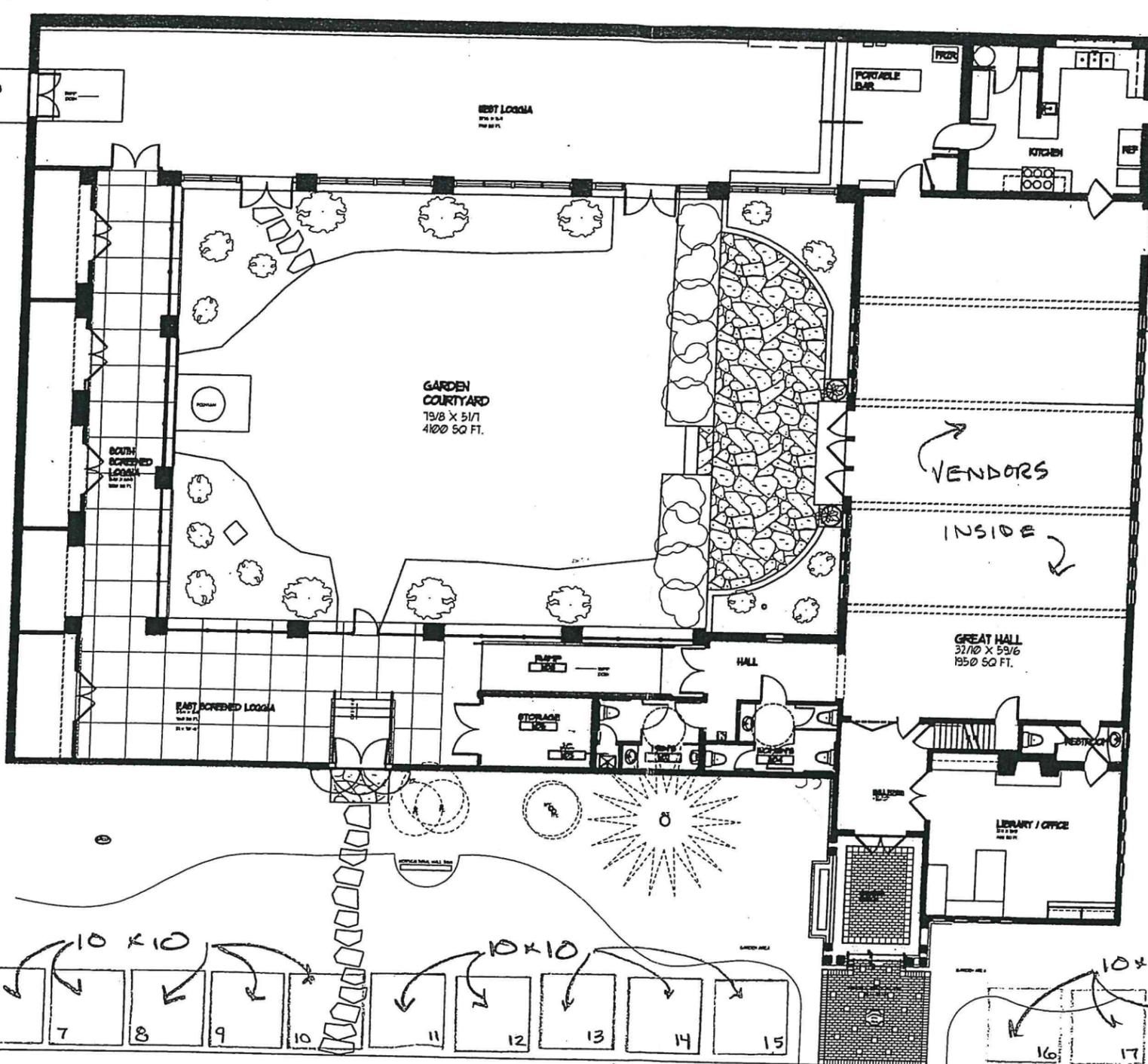
ALLEY

Barrier



(9) 10x10 Spaces

spots 1-22 10x10
 23-24 ODD shape
 25-36 10x10
 37-40 10x10



DRIVEWAY

ODD SHAPE
 VENDOR SPOTS
 DUE TO PLANTINGS

VENDORS
 INSIDE

SIDEWALK

PARKING

ALL 10x10 Vendors

McConnell + Blain Architects LLP

BROAD STREET

STREET PARKING

HORTICULTURAL HALL FLOOR PLAN

CROSSWALK
 SIGN W/ FLAGS
 "PEDESTRIAN CROSSING"

CONDITIONAL USE RESOLUTION

18-R33

A resolution authorizing the issuance of a Conditional Use Permit to Horticultural Hall, 330 Broad Street, to allow the site plan amendment for the use of the public alleyway during the Farmers Market Events in the Central Business (CB) zoning district.

WHEREAS, the City Plan Commission has considered the application of Horticultural Hall for the use of the public alleyway during the Farmers Market Events at 330 Broad Street Tax Key No. ZOP000163;

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on April 5, 2018.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to Horticultural Hall 330 Broad Street, Lake Geneva, WI 53147, to allow for the use of the public alleyway during the Farmers Market Events located in the (CB) zoning district,

Tax Key No. ZSY00016 to include all affirmative findings of fact and note staff recommendations.

Granted by action of the Common Council of the City of Lake Geneva this 23th day of April 2018.

Tom Hartz, Mayor

ATTEST:

Lana Kropf, City Clerk

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 16, 2018

Agenda Item: 17

Applicant:

TC Productions LLC.
100 N. Edwards Blvd.
Lake Geneva, WI 53147

Request:

Zoning Map Amendment to change the existing zoning of lot, Tax Key No. ZA196100004

- from Planned Development (PD)
- to Planned Business (PB)

Description:

This request is to amend the Official Zoning Map for the parcel located on the West side of Edwards Blvd., immediately south of the Aldi Store, to accommodate potential Magic Studio, for an Indoor Commercial Entertainment land use. The request is to change the zoning of the parcel from Planned Development (PD) to Planned Business (PB) zoning district, as identified as an allowable land use in the City's Future Land Use Map of the City's Comprehensive Plan.

The parcel included in this Zoning Map Amendment request is:

- Parcel ZA196100004 located at 101 N. Edwards Blvd.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments to be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the Planned Business Use land use involved in this request. This land use category allows for Planned Business (PB) zoning and land uses-- such as the proposed Magic Studio which has a Commercial Indoor Entertainment land use.

The proposed Planned Business (PB) zoning *is consistent* with the Comprehensive Plan's recommended land use category recommended by the Future Land Use Map.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Zoning Map Amendment from Planned Development (PD):

As part of the consideration of a requested Zoning Map Amendment, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to the Neighborhood Business (NB) zoning district; and,
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments.
-

Staff Review Comments:

The request zoning map amendment would enable the consideration of the proposed Magic Studio for a Conditional Use Permit. The Planned Business (PB) zoning district is intended for large & small-scale commercial development which is compatible with the desired overall community character of the area in general

Required Plan Commission Findings on the proposed Zoning Map Amendment for Recommendation to Common Council:

A proposed Zoning Map Amendment must be reviewed in relation to the following criteria, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed Zoning Map Amendment furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA)
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
 3. The proposed amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed Zoning Map Amendment does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.

3. The proposed amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the proposed Zoning Map Amendment:

1. Staff recommends that the Plan Commission recommend *approval* of the Zoning Map Amendment as proposed.
2. Staff recommends the *affirmative set of findings* provided above, noting that the proposal meets factors 1, 2a, and 3. Specifically:
 - In regard to Factor 1: the proposal will be consistent with all FEMA requirements;
 - In regard to Factor 2c: the proposal implements the Comprehensive Plan's Future Land Use Map recommendation for Planned Business development on the subject property; and,
 - In regard to Factor 3: the proposal maintains the desired consistency of land uses, land use intensities, and land use impacts as a transition between commercial development to the east and south along Edwards Blvd.

APPLICATION FOR ZONING MAP AMENDMENT FOR PLANNED DEVELOPMENT
ZONING INCLUDING GENERAL DEVELOPMENT PLAN APPROVAL (PD/GDP) AND
ONE PRECISE IMPLEMENTATION PLAN APPROVAL (PD/PIP)

Name of Applicant: TC Productions LLC

Address of Applicant: _____

Telephone No. (608) 477-1447

~~Fax~~ and/or email: () Tristan.crist@gmail.com

Name of Owner: Rider Enterprise

Address of Owner: _____

Telephone No. () _____

Fax and/or email: () _____

Subject property address and/or complete legal description (use attached sheet if necessary):

100 N. Edwards Blvd outlot 3 CSM 1961
Requesting zoning map change to
Planned Business

Current Zoning District: Planned Development

Fee of \$750.00 payable upon filing application.

Date

Signature of Applicant

CONDITIONAL USE PERMIT RESOLUTION

18-R34

A resolution authorizing the issuance of a Conditional Use Permit (CUP) to 100 N. Edwards Blvd, TC Productions LLC., to allow for the to the property to be used as Commercial Indoor Entertainment land use located in the Planned Business (PB) zoning district.

WHEREAS, the City Plan Commission has considered the application of TC Productions LLC. for the (CUP) located at 100 N. Edwards Blvd Tax Key No. ZA196100004;

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on April 5, 2018.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to TC Productions LLC. 100 N. Edwards Blvd., Lake Geneva, WI 53147, to allow for the Commercial Indoor Entertainment located in the (PB) zoning district Tax Key No. ZA196100004 as Recommended by the Plan Commission on April 16, 2018 to include:

- A. To include all affirmative findings of fact and note staff recommendations:
 1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan, does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden, on any improvements, facilities, utilities, or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Granted by action of the Common Council of the City of Lake Geneva this 23th day of April 2018.

Tom Hartz, Mayor

ATTEST:

Lana Kropf, City Clerk

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 16, 2018

Agenda Item #18

Applicant:

TC Productions LLC
100 N. Edwards Blvd.
Lake Geneva, WI 53147

Request:

Public Hearing & Recommendation for a
Proposed Conditional Use Permit for Indoor
Commercial Entertainment for a
Magic Theater at 100 North Edwards Blvd.
Tax Key No: ZA196100004.

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a new commercial building for the Tristan Crist Magic Theater. The subject property is located south of the Aldi's grocery store and north of The Ridges multi-family development on the west side of North Edwards Boulevard – across the street from Walmart. The property is located in an area with expired Planned Development zoning, with Planned Business (PB) as the baseline zoning district. The proposed theater is regulated as an Indoor Commercial Entertainment land use by the Zoning Ordinance, which requires a CUP in the PB District. A request to amend the Zoning Map from the old Planned Development back to the PB District was considered by the Plan Commission tonight, on the immediately preceding agenda item.

The proposed theater would provide 150 seats, to be served by a parking lot with 52 stalls. This slightly exceeds the zoning ordinance requirement of 1 parking stall for every 3 seats.

The proposed Building Elevations depict a main entrance with wall signage over the doors, at the northwest corner of the building. The building will be dominated by windows on its north (front) side and will include metal siding with concealed fasteners (per the Zoning Ordinance), and stone veneer. The look of the front elevation will wrap around to the east side of the building, which faces Edwards Boulevard. The metal and stone exterior materials will also be continued on the south and west sides of the building.

The proposed Landscaping Plan exceeds the requirements of the Zoning Ordinance. In addition to significant new landscaping, the Plan depicts the preservation of the existing plants located along the south property line. The depicted monument sign and wall sign also meet all requirements.

The proposed Grading and Erosion Control Plan accommodates on-site stormwater management and also provides for the management of overland stormwater flows coming through the site from the southwest to the northeast. These plans have been carefully reviewed by City Staff and the City's Engineering Consultant.

Finally, in several of the submittal materials, the term "Phase 1" is used. This notation refers to the ability of the site to provide for expansion of the proposed building – most likely to the north. Such potential future expansion is not being proposed or reviewed at this time.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Zoning Ordinance. The project has been carefully designed to address the current state of rough grading on the property and existing overland stormwater flows, as well as proposed additional flow from this project.

Staff notes that potential building expansion will be subject in any and all instances to Site Plan review by the Plan Commission. If said expansion involves an expansion of the Theater indoor commercial entertainment land use, a revised Conditional Use Permit will be required. If said expansion involves one or more separate businesses, a new Conditional Use Permit will be required for a multi-tenant Group Development project.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan, does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden, on any improvements, facilities, utilities, or services provided by public agencies serving the subject property.

6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan, does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden, on any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends that no additional conditions of approval be attached.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

100 North Edwards Blvd, Lake Geneva WI
outlot 3 - CSM 1961

NAME AND ADDRESS OF CURRENT OWNER:

Rick Ter Enterprise / TC Productions LLC

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: T/C Paul. 608-477-1447

Tristan Crist @ gmail.com

NAME AND ADDRESS OF APPLICANT:

Peter Juergens

N 2689 Sunset Blvd. Lake Geneva WI

TELEPHONE NUMBER & EMAIL OF APPLICANT: 414-588-2909 / peter.juergens@hottmail.com

PROPOSED CONDITIONAL USE:

To Allow 150 Seat Magic Theatre

ZONING DISTRICT IN WHICH LAND IS LOCATED:

Plan Business

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Architect - Peter 2601 S. Sunny Slope Rd. New Berlin WI

Engineer - Farris, Hansen and Asso. 7 Ridgeway Ct. Elkhorn WI

Contractor - Geneva Bay Const. 2689 Sunset Blvd Lake Geneva

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

One Hundred Fifty Seat Magic Theatre

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

3-9-18

DATE

SIGNATURE OF APPLICANT



APPLICATION FOR CONDITIONAL USE - Justification of Proposed Use and Plan of Operation

TRISTAN CRIST MAGIC THEATRE

100 N. Edwards Blvd. Lake Geneva, WI

Proposed use:

The proposed development is to be used for the purposes of operating a live performance theatre and related services and sales. Specifically, year-round performances of the Tristan Crist Illusion Show – a live magic, comedy and illusion performance geared towards family audiences that has been in operation in Lake Geneva since December 2015. The Tristan Crist Magic Theatre has a proven track record of professionalism and quality that has attracted over 27,000 audience members in the last 2.5 years. The Tristan Crist Magic Theatre is currently the #1 rated Lake Geneva attraction on TripAdvisor and consistently sells out.

The proposed move to the new building will allow for an improved audience experience including: a dedicated parking lot, more spacious lobby, increased number of restrooms, larger stage, modern updated seating and better wheelchair accessibility.

100 N Edwards Blvd. is currently an undeveloped lot behind Aldi and across from Walmart. The proposed 5,000 square foot building will be an intimate 150 seat venue that will showcase the Tristan Crist Illusion Show. This destination attraction will draw tourists to Lake Geneva while continuing to provide a professional evening entertainment event for families and contributing to the economic vitality of the area.

Projected employees and customers:

The theatre will be run by one full time employee and 3 part-time contractors. On show days with one performance, the maximum number of audience members will be 150. On rare occasions with two performances (peak tourist season), the maximum number is 300 per day at separate times. Audiences are typically made up of 75 percent adults and 25 percent kids. Tourist season sees an influx in family audiences and off season sees more adults going out for evening entertainment.

Operational considerations:

During peak summer months, (July / August) the venue will operate 7 days a week with evening performances at 7:30 pm and occasional added shows between 12-7 pm based on demand.

(Operational considerations continued)

During off-season, the venue will operate on Saturdays with shows at 7:00 pm and occasional added shows between 12-7 pm based on demand. Additional performances including matinees will be held on busier holiday weeks. (winter break, spring break, Winterfest, etc.) The venue will also be available for private corporate shows, bus tour groups, or community events. These types of private rental events happen approximately once a month at the current theatre location at various times.

Signage:

A monument sign adhering to city codes and guidelines will be installed on the frontage of the land. A theatre marquee sign with the "Tristan Crist Magic Theatre" logo will be installed over the entrance and adjoining wall of the building. (See attached rendering.) Frosted non-blinking lightbulbs will be installed under the marquee.

Additional notes:

An application will be made for a license to sell beer and wine on premise due to feedback from current customers asking for it. The concession counter will be open prior to the performance but not during the performance essentially limiting the consumption of alcohol to one drink for the duration of the show.

From time to time contractors may be removing excess soil from the site in preparation of phase 2 of future site development.

TRISTAN CRIST MAGIC THEATRE

100 N. EDWARDS BLVD. LAKE GENEVA, WI



PLANT IMAGES FOR THE TRISTAN CRIST MAGIC THEATER



INCREDIBALL HYDRANGEA



NORWAY SPRUCE



MISS KIM LILAC



AUTUMN JAZZ VIBURNUM



JUDD VIBURNUM



FINE WINE WEIGELA

PLANT IMAGES FOR THE
TRISTAN CRIST MAGIC THEATER



MARMO RED MAPLE



LEGACY SUGAR MAPLE



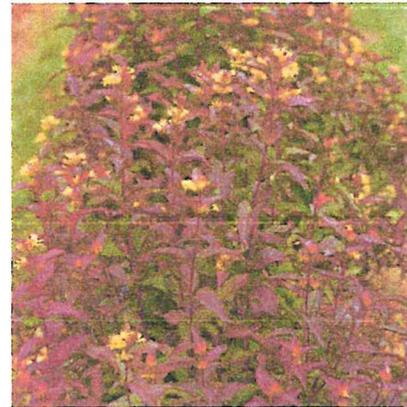
RIVER BIRCH



BOXWOOD



HACKBERRY



KODIAK RED DIERVILLA



DWARF BURNING BUSH



DAWYCK PURPLE BEECH

PERENNIAL IMAGES FOR THE
TRISTAN CRIST MAGIC THEATER



DAISY MAY DAISY



STRAWBERRY SEDUCTION YARROW



PRAIRIE DROPSEED



CHEYENNE SKY SWITCH GRASS



KIM'S KNEE HIGH CONEFLOWER



LITTLE GOLD STAR BLACKEYED SUSAN



BROWN FOX SEDGE

PERENNIAL IMAGES FOR THE
TRISTAN CRIST MAGIC THEATER



CINNAMON FERN



MIDNIGHT ROSE CORAL BELLS



BIG DADDY HOSTA



JETHRO TULL COREOPSIS



KOREAN FEATHER REED GRASS



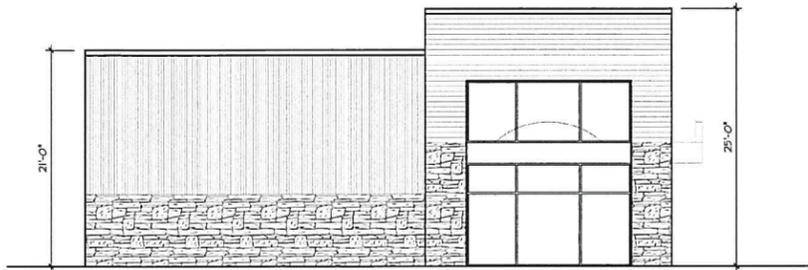
KNOCK OUT PINK SHRUB ROSE



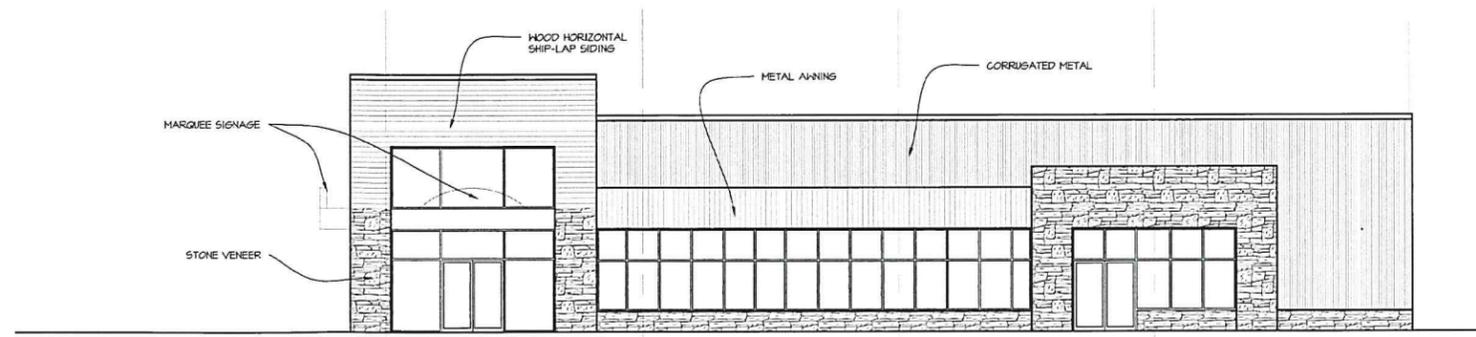
DWARF RUSSIAN SAGE



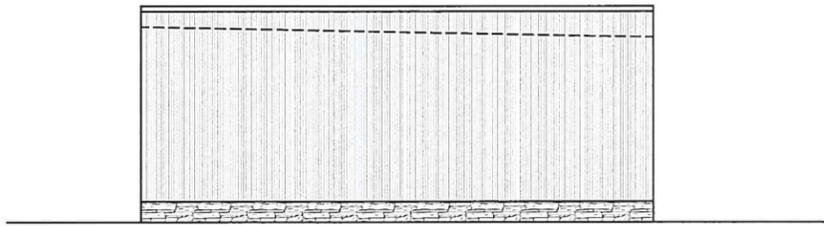
PERENNIAL GERANIUM



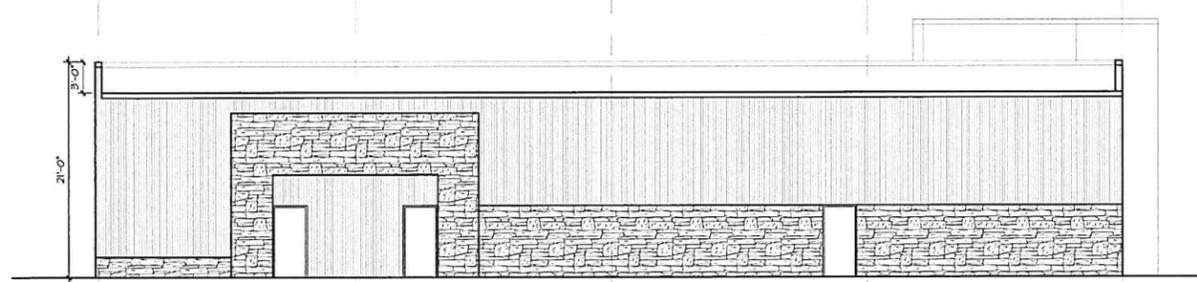
EAST ELEVATION
1/8" = 1'-0"



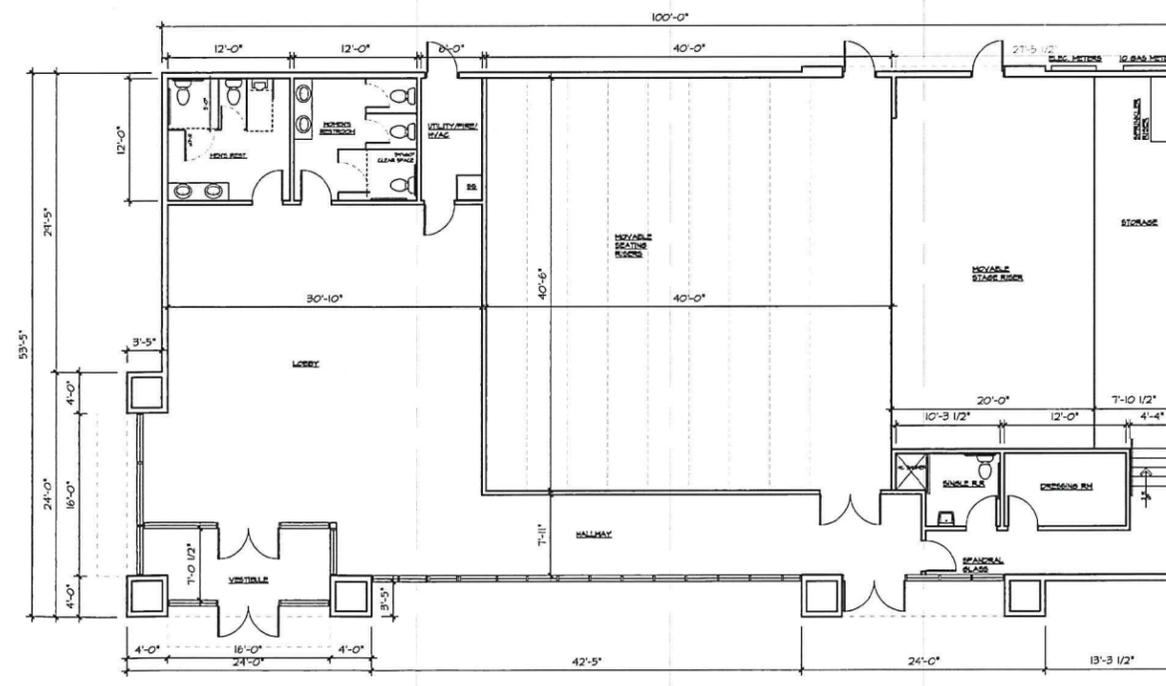
NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



PROPOSED FLOOR PLAN
1/8" = 1'-0"

REVISIONS:

-2-2-18	-2-13-18
-3-8-18	-3-23-18

TRISTAN CRIST MAGIC THEATER

EDWARDS BLVD
LAKE GENEVA, WI
SHEET TITLE:
PROPOSED ELEVATIONS & FLOOR PLAN

A-1

DATE: FEBRUARY 2, 2018
PROJECT NUMBER: 18-131

PATERA LLC
Excellence in Architecture
2601 S. Sunny Slope Rd. • New Berlin, WI 53151
262-786-6776 FAX 262-786-7036

COPYRIGHT: PATERA LLC. IT IS UNLAWFUL FOR ANYONE TO USE OR REPRODUCE BY ANY MEANS ALL OR ANY PORTION OF THESE CONSTRUCTION DOCUMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF PATERA LLC.

PERENNIAL SCHEDULE

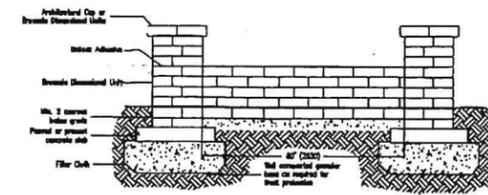
#	BOTANICAL NAME	COMMON NAME	QTY	SIZE
1	OSMUNDA CINNAMOMEA	CINNAMON FERN	8	1 GAL
2	HEUCHERA SP. 'MIDNIGHT ROSE'	CORAL BELLS	15	1 GAL
3	OSMUNDA CINNAMOMEA	CINNAMON FERN	8	1 GAL
4	OSMUNDA CINNAMOMEA	CINNAMON FERN	3	1 GAL
5	HOSTA SP. 'BIG DADDY'	BIG DADDY HOSTA	3	1 GAL
6	COREOPSIS 'BETHRO TULL'	COREOPSIS	25	1 GAL
7	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	8	2 GAL
8	ROSA SP. 'KNOCK OUT PINK DOUBLE'	SHRUB ROSE	4	POTTED
9	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	8	2 GAL
10	PEROVSKIA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	5	1 GAL
11	GERANIUM SANG. 'MAX FREI'	PERENNIAL GERANIUM	10	1 GAL
12	LEUCANTHEMUM 'DAISY MAY'	DAISY	8	1 GAL
13	ACHILLEA 'STRAWBERRY SEDUCTION' YARROW	YARROW	10	1 GAL
14	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	8	2 GAL
15	ACHILLEA 'STRAWBERRY SEDUCTION' YARROW	YARROW	10	1 GAL
16	GERANIUM SANG. 'MAX FREI'	PERENNIAL GERANIUM	8	1 GAL
16A	SPOROBIOLUS HETEROLEPIS	PRAIRIE DROP SEED	5	2 GAL
17	PANICUM VIRGATUM 'CHEYENNE SKY' SWITCH GRASS	SWITCH GRASS	5	2 GAL
18	RUDBECKIA 'LITTLE GOLD STAR' (15) ECHINACEA 'KIM'S KNEE HIGH' (15)	PURPLE CONEFLOWER	30 TOTAL	1 GAL
19	PANICUM VIRGATUM 'CHEYENNE SKY' SWITCH GRASS	SWITCH GRASS	5	2 GAL

PLANT SCHEDULE

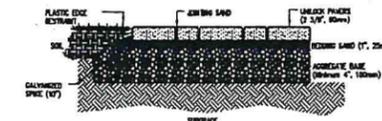
QTY	BOTANICAL NAME	COMMON NAME	SIZE
4	ACER FREEMANTII 'MARMO'	MARMO RED MAPLE	2"
2	ACER SACCHARUM 'LEGACY'	SUGAR MAPLE	2"
2	BETULA NIGRA	RIVER BIRCH-CLUMP	6-8"
7	BUXUS CHICAGOLAND GREEN'	BOXWOOD	24"
2	CELTIS OCCIDENTALIS	HACKBERRY	2"
4	DIERVILLA 'KODIAK RED'	KODIAK RED DIERVILLA	24"
2	EUONYMUS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	30"
2	FAGUS SYLVATICA 'DAWYCK PURPLE'	DAWYCK PURPLE BEECH	2"
4	HYDRANGEA 'INCREDIBALL'	INCREDIBALL HYDRANGEA	24"
3	PICEA ABIES	NORWAY SPRUCE	6"
7	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	48"
3	VIBURNUM DENTATUM 'AUTUMN JAZZ'	AUTUMN JAZZ VIBURNUM	3"
1	VIBURNUM X JUDDII	JUDD VIBURNUM	30"
8	WEIGELA FLORIDA 'FINE WINE'	FINE WINE WEIGELA	24"

CITY OF LAKE GENEVA LANDSCAPE POINT SCHEDULE FOR PLANNED BUSINESS ZONING DISTRICT

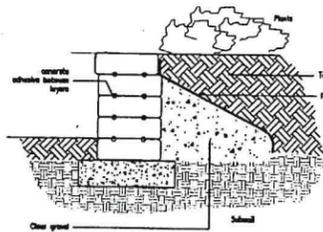
FOUNDATION REQUIRED POINTS	FOUNDATION DESIGNED POINTS
300 LF FOUNDATION + 100 = 3 X 40 = 120 POINTS	122 POINTS
DEVELOPED LOT REQUIRED POINTS	DEVELOPED LOT DESIGNED POINTS
5000 SF + 1000 = 5 X 10 = 50 POINTS	105 POINTS
STREET FRONTAGE REQUIRED POINTS	STREET FRONTAGE DESIGNED POINTS
236 LF + 100 = 2.36 X 40 = 95 POINTS	120 POINTS
PARKING LOT REQUIRED POINTS	PARKING LOT DESIGNED POINTS
20841 SF + 10000 = 2 X 80 = 167 POINTS	210 POINTS



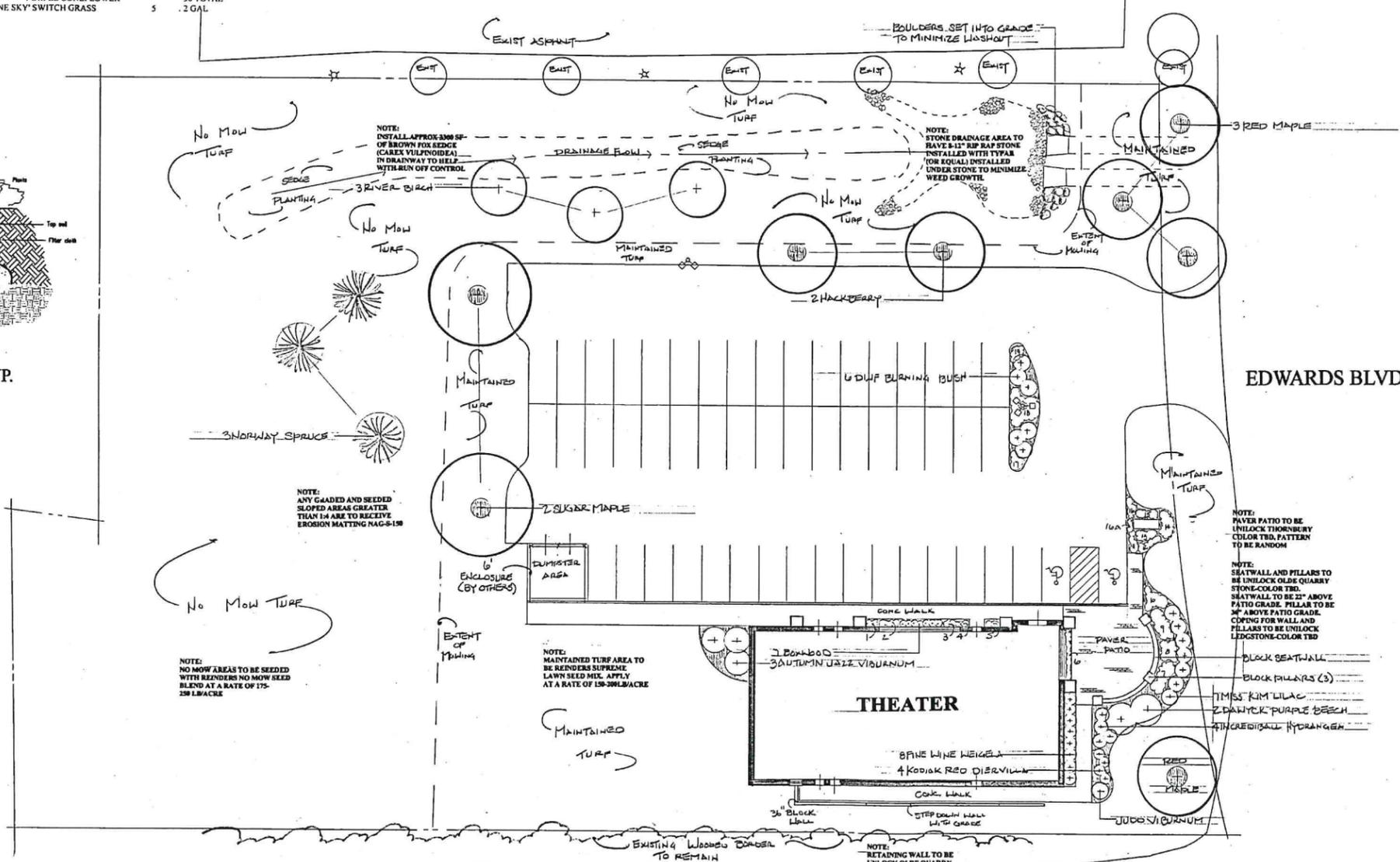
PILLAR AND SEATWALL DETAIL (NTS)



PATIO PAVER DETAIL (NTS)

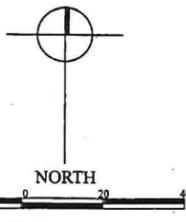


WALL SECTION TYP. (NTS)



EDWARDS BLVD

THEATER

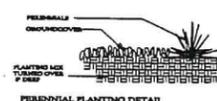


REVISION	DATE	BY	REVISION

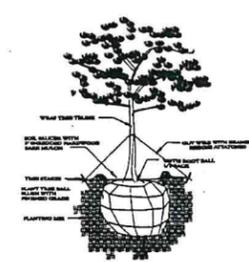
- NOTES AND SPECIFICATIONS**
- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH CITY, VILLAGE OR OTHER LOCAL LANDSCAPING OR CONSTRUCTION SPECIFICATIONS
 - ALL INDIVIDUAL TREES TO RECEIVE 2" CLEAN SHREDDED HARDWOOD BARK MULCH IN A 5' DIAMETER MOW RING.
 - ALL PLANTING BEDS TO RECEIVE 3" MIX SHREDDED BARK MULCH.
 - ALL PLANTING BEDS TO BE PADE EDGED.
 - ALL PLANT MATERIAL TO BE OF SPECIMEN QUALITY AND MEET THE AMERICAN STANDARDS FOR NURSERY STOCK, WHICH IS PUBLISHED BY THE ANA (AMERICAN ASSOCIATION OF NURSEYMEN).
 - ALL PLANTS (UNLESS OTHERWISE SPECIFIED) ARE TO BE BALLED & BURLAPPED OR APPROVED CONTAINER STOCK
 - ALL TREE SHRUB BACK FILL MIX TO BE:
4 PARTS CLEAN PULVERIZED TOPSOIL
1 PART MUSHROOM COMPOST
 - ALL PERENNIAL PLANTING MIX TO BE:
3 PARTS CLEAN PULVERIZED TOP SOIL
1 PART MUSHROOM COMPOST
1 PART SAND
40 # / 100 SF GYPSUM (TILL 1" OF THIS MIX IN 6" DEEP)
 - CONTRACTOR TO SUBMIT IN WRITING TO PROPERTY OWNERS, A ONE YEAR-100% PLANT GUARANTEE TO COMMENCE ON THE DAY OF PROJECT COMPLETION.
 - CONTRACTOR RESPONSIBLE FOR CALLING DIGGERS HOTLINE 1-800-342-8511 TO LOCATE ALL UTILITIES PRIOR TO STARTING PROJECT
 - ALL UTILITIES PRIOR TO STARTING PROJECT.
 - CONTRACTOR RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED FOR PROJECT INSTALLATION.
 - CONTRACTOR TO ADJUST PLANTINGS FOR UNDERGROUND UTILITY LINES, ESCAPE WINDOWS, CONDENSER UNITS AND UTILITY METERS AND OVERHEAD UTILITY LINES.



SHRUB PLANTING DETAIL (NOT TO SCALE)



PERENNIAL PLANTING DETAIL (NOT TO SCALE)



TREE PLANTING DETAIL (NOT TO SCALE)



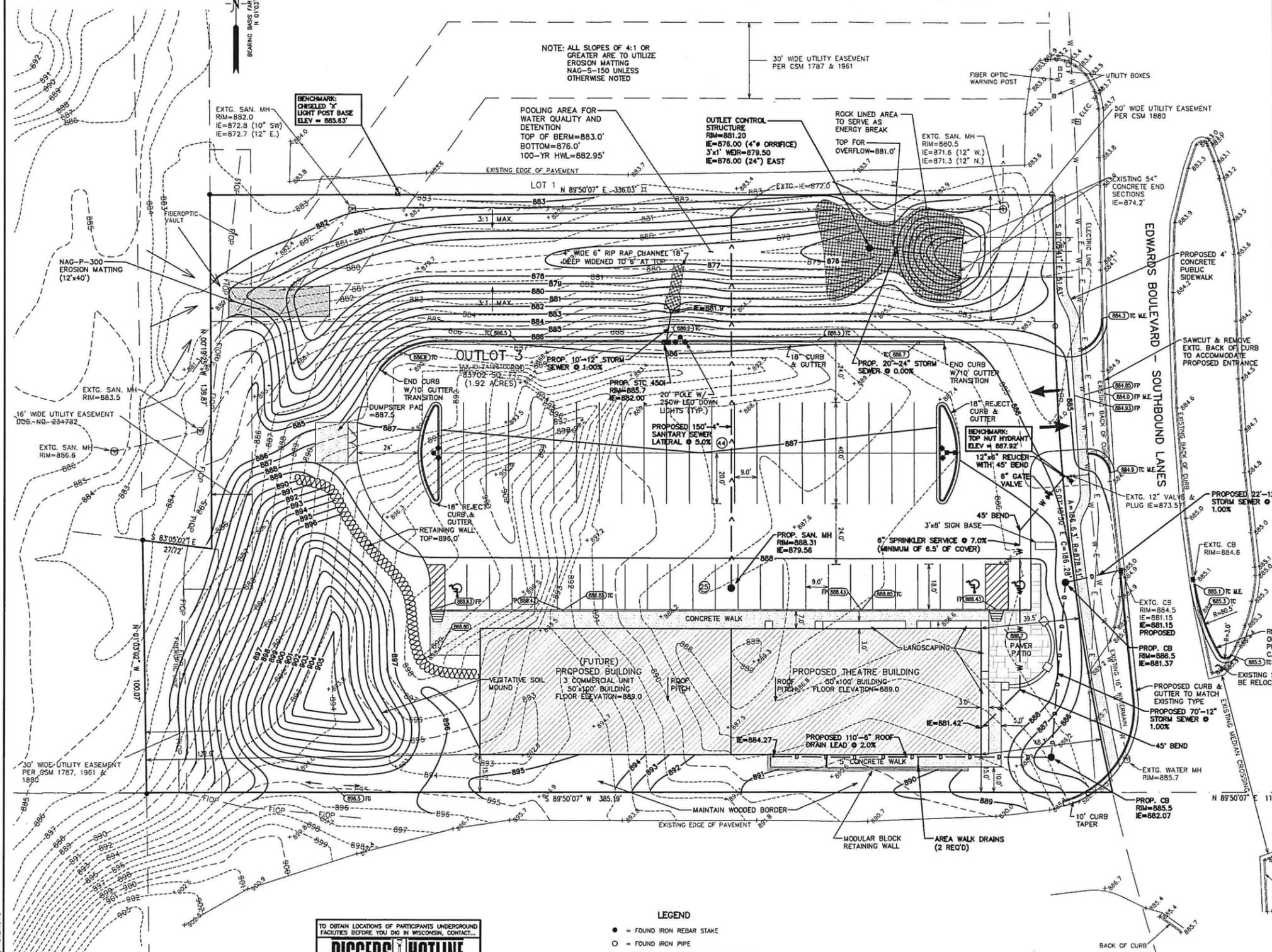
EVERGREEN PLANTING DETAIL (NOT TO SCALE)

TRISTAN CRIST MAGIC THEATER
 EDWARDS BLVD
 LAKE GENEVA, WI 53147
 MARCH 8, 2018
 BY: SIS

Scheel & Associates
 LANDSCAPE DESIGN
 RESIDENTIAL AND COMMERCIAL
 LOW VOLTAGE OUTDOOR LANDSCAPE LIGHTING
 DESIGN/INSTALLATION/MAINTENANCE
 N2020 CITY RD H #561
 LAKE GENEVA WI 53147
 Phone: (262) 348-1315
 E-mail: scheelandassociates@gmail.com
 © Scheel and Associates 2018

SITE, GRADING DRAINAGE AND EROSION CONTROL PLAN THE MAGIC THEATRE

OUTLOT 3 OF CERTIFIED SURVEY MAP NO. 1961 LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 31,
TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



- OBTAIN REQUIRED NR 216 PERMIT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES BEFORE START OF ANY LAND DISTURBING ACTIVITY ON SITE.
- HOLD PRE-CONSTRUCTION MEETING TO ADDRESS ANY ISSUES WITH PLAN AND SEQUENCE.
- INSTALL ALL APPROPRIATE EROSION CONTROL MEASURES ON SITE INCLUDING TEMPORARY SILT FENCE, STONE TRACKING PAD PER WDMR TECHNICAL STANDARDS.
- DETENTION BASIN SHALL BE DUG AND USED AS TEMPORARY SEDIMENT TRAP. TEMPORARY SWALES FROM SITE GRADING AREAS SHALL BE CREATED TO DIVERT RUNOFF WATERS AS POSSIBLE TO THE TRAP DURING EXCAVATION AND GRADING.
- CLEAR AND REMOVE VEGETATION OVER SITE GRADING AREAS (SEE SPECIFICATIONS).
- STRIP TOPSOIL FROM ACCESS ROAD AND IN PLANNED WORK AREA OF THE SITE AND STOCKPILE WHERE SHOWN ON PLAN OR AS FIELD ADJUSTED. INSTALL TEMPORARY SILT FENCE AROUND ENTIRE PERIMETER OF STOCKPILE PER WDMR TECHNICAL STANDARDS. SOIL LEFT UNDISTURBED FOR 7 DAYS MUST BE SEEDED AND STABILIZED.
- STABILIZE ALL OTHER EXPOSED SOIL AREAS OUTSIDE OF WORK AREAS OF PAVEMENT/BUILDING WITH TOPSOIL, PROPER SEEDING AND EROSION MATTING PER WDMR TECHNICAL STANDARDS.
- COMPLETE EXCAVATION OF DETENTION BASIN. STABILIZE AS GRADES ARE FINALIZED.
- AREA NORTH OF PROPOSED BUILDING SHALL BE GRADED & GRAVELED AND IS TO BE USED AS A STAGING AREA FOR THE BUILDING CONSTRUCTION.
- PROVIDE FOR FILL AND COMPACTION OF BASE MATERIALS FOR BUILDING AREAS FOLLOWED WITH FOUNDATION EXCAVATIONS IN A MANNER SUITABLE TO THE OWNER'S NEED.
- ROUGH GRADE PROPOSED DRIVES AND PARKING AREAS.
- PROVIDE FOR FILL AND COMPACTION OF BASE MATERIALS FOR BUILDING AREAS FOLLOWED WITH FOUNDATION EXCAVATIONS IN A MANNER SUITABLE TO THE OWNER'S NEED.
- INSTALL WATER AND SANITARY SERVICES AS SHOWN ON PLAN.
- INSTALL STORM SEWER, CATCH BASINS WITH END SECTIONS AS SHOWN ON PLAN.
- FINE GRADE DRIVES AND PARKING SUBGRADES.
- INSTALL GRAVEL BASE COURSE.
- CONSTRUCT ALL SIDEWALKS, CURB & GUTTER, OTHER CONCRETE FLATWORK S.
- RESTORE ALL REMAINING DISTURBED AREAS BY SEEDING WITH MULCH OR MATTING AS SHOWN ALONG WITH LANDSCAPING FEATURES.
- COMPLETE CONSTRUCTION OF ALL PAVEMENT AREAS BY INSTALLING LINDER LIFT AND MILLING FOR ABUTTING PAVEMENT PRIOR TO SURFACE PAVEMENT LIFT AS SHOWN ON THE PLAN.
- RESTORE ALL REMAINING DISTURBED AREAS BY SEEDING WITH MULCH OR MATTING AS SHOWN.
- IF SEDIMENT HAS ACCUMULATED WITHIN BASIN DURING CONSTRUCTION IT SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON FINAL STABILIZATION OF DISTURBED SURFACES ONLY AFTER VEGETATION HAS 70% GROW-IN COVERAGE.

SEQUENCE OF CONSTRUCTION

SITE AREA	- 1.93 ACRES (84,070 S.F.)
TOTAL IMPERVIOUS AREA	- 41,700 S.F. (49.6%)
PARKING LOT AREA	- 27,518 S.F. (32.7%)
MISC. CONCRETE (WALKS, ETC.)	- 4,182 S.F. (5.0%)
BUILDING AREA	- 10,000 S.F. (11.9%)
GREEN SPACE	- 42,370 S.F. (50.4%)
EXISTING ZONING	- PD PLANNED DEVELOPMENT
PROPOSED ZONING	- PB PLANNED BUSINESS
TOTAL PARKING	- 69 STALLS (INCLUDING 3 HANDICAP)

SITE SUMMARY



THE MAGIC THEATRE
CONDITIONAL USE PLAN
OUTLOT 3 OF C.S.M. NO. 1961
LAKE GENEVA, WI 53147

MASTER SITE PLAN

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGEWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS

02/13/2018	- SB ADDED 5050CP
03/06/2018	- SB ADVANCEMENT
03/13/2018	- LK ADVANCEMENT
03/16/2018	- LK ADVANCEMENT
03/22/2018	- DSR CONVERT TO SDC2CP SET

PROJECT NO. 9898
DATE 02/06/2018
SHEET NO. 1 OF 5

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CONTACT...

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2269
www.DiggersHotline.com

WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

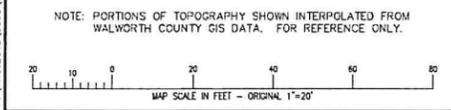
- LEGEND**
- = FOUND IRON REBAR STAKE
 - = FOUND IRON PIPE
 - = FOUND CONCRETE COUNTY MONUMENT
 - ⊙ = LIGHT POST, LOCATED
 - ⊞ = CATCH BASIN, LOCATED
 - ⊕ = SANITARY SEWER MANHOLE, LOCATED
 - (xxx) = RECORDED AS
 - TC = PROPOSED TOP OF CURB GRADE
 - FP = PROPOSED FINISHED PAVEMENT GRADE
 - FG = PROPOSED FINISHED GROUND GRADE
 - M.E. = MATCH EXISTING

- WORK ORDERED BY -
GENEVA BAY CONSTRUCTION
N2689 SUNSET BLVD
LAKE GENEVA, WI 53147

- OWNER -
T.C. PRODUCTIONS, LLC
609 WEST MAIN STREET
LAKE GENEVA, WI 53147

SHEET 1	- MASTER SITE PLAN
SHEET 2	- PHASE 1 SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN
SHEET 3	- CONSTRUCTION SPECIFICATIONS
SHEETS 4 & 5	- CONSTRUCTION DETAILS

INDEX OF SHEETS



PHASE 1 THE MAGIC THEATRE

OUTLOT 3 OF CERTIFIED SURVEY MAP NO. 1961 LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 31,
TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

NOTE: ALL SLOPES OF 4:1 OR
GREATER ARE TO UTILIZE
EROSION MATTING
MAG-5-150 UNLESS
OTHERWISE NOTED

30' WIDE UTILITY EASEMENT
PER CSM 1787 & 1961

SITE SUMMARY (PHASE 1)	
SITE AREA	1.93 ACRES (84,070 S.F.)
TOTAL IMPERVIOUS AREA	30,934 S.F. (36.8%)
PARKING LOT AREA	22,934 S.F. (27.3%)
MISC. CONCRETE (WALKS, ETC.)	3,000 S.F. (3.6%)
BUILDING AREA	5,000 S.F. (5.9%)
GREEN SPACE	53,136 S.F. (63.2%)
EXISTING ZONING	PD PLANNED DEVELOPMENT
PROPOSED ZONING	PB PLANNED BUSINESS
TOTAL PARKING	52 STALLS (INCLUDING 2 HANDICAP)

- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
- MAINTAIN 24' 2-WAY DRIVE WIDTHS UNLESS NOTED DIFFERENTLY.
- CONTRACTOR SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% ACROSS HANDICAP SPACES AS PER ADA REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM SLOPE OF 1.00% ACROSS PAVED AREAS.
- SHEET DRAINAGE ACROSS PARKING AND DRIVE SURFACES EXPECTED, POINT TO POINT STRAIGHT LINE GRADES.
- SIDEWALK TO HAVE A 5-INCH CURBED EDGE IN MOST LOCATIONS. CONTRACTOR SHALL DEPRESS SIDEWALK AT ALL STRIPED HANDICAP ACCESS AISLES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONTACT THE CITY OF LAKE GENEVA UTILITY COMMISSION TO COORDINATE CONNECTION TO EXISTING MUNICIPAL SERVICES.
- ALL WORK DONE WITHIN THE ROAD RIGHT-OF-WAY TO BE DONE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS.
- FIELD VERIFY ELEVATIONS AND LOCATION OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.

GENERAL NOTES



THE MAGIC THEATRE
CONDITIONAL USE PLAN
OUTLOT 3 OF C.S.M. NO. 1961
LAKE GENEVA, WI 53147

PHASE 1
SITE, GRADING, DRAINAGE &
EROSION CONTROL PLAN

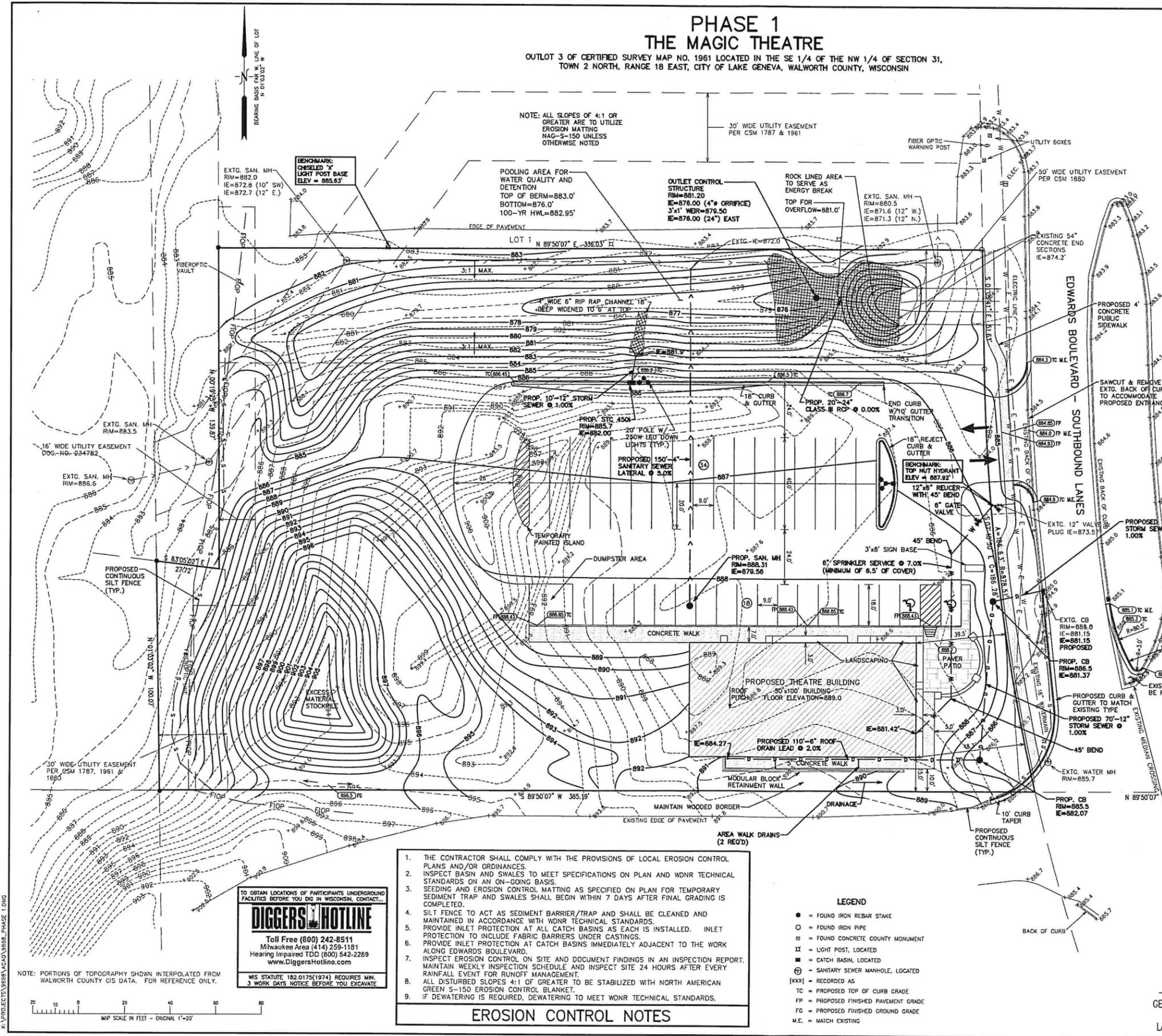
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OFFICE (262) 723-2098 FAX: (262) 723-5886

REVISIONS	
02/13/2018	SB ADDED SDCGP
03/06/2018	SB ADVANCEMENT
03/12/2018	LK ADVANCEMENT
03/16/2018	LK ADVANCEMENT
03/21/2018	LK CONVERT TO SDCGP SET

PROJECT NO.	9898
DATE	02/06/2018
SHEET NO.	2 OF 5

— WORK ORDERED BY —
GENEVA BAY CONSTRUCTION
N2689 SUNSET BLVD
LAKE GENEVA, WI 53147

— OWNER —
T.C. PRODUCTIONS, LLC
609 WEST MAIN STREET
LAKE GENEVA, WI 53147



- THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF LOCAL EROSION CONTROL PLANS AND/OR ORDINANCES.
- INSPECT BASIN AND SWALES TO MEET SPECIFICATIONS ON PLAN AND WDR TECHNICAL STANDARDS ON AN ON-GOING BASIS.
- SEEDING AND EROSION CONTROL MATTING AS SPECIFIED ON PLAN FOR TEMPORARY SEDIMENT TRAP AND SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
- SILT FENCE TO ACT AS SEDIMENT BARRIER/TRAP AND SHALL BE CLEANED AND MAINTAINED IN ACCORDANCE WITH WDR TECHNICAL STANDARDS.
- PROVIDE INLET PROTECTION AT ALL CATCH BASINS AS EACH IS INSTALLED. INLET PROTECTION TO INCLUDE FABRIC BARRIERS UNDER CASTINGS.
- PROVIDE INLET PROTECTION AT CATCH BASINS IMMEDIATELY ADJACENT TO THE WORK ALONG EDWARDS BOULEVARD.
- INSPECT EROSION CONTROL ON SITE AND DOCUMENT FINDINGS IN AN INSPECTION REPORT. MAINTAIN WEEKLY INSPECTION SCHEDULE AND INSPECT SITE 24 HOURS AFTER EVERY RAINFALL EVENT FOR RUNOFF MANAGEMENT.
- ALL DISTURBED SLOPES 4:1 OF GREATER TO BE STABILIZED WITH NORTH AMERICAN GREEN S-150 EROSION CONTROL BLANKET.
- IF DEWATERING IS REQUIRED, DEWATERING TO MEET WDR TECHNICAL STANDARDS.

EROSION CONTROL NOTES

LEGEND

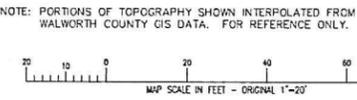
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K:\PROJECTS\9898\VCAD\9898_PHASE 1.DWG

SPECIFICATIONS FOR
SITE WORK, PARKING LOTS, SANITARY SEWER SERVICE,
WATER SERVICE, STORM SEWER CONSTRUCTION,
SITE PREPARATION, DRAINAGE AND EROSION CONTROL,
THE MAGIC THEATER
CITY OF LAKE GENEVA
WALWORTH COUNTY, WISCONSIN

GENERAL DESCRIPTION

The OWNER/BUILDER, will act as general contractor for all work as shown on the plans and further described in the following Specifications complete, and in accordance with the "Standard Specifications for Sewer and Water Construction in Wisconsin" sixth edition, December 22, 2003 with Addendum No. 1, December 22, 2003, except Part I thereof, and its Addendums hereinafter referred to as the "Standard Specifications", and the "Standard Specifications for Highway and Structure Construction", 2017 Edition, State of Wisconsin Department of Transportation, except Part I thereof, hereinafter referred to as the "State Specifications".

The project consists of all the drives, sanitary sewer service, water service, storm sewer, detention basin, site grading, drainage, building pads, and erosion control.

The work that shall be done includes furnishing all labor, tools, equipment, machinery and appliances, and all materials, except where definitely specified to the contrary, and construction complete, in working order, ready for use.

The ENGINEER, Farris, Hansen & Associates, Inc., will stake the work once at no expense to the SUBCONTRACTOR requesting stakes; however, if the SUBCONTRACTOR shall request re-staking, this work will be done at the expense of the SUBCONTRACTOR.

1. UNCLASSIFIED EXCAVATION

Unclassified excavation shall consist of all excavations necessary to provide a subgrade at suitable elevations such that roadways, drives, parking, storm basin, building sites and lands adjacent thereto can be constructed to finished elevations shown on the plans by application of stone base course and pavement or topsoil replacement as applicable.

Payment for the unclassified excavation shall be lump sum which shall include all required transportation and disposal costs of excess materials. All excess excavated materials shall be disposed of on site in designated areas as directed by either OWNER or ENGINEER.

2. SUBSURFACE SOIL INVESTIGATION

No subsurface soil investigations have been made and are summarized on the plans. The grading SUBCONTRACTOR shall be responsible in formulating his own opinion of the soils to be encountered and to what extent testing or investigation is required for him to formulate his bid.

3. SCHEDULE OF WORK

It shall be the intent of the Owner to complete all grading for the building subgrade as soon as possible to allow the building work to proceed as soon as possible. The SUBCONTRACTOR shall submit schedules for their work completion with their bids. Plans are for the work to be done in early spring of 2018.

4. TRAFFIC CONTROL

Edwards Boulevard shall be maintained in a safe condition throughout the duration of the project. The SUBCONTRACTOR shall take all precautions necessary to safely warn the public of any possible danger to travel.

Whenever the SUBCONTRACTOR'S activities obstruct through traffic, there shall be sufficient flagmen on duty to guide the traffic, and the Contractor shall furnish and install all temporary signing and barricades required to safely direct the traveling public around the obstructed area. Traffic control shall be provided in accordance with the Manual on Uniform Traffic Control Devices.

5. EXCAVATION AND BACK FILL

Excavate to elevations and dimensions required for performance of the work. Placement of backfill, excavations and base for floor slabs shall be coordinated with the concrete SUBCONTRACTOR.

Frozen material shall not be used as backfill nor shall backfill be permitted on frozen ground. No construction of any kind shall bear on frozen ground.

There is mixed fill material on-site that will not be suitable for use under new pavement or building areas and must be exported from off-site as directed by the OWNER'S representative.

6. COMPACTION

All fill material placed in embankment and under buildings and drives shall be compacted in lifts with suitable material. A geological engineer may be employed by the OWNER to do inspections and provide for testing.

Compact soil to not less than the following percentages of maximum density for soils which exhibit a well-defined moisture density relationship (cohesive soils) determined in accordance with ASTM D1557; and not less than the following percentages of relative density, determined in accordance with ASTM D2049; for soils which will not exhibit a well-defined moisture-density relationship (cohesionless soils):

A. Under Building and Paving Areas: Compact top eight inches of existing ground surface and each layer of backfill or fill material to 95 percent maximum density for cohesive soils and 90 percent relative density for cohesionless soils may be adjusted by building designer).

B. Other Areas: Compact top eight inches if existing ground surface and each layer of backfill for fill material to 95 percent maximum density for cohesive soils or 90 percent relative density for cohesionless soils.

Where soil materials must be moisture conditioned before compaction, uniformly apply water to the surface. Prevent free water from appearing on the surface of soil materials during or subsequent to compaction operations. Remove, replace, or scarify all dry air soil materials that are too wet to permit compaction to the specified density. Compact the soil materials around piping and conduit with non-operated tampers. Do not allow heavy vehicles, equipment, or machinery to operate directly over piping and conduit until a minimum of 36 inches of backfill has been placed and compacted over it.

No fill shall be placed without inspection and approval of the subgrade and fill material composition by a representative of the ENGINEER.

Method of test for density of soil in place shall be with Nuclear Densometer. Method of test for moisture-density relations of soils shall be Modified Proctor, ASTM D-1557-78. Relative density of cohesionless soils shall be established by ASTM D-2049-69, 90 percent relative density.

Excavated materials may be used for backfill outside of pavement and building areas, provided all wood, roots and other deleterious materials are removed and subject to approval by the OWNER. Excavated material shall be placed into fill areas once dried to proper moisture content or determined to be suitable by site Engineer. Excavated site materials shall be inspected, placed and compacted in lifts as recommended by the ENGINEER. All fill placed inside the building area shall be select granular imported material under slabs. Engineer may allow granular material from site excavations to be used for fill so long as required compaction can be achieved.

7. FILL

Place only select granular fill under the interior floor slab-on-grade and finish graded and compacted subgrade surfaces to the depth indicated. Maintain optimum moisture content for compacting material during placement operations.

B. SANITARY SEWER LATERAL AND WATER SERVICE

It shall be the responsibility of the CONTRACTOR to notify all public utilities such as telephone, power, gas, etc., prior to excavating to determine for himself the extent of existing underground utilities. In addition the CONTRACTOR shall be responsible for any costs involved with relocating or bracing any above ground utility poles or structures which may be weakened or on line of any proposed sewer or watermain construction.

It shall be the responsibility of the CONTRACTOR to notify any above ground utilities such as electric power utilities, phone companies, and telegraph companies to relocate or reinforce any poles, ties, or anchors, which may be on the line of the proposed sewer line, or weakened by excavation for the sewer line at no extra cost to the OWNER.

The CONTRACTOR shall carefully expose, with hand tools, all utilities which cross the proposed sanitary, storm sewer or watermain prior to construction in the immediate area of some, to allow the ENGINEER to check for conflicts. All utilities shall be protected from any disturbance throughout the project work and supported in accordance with Section 2.6.5 of the "Standard Specifications".

Sections 2.6.11, 2.6.12, 2.7.1 and 2.7.2 of the "Standard Specifications" shall be deleted and the following shall apply: The CONTRACTOR shall include within his unit price bid for utilities the cost of replacing all damaged pavements, or other existing surface improvements. Replacement of all existing surface improvements shall meet or exceed the quality of the original materials or workmanship. Existing bituminous or concrete pavements shall be saw-cut prior to excavating. The CONTRACTOR shall saw-cut the full depth of all pavement to be removed for connections. Where an open cut trench crosses an improved street, driveway, parking area or traveled way, such a crossing shall have granular backfill. The top 12" shall be crushed stone or road gravel with a surface material restorative patch corresponding to the existing surfacing but not less than 6" of hot mix bituminous material.

All excavations within established roadways, proposed parking, or driveways shall be backfilled with granular material conforming to Section 8.4.3.4. Consolidation of backfill within these established areas shall be by mechanical compaction as defined in Section 2.6.14(b). All other trenches shall be backfilled in maximum 18-inch lifts with excavated material and mechanically compacted with heavy-duty backhoes or other heavy equipment mounted compactors up to subgrade of street. Granular materials from the site, if approved, may be used for trench backfill.

All excavations outside of existing pavement or proposed pavement or walk areas may be backfilled with excavated material conforming to Section 8.4.3.5 unless the material is determined to be unsuitable. If determined unsuitable at the time of construction, granular material conforming to Section 8.4.3.4 shall be substituted. Supplemental Bid prices shall include wasting the unsuitable soils off site along with import of granular backfill. All bedding and cover materials used for sewer construction shall conform to materials as defined under Section 8.4.3.0 of the "Standard Specifications".

The CONTRACTOR shall furnish all new materials required to complete work as called for within these specifications and shown on the drawings. Sanitary lateral pipe shall conform to the following:

PVC Pipe - PVC Pipe meeting the requirements of ASTM D-3034, SDR-35 with rubber or elastomeric gasket joints. Installed piping shall be air tested prior to backfill. See sanitary sewer riser detail for connections to public sewer.

Service fittings - Gasket joint wye fittings with 45 degree bends (ASTM D-3034).

All new water service pipe shall be C-900 PVC watermain PVC water service pipe shall meet AWWA C-900, Class 150, DR-18, hydrotested to 800 psi with a service pressure of 150 psi and 35 psi surge allowance. The pipe bell shall consist of an integral wall section with a solid cross-section elastomeric ring which meets the requirements of ASTM D-1869 and/or ASTM D-3139. The cover material or bedding required above the pipe for PVC, shall be 12" of limestone 1/2" chips. Water service pipe shall be furnished in sizes as shown on plans with all fittings as required to complete installation in accord with the intent of the plans whether or not specifically shown. All fittings shall be North American made.

All bedding and cover material shall be crushed stone chips conforming to either Table 32 (3/8" crushed stone chips containing at least 85% machine fractured particles) or Table 33 (3/4" crushed stone chips containing at least 65% machine fractured particles) of Section 8.4.3.2(a) of the "Standard Specifications". Crushed pea gravel will not be allowed for use as bedding or cover material. Where pipe, fittings and valves installed at connections to existing mains cannot be sterilized and flushed similar to new main installation, existing mains and appurtenances shall be washed clean with not less than two coats of a 25% solution of hypochlorite.

Connection to existing water main shall be made at the location as shown on the Plans and in accordance with Section 4.14.1, 4.14.2 and 4.14.3 of the "Standard Specifications". The new water service shall be installed with a minimum amount of service interruption. CONTRACTOR shall schedule all connections between new and existing water main with City personnel. A minimum of 48 hours advance notice shall be given if service interruption is anticipated. Existing valves and hydrants are to be opened and closed by the City personnel only.

Disinfection of water service shall be done in accordance with Chapter 4.16.0 of the "Standard Specifications" and as modified herein. Should any test prove unsatisfactory, the water service shall be re-sterilized by CONTRACTOR using methods approved by ENGINEER and samples tested until acceptable results are obtained. The cost of all work of sterilization, flushing, sampling and processing of bacteriological samples shall be paid for by CONTRACTOR.

Water service piping shall be tested in conformance with Chapter 4.15.0 of the "Standard Specifications" and all labor, equipment and material to complete testing shall be provided by the CONTRACTOR. If a leakage test is found necessary it shall be run for a period of 3 hours. All water needed for flushing and testing will be provided by CONTRACTOR.

The interior of all sewers, water service piping and appurtenances shall be kept clean throughout construction. The Work shall be freed from all dirt and extraneous materials of all types as the work progresses and left clean at the completion of work.

9. STORM SEWER PIPE MATERIALS

The CONTRACTOR shall furnish all new materials required to complete work as called for within these specifications and shown on the drawings. Advanced Drainage System N-12 (ADS N-12) pipe shall be used throughout entire project unless specifically noted on the plans. The outlet pipe from the basin shall be Class III RCP.

10. CATCH BASINS & DROP OUTLET STRUCTURE

The provisions of Section 3.6.1 of the "Standard Specifications" shall govern except as modified hereafter. Catch basins shall be 48" I.D., unless otherwise shown, and conform to details shown on this plan, castings shall be Neenah R-2502 with Type 'B' non-rocking lid. Provide a minimum of 3 in. adjusting rings. Adjust frames and inlets as required to finish grade.

Outlet Structure shall be 48 in. I.D. minimum, precast, with flat top, constructed in accordance with Chapter 3.5.0 and in accordance with file numbers 12, 12a, 13, and 15 of the "Standard Specifications". Steps shall be OSHA approved 1/2 in. minimum diameter steel reinforcing rod molded in plastic. Casting shall be Neenah R-2565-F.

It should be noted that placement of drop outlet structure and catch basins may be modified by Engineer prior to construction if conflicts or other conditions occur.

11. PROPRIETARY STORMWATER DEVICE (STORMCEPTOR)

Device shall be a Stormceptor STC 4501 and conform to the details shown on this plan or approved equal. This unit was selected by US EPA SWMM modeling with the results available for input to WinSLAMM. This method includes volumetric and depth calculations that do not allow substitution under Tech Standard 1006 by simple equivalent square foot area.

12. SUBGRADE INSPECTION

Upon completion of final subgrade work and prior to the placement of crushed aggregate base material, the roadways and building pad areas will be inspected by the Engineer to check that conformance to the proposed grades is maintained. In addition, all subgrade shall be test rolled with a loaded quad-axle truck with the ENGINEER present before base course placement is started. At least 48 hours notice shall be given.

13. CRUSHED AGGREGATE BASE COURSE

Crushed aggregate base course shall be ten inches (10") thick for drives and placed in a minimum of two lifts and shall conform to Gradation No. 2 as specified in accordance with the "State Specifications" Section 305.2. All crushed aggregate base course shall be compacted with water truck, grader and vibrator roller.

The base course shall be crushed road gravel and shall be constructed in accordance with the requirements of Section 305 of the "State Specifications".

If undercut and compacted granular fill is ordered by the ENGINEER at the time of excavating for the subgrade, payment shall be made as an extra cost. All subgrade shall be test rolled with loaded quad-axle truck with ENGINEER present before base course placement is started.

14. BITUMINOUS CONCRETE PAVEMENT

Bituminous concrete pavement shall be 4 LT 58-28 S - 2.5 inch thickness of binder course and a 5 LT 58-28 S - 1.5 inch thickness of surface course materials. The materials and methods used in application of the bituminous concrete pavement shall comply with the general requirements of Section 450 of the "State Specifications". Asphalt shall be Type MC complying with AASHTO M82 and aggregates to Sub-section 460.2.2 of the "State Specifications". All pavement in parking areas to have a minimum 1% slope. Notify ENGINEER if any pavement is less than 1% slope before paving operations begin.

15. CONCRETE

All concrete used on this project shall be air-entraining, 6-bag mix with a minimum 28 day compressive strength of 4,000 psi. All requirements of Section 501 of the "State Specifications" shall apply unless otherwise modified herein or waived by the ENGINEER. Course aggregate shall be proportioned between Size No. 1 and No. 2 to provide suitable workability with a 6 percent air content plus or minus 1.5 percent.

16. CURB & GUTTER

Curb and gutter shall be constructed in accordance with the requirements of Section 601 of the "State Specifications" and the typical section and requirements shown on the plans unless otherwise modified herein.

Expansion joints for curb and gutter shall be provided at points where tangent and radial curb and gutter meet, and on tangent sections at a maximum spacing of 300 feet. The expansion joints shall be 1/2 in. with an approved type bituminous filler and elastomeric sealer. Contraction joints shall be placed every 10 feet along the length of the curb and gutter with a minimum of 8 feet at terminations. Place expansion joints 3 feet from each side of drainage extensions.

A tapered curb section shall be constructed at the ends of the curb and gutter where shown on the plans. The tapered curb sections shall be 10 feet long and end with a 2-inch-high curb. A contraction joint shall be placed at the end of the tapered section.

Finished surfaces of the curb and gutter shall be troweled and brushed and an impervious curing compound applied conforming with Subsections 415.2.4 and 415.2.5 of the "State Specifications". Traffic shall not be allowed on curb and gutter for a period of at least 7 days after placing or until the concrete has attained a compressive strength of at least 2,500 pounds per square inch.

17. SIDEWALK

Sidewalk shall be constructed in accordance with the requirements of Section 602 of the "State Specifications". The sidewalk shall be 5 in. constructed over a minimum 6 in. of compacted sand. Some of the sidewalk shall have an integral curbed edge of 5" as shown in the plan with broom finish, tooled joints and 3" fine finished accent edges.

Joints shall conform, in general, to the requirements of Sub-section 602.3.2.5 of the "State Specifications". Contraction joints shall be placed at uniform intervals of 5 feet. Expansion joints shall be constructed at right angles to the centerline of the sidewalk at intervals of 96 feet. Expansion joint material shall be 1/2-inch-thick and conform to the requirements of AASHTO M 153 or AASHTO M 213. Sawn contraction joints will not be acceptable.

Finished surfaces of the sidewalk shall be troweled and brushed and an impervious curing compound applied. Liquid curing agent shall conform to the requirements of AASHTO M 148, Type 2.

18. DRAINAGE SWALES & OFF PAVEMENT GRADING

Drainage swales and off pavement grading shall be constructed in accordance with details of line, grade and configuration shown on the plans and as specified under Sub-section 205.3.6 of the "State Specifications". Temporary bode ditch checks, sediment traps, diversions, silt fence, etc., shall be used to minimize erosion throughout construction. Pond area to be used as sediment trap for grading operations.

All swales and off pavement grading shall be graded smooth to inlets of the storm sewer provided. If erosion control is found necessary, fabric, silt fencing, or other materials shall be provided as directed by the ENGINEER.

19. SALVAGE, STOCKPILE & REPLACEMENT OF TOPSOIL

All topsoil on areas to be disturbed shall be stripped and stockpiled in areas as indicated on the plans or otherwise approved by the ENGINEER. After excavating and rough grading of all required areas a minimum of 6 inches topsoil shall be replaced and graded. All work shall be performed in accordance with the requirements of Section 625 of the "State Specifications". All contaminated topsoil shall be removed from the site by the CONTRACTOR. It is anticipated that no topsoil will be required to be imported.

20. TIME PERIOD FOR PAVING

Installation of the binder course shall be done after all foundation work and building framing in the late summer of 2018. The surface course shall be placed the following year. The CONTRACTOR shall provide for any lock off cost over any existing pavement required at the time of doing the surface lift. Prior to the paving operation, areas shall be regraded and additional crushed gravel provided and compacted to bring the base course to grades as shown on the plans. The base course shall be proof rolled before paving.

21. SEEDING, MULCHING, FERTILIZER & TREES (BY SEPARATE LANDSCAPE CONTRACT)

Preparation of all seed beds, sowing, and other requirements shall be in accordance with Section 630 of the "State Specifications". Seed Mixture shall be Seed Mixture No. 40, applied at a rate of 4 pounds per 1000 square feet of area. All seeded areas shall be mulched in accordance with Section 627 of the "State Specifications". Work by separate Landscape Contract.

Fertilizer to be used shall be as defined under Sub-section 629.2.1 and applied at a rate of 7 pounds per 1000 square feet of area following procedures conforming to Sub-section 629.3 of the "State Specifications" for all areas seeded or sodded.

The terraces and finished areas along basin areas shall be seeded, mulched and fertilized except as may be otherwise noted on the plans. CONTRACTOR will provide a perennial rye cover crop over other disturbed or open lands. These disturbed areas on slopes shall be prepared and seeded with Seed Mixture No. 20 applied at a rate of 5 pounds per 1000 square feet area or approved lawn turf mix.

The basin bottom and side slopes shall be prepared and seeded with Seed Mixture No. 80 (no-mow fescue) with an annual oats nurse crop applied at a rate of 5 pounds per 1000 square feet area.

Following any initial soil disturbance, permanent or temporary stabilization shall be completed within seven calendar days to the surface of all slopes greater than 3:1 after activity has ceased. In addition, all other disturbed or graded areas shall be stabilized within fourteen calendar days after activity has ceased.

All work to be coordinated with LANDSCAPER and SITE CONTRACTOR.

22. EROSION CONTROL

The Contractor shall use the current Wisconsin Department of Natural Resources Construction Site Erosion & Sediment Control Standards as a reference and guide for erosion control practices.

The Contractor shall comply with the provisions of the erosion control plans and/or local ordinances. All erosion control shall be in place prior to any land disturbance activities.

All erosion and sediment control measures shall be constructed and maintained in accordance with these Standards. Sediment control measures shall be adjusted to meet field conditions at the time of construction and installed prior to any grading or disturbance of existing surface materials. Periodic inspection and maintenance of all sediment control structures shall be provided to ensure intended purpose is accomplished. Sediment control measures are to be in working condition at the end of each working day. After any significant rainfall, sediment control structures should be inspected for integrity. Any damaged structures should be corrected for integrity. Sediment control measures should not be removed until the areas served have established vegetative cover. Stone and gravel mats should be installed at all construction site exits to prevent tracking of soil. Any tracked soil should be collected from paved roads located near the construction site. Following initial soil disturbance and work activities in the area, permanent or temporary stabilization shall be completed and stabilized within fourteen calendar days of work completion.

23. EROSION MAT (BY LANDSCAPE CONTRACT)

The CONTRACTOR shall place erosion mat over all seeded areas as required to control erosion as shown on the plans and/or as directed by the ENGINEER. Erosion mat shall be placed in accordance with the procedures recommended by the manufacturer and Section 628.3.2 of the "State Specification" or as directed by the engineer.

Erosion mat material shall be North American Green (NAG) S-150 double net straw blanket or equal and NAG P-300 or equal, as indicated on the plans.

24. RIPRAP

Riprap for the storm sewer outlet into the basin shall comply with Section 606 of the "State Specifications". Stone pieces for riprap shall range in weight from approximately 15 to 35 pounds, with not less than about 50% of the pieces weighing more than 25 pounds. Riprap shall be placed at least 12 inches thick.

Riprap used for the stone berm shall comply with Section 606 of the "State Specifications". The core shall be constructed of 6"-8" angular riprap covered with 24" of 12"-24" angular riprap. The proposed berm shall be tied into sides of basin.

All Riprap used for this project shall be placed by hand or mechanical means, not by dumping. Stones shall be laid perpendicular to the slope, with close, broken joints and shall be firmly bedded in the slope. Riprap shall be thoroughly compacted and placed to present an even, tight surface. Voids between stones shall be chinked with spalls firmly rammed into place.

Riprap shall be placed on a layer of geotextile fabric as indicated on the plans or as directed by the ENGINEER. Place the fabric in accordance with Subsection 645.3.1.6 of the "State Specifications".

The fabric shall be Geotextile Fabric, Type HR meeting the minimum values specified in Subsection 645.2.2.7. The cost of furnishing and installing fabric shall be included in the cost of riprap as bid in the proposal.

25. SEDIMENT TRAP

Sediment trap shall be constructed as part of the detention basin shown and shall be done as part of the initial BMPs. At the beginning of grading operations, a stone dike shall be installed across the existing drainage way. An overflow weir is incorporated at the outlet to discharge flow from the trap. Sediment trap shall be phased with the earthwork activity where practical. If sediment trap size shown on the grading plan cannot be constructed due to terrain, CONTRACTOR shall incorporate a "Best Fit" sediment trap that still meets the requirements of WDNR Conservation Practice #1063.

26. DETENTION BASIN

The basin shall be built at the beginning of the project and maintained throughout as a temporary sediment trap. Basin bottom and slopes shall be seeded, fertilized and mulched with Seed Mixture No. 80 applied as specified in Section 21. The grading shall be blended into the natural features on each side of the basin. The basin will be used as temporary sediment trap during construction.

The embankment core shall be compacted clay placed in lifts not exceeding 8" over the length of the embankment to prevent seepage. Grading shall conform to the lines and grades shown on the plans. The piping shall be installed as embankment material is placed and compacted.

Fill materials shall contain no sod, brush, roots or other perishable materials. Rock particles larger than three-fourths of the layer thickness shall be removed from the materials prior to compaction of the fill. Fill shall not be placed until the required excavation and preparation of the underlying foundation is completed and approved. The fill shall be so constructed that the distribution of materials throughout the fill will be essentially homogeneous and free from lenses, pockets, streaks or layers of material differing substantially in texture or gradation from the surrounding material in fill. No fill shall be placed upon a frozen surface nor shall snow, ice or frozen materials be incorporated in the fill.

The Contractor shall furnish and operate the types and kinds of equipment necessary to compact the fill material in the specified manner. Unless otherwise specified on the plans, each layer of fill shall be compacted by heavy vibrating compaction equipment suited for the material to be placed in maximum 6" lifts and bladed level prior to compaction. End sections and riprap shall be installed immediately following installation of the inlet/outlet flow storm sewer.

27. DEWATERING

All site, basin or trench dewatering shall be done by acceptable methods in strict accordance with technical standards (Code No. 1061) W DNR. No dewatering is anticipated but if needed, discharge shall be into the storm water basin and/or sediment trap at rates that can be accommodated (ENGINEER to approve).

Any dewatering being pumped directly to storm sewer, wetlands or offsite shall be done through geotextile bags. In general, dewatering shall be pumped to the storm water basin area for containment.

28. PERMITS

Contractor shall be responsible for all permit conditions concerning erosion control and City site permit conditions along with the State NOI permits. Drainage that leaves the site must be controlled and erosion prevented. It will be very important to prevent tracking of mud or other materials off site onto the roadway. If this occurs it must be immediately cleaned by power brush or other acceptable means. Anti-tracking mats are to be created and maintained as shown.



THE MAGIC THEATRE
CONDITIONAL USE PLAN
OUTLOT 3 OF C.S.M. NO. 1961
LAKE GENEVA, WI 53147

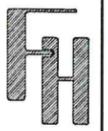
CONSTRUCTION
SPECIFICATIONS

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121

OFFICE: (262) 723-2098 FAX: (262) 723-5868

REVISIONS

PROJECT NO.
9898
DATE
03/22/2018
SHEET NO.
3 OF 5



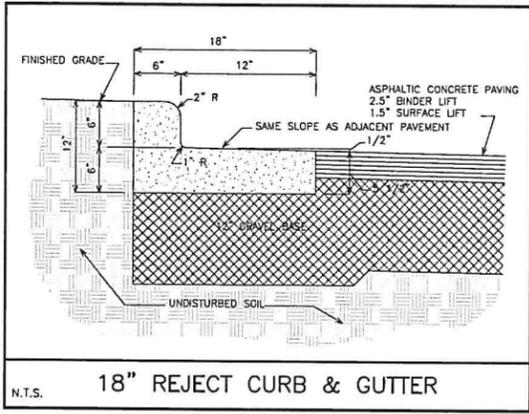
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LAKE GENEVA, WI 53147

CONSTRUCTION
DETAILS

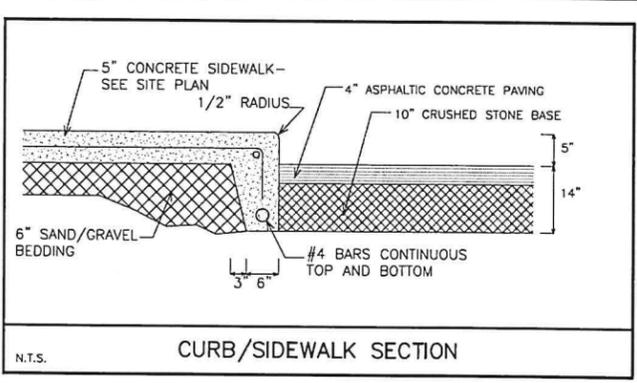
FARRIS, HANSEN & ASSOCIATES, INC.
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7 RIDGWAY COURT P.O. BOX 437
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REVISIONS

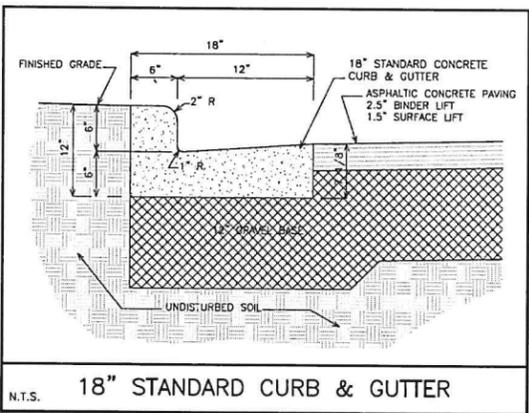
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9898
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03/22/2018
SHEET NO.
4 OF 5



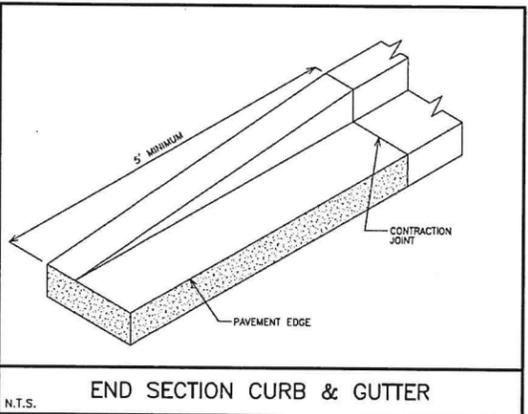
N.T.S. 18" REJECT CURB & GUTTER



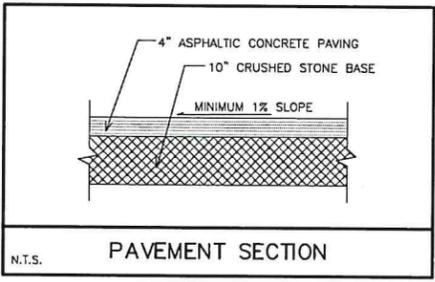
N.T.S. CURB/SIDEWALK SECTION



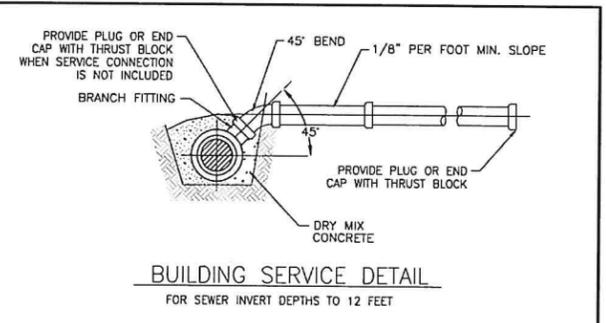
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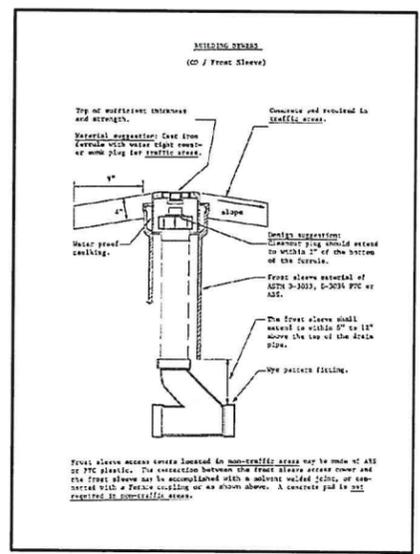
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N.T.S. PAVEMENT SECTION

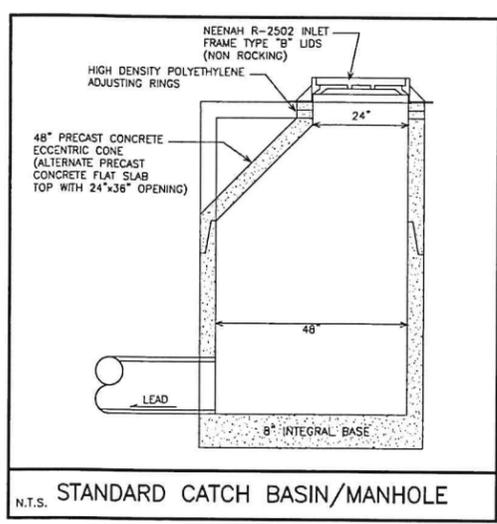


BUILDING SERVICE DETAIL
FOR SEWER INVERT DEPTHS TO 12 FEET

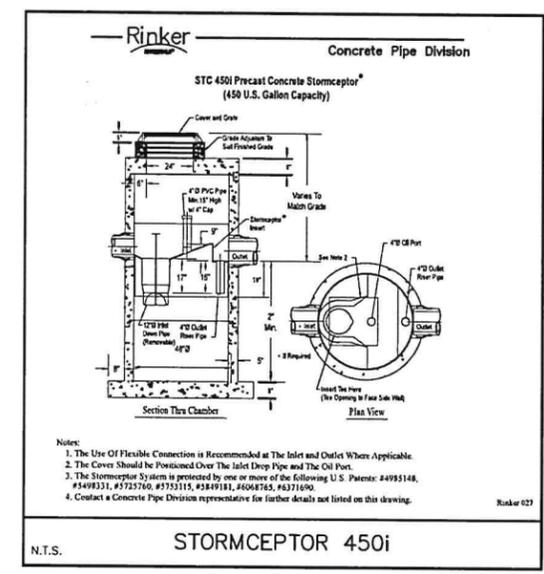


BUILDING SERVICE RISER DETAIL
FOR SEWER INVERT DEPTHS OVER 12 FEET

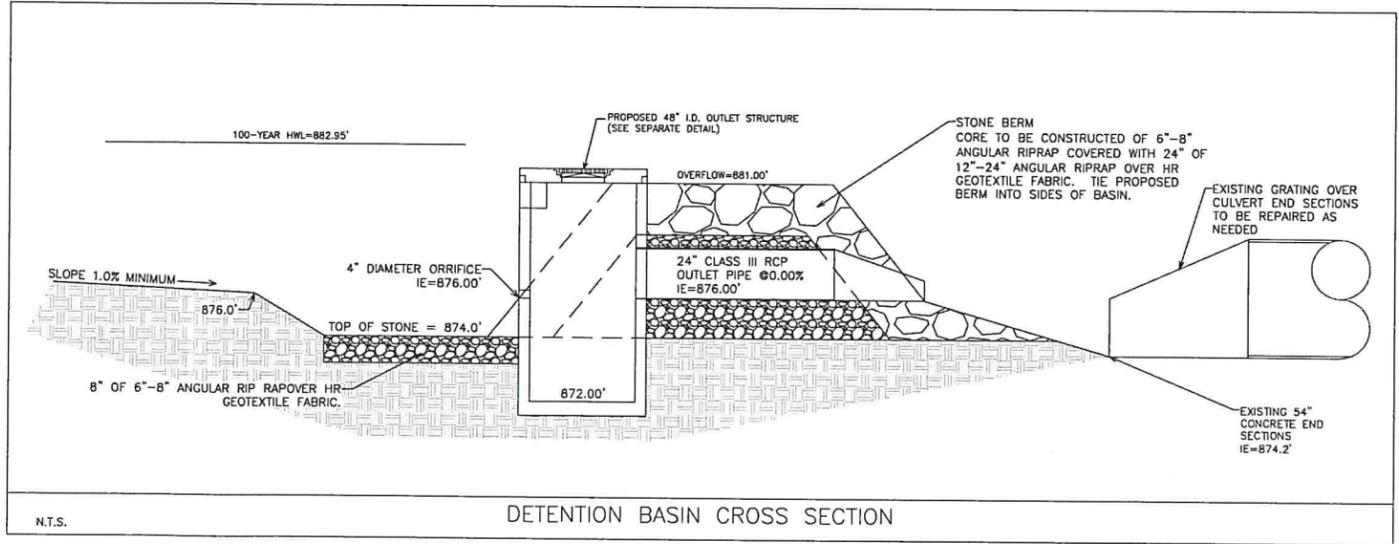
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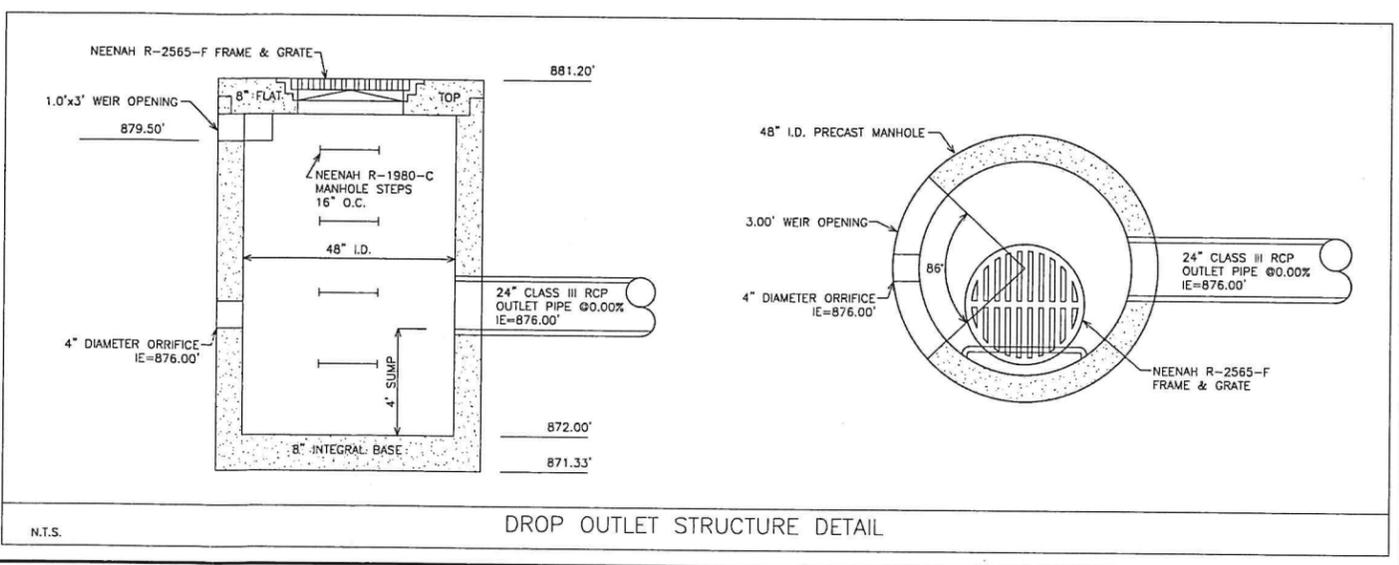
N.T.S. STANDARD CATCH BASIN/MANHOLE



N.T.S. STORMCEPTOR 450i



N.T.S. DETENTION BASIN CROSS SECTION



N.T.S. DROP OUTLET STRUCTURE DETAIL

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REVISIONS

PROJECT NO.
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5 OF 5

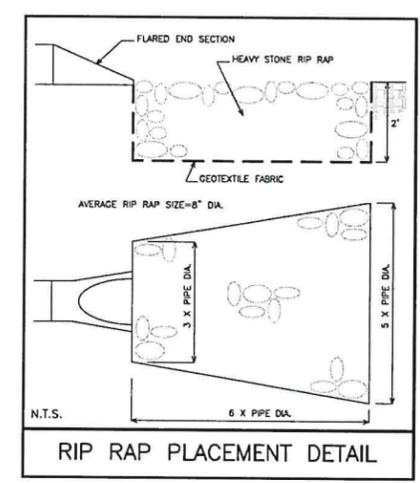
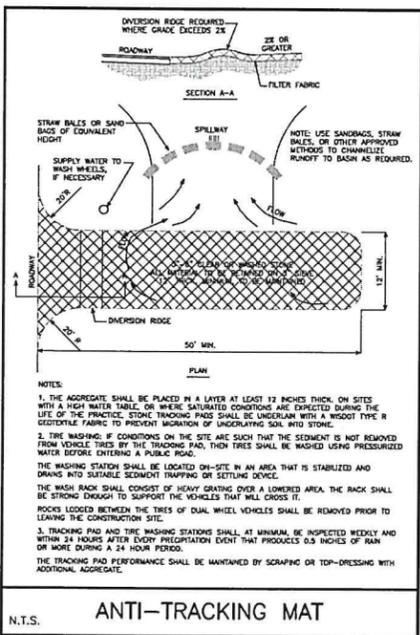
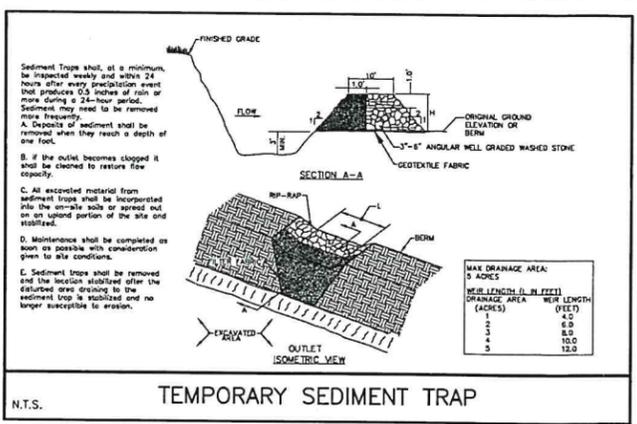
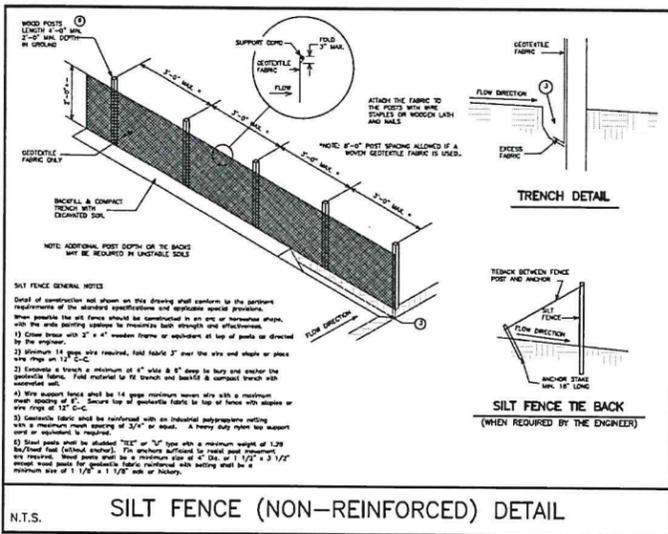
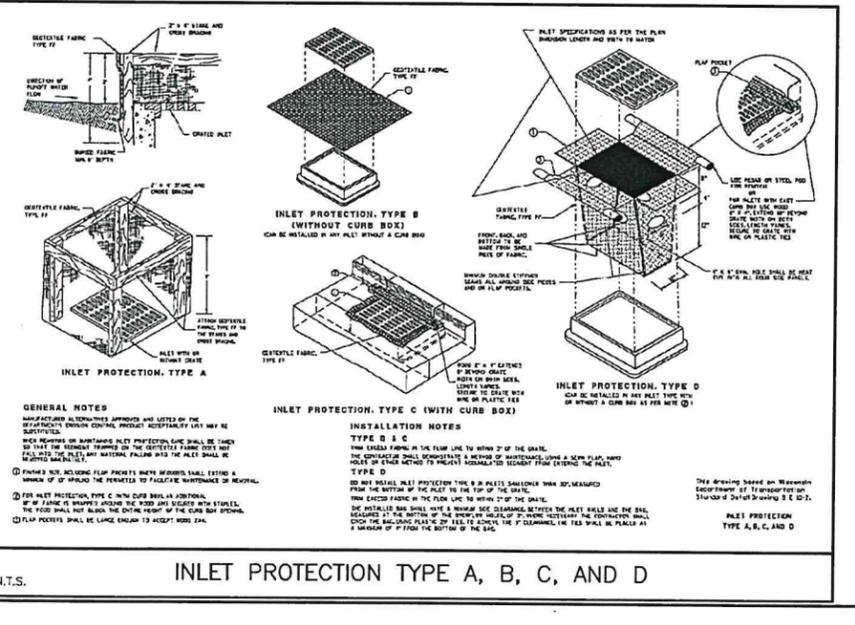
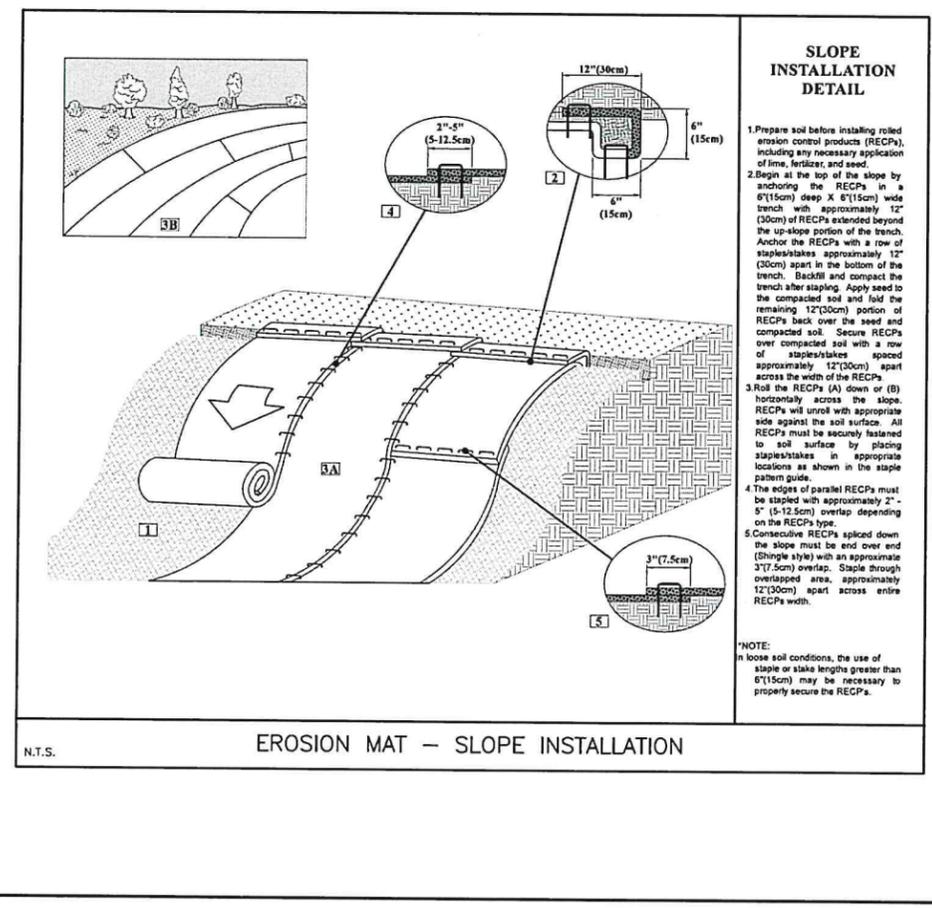
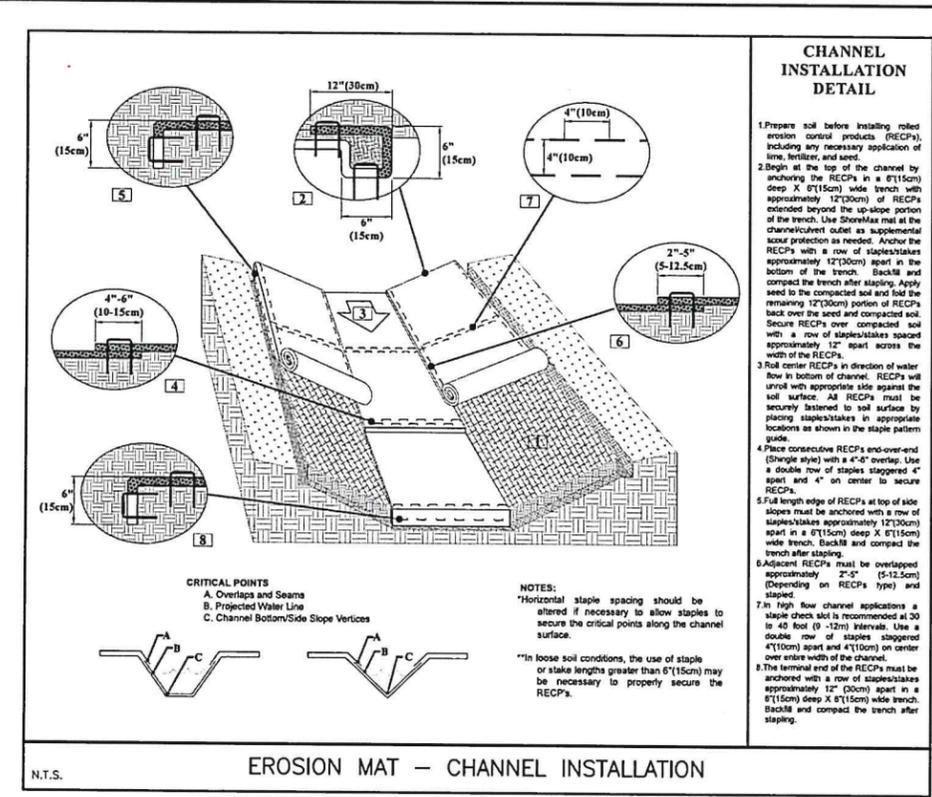


Table 1 - Prescriptive Compliance Area Soil Stabilization

Prescriptive Compliance Areas	Bare Soil	Slope & Channel Management	Periods of Inactivity	Final Grade
Soil stockpiles that will exist for more than 7 days	Areas that Do Not Drain to Sediment Basins or Traps	Design and implement approved soil stabilization practices per DNR technical standards.	Managed Inactivity Stabilize area immediately if area will be inactive for more than 14 days.	Permanent Features Stabilize area immediately after reaching final grade.
Utility trench backfills	Areas that Drain to Sediment Basins or Traps	Refer to WisDOT Slope & Channel Matrices for appropriate slope and slope length conditions.	Unmanaged Inactivity Stabilize area immediately if period of inactivity reaches 14 days.	Temporary Features Stabilize area immediately after establishment of temporary feature or reaching specified temporary grade.
Temporary ditches/wales that will exist for more than 7 days	Areas that Drain to Sediment Basins or Traps	Slopes Steeper than 70%		
Permanent ditches/wales	Areas that Drain to Sediment Basins or Traps	Provide stable diversion of off-site runoff around the slope.		
Small areas - Less than 1 acre and less than 1% of site	Areas that Drain to Sediment Basins or Traps	Provide slope interruption devices in accordance with Manufactured Porcine Control & Slope Interruption Products Technical Standard 1071 or equivalent methods to reduce unintercepted slope length.		
Discrete areas - Less than 1 acre	Areas that Drain to Sediment Basins or Traps			
Storm water practice side slopes	Areas that Drain to Sediment Basins or Traps			
Slopes steeper than 25%	Areas that Drain to Sediment Basins or Traps			





VANDEWALLE & ASSOCIATES INC.

To: The City of Lake Geneva
From: Mike Slavney, City Planning Consultant, FAICP
Date: March 13, 2018
Re: Regulation of Tourist Rooming Houses / Short-Term Rentals

Introduction

Recent changes to Wisconsin state law have severely restricted the ability of local units of government to regulate tourist rooming houses (TRHs) (also known as short-term rental units). With the rise of services to advertise and make reservation for TRHs, such as AirBnB and VRBO, the City should proactively address this issue.

This memo summarizes the ability and limitations for regulating and licensing this form of land use. City staff is seeking Plan Commission and Common Council views on this issue, in order to prepare draft amendments to the Municipal Code for later consideration.

Definition

Chapter ACTP 72 addresses hotels, motels, and tourist rooming houses. In Section 72.03(20), TRHs are defined as:

All lodging places and tourist cabins and cottages, other than hotels and motels in which sleeping accommodations are offered for pay to tourists and transients. It does not include private boarding houses or rooming houses not accommodating tourists or transients, or bed and breakfast establishments regulated under ACTP 73.

The state also allows local government to limit TRH use to a maximum of 180 days during a calendar year, and to no less than seven consecutive days. In this respect, TRHs could be a form of accessory land use to the primary use of the property as a dwelling unit. The following amendments add a definition for Tourist Rooming Houses and permit it as an accessory land use by right in every Zoning District and add it to the table of land uses.

Part One

1. Add new definition “Tourist Rooming House” (land use) to describe the new category of rental in Section 98-034:

Tourist Rooming House (land use): See Sec. 98-206(8)(y).

Part Two

2. Add to Accessory Land Uses (Subsection 98-206(8)), as new subsection (y):

(y) Tourist Rooming House

Description: Includes all lodging places and tourist cabins and cottages, other than hotels and motels, in which sleeping accommodations are offered for pay to tourists and transients. It does not include private boarding houses or rooming houses not accommodating tourists or transients, or bed and breakfast establishments regulated under ACTP 73.

1. Permitted by Right: All zoning districts.

a. Land Use Requirement:

Tourist Rooming House shall only be located as an Accessory Land Use within a Single-Family Detached Dwelling Unit as defined in Section 18-55(a).

b. Annual City License Required:

Each Tourist Rooming House shall operate only during the valid period of an Annual City of Lake Geneva Tourist Rooming House License for each calendar year. Operating a Tourist Rooming House without a current version of a valid license shall be considered a violation of this Zoning Ordinance, and subject to the penalties of Section 18-257. The following information shall be provided on an annual basis, prior to issuance of said Annual City of Lake Geneva Tourist Rooming House License:

- i. Completed City of Lake Geneva Tourist Rooming House Application, which includes the property owner name, address, and phone number; the designated operator’s name, address, and phone number; the period of operation of up to 180 days in a calendar year, which must be consecutive;
- ii. A current floor plan for the Tourist Rooming House at a minimum scale of one-inch equals 4 feet, and Site Plan of the property at a minimum scale of one-inch equals ten feet showing on-site parking spaces and trash storage areas;
- iii. General Building Code Inspection by City, and submittal of Official Building Code Inspection Report with no outstanding compliance orders remaining;
- iv. Fire Code Inspection by City, and submittal of Official Fire Code Inspection Report with no outstanding compliance orders remaining;
- v. Proof of valid property and liability insurance for the dwelling unit;
- vi. State of Wisconsin Tourist Rental House License;
- vii. Seller’s Permit issued by the Wisconsin Department of Revenue;
- viii. City of Lake Geneva Room Tax Permit; and,

- ix. Payment of an Administrative Fee, set annually by the City Board, to cover the costs to the City of administering the above.

The City of Lake Geneva Tourist Rooming House License shall be issued with the completion of the above requirements.

c. Property Management Requirements:

Each Tourist Rooming House shall be managed consistent with the following requirements:

- i. The total number of days of operation within any calendar year shall not exceed 180 days, which must be consecutive. This Period of Tourist Rooming House Operation shall be specified by the property owner in the required annual Lake Geneva Tourist Rooming House Application.
- ii. The Minimum Rental Period shall be a minimum of seven consecutive days by any one party.
- iii. The Maximum Rental Period shall be no more than 180 consecutive days by any one party.
- iv. Similar facilities in which single-family detached homes are available for less than seven days, more than 180 days, or throughout the year, are a different land use that falls within the Indoor Commercial Lodging land use category.
- v. The Maximum Number of Occupants shall not exceed the total number licensed by the State of Wisconsin or two per bedroom plus two additional occupants, whichever is less.
- vi. The Tourist Rooming House shall be operated by the property owner or by a property manager explicitly designated in the valid Lake Geneva Tourist Rooming House Application as the “Designated Operator”.
- vii. The property owner’s and the Designated Operator’s names, addresses, and 24-hour phone numbers shall be provided in the City of Lake Geneva Tourist Rooming House Application and shall be updated within 24 hours upon any change in the property manager or the property manager contact information.
- viii. The Designated Operator must reside within, or have their business located within, 25 miles of the Tourist Rooming House parcel.
- ix. The Designated Operator must be available by phone 24 hours, seven days a week, during the period of operation designated in the Lake Geneva Tourist Rooming House Application.
- x. Each tourist rooming house shall provide and maintain a Guest Register and shall require all guests to register their true names and addresses before allowing occupancy. The Guest Register shall be kept intact and available by the Designated Operator for inspection by representatives of the City for at least one year from the day of the conclusion of the period of operation.
- xi. Each tourist rooming house shall maintain the following written Business Record for each rental of the tourist rooming house: the true names and addresses of any person renting the property, the dates of the rental period (which must be a minimum of seven consecutive days), and the monetary amount or consideration paid for the rental. The Business Record shall be kept

intact and available by the Designated Operator for inspection by representatives of the City for at least one year from the day of the conclusion of the period of operation.

d. Property Operational Requirements:

Each Tourist Rooming House shall be operated per the following requirements:

- i. The “Requirements for Tourist Rooming House Guests” form provided by the City of Lake Geneva to summarize City requirements for Tourist Rooming Houses, and the Site Plan for the subject property clearly depicting guest parking spaces and the rear yard, shall be posted on the inside of the front door of each tourist rooming house throughout its period of operation.
- ii. Parking Requirements:
 - [a] A minimum of two off-street parking spaces shall be provided on the subject property for each Tourist Rooming House. If the Tourist Rooming House provides three or more bedrooms, an additional on-site parking space is required for each additional bedroom over two.
 - [b] All guest parking for vehicles and trailers shall be within a parking space designated on the Site Plan, on an area paved with concrete or asphalt.
 - [c] All guest vehicles and trailers may only park on-site. Street parking for guests is not permitted.
 - [d] No parking is permitted on gravel, lawn, or planter bed areas.
- iii. Site Appearance Requirements:
 - [a] Aside from a changing mix of guests and their vehicles, there shall be no evidence of the property being used as a Tourist Rooming House visible on the exterior of the subject property.
 - [b] No exterior signage related to the Tourist Rooming House is permitted, other than the property address.
 - [c] No outdoor storage related to the Tourist Rooming House land use is permitted, except for typical residential recreational equipment, seating, and outdoor cooking facilities which are permitted only within the rear yard.
 - [d] No recreational vehicle, camper, tent, or other temporary lodging arrangement shall be permitted to accommodate guests.
- iv. Neighborhood Impact Requirements:
 - [a] No outdoor activity shall occur between the hours of 10:00 p.m. and 7:00 a.m.
 - [b] At all times, no noise, lighting, odor or other impacts from the subject property shall be detectable at the property line at levels exceeding the requirements of Article VII of the Lake Geneva Zoning Ordinance.
 - [c] No vehicular traffic shall be generated by the Tourist Rooming House at levels exceeding those typical for a detached single-family dwelling unit.
- v. Tourist Rooming House Advertising:
 - [a] No outdoor advertising is allowed on the subject property.

[b] The Tourist Rooming House shall not be advertised for availability in any form of media unless the required City of Lake Geneva Tourist Rooming House License has been issued.

e. Penalties and License Revocation

- i. Violations of the requirements for Tourist Rooming Houses, the provisions of the Tourist Rooming House License, and all other the requirements of the Zoning Ordinance are subject to separate daily fines per Section 98-936. Violations will be issued to, and will be the responsibility of, the property owner.
- ii. The Annual Tourist Rooming House License may be revoked for more than two violations of the requirements of the License, the requirements specific to Tourist Rooming Houses, the License, or the remainder of Zoning Code.

Part Three

The following changes add Tourist Rooming Houses as an accessory use permitted by right in every zoning district.

3a. Add the following Subsection to Section 98-105(1)(a)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3b. Add the following Subsection to Section 98-105(2)(a)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3c. Add the following Subsection to Section 98-105(2)(b)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3d. Add the following Subsection to Section 98-105(2)(c)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3e. Add the following Subsection to Section 98-105(2)(d)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3f. Add the following Subsection to Section 98-105(2)(e)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3g. Add the following Subsection to Section 98-105(2)(f)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3h. Add the following Subsection to Section 98-105(3)(a)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3i. Add the following Subsection to Section 98-105(3)(b)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3j. Add the following Subsection to Section 98-105(3)(c)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3k. Add the following Subsection to Section 98-105(3)(d)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3l. Add the following Subsection to Section 98-105(3)(e)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3m. Add the following Subsection to Section 98-105(3)(f)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3n. Add the following Subsection to Section 98-105(3)(g)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3o. Add the following Subsection to Section 98-105(3)(g)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3p. Add the following Subsection to Section 98-105(3)(h)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3q. Add the following Subsection to Section 98-105(3)(i)2.c.1):

Tourist Rooming House (see Section 98-206(8))

3r. Add the following Subsection to Section 98-105(3)(j)2.c.1):

Tourist Rooming House (see Section 98-206(8))

Part Four

4. Amend Section 98-203(1) "Table of Land Uses- Accessory Uses" (Section 206(8)) to add row (y) under Accessory Land Uses:

P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	(y) Tourist Rooming House
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Resolution 18-R35

A resolution confirming the Mayor's Citizens Appointments to the Committees and Commissions of the City of Lake Geneva

WHEREAS, the appointments are as follows;

<u>Committee/Commission</u>	<u>Member Name</u>	<u>Term Expiration</u>
Oak Hill Cemetery Board	Arlene Krohn	May 1, 2020
Oak Hill Cemetery Board	Maureen Allenstein	May 1, 2020
Lake Geneva Public Library Board	Ron Henningfeld	May 1, 2021
City Plan Commission	Michael Krajovic	May 1, 2021
Historic Preservation	Jackie Getzen	May 1, 2021
Board of Park Commissioners	Barbara Phillips	May 1, 2021
Police and Fire Commission	Jim Connors	May 1, 2023
Tourism Commission	Chris Gelting	May 1, 2019
Tourism Commission	Charlie Lorenzi	May 1, 2019
Tourism Commission	Andrew Fritz	May 1, 2019
Tourism Commission	Tammie Carstensen	May 1, 2019
Zoning Board of Appeals, Chairperson	Alan Kupsik	May 1, 2021
Zoning Board of Appeals	Todd Krause	May 1, 2021
Avian Committee	Beverly Leonard	May 1, 2020
Avian Committee	Jill Rodriguez	May 1, 2020

BE IT RESOLVED, by the Common Council of the City of Lake Geneva that the proper city official(s) confirm the Mayor's appointments to the non standing committees and commissions, on this 23rd day of April, 2018.

Tom Hartz, Mayor

ATTEST:

Lana Kropf, City Clerk

**City of Lake Geneva
Finance, License, & Regulation Committee
April 17, 2018**

**Prepaid Checks
3/30/18 - 4/13/18**

**Total:
\$15,714.57**

Checks over \$5,000:

\$	-
\$	-
\$	-
\$	-
\$	-

FROM 03/30/2018 TO 04/09/2018

VENDOR #	INVOICE #	ITEM DESCRIPTION	ACCOUNT NUMBER	INV. DATE	P.O. NUM	CHECK #	CHK DATE	CHECK AMT	INVOICE AMT/ ITEM AMT
CHASE	CHASE CARD SERVICES								
	7531-3/18			03/21/18		67208	04/06/18	4,072.15	4,072.15
		01 EXXONMOBIL-OBORN REIMB	1100001391						30.32
		02 CITY OF EAUCLAIRE-WCMA PARKING	1114205330						14.00
		03 LISMORE HOTEL-ICMA CONF	1114205331						278.00
		04 JMAC SUPPLY-SMOKE DETECTOR	4055105350						77.95
		05 HAMPTON-ARBOR CONF-FOSTER	1132135410						288.00
		06 SERVICE CASTER-DOLLY WHEELS	1132105340						53.18
		07 CITY OF MADISON-SFTY CLASS PKG	1132105330						11.05
		08 IAE-ELEC INSPCT CODE BOOK	1124005310						33.46
		09 OFFCSPLY.COM-COMPTROLLER CHAIR	1115105310						182.17
		10 COMPLYRIGHT-1095C FILING	1115105310						15.90
		11 STAPLES-STYLUS PENS	4234505310						19.98
		12 SUBWAY-POLLWORKER DINNER	1114305311						63.30
		13 SMPICE ELSE-KROPF/ELDER LUNCH	1114305311						37.80
		14 CONSTANT CONTACT-EMS	1129005413						344.25
		15 CONSTANT CONTACT-CH	1115105450						344.25
		16 GODADDY-DOMAIN RENEWALS 2018	1115105450						30.34
		17 GODADDY-UCC SSL RENEWALS 2018	1115105450						169.99
		18 WALMART-PENS, POSTITS, FASTENERS	1114305311						17.66
		19 WIMC-CERT	1114305332						100.00
		20 HOME DEPOT-RETURN STAKES	4332101701						-7.49
		21 COMFORT INN-ACTV SHTR TRNG-JP	1122005144						82.00
		22 HOMEDEPOT-SOLAR SALT, LT BULBS	1122005350						385.08
		23 WIPARAMEDIC-CLASS-KOLLER	1122005332						195.00
		24 ZIPTAPE-LABELS	1122005340						34.56
		25 HOMEDEPOT-STAKES	4332101701						14.98
		26 HOMEDEPOT-SHOP VAC	1122005350						29.97
		27 HOMEDEPOT-WINDOW BLINDS	1122005350						236.85
		28 LAERDAL-ACLS/PALS INSTR KITS	1122005610						453.05
		29 USPS-WAUKESHA	9900005312						1.42
		30 BAYSCAN-PAPER	9900005511						162.00
		31 BAYSCAN-EPSON TM T88IV	9900005514						373.13
								VENDOR TOTAL:	4,072.15
EQUAL	EQUAL RIGHTS DIVISION								
	250-3/18			03/31/18		700059	04/05/18	7.50	7.50
		01 WORK PERMITS-MAR	1100002422						7.50
								VENDOR TOTAL:	7.50
MUTUA	MUTUAL OF OMAHA								
	RE040518			04/01/18		67209	04/06/18	1,289.66	1,289.66
		01 CEM DISABILITY-APR	4800005137						29.16

FROM 03/30/2018 TO 04/09/2018

VENDOR #	INVOICE #	ITEM DESCRIPTION	ACCOUNT NUMBER	INV. DATE	P.O. NUM	CHECK #	CHK DATE	CHECK AMT	INVOICE AMT/ ITEM AMT
	RE040518			04/01/18		67209	04/06/18	1,289.66	1,289.66
		02 PKG DISABILITY-APR	4234505137						16.81
		03 CH DISABILITY-APR	1110205134						179.95
		04 LIB DISABILITY-APR	9900005137						56.63
		05 PD DISABILITY-APR	1110205134						568.95
		11 STR DISABILITY-APR	1110205134						210.41
		12 UTIL DISABILITY-APR	1100001634						154.50
		13 WWTF DISABILITY-APR	1100001634						73.25
								VENDOR TOTAL:	1,289.66
VERIZON	VERIZON WIRELESS								
	9804182505			03/23/18		67210	04/06/18	335.04	335.04
		01 CELL CHGS-MAR	1122005221						335.04
								VENDOR TOTAL:	335.04
								TOTAL --- ALL INVOICES:	5,704.35

FROM 04/11/2018 TO 04/13/2018

VENDOR #	INVOICE #	ITEM DESCRIPTION	ACCOUNT NUMBER	INV. DATE	P.O. NUM	CHECK #	CHK DATE	CHECK AMT	INVOICE AMT/ ITEM AMT
LGUTI	LAKE GENEVA UTILITY								
	RE041218			04/01/18		67409	04/12/18	4,855.95	4,855.95
		02 11.1999.00 VETS PK STORAGE BLD	1152015226						140.72
		03 11.2000.00 VETS PARK	1152015226						152.54
		04 11.2001.00 VETS CONCESSION	1152015226						140.52
		05 3.0420.00 1070 CAREY	1132105226						45.50
		06 3.0424.00 1065 CAREY	1132105226						142.57
		07 3.0425.00 1055 CAREY	1132105226						56.94
		09 4.0307.00 818 GENEVA	4234505220						29.09
		11 4.0402.00 918 MAIN ST LIB	9900005222						243.00
		12 4.0404.00 COOK & MAIN	1152005226						142.73
		13 4.0466.00 BEACH HOUSE	4054105399						140.81
		14 4.0468.00 WRIGLEY DR/TOP	4055105226						394.10
		15 4.0469.00 LOWER RIVIERA	4055205226						254.10
		17 4.0472.00 IRRIGATION LIB PARK	1152005227						36.91
		18 4.0474.00 LIB PK RESTROOM	1152005226						146.07
		19 5.0100.00 626 GENEVA	1116105226						348.66
		20 5.0101.00 626 GENEVA ST PF	1116105226						60.53
		21 5.0114.00 255 MILL/MUSEUM	1151105226						203.33
		22 5.0138.00 720 GENEVA	1152005227						29.09
		24 5.0253.00 FLAT IRON PK RESTRM	1152005226						1,204.45
		25 5.0255.00 CHAMBER OF COMMERCE	1152005226						30.48
		26 5.0257.00 WRIGLEY DR STATUE	1152005227						29.09
		27 5.0280.00 BAKER/WILLOW SMN PK	1152005226						77.41
		28 5.0300.00 255 MILL ST FP	1151105226						190.93
		29 6.0034.00 CEMETERY RD	4800005226						44.42
		30 6.0550.00 WILLIAMS ST PK	1152005227						29.09
		31 7.0415.00 730 MARSHALL	1122005226						465.46
		33 8.0452.00 SAGE ST/DUNN FLD	1152005226						77.41
								VENDOR TOTAL:	4,855.95
MOELL	AMANDA MOELLER								
	MILEAGE 4/11/18			04/11/18		67410	04/12/18	52.76	52.76
		01 TRNG REIMB 96.8 MILES	1121005330						52.76
								VENDOR TOTAL:	52.76
SOMAR	SOMAR TEK LLC/SOMAR ENTERPRISE								
	100872			03/28/18		67411	04/12/18	225.40	225.40
		01 PORTABLE RADIOS	5021005800						225.40
								VENDOR TOTAL:	225.40
SONRI	SONRISE CONSTRUCTION INC								
	02/28/18			02/28/18		67412	04/12/18	3,262.50	3,262.50

FROM 04/11/2018 TO 04/13/2018

VENDOR #	INVOICE #	ITEM DESCRIPTION	ACCOUNT NUMBER	INV. DATE	P.O. NUM	CHECK #	CHK DATE	CHECK AMT	INVOICE AMT/ ITEM AMT
	02/28/18	01 WHITE RIVER PED BRIDGE PMT #2	4352005300	02/28/18		67412	04/12/18	3,262.50	3,262.50 3,262.50
								VENDOR TOTAL:	3,262.50
UNEMP		UNEMPLOYMENT INSURANCE							
	8906689	01 UE-PARKING	1110005154	03/31/18		700060	04/12/18	691.98	691.98 335.00
		02 UE-CH	1110005154						356.98
								VENDOR TOTAL:	691.98
VERIZON		VERIZON WIRELESS							
	9804558025	01 AIR CARDS-MAR	1129005221	04/01/18		67413	04/12/18	921.63	40.01 40.01
	9804720738	01 AIR CARDS-MAR	1121005221	04/03/18		67413	04/12/18	921.63	881.62 881.62
								VENDOR TOTAL:	921.63
								TOTAL --- ALL INVOICES:	10,010.22

City of Lake Geneva
Finance, License, & Regulation Committee
April 17, 2018

Accounts Payable

	<u>Fund #</u>	
1. General Fund	11	\$ 131,861.80
2. Debt Service	20	\$ -
3. TID #4	34	\$ -
4. Lakefront	40	\$ 42,843.13
5. Capital Projects	52	\$ 58,781.69
6. Parking	42	\$ 2,313.14
7. Cemetery	48	\$ 417.55
8. Equipment Replacement	50	\$ -
9. Library Fund	99	\$ 1,381.76
10. Impact Fees	45	\$ 42,660.00
11. Tourism Commission	47	\$ -
Total All Funds		<u><u>\$280,259.07</u></u>

**CITY OF LAKE GENEVA
ACCOUNTS PAYABLE UNPAID ITEMS OVER \$5,000**

**FINANCE, LICENSE, & REGULATION COMMITTEE
4/17/2018**

TOTAL UNPAID ACCOUNTS PAYABLE **\$ 280,259.07**

ITEMS > \$5,000

Glen Fern Construction - Flat Iron Park Restroom Remodel (Draw 2) \$ 77,854.65

Lake Geneva Utility Commission - Impact fees \$ 42,660.00

Johns Disposal Service - April Refuse & Recycling Service \$ 38,842.65

Gage Marine - Pier Repairs \$ 38,116.69

Alliant Energy - April Electric Bills \$ 19,451.48

Schenck Business Solutions - 2017 Audit \$ 9,500.00

Balance of Other Items \$ 53,833.60

INVOICES DUE ON/BEFORE 04/24/2018

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

ADVAND ADVANCED DISPOSAL SERVICES							
A40000009151	03/31/18	01	LANDFILL USE-BULK	1136005296		04/24/18	1,785.00
		02	LANDFILL USE-98.69 TON	1136005296			1,394.55
						INVOICE TOTAL:	3,179.55
						VENDOR TOTAL:	3,179.55
ALLIANT ALLIANT ENERGY							
RE041018	04/18/18	01	ACCT #026273-HAVENWOOD FLSH	1134105222		04/24/18	12.14
		02	ACCT #057300-SOUTH/WELLS FLSH	1134105222			17.32
		03	ACCT #064442-WELLS ST FLSH	1134105222			19.48
		04	ACCT #072470-MAIN ST LITES	1134105223			338.76
		07	ACCT #108571-1055 CAREY	1132105222			200.70
		08	ACCT #111395-BROAD ST TRFC LT	1134105223			53.63
		11	ACCT #148614-HWY 50/12 FLASHER	1134105222			15.35
		12	ACCT #152472-W COOK SIREN	1129005222			18.14
		13	ACCT #161895-RIVIERA ELEC	4055305222			1,791.60
		14	ACCT #165231-BEACH HOUSE	4054105222			298.35
		15	ACCT #178450-INTCHG N/SHER SPR	1134105223			77.54
		16	ACCT #182684-HWY 120/BLMFLD LT	1134105223			96.56
		17	ACCT #243254-LIBRARY PARK	1152005222			22.15
		18	ACCT #252132-EDWDS BLVD/WM SIG	1134105223			80.27
		20	ACCT #293132-SAGE ST/DUNN SRN	1129005222			5.03
		21	ACCT #303645-MS2 STREET LTS	1134105223			303.67
		22	ACCT #327582-DUNN FIELD	1152005922			200.10
		23	ACCT #339772-SNAKE RD/HWY 50	1134105222			14.15
		24	ACCT #363673-VETS PK/TWNLN RD	1152015222			143.22
		25	ACCT #393713-MUSEUM 256 MILL	1151105222			697.31
		27	ACCT #401872-WELLS ST FLSH	1134105222			14.91
		28	ACCT #414694-HOST DR WATER TWR	1122005222			211.45
		29	ACCT #422323-GENEVA SQ TRF LT	1134105223			34.87
		30	ACCT #433371-LIBRARY	9900005222			991.03
		31	ACCT #457625-LOT LITE GNVA ST	1134105223			335.96
		32	ACCT #462852-WELLS ST FLSH	1134105222			77.41
		33	ACCT #549716-FLAT IRON PARK	1152005222			172.40

INVOICES DUE ON/BEFORE 04/24/2018

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

ALLIANT	ALLIANT ENERGY						
RE041018	04/18/18	34	ACCT #566211-W HWY 50 BLK FLSH	1134105222		04/24/18	14.15
		35	ACCT #595515-LIB PARK RESTROOM	1152005222			175.65
		36	ACCT #602235-724 WILLIAMS ST	1134105223			27.08
		37	ACCT #604445-S LAKESHORE DR FL	1134105222			11.57
		38	ACCT #622184-S LAKESHORE DR	1152005222			29.76
		39	ACCT #630016-COOK ST/HWY 50	1134105223			36.33
		40	ACCT #661112-OAK HILL CEMETERY	4800005222			198.45
		41	ACCT #684954-730 MARSHALL SRN	1129005222			28.62
		43	ACCT #688465-TENNIS CTS/SCHL	1152005222			16.12
		44	ACCT #718894-OAK HILL CEMETERY	4800005222			30.99
		46	ACCT #732492-389 EDWDS TRF LT	1134105223			127.77
		47	ACCT #734115-HWY 50/HWY 12 LTS	1134105222			31.22
		48	ACCT #738154-RUSHWOOD PARK	1152005222			27.16
		49	ACCT #758433-700 GENEVA ST LOT	1134105223			251.94
		50	ACCT #758940-1065 CAREY ST	1132105222			492.03
		51	ACCT #759513-STREET LIGHTS	1134105223			6,880.19
		52	ACCT #800930-VETS PK SCOREBRD	1152015222			166.85
		53	ACCT #837813-SEM PARK RESTROOM	1152005222			21.25
		54	ACCT #895526-HWY 50 TRF LT	1134105223			135.09
		55	ACCT #912610-GEORGE ST FLSHR	1134105222			11.87
		56	ACCT #923482-1070 CAREY ST	1132105222			241.63
		59	ACCT #926683-FLAT IRON PK/WRGL	1152005222			18.42
		60	ACCT #932215-DODGE ST FLSHR	1134105222			11.27
		63	ACCT #940353-IMPND 1070 CAREY	1121005222			21.43
		64	ACCT #952816-FIRE HOUSE	1122005222			879.21
		65	ACCT #957203-HWY 120/TWNLD RD	1134105222			83.22
		66	ACCT #965570-201 EDWARDS SIREN	1129005222			19.99
		67	ACCT #969933-CITY HALL	1116105222			2,688.68
		68	ACCT #973443-VETS PARK PAVLN	1152015222			214.13
		69	ACCT #980910-DONIAN PARK	1152005222			211.90
		70	ACCT #998403-COBB PARK	1152005222			25.10
		71	ACCT #2626179751-HVNWD/MAIN	1134105223			78.91
						INVOICE TOTAL:	19,451.48
						VENDOR TOTAL:	19,451.48

INVOICES DUE ON/BEFORE 04/24/2018

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

AMYS	AMY'S SHIPPING EMPORIUM						
15486	03/30/18	01	DELTRAN-BATTERY RETURN	4234505312		04/24/18	53.94
						INVOICE TOTAL:	53.94
						VENDOR TOTAL:	53.94
AT&TL	AT&T LONG DISTANCE						
RE041018	04/04/18	01	LONG DIST-APR	1100001391		04/24/18	22.85
		03	LONG DIST-APR	4800005221			0.84
		04	LONG DIST-APR	1132105221			3.82
		05	LONG DIST-APR	1122005221			5.73
		06	LONG DIST-APR	9900005221			18.07
		07	LONG DIST-APR	1121005221			107.02
		08	LONG DIST-APR	1116105221			0.02
		09	LONG DIST-APR	1112005221			0.24
						INVOICE TOTAL:	158.59
						VENDOR TOTAL:	158.59
AUROE	AURORA EAP						
17795	03/26/18	01	2ND QTR FEE	1110205135		04/24/18	937.50
						INVOICE TOTAL:	937.50
						VENDOR TOTAL:	937.50
AUROM	AURORA MEDICAL GROUP						
IN175	03/31/18	01	EMP CLINIC-MAR	1110205133		04/24/18	3,075.00
						INVOICE TOTAL:	3,075.00
						VENDOR TOTAL:	3,075.00
BEARG	BEAR GRAPHICS						
793361	03/27/18	01	VOTER # SLIPS-APR ELECTION	1114305311		04/24/18	229.26
						INVOICE TOTAL:	229.26
793678	03/29/18	01	ABSENTEE ENVELOPES	1114305311		04/24/18	231.73
						INVOICE TOTAL:	231.73

INVOICES DUE ON/BEFORE 04/24/2018

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

BEARG	BEAR GRAPHICS						
793686	03/29/18	01	ABSENTEE ENVELOPES OUTER	1114305311		04/24/18	222.78
						INVOICE TOTAL:	222.78
						VENDOR TOTAL:	683.77
BREEZY	BREEZY HILL NURSERY						
I-212464	03/28/18	01	TOP SOIL-8 YDS	1132135430		04/24/18	192.00
						INVOICE TOTAL:	192.00
I-212481	03/29/18	01	TOP SOIL-6 YDS	1132135430		04/24/18	144.00
						INVOICE TOTAL:	144.00
I-212483	03/29/18	01	TOP SOIL-6 YDS	1132135430		04/24/18	108.00
						INVOICE TOTAL:	108.00
						VENDOR TOTAL:	444.00
BUMPL	BUMPER TO BUMPER AUTO PARTS						
662-286129	04/04/18	01	TAP PLUG	1132105351		04/24/18	4.29
						INVOICE TOTAL:	4.29
662-386548	04/12/18	01	BLACK SPRAY PAINT	1132105351		04/24/18	12.98
						INVOICE TOTAL:	12.98
662-386551	04/12/18	01	BRAKE FLUID	1132105351		04/24/18	15.38
						INVOICE TOTAL:	15.38
						VENDOR TOTAL:	32.65
CDW	CDW GOVERNMENT INC						
MDC3556	04/20/18	01	USB FLASH DRIVES	1114305310		04/24/18	41.15
						INVOICE TOTAL:	41.15
						VENDOR TOTAL:	41.15
CES	CES						

INVOICES DUE ON/BEFORE 04/24/2018

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
CES	CES						
LKG/002422	04/11/18	01	CM-WIRE #LKG/046083	1134105261		04/24/18	-39.73
						INVOICE TOTAL:	-39.73
LKG/045916	04/02/18	01	LIGHT BULBS FOR BUILDING	1132105350		04/24/18	189.00
						INVOICE TOTAL:	189.00
LKG/046083	04/09/18	01	WIRE-MAIN ST LIGHT RPR	1134105261		04/24/18	495.20
						INVOICE TOTAL:	495.20
LKG/046113	04/10/18	01	PVC/COUPLINGS-COOK & MAIN RPR	1134105260		04/24/18	22.78
						INVOICE TOTAL:	22.78
LKG/046147	04/11/18	01	STR LIGHT REPAIR-MAIN ST	1134105261		04/24/18	305.65
						INVOICE TOTAL:	305.65
LKG045680	03/22/18	01	HEX IMPACT DRIVER	1152015340		04/24/18	92.00
						INVOICE TOTAL:	92.00
LKG045738	03/26/18	02	MAIN ST PIPE REPAIR	1134105261		04/24/18	175.11
						INVOICE TOTAL:	175.11
LKG045766	03/27/18	01	MAIN ST PIPE REPAIR	1134105261		04/24/18	381.48
						INVOICE TOTAL:	381.48
						VENDOR TOTAL:	1,621.49
CINTAS	CINTAS CORP						
5010536201	04/10/18	01	DISINFECTANT,MEDS,S/C	1132105390		04/24/18	53.83
						INVOICE TOTAL:	53.83
						VENDOR TOTAL:	53.83
CSIM	CSI MEDIA LLC						
3181861	03/28/18	01	PT CLERK OFFICE PUBLICATION	1114305399		04/24/18	396.88

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INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

CSIM	CSI MEDIA LLC						
3181861	03/28/18	02	F/T FRT COUNTER PUBLICATION	1115105399		04/24/18	472.65
		03	HUMAN RES PUBLICATION	1115105399			529.49
						INVOICE TOTAL:	1,399.02
						VENDOR TOTAL:	1,399.02
DCPORT	DC PORTABLE WELDING &						
1622	01/04/18	01	GIANT VAC TANK REPAIR	1132145430		04/24/18	237.50
						INVOICE TOTAL:	237.50
						VENDOR TOTAL:	237.50
DES	DATA EQUIPMENT SERVICES						
911	04/10/18	01	MODEM SVC-APR	4234505221		04/24/18	990.00
		02	MODEM SVC-APR	4054105340			45.00
						INVOICE TOTAL:	1,035.00
						VENDOR TOTAL:	1,035.00
DUNN	DUNN LUMBER & TRUE VALUE						
717483	03/26/18	01	SANDPAPER, ROLLER, TRAY LINER	1152005352		04/24/18	42.70
		02	DISCOUNT	1100004819			-2.14
						INVOICE TOTAL:	40.56
717681	03/27/18	01	BATTERIES	1152005350		04/24/18	38.97
		02	DISCOUNT	1100004819			-1.95
						INVOICE TOTAL:	37.02
717823	03/28/18	01	LIGHT BULBS	4055205350		04/24/18	9.69
						INVOICE TOTAL:	9.69
718165	04/02/18	01	SANDING BELTS	1152005350		04/24/18	6.99
		02	DISCOUNT	1100004819			-0.35
						INVOICE TOTAL:	6.64

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INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

DUNN	DUNN LUMBER & TRUE VALUE						
718276	04/03/18	01	PAINT, TAPE	1132105340		04/24/18	16.78
		02	DISCOUNT	1100004819			-0.84
						INVOICE TOTAL:	15.94
718304	04/03/18	01	DRILL BITS	1132105340		04/24/18	8.97
		02	DISCOUNT	1100004819			-0.45
						INVOICE TOTAL:	8.52
718380	04/04/18	01	NUTS, BOLTS	1132105340		04/24/18	3.45
		02	DISCOUNT	1100004819			-0.17
						INVOICE TOTAL:	3.28
718409	04/04/18	01	SANDING BELTS	1132105340		04/24/18	5.99
		02	DISCOUNT	1100004819			-0.30
						INVOICE TOTAL:	5.69
718410	04/04/18	01	BELT SANDER 4.5 AMP	1132105340		04/24/18	54.00
		02	DISCOUNT	1100004819			-2.70
						INVOICE TOTAL:	51.30
718444	04/04/18	01	BOLTS-BENCHES	1152005352		04/24/18	16.99
						INVOICE TOTAL:	16.99
718456	04/04/18	01	ROLLERS, SOLVENT	1152005350		04/24/18	33.44
		02	DISCOUNT	1100004819			-1.67
						INVOICE TOTAL:	31.77
718623	04/06/18	01	CHAINSAW SQUARES	1132135430		04/24/18	5.49
		02	DISCOUNT	1100004819			-0.27
						INVOICE TOTAL:	5.22
718867	04/09/18	01	CEMENT, CLNR, SAW BLADES	1134105261		04/24/18	20.12
		02	DISCOUNT	1100004819			-1.01
						INVOICE TOTAL:	19.11

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INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

DUNN	DUNN LUMBER & TRUE VALUE						
718968	04/10/18	01	GALVANIZED PLUGS	1152015350		04/24/18	9.90
		02	DISCOUNT	1100004819			-0.50
						INVOICE TOTAL:	9.40
719048	04/11/18	01	VALVE/VETS PARK LIONS DEN	1152015350		04/24/18	8.99
		02	DISCOUNT	1100004819			-0.45
						INVOICE TOTAL:	8.54
719115	04/11/18	01	THREADLOCKER	1132105351		04/24/18	8.99
		02	DISCOUNT	1100004819			-0.45
						INVOICE TOTAL:	8.54
719149	04/11/18	01	BATTERIES	1152005350		04/24/18	12.99
		02	DISCOUNT	1100004819			-0.65
						INVOICE TOTAL:	12.34
719151	04/11/18	01	HOSE BARB,NIPPLES-SPRAYER	1152015952		04/24/18	6.94
		02	DISCOUNT	1100004819			-0.35
						INVOICE TOTAL:	6.59
719233	04/12/18	01	SILICONE CAULK	1132105351		04/24/18	3.99
						INVOICE TOTAL:	3.99
719257	04/12/18	01	FASTENERS/1055 GARAGE	1132105350		04/24/18	19.99
						INVOICE TOTAL:	19.99
719279	04/12/18	01	WIRE BRUSH,HEAT PROOF GREASE	1152005350		04/24/18	7.98
		02	DISCOUNT	1100004819			-0.40
						INVOICE TOTAL:	7.58
719284	04/12/18	01	TROUBLE LITE,CONNECTOR,PLUG	1132105351		04/24/18	19.97
		02	DISCOUNT	1100004819			-1.00
						INVOICE TOTAL:	18.97
						VENDOR TOTAL:	347.67

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INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

GAGE GAGE MARINE CORP							
149517	03/20/18	01	SWIM PIER REPAIR	4055305264		04/24/18	3,048.54
						INVOICE TOTAL:	3,048.54
149559	03/21/18	01	LAUNCH PIER REPAIR	4052105264		04/24/18	2,121.82
						INVOICE TOTAL:	2,121.82
149589	03/26/18	01	WEST PIER REPAIR	4052105264		04/24/18	32,946.33
						INVOICE TOTAL:	32,946.33
						VENDOR TOTAL:	38,116.69
GAPPA GAPPA SECURITY SOLUTIONS LLC							
14906	04/02/18	01	DEADBOLT LOCKSET	4352005300		04/24/18	298.00
						INVOICE TOTAL:	298.00
						VENDOR TOTAL:	298.00
GENON GENEVA ONLINE INC							
1062413	04/02/18	01	EMAIL SVC-APR	1112005221		04/24/18	2.00
						INVOICE TOTAL:	2.00
						VENDOR TOTAL:	2.00
GLENF GLEN FERN CONSTRUCTION LLC							
1023 DRAW 2	03/30/18	01	F/I RESTROOM REMODEL DRAW 2	4352005300		04/24/18	57,612.44
		02	F/I RESTROOM REMODEL DRAW 2	1100001391			20,242.21
						INVOICE TOTAL:	77,854.65
						VENDOR TOTAL:	77,854.65
GLUC GENEVA LAKE USE COMMITTEE							
25	01/18/04	01	2018 CONTRIBUTION	4054105740		04/24/18	750.00
						INVOICE TOTAL:	750.00
						VENDOR TOTAL:	750.00

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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

GRAIN	GRAINGER						
9737254954	03/23/18	01	FILTERS	1151105240		04/24/18	105.60
						INVOICE TOTAL:	105.60
						VENDOR TOTAL:	105.60
HESTA	HE STARK AGENCY INC						
6089COURT-3/18	04/03/18	01	COLLECTION FEES-3/18	1112005214		04/24/18	27.59
						INVOICE TOTAL:	27.59
6089CRTPRK-3/18	04/03/18	01	COLLECTION FEES-3/18	1112005214		04/24/18	13.75
						INVOICE TOTAL:	13.75
6089PARK3/18	03/30/18	01	COLLECTION FEES-JAN-MAR	4234505216		04/24/18	1,120.79
						INVOICE TOTAL:	1,120.79
						VENDOR TOTAL:	1,162.13
HOME	HOME DEPOT CREDIT SERVICES						
5297-3/18	03/21/18	01	SOLAR SALT,DOOR SWEEP	1116105310		04/24/18	30.99
		02	CLEANSERS	1116105310			16.93
		03	SOFT SOAP	1151105240			10.98
						INVOICE TOTAL:	58.90
						VENDOR TOTAL:	58.90
HUMPH	HUMPHREY'S CONTRACTING						
03/15/18	03/15/18	01	MOBILE ST LT POST	1110005245		04/24/18	7,875.00
						INVOICE TOTAL:	7,875.00
						VENDOR TOTAL:	7,875.00
HYDRAS	HYDRA SEAL, INC						
59020	03/23/18	01	HYDRAULIC REPAIRS	1132105250		04/24/18	689.63
						INVOICE TOTAL:	689.63

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INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

HYDRAS	HYDRA SEAL, INC						
59027	03/24/18	01	HYD CYL RPR-GROOMER	4054105352		04/24/18	280.80
						INVOICE TOTAL:	280.80
59028	03/24/18	01	SWEEPER MOTOR	1132105250		04/24/18	359.19
						INVOICE TOTAL:	359.19
						VENDOR TOTAL:	1,329.62
ITU	ITU ABSORB TECH INC						
6972686	03/23/18	01	MOPS,MATS	4055205350		04/24/18	88.06
						INVOICE TOTAL:	88.06
6981159	04/06/18	01	MATS,RAGS,COVERALLS	1132105360		04/24/18	80.70
						INVOICE TOTAL:	80.70
6981160	04/06/18	01	MATS	1116105360		04/24/18	95.93
						INVOICE TOTAL:	95.93
						VENDOR TOTAL:	264.69
JERRY	JERRY WILLKOMM INC						
239522	03/22/18	01	1350 GALS GAS	1132105341		04/24/18	3,225.15
						INVOICE TOTAL:	3,225.15
						VENDOR TOTAL:	3,225.15
JOHNS	JOHNS DISPOSAL SERVICE INC						
174068	04/05/18	01	APR SVC	1136005294		04/24/18	27,556.65
		02	APR SVC	1136005297			11,286.00
						INVOICE TOTAL:	38,842.65
						VENDOR TOTAL:	38,842.65
KAEST	KAESTNER AUTO ELECTRIC CO						
313883	03/23/18	01	US,STATE FLAGS	1152005399		04/24/18	708.00
						INVOICE TOTAL:	708.00
						VENDOR TOTAL:	708.00

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INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

KEITH	KEITH'S AUTO BODY INC						
48724	04/03/18	01	STEP SIDES-TRUCK #20	1132105250		04/24/18	425.00
						INVOICE TOTAL:	425.00
						VENDOR TOTAL:	425.00
KENOSC	KENOSHA CIRCUIT COURT						
WARRANT-NUNEZ	04/10/18	01	WARRANT #11092017	1112002428		04/24/18	300.00
						INVOICE TOTAL:	300.00
						VENDOR TOTAL:	300.00
LASERE	LASER ELECTRIC SUPPLY						
1460357-00	03/22/18	01	BULBS,BALLASTS	4055205350		04/24/18	60.62
		02	DISCOUNT	1100004819			-1.21
						INVOICE TOTAL:	59.41
1460357-01	03/27/18	01	CONCESSION STAND LIGHT BULBS	1152015350		04/24/18	64.08
		02	DISCOUNT	1100004819			-1.12
						INVOICE TOTAL:	62.96
1460494-00	03/27/18	01	CONCESSION STAND LIGHT BULBS	1152015350		04/24/18	40.30
		02	DISCOUNT	1100004819			-0.81
						INVOICE TOTAL:	39.49
1460498-00	03/29/18	01	CONCESSION STAND LIGHT BULBS	1152015350		04/24/18	92.72
		02	DISCOUNT	1100004819			-1.85
						INVOICE TOTAL:	90.87
1460676-00	04/05/18	01	SAWZALL	1132105340		04/24/18	222.50
		02	DISCOUNT	1100004819			-4.45
						INVOICE TOTAL:	218.05
8113351-00	03/29/18	01	CREDIT-CONCESSION LTS	1152015350		04/24/18	-30.44
		02	CREDIT DISCOUNT	1100004819			0.61
						INVOICE TOTAL:	-29.83
						VENDOR TOTAL:	440.95

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INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

LGREG	LAKE GENEVA REGIONAL NEWS						
1250711	03/08/18	01	LN-2018 STREET IMPROVEMENT BID	1110005314		04/24/18	166.37
						INVOICE TOTAL:	166.37
1250849	03/01/18	01	LN-FT F/C CLERK AD	1115105310		04/24/18	104.50
						INVOICE TOTAL:	104.50
1250849-2	03/08/18	01	LN-PT F/C CLERK AD	1114305310		04/24/18	104.50
						INVOICE TOTAL:	104.50
1250849-3	03/15/18	01	LN-PT F/C CLERK AD	1114305310		04/24/18	104.50
						INVOICE TOTAL:	104.50
1250849-R3	03/15/18	01	LN-FT F/C CLERK AD	1115105310		04/24/18	132.00
						INVOICE TOTAL:	132.00
1250849R	03/01/18	01	LN-FT F/C CLERK AD	1115105310		04/24/18	132.00
						INVOICE TOTAL:	132.00
1250849R2	03/02/18	01	LN-PT F/C CLERK AD	1114305310		04/24/18	132.00
						INVOICE TOTAL:	132.00
1251317	03/08/18	01	BIKE/PED PH STUDY	1110005315		04/24/18	64.16
						INVOICE TOTAL:	64.16
1251318	03/08/18	01	LN-615 CENTER ST CUP	1110005315		04/24/18	42.34
						INVOICE TOTAL:	42.34
1251319	03/08/18	01	LN-330 BROAD ST CUP	1110005315		04/24/18	43.49
						INVOICE TOTAL:	43.49
1251320	03/08/18	01	LN-831 WRIGLEY PIP	1110005315		04/24/18	42.34
						INVOICE TOTAL:	42.34
1251330	03/01/18	01	ABSENTEE BALLOT	1114305311		04/24/18	13.67

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INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

LGREG	LAKE GENEVA REGIONAL NEWS						
1251330	03/01/18	02	ABSENTEE BALLOT	1100001391		04/24/18	95.76
						INVOICE TOTAL:	109.43
1251700	03/15/18	01	LN-2/26 COUNCIL MINUTES	1110005314		04/24/18	218.50
						INVOICE TOTAL:	218.50
1252003	03/29/18	01	LN-HUMAN RES AD	1115105399		04/24/18	176.82
						INVOICE TOTAL:	176.82
1252553	03/22/18	01	LN-3/12 COUNCIL MINUTES	1110005314		04/24/18	176.80
						INVOICE TOTAL:	176.80
						VENDOR TOTAL:	1,749.75
LGUTI	LAKE GENEVA UTILITY						
520	SOUTHWIND DR	02/18/04	01	520 SOUTHWIND DR BLDG 16	4500002453	04/24/18	22,380.00
			02	520 SOUTHWIND DR BLDG 16	4500002452		20,280.00
						INVOICE TOTAL:	42,660.00
						VENDOR TOTAL:	42,660.00
MARED	MARED MECHANICAL						
107262	03/30/18	01	PREV MAINT	1151105240		04/24/18	512.00
						INVOICE TOTAL:	512.00
						VENDOR TOTAL:	512.00
MARLI	MARLIN PRINTING & GRAPHICS						
495464	03/28/18	01	ENVELOPES	1116105310		04/24/18	105.00
		02	ENVELOPES	4234505310			105.00
						INVOICE TOTAL:	210.00
495541	04/05/18	01	INSPECTION PASS LABELS	1124005310		04/24/18	107.24
						INVOICE TOTAL:	107.24

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MARLI	MARLIN PRINTING & GRAPHICS						
495543	04/05/18	01	INSPECTION FAIL LABELS	1124005310		04/24/18	103.00
						INVOICE TOTAL:	103.00
						VENDOR TOTAL:	420.24
MCCOR	MCCORMACK & ETEN ARCHITECTS						
1023-4/18	04/01/18	01	VISITORS CENTER REMODEL	4352005300		04/24/18	871.25
						INVOICE TOTAL:	871.25
						VENDOR TOTAL:	871.25
MKCEL	MKCELLULAR INC						
ELKHAIN29960	01/10/18	01	SAMSUNG WIRELESS CHARGING PAD	1124005262		04/24/18	35.99
						INVOICE TOTAL:	35.99
MKCLGIN8713	02/19/18	01	LIQUID GLASS SCREEN PROTECTION	1124005262		04/24/18	29.99
						INVOICE TOTAL:	29.99
MKCLGIN8907	03/12/18	01	GALAXY S8 COMMUTER CASE	1124005262		04/24/18	39.99
						INVOICE TOTAL:	39.99
MKCLGNIN7923CM	04/01/18	01	BEHRENS-CREDIT ON ORIG BILL	1132105262		04/24/18	-100.01
						INVOICE TOTAL:	-100.01
						VENDOR TOTAL:	5.96
MLIC	SECURIAN FINANCIAL GROUP						
RE041018	04/03/18	01	INV 099002-MAY LIFE INS	1112005134		04/24/18	10.55
		02	INV 099002-MAY LIFE INS	1113005134			34.58
		03	INV 099002-MAY LIFE INS	1114305134			12.39
		04	INV 099002-MAY LIFE INS	4234505134			43.41
		05	INV 099002-MAY LIFE INS	1115105134			37.50
		07	INV 099002-MAY LIFE INS	1124005134			27.48
		12	INV 099009-MAY LIFE INS	1121005134			223.82

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MLIC	SECURIAN FINANCIAL GROUP						
RE041018	04/03/18	15	INV 099010-MAY LIFE INS	1122005133		04/24/18	65.17
		17	INV 099019-MAY LIFE INS	9900005134			63.66
		23	INV 099052-MAY LIFE INS	4055105134			4.09
		24	INV 099052-MAY LIFE INS	1132105134			134.41
		25	INV 099052-MAY LIFE INS	1116105134			25.76
		26	INV 099016-MAY LIFE INS	4800005134			30.28
		27	MAY LIFE INS	1110005133			130.50
		28	MAY LIFE INS	1100002134			853.66
		29	INV 099002-MAY LIFE INS	1114205134			42.70
						INVOICE TOTAL:	1,739.96
						VENDOR TOTAL:	1,739.96
MUNIC	MUNICIPAL SERVICES LLC						
201827	04/06/18	01	IWORQS SOFTWARE SETUP	1124005219		04/24/18	513.00
						INVOICE TOTAL:	513.00
						VENDOR TOTAL:	513.00
NAPAE	ELKHORN NAPA AUTO PARTS						
112095	04/03/18	01	AIR FILTERS	1152015340		04/24/18	32.10
						INVOICE TOTAL:	32.10
						VENDOR TOTAL:	32.10
OFFIC	OFFICE DEPOT						
118617043001	03/23/18	01	PENS	1116105310		04/24/18	8.58
		02	LEAD	1115105310			4.67
		03	PENCILS	1114105310			8.44
						INVOICE TOTAL:	21.69
118618031001	03/23/18	01	HVY DUTY STAPLE REMOVER	1116105310		04/24/18	12.79
						INVOICE TOTAL:	12.79
120260752001	03/28/18	01	COPY PAPER	1116105310		04/24/18	167.94
						INVOICE TOTAL:	167.94
						VENDOR TOTAL:	202.42

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OTTER	OTTER SALES & SERVICE INC						
1010043	04/10/18	01	WATER PUMP-GARBAGE TRUCK	1132105351		04/24/18	135.92
						INVOICE TOTAL:	135.92
						VENDOR TOTAL:	135.92
PFI	PFI FASHIONS INC						
239794	04/05/18	01	SHIRTS-SUMMER HELP	1132105340		04/24/18	198.70
						INVOICE TOTAL:	198.70
						VENDOR TOTAL:	198.70
RCELEC	RC ELECTRONICS						
644218	03/21/18	01	RADIO-BACKHOE	1132105262		04/24/18	813.75
						INVOICE TOTAL:	813.75
						VENDOR TOTAL:	813.75
RHYME	RHYME BUSINESS PRODUCTS						
22394751	03/28/18	01	SHARP-TASKALFA 3011-APRIL	1124005310		04/24/18	174.67
						INVOICE TOTAL:	174.67
AR212373	03/29/18	01	SHARP-M3550IDN-APR	1112005361		04/24/18	21.49
						INVOICE TOTAL:	21.49
AR212374	03/29/18	01	SHARP-MAR B&W	1116105531		04/24/18	78.50
		02	SHARP-MAR COLOR	1116105531			168.24
						INVOICE TOTAL:	246.74
						VENDOR TOTAL:	442.90
ROTE	ROTE OIL COMPANY						
1808600005	03/27/18	01	306 GALS CLEAR DIESEL	1132105341		04/24/18	783.06
						INVOICE TOTAL:	783.06
1808600006	03/27/18	01	392 GALS DYED DIESEL	1132105341		04/24/18	881.60
						INVOICE TOTAL:	881.60
						VENDOR TOTAL:	1,664.66

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SCHEN SCHENCK BUSINESS SOLUTIONS							
SC10169639	03/29/18	01	2017 AUDIT	1115105213		04/24/18	9,500.00
						INVOICE TOTAL:	9,500.00
						VENDOR TOTAL:	9,500.00
SHERW SHERWIN-WILLIAMS COMPANY							
6857-1	04/04/18	01	CROSSWALK/PKG STALL	1134105370		04/24/18	3,689.94
						INVOICE TOTAL:	3,689.94
						VENDOR TOTAL:	3,689.94
SUPPLY THE SUPPLY CORPORATION							
68124-IN	04/03/18	01	TOWELS, TP, GLOVES, SOAP, EAR PLUG	1152005350		04/24/18	903.14
						INVOICE TOTAL:	903.14
						VENDOR TOTAL:	903.14
T0001639 SERVPRO							
REFUND	03/26/18	01	REST-JOHNSON CN80FXHJQT	1112004510		04/24/18	317.59
						INVOICE TOTAL:	317.59
						VENDOR TOTAL:	317.59
T0001640 LYNN RICHTER							
REFUND FROST CHARGE	03/29/18	01	REFUND FROST CHARGE	4800004656		04/24/18	75.00
						INVOICE TOTAL:	75.00
						VENDOR TOTAL:	75.00
T0001642 JAMES RUSSELL							
REFUND	04/02/18	01	MAIL BOX REPLACEMENT	1132125344		04/24/18	65.95
						INVOICE TOTAL:	65.95
						VENDOR TOTAL:	65.95
T0001643 MICHELLE AVILA							

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T0001643 MICHELLE AVILA							
REFUND	04/11/18	01	AVILA-SEC DEP 4/7	4055102353		04/24/18	1,000.00
		02	AVILA-SETUP, SEC GRD 4/7	4055104674			-469.50
		03	AVILA-EXTRA CLEANUP 4/7	4055104674			-150.00
						INVOICE TOTAL:	380.50
						VENDOR TOTAL:	380.50
TSC TRACTOR SUPPLY CREDIT PLAN							
4033-3/18	03/14/18	01	TAILGATE LIFT ASSIST	1152005250		04/24/18	179.99
		02	GRASS SEED	1132135430			434.92
						INVOICE TOTAL:	614.91
						VENDOR TOTAL:	614.91
UNITE UNITED LABORATORIES							
INV218178	03/20/18	01	POND RESTORER-FOUNTAIN	4055205355		04/24/18	556.40
						INVOICE TOTAL:	556.40
INV218866	03/27/18	01	AIR FRESHENERS	1152005350		04/24/18	378.00
						INVOICE TOTAL:	378.00
						VENDOR TOTAL:	934.40
VERME VERMEER WISCONSIN INC							
20206366	03/23/18	01	STUMP GRINDER SWITCH	1132135420		04/24/18	31.19
						INVOICE TOTAL:	31.19
20206568	03/28/18	01	TEETH, SHANKS-GRINDER	1132135420		04/24/18	369.56
						INVOICE TOTAL:	369.56
						VENDOR TOTAL:	400.75
WALCOT WALWORTH COUNTY TREASURER							
64-246 3/18	03/31/18	01	COURT FINES-MARCH	1112002420		04/24/18	372.60
						INVOICE TOTAL:	372.60
						VENDOR TOTAL:	372.60

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WEENE	WE ENERGIES						
RE041018	04/15/18	01	7891-194-618 APR GAS	1116105224		04/24/18	932.01
		03	7837-744-963 APR GAS	1122005224			375.14
		04	0480-524-472 APR GAS	4055105224			461.33
		06	0847-573-906 APR GAS	1122005224			269.32
		07	5288-664-956 APR GAS	1151105224			514.61
		08	8052-439-940 APR GAS-1055	1132105224			181.97
		09	8017-524-022 APR GAS-1065	1132105224			345.89
		10	6602-046-262 APRGAS-1070	1132105224			469.68
		11	7283-171-261 APR GAS	1152015224			103.14
		12	1885-876-489 APR GAS	4800005224			81.99
		13	3843-358-997 APR GAS	9900005222			83.00
		14	5604-510-433 APR GAS	9900005222			226.00
						INVOICE TOTAL:	4,044.08
						VENDOR TOTAL:	4,044.08
WISC	STATE OF WISCONSIN						
64-246 3/18	03/31/18	01	COURT FINES-MARCH	1112002424		04/24/18	2,066.43
						INVOICE TOTAL:	2,066.43
						VENDOR TOTAL:	2,066.43
YARDD	CHRIS RIZZO						
1820	02/23/18	01	VIOLATIONS-FEB	1132125344		04/24/18	420.00
						INVOICE TOTAL:	420.00
						VENDOR TOTAL:	420.00
						TOTAL ALL INVOICES:	280,259.07