



*City of Lake Geneva, 626 Geneva St, Lake Geneva, WI 53147- 262.248.3673- [www.cityoflakegeneva.com](http://www.cityoflakegeneva.com)*

**CITY OF LAKE GENEVA REGULAR COMMON COUNCIL**  
**MONDAY, APRIL 27, 2020 6:00 P.M.**  
**LAKE GENEVA CITY HALL; COUNCIL CHAMBERS (MAIN LEVEL)**

**Members:**

Mayor Charlene Klein, Council President, Rich Hedlund, Council Vice President, John Halverson,  
Alderspersons: Tim Dunn, Mary Jo Fesenmaier, Cindy Flower, Ken Howell, Shari Straube, and Joan Yunker

**THE CITY OF LAKE GENEVA IS HOLDING ALL MEETINGS VIRTUALLY TO HELP PROTECT OUR COMMUNITY FROM THE CORONAVIRUS (COVID-19) PANDEMIC. YOU CAN CALL-IN OR WATCH THE MEETING IN SEVERAL WAYS:**

1. Livestream at the City of Lake Geneva Vimeo Channel found here [www.vimeo.com/lakegeneva](http://www.vimeo.com/lakegeneva)
2. Television: Watch live broadcast of the meeting on Spectrum Cable Channel 25
3. Listen to audio via phone: (602) 333-2017 (Long distance rates may apply) (888) 204-5987 (Toll Free)  
**Access Code:** 9746153
4. You can provide public comment on agenda items by emailing your comments to the City Clerk at [cityclerk@cityoflakegeneva.com](mailto:cityclerk@cityoflakegeneva.com) or you may deliver your written comments to the City of Lake Geneva City Hall, 626 Geneva Street, Lake Geneva, WI 53147. All written comments must be provided to the City Clerk by 5:00 P.M. on the date of the meeting. All written comments will be read aloud during the agenda item when public comments are allowed during the meeting.

**CITY HALL WILL NOT BE OPEN TO THE PUBLIC DURING THE MEETING. YOU CAN OBSERVE THE MEETING VIA THE ABOVE LISTED COMMUNICATIONS.**

**AGENDA**

1. Mayor Klein calls the meeting to order
2. Pledge of Allegiance – Alderperson Yunker
3. Roll Call
4. Awards, Presentations, Proclamations, and Announcements
  - a. Drinking Water Week 2020 Proclamation
  - b. Presentation by Lake Geneva Fire & Police Department regarding COVID-19
5. Re-consider business from previous meeting
6. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes
7. Acknowledgement of Correspondence
8. **Discussion regarding the creation of an Ad Hoc Communications Committee**

9. Approve the Regular Council Minutes April 14, 2020 Council as prepared and distributed
10. **CONSENT AGENDA**– *Recommended by Finance, Licensing and Regulation on April 8, 2020.* Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.
  - a. Event Permit Application filed by the Holy Communion Episcopal Church for the event of Holy Communion Farmer’s Market to take place every Thursday in May 2020 through October 2020 from 8:00 a.m. to 1:00 p.m. located at 320 Broad Street (*Applicant is requesting waiver of parking fees for the use of blocked stalls; fee amount is \$5,220*)
11. **Items removed from the Consent Agenda**
12. Discussion/Action regarding possible parking rate increase to \$2 City-wide and to extend the parking enforcement hours to 9:00 a.m. to 9:00 p.m.
13. **Recommendation of the Finance, Licensing, and Regulation Committee of April 14, 2020- Ald. Howell**
  - a. Discussion/Action regarding action concerning VIPLY beach pass app
  - b. Discussion/Action regarding an Original “Class B” Regular Intoxicating Liquor & Class “B” Fermented Malt Beverage License Application filed by Mangiami Italiano LLC d/b/a Cuoco Pazzo Antipasto Bar, agent, Eric Webber, located at 393 N Edwards Blvd, Lake Geneva, WI (*Applicant is requesting the addition of outdoor patio to the premises description*)
  - c. Discussion/Action regarding Pay Request #4 from MSI General for the Riviera Restoration project in an amount not to exceed \$330,321.65
  - d. Discussion/Acceptance of April 14, 2020 Finance, Licensing, and Regulation Committee Payment Approval Reports
14. **Recommendation of the Planning Commission of April 20, 2020**
  - a. Discussion/Action regarding **Resolution 20-R32** a resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by Bruce and Sarah Gold, 2910 Kensington Dr., Buffalo Grove, IL 60089 for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 10 Hillside Dr. located in the Estate Residential - 1 (ER-1) zoning district. Tax Key No. ZLM00033
  - b. Discussion/Action regarding **Resolution 20-R33** a resolution authorizing the issuance of a “Limited” Conditional Use Permit (CUP) filed by Timothy Reuss, 4262 Dorchester Ave., Gurnee, IL 60031 for a request to utilize the property as a Commercial Indoor Lodging land use for the property located at 940 Marshall St. located in the General Business (GB) zoning district. Tax Key No. ZRA00030
  - c. Discussion/Action regarding **Resolution 20-R34** a resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by Ann Esarco, 1051 Mobile St., Lake Geneva for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 960 S. Lake Shore Dr. located in the Estate Residential - 1 (ER-1) zoning district. Tax Key No. ZSY00027
15. **Mayoral Appointments**
  - a. **Resolution 20-R31** a resolution confirming the Mayor’s Aldermanic and Citizen Appointments to certain Non-Standing Committees and Commissions for the City of Lake Geneva

**16. Adjournment**

*Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk’s office in advance so the appropriate accommodations can be made.*

# CITY OF LAKE GENEVA

## Proclamation

*WHEREAS, water is our most valuable natural resource; and*

*WHEREAS, only tap water delivers public health protection, fire protection, support for our economy and the quality of life we enjoy; and*

*WHEREAS, any measure of a successful society – low mortality rates, economic growth and diversity, productivity, and public safety – are in some way related to access to safe water; and*

*WHEREAS, we are all stewards of the water infrastructure upon which future generations depend; and*

*WHEREAS, each citizen of our City is called upon to help protect our source waters from pollution, to practice water conservation, and to get involved in local water issues by getting to know their water;*

*NOW, THEREFORE, I, Charlene Klein, Mayor of the City of Lake Geneva, Walworth County, State of Wisconsin, do hereby proclaim May 3, 2020 through May 9, 2020 as*

### **DRINKING WATER WEEK**

*in the City of Lake Geneva, and I commend this observance to all of our citizens.*

*In Witness Whereof, I have hereunto set my hand and caused to be affixed the official seal of the City of Lake Geneva, Walworth County, State of Wisconsin, this 27<sup>th</sup> day of April, 2020.*

**Proclaimed and adopted this 27<sup>th</sup> day of April, 2020.**

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**Charlene Klein, Mayor**

ATTEST:

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**Lana Kropf, City Clerk**

**CITY OF LAKE GENEVA REGULAR COMMON COUNCIL MINUTES**  
**TUESDAY, APRIL 14, 2020 6:00 P.M.**  
**LAKE GENEVA CITY HALL; COUNCIL CHAMBERS (MAIN LEVEL)**

**Members:** Mayor Tom Hartz, Council President, John Halverson, Council Vice President, Cindy Flower, Alderpersons: Selena Proksa, Doug Skates, Tim Dunn, Ken Howell, Shari Straube, and Rich Hedlund

Mayor Hartz called the meeting to order at 6:00 p.m.

Mayor Hartz stated that there are several ways that the Council meeting can be viewed/listened to remotely.

Aldersperson Skates led the Council in the Pledge of Allegiance.

**Roll Call**

**Present:** Howell, Straube, Hedlund, Skates, Proksa, Halverson, and Flower

**Absent:** Dunn

**Awards, Presentations, Proclamations, and Announcements**

Mayor Hartz stated that an Arbor Day Celebration will be held on April 25, 2020 at 9:00AM with the place to be determined.

Mayor Hartz acknowledged that it is National Telecommunicators week and thanked them for their service to our community.

Mayor Hartz thanked the....

**Re-consider business from previous meeting**

None

**Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes**

None

**Acknowledgement of Correspondence**

None

**CONSENT AGENDA**– *Recommended by Finance, Licensing and Regulation on April 8, 2020.* Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.

-2020-2022 Original & Renewal Operator License applications filed by various applicants as listed in packet

-Event Permit Application filed by the Lake Geneva Farmer's Market concerning waiver of parking fees stalls 507-519 from May to October 2020

Skates asked that both items be removed.

**Items removed from the Consent Agenda**

-2020-2022 Original & Renewal Operator License applications filed by various applicants as listed in packet  
Motion by Howell to approve, second by Skates. No discussion. Motion carried 7-0.

-Event Permit Application filed by the Lake Geneva Farmer's Market concerning waiver of parking fees stalls 507-519 from May to October 2020

Motion by Skates to approve, second by Hedlund. Skates noted that there weren't any changes to the application other than the event would be delayed due to COVID-19. Motion carried 7-0.

### **Adoptions of Ordinances and Resolutions**

Second Reading of Ordinance 20-02 an ordinance amending Section 6-37, Operator Licenses, of Division 1, Generally, of Article II, Licenses, of Chapter 6, Alcohol Beverages, of the Municipal Code of the City of Lake Geneva; Relating to designating the issuing authority for the City of Lake Geneva

Motion by Hedlund to approve, second by Skates. Hedlund noted that this would allow the Police Chief and City Clerk the authority to issue these licenses. Motion carried 7-0.

Discussion/Action regarding Resolution 20-R25 a resolution to ratify the Emergency Proclamation approved by Chief Executive Officer pertaining to the COVID-19 Pandemic and Declaration of Emergency

Motion by Proksa to approve, second by Halverson. Flower questioned the parks being closed and Mayor Hartz noted that the three major parks in the City were being overcrowded. Flower agreed that the parks should be closed however she would like people to have the ability to use the sidewalk along the lake and spillway. Motion carried 7-0.

Discussion/Action regarding Resolution 20-R26 exempting First Responders from the FFCRA

City Attorney Draper explained that this Resolution would exempt First Responders from the Family First Coronavirus Motion by Hedlund to approve, second by Straube. Motion carried 7-0.

### **Recommendation of the Finance, Licensing, and Regulation Committee of April 8, 2020- Ald. Howell**

Discussion/Action regarding action concerning VIPLY beach pass app

Motion by Howell to approve, second by Skates. Howell stated that this will be an alternate way for people to purchase beach passes without having to wait at the kiosks. Harbormaster Frame indicated that 2020 will be a pilot year with daily passes only, however she is hopeful to have the seasonal passes on Viplly for 2021. Frame explained that this program is free to the City as any fees are only to the user. Attorney Draper noted that he did review the contract and only took issue with some of the language regarding the City's responsibility for disputed credit card chargers.

Dunn arrived at 6:34 p.m.

Hall clarified when the money could be deposited to the City. Flower questioned some of the language within the contract as it seems to be contradictory to what was indicated to City staff.

Motion withdrawn.

Motion by Howell to continue this item until the next Council meeting, second by Skates. Motion carried 8-0.

Discussion/Action regarding change order for repair and painting of columns at the Riviera building (second floor) \$11,675.00 cost to be paid for from Riviera project contingency fund.

Motion by Howell to approve, second by Skates. Skates noted that this work was added and the columns were affected by the window installation. And would be paid from the Riviera Restoration Contingency Fund. Motion carried 8-0.

Discussion/Action regarding an Original "Class B" Reserve Intoxicating Liquor & Class "B" Fermented Malt Beverage License Application filed by Cuoco Pazzo, 393 N. Edwards Blvd., Lake Geneva, WI (Applicant is requesting that outdoor patio be added to premises description)

Motion by Howell to continue this item to the next Council meeting, second by Hedlund. Motion carried 8-0.

Discussion/Action regarding awarding the bid for the City Hall Fire Alarm Panel Replacement Project to Cintas in an amount not to exceed \$14,839.50

Motion by Howell to approve, second by Hedlund. City Administrator Nord noted that this was approved some time ago however they were questions from the Fire Department. Nord stated that that all interested parties are satisfied. Motion carried 8-0.

Discussion/Action regarding acceptance of a \$300 donation from the American Transmission Company for Arbor Day Tree Plantings

Motion by Howell to approve, second by Hedlund. No discussion. Motion carried 8-0.

Discussion/Acceptance of April 8, 2020 Finance, Licensing, and Regulation Committee Payment Approval Reports

Motion by Howell to accept, second by Straube. No discussion. Motion carried 8-0.

Discussion/Action regarding hiring Seth Elder as the Parking Manager

Motion by Proksa to approve, second by Skates. City Administrator Nord stated that all necessary checks had been completed. Motion carried 8-0.

**Adjournment**

Motion by Skates to adjourn, second by Proksa. Motion carried 8-0. The meeting adjourned at 6:54 p.m.

CITY OF LAKE GENEVA - EVENT PERMIT APPLICATION

Please fill in all blanks completely, as incomplete applications will be rejected.

Applications must be submitted AT LEAST 4 WEEKS prior to the proposed event date(s).

Section I. APPLICANT INFORMATION

NAME OF APPLICANT: Holly Starck for Holy Communion Episcopal Church
NAME OF EVENT ORGANIZER/PRODUCER: Holy Communion's Farmers Market
PRODUCTION COMPANY/ORGANIZATION: Holy Communion Church
FEDERAL TAX ID:
STREET ADDRESS:
APT. UNIT OR SUITE #:
CITY: STATE ZIP CODE
E-MAIL ADDRESS:
DAYTIME PHONE: CELL PHONE:

Are you a [ ] For Profit or [X] Non-profit Organization 501(c) \_\_\_?

EIN # (Tax Exempt Number): CES number 082062 issued on 3/15/1962

\*ALL non-profits must present a copy of their current Tax ID - EIN #.

Section II. EVENT INFORMATION

- [X] Public Assembly Permit \* Non-profit (No Charge), Otherwise FEE \$60 per day
[ ] Block Parties or use of Gazebo for 1 Hour Photo Ops: \* Non-profit (No Charge), Otherwise FEE \$75.00
[ ] Tier 1 Events: \* Non-profit (No Charge), Otherwise FEE \$250 for an event up to seven days, additional \$50 per day thereafter
[ ] Tier 2 Events: \* Non-profit (No Charge), Otherwise FEE \$500 for an event up to seven days, additional \$100 per day thereafter

Note: Seminary (includes the use of the Shelter) and Flat Iron Park (includes the use of Brunk Pavilion) have 3 available picnic tables and 10 benches which you can select as part of your event permit. Any additional picnic tables, benches, or barricades needed should be directed to a rental company.



1. Description of the portion(s) of road(s) to be used:  
*Road closures must include rental of barricades, please work with our Street Dept.*

2. Will any parking stalls be used or blocked during the event?  Yes  No

Date(s) of use: May 7<sup>th</sup> to Oct 29<sup>th</sup>  
Total Number of Parking Stalls Request: 521-530 - Broad street only - 10 stalls-  
Parking Stall Number(s) and Location: 521, 522, 523, 524, 526, 527, 528, 529, 530 - two singles, 4 doubles-

3. Description of signage to be used during event:

*If requesting City banner poles, please include a Street Banner Display Application.*

**Anticipated Services**

*Please indicate below any additional services you are requesting for your event. Estimated Fees or Deposits for these services may be required prior to issuance of permit(s).*

- Electricity Explain: \_\_\_\_\_
- Water Explain: \_\_\_\_\_
- Traffic Control Explain: \_\_\_\_\_
- Police Services Explain: \_\_\_\_\_
- Fire/EMS Services Explain: \_\_\_\_\_
- Other Explain: \_\_\_\_\_

**\*Please note:** The City of Lake Geneva, the Police Department and/or Fire Department have the right to cancel an event due to inclement weather or any safety risk.

**ALL PARKS & PUBLIC SPACES:** *must be left the way they were originally found. A credit card is required to be held should the park/public space incur damage or not be picked up.*

Credit Card # (Required): \_\_\_\_\_  
 Expiration Date: \_\_\_\_\_ CVV #: \_\_\_\_\_  
 Name on Credit Card: \_\_\_\_\_  
 Billing Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_

*The applicant for her/himself and for other persons, organizations, firms and corporations, if any listed in this application, being of sound mind and body, do hereby freely, voluntarily and knowingly, now and for all times, fully save and hold harmless and defend, the CITY OF LAKE GENEVA, a Wisconsin Municipal Corporation located in the Walworth County, and each and every of its elected and appointed officials, employees, representatives, agents, heirs, and assigns, jointly and severally from and against any and all claims, causes of action, actions, liabilities, demands, losses, damages, and/or expenses of whatsoever kind and nature including counsel or attorneys' fees, which I have or may, at any time, incur or sustain arising from, resulting from, incurred in consequence of, or pertaining to, any and all intentional and negligent acts, omissions, incidents, activities and transactions, of whatever kind and nature, direct or indirect, of mine own and those of or by the CITY OF LAKE GENEVA, and each and every of its elected and appointed officials, employees, representatives, and agents, regardless of when or where, occurring or arising from this event.*

Applicant's Signature: Andy Starch Date: April 6, 2020

For Office Use Only

Date Filed with Clerk: 4/13/20 Payment with Application: \$ \_\_\_\_\_ Receipt: \_\_\_\_\_

\*Circulation required to the following Departments:

Department:	Date:	Circulated:
City Clerk/Administrator Notes: _____	<u>4/13/20</u>	<input checked="" type="checkbox"/> <i>Small app, city clerk</i>
Police Chief Notes: _____	<u>[Signature]</u>	<input checked="" type="checkbox"/>
Fire Chief Notes: _____	<u>[Signature]</u>	<input checked="" type="checkbox"/>
Street Dept Notes: _____	<u>[Signature]</u>	<input checked="" type="checkbox"/>
Parking Dept Notes: _____	<u>[Signature]</u>	<input checked="" type="checkbox"/>
Piers, Harbors & Lakefront Notes: _____		<input type="checkbox"/>
FL&R: Meeting Date: <u>4/21/20</u>		<input type="checkbox"/>
Council: Meeting Date: <u>4/21/20</u>		<input type="checkbox"/>

Alley

Garage

Church

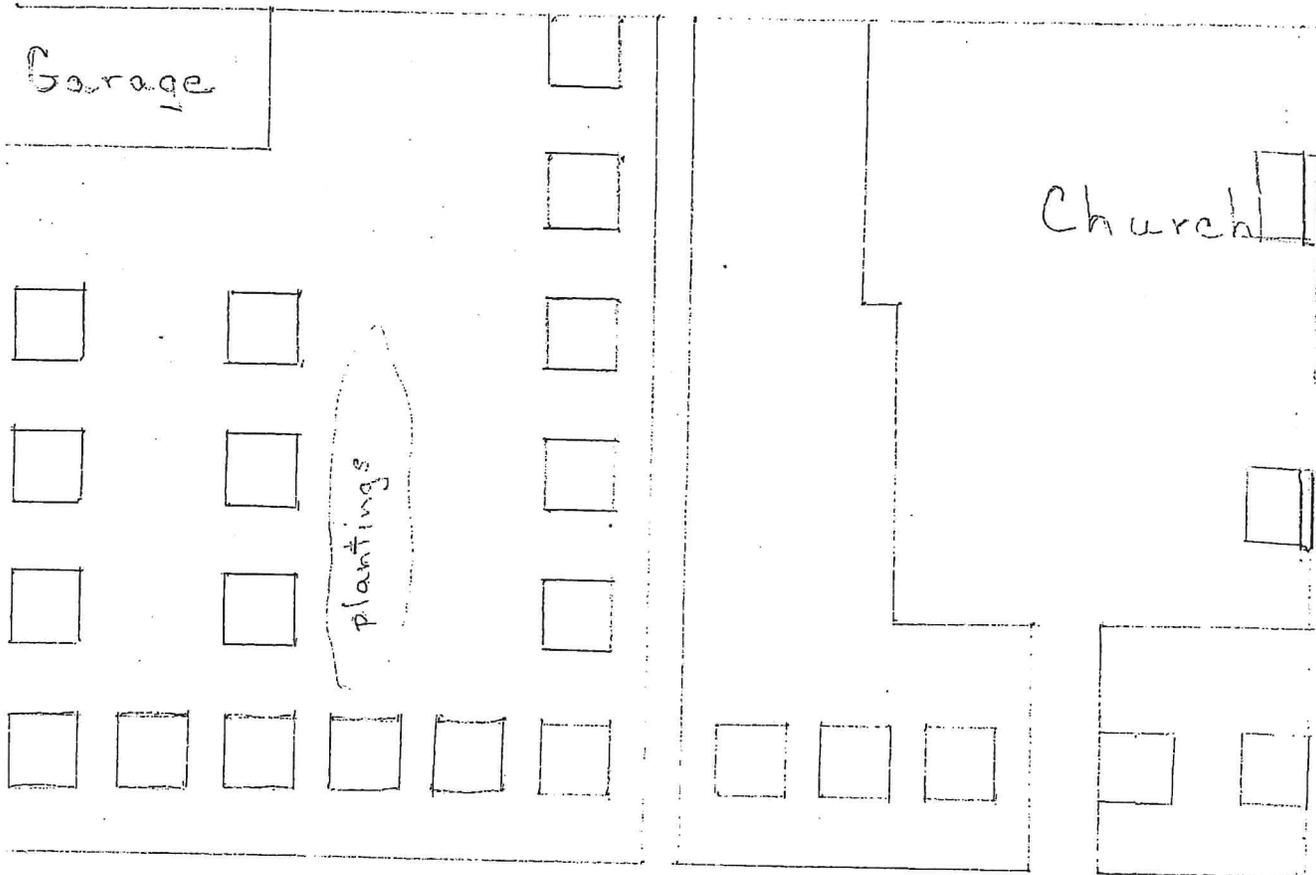
plantings

ROAD STREET

Sidewalk

Sidewalk

Geneva Street





## Nancy Elder

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**From:** Nancy Elder  
**Sent:** Wednesday, April 15, 2020 4:27 PM  
**To:** 'hollystarck@me.com'  
**Subject:** RE: farmer's market

**Importance:** High

Good afternoon Holly,

The City of Lake Geneva is in receipt of an Event Permit for the Farmer's Market at Holy Communion Church requesting the waiver of fees for parking stalls. At this time the Event Permit has been approved internally by all department heads, and per the City Clerk the Event Permit will be on the next Tuesday's FLR agenda on 4/21 & Council agenda on 4/27 for approval to waive 10 parking stalls fees from 8:00 am to 1:00 pm every Thursday for 25 weeks.

Please make note, as the City Administrator stated in the email below, the Holy Communion Church will not be able to start the Farmer's Market until May 21st due to the Mayor's emergency proclamation. The permit you submitted has a start day of May 7, 2020.

If you have any further questions please let me know.

Thanks,  
Nan Elder

-----Original Message-----

**From:** Nancy Elder  
**Sent:** Monday, April 6, 2020 11:57 AM  
**To:** 'hollystarck@me.com' <hollystarck@me.com>  
**Subject:** FW: farmer's market

Holly,

If the organization intends to request (10) bags to utilize free parking on Broad St. adjacent to your location from 8:00 am to 1:00 pm and a barrier at the meter locations to eliminate pedestrian traffic, then the organization will need to complete the City's Event Permit Application requesting the waiver of fees associated with those meters and such which requires internal department approval and approval from (FLR) Finance, Licensing, & Regulation & City Council

Below please find the link to the City of Lake Geneva's Event Permit for you to download and complete:  
[https://www.cityoflakegeneva.com/vertical/Sites/%7B14619068-6F01-4703-8EEB-EA74850C93B5%7D/uploads/Event\\_Permit\\_Application-\\_Complete-\\_Revised\\_Oct\\_2019.pdf](https://www.cityoflakegeneva.com/vertical/Sites/%7B14619068-6F01-4703-8EEB-EA74850C93B5%7D/uploads/Event_Permit_Application-_Complete-_Revised_Oct_2019.pdf)

Here's the response the City Administrator sent to Sean Payne regarding Covid-19:

**From:** City Administrator  
**Sent:** Thursday, April 2, 2020 9:40 AM

Good Morning

I've been asked to provide you with an initial written response as to where things stand at the moment.

At this time there are two (2) unresolved issues

The first two market dates are scheduled to occur before the Mayor's emergency proclamation is set to expire.

As the situation stands right now; the market will not be allowed to take place on those dates.

- However if the Mayor believes the situation has improved; he has the authority to lift the emergency proclamation early and the event can proceed as planned
- If the situation has not improved (or the Governor decides to extend his directives) the events will not be allowed to take place.

Request for fee waiver on various parking stalls.

- Request for waivers on parking stalls require approval by the City's Finance (FLR) Committee. As of today's date, they have not met and have not addressed the request for a waiver.
- A Finance Committee meeting is tentatively set for next week, however the City is still working on the logistics of having a "remote" meeting and researching the topic to insure the city does not run afoul of any State of Wisconsin opening meeting laws
- If the meeting does take place, the parking stall request will be on the agenda for their action

Sincerely,  
Dave Nord

-----Original Message-----

From: City Administrator  
Sent: Monday, April 6, 2020 11:25 AM  
To: Nancy Elder <deputyclerk@cityoflakegeneva.com>  
Subject: FW: farmer's market

Hi Nan,

Could you please reach out to Holly Starck concerning the farmers' market?

Thanks,  
Dave

-----Original Message-----

From: HOLLY STARCK [mailto:hollystarck@me.com]  
Sent: Monday, April 6, 2020 11:14 AM  
To: City Administrator <cityadmin@cityoflakegeneva.com>  
Subject: farmer's market

Dave,

Last year we , Holy Communion Church, applied for and received a conditional use permit from the City for a farmers' market on Thursdays during the months of May - October. Since this is fairly new to me, I had not gone to city hall to fill out the event permit for the dates of the farmers' market before the covid-19 has had us "shelter at home". I downloaded the form and have tried to fill it out best of my ability. I have talked with Sean Payne who run the Farmers' Market at Horticultural Hall at the same times, he gave me your name and email. He also told me the at least the first two weeks will not happen. I would like you help and advise as how to get this form to the city hall and what to do from there.

Thank you,

Holly Starck

# City of Lake Geneva Vendor Agreement

## Authorized Contacts:

<b>Business/Vendor Authorized Representative</b>	
<b>Business Name/Tax ID Number:</b>	Viply LLC., 47-2017040
<b>Representative's Name:</b>	John Masterson
<b>Representative's Title:</b>	President
<b>Billing Address:</b>	P.O. Box 153 Manasquan, NJ 08736
<b>Telephone:</b>	732-800-1771
<b>Email Address:</b>	<a href="mailto:john@viplypass.com">john@viplypass.com</a>

## 1. Authority

The purpose of these procedures is to authorize and establish conditions between the City of Lake Geneva ("City") and Viply ("Organization") to conduct a pilot of electronic (digital) sales of City of Lake Geneva Recreation and or Daily Beach Passes (hereafter referred to as "Pass(es)").

These electronic Passes will allow the visitor/customer/consumer ("User") to purchase a Pass via a mobile device such as a smart phone or tablet. CITY OF LAKE GENEVA staff will be able to verify electronic pass validity by looking at user's smart phone or tablet. Throughout the life of this Agreement, Organization will deliver data to CITY OF LAKE GENEVA so that it may independently determine Pass use by User for Passes purchased during the term of this Agreement.

The Terms, Conditions, and Responsibilities of each party to these procedures are included in this agreement.

These procedures are executed as of the date of the last signature, unless terminated by either party pursuant to the Modification and Termination Clause in this agreement. This Agreement may be automatically renewed for additional one-year periods, unless either party gives the other party 90 days' written notice of termination prior to the end of the current term.

## 2. Terms, Conditions, and Responsibilities

### A. City of Lake Geneva Shall:

1. Provide accurate product and supplemental materials in a timely manner as requested.

2. Review and provide written approval in advance of any advertising, publicity or other promotional campaign material intended for public distribution. Insofar as the material reflects upon the City, such right of approval shall also be based on whether the material, at the sole discretion of the City, properly reflects City missions; promotes appropriate and responsible behavior at City's recreation sites and/or encourages continued public support and preservation of City lands.
3. If necessary for this pilot, provide high resolution image(s) of the City logo promptly following execution of this Agreement and collateral material upon request by the Organization for approved use(s) and promotion(s).
4. Provide rules for electronic pass use, refund policies, description of the passes, and other pass rules and policies to Organization.
5. Permit Organization to create, develop and host a website to sell passes, with links and widgets hosted on CITY OF LAKE GENEVA domain name (<http://www.cityoflakegeneva.com>) directed to the Organization hosted website.

**B. Organization Shall:**

1. Submit for advanced review and approval any (other than provided) advertising, publicity or other promotional campaign material for public distribution.
2. The Organization will provide a main point of contact for Pass sales to the CITY OF LAKE GENEVA.
3. Sell passes, collect user fees on a non-refundable basis, disburse fee revenue less Organization fee.
4. Pass Rules, Sales and Validation Procedures
  - a. During the term of this Agreement, the Organization is authorized to sell Passes online through it's mobile application.
  - b. If applicable, the Organization shall provide (if any) to each customer / user the terms and conditions set forth by the City of Lake Geneva.
  - c. **The City of Lake Geneva has and maintains a No Refunds Policy for any and all Beach Passes.** The No Refunds Policy of Passes purchased by customers will be enforced. The Organization's promotional materials shall advise consumers that all Passes are non-refundable.
  - d. Organization's sale price (to the consumer / user) of Daily Beach Pass and or Recreation Passes is the face value (of the pass) x 2.9% (percent) + \$1.30. **There is no cost to the City of Lake Geneva to use Viply's platform and mobile application.** Viply's platform is free to use for the City as long as Viply's fee is offset to the consumer (per above).
  - e. The fees of passes sold to the consumer (user) collected by the Organization will be transmitted / **disbursed to the CITY OF LAKE GENEVA within and no later than 2 business days** of the initial customer transaction by direct deposit through ACH (Automatic Clearing Housing) credit transfer.
  - f. The Organization agrees to preserve the confidentiality, integrity and accessibility of pass purchaser data with administrative, technical and physical measures that conform to generally recognized industry standards and commercially reasonable practices that Organization then applies to its own processing environment. Maintenance of a secure

processing environment includes but is not limited to the timely application of patches, fixes and updates to operating systems and applications as provided by vendor or open source support.

### **3. Marketing and Promotion**

1. Organization is authorized to market and promote Pass sales by stating that it is an electronic Pass provider of CITY OF LAKE GENEVA.
2. The Organization shall promptly provide CITY OF LAKE GENEVA notice any time that a promotional campaign is planned or predicted. CITY OF LAKE GENEVA reserves the right to review and approve any advertising, publicity or other material prepared by the Organization (the "Organization Materials") for any promotional campaign for public distribution within five business days of receipt. If CITY OF LAKE GENEVA fails to respond to Organization within such five business day period, CITY OF LAKE GENEVA will be deemed to have approved such materials; provided, however, in instances of furloughs, government shutdowns, or similar events, CITY OF LAKE GENEVA will have five business days to respond at the end of such event. Organization Materials must reflect City of Lake Geneva missions; convey an educational message if applicable; promote appropriate and responsible behavior at City public sites and/or encourage continued public support and preservation of City lands.
3. By entering this Agreement, CITY OF LAKE GENEVA has selected Organization as an electronic provider of Passes, but it is not obligated to directly or indirectly endorse any product or service provided or to be provided by the Organization, its successors, assignees or licensees.

### **4. Modification and Termination Clause**

1. This Agreement may be modified only by a written instrument executed by the parties.
2. Either party may terminate this Agreement by providing the other party with ninety (90) days advance written notice. In the event that one party provides the other with notice of its intention to terminate, the parties will meet promptly to discuss the reasons for the notice and work amicably to resolve their differences.
3. Termination of this Agreement shall not extinguish any obligation hereunder with respect to the Organization's duty to account for Passes delivered by CITY OF LAKE GENEVA, to otherwise properly honor and promote relevant limitations on time, transferability, or other Pass attributes, to process and fulfill any order

placed by any member of the public prior to termination, or any other obligation expressly non-extinguishable hereunder.

## **5. Additional Terms**

1. Neither party will unilaterally publish data regarding the Pass sales nor the performance of this Agreement, including without limitation, results of any studies related to the pass program, without consulting with and obtaining approval from the other party. This obligation shall survive the termination of this Agreement.
2. Neither party shall be liable to the other for any indirect, consequential, incidental exemplary, punitive or special damages, including, but not limited to, any loss of profit or revenue, arising from or in connection with any breach or violation of the agreement or from any action or omission relating to this Agreement, whether or not the other party has been advised of the possibility of such damage.
3. The validity, interpretation and construction of this Agreement, and all other matters related to this Agreement, shall be governed and interpreted in accordance with the laws of the United States of America.

## **6. Mutually Agreed and Understood By and Between the Parties**

1. Organization is participating in the City of Lake Geneva Pass Program as a public service and that no charges or claims will be made against the City of Lake Geneva for services performed under this agreement.
2. This instrument in no way restricts the City of Lake Geneva or the vendor from participating in similar activities with other public or private agencies, organizations, and individuals.
3. TAXPAYER IDENTIFICATION NUMBER. Pursuant to the Debt Collection Improvement Act of 1996, as amended by Public Law 104-134, cooperators shall furnish their tax identification number upon execution of this instrument. The cooperator also agrees that notice of the City of Lake Geneva' intent to use such number for purposes of collecting and reporting on any delinquent amounts arising out of such person's relationship with the Government, has hereby been given.

## **Signatures:**

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Representative of Viplly

Date

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Representative of City of Lake Geneva

Date

City of Lake Geneva Address:

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City of Lake Geneva Tax ID:

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## City of Lake Geneva Policy Regarding Issuance of Regular and Reserve Intoxicating Liquor Licenses

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### Purpose

The City of Lake Geneva has created this policy to establish criteria and set guidelines to aid the Finance, License and Regulation Committee along with the Common Council in the selection and issuance of a "Class B" Intoxicating Liquor License and a Reserve "Class B" Intoxicating Liquor License. These licenses (typically referred to as "bar/tavern licenses") give a business the ability to serve intoxicating liquor, fermented malt beverages, and wine for on-premises consumption.

### Background

The City of Lake Geneva, like most all municipalities in the State of Wisconsin, was required to establish a quota of "Class B" Intoxicating Liquor as of December 1, 1997. Once the number of Regular Intoxicating Liquor licenses was established, it was also determined that the City could accrue more Reserve Intoxicating Liquor Licenses, with a population increase of 500 people, per the Wisconsin Department of Administration's population estimate every year. The City of Lake Geneva is an anomaly, versus other municipalities, due to its high level of tourism and lack of special legislation in relation to the number and issuance of liquor licenses within the municipality. Due to the limited nature of the "Class B" Intoxicating Liquor Licenses and Reserve "Class B" Intoxicating Liquor Licenses with the City, it is imperative that a set of guidelines and criteria be established to make the selection of a license applicant fair and transparent.

### Fees

The fees for the "Class B" Intoxicating Liquor Licenses are as follows:

- Regular "Class B" Intoxicating Liquor License & Class "B" Fermented Malt Beverage License: \$600
- Reserve "Class B" Intoxicating Liquor License & Class "B" Fermented Malt Beverage License: \$600
- Reserve "Class B" Intoxicating Liquor License One-Time Filing Fee: \$10,000
- Publication fee (required of all license applicants) \$25

No fees shall be required until the reviewing committees have made and approved an applicant to receive the license. Once an applicant is chosen and approved by the reviewing committee, the applicant will need to pay all license fees before it can be issued by the City Clerk's Office.

### Criteria

Applicants filing for a Regular or Reserve "Class B" Intoxicating Liquor License will be evaluated based on criteria as outlined below. Each criteria option will have a point evaluation associated with it. The total score of all points scored must equal or exceed 30 points to qualify the applicant for a license. The reviewing committee will confirm that the application score equaled or exceeded 30 points and award the applicant a Regular or Reserve "Class B" Intoxicating Liquor License provided all other obligations are met. If the reviewing committee determines that the score is less than 30 points, then it will deny the application. If there are two or more applications, the application with the highest score equal to or higher than 30 points shall be awarded the license. In the event that two applicants tie in the evaluation process, it will be the sole discretion of the committee to determine which applicant shall receive the license.

\*Please Note: This policy shall only apply to the licenses with a state imposed quota: "Class B" Intoxicating Liquor Licenses and Reserve "Class B" Intoxicating Liquor Licenses with the City. All other liquor licenses issued by the City do not have a quota.\*

**Restaurants**

Is the applicant requesting a license for a full restaurant where food sales and processing is the main revenue source (i.e. food sales makes up at least 50% of the gross receipts for the business)?

Yes (5 points)                      OR                       No (2 points)

If the applicant is planning to have food available to patrons, will the menu contain at least 20% of its items grown/raised by local farmers/growers located within 100 miles of Lake Geneva?

Yes (4 points)                      OR                       No (0 points)

If yes, please list the farmers/growers and products that will be utilized:

Geneva Lakes Produce - Fresh vegs, greens, herbs.  
Sassy Cow Creamery - Dairy ICE Cream. Yuppie Hill Poultry  
eggs.

With respect to intoxicating liquor, wine and fermented malt beverages, does the applicant plan to offer small-batch and craft items for at least 50% of its intoxicating liquor menu with these items purchased from local breweries/wineries/distilleries located within 100 miles of Lake Geneva?

Yes (4 points)                      OR                       No (0 points)

If yes, please list the breweries/wineries/distilleries and products that will be utilized: State Wine Dist. - Vodka,

Gin, Coffee Liqueur. Dancing Goat Dist. - Cow Pie, Cherry Pie. Top Note - Ginger  
Beer, TONIC, INDIAN TONIC.

Building  
Is the applicant requesting a license for a new or existing building?

New (2 points)                      OR                       Existing (4 points)

Will the applicant make any improvements to the new or existing property? If so, how much what is the projected amount that will be spent on renovations/updates?

- \$5,000 to \$25,000                       (1 point)
- \$25,001- \$75,000                       (2 points)
- \$75,001- \$150,000                       (3 points)
- \$15,001+                       (4 points)

What is the size of the building where the license will be used?

- 1,000 sq to 2,500 square feet \_\_\_\_\_ (4 points)
- 2,501 sq to 5,000 square feet \_\_\_\_\_ (3 points)
- 5,001 sq to 10,000 square feet X (2 points)
- 10,000+ square feet \_\_\_\_\_ (1 point)

What will be the patron seating capacity of the business?

- 30-50 seating capacity \_\_\_\_\_ (4 points)
- 51-100 seating capacity \_\_\_\_\_ (3 points)
- 101-200 seating capacity X (2 points)
- 201-300 seating capacity \_\_\_\_\_ (1 point)
- 300+ is 0 points because it automatically qualifies for a Class B Combo License

What is the proximity of other licensed establishments to the applicant's? (Entrance to Entrance) Select most accurate option.

- >30 feet X (2 points)
- <30 feet \_\_\_\_\_ (1 point)

Will your business provide parking for your patrons, or will patrons need to utilize City metered parking?

- X Own Parking (2 points) OR \_\_\_\_\_ City Owned parking (1 point)

#### Demographics

Will the applicant be purchasing or does currently own this property?

- \_\_\_\_\_ Yes (3 points) OR X No (1 point)

How many people will the applicant employ?

- 5-10 employees \_\_\_\_\_ (2 points)
- 11-30 employees X (3 points)
- 31-40 employees \_\_\_\_\_ (4 points)
- 40+ employees \_\_\_\_\_ (5 points)

Where does the owner of the business live?

- City of Lake Geneva \_\_\_\_\_ (5 points) Outside the City of Lake Geneva but in Walworth County \_\_\_\_\_ (3 points)

**Total**

Total number of points applicant scored 31

**Scoring Guidelines**

The applicant must score 30 or more points to qualify for a Regular or Reserve "Class B" Intoxicating Liquor License.

**Conclusion/Determination**

In the event of a tied application score between multiple applicants, it will be the committee's discretion to discuss the various applicants and determine which applicant will be granted the license, while closely following the guidelines as aforementioned. All licenses are subject to the approval of the Common Council, and no license will be issued to any applicant with outstanding city claims (i.e. personal property tax, utilities, license fees, etc)

Additionally the City of Lake Geneva Police Department shall complete a background check on the applicant. This background check will be included as part of the reviewing committee's determination.



# CITY OF LAKE GENEVA ALCOHOL LICENSE CHECKLIST

Checklist must be submitted by each applicant seeking a new Alcohol License. Incomplete applications will be rejected.

Applicant/Agent Name: Eric Webber / Mangiamici Italiano LLC  
 Business Name and Address: Cuoco Pazzo Antipasto Bar, 393 N EDWARDS BLVD  
 Type of Alcohol License(s) Sought: Lake Geneva, WI

53147

Applicant	Office Use	Item
<input type="checkbox"/>	<input type="checkbox"/>	Discuss with City Clerk (or Assistant City Clerk) the desired alcohol license and proposed use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Original Alcohol Beverage Retail License Application (AT-106). Thoroughly complete questions 1-14 and complete the box in the upper right corner. Application can be notarized by the Clerk's Office.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Auxiliary Questionnaire (AT-103). Thoroughly complete the top sections and questions 1-6. A copy must be submitted for each officer, director, member, manager and agent of the corporation, LLC, or non-profit organization. Application(s) can be notarized by the Clerk's Office.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Agent Schedule (AT-104). Thoroughly complete the top section and the "Acceptance by Agent" section.
<input type="checkbox"/>	<input type="checkbox"/>	\$25 publication fee payable to the City of Lake Geneva and due upon application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proof of Completing Responsible Beverage Server Training Course. Individuals, partners and agents of corporations and LLC's must have successfully completed an approved responsible beverage server training course within the past two years. Does not apply to individuals who held, or were an agent of a corporation or LLC that held a liquor license within the past two years.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proof of Residency. Applicants must have resided 90 days continuously in this state prior to the date of application. Proof of residency could include voter registration, motor vehicle registration, driver's license, residential lease or purchase agreement, or income tax records. Officers, directors, members or managers of corporations or LLCs are not required to meet the State residency requirement.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proof of Wisconsin Seller's Permit. Can be a copy of a letter, e-mail or website from the State of Wisconsin proving that the applicant is in good standing for sales tax purposes and holds a valid seller's permit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Map of premises. Applicant must submit a map of the premises, identifying the building(s), room(s), and/or land area under his/her control where alcohol beverages will be sold, served, consumed, or stored. Map does not need to be drawn to scale but should include a small compass arrow showing which direction is north.

Applications (AT-106, AT-103, AT-104) may be obtained at City Hall or from the Wisconsin Department of Revenue website, <http://www.revenue.wi.gov/forms/alcohol>

*For Office Use Only*

Date Filed with Clerk: 2/26/2020  
Publication Fee Receipt: 10007076 Amount Paid: \$25-  
Date Published in Newspaper: \_\_\_\_\_  
License Fee Receipt: \_\_\_\_\_ Amount Paid: \_\_\_\_\_  
Date forwarded to Police Chief: \_\_\_\_\_  
FLR/Council Approval: \_\_\_\_\_  
License Issued Date: \_\_\_\_\_ License Number: \_\_\_\_\_

# Original Alcohol Beverage Retail License Application

(Submit to municipal clerk.)

For the license period beginning: \_\_\_\_\_ ending: \_\_\_\_\_  
(mm dd yyyy) (mm dd yyyy)

To the Governing Body of the:  Town of } Lake Geneva  
 Village of }  
 City of }

County of Walworth Aldermanic Dist. No. \_\_\_\_\_  
(if required by ordinance)

Check one:  Individual  Limited Liability Company  
 Partnership  Corporation/Nonprofit Organization

Applicant's Wisconsin Seller's Permit Number <b>456-1028545885-02</b>	
FEIN Number <b>47-2671461</b>	
TYPE OF LICENSE REQUESTED	FEE
<input type="checkbox"/> Class A beer	\$
<input type="checkbox"/> Class B beer	\$
<input type="checkbox"/> Class C wine	\$
<input type="checkbox"/> Class A liquor	\$
<input type="checkbox"/> Class A liquor (cider only)	\$ N/A
<input type="checkbox"/> Class B liquor	\$
<input type="checkbox"/> Reserve Class B liquor	\$
<input type="checkbox"/> Class B (wine only) winery	\$
Publication fee	\$ <u>25</u>
<b>TOTAL FEE</b>	\$

pd2/2/20

Name (individual / partners give last name, first, middle; corporations / limited liability companies give registered name)  
Mangiam: Italiano LLC

An "Auxiliary Questionnaire," Form AT-103, must be completed and attached to this application by each individual applicant, by each member of a partnership, and by each officer, director and agent of a corporation or nonprofit organization, and by each member/manager and agent of a limited liability company. List the full name and place of residence of each person.

President / Member Last Name	(First)	(Middle Name)	Home Address (Street, City, State, Zip)
<u>Webber</u>	<u>Eriz</u>	<u>L.</u>	[REDACTED]
Vice President / Member Last Name	(First)	(Middle Name)	
Secretary / Member Last Name	(First)	(Middle Name)	
Treasurer / Member Last Name	(First)	(Middle Name)	
Agent Last Name	(First)	(Middle Name)	
<u>Webber</u>	<u>Eriz</u>	<u>L.</u>	
Directors / Managers Last Name	(First)	(Middle Name)	

1. Trade Name Cuoco Pazzo Antipasto bar Business Phone Number 920-650-7520  
 2. Address of Premises 393 N EDWARDS BLVD Post Office & Zip Code Lake Geneva 53147

3. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, consumption, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.)

Restaurant Building: Dining Rooms, Porch, Party Room, Bar, Bar storage, Basement-Dry Storage, wine cellar, Beverage cooler, Beer cooler, Liquor storage room.

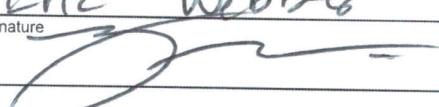
4. Legal description (omit if street address is given above): \_\_\_\_\_

5. (a) Was this premises licensed for the sale of liquor or beer during the past license year? .....  Yes  No

(b) If yes, under what name was license issued? The Red Geranium

6. Is individual, partners or agent of corporation/limited liability company subject to completion of the responsible beverage server training course for this license period? **If yes, explain** .....  Yes  No
7. Is the applicant an employe or agent of, or acting on behalf of anyone except the named applicant? .....  Yes  No  
**If yes, explain.**
8. Does any other alcohol beverage retail licensee or wholesale permittee have any interest in or control of this business? **If yes, explain** .....  Yes  No
9. (a) **Corporate/limited liability company applicants only:** Insert state WI and date \_\_\_\_\_ of registration.
- (b) Is applicant corporation/limited liability company a subsidiary of any other corporation or limited liability company? **If yes, explain** .....  Yes  No
- (c) Does the corporation, or any officer, director, stockholder or agent or limited liability company, or any member/manager or agent hold any interest in any other alcohol beverage license or permit in Wisconsin? **If yes, explain.**  Yes  No  
DBA Mangiamì Italiano, 226 S MAIN ST.  
Fort Atkinson WI 53538
10. Does the applicant understand they must register as a Retail Beverage Alcohol Dealer with the federal government, Alcohol and Tobacco Tax and Trade Bureau (TTB) by filing (TTB form 5630.5d) before beginning business? [phone 1-877-882-3277] .....  Yes  No
11. Does the applicant understand they must hold a Wisconsin Seller's Permit? [phone (608) 266-2776] .....  Yes  No
12. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers, breweries and brewpubs? .....  Yes  No

**READ CAREFULLY BEFORE SIGNING:** Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signer. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000. Signer agrees to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants, or one member of a partnership applicant must sign; one corporate officer, one member/manager of Limited Liability Companies must sign.) Any lack of access to any portion of a licensed premises during inspection will be deemed a refusal to permit inspection. Such refusal is a misdemeanor and grounds for revocation of this license.

Contact Person's Name (Last, First, M.I.) <u>Eric Webber</u>	Title/Member <u>OWNER/Agent</u>	Date <u>2-26-2020</u>
Signature 	Phone Number 	

**TO BE COMPLETED BY CLERK**

Date received and filed with municipal clerk	Date reported to council / board	Date provisional license issued	Signature of Clerk / Deputy Clerk
Date license granted	Date license issued	License number issued	

SCHEDULE FOR APPOINTMENT OF AGENT BY CORPORATION/NONPROFIT ORGANIZATION OR LIMITED LIABILITY COMPANY

Submit to municipal clerk.

All corporations/organizations or limited liability companies applying for a license to sell fermented malt beverages and/or intoxicating liquor must appoint an agent. The following questions must be answered by the agent. The appointment must be signed by the officer(s) of the corporation/organization or members/managers of a limited liability company and the recommendation made by the proper local official.

To the governing body of:  Town  Village  City of Lake Geneva County of Walworth

The undersigned duly authorized officer(s)/members/managers of Mangiami Italiano LLC (registered name of corporation/organization or limited liability company)

a corporation/organization or limited liability company making application for an alcohol beverage license for a premises known as

Cuoco Pazzo Antipasto Bar (trade name) located at 393 N EDWARDS BLVD., Lake Geneva, WI 53147

appoints Eric Webber (name of appointed agent) 501 Washington St. Fort Atkinson, WI 53538 (home address of appointed agent)

to act for the corporation/organization/limited liability company with full authority and control of the premises and of all business relative to alcohol beverages conducted therein. Is applicant agent presently acting in that capacity or requesting approval for any corporation/organization/limited liability company having or applying for a beer and/or liquor license for any other location in Wisconsin?

Yes  No If so, indicate the corporate name(s)/limited liability company(ies) and municipality(ies). Mangiami Italiano LLC, Fort Atkinson, WI.

Is applicant agent subject to completion of the responsible beverage server training course?  Yes  No How long immediately prior to making this application has the applicant agent resided continuously in Wisconsin? 12 years

Place of residence last year [REDACTED]

For: Mangiami Italiano LLC (name of corporation/organization/limited liability company)

By: [Signature] (signature of Officer/Member/Manager)

And: \_\_\_\_\_ (signature of Officer/Member/Manager)

ACCEPTANCE BY AGENT

I, Eric Webber (print/type agent's name), hereby accept this appointment as agent for the

corporation/organization/limited liability company and assume full responsibility for the conduct of all business relative to alcohol beverages conducted on the premises for the corporation/organization/limited liability company.

[Signature] 2-26-2020 Agent's age [REDACTED] Date of birth [REDACTED]

APPROVAL OF AGENT BY MUNICIPAL AUTHORITY (Clerk cannot sign on behalf of Municipal Official)

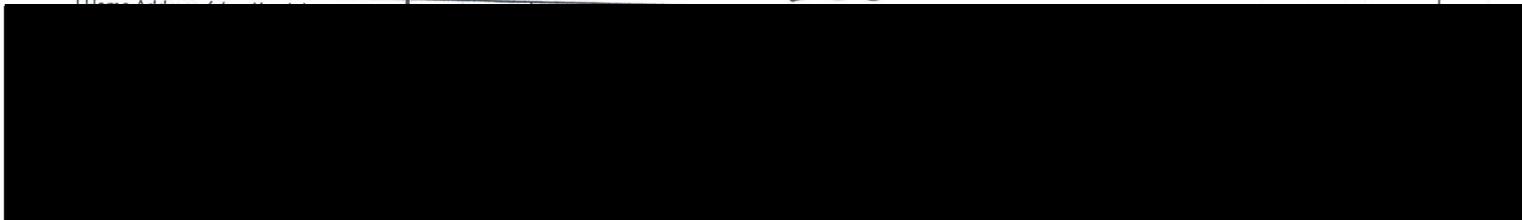
I hereby certify that I have checked municipal and state criminal records. To the best of my knowledge, with the available information, the character, record and reputation are satisfactory and I have no objection to the agent appointed.

Approved on 2-27-2020 by [Signature] (signature of proper local official) Title [Signature] (town chair, village president, police chief)

# Auxiliary Questionnaire Alcohol Beverage License Application

Submit to municipal clerk.

Individual's Full Name (please print) (last name) (first name) (middle name)  
Webber, Eric Lee



- Applying for an alcohol beverage license as an individual.  
 A member of a partnership which is making application for an alcohol beverage license.  
 Agent of Mangiami Italiano LLC  
(Officer / Director / Member / Manager / Agent) (Name of Corporation, Limited Liability Company or Nonprofit Organization)

which is making application for an alcohol beverage license.

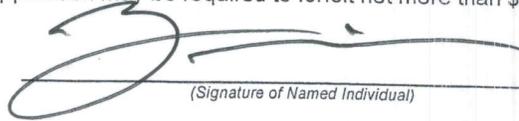
The above named individual provides the following information to the licensing authority:

1. How long have you continuously resided in Wisconsin prior to this date? 12 years
2. Have you ever been convicted of any offenses (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of any other states or ordinances of any county or municipality?  Yes  No  
 If yes, give law or ordinance violated, trial court, trial date and penalty imposed, and/or date, description and status of charges pending. (If more room is needed, continue on reverse side of this form.)  
10/3/2009 DUI, Huber 120 days
3. Are charges for any offenses presently pending against you (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of other states or ordinances of any county or municipality?  Yes  No  
 If yes, describe status of charges pending.
4. Do you hold, are you making application for or are you an officer, director or agent of a corporation/nonprofit organization or member/manager/agent of a limited liability company holding or applying for any other alcohol beverage license or permit?  Yes  No  
 If yes, identify DBA: Mangiami Italiano, 226 S. Main St., Fort Atkinson, WI, Liq. Beer, Wine  
(Name, Location and Type of License/Permit)
5. Do you hold and/or are you an officer, director, stockholder, agent or employe of any person or corporation or member/manager/agent of a limited liability company holding or applying for a wholesale beer permit, brewery/winery permit or wholesale liquor, manufacturer or rectifier permit in the State of Wisconsin?  Yes  No  
 If yes, identify.  
(Name of Wholesale Licensee or Permittee) (Address By City and County)

6. Named individual must list in chronological order last two employers.

Employer's Name <u>Cuoco Pazzo Creations</u>	Employer's Address <u>309 Bluff Street, Fort Atkinson</u>	Employed From <u>2019</u>	To <u>PRESENT</u>
Employer's Name <u>Mangiami Italiano</u>	Employer's Address <u>226 S. Main St., Fort Atkinson</u>	Employed From <u>2012</u>	To <u>Present</u>

**READ CAREFULLY BEFORE SIGNING:** Under penalty provided by law, the undersigned states that each of the above questions has been truthfully answered to the best of the knowledge of the signer. The signer agrees that he/she is the person named in the foregoing application; that the applicant has read and made a complete answer to each question, and that the answers in each instance are true and correct. The undersigned further understands that any license issued contrary to Chapter 125 of the Wisconsin Statutes shall be void, and under penalty of state law, the applicant may be prosecuted for submitting false statements and affidavits in connection with this application. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000.

  
 (Signature of Named Individual)

CITY OF FORT ATKINSON  
JEFFERSON COUNTY  
WISCONSIN

"CLASS B" INTOXICATING LIQUOR AND CLASS "B" FERMENTED MALT BEVERAGE

For the Sale of  
Intoxicating Liquor and Fermented Malt Beverage for on-site consumption.

WHEREAS, the local governing body of the City of Fort Atkinson, Jefferson County, Wisconsin, has upon application duly made, granted and authorized the issuance of a Retail License to sell Intoxicating Liquor as defined by and pursuant to Section 125.51(3) of the Statutes of the State of Wisconsin and Local Ordinances and the said applicant has paid to the Treasurer the sum of \$500.00 for such "Class B" Intoxicating Liquor as required by local ordinances, and

WHEREAS, the local governing body of the City of Fort Atkinson, Jefferson County, Wisconsin, has upon application duly made, granted and authorized the issuance of a Retail License to sell Fermented Malt Beverages as defined by and pursuant to Section 125.26(1) of the Statutes of the State of Wisconsin and Local Ordinances and the said applicant has paid to the Treasurer the sum of \$100.00 for such Class "B" Fermented Malt Beverage License as required by local ordinances.

LICENSES ARE HEREBY ISSUED to said applicant to sell, deal and traffic in at retail, Fermented Malt Beverages and Intoxicating Liquor.

Mangiami Italiano LLC Mangiami Italiano 226 S Main St Fort Atkinson, WI 53538 Agent Eric Webber WI Sellers Permit 456-1028545885-02	<u>Premise Description</u> Dining room, bar, chef's room, dry storage and basement.
--	--

This license is subject to the surrender provisions as provided in Chapter 6, Alcohol Beverage Licensing of the Municipal Code of the City of Fort Atkinson for the period of 07/01/2019 to 06/30/2020.



Given under my hand and seal of the  
City of Fort Atkinson, County of Jefferson,  
State of Wisconsin on the 5<sup>th</sup> day of June, 2019.

*Michelle A Ebbert*  
Michelle A Ebbert, City Clerk/Treasurer

This license must be FRAMED and POSTED in a conspicuous place in the room where Intoxicating Liquors and Fermented Malt Beverages are sold.

License Number: BLBB-19-20-3400  
Fee: \$600.00



WISCONSIN DEPARTMENT OF REVENUE  
 PO BOX 8902  
 MADISON, WI 53708-8902

**Contact Information:**

2135 RIMROCK RD PO BOX 8902  
 MADISON, WI 53708-8902  
 ph: 608-266-2776 fax: 608-264-6884  
 email: DORBusinessTax@wisconsin.gov  
 website: revenue.wi.gov

Letter ID L0263626000

MANGIAMI ITALIANO LLC  
 226 S MAIN ST  
 FORT ATKINSON WI 53538-2228

**Wisconsin Department of Revenue Seller's Permit**

**Legal/real name:** MANGIAMI ITALIANO LLC  
**Business name:** CUOCO PAZZO ANTIPASTO BAR  
 393 N EDWARDS BLVD  
 LAKE GENEVA WI 53147-4563

- This certificate confirms you are registered with the Wisconsin Department of Revenue and authorized in the business of selling tangible personal property and taxable services.
- You may not transfer this permit.
- This permit must be displayed at the place of business and is not valid at any other location.
- If your business is not operated from a fixed location, you must carry or display this permit at all events.

<b>Tax Type</b>	<b>Account Type</b>	<b>Account Number</b>
Sales & Use Tax	Seller's Permit	456-1028545885-02



**State of Wisconsin • DEPARTMENT OF REVENUE**

Personal Wallet Copy

Seller's Permit: 456-1028545885-02

Legal/Real Name: MANGIAMI ITALIANO LLC

Signature \_\_\_\_\_

A handwritten signature in black ink, appearing to be 'Mangiame Italiano LLC', written over a horizontal line.





Design Build  
Since 1957

April 1, 2020

Mr. Dave Nord, City Administrator  
[cityadmin@cityoflakegeneva.com](mailto:cityadmin@cityoflakegeneva.com)  
City of Lake Geneva  
626 Geneva Street  
Lake Geneva, WI 53147

**RE: Historic Riviera Building Improvements Projects  
812 Wrigley Drive  
Lake Geneva, WI**

Dear Dave:

The purpose of this letter is to forward the March draw request for work associated with the building improvements at the Historic Riviera building. Please find the following items enclosed:

- Application and Certificate for Payment, invoice #26876, Application No.: 4, Change Order #4, for the Glass & Glazing, Tuckpointing and Roof Replacement scope of work
- MSI General Corporation partial waiver of lien
- And the following subcontractor lien waivers:

Badger Scaffolding (scaffold installation/rental)  
Masonry Restoration (masonry tuck pointing)  
Renaissance Roofing (roofing clay tile/concrete tile)  
Ackman Glass (glass & glazing)

If you have any questions or require further paper work, please feel free to contact me at any time.

Sincerely,

MSI GENERAL CORPORATION

  
Dione M Funk  
Accounting

MSI General

Corporation

P.O. Box 7

Oconomowoc

Wisconsin

53066

262.567.5661

Fax 262.567.7590

[www.msigeneral.com](http://www.msigeneral.com)

Cc: Jay Craig, MSI General Corporation, [jay@msisgeneral.com](mailto:jay@msisgeneral.com)  
Adam Wolfe, MSI General Corporation, [adamw@msigeneral.com](mailto:adamw@msigeneral.com)  
Dave Luterbach, MSI General Corporation, [davel@msigeneral.com](mailto:davel@msigeneral.com)

# APPLICATION AND CERTIFICATE FOR PAYMENT

Invoice #: 26876

To Owner: City of Lake Geneva  
626 Geneva Street

Project: 4453- The Riviera

Application No. : 4

Distribution to :

Owner

Architect

Contractor

Lake Geneva, WI 53147

Period To: 3/31/2020

From Contractor: MSI General Corporation  
PO Box 7  
Oconomowoc, WI 53066

Via Architect: Bert J. Zenker, AIA

Project Nos: 4453

Contract For: Building Improvements

Contract Date:

## CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.  
Continuation Sheet is attached.

1. Original Contract Sum .....	\$2,168,332.00
2. Net Change By Change Order .....	\$0.00
3. Contract Sum To Date .....	\$2,168,332.00
4. Total Completed and Stored To Date .....	\$1,037,603.00
5. Retainage:	
a. 5.00% of Completed Work	\$51,880.15
b. 0.00% of Stored Material	\$0.00
Total Retainage .....	\$51,880.15
6. Total Earned Less Retainage .....	\$985,722.85
7. Less Previous Certificates For Payments .....	\$655,401.20
8. Current Payment Due .....	\$330,321.65
9. Balance To Finish, Plus Retainage .....	\$1,182,609.15

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information, and belief, the work covered by this Application for Payment has been completed in accordance with the Contract Documents. That all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: MSI General Corporation

By: Susan Butler Date: 3-31-2020

State of: Wisconsin  
 Subscribed and sworn to before me this 31<sup>st</sup>  
 Notary Public: Dore M. Funk  
 My Commission expires: 8/23/21  
 County of: Waupesa  
 day of March, 2020

## ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising the above application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information, and belief, the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ 330,321.65

(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on th Continuation Sheet that are changed to conform with the amount certified.)

ARCHITECT:

By: BZ Date: 3-31-2020

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment, and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CHANGE ORDER SUMMARY	Additions	Deductions
Total changes approved in previous months by Owner	\$0.00	\$0.00
Total Approved this Month	\$0.00	\$0.00
TOTALS	\$0.00	\$0.00
Net Changes By Change Order	\$0.00	

# CONTINUATION SHEET

**Application and Certification for Payment**, containing

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

**Application No. : 4**

**Application Date : 03/31/20**

**To: 03/31/20**

**Architect's Project No.: 4453**

**Invoice # : 26876**

**Contract : 4453- The Riviera**

A Item No.	B Description of Work	C Scheduled Value	D Work Completed		F Materials Presently Stored  (Not in D or E)	G Total Completed and Stored To Date (D+E+F)	% (G / C)	H Balance To Finish (C-G)	I Retainage
			From Previous Application (D+E)	This Period In Place					
1	The Riviera	0.00	0.00	0.00	0.00	0.00	0.00%	0.00	
2001	Change Order #1	0.00	0.00	0.00	0.00	0.00	0.00%	0.00	
2002	Change Order #2	0.00	0.00	0.00	0.00	0.00	0.00%	0.00	
2003	Change Order #3	0.00	0.00	0.00	0.00	0.00	0.00%	0.00	
2004	Change Order #4	0.00	0.00	0.00	0.00	0.00	0.00%	0.00	
2005	Change Order #5	0.00	0.00	0.00	0.00	0.00	0.00%	0.00	
2003-106	CO3 Supervision	1,700.00	1,148.00	552.00	0.00	1,700.00	100.00%	0.00	
2003-185	CO3 Insurance	164.00	164.00	0.00	0.00	164.00	100.00%	0.00	
2003-190	CO3 Project Management	625.00	625.00	0.00	0.00	625.00	100.00%	0.00	
2003-200	CO3 Marine Survey	9,500.00	9,500.00	0.00	0.00	9,500.00	100.00%	0.00	
2003-244	CO3 Asbestos Testing	4,600.00	4,600.00	0.00	0.00	4,600.00	100.00%	0.00	
2004-106	CO4 Supervision	49,271.00	8,840.00	6,450.00	0.00	15,290.00	31.03%	33,981.00	
2004-109	CO4 Pavers Protection - Allowance	7,500.00	1,500.00	0.00	0.00	1,500.00	20.00%	6,000.00	
2004-110	CO4 State Permits including Historical Review	16,251.00	0.00	0.00	0.00	0.00	0.00%	16,251.00	
2004-112	CO4 Construction Electric	6,999.00	450.00	0.00	0.00	450.00	6.43%	6,549.00	
2004-113	CO4 Temp Heat - Allowance	15,000.00	8,629.00	3,670.00	0.00	12,299.00	81.99%	2,701.00	
2004-114	CO4 Winter Conditions - Allowance	2,001.00	0.00	0.00	0.00	0.00	0.00%	2,001.00	
2004-117	CO4 Job Trailer	1,800.00	0.00	0.00	0.00	0.00	0.00%	1,800.00	
2004-118	CO4 Dumpsters	6,050.00	0.00	0.00	0.00	0.00	0.00%	6,050.00	
2004-121	CO4 General Cleaning	10,500.00	0.00	0.00	0.00	0.00	0.00%	10,500.00	
2004-122	CO4 Final Cleaning	8,499.00	0.00	0.00	0.00	0.00	0.00%	8,499.00	
2004-125	CO4 Temp Fence	6,000.00	200.00	0.00	0.00	200.00	3.33%	5,800.00	
2004-126	CO4 Temp Storage Trailers	2,001.00	0.00	0.00	0.00	0.00	0.00%	2,001.00	
2004-127	CO4 Temp Railings	1,500.00	0.00	0.00	0.00	0.00	0.00%	1,500.00	
2004-129	CO4 Temp Toilets	600.00	0.00	0.00	0.00	0.00	0.00%	600.00	
2004-130	CO4 Knox Box	750.00	0.00	0.00	0.00	0.00	0.00%	750.00	
2004-133	CO4 Reproduction	1,002.00	789.00	0.00	0.00	789.00	78.74%	213.00	
2004-135	CO4 UPS - Allowance	501.00	30.00	33.00	0.00	63.00	12.57%	438.00	
2004-137	CO4 Barriers & Enclosures	3,300.00	0.00	3,300.00	0.00	3,300.00	100.00%	0.00	
2004-138	CO4 Street Cleaning/Snow Removal	6,000.00	0.00	0.00	0.00	0.00	0.00%	6,000.00	
2004-139	CO4 Scaffolding/Shoring	153,380.00	91,972.00	8,800.00	0.00	100,772.00	65.70%	52,608.00	
2004-143	CO4 Temp Walk-off Mats	1,002.00	0.00	0.00	0.00	0.00	0.00%	1,002.00	

# CONTINUATION SHEET

**Application and Certification for Payment**, containing Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

**Application No. : 4**

**Application Date : 03/31/20**

**To: 03/31/20**

**Architect's Project No.: 4453**

**Invoice # : 26876**

**Contract : 4453- The Riviera**

A Item No.	B Description of Work	C Scheduled Value	D Work Completed		F Materials Presently Stored  (Not in D or E)	G Total Completed and Stored To Date (D+E+F)	H % (G / C)	I Balance To Finish (C-G)	Retainage
			From Previous Application (D+E)	This Period In Place					
2004-144	CO4 Finishes Protection - Allowance	4,002.00	0.00	0.00	0.00	0.00	0.00%	4,002.00	
2004-146	CO4 As-Built CD's	1,500.00	0.00	0.00	0.00	0.00	0.00%	1,500.00	
2004-155	CO4 Job Sign	1,500.00	1,500.00	0.00	0.00	1,500.00	100.00%	0.00	
2004-156	CO4 Temp Signage	750.00	50.00	0.00	0.00	50.00	6.67%	700.00	
2004-185	CO4 Insurance	16,683.00	16,683.00	0.00	0.00	16,683.00	100.00%	0.00	
2004-187	CO4 Structural Steel Design	7,500.00	0.00	0.00	0.00	0.00	0.00%	7,500.00	
2004-190	CO4 Project Management	26,000.00	22,000.00	2,000.00	0.00	24,000.00	92.31%	2,000.00	
2004-243	CO4 Demolition	25,000.00	0.00	23,250.00	0.00	23,250.00	93.00%	1,750.00	
2004-400	CO4 Masonry Tuckpointing	309,701.00	182,038.00	42,502.00	0.00	224,540.00	72.50%	85,161.00	
2004-500	CO4 Structural Steel - Fabrications	8,000.00	0.00	0.00	0.00	0.00	0.00%	8,000.00	
2004-600	CO4 Carpentry	8,000.00	0.00	0.00	0.00	0.00	0.00%	8,000.00	
2004-750	CO4 Roofing Clay Tile/Conc Tile	488,855.00	172,815.00	182,331.00	0.00	355,146.00	72.65%	133,709.00	
2004-800	CO4 Glass & Glazing	470,040.00	22,500.00	15,000.00	0.00	37,500.00	7.98%	432,540.00	
2004-900	CO4 Painting	15,000.00	0.00	0.00	0.00	0.00	0.00%	15,000.00	
2005-106	CO5 Supervision Savings from Seawall/ACM Surveys	-630.00	0.00	-630.00	0.00	-630.00	100.00%	0.00	
2005-145	CO5 Builders Risk Certificate	1,595.00	0.00	1,595.00	0.00	1,595.00	100.00%	0.00	
2005-800	CO5 Glass & Glazing - Net Change	-3,755.00	0.00	0.00	0.00	0.00	0.00%	-3,755.00	
2003-9996	CO3 Perf Bond	820.00	820.00	0.00	0.00	820.00	100.00%	0.00	
2003-9999	CO3 Contractors Fee	1,327.00	1,327.00	0.00	0.00	1,327.00	100.00%	0.00	
2004-1520	CO4 Plumbing	5,000.00	0.00	0.00	0.00	0.00	0.00%	5,000.00	
2004-1600	CO4 Electrical	5,000.00	0.00	0.00	0.00	0.00	0.00%	5,000.00	
2004-9996	CO4 Performance Bond	32,100.00	32,100.00	0.00	0.00	32,100.00	100.00%	0.00	
2004-9997	CO4 Arch/Engineering	101,546.00	60,928.00	10,154.00	0.00	71,082.00	70.00%	30,464.00	
2004-9998	CO4 Contingency	169,244.00	0.00	22,785.00	0.00	22,785.00	13.46%	146,459.00	
2004-9999	CO4 Contractor's Fee	157,058.00	48,688.00	25,915.00	0.00	74,603.00	47.50%	82,455.00	
<b>Grand Totals</b>		<b>2,168,332.00</b>	<b>689,896.00</b>	<b>347,707.00</b>	<b>0.00</b>	<b>1,037,603.00</b>	<b>47.85%</b>	<b>1,130,729.00</b>	<b>51,880.15</b>

**WAIVER OF LIEN**

March 31, 2020

**For value received**, we hereby waive all rights and claims for lien onland and on buildings about to be erected, being erected, erected, altered or repaired and to the appurtenances thereunto,

for City of Lake Geneva owner,

by MSI General Corporation contractor,

for building improvements at The Riviera

same being situated in Walworth county, described as

The Riviera

812 Wrigley Drive

Lake Geneva, WI

for all labor performed and for all material furnished for the erection, construction, alteration or repair of said building and appurtenances, to date thru invoice #26876, subject to payment of same.

MSI General Corporation



Susan C. Butler,

Executive Vice President – CFO

**PARTIAL WAIVER OF LIEN**

Date: 2/10/20

**For value received**, we hereby waive all rights and claims for lien on land and on buildings about to be erected, being erected, erected, altered or repaired and to the appurtenances thereunto,

for City of Lake Geneva owner,  
by MSI General Corporation contractor,  
for Scaffold Installation and Rental Type of work,  
same being situated in Walworth County, State of Wisconsin, described as  
The Riviera Restoration

for all labor performed and for all material furnished for the erection, construction, alteration or repair of said building and appurtenances, to date.

Company Name: BADGER Scaffold LLC

Pete Lettjean  
Signature: (Officer of Company)

Pres  
Title

**LIEN WAIVER CERTIFICATION**

(to be executed by owner or principal officer)

STATE OF WISCONSIN )  
                                  )SS  
Wauwatosa COUNTY )

PROJECT: City of Lake Geneva  
The Riviera

The undersigned, being duly sworn on oath, states and deposes as follows:

1. That he is the owner or a principal officer of the company designated below, herein called Company.
2. That attached hereto is a billing or draw request regarding a project (named above) for MSI General Corporation, herein called MSI, which requests that MSI make a payment to the undersigned for labor or materials furnished on said project.
3. That with respect to the work, labor, services and materials covered by such billing or draw request, the following and no others, furnished or supplied labor, materials or services: (List Suppliers)

no Suppliers or Subcontractors used

That all of the above suppliers have been paid to date and/or in full as to the matters described in the attached billing or draw request and that their lien waivers are attached hereto, together with the lien waiver of the Company.

4. That this affidavit is made for the purpose of inducing MSI to make payment to the Company, the undersigned acknowledging that any misstatement of fact herein constitutes a criminal offense.

Subscribed and sworn to before me this

10<sup>th</sup> day of FEB, 2020

Lynn A Devroy  
Notary Public, State of Wisconsin

My Commission Expires: 12/01/2023

BROOKER Sutherland LLC  
(Company Name)

BY: Peter Petitjean  
Signature (Officer of Company)

Pres  
Title

**PLEASE HAVE NOTARIZED.**

LYNN A. DEVROY  
NOTARY PUBLIC  
STATE OF WISCONSIN

**PARTIAL WAIVER OF LIEN**

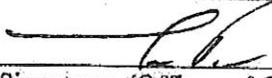
Date: 03/02/2020  
Invoice #5474-01

**For value received**, we hereby waive all rights and claims for lien on land and on buildings about to be erected, being erected, erected, altered or repaired and to the appurtenances thereunto,

for City of Lake Geneva owner,  
by MSI General Corporation contractor,  
for Masonry Restoration Type of work,  
same being situated in Walworth County, State of Wisconsin, described as  
The Riviera  
812 Wrigley Drive  
Lake Geneva, WI 53147

for all labor performed and for all material furnished for the erection, construction, alteration or repair of said building and appurtenances, to date.

Company Name: Masonry Restoration, Inc.

  
Signature: (Officer of Company)

Vice President  
Title

**LIEN WAIVER CERTIFICATION**

(to be executed by owner or principal officer)

STATE OF WISCONSIN )  
 )SS  
Walworth COUNTY )

PROJECT: The Riviera  
812 Wrigley Drive  
Lake Geneva, WI 53147

The undersigned, being duly sworn on oath, states and deposes as follows:

1. That he is the owner or a principal officer of the company designated below, herein called Company.
2. That attached hereto is a billing or draw request regarding a project (named above) for MSI General Corporation, herein called MSI, which requests that MSI make a payment to the undersigned for labor or materials furnished on said project.
3. That with respect to the work, labor, services and materials covered by such billing or draw request, the following and no others, furnished or supplied labor, materials or services: (List Suppliers)

All material from our paid stock.  
Our labor only.

That all of the above suppliers have been paid to date and/or in full as to the matters described in the attached billing or draw request and that their lien waivers are attached hereto, together with the lien waiver of the Company.

4. That this affidavit is made for the purpose of inducing MSI to make payment to the Company, the undersigned acknowledging that any misstatement of fact herein constitutes a criminal offense.

Subscribed and sworn to before me this

3 day of March, 2020  
[Signature]  
Notary Public, State of Wisconsin

My Commission Expires: 09/21/20

**PLEASE HAVE NOTARIZED.**



Masonry Restoration, Inc  
(Company Name)  
BY: [Signature]  
Signature (Officer of Company)  
Vice President

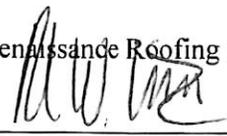
**WAIVER OF LIEN**

2/29/2020

**For value received**, we hereby waive all rights and claims for lien onland and on buildings about to be erected, being erected, erected, altered or repaired and to the appurtenances thereunto, for City of Lake Geneva owner, by MSI General Corporation contractor, for Roof Replacement Type of work, same being situated in Lake Geneva County, State of Wisconsin, described as The Riviera  
812 Wrigley Drive  
Lake Geneva, WI

for all labor performed and for all material furnished for the erection, construction, alteration or repair of said building and appurtenances, to date.

Renaissance Roofing Inc.

  
\_\_\_\_\_  
Signature: (Officer of company)

PRESIDENT  
\_\_\_\_\_  
Title

**LIEN WAIVER CERTIFICATION**

STATE OF WISCONSIN )  
 )  
 \_\_\_\_\_ COUNTY )

PROJECT: The Riviera  
812 Wrigley Drive  
Lake Geneva, WI 53147

The undersigned, being duly sworn on oath, states and deposes as follows:

1. That he is the owner or a principal officer of the company designated below, herein called Company.
2. That attached hereto is a billing or draw request regarding a project (named above) for MSI General Corporation, herein called MSI, which requests that MSI make a payment to the undersigned for labor or materials furnished on said project.
3. That with respect to the work, labor, services and materials covered by such billing or draw request, the following and no others, furnished or supplied labor, materials or services: (List Suppliers)

That all of the above suppliers have been paid to date and/or in full as to the matters described in the attached billing or draw request and that their lien waivers are attached hereto, together with the lien waiver of the Company.

4. That this affidavit is made for the purpose of inducing MSI to make payment to the Company, the undersigned acknowledging that any misstatement of fact herein constitutes a criminal offense.

Subscribed and sworn to before me this

27<sup>th</sup> day of March, 2020  
Juely K. Bartholomew  
Notary Public, State of Wisconsin Illinois

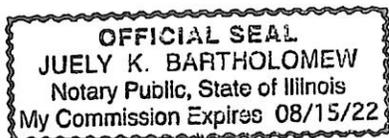
My Commission Expires: 8/15/22

Renaissance Roofing Inc.  
(Company Name)

BY: [Signature]  
Signature (Officer of Company)

Title: President

PLEASE HAVE NOTARIZED



**PARTIAL WAIVER OF LIEN**

DATE: MARCH 25, 2020

**For value received**, we hereby waive all rights and claims for lien on land and on buildings about to be erected, being erected, erected, altered or repaired and to the appurtenances thereunto,

for CITY OF LAKE GENEVA owner,  
by MSI General Corporation contractor,  
for ALUMINUM STOREFRONT GLASS + GLAZING Type of work,  
same being situated in WALWORTH County, State of Wisconsin, described as

THE RIVIERA

for all labor performed and for all material furnished for the erection, construction, alternation or repair of said building and appurtenances, to date.

Company Name: ACKMAN GLASS

Stephen Stedman  
Signature: (Officer of the Company)

COMPTROLLER  
Title

**LIEN WAIVER CERTIFICATION**

STATE OF WISCONSIN )  
                                  )  
WALWORTH COUNTY )

PROJECT:  
THE RIVIERA

The undersigned, being duly sworn on oath, states and deposes as follows:

1. That he is the owner or a principal officer of the company designated below, herein called Company.
2. That attached hereto is a billing or draw request regarding a project (named above) for MSI General Corporation, herein called MSI, which requests that MSI make a payment to the undersigned for labor or materials furnished on said project.
3. That with respect to the work, labor, services and materials covered by such billing or draw request, the following and no others, furnished or supplied labor, materials or services: (List Suppliers)

Taken from Stock

That all of the above suppliers have been paid to date and/or in full as to the matters described in the attached billing or draw request and that their lien waivers are attached hereto, together with the lien waiver of the Company.

4. That this affidavit is made for the purpose of inducing MSI to make payment to the Company, the undersigned acknowledging that any misstatement of fact herein constitutes a criminal offense.

Subscribed and sworn to before me this

25 day of July, 2020

[Signature]  
Notary Public, State of Wisconsin

My Commission Expires: 10/9/22

PLEASE HAVE NOTARIZED

Ackman Glass + Mirror  
(Company Name)

BY: [Signature]  
Signature (Officer of Company)

Title: Controller



# **2020 PARKING RATE INCREASE**

**FLR 1-21-20**

**January 21, 2019**

# WHY PARKING INCREASE?

**BUDGET SHORTFALL \$150,00-\$200,000**

**ONLY (3) AREAS FOR REVENUE IN LAKE GENEVA**

1. PROPERTY TAXES
2. LAKEFRONT
3. **PARKING**

**CITY DOES NOT KEEP SALES TAX**

**CITY DOES NOT HAVE A TOURIST TAX**

**CITY DOES NOT HAVE ROOM TAX**

**BURDEN TOURISTS OR RESIDENTS?**

# BACKGROUND

Discussed/Presented Publicly during Budget Meetings-Oct. 2019

## RATE INCREASE PARKING RATE OPTIONS

OPTION #1	\$2 CITYWIDE REGULAR PARKYEAR	\$350-\$400K
OPTION #2	\$3/\$1 CITYWIDE REGULAR PARKYEAR	\$350-\$400K
OPTION #3	\$3/\$1 RAISE ONLY IN SUMMER (3 Mos.)	\$200K

# BACKGROUND

Discussed/Presented Publicly during FLR 1/7/20

## RATE INCREASE PARKING RATE OPTIONS

OPTION #1	\$2 CITYWIDE REGULAR PARKYEAR	\$350-400K
OPTION #2	\$3/\$1 CITYWIDE REGULAR PARKYEAR	\$350-400K
OPTION #3	\$3/\$1 RAISE ONLY IN SUMMER (3 Mos.)	\$200K

### RECOMMENDATION:

OPTION #3 MOST REALISTIC-LAKE ZONES CONSISTENT

NO ADDITIONAL EXPENSES FOR CITY

NO ADDITIONAL EXPENSES FOR PARKING STAFF/SIGNS/STICKERS ON METER/MISC.

CUSTOMERS MOST LIKELY LESS-COST CONSCIOUS

\*ONLY 300 STALLS AFFECTED

\*ONLY 3 MONTHS OF YEAR AFFECTED (MEMORIAL-LABOR DAY)

# NEW REVENUE

## RATE INCREASE PARKING RATE OPTION COMPROMISE

OPTION #3	\$3/\$1 RAISE ONLY IN SUMMER (3 Mos.)	\$200K
AND RAISING TICKET FEE FROM \$20 TO \$40.....		\$125K

### RECOMMENDATION:

### OPTION #3 MOST REALISTIC-LAKE ZONES CONSISTENT

**NO ADDITIONAL EXPENSES FOR CITY**

**NO ADDITIONAL EXPENSES FOR PARKING STAFF/SIGNS/STICKERS ON METER/MISC.**

### CUSTOMERS MOST LIKELY LESS-COST CONSCIOUS

**\*ONLY 300 STALLS AFFECTED**

**\*ONLY 3 MONTHS OF YEAR AFFECTED (MEMORIAL-LABOR DAY)**

**\*ONLY PENALIZING NON-COMPLIANCE**

# #1 BID CONSIDERATIONS

**INCREASE RATE \$2 CITYWIDE**

**\$350K-\$400K**

**-AFFECT 800+ STALLS -259 DAYS**

**-FLAT RATE PRICE-NO INCENTIVE TO WALK**

# #1 BID CONSIDERATIONS

INCREASE RATE \$2 CITYWIDE

\$350-\$400K

CHANGE TO APRIL 15<sup>TH</sup> –NOVEMBER 15<sup>TH</sup>

LOSE MARCH 1-APRIL 14 REVENUE .....LOSS \$140K

# #1 BID CONSIDERATIONS

**INCREASE RATE \$2 CITYWIDE**

**\$350-\$400K**

**CHANGE TO APRIL 15<sup>TH</sup> –NOVEMBER 15<sup>TH</sup>**

**LOSE MARCH 1-APRIL 14 REVENUE .....LOSS \$140K**

**REVENUE TOP LOSSES**

**WRIGLEY \$23,000**

**SOUTH BROAD \$14,000**

**MAIN STREET \$35,000**

**STAFF EXPENDITURES/LOSS**

**UPFRONT COSTS/SIGNAGE/STICKERS \$5,000**

**RISK LOSING TALENT/EXPENSE OF UNEMPLOYMENT COSTS**

# #2 BID CONSIDERATIONS

<u>2018 REVENUE/METER</u>	<u>\$1.4MIL</u>
<u>2019 REVENUE/METER</u>	<u>\$1.35MIL</u>

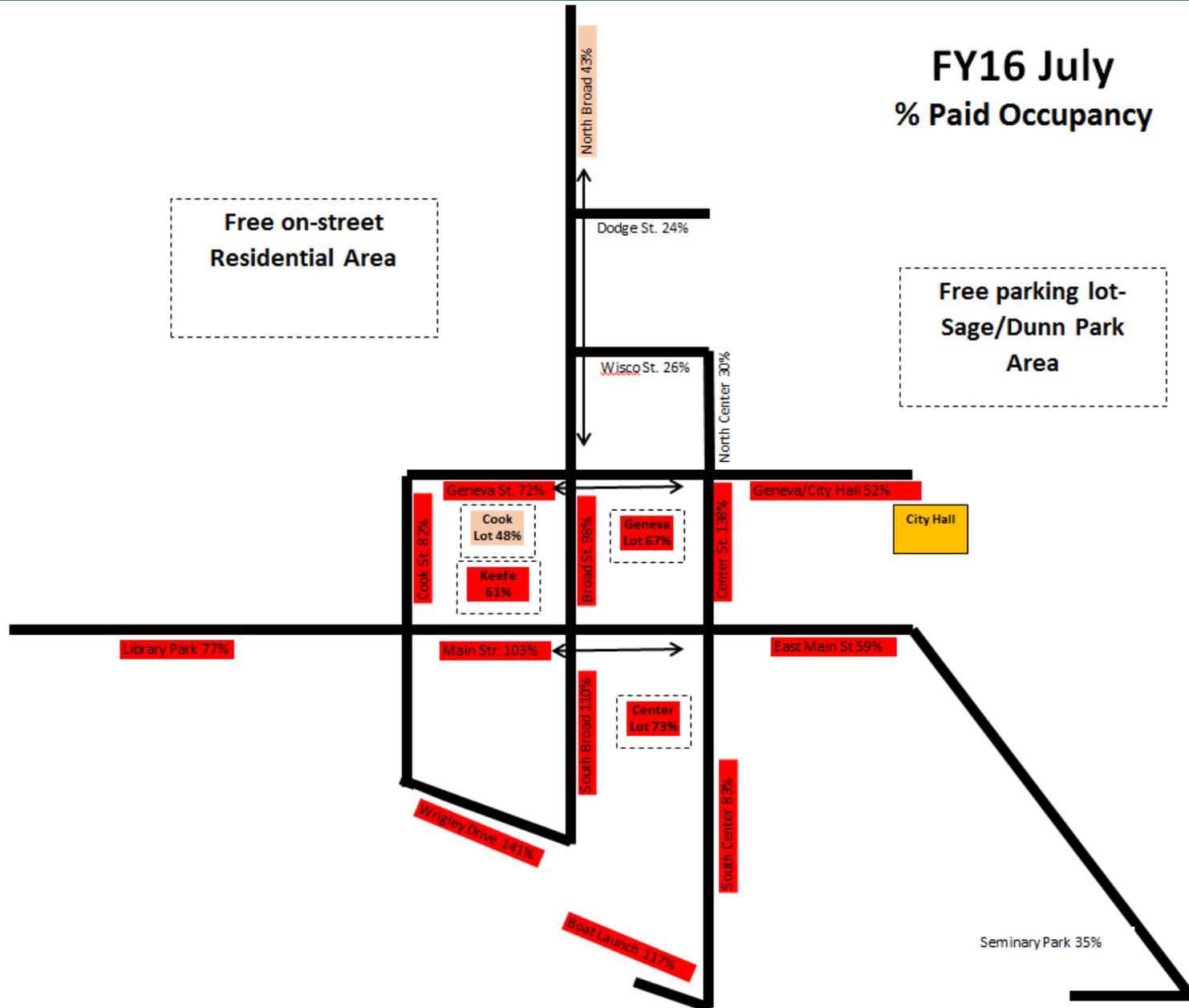
REVENUE DOWN \$50,000

LESS TRANSACTIONS **LONGER STAYS** IN HIGH DEMAND  
AREAS

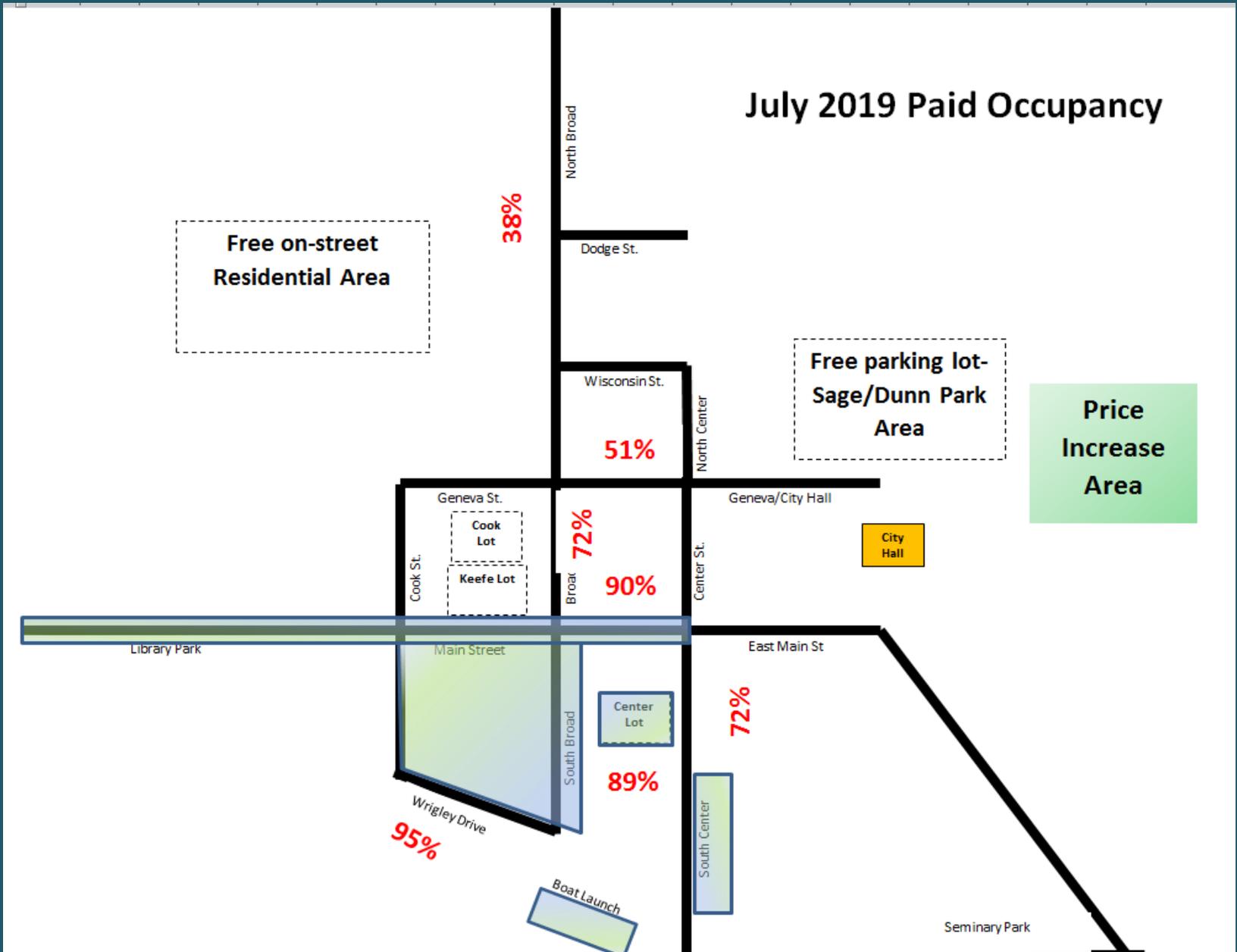
**CUSTOMERS NOT PRICED OUT OF HIGHER RATED AREAS**

# JULY 2016 PRECEPTION VS. REALITY

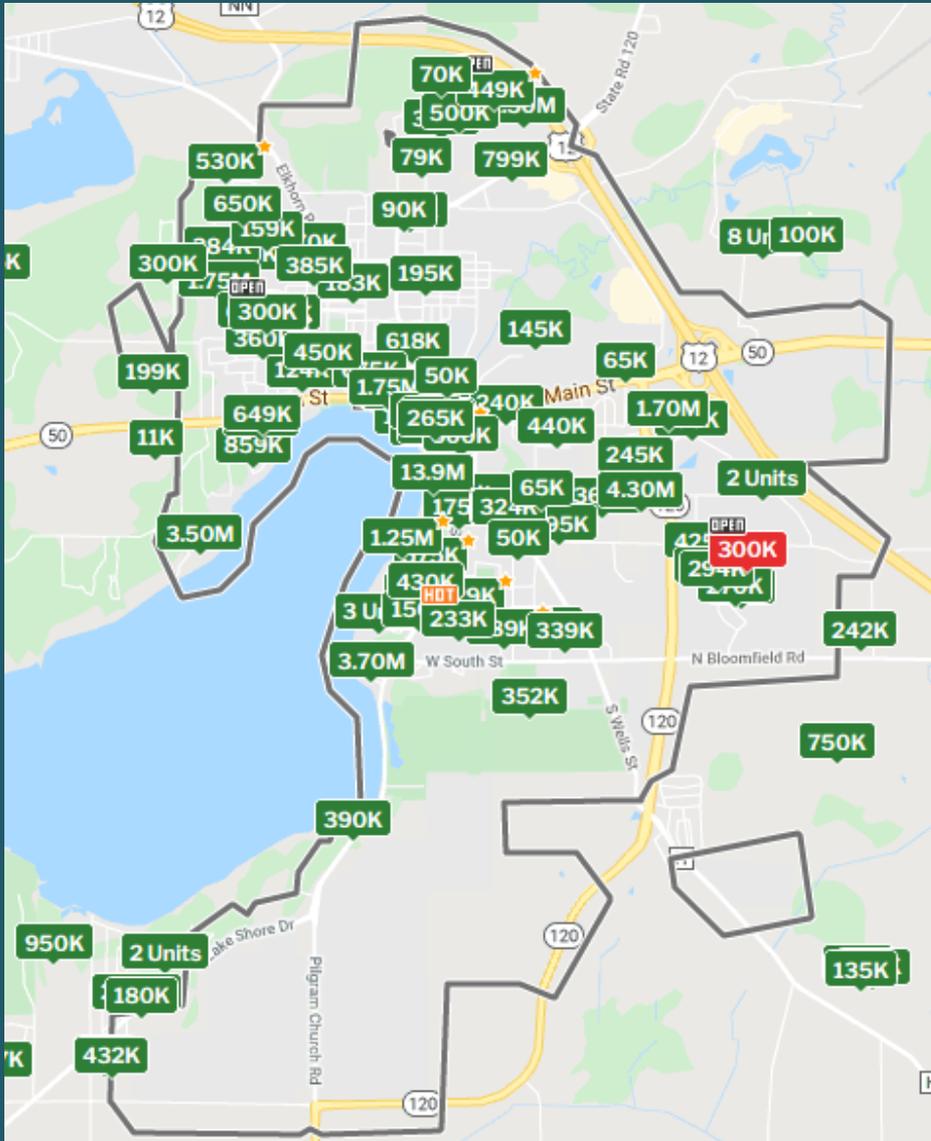
**FY16 July**  
**% Paid Occupancy**



# JULY 2019 PRECEPTION VS. REALITY



# HIGHER COSTS TO MAINTAIN BUSIEST AREAS



PARKING IS PRICED FOR DEMAND  
LIKE OTHER PROPERTIES AND BUSINESSES

PARKING NEAR THE LAKE CONSISTENTLY  
HAS HIGHER TRAFFIC/PARKING VOLUME

PARKING NEAR THE LAKE & MAIN Street  
HAS HIGHER  
COSTS TO MAINTAIN

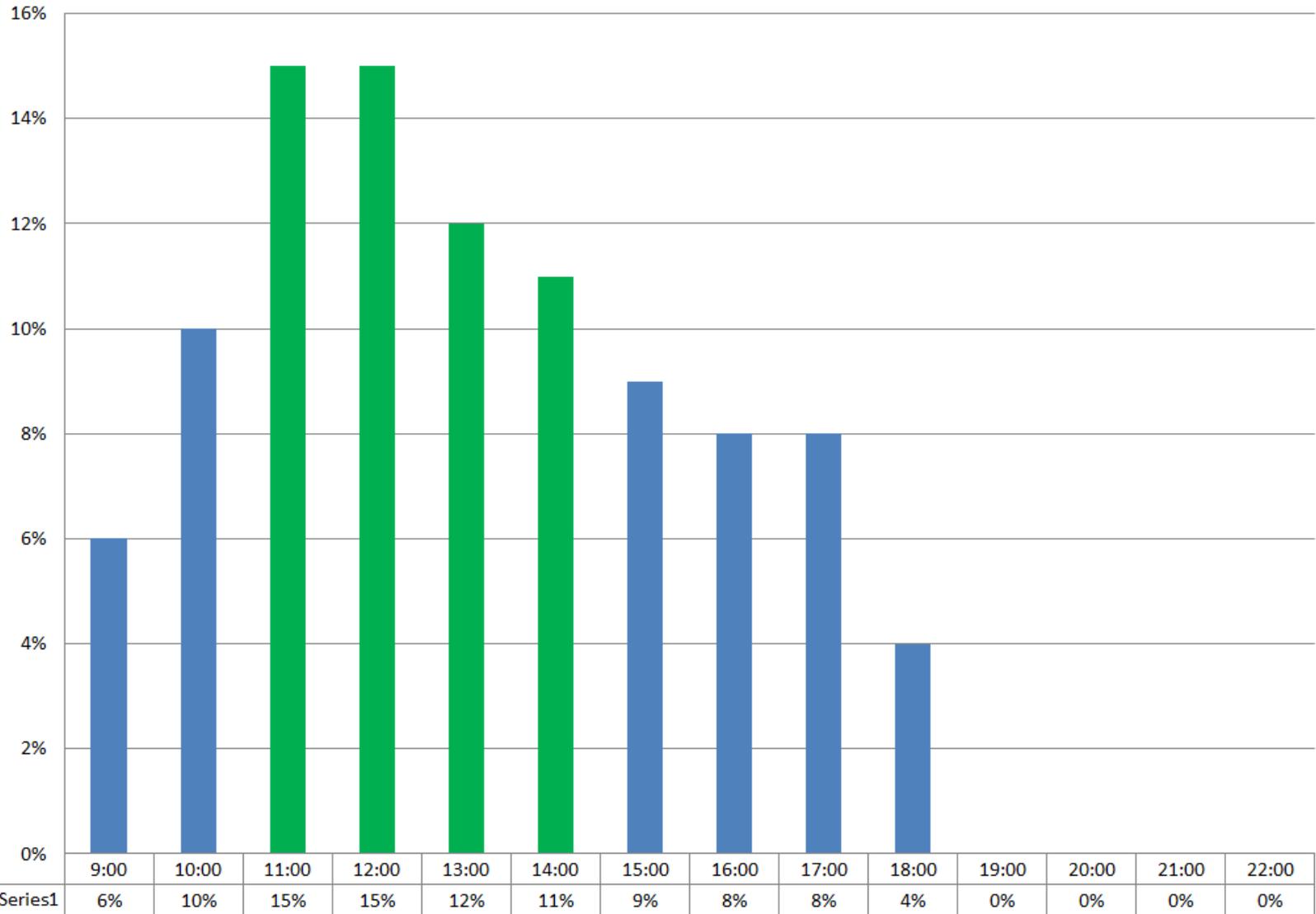
WEAR/TEAR STREET  
WEAR/TEAR METERS

MORE WORK/MAINTENANCE HOURS  
FOR PARKING SERVICES DEPARTMENT  
& MONITORING

# DYNAMIC PRICING-PEAK HOURS

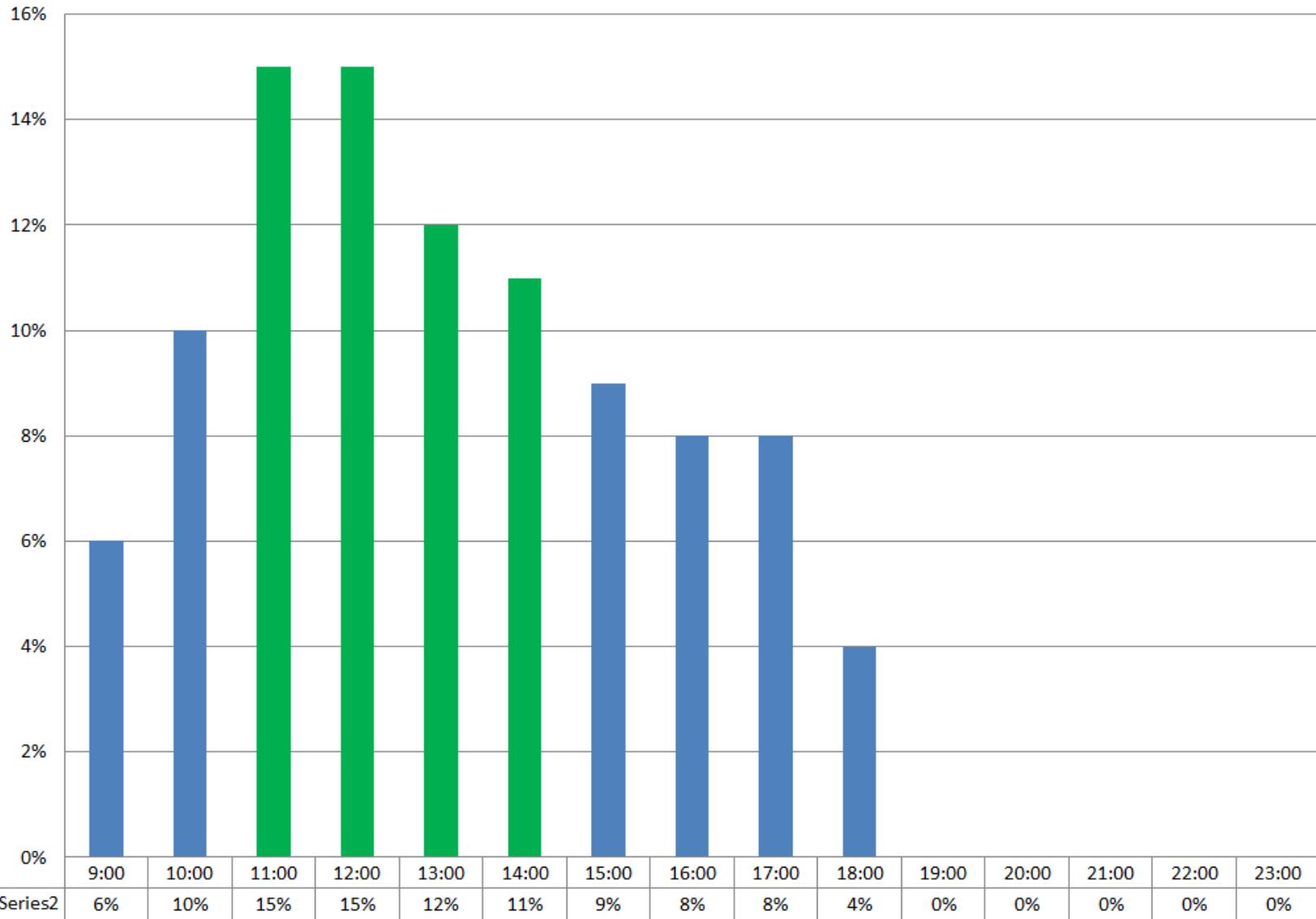
# #3 BID CHANGE HOURS

APRIL 2019 -PEAK PARKING PAYMENT TIMES



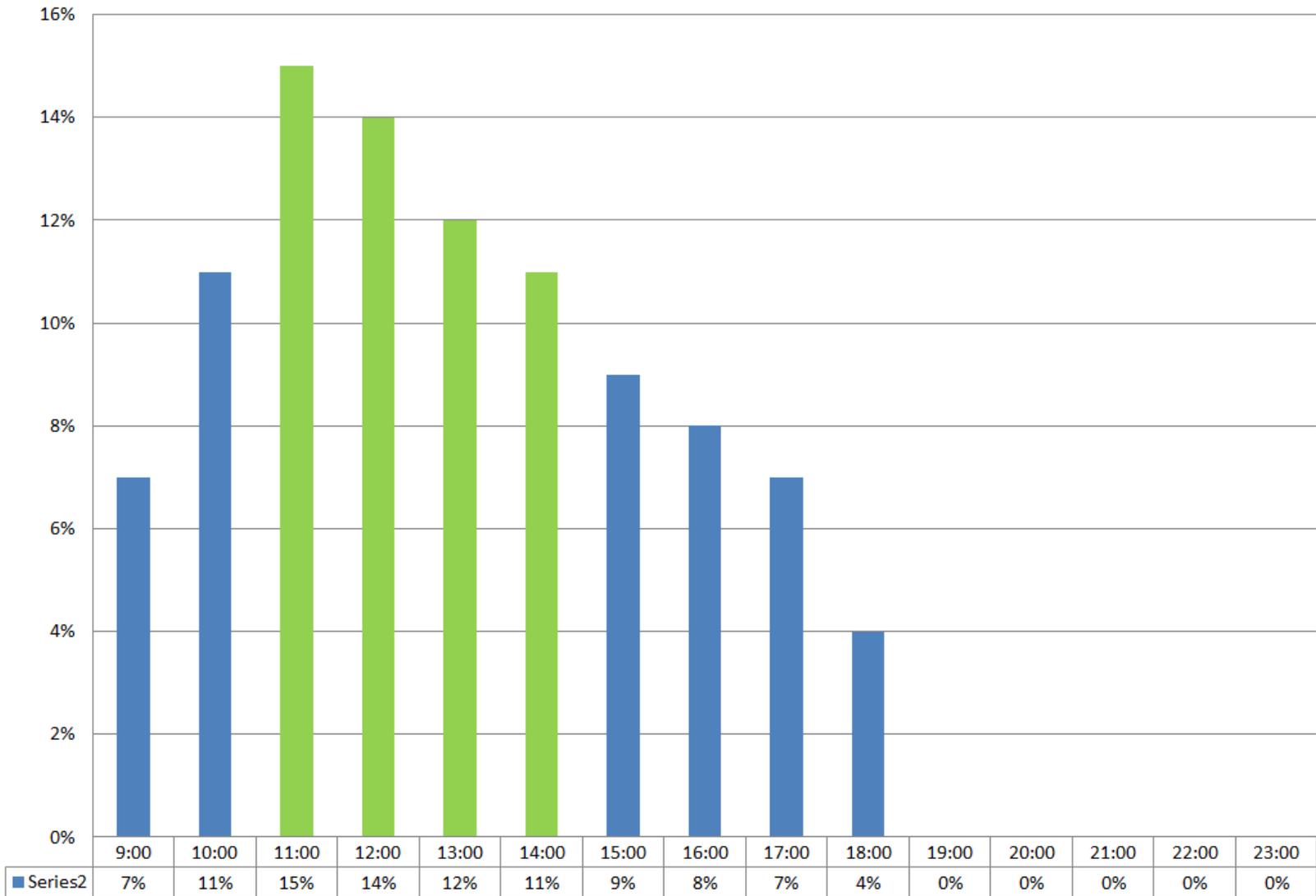
# #3 BID CHANGE HOURS

May 2019-Peak Parking Payment Time



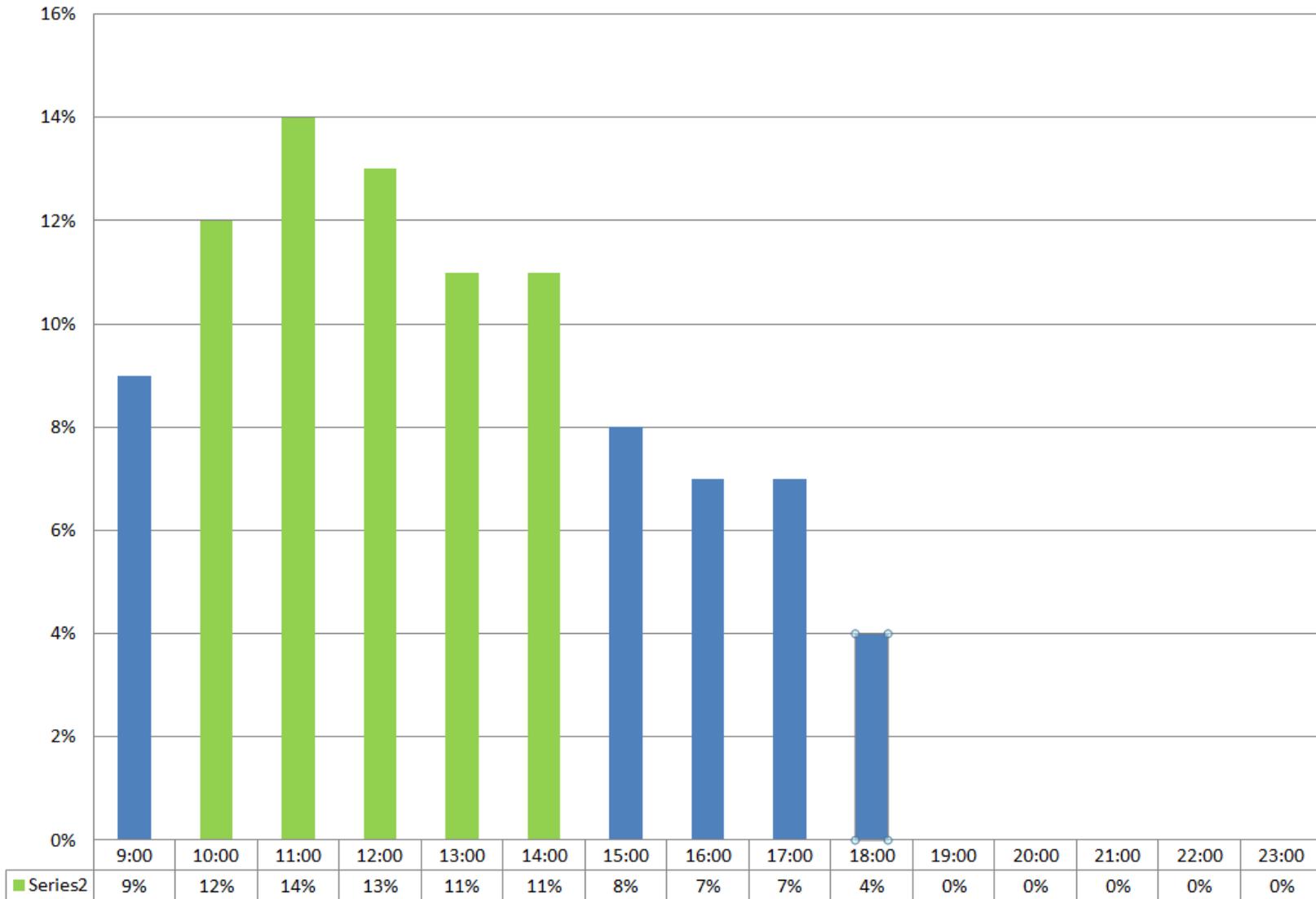
# #3 BID CHANGE HOURS

## JUNE 2019-PEAK PARKING PAYMENT TIME



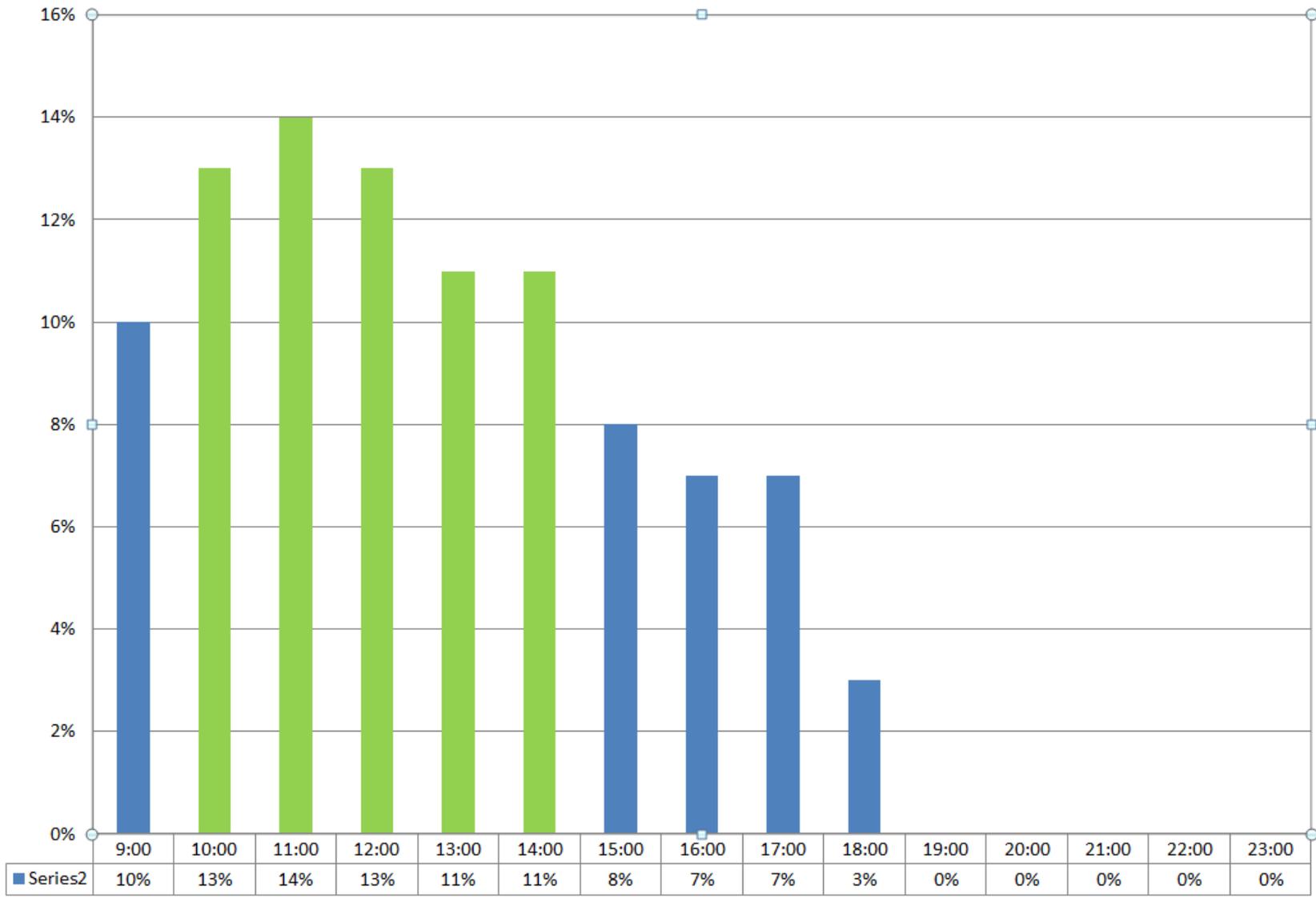
# #3 BID CHANGE HOURS

## JULY 2019-PEAK PARKING PAYMENT TIME



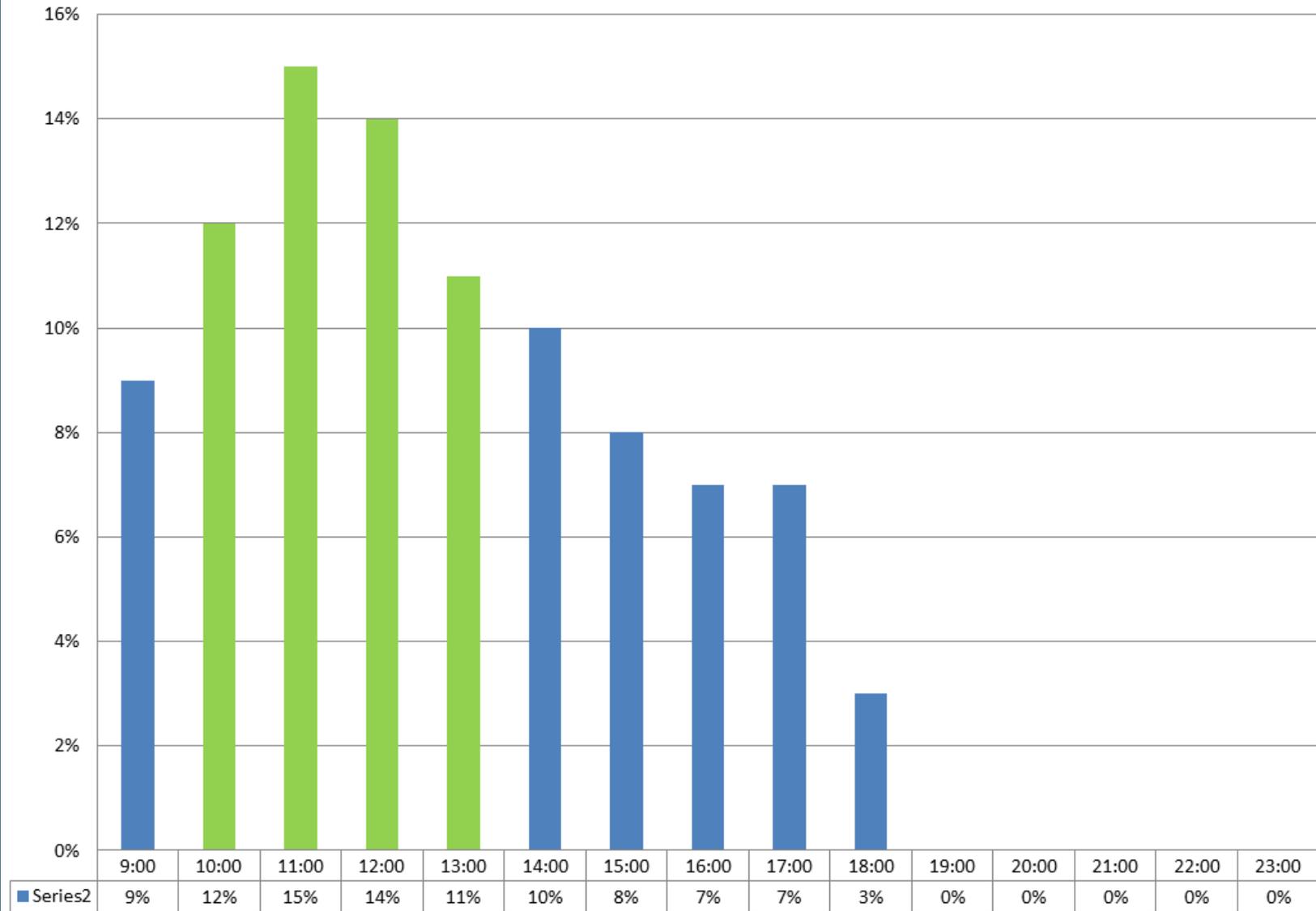
# #3 BID CHANGE HOURS

## AUGUST 2019-PEAK PARKING PAYMENT TIME



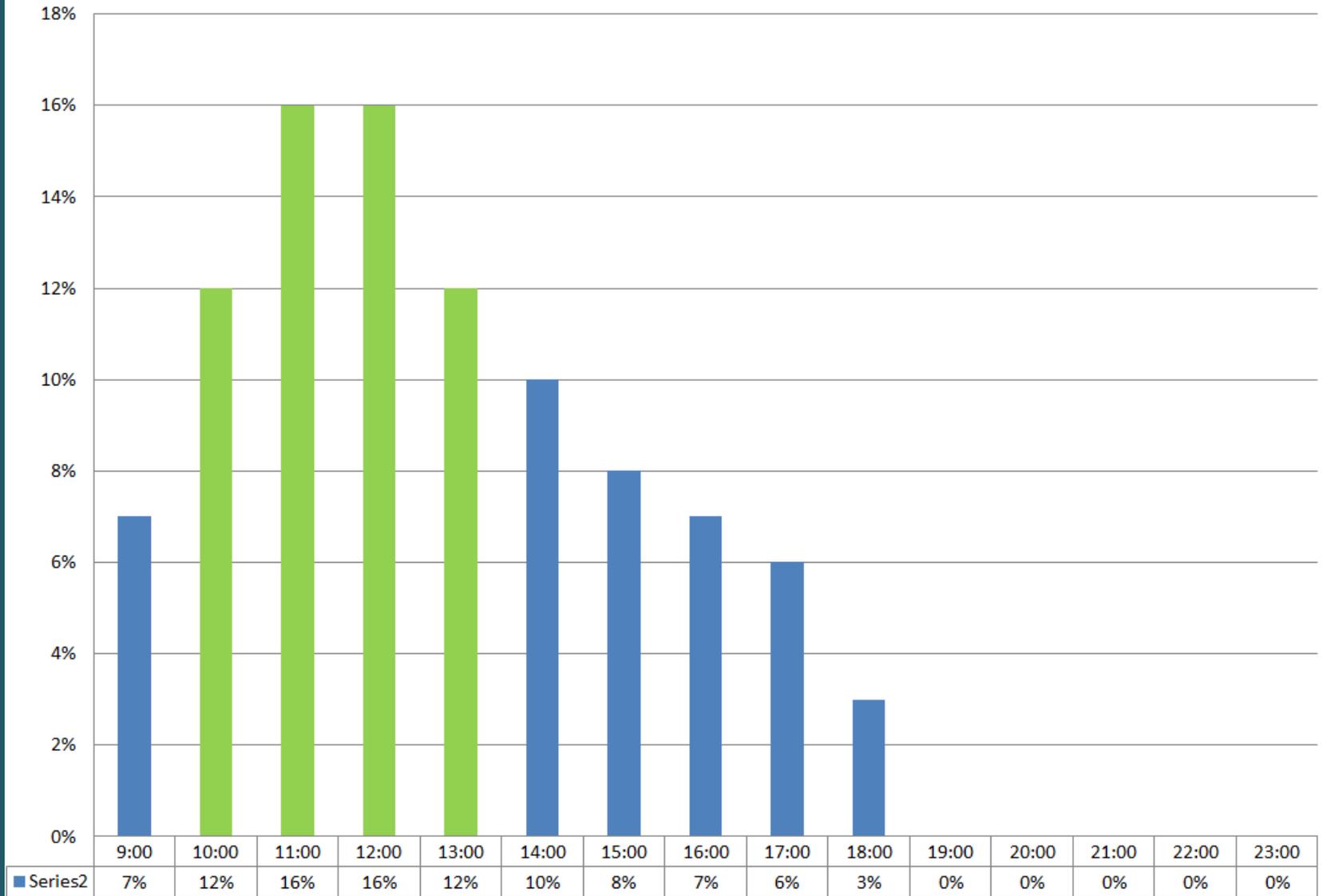
# #3 BID CHANGE HOURS

## SEPTEMBER 2019-PEAK PARKING PAYMENT TIME



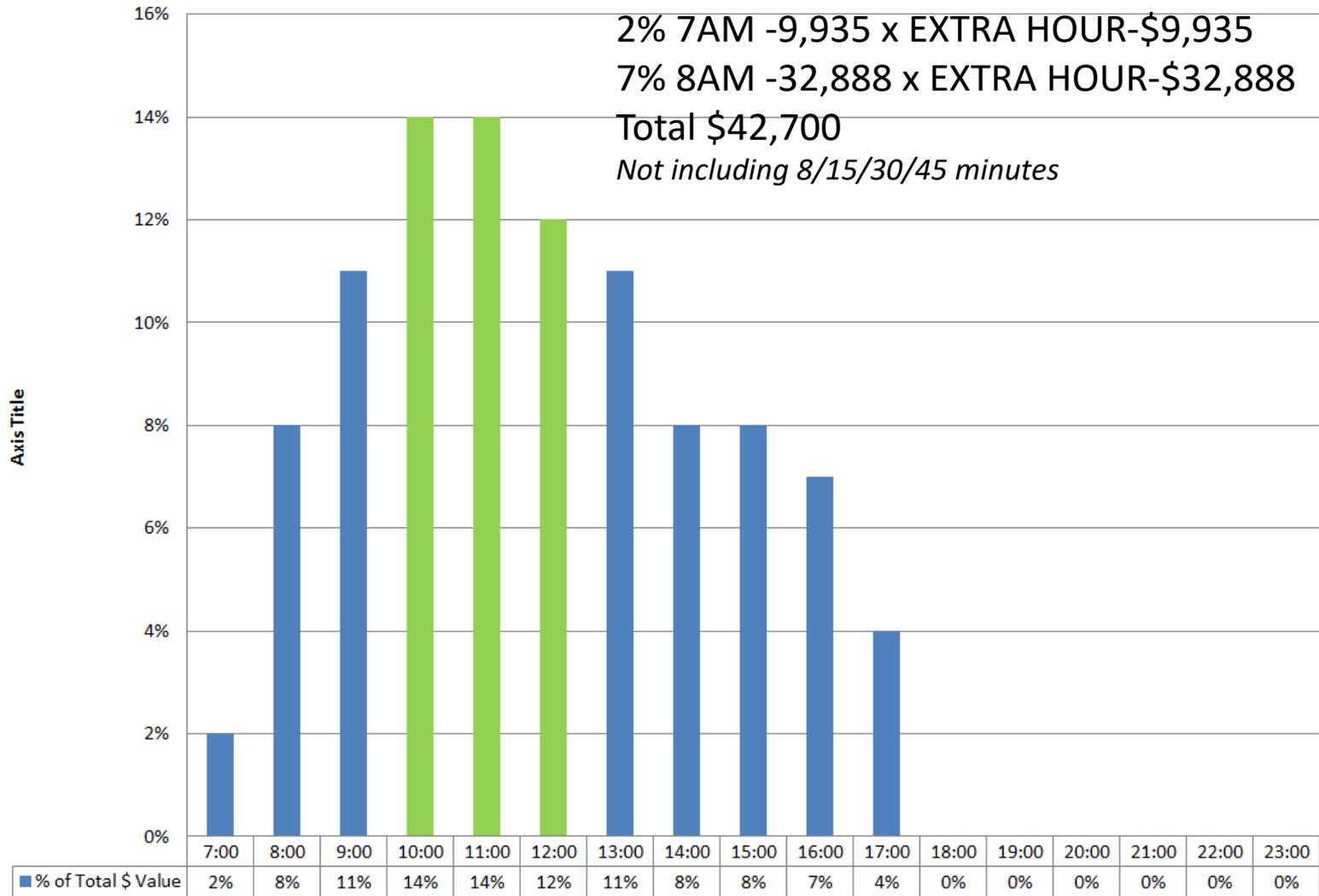
# #3 BID CHANGE HOURS

## OCTOBER 2019-PEAK PARKING PAYMENT TIME



# #3 BID CHANGE HOURS

**HOUR CHANGED 7AM-10PM**

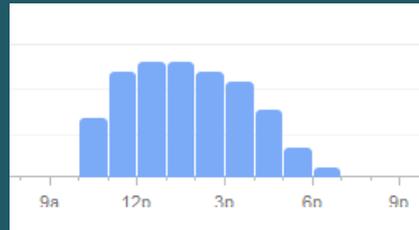


# #3 BID CHANGE HOURS

## HOUR CHANGED 7AM-10PM

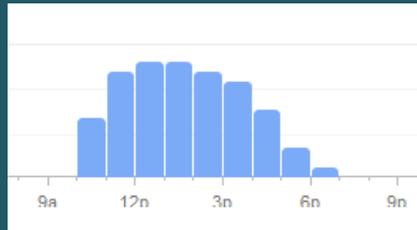


# STOREFRONT SATURDAY AVERAGE TIME PEAK



The Bell Curve  
peaks in  
afternoon

# STOREFRONT SATURDAY AVERAGE TIME PEAK



The Bell Curve peaks in afternoon

OAKFIRE 2 PEAKS?

# GAGE MARINA BOAT TOURS JULY 2019

## Weekend Tour Schedule Saturday, July 20<sup>th</sup> and Sunday, July 21<sup>st</sup>, 2019

### Saturday, July 20

10:00-12:30	U.S. Mailboat Tour	Walworth
10:30-2:00	Black Point Estate	Geneva
11:00-12:00	Geneva Bay Tour	Lady of the Lake
11:30-1:45	Luncheon Cruise	Grand Belle
12:15-1:15	Geneva Bay Tour	Lady of the Lake
12:30-4:00	Beer Baron's Cruise	Geneva
1:00-3:00	Full Lake Tour	Walworth
1:45-2:45	Geneva Bay Tour	Lady of the Lake
2:30-3:45	Ice Cream Social	Grand Belle
3:00-4:00	Geneva Bay Tour	Lady of Lake
3:15-5:15	Full Lake Tour	Walworth
4:15-5:15	Geneva Bay Tour	Grand Belle
5:30-6:30	Sundowner Tour	Walworth
6:40- 7:40	Sundowner Tour	Walworth
7:50-8:50	Sundowner Tour	Walworth

### Sunday, July 21

10:00-12:30	U.S. Mailboat Tour	Walworth
10:30-2:00	Black Point Estate	Geneva
11:00-12:00	Geneva Bay Tour	Lady of the Lake
11:00-1:15	Champagne Brunch	Grand Belle
12:15-1:15	Geneva Bay Tour	Lady of Lake
12:30-4:00	Black Point Estate	Geneva
1:00-3:00	Full Lake Tour	Walworth
1:45-2:45	Geneva Bay Tour	Lady of Lake
2:30-3:45	Ice Cream Social	Grand Belle
3:00-4:00	Geneva Bay Tour	Lady of the Lake
3:15-5:15	Full Lake Tour	Walworth
4:15-5:15	Geneva Bay Tour	Grand Belle
5:00-6:00	Sundowner Tour	Geneva
5:45-6:45	Sundowner Tour	Walworth
6:15- 7:15	Sundowner Tour	Geneva
7:00-8:00	Sundowner Tour	Walworth
7:30-8:30	Sundowner Tour	Geneva

## JUNE PEAK SEASON

**10-3P.....10 BOAT TOURS**

**AFTER 3P.....5 BOAT TOURS**

**AFTER 3PM additional 200+**

## JUNE PEAK SEASON

**10-3P.....9 BOAT TOURS**

**AFTER 3P.....8 BOAT TOURS**

**AFTER 3PM additional 350+**

# GAGE MARINA BOAT TOURS JUNE 2019

Lake Geneva Cruise Line  
Weekend Tour Schedule  
Saturday, June 22<sup>nd</sup> and Sunday, June 23<sup>rd</sup>, 2019

Saturday, June 22

10:00-12:30	U.S. Mailboat Tour	Walworth
10:30-2:00	Black Point Estate	Geneva
11:00-12:00	Geneva Bay Tour	Lady of the Lake
11:30-1:45	Luncheon Cruise	Grand Belle
12:15-1:15	Geneva Bay Tour	Lady of the Lake
12:30-4:00	Black Point Estate	Geneva
1:00-3:00	Full Lake Tour	Walworth
1:45-2:45	Geneva Bay Tour	Lady of the Lake
2:30-3:45	Ice Cream Social	Grand Belle
3:00-4:00	Geneva Bay Tour	Lady of Lake
3:15-5:15	Full Lake Tour	Walworth
4:15-5:15	Geneva Bay Tour	Grand Belle
5:00-6:00	Sundowner Tour	Geneva
6:15- 7:15	Sundowner Tour	Geneva
7:30-8:30	Sundowner Tour	Geneva

Sunday, June 23

10:00-12:30	U.S. Mailboat Tour	Walworth
10:30-2:00	Black Point Estate	Geneva
11:00-12:00	Geneva Bay Tour	Lady of the Lake
11:00-1:15	Champagne Brunch	Grand Belle
12:15-1:15	Geneva Bay Tour	Lady of Lake
12:30-4:00	Black Point Estate	Geneva
1:00-3:00	Full Lake Tour	Walworth
1:45-2:45	Geneva Bay Tour	Lady of Lake
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5:00-6:00	Sundowner Tour	Geneva
6:15- 7:15	Sundowner Tour	Geneva
7:30-8:30	Sundowner Tour	Geneva

**JULY PEAK SEASON**  
**10-3P.....10 BOAT TOURS**  
**AFTER 3P.....5 BOAT TOURS**

**10-3P.....600+**  
**AFTER 3P additional 200+**

**JULY PEAK SEASON**  
**10-3P.....9 BOAT TOURS**  
**AFTER 3P.....6 BOAT TOURS**

**10-3P.....500+**  
**AFTER 3P additional 300+**

Free on-street  
Residential Area

# Eateries Parking

Open before 9:00am

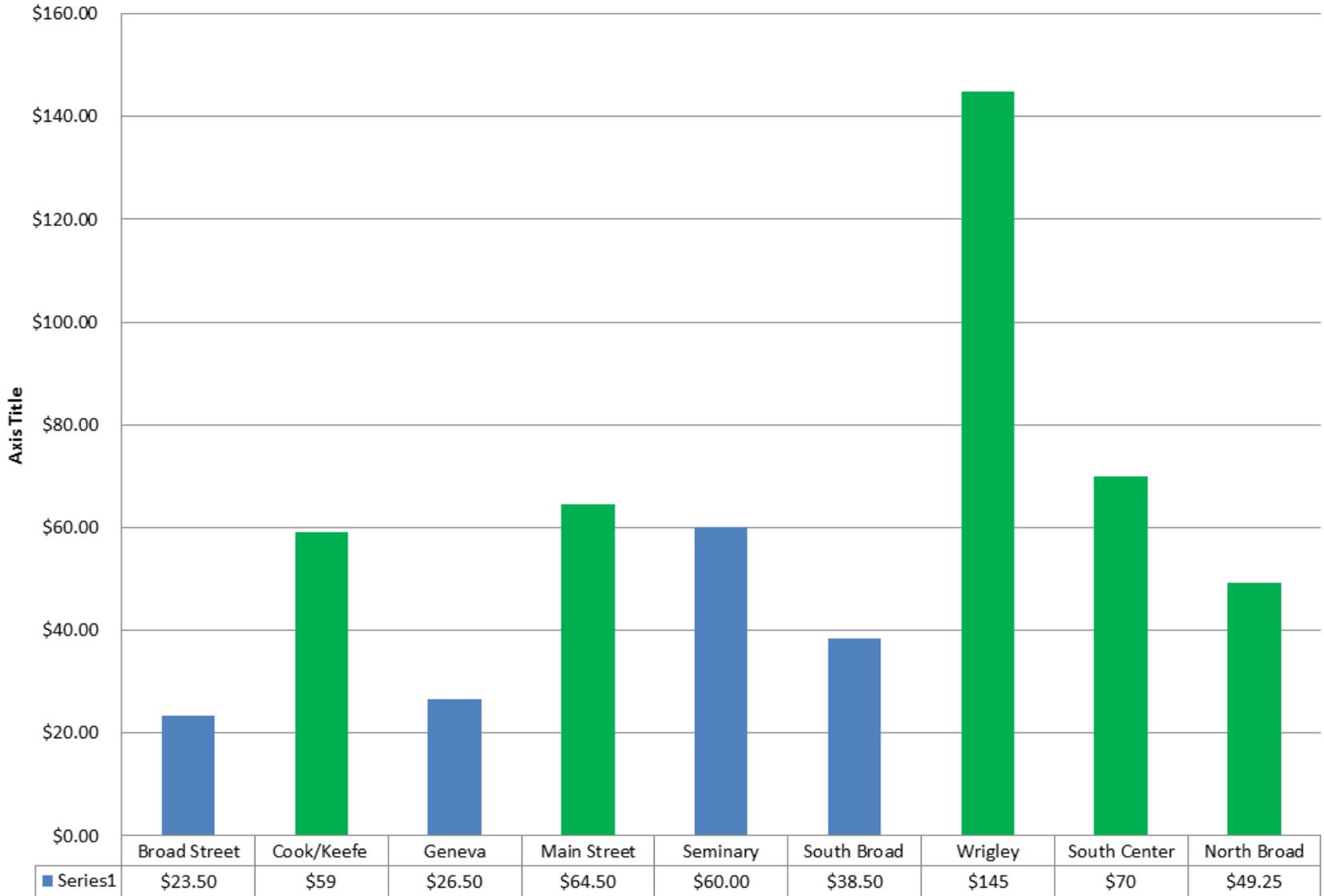
- Free parking-street & lots
- Metered parking

Free parking  
lot-Sage/Dunn  
Park Area



# CURRENT ACTIVITY –ACTIVITY AREAS BEFORE 9AM

## 4th of July 7am-9am MORNING HOURS



Free on-street  
Residential Area

# Eateries Parking

Open After 7 Dinner Rush

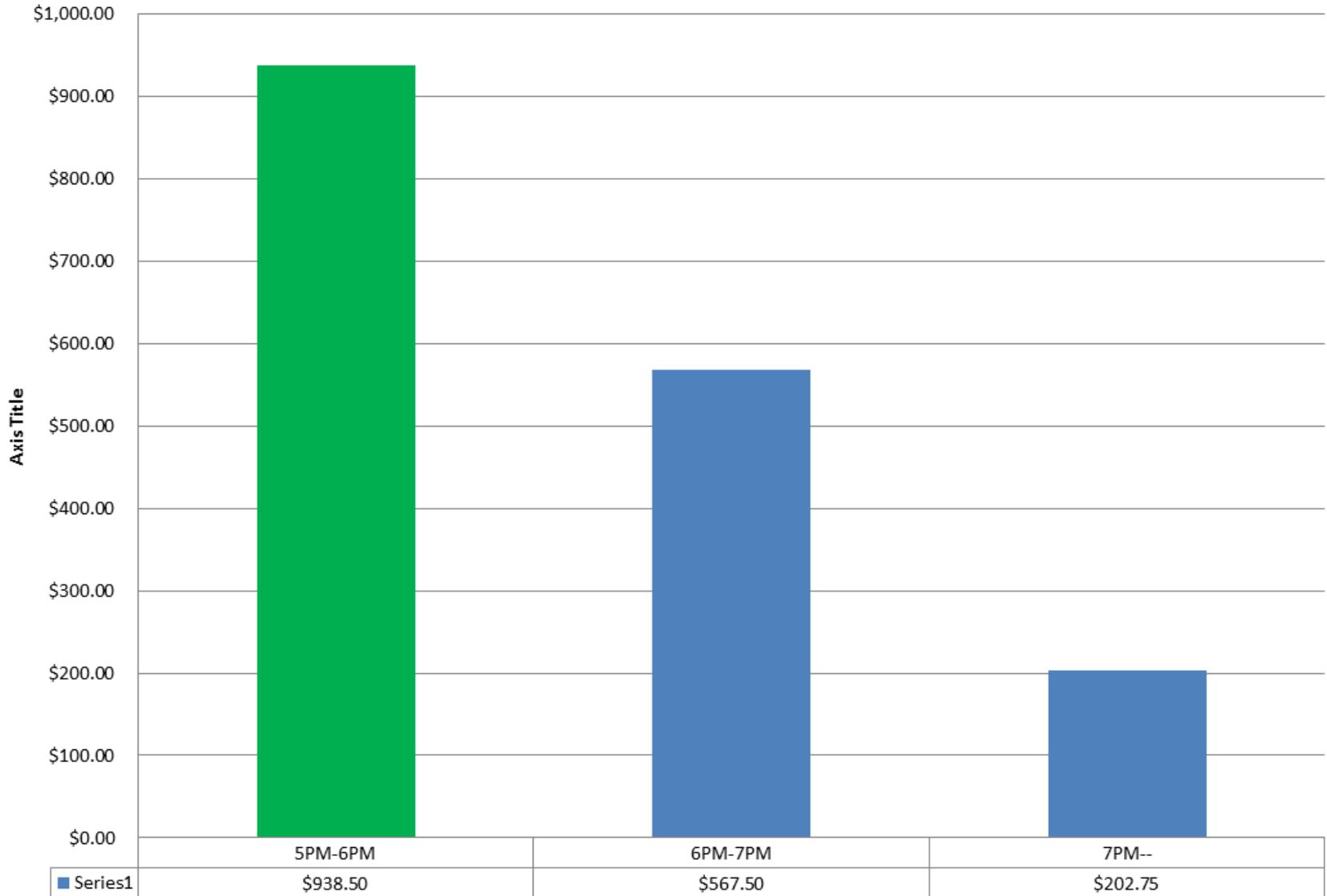
- Free parking-street & lots
- Metered parking

Free parking  
lot-Sage/Dunn  
Park Area



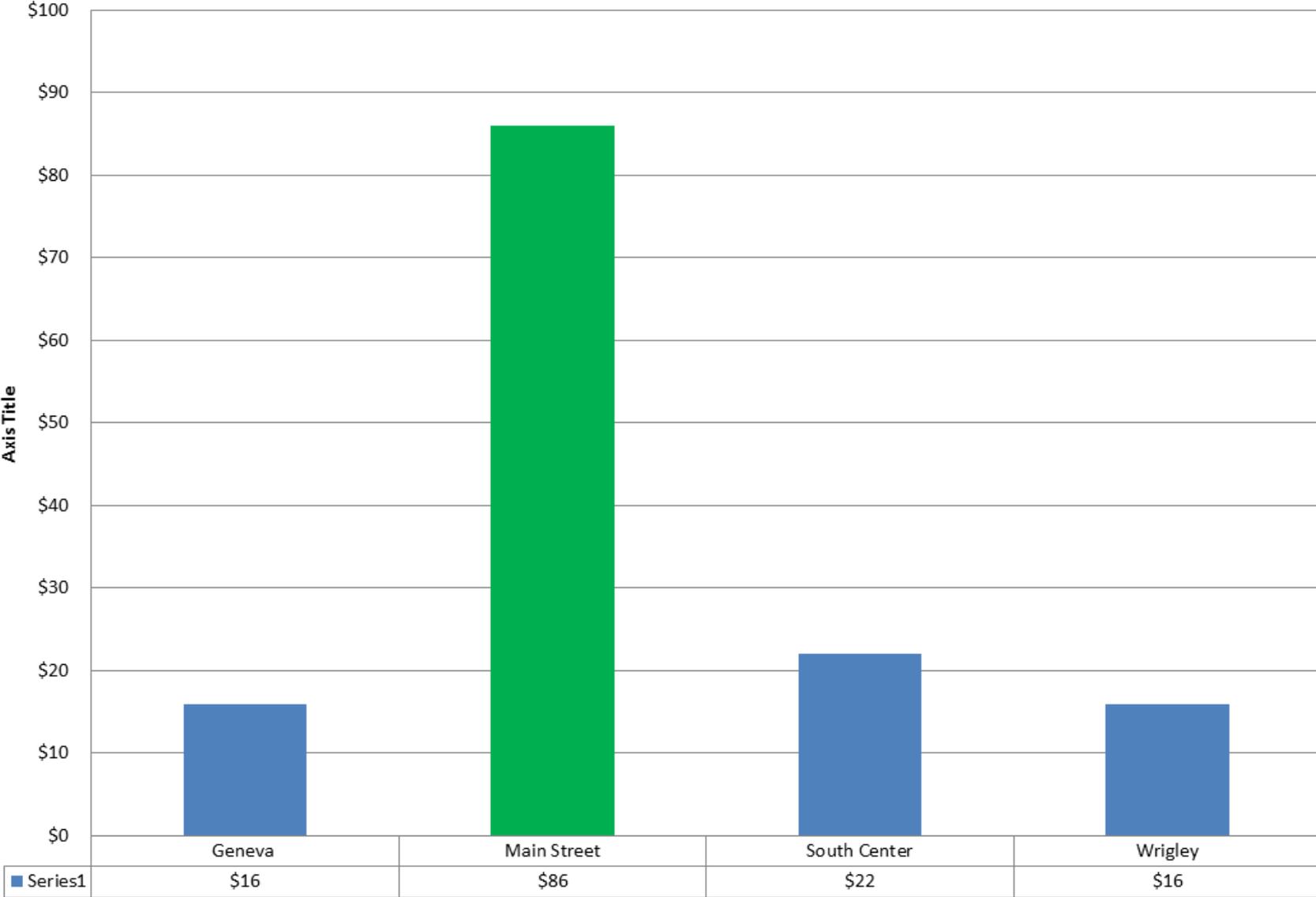
# 4<sup>th</sup> of July Evening Trend

## 4th of July- Evening Hours



# CURRENT ACTIVITY –TOP AREAS EVENING

4th of July - After 7pm



# #3 BID CHANGE HOURS

## COSTS TO CITY-HOUR CHANGES

### STAFF EXPENDITURES/LOSS

UPFRONT COSTS/SIGNAGE/STICKERS \$5,000

RISK LOSING TALENT/EXPENSE OF UNEMPLOYMENT COSTS

4 X 1200 X \$13 (add hours/retirement)= \$50,000-\$62,500

### CONCERNS: SAFETY

PD SHORTSTAFF-EMERGENCY/CONFLICT

HIGHER CHANCE OF INJURY/WALK OR PURCHASE VEHICLE

HIGHER EXPENDITURES FOR STAFF

# #4 VISIT LAKE GENEVA-DYNAMIC

## FULL CALENDAR YEAR PARKING

## STAFF EXPENDITURES/LOSS

UPFRONT COSTS/SIGNAGE/STICKERS

\$5,000

6 X 1200 X \$13 (add hours/retirement)= \$62,500-\$78,000

Plus Holiday 2x pay

## CONCERNS:

**NO OFF SEASON FREE PARKING**

# FY20 Challenges

## Customer Expectations

Find Parking

## Event Growth (Visit/BID/Tourism)

- Winterfest .....20,000 attendees
- Taste/Diners .....2,000 attendees
- **Art in the Park .....5,000 attendees**
- **Venetian Fest .....20,000 attendees**
- **Oktoberfest .....15,000 attendees**

## Population Growth (Hillmoor)

- 2019 –City grew population 70+ (4 free sticker per address)
- 2018-2020-5,000+ active free stickers

## New Hotel/Residents (1105 more vehicles-4,420 stickers)

- Hampton Inn – 4 stories- 92 units .....92 vehicles
- Symphony Bay – 429 units/2car garage..... 858 vehicles
- Stoneridge – 155 projected units .....155 vehicles

**Riviera** (expansion-conferences)

# NEW REVENUE-MORE PARKING WORK TOGETHER FOR MORE REVENUE SHARES



# OPPORTUNITIES FOR NEW REVENUE

**100-200 STALLS X 92 (SUMMER) X \$2= \$90,000-\$180,000**

**Share fund to offset price increase in future**

**Mobility Program for free rides from outer lots**

**Everyone in City benefits**

# BUDGET SHORTFALL \$150,00-\$200,000

## INCREASE PARKING RATE OPTIONS

### OPTION #1

\$2 CITYWIDE REGULAR PARKYEAR \$350-\$400K

### OPTION #2

\$3/\$1 CITYWIDE REGULAR PARKYEAR \$350-\$400K

### OPTION #3

\$3/\$1 RAISE ONLY IN SUMMER (3 Mos.) \$200K

**\*Recommend to raise parking ticket to \$40**

*\*\*pending weather, construction, handicap, stickers, violators, customer behavior change*

Thank you!  
Questions?

**RESOLUTION OF THE COMMON COUNCIL**

Resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by Bruce and Sarah Gold, 2910 Kensington Dr., Buffalo Grove, IL 60089 for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 10 Hillside Dr. located in the Estate Residential - 1 (ER-1) zoning district. Tax Key No. ZLM00033.

Committee:	Plan Commission approved April 20, 2020		
Fiscal Impact:	N/A		
<b>File Number:</b>	<b>20-R32</b>	<b>Date:</b>	April 27, 2020

WHEREAS, the City Plan Commission has considered the application of, Bruce and Sarah Gold, 2910 Kensington Dr., Buffalo Grove, IL 60089 for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 10 Hillside Dr.

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on April 9th, 2020.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to Bruce and Sarah Gold, 2910 Kensington Dr., Buffalo Grove, IL 60089 for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 10 Hillside Dr.,

Tax Key No. ZLM00033

to include all affirmative findings of fact and note staff recommendations to identify the Landscape Surface Ratio (LSR) shall meet the minimum allowed of 60% in which as submitted is 66% LSR, in addition the Floor Area Ratio (FAR) maximum allowed is 40%, as submitted both requests meet the requirements with the inclusion of 34% FAR as proposed.

Granted by action of the Common Council of the City of Lake Geneva this 23<sup>th</sup> day of March 2020.

**Council Action:**  **Adopted**       **Failed**      **Vote** \_\_\_\_\_

**Mayoral Action:**  **Accept**       **Veto**

\_\_\_\_\_  
Charlene Klein, Mayor

\_\_\_\_\_  
Date

Attest:

Lana Kropf, City Clerk

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STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: April 20, 2020

Agenda Item: 10

Applicant:

Bruce & Sarah Gold,  
2910 Kingston Dr.  
Buffalo Grove, IL 60089

Request: Conditional Use Permit

New addition to the Single Family Residence  
10 Hillside Dr. Estate Residential (ER-1)  
Tax Key No. ZLM00033

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for construction of a new addition to the single family residence located in the Estate Residential (ER-1) zoning district utilizing the Single-Family Residential – 4 (SR-4) zoning.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

**APPLICATION FOR CONDITIONAL USE**

*City of Lake Geneva*

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

10 Hillside Drive/ ZLM 00033 LOT 14 BLK 15 EXC BEG 15' NE OF SLY COR LOT 14, NW TO NLY COR LOT  
12, SELY TO COR LOT 12 NE 15' TO POB LAKE GENEVA MANOR (TRACT #17) CITY OF LAKE GENEVA

Name and Address of Current Owner:

Bruce & Sarah Gold

2910 Kingston Dr Buffalo Grove, IL 60089

Telephone No. with area code & Email of Current Owner: 847-456-2669

bruce@americannationalco.com

Name and Address of Applicant:

Jacob Addis

44 N Western Ave Carpentersville, IL 60110

Telephone No. with area code & Email of Applicant: 815-289-7274

jacob @doomisbuilders.com

Proposed Conditional Use: Exterior re-construction and expansion of rear screened porch  
pursuant to City of Lake Geneva Zoning Code 98.407 (3)

Zoning District in which land is located: ES-1

Names and Addresses of architect, professional engineer and contractor of project:

Jacob Addis, Architect

44 N Western Ave Carpentersville, IL 60110

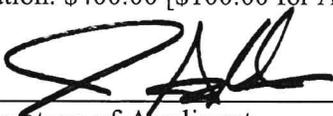
Short statement describing activities to take place on site:

Partial interior renovation and restoration, new roofing, demolition of deteriorated rear screen  
porch and re-construction with expanded footprint to allow conditioned living space

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

2-24-20

Date

  
Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ **Pre-submittal staff meeting scheduled:**

**Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

**Follow-up pre-submittal staff meetings scheduled for:**

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Application form filed with Zoning Administrator:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Application fee of \$ \_\_\_\_\_ received by Zoning Administrator:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Reimbursement of professional consultant costs agreement executed:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)* **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_



\_\_\_ (a) **A map of the proposed conditional use:**

- \_\_\_ Showing all lands for which the conditional use is proposed;
- \_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;
- \_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- \_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- \_\_\_ Map and all its parts are clearly reproducible with a photocopier;
- \_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- \_\_\_ All lot dimensions of the subject property provided;
- \_\_\_ Graphic scale and north arrow provided.

\_\_\_ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

- \_\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- \_\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- \_\_\_\_\_ (e) Written justification for the proposed conditional use:
  - \_\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

**III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE**

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?  
The conditional use is aligned to the Comprehensive Master Plan and Zoning Ordinance by creating an increase in public health, safety, morals, comfort, convenience and general welfare to its occupants.


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2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?  
This project is aligned with the purpose and goals of the City's Zoning Ordinance by promoting general health, safety, light and air to its occupants while maintaining compliance with current lot area setbacks, land area use, and maintaining the goals of the Comprehensive Master Plan.


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3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?  
The building expansion is minimally impactful to the adjacent properties given the existing structure location and has no impact on the neighborhood, environment, traffic, public improvements or property as the project is not visible from the street and will be a replacement to the existing structure.


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4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?  
The project maintains land use and impacts, same as the existing structure to be replaced, and is in alignment with the Architectural characteristics of the surrounding neighboring structures.


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5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

There will be no change in land use, utilities, or public services.

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6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

The project would increase the goals, purpose and objective of the City's Comprehensive Master Plan and Zoning Ordinance.

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#### IV. FINAL APPLICATION PACKET INFORMATION

\_\_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.      Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Conditional Use recorded with the County Register of Deeds Office:      Date: \_\_\_\_\_ by: \_\_\_\_\_

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_

↓

\_\_\_ (a) A **written description** of the intended use describing in reasonable detail the:

- \_\_\_ Existing zoning district(s) (and proposed zoning district(s) if different);
- \_\_\_ Land use plan map designation(s);
- \_\_\_ Current land uses present on the subject property;
- \_\_\_ Proposed land uses for the subject property (per Section 98-206);
- \_\_\_ Projected number of residents, employees, and daily customers;
- \_\_\_ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- \_\_\_ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- \_\_\_\_\_ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- \_\_\_\_\_ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- \_\_\_\_\_ Exterior building and fencing materials (Sections 98-718 and 98-720);
- \_\_\_\_\_ Possible future expansion and related implications for points above;
- \_\_\_\_\_ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

\_\_\_\_\_ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

\_\_\_\_\_ (c) **A Property Site Plan drawing which includes:**

- \_\_\_\_\_ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- \_\_\_\_\_ The date of the original plan and the latest date of revision to the plan;
- \_\_\_\_\_ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- \_\_\_\_\_ A reduction of the drawing at 11" x 17";
- \_\_\_\_\_ A legal description of the subject property;
- \_\_\_\_\_ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- \_\_\_\_\_ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- \_\_\_\_\_ All required building setback lines;
- \_\_\_\_\_ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- \_\_\_\_\_ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- \_\_\_\_\_ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- \_\_\_\_\_ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- \_\_\_\_\_ The location of all outdoor storage areas and the design of all screening devices;
- \_\_\_\_\_ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- \_\_\_\_\_ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- \_\_\_\_\_ All engineering requirements for utilities, site designs, etc;
- \_\_\_\_\_ The location and type of any permanently protected green space areas;
- \_\_\_\_\_ The location of existing and proposed drainage facilities for storm water;

\_\_\_\_\_ In the legend, data for the subject property on:

- \_\_\_\_\_ Lot Area;
- \_\_\_\_\_ Floor Area;
- \_\_\_\_\_ Floor Area Ratio (b/a);
- \_\_\_\_\_ Impervious Surface Area;
- \_\_\_\_\_ Impervious Surface Ratio (d/a);
- \_\_\_\_\_ Building Height.

\_\_\_\_\_ (d) **A Detailed Landscaping Plan of the subject property:**

- \_\_\_\_\_ Scale same as main plan (> or equal to 1" equals 100')
- \_\_\_\_\_ Map reduction at 11" x 17"
- \_\_\_\_\_ Showing the location of all required buffer yard and landscaping areas
- \_\_\_\_\_ Showing existing and proposed Landscape Point fencing
- \_\_\_\_\_ Showing berm options for meeting said requirements
- \_\_\_\_\_ Demonstrating complete compliance with the requirements of Article VI
- \_\_\_\_\_ Providing individual plant locations and species, fencing types and heights, and berm heights;

\_\_\_\_\_ (e) **A Grading and Erosion Control Plan:**

- \_\_\_\_\_ Same scale as the main plan (> or equal to 1" equals 100')
- \_\_\_\_\_ Map reduction at 11" x 17"
- \_\_\_\_\_ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

\_\_\_\_\_ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- \_\_\_\_\_ Showing finished exterior treatment;
- \_\_\_\_\_ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- \_\_\_\_\_ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE: Initiation of Land Use or Development Activity:** Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

**NOTE: Modification of an Approved Site Plan:** Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

### III.FINAL APPLICATION PACKET INFORMATION

\_\_\_\_\_ Receipt of 5 full scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_\_ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_\_ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: \_\_\_\_\_ by: \_\_\_\_\_

## Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

### Applicant Information

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Property Address 10 Hillside Drive  
Applicant name Jacob Addis  
Applicant email Jacob@doomisbuilders.com Phone Number 815-289-7274

Architect/Contractor/Designer Name Jacob Addis  
Architect/Contractor/Designer Email Jacob@doomisbuilders.com Phone Number 815-289-7274

Type of Construction: New \_\_\_\_\_ Addition X Remodel X  
Type of Development: Single-family X Multi-family \_\_\_\_\_ Commercial \_\_\_\_\_ Industrial \_\_\_\_\_  
Type of Business \_\_\_\_\_

### Engineering

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Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
  - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
  - Watermain
  - Sanitary Sewer
  - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
  - WISDOT Right-of-way?
  - County Right-of-way?
- Estimated Traffic impacts \_\_\_\_\_
  - Traffic Study Required YES/NO
  - Traffic Control Plan Required YES/NO
  - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES /  NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES /  NO
- Watermain extension required? YES /  NO
- Sanitary sewer extension required? YES /  NO
- SEWRPC Service Area Amendment needed? YES /  NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES /  NO
- Proposed building/expansion dimensions 15'x 16' \_\_\_\_\_
- Will there be signage? YES /  NO type (mounted, freestanding) \_\_\_\_\_
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? - \_\_\_\_\_
- Detailed property Site Plan?  YES /  NO Date of Plan: \_\_\_\_\_
- Green Space Calculations (Existing vs. Proposed) YES /  NO
- Are landscape plans provided? YES /  NO
- Is a Land Division required? YES /  NO

**Water/Sewer Utilities**

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If an existing structure please circle the following:

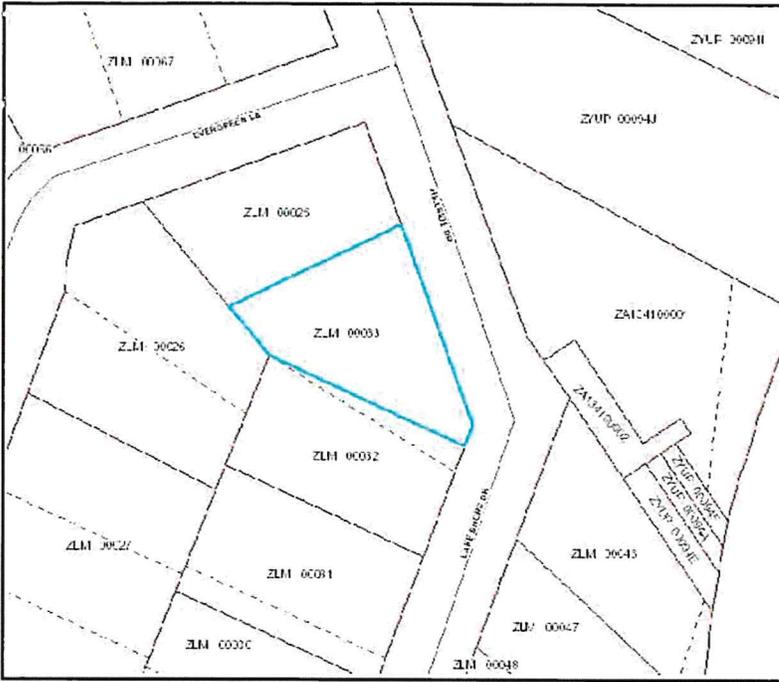
- Will existing sewer & water connections be used?  YES / NO
- Will your project require the installation of a grease interceptor? YES /  NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement \_\_\_\_\_
- Estimated daily water usage in gallons per day \_\_\_\_\_
- Estimated maximum water flow in gallons per minute \_\_\_\_\_
- Number of bathrooms \_\_\_\_\_
- Brief description of process (if Industrial) \_\_\_\_\_

If the development is a multi-family dwelling, please provide the following:

- Number of units \_\_\_\_\_
- Number of bedrooms in each unit \_\_\_\_\_
- Water service size requirement \_\_\_\_\_



# Walworth County, WI Land Information Division

### Property Details

Municipality: CITY OF LAKE GENEVA  
 Parcel Number: ZLM 00033  
 School District: 2884-LAKE GENEVA-GENOA CITY U  
 Zoning District:

### Owner Information

Owner Name: BRUCE GOLD  
 Owner Name 2: SARAH GOLD  
 Mailing Address: 2901 KINGSTON DR

BUFFALO GROVE IL, 60089

### 2019 Valuation Information

Land: \$223,900.00  
 Improvements: \$262,100.00  
 Total: \$486,000.00  
 Acres: 0.1800  
 Fair Market Value: \$509,900.00  
 Assessment Ratio: 0.9531649760  
 Mill Rate: 0.0192835310

### Tax Information

First Dollar Credit: \$75.11	School Credit: \$1,020.24
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$0.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$9,296.69	Woodland Tax Law Taxes: \$0.00
Net Tax: \$9,296.69	

### Tax Jurisdictions

STATE OF WISCONSIN \$0.00  
 CITY OF LAKE GENEVA \$2635.83  
 GATEWAY TECHNICAL \$408.57  
 WALWORTH COUNTY \$1931.89  
 LAKE GENEVA J1 SCHOOL DIST \$2668.82  
 LAKE GENEVA-GENOA CITY UHS \$1726.69

### Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)  
 State Representative: Tyler August (R) (Wisconsin's 32nd Assembly District)  
 State Senator: Stephen Nass (R) (Wisconsin's 11th Senate District)  
 US Representative: Bryan Steil (R) (Wisconsin's 1st District)  
 US Senator: Johnson, Ron

### Special Assessments / Charges

### Soil Classification

<u>Soil Type</u>	<u>Soil Name</u>	<u>Acres</u>
MyB	MIAMI SILT LOAM, 2 TO 6 PERCENT SLOPES	0.1837

### Property Address

10 HILLSIDE DR LAKE GENEVA

### Legal Description

LOT 14 BLK 15 EXC BEG 15' NE OF SLY COR LOT 14, NW TO NLY COR LOT 12, SELY TO COR LOT 12 NE 15' TO POB LAKE GENEVA MANOR (TRACT #17)  
 CITY OF LAKE GENEVA

### Disclaimer

The information provided in this property information page is not official information. All official tax information is recorded in the Walworth County Treasurer's Office. To verify tax payment/payoff status, contact the Walworth County Treasurer's Office at 262-741-4251.

## Project Description

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The proposed conditional land use of this project at 10 Hillside Drive would remain the same as the existing. The project includes an interior renovation and reconstruction/ expansion of a deteriorated screened porch in the rear of the structure to allow the space to be conditioned living area. The expansion is located and designed in such a way to follow and maintain compliance with current property setback regulations, land use, land coverage area of the City of Lake Geneva Zoning Code.

As stated in Section 98-408 (6), Alterations may be made to a lawful nonconforming residential unit, provided such alterations do not increase the number of dwelling units or the bulk of the building. It further states that non-conforming structures shall not be permitted to enlarge, expand, or extend without bringing the enlargement, expansion or extension into compliance with the provisions of this article. This extension of the existing screened porch area does not increase the number of dwelling units and is in compliance with the City of Lake Geneva Zoning Code.

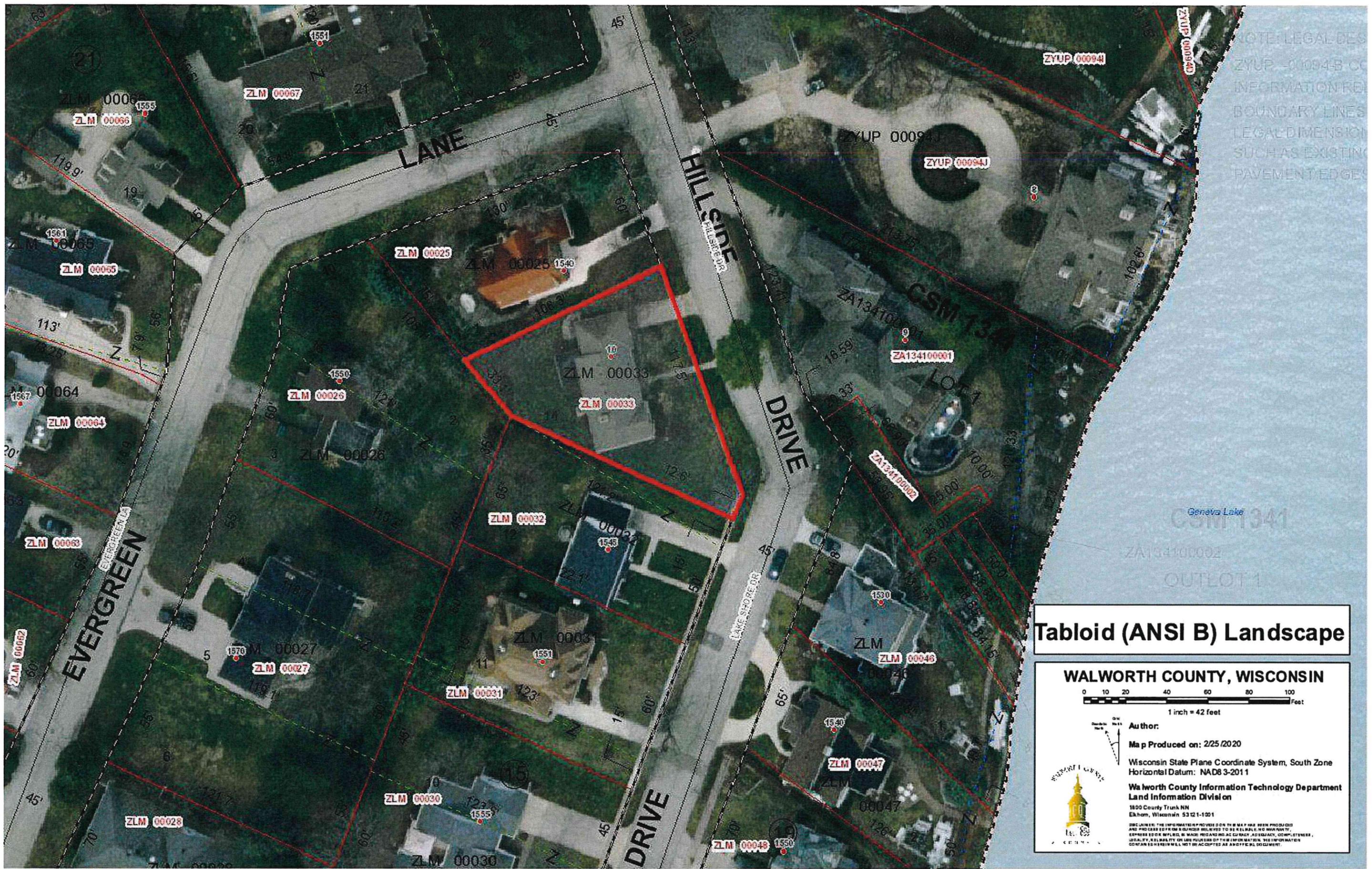
This projects property is considered substandard being under 40,000 sf in area and is being presented for approval under section 98-407 (3). Existing legal lots of record that are now substandard in any way, and that are zoned ER-1 shall be considered as legal substandard lots. For new dwellings or building additions on such lots, a Conditional Use Permit may be sought to enable the granting of permission to use the lot width, lot frontage, lot area and setback requirements of the SR-4 District. (Section 98-905 for Conditional Use procedures). For this particular type of Conditional Use Permit request, a fee of \$100.00 shall be imposed. (Ord. No. 98-1 2/9/98) (Ord. No. 16-11)

## Project Justification

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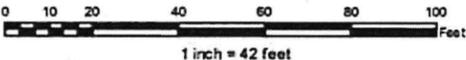
The project at 10 Hillside Drive includes a partial interior renovation and the re-construction/ extension of a deteriorated screened porch area. Since the screened porch has such level of deterioration, maintenance or rejuvenation efforts would render noneffective in being that replacement cost are nearly comparable. For the cost of new construction, the value would far outweigh restoration efforts in terms of longevity and maintenance cost in the long term. Since the structure warrants replacement, the occupants would benefit from the space being conditioned living space to capture the area's view, light, and air to the exterior of the home overall increasing the health, comfort, convenience and general welfare to the occupants. This aligns in parallel to the Lake Geneva Comprehensive Masterplan and Zoning Code, particularly section 98-005 (2) & (3) describing the purpose and intent of the code.

In addition, 98-105 (b) 1. Description and purpose of Estate-1 district is to, among others, ensure and maintain the architectural characteristics of the neighborhood. This reconstruction and expansion would align with other structures on adjacent or nearby properties which follow the same architectural elements and characteristics such as enclosed conditioned area porches, screened porches and expanded living areas.



**Tabloid (ANSI B) Landscape**

**WALWORTH COUNTY, WISCONSIN**

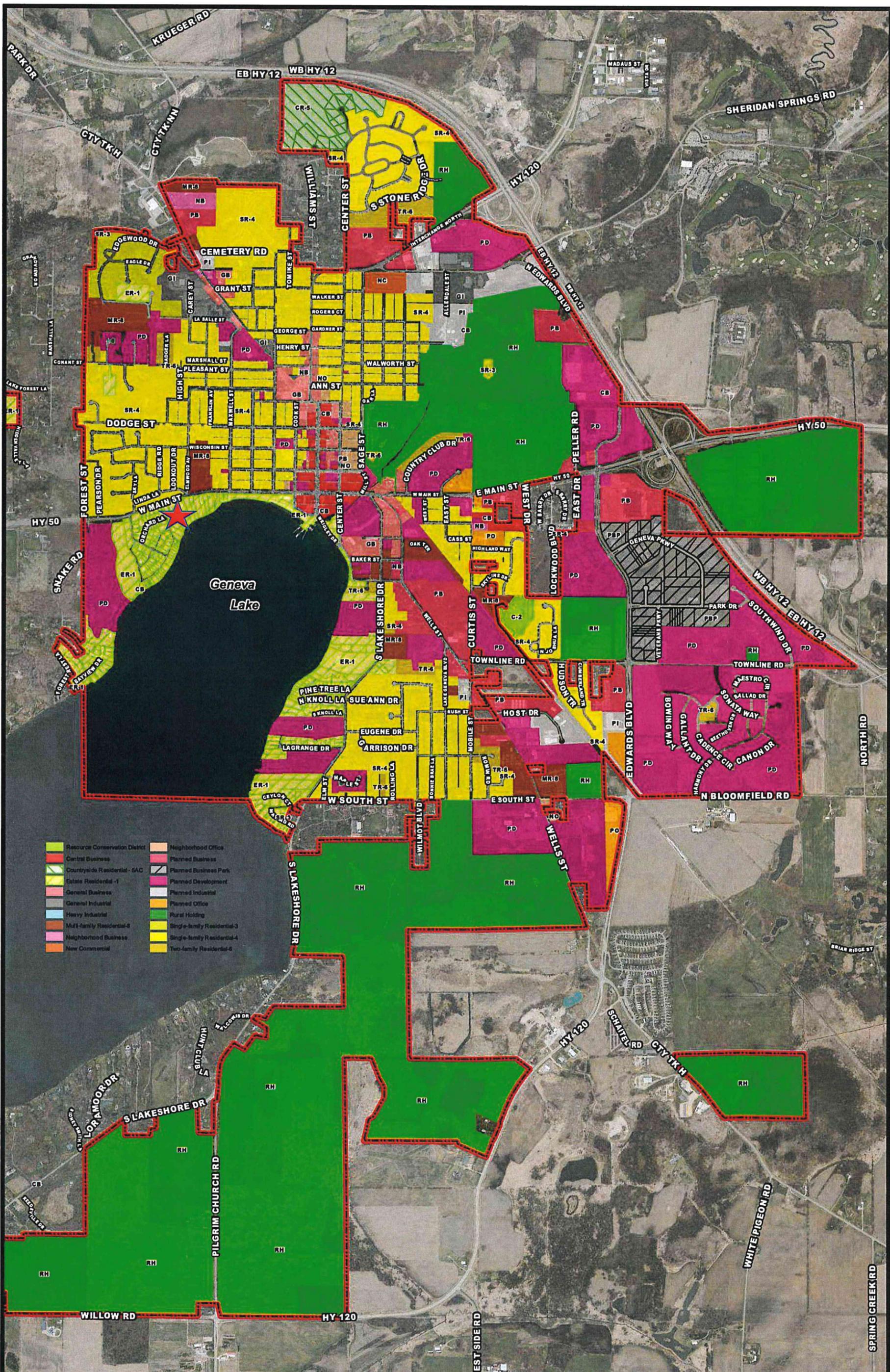


Author:  
 Map Produced on: 2/25/2020  
 Wisconsin State Plane Coordinate System, South Zone  
 Horizontal Datum: NAD83-2011



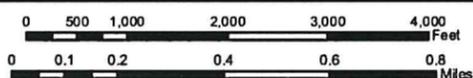
**Walworth County Information Technology Department  
 Land Information Division**  
 1800 County Trunk NN  
 Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED FOR THIS MAP WAS FROM PUBLIC RECORDS AND FIELD SURVEY DATA. WALWORTH COUNTY MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE ACCURACY, COMPLETENESS, QUALITY, OR RELIABILITY OF THE INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS A LEGAL DOCUMENT.



- |  |                                |  |                             |
|--|--------------------------------|--|-----------------------------|
|  | Resource Conservation District |  | Neighborhood Office         |
|  | Central Business               |  | Planned Business            |
|  | Countryside Residential - SAC  |  | Planned Business Park       |
|  | Estate Residential - 1         |  | Planned Development         |
|  | General Business               |  | Planned Industrial          |
|  | General Industrial             |  | Planned Office              |
|  | Heavy Industrial               |  | Rural Holding               |
|  | Multi-family Residential-3     |  | Single-family Residential-3 |
|  | Neighborhood Business          |  | Single-family Residential-4 |
|  | New Commercial                 |  | Two-family Residential-5    |

**City of Lake Geneva**  
Zoning Map on Aerial Background



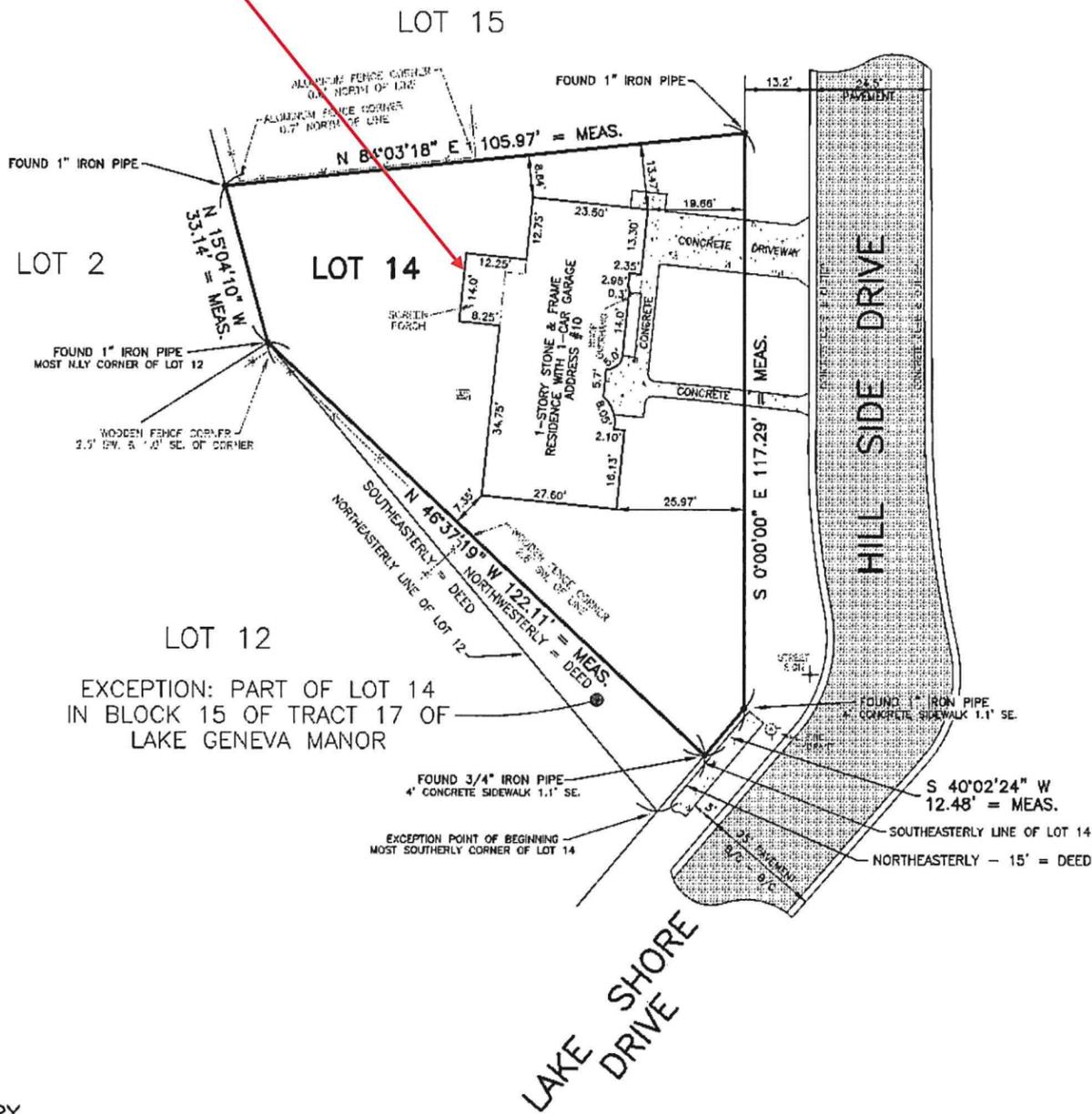
# PLAT OF SURVEY



**LEGAL DESCRIPTION:**

LOT 14 IN BLOCK 15, TRACT NUMBER 17 OF LAKE GENEVA MANOR, AS PER THE PLAT RECORDED IN VOLUME 9 OF PLATS, PAGE 52, EXCEPTING A PIECE OF PARCEL CONVEYED BY QUIT CLAIM DEED DATED DECEMBER 21, 1944 AND RECORDED JANUARY 2, 1945 IN VOLUME 326 OF DEEDS, PAGE 303 TO ARMIN A. WILD, DESCRIBED AS FOLLOWS, TO WIT: BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT 14, BLOCK 15, TRACT 17, LAKE GENEVA MANOR; THENCE NORTHEASTERLY ALONG THE BORDER LINE OF LOT 14, BLOCK 15 FRONTING LAKE SHORE DRIVE, 15 FEET; THENCE STRAIGHT IN A NORTHWESTERLY DIRECTION, TO THE MOST NORTHERLY CORNER OF LOT 12, BLOCK 15 OF SAID SUBDIVISION; THENCE IN A SOUTHEASTERLY DIRECTION ALONG THE NORTHEASTERLY BORDER LINE OF LOT 12, BLOCK 15 TO THE PLACE OF BEGINNING, IN WALWORTH COUNTY, WISCONSIN.

Existing Screen Porch



**LOT 14  
AREA SUMMARY**  
0.1876 ACRES ±  
8,170 S.F. ±

Heritage Land Consultants LLC  
Surveying Engineering  
Sept: Design  
HLC SURVEYING  
759 RIDGEVIEW DRIVE  
McHENRY, ILLINOIS 60050  
(815) 344-3252

P.I.N. #ZML0033	INDICATES IRON STAKE (UNLESS NOTED OTHERWISE)	BEARING SYSTEM : ASSUMED (UNLESS NOTED OTHERWISE)
PREPARED FOR: BRUCE GOLD	ADDRESS: 10 HILL SIDE DRIVE LAKE GENEVA, ILLINOIS	DRAWN BY: TVA CHECKED BY: MTB
SCALE : 1" = 20'	DATE : 9-26-2019	DATE OF FIELD WORK: 9-18-2019
JOB NO. 2019-220 SUR	DISK: 180023 FILE NAME: 19220 SUR	DSK: 19220 PAG. NO. 19220P

**ABBREVIATIONS**  
= R. DISTANCE ON RECORDED PLAT OF SUBDIVISION  
= REC. DISTANCE ON RECORDED PLAT OF SUBDIVISION  
= M. MEASURED OR CALCULATED DISTANCE  
= MEAS. MEASURED OR CALCULATED DISTANCE  
= RAD. RADIUS  
= ARC. ARC LENGTH  
= CHORD. CHORD LENGTH  
= CONC. CONCRETE  
= P.O.B. POINT OF BEGINNING  
= P.O.C. POINT OF COMMENCEMENT

SURVEYS ARE BASED UPON RECORDED SUBDIVISION INFORMATION IN CASES OF REGULAR SUBDIVISION LOTS. SURVEYS OF PROPERTIES NOT A PART OF A REGULAR SUBDIVISION ARE BASED UPON TITLE INFORMATION PROVIDED BY THE CLIENT OR PARTY REQUESTING THE SURVEY. PLATS OF SURVEY REFLECT INFORMATION DISCOVERED BY THE SURVEYOR IN THE NORMAL COURSE OF WORK AND DOES NOT NECESSARILY SHOW EVERY POSSIBLE CONDITION AFFECTING THE PROPERTY. EASEMENTS, SERVITUDES, BUILDING ORDINANCES, ZONING, AND OTHER LEGAL ENCUMBRANCES MAY EXIST AND ARE NOT SHOWN HEREON. CONSULT A TITLE ATTORNEY IF YOU WISH TO DISCOVER ANY OF THE LEGAL ENCUMBRANCES THAT MAY BE ATTACHED TO ANY PROPERTY.

REFER TO DEED OR GUARANTEE POLICY AND LOCAL ORDINANCES FOR BUILDING LINES AND EASEMENTS NOT SHOWN HEREON. COMPARE YOUR DESCRIPTION AND POINTS WITH THIS PLAT AND AT ONCE REPORT ANY APPARENT DIFFERENCE TO THE SURVEYOR.

BUILDING THE DIMENSIONS SHALL NOT BE USED TO DETERMINE LOT LINE LOCATIONS. THIS PLAT OF SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE POLICY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT WISCONSIN MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

HLC SURVEYING IS A SERIES OF HERITAGE LAND CONSULTANTS, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY.

ILLINOIS PROFESSIONAL LAND SURVEY AND PROFESSIONAL ENGINEERING DESIGN FIRM CORPORATION LICENSE NO. 184-004855 EXPIRES : 04/30/2021

STATE OF ILLINOIS  
S.S.  
COUNTY OF McHENRY

WE, HERITAGE LAND CONSULTANTS, LLC, DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT DRAWN IS A REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.

GIVEN UNDER MY HAND AND SEAL AT McHENRY, ILLINOIS  
THIS 26th. DAY OF SEPTEMBER 2019

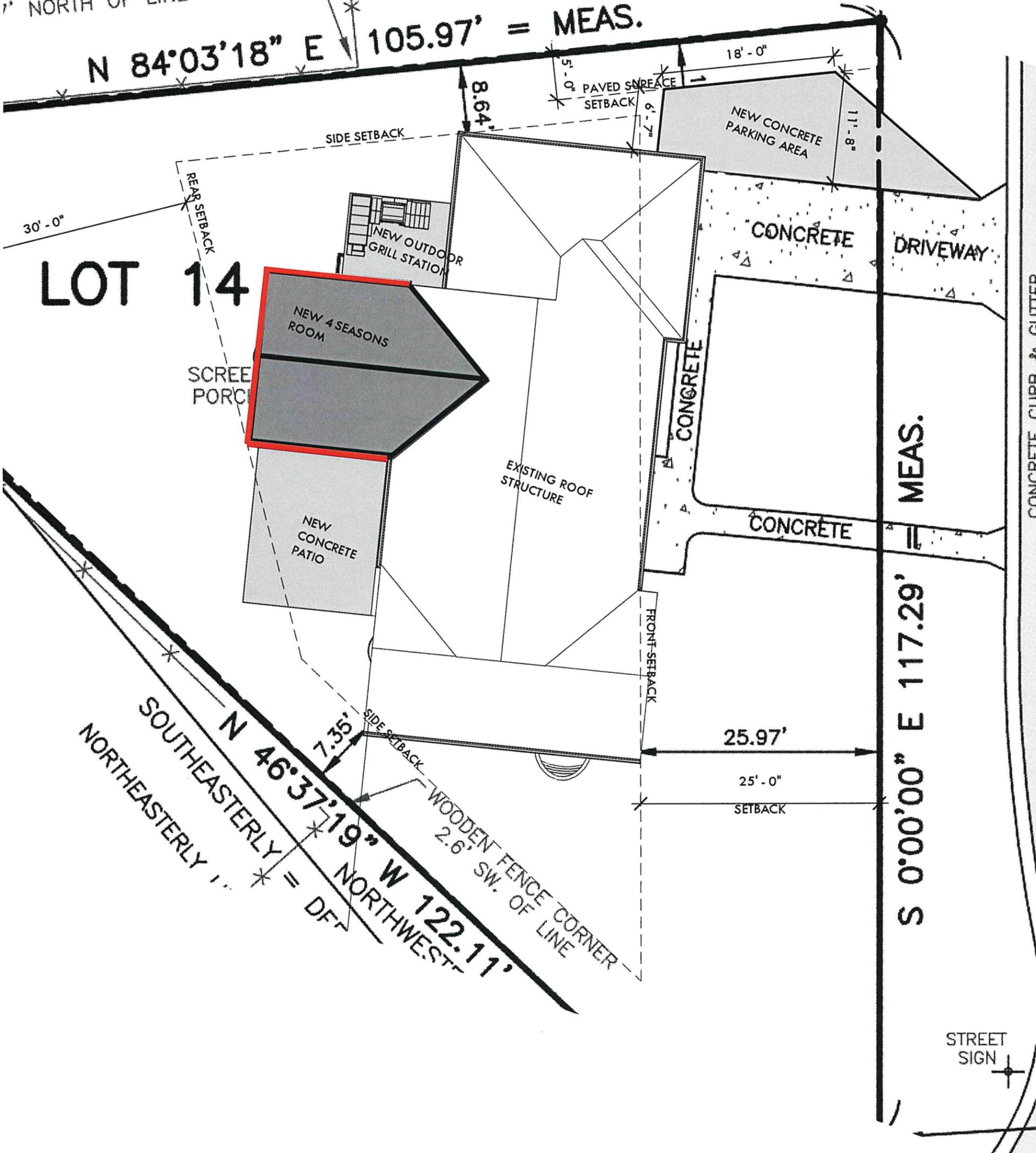
MARK T. BERNHARDT  
WISCONSIN PROFESSIONAL LAND SURVEYOR NO. 2219-B  
LICENSE RENEWAL DATE : 1-31-2020

LOI

FOUND 1

ALUMINUM FENCE CORNER  
0.6' NORTH OF LINE  
NUM FENCE CORNER  
' NORTH OF LINE

N 84°03'18" E 105.97' = MEAS.



LOT 14

MEAS.

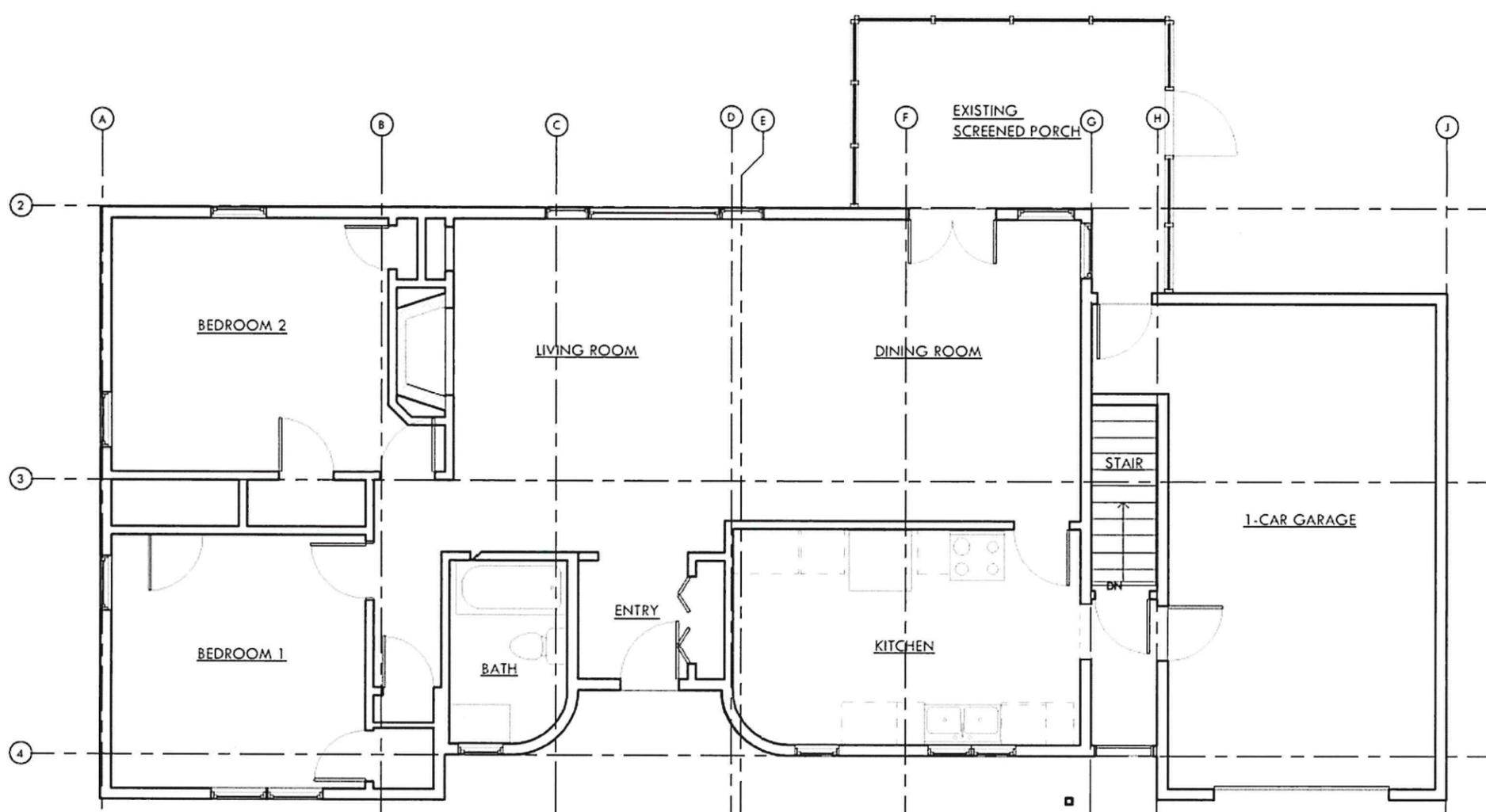
S 0°00'00" E 117.29' = MEAS.

N 46°37'19" W 122.11' = MEAS.  
SOUTHEASTERLY  
NORTHEASTERLY

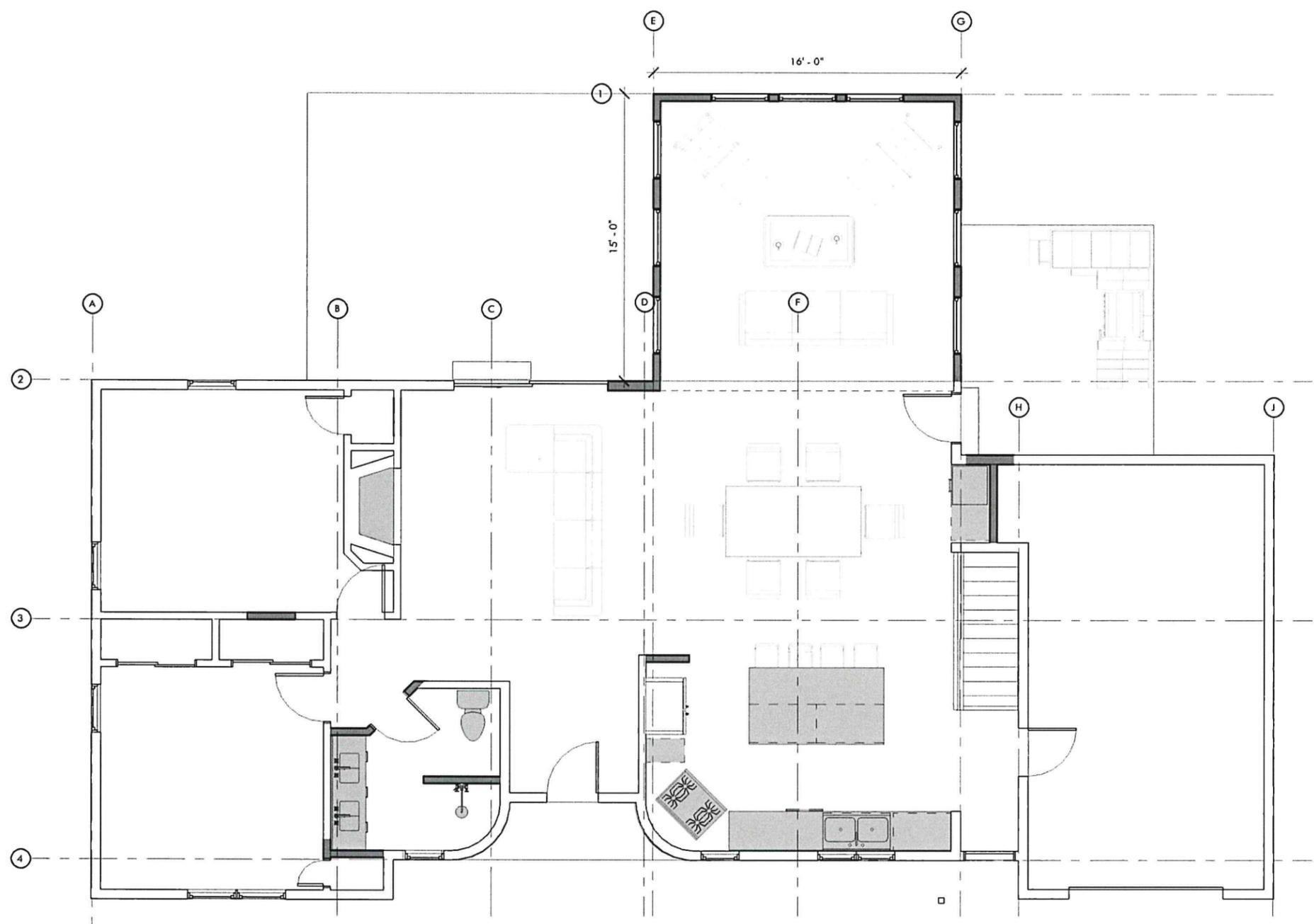
Proposed Site Plan



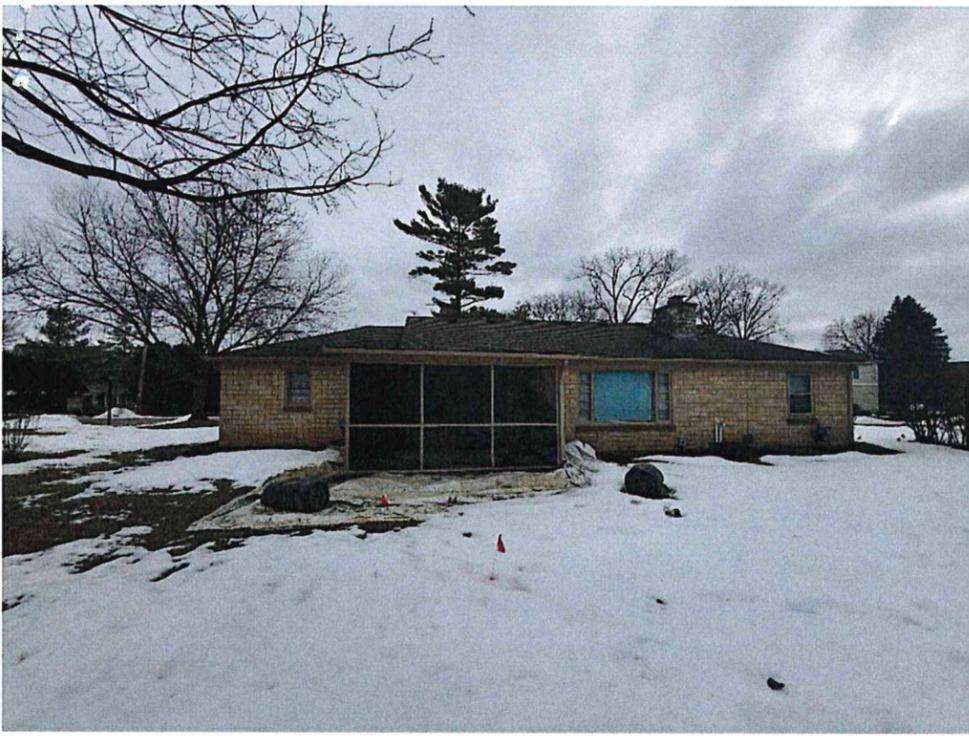
North



④ **EXISTING FIRST FLOOR PLAN**  
 1/4" = 1'-0"  
 N.T.S.



④ **FIRST FLOOR PLAN - PROPOSED**  
 N.T.S.



Existing West/ Rear



Proposed West/ Rear



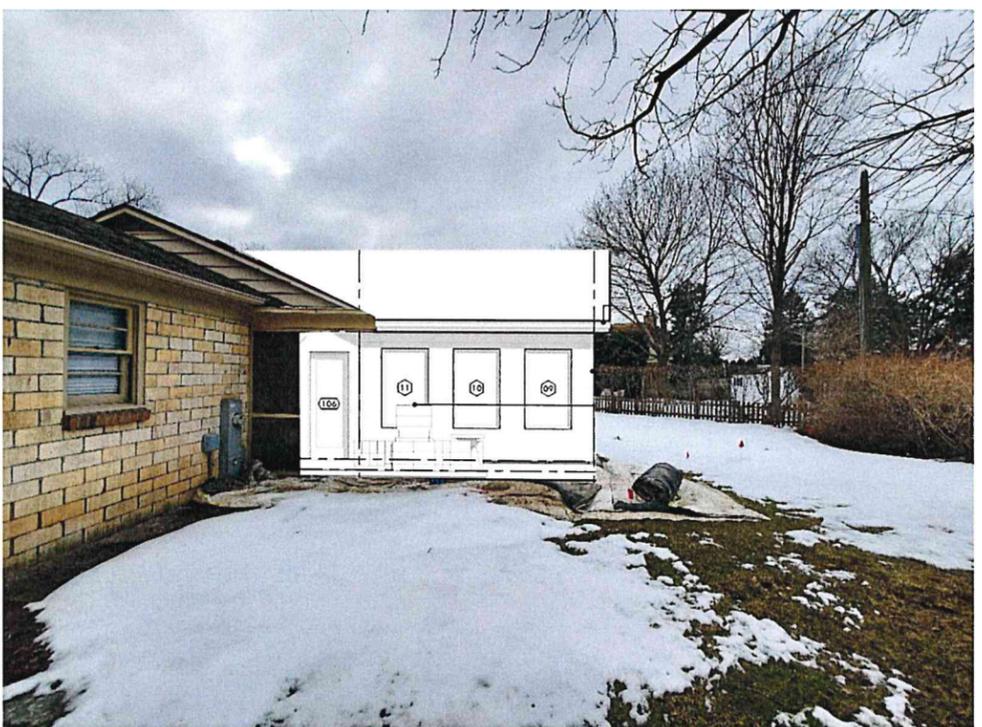
Existing South



Proposed South



Existing North



Proposed North



STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: April 20, 2020

Agenda Item: 8

Applicant:

Timothy Reuss,  
4262 Dorchester Ave.  
Gurnee, IL 60031

Request:

940 Marshall St.  
Limited Conditional Use Permit  
Commercial Indoor Lodging  
Tax Key No. ZRA000030

Description:

The applicant is submitting a proposal for a “Limited” Conditional Use Permit (CUP) for the property located at 940 Marshall St. to allow for a Commercial Indoor Lodging land use located in the General Business (GB) zoning district.

Project Details from Limited CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Limited Conditional Use Permit (CUP):

As part of the consideration of the requested Limited CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Limited CUP;
- Include *findings* required by the Zoning Ordinance for Limited CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the Limited CUP for Recommendation to the Common Council:

A proposed Limited CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
  - a. In general, the proposed limited conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- b. Specific to this site, the proposed limited conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - c. The proposed limited conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  - d. The proposed limited conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  - e. The proposed limited conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  - f. The potential public benefits of the proposed limited conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed limited conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - b. Specific to this site, the proposed limited conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - c. The proposed limited conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

- d. The proposed limited conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed limited conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed limited conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Limited Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed "limited" conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE  
City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

940 Marshall St. Lake Geneva, WI.  
Lot 33 of Rich's addition ZRA 00030

Name and Address of Current Owner:

Timothy Reuss 4262 Dorchester Ave. Gurnee, IL. 60031

Telephone No. with area code & Email of Current Owner:

847 826-0234 t-reuss@northwestern.edu

Name and Address of Applicant:

Timothy Reuss 4262 Dorchester Ave. Gurnee, IL. 60031

Telephone No. with area code & Email of Applicant:

847 826-0234 t-reuss@northwestern.edu

Proposed Conditional Use:

Commercial Indoor Lodging

Zoning District in which land is located:

Commercial

Names and Addresses of architect, professional engineer and contractor of project:

N/A

Short statement describing activities to take place on site:

Overnight rental

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

3/6/20  
Date

X Timothy Reuss  
Signature of Applicant

20

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

↓

Date: \_\_\_\_\_ by: \_\_\_\_\_

Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ (a) A map of the proposed conditional use:

- \_\_\_ Showing all lands for which the conditional use is proposed;
- \_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;
- \_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- \_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- \_\_\_ Map and all its parts are clearly reproducible with a photocopier;
- \_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- \_\_\_ All lot dimensions of the subject property provided;
- \_\_\_ Graphic scale and north arrow provided.

\_\_\_ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- \_\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- \_\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- \_\_\_\_\_ (e) Written justification for the proposed conditional use:
  - \_\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

**III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE**

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?  
This use will not impact neighboring properties
2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?  
Existing use is consistent with this request
3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?  
No
4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?  
Yes

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

YES

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

YES

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

IV. FINAL APPLICATION PACKET INFORMATION

\_\_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Conditional Use recorded with the County Register of Deeds Office: Date: \_\_\_\_\_ by: \_\_\_\_\_

# CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR: SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

## I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- \_\_\_ Pre-submittal staff meeting scheduled:  
 Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Follow-up pre-submittal staff meetings scheduled for:  
 \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_  
 \_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Application fee of \$ \_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

## II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- \_\_\_ Initial Packet (5 Copies to Zoning Administrator) Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓  
 \_\_\_ Draft Final Packet (1 Copy to Zoning Administrator) Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓

- \_\_\_ (a) A written description of the intended use describing in reasonable detail the:
  - \_\_\_ Existing zoning district(s) (and proposed zoning district(s) if different);
  - \_\_\_ Land use plan map designation(s);
  - \_\_\_ Current land uses present on the subject property;
  - \_\_\_ Proposed land uses for the subject property (per Section 98-206);
  - \_\_\_ Projected number of residents, employees, and daily customers;
  - \_\_\_ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
  - \_\_\_ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

\_\_\_ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

\_\_\_ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";

\_\_\_ Exterior building and fencing materials (Sections 98-718 and 98-720);

\_\_\_ Possible future expansion and related implications for points above;

\_\_\_ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

\_\_\_ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

\_\_\_ (c) A **Property Site Plan drawing which includes:**

\_\_\_ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;

\_\_\_ The date of the original plan and the latest date of revision to the plan;

\_\_\_ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);

\_\_\_ A reduction of the drawing at 11" x 17";

\_\_\_ A legal description of the subject property;

\_\_\_ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

\_\_\_ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

\_\_\_ All required building setback lines;

\_\_\_ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

\_\_\_ The location and dimension (cross-section and entry throat) of all access points onto public streets;

\_\_\_ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

\_\_\_ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;

\_\_\_ The location of all outdoor storage areas and the design of all screening devices;

\_\_\_ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;

\_\_\_ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;

\_\_\_ All engineering requirements for utilities, site designs, etc;

\_\_\_ The location and type of any permanently protected green space areas;

\_\_\_ The location of existing and proposed drainage facilities for storm water;

\_\_\_\_\_ In the legend, data for the subject property on:

- \_\_\_\_\_ Lot Area;
- \_\_\_\_\_ Floor Area;
- \_\_\_\_\_ Floor Area Ratio (b/a);
- \_\_\_\_\_ Impervious Surface Area;
- \_\_\_\_\_ Impervious Surface Ratio (d/a);
- \_\_\_\_\_ Building Height.

\_\_\_\_\_ (d) A Detailed Landscaping Plan of the subject property:

- \_\_\_\_\_ Scale same as main plan (> or equal to 1" equals 100')
- \_\_\_\_\_ Map reduction at 11" x 17"
- \_\_\_\_\_ Showing the location of all required buffer yard and landscaping areas
- \_\_\_\_\_ Showing existing and proposed Landscape Point fencing
- \_\_\_\_\_ Showing berm options for meeting said requirements
- \_\_\_\_\_ Demonstrating complete compliance with the requirements of Article VI
- \_\_\_\_\_ Providing individual plant locations and species, fencing types and heights, and berm heights;

\_\_\_\_\_ (e) A Grading and Erosion Control Plan:

- \_\_\_\_\_ Same scale as the main plan (> or equal to 1" equals 100')
- \_\_\_\_\_ Map reduction at 11" x 17"
- \_\_\_\_\_ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

\_\_\_\_\_ (f) Elevation Drawings of proposed buildings or remodeling of existing buildings:

- \_\_\_\_\_ Showing finished exterior treatment;
- \_\_\_\_\_ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- \_\_\_\_\_ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE: Initiation of Land Use or Development Activity:** Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

**NOTE: Modification of an Approved Site Plan:** Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

### III.FINAL APPLICATION PACKET INFORMATION

\_\_\_\_\_ Receipt of 5 full scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_\_ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_\_ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: \_\_\_\_\_ by: \_\_\_\_\_

## Development Review Committee (DRC) Application

20

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

### Applicant Information

Property Address 940 Marshall St. Lake Geneva, WI 53147  
Applicant name Timothy Reuss  
Applicant email t-reuss@northwestern.edu Phone Number 847 826-0234

Architect/Contractor/Designer Name N/A  
Architect/Contractor/Designer Email \_\_\_\_\_ Phone Number \_\_\_\_\_

Type of Construction: New \_\_\_\_\_ Addition \_\_\_\_\_ Remodel \_\_\_\_\_  
Type of Development: Single-family \_\_\_\_\_ Multi-family \_\_\_\_\_ Commercial  Industrial \_\_\_\_\_  
Type of Business Commercial indoor lodging

### Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow).

- Storm water management provisions provided? YES / NO
  - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
  - Watermain
  - Sanitary Sewer
  - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
  - WISDOT Right-of-way?
  - County Right-of-way?
- Estimated Traffic impacts None
  - Traffic Study Required YES/NO
  - Traffic Control Plan Required YES/NO
  - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES/NO *Future driveway install anticipated*
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES/NO
- Watermain extension required? YES/NO
- Sanitary sewer extension required? YES/NO
- SEWRPC Service Area Amendment needed? YES/NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES/NO
- Proposed building/expansion dimensions NO
- Will there be signage? YES/NO type (mounted, freestanding) \_\_\_\_\_
- Exterior lighting plans? YES/NO
- What kind of noise or level of noise will the business have? \_\_\_\_\_
- Detailed property Site Plan? YES/NO Date of Plan: \_\_\_\_\_
- Green Space Calculations (Existing vs. Proposed) YES/NO
- Are landscape plans provided? YES/NO
- Is a Land Division required? YES/NO

### Water/Sewer Utilities

If an existing structure please circle the following:

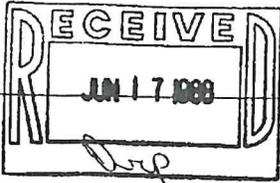
- Will existing sewer & water connections be used? YES/NO
- Will your project require the installation of a grease interceptor? YES/NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement \_\_\_\_\_
- Estimated daily water usage in gallons per day \_\_\_\_\_
- Estimated maximum water flow in gallons per minute \_\_\_\_\_
- Number of bathrooms 1
- Brief description of process (if Industrial) \_\_\_\_\_

If the development is a multi-family dwelling, please provide the following:

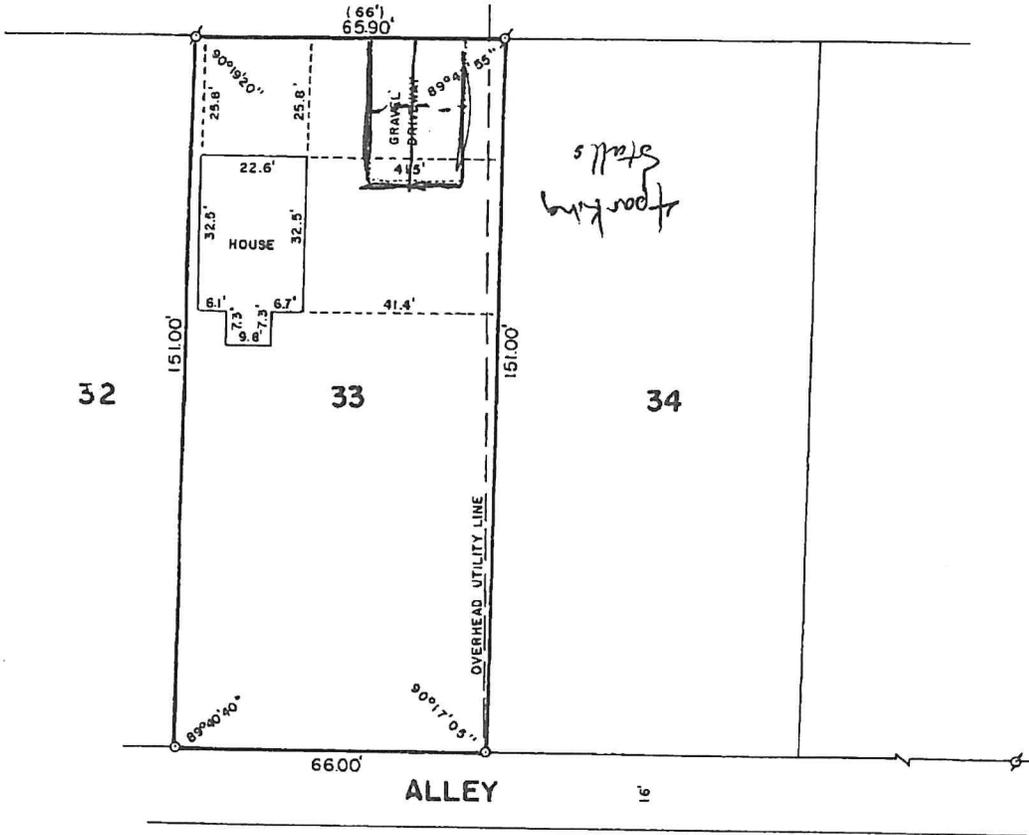
- Number of units \_\_\_\_\_
- Number of bedrooms in each unit \_\_\_\_\_
- Water service size requirement \_\_\_\_\_



WALWORTH COUNTY  
SURVEYING & MAPPING  
LAKE GENEVA, WISCONSIN

MARSHALL STREET

Parking Stall 9x18'



PLAT OF SURVEY OF

ORDERED BY:  
KEEFE REAL ESTATE  
704 MAIN STREET  
LAKE GENEVA, WISCONSIN  
53147

LOT 33 OF RICH'S ADDITION TO THE  
CITY OF LAKE GENEVA, WALWORTH  
COUNTY, WISCONSIN.

NOTE: REFER TO DEED OR GUARANTEE POLICY  
FOR BUILDING LINES AND EASEMENTS NOT SHOWN  
HEREON.



SCALE: 1"=30'

- IRON PIPE FOUND
- IRON PIPE PLACED
- ( ) - RECORDED AS

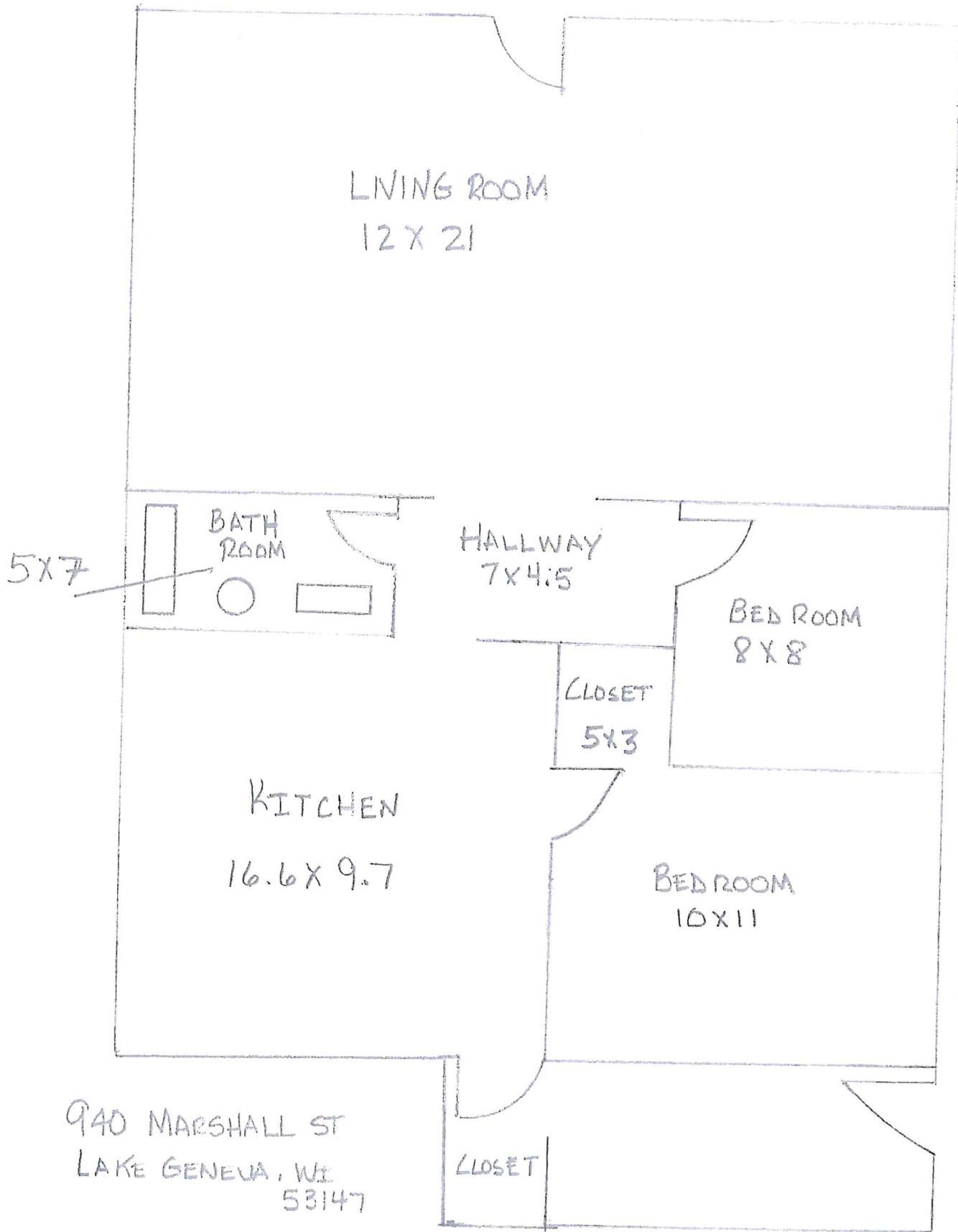
HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

*Robert M. Baerenwald*  
ROBERT M. BAERENWALD  
WISCONSIN REGISTERED LAND SURVEYOR, S-1508

DATE *June 7, 1988*  
JOB NO. 1532

NOTE: THIS IS NOT A CERTIFIED COPY UNLESS SEALED.  
7-1045



940 MARSHALL ST  
LAKE GENEVA, WI  
53147

ZRA00030

**RESOLUTION OF THE COMMON COUNCIL**

Resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by Ann Esarco, 1051 Mobile St., Lake Geneva for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 960 S. Lake Shore Dr. located in the Estate Residential - 1 (ER-1) zoning district. Tax Key No. ZSY00027.

<b>Committee:</b>	Plan Commission approved April 20, 2020		
<b>Fiscal Impact:</b>	N/A		
<b>File Number:</b>	<b>20-R34</b>	<b>Date:</b>	April 27, 2020

WHEREAS, the City Plan Commission has considered the application of, Ann Esarco, 1051 Mobile St., Lake Geneva for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 960 S. Lake Shore Dr.

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on April 9th, 2020.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to Ann Esarco, 1051 Mobile St., Lake Geneva for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 960 S. Lake Shore Dr.,

Tax Key No. ZSY00027

to include all affirmative findings of fact and note staff recommendations to identify the Landscape Surface Ratio (LSR) shall meet the minimum allowed of 60% in which as submitted is 72% LSR, in addition the Floor Area Ratio (FAR) maximum allowed is 40%, as submitted both requests meet the requirements with the inclusion of 28% FAR as proposed.

Granted by action of the Common Council of the City of Lake Geneva this 23<sup>th</sup> day of March 2020.

**Council Action:**  **Adopted**       **Failed**      **Vote** \_\_\_\_\_

**Mayoral Action:**  **Accept**       **Veto**

\_\_\_\_\_  
Charlene Klein, Mayor

\_\_\_\_\_  
Date

Attest:

---

Lana Kropf, City Clerk

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: April 20, 2020

Agenda Item: 9

Applicant:

Ann Esarco  
1051 Mobile St  
Lake Geneva 53147

Request:

New Single Family Residence  
960 S. Lake Shore Dr.  
Conditional Use Permit  
Estate Residential (ER-1)  
Tax Key No. ZSY00027

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for construction of a new single family residence located in the Estate Residential (ER-1) zoning district utilizing the Single-Family Residential – 4 (SR-4) zoning.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

LOT 27 Pine Tree Lane lake Geneva WI 53147

zsy 00027

NAME AND ADDRESS OF CURRENT OWNER:

ANN ESARCO

1051 MOBILE ST. LAKE GENEVA WI 53147

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: 815-382-1688 aesarco@me.com

NAME AND ADDRESS OF APPLICANT:

ANN ESARCO

1051 MOBILE ST. LAKE GENEVA WI. 53147

TELEPHONE NUMBER & EMAIL OF APPLICANT: 815-382-1688 aesarco@me.com

PROPOSED CONDITIONAL USE:

Requesting SR-4 setbacks in an ER-1 zoning district  
Purpose - to build new single family residence

ZONING DISTRICT IN WHICH LAND IS LOCATED: ESTATE Residential 1 - ER1

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Fairwyn

Brian C. Pollard 875 Townline Rd Ste 103

LAKE GENEVA WI 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Construct new single family home on existing  
lot. Requesting SR-4 setbacks in ER-1 zoning district

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

2-11-2020

DATE

Ann Esarco

SIGNATURE OF APPLICANT

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓

\_\_\_ (a) A map of the proposed conditional use:

- \_\_\_ Showing all lands for which the conditional use is proposed;
- \_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;
- \_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- \_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- \_\_\_ Map and all its parts are clearly reproducible with a photocopier;
- \_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft.
- \_\_\_ All lot dimensions of the subject property provided;
- \_\_\_ Graphic scale and north arrow provided.

\_\_\_ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- \_\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- \_\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- \_\_\_\_\_ (e) Written justification for the proposed conditional use:
- \_\_\_\_\_  Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

### III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

- How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?  
The existing lot, while considered non-conforming, is approximately the same size as others in the area, including those in Syver Stad sub-division. the subdivision of this property
- How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?  
The existing lot, is approximately the same size as others in the area, including those in the Syver Stad sub-division, the subdivision of this property
- Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?  
NO, access to the home will be one private drive off Pine Tree Lane
- How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?  
The proposed conditional use consists of constructing a new single-family home. ~~the proposed use~~ - The construction is consistent with other single family homes in the Syver Stad SUBDIVISION, the subdivision of this property

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

*there will be no burden on any improvements, facilities, utilities, or services provided by public agencies serving the property.*

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

*there will be no adverse impacts generated by the proposed conditional use.*

**IV. FINAL APPLICATION PACKET INFORMATION**

\_\_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Conditional Use recorded with the County Register of Deeds Office: Date: \_\_\_\_\_ by: \_\_\_\_\_

February 11, 2020

To Whom It May Concern:

Enclosed is my application for conditional use for the construction of a new single family home on my existing vacant lot which is Lot 27 Pine Tree Lane, Lake Geneva, WI. I'm requesting SR-4 setbacks in an ER-1 Zoning district. I am working with Brian Pollard at Fairwyn Custom Homes, LLC to build my home. Please let me know if there are any further materials or clarifications to my proposed project you might need. My contact information is below along with Brian Pollard.

Thank you for your time and consideration in this matter.

Warmest Regards,

Ann Esarco



Ann Esarco  
815-382-1688  
[aesarco@me.com](mailto:aesarco@me.com)

Brian C Pollard  
262-749-9255  
[brian@fairwyn.com](mailto:brian@fairwyn.com)

Esarco Conditional Use Packet  
Lot 27 Pine Tree Lane, Lake Geneva, WI 53147  
Parcel # ZSY 00027

Properties within 300 feet of the boundaries of the subject property, list of names,  
address and current owners on record of the Register of Deeds of Walworth County.

ZSY 00001 (705 Pine Tree Lane)  
George Antonopoulos Self -Dec Trust  
Mary Antonopoulos Self-Dec Trust  
1006 Hillside Dr.  
Northbrook, IL 60062

ZSY 00002 (709 Pine Tree Lane)  
Teresa M Klocker Trust  
2731 Brassie Dr.  
Glenview, IL 60025

ZSY 00003 (713 Pine Tree Lane)  
Lane J Kapela Trust  
4 Johanna Dr.  
Plano, IL 60545

ZSY 00004 (721 Pine Tree Lane)  
Donna Lee Crook Trust  
721 Pine Tree Lane  
Lake Geneva, WI 53147

ZSY 00005 (725 Pine Tree Lane)  
Joseph B Cardiff Trust  
725 Pine Tree Lane  
Lake Geneva, WI 53147

ZFA 00004 (920 S. Lake Shore Dr.)  
Brian C Pollard Special Trust  
920 Lake Shore Drive Unit 4  
Lake Geneva, WI 53147

ZFA 00003 (900 S. Lake Shore Dr.)  
Fairwyn Investment Co, LLC  
875 Townline Rd Ste 103  
Lake Geneva, WI 53147

ZYUP 00106A (968 S. Lake Shore Dr.)  
Bohdan Kachur  
Patricia Kachur  
968 S. Lake Shore Dr.  
Lake Geneva, WI 53147

ZYUP 00106B (739 N. Knoll Ln.)  
Dennis Sopher  
Michaele Sopher  
739 N. Knoll Ln.  
Lake Geneva, WI 53147

ZSY 00026 (vacant lot)  
Ann Esarco  
1051 Mobile St.  
Lake Geneva, WI 53147

ZSY 00025 (724 Pine Tree Ln.)  
Scott L DiParvine  
Ashlee D Box  
724 Pine Tree Ln  
Lake Geneva, WI 53147

ZSY 00024 (vacant lot)  
Dennis Sopher  
Michaele Sopher  
739 N. Knoll Ln.  
Lake Geneva, WI 53147

ZYUP 00106S (1006 S. Lake Shore Dr.)  
Jerome R Orf Trust  
1006 S. Lake Shore Dr  
Lake Geneva, WI 53147

ZJ 00001 (969 S. Lake Shore Dr.)  
Phillip R Johnson Trust  
Emily L Soley-Johnson Trust  
750 Veterans Pkwy #109  
Lake Geneva, WI 53147

ZA206600001 (997 S. Lake Shore Dr.)  
Stonewall Properties LLC  
997 S. Lake Shore Dr.  
Lake Geneva, WI 53147



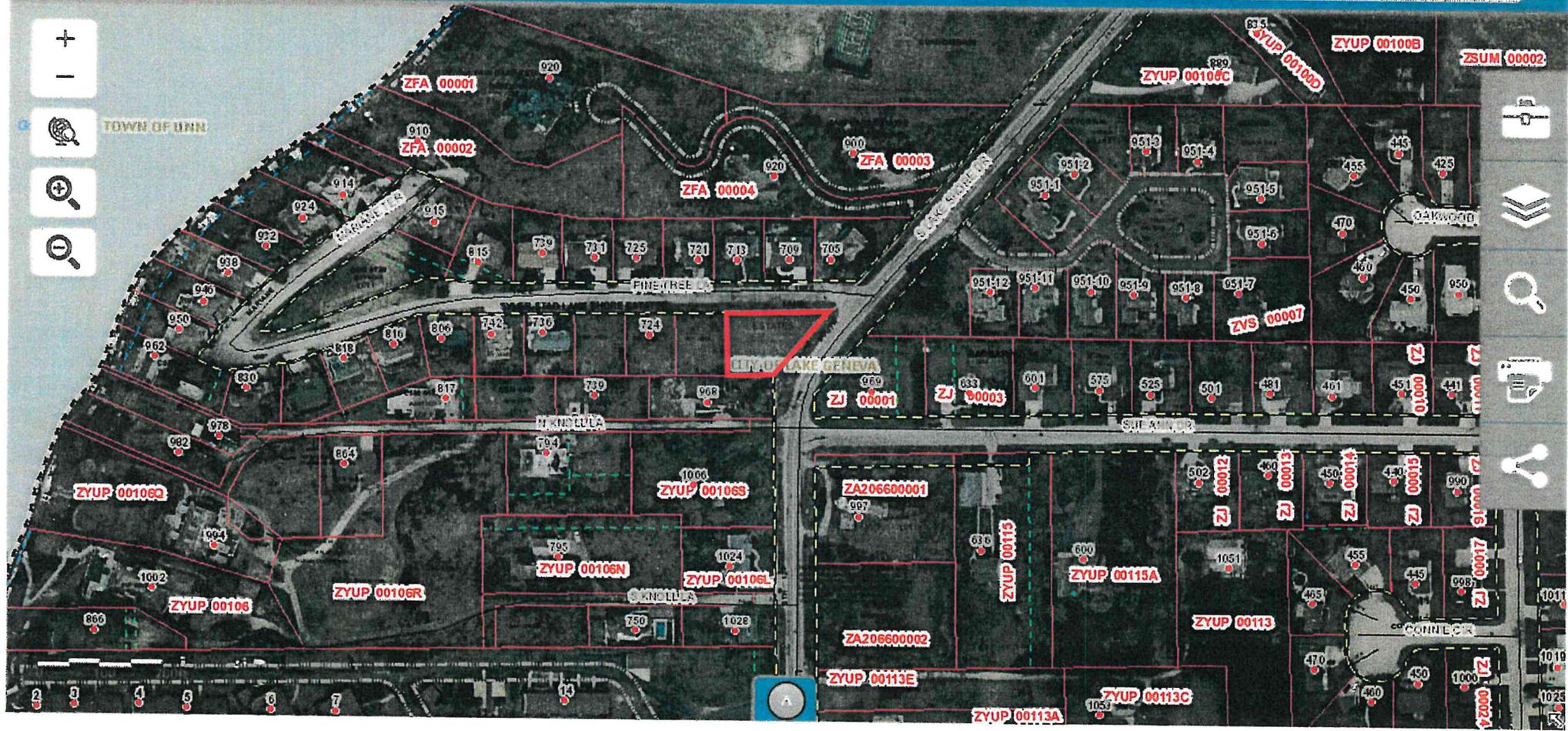
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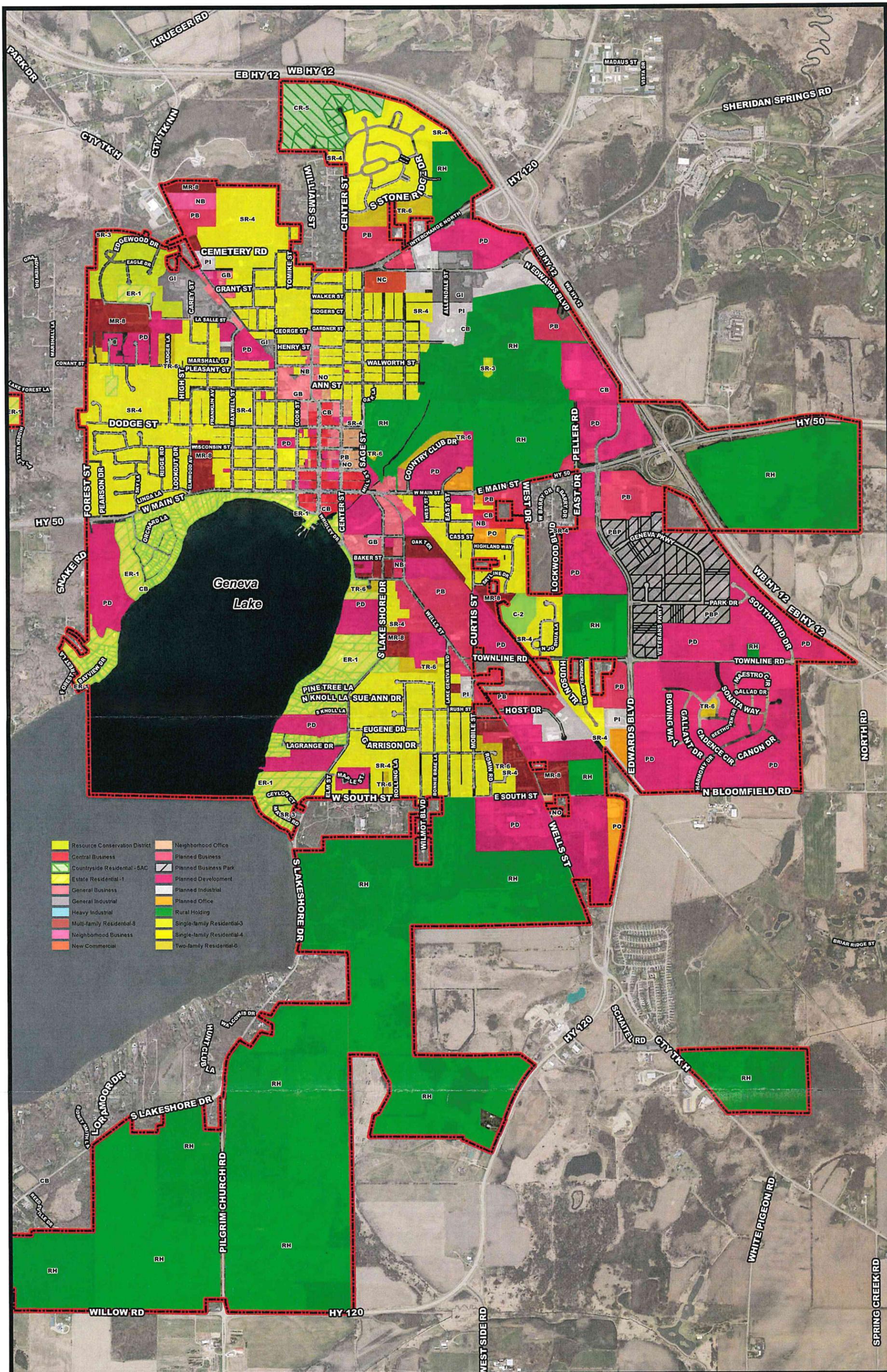
[? Help](#) [? Resources](#) [Employee Login](#)

Search for a Parcel or Address



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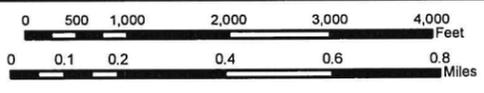




- |                                |                             |
|--------------------------------|-----------------------------|
| Resource Conservation District | Neighborhood Office         |
| Central Business               | Planned Business            |
| Countryside Residential - 5AC  | Planned Business Park       |
| Estate Residential - 1         | Planned Development         |
| General Business               | Planned Industrial          |
| General Industrial             | Planned Office              |
| Heavy Industrial               | Rural Holding               |
| Multi-family Residential-3     | Single-family Residential-3 |
| Neighborhood Business          | Single-family Residential-4 |
| New Commercial                 | Two-family Residential-0    |



**City of Lake Geneva**  
Zoning Map on Aerial Background



SPRING CREEK RD

# FAIRWYN HOMES

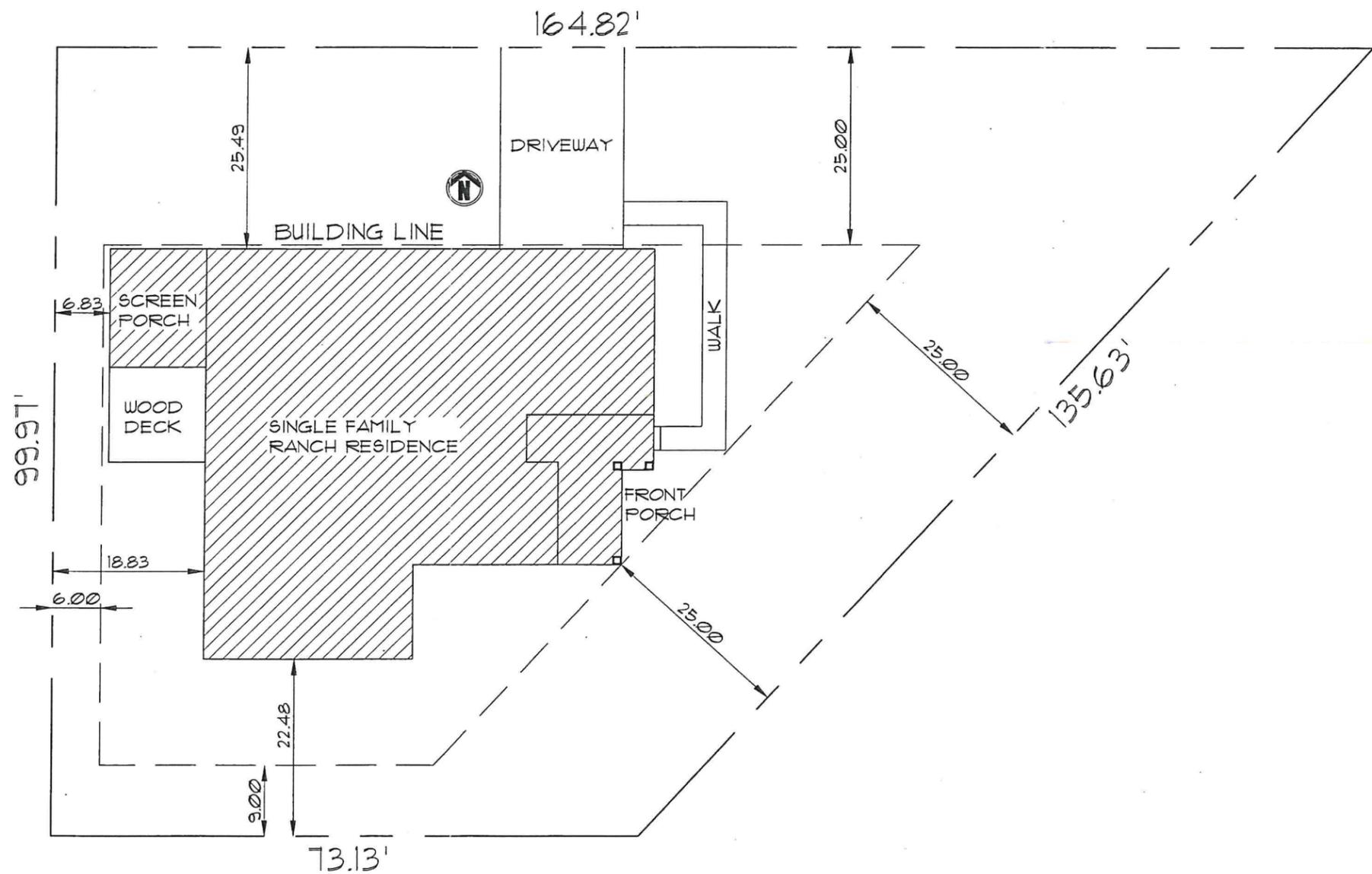
THE ESARCO RESIDENCE  
 LOT 27 PINE TREE LANE  
 LAKE GENEVA, WI. 53147



DESIGNERS  
 HATLEY, N. 50142  
 OFFICE: 224-800-3030  
 EMAIL: ADAM.MOG@GMAIL.COM  
 PROFESSIONAL DESIGN FIRM  
 LICENSE# 164-00261

FAIRWYN HOMES  
 875 TOWNLINE ROAD  
 SUITE 103  
 LAKE GENEVA, WI 53147  
 P: 262.248.5010

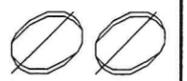
SINGLE FAMILY HOME FOR:  
 THE ESARCO RESIDENCE  
 LOT 27 PINE TREE LANE  
 LAKE GENEVA WI 53147



**SITE PLAN**  
 SCALE: 1/8" = 1'-0"

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DATE	REV#	DESCRIPTION OF REVISION
11-27-19	1	PRELIMINARY PLANS FOR REVIEW
12-11-19	2	REVISED PRELIMINARY PLANS
1-14-20	3	PROGRESS SET FOR REVIEW
2-1-20	4	FINAL PLANS FOR PERMIT



X-ESARCO.DWG



DATE	REV#	DESCRIPTION OF REVISION
11-27-19	1	PRELIMINARY PLANS FOR REVIEW
12-11-19	2	REVISED PRELIMINARY PLANS
1-14-20	3	PROGRESS SET FOR REVIEW
2-1-20	4	FINAL PLANS FOR PERMIT

**GENERAL NOTES:**  
PROVIDE A PERMANENT CERTIFICATE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF INSULATION INSTALLED, WINDOW U-FACTOR, EQUIPMENT EFFICIENCIES, DUCT SYSTEMS, AND AIR LEAKAGE PER ICC R403.

**ENVELOPE NOTES:**  
THE BUILDING THERMAL ENVELOPE SHALL BE DURABLE SEALED TO LIMIT INFILTRATION WITH A SUITABLE SOLID MATERIAL BEHIND TUBS AND SHOUERS ON EXTERIOR WALLS.

**DESIGN LOADS**  
WIND SPEED LOAD: ONE HUNDRED FIFTEEN (15) MILES PER HOUR.  
ROOF SNOW LOAD / LIVE LOAD: THIRTY (30) PSF.  
FLOOR LIVE LOADS FOR SLEEPING, AND NON SLEEPING ROOMS ARE LISTED THIRTY (30) PSF, AND FORTY (40) PSF.

**TRUSS NOTE:**  
TRUSS MANUFACTURER TO COORDINATE ROOF FRAMING WITH ARCHITECT. FRAMING PLANS TO BE SUBMITTED TO ARCHITECT PRIOR TO PERMIT SUBMITTAL.

**ENGINEERED SYSTEMS NOTE:**  
THESE DRAWINGS WERE PREPARED UNDER THE ARCHITECT'S SUPERVISION. RESPONSIBILITY IS WAIVED FOR ALL STRUCTURAL COMPONENTS, SUCH AS ENGINEERED FLOOR JOIST SYSTEMS AND ROOF TRUSSES, WHICH HAVE SEPARATE DRAWINGS PREPARED BY LICENSED STRUCTURAL ENGINEERS EMPLOYED BY THE MANUFACTURER.

**BRACING NOTE:**  
WALLS ARE REQUIRED TO BE BRACED AT A MAX OF 12'-0" O.C. (BUT NOT TO BE LESS THAN 1/6 OF THE WALL LENGTH WITH 48" WIDE BY THE HEIGHT OF THE STORY WITH STRUCTURAL PANEL BRACING).

**BATH VENTING NOTE:**  
ALL BATHROOM EXHAUST FANS ARE TO BE DUCTED TO THE EXTERIOR.

**LAUNDRY NOTES:**  
VENT DRYER TO EXTERIOR.  
FAN UNDER WASHER  
W/ DRAIN TO SANITARY.

**WINDOW NOTE:**  
ALL WINDOWS SHOWN ARE TO BE SINGLE HUNG UNITS IN FEET AND INCHES.

**GLAZING NOTE:**  
ALL GLAZING REQUIREMENTS TO FOLLOW THE DESIGNER'S INTENT CODE AND FOLLOW MANUFACTURER'S SPECIFICATIONS.

**GAS APPLIANCE NOTE:**  
ADEQUATE SUPPLY OF COMBUSTION AIR SHALL BE PROVIDED FOR ALL GAS APPLIANCES IN ACCORDANCE WITH IFRS SPECIFICATIONS AND 200 IRC.

**STRUCTURAL FRAMING LUMBER**  
FLOOR JOISTS, CEILING JOISTS, HEADERS AND RAFTERS IN-GRADE BASE VALUE AS DETERMINED BY WESTERN WOOD PRODUCTS ASSOCIATION (USE NO MULTIPLIERS AGAINST BASE VALUE).

**ENGINEERED WOOD PRODUCTS**  
MANUFACTURED STRUCTURAL WOOD PRODUCTS SUCH AS HEADERS AND BEAMS HAVE BEEN DESIGNED BASED UPON MICROLAM'S AND PARALLAM'S AS MANUFACTURED BY TRUS-JOIST WEYERMUELLER.

1B MICROLAMs Fd = 2600 psi E = 1,000,000  
2B PARALLAMs Fd = 2500 psi E = 1,000,000

**PENETRATION NOTE:**  
PENETRATIONS BETWEEN STORES AND THE ROOF SPACE SHALL BE FIRESTOPPED AS WELL AS SOFFITS, DROPPED CEILING, ETC.

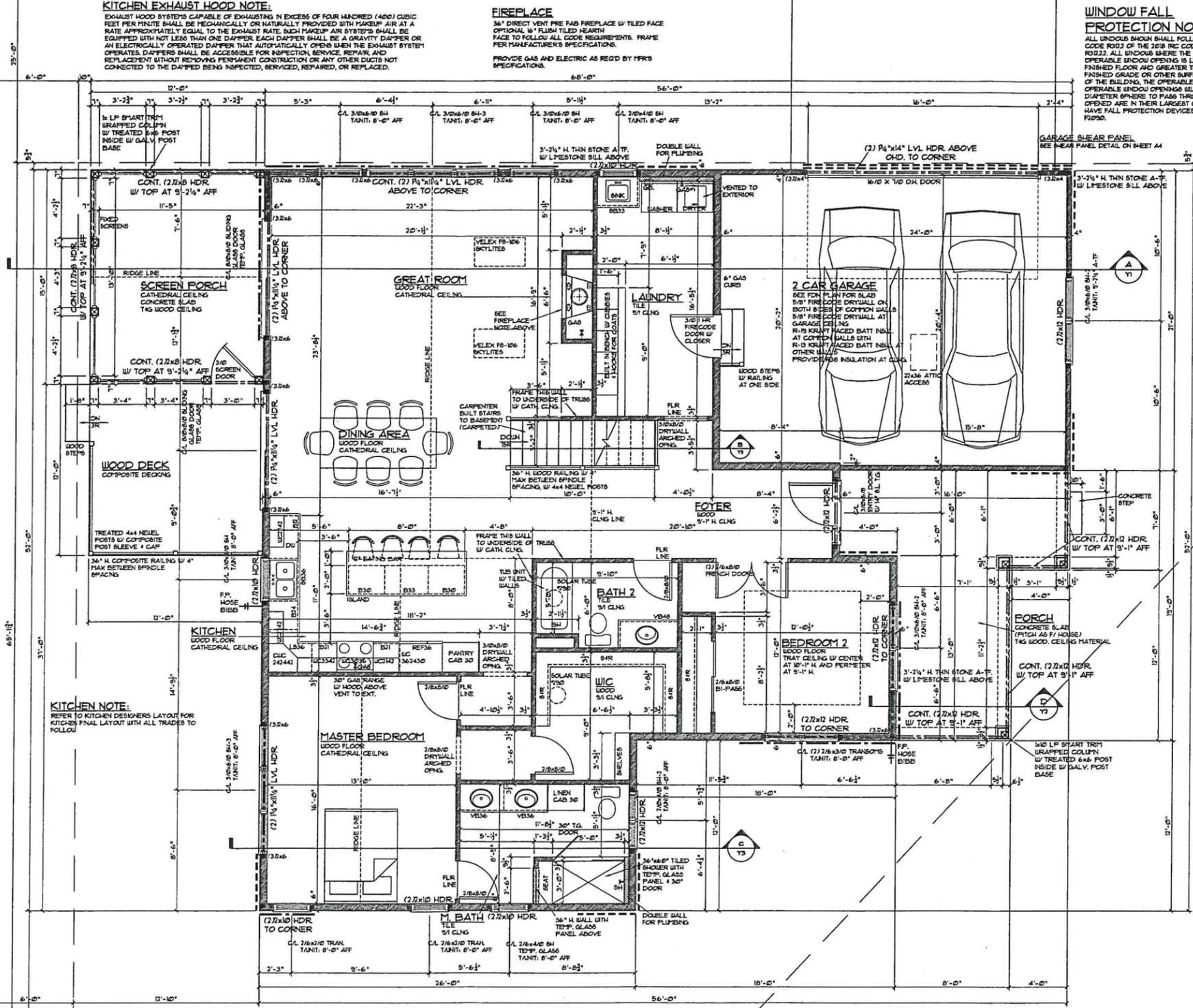
**HVAC NOTES:**  
THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MAX OF 73 DEGREES F. FOR HEATING.  
THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MIN OF 73 DEGREES F. FOR COOLING.  
A PROGRAMMABLE THERMOSTAT IS PROVIDED TO CONTROL THE HEATING AND COOLING SYSTEMS.  
IF PROVIDING OUTDOOR AIR IN ANY ATTIC SPACES, SUPPLY DUCTS IN ATTICS SHALL HAVE R-8 INSULATION R-6 IF NOT COMPLETELY IN THE THERMAL ENVELOPE.  
THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AS OUTLINED IN THE 2005 IECC.  
THE HEATING AND COOLING SYSTEMS SHALL COMPLY WITH THE 2005 IECC AND SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODS.  
DUCT SYSTEMS SERVING HEATING, COOLING, AND VENTILATION EQUIPMENT SHALL BE FABRICATED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 205 IECC M601.1 AND ACCA MANUAL D OR OTHER APPROVED METHODS.

**DRYER VENTING NOTE:**  
EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BLDG. EXHAUST DUCT TERMINATIONS SHALL BE IN ACCORDANCE WITH THE DRYER MFR. INSTALLATION INSTRUCTIONS. IF THE MFR. INSTRUCTIONS DO NOT SPECIFY A TERMINATION LOCATION, THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 18" IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. EXHAUST DUCT TERMINATIONS SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION.

THE MAX LENGTH OF THE EXHAUST DUCT SHALL BE 35' FROM THE CONNECTION TO THE TRANSITION DUCT FROM THE DRYER TO THE OUTLET TERMINAL WHERE FITTINGS ARE USED. THE MAX LENGTH OF THE EXHAUST DUCT SHALL BE REDUCED IN ACCORDANCE WITH TABLE M207.4.1. THE MAX LENGTH OF THE EXHAUST DUCT DOES NOT INCLUDE THE TRANSITION DUCT.

**PLUMBING NOTES:**  
MECHANICAL PIPING CARRYING FLUIDS ABOVE 105 DEGREES F SHALL HAVE R-3 INSULATION PER 2005 IECC CODE REQUIREMENTS.

**TUB-SHOOWER NOTE:**  
PROVIDE FIBERGLASS OR GLASS MAT GYPSUM BACKERS INSTALLED FOR WALL TILE APPLIED IN ALL TUB & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS WHICH ARE IN DIRECT CONTACT WITH WATER OR HIGH HUMIDITY.  
ALL HAND HELD SHOWER SPRAY UNITS SHALL HAVE AN ATMOSPHERIC VACUUM BREAKER INSTALLED ON THE HOSE SUPPLY FITTING CONFORMING TO ASSE 154.



**KITCHEN EXHAUST HOOD NOTE:**  
EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF FOUR HUNDRED (400) CUBIC FEET PER MINUTE SHALL BE MECHANICALLY OR NATURALLY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT LESS THAN ONE DAMPER EACH DAMPER SHALL BE A GRAVITY DAMPER OR AN ELECTRICALLY OPERATED DAMPER THAT AUTOMATICALLY OPENS WHEN THE EXHAUST SYSTEM OPERATES. DAMPERS SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR, AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR ANY OTHER DUCTS NOT CONNECTED TO THE DAMPER BEING INSPECTED, SERVICED, REPAIRED, OR REPLACED.

**FIREPLACE**  
3/4" DIRECT VENT FIRE PLACE FIREPLACE W/ TILED FACE  
OPTIONAL 1/2" FLUSH TILED HEARTH  
FACE TO FOLLOW ALL CODE REQUIREMENTS. FRAME PER MANUFACTURER'S SPECIFICATIONS.  
PROVIDE GAS AND ELECTRIC AS REQ'D BY IFRS SPECIFICATIONS.

**WINDOW FALL PROTECTION NOTE:**  
ALL WINDOWS SHOWN SHALL FOLLOW FALL PROTECTION CODE R403.2. ALL WINDOWS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 36" ABOVE THE FINISHED FLOOR AND GREATER THAN 10" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY. OPERABLE WINDOW OPENINGS SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH WHERE THE WINDOW OPENED ARE IN THEIR LARGEST OPENED POSITION OR HAVE FALL PROTECTION DEVICES THAT COMPLY WITH ASTM F2090.

**KITCHEN NOTE:**  
REFER TO KITCHEN DESIGNERS LAYOUT FOR KITCHEN FINAL LAYOUT WITH ALL TRADES TO FOLLOW.

**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
9'-1" HIGH CEILING

EXIST. MARINER LIVEABLE: 1590 SQ. FT.  
ADDED SQAURE FOOTAGE: 200 SQ. FT.  
TOTAL LIVABLE: 1790 SQ. FT.

GARAGE: 507 SQ. FT.  
FRONT PORCH: 176 SQ. FT.  
SCREEN PORCH: 180 SQ. FT.

**ENERGY CODE NOTES:**  
ALL WINDOWS AND GLAZED DOORS SHALL FOLLOW THE NOTED MAXIMUM U-FACTORS, AND REQUIREMENTS NOTED BELOW.  
MAXIMUM U-FACTOR FOR WINDOWS AND GLAZED DOORS: 0.30  
MAXIMUM U-FACTOR FOR SKYLITES: 0.55  
ALL NEW WINDOWS AND GLAZED DOORS MUST BEAR THE MANUFACTURER'S STAMPERS SO COMPLIANCE CAN BE CONFIRMED.  
WOOD BURNING FIREPLACES MUST HAVE GASKETED DOORS AND BE SUPPLIED WITH OUTSIDE COMBUSTION AIR.  
BUILDING FRAMING CANNOT BE USED AS AIR SUPPLY DUCTS.  
A MINIMUM OF 75% OF ALL LATHS IN PERMANENTLY INSTALLED LIGHT FIXTURES TO BE HIGH EFFICIENCY.  
SHOWER DOOR TEST REQUIRED PER SECTION R402.4.12

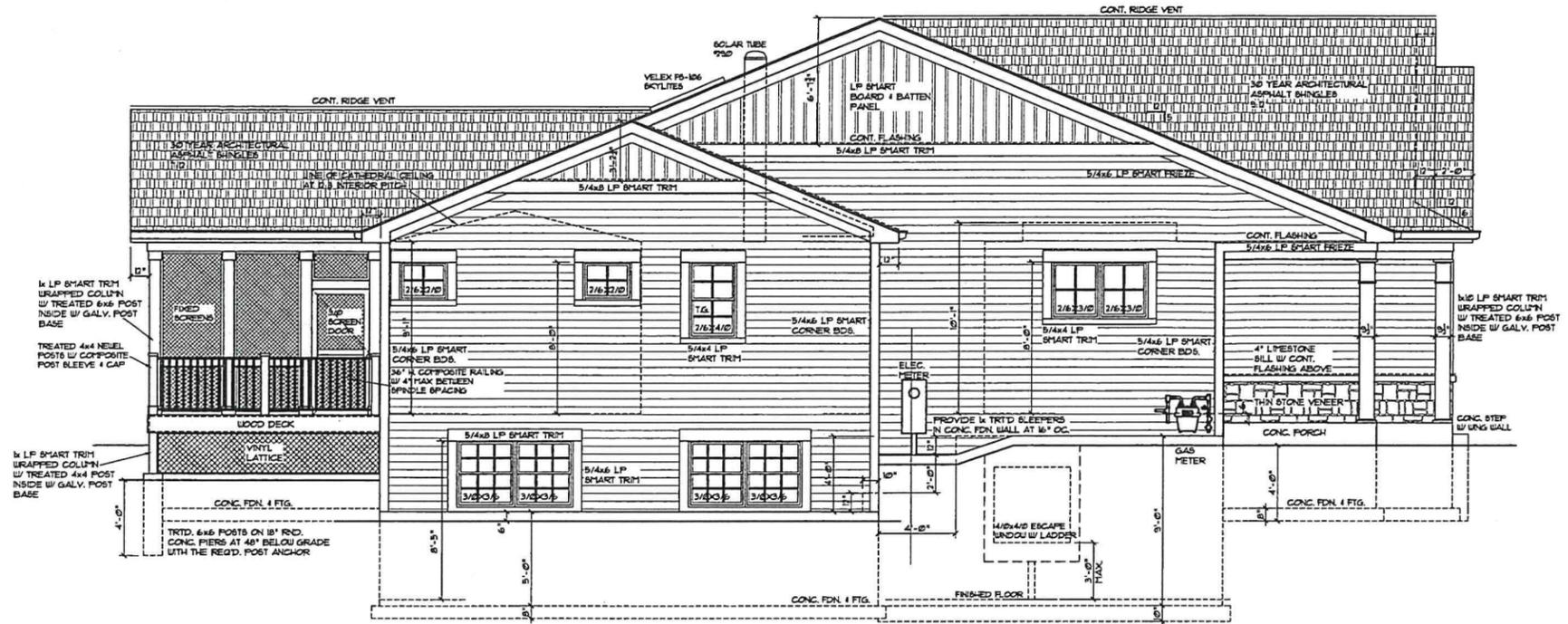
**WIND SHEAR BRACING LEGEND**  
STRUCTURAL WALL PANEL WITH TIE DOWN AND EXTENDED HEADER  
48" OF STRUCTURAL WALL PANEL  
HEADER FROM POST TO CORNER WITH 800 LB STIFFNESS LST 24" STRAP TO RIM JOIST.

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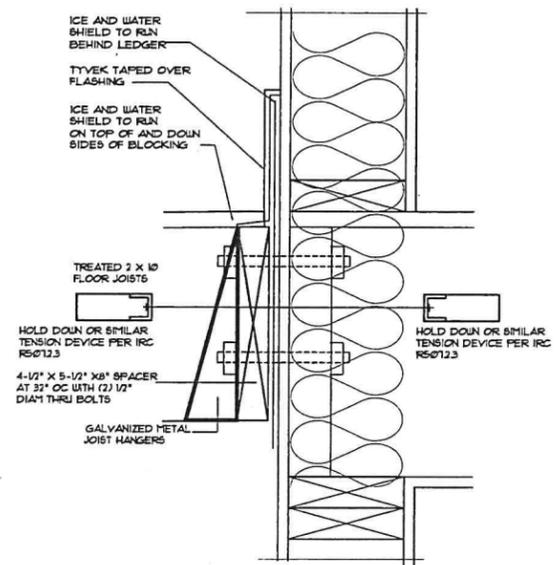
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**A3**



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



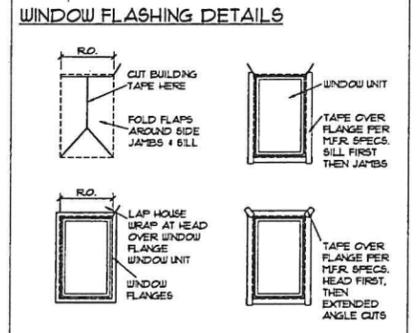
**DECK LEDGER DETAIL**  
SCALE: 3" = 1'-0"

**ROOF SHEATHING**  
ROOF SHEATHING: NOTED APA RATED SHEATHING OVER STRUCTURAL MEMBERS AT NOTED SPACING. PROVIDE PLYWOOD CLIPS AT 24" O.C. UNLESS TONGUE AND GROOVE DECKING OR BLOCKING & PANEL EDGES IS USED.

**SIDING/TRIM**  
ALL EXTERIOR TRIM TO BE LP SMART TRIM. COLOR TO BE SELECTED BY CONTRACTOR. FIELD TOUCH UP ALL EXPOSED UNFINISHED SURFACES.

**RAILING / BALASTERS**  
GRADE IS TO BE WITHIN A MAX. 18" BELOW TOP OF WALKING SURFACE. REFER TO SITE GRADING PLAN FOR ADDITIONAL INFORMATION.

**PREFINISHED GUTTERS**  
4" OR 5" "OGEE" STYLE PREFINISHED ALUMINUM ROLL FORMED SEAMLESS GUTTERS MOUNTED ON FASCIA BOARD. FINAL COLOR TO BE SELECTED BY OWNER.



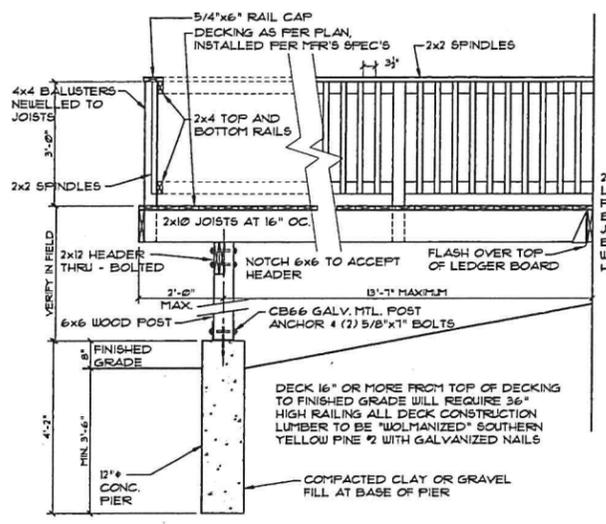
**GUTTER NOTE:**  
DOWNSPOUT LOCATIONS TO BE INSTALLED BY GUTTER CONTRACTOR, PER LOCAL CODES.

**TRIM NOTE:**  
ALL TRIM TO BE LP SMART TRIM. ALL GUTS TO BE PRIMED & CAULKED BY CARPENTER.

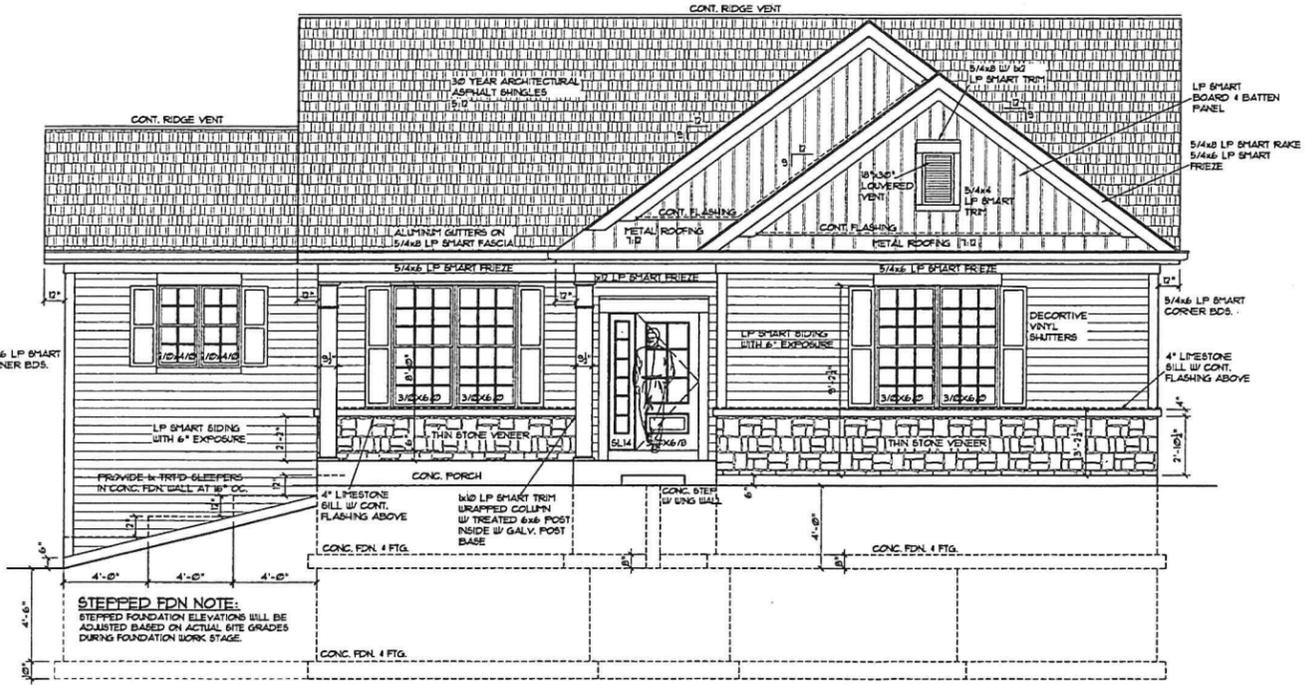
**GLAZING NOTE:**  
ALL GLAZING REQUIREMENTS TO FOLLOW THE WISCONSIN UNIFORM CODE AND FOLLOW MANUFACTURER'S SPECIFICATIONS.

**FLASHING NOTE:**  
PROVIDE FLASHING AT ALL TOP AND SIDES OF WINDOWS, DOORS, SILLS, AND ROOF VALLEYS.

FLASH ALL SILL CORNERS AT MASONRY VENEER OPENINGS



**DECK DETAIL**  
SCALE: 1/2" = 1'-0"

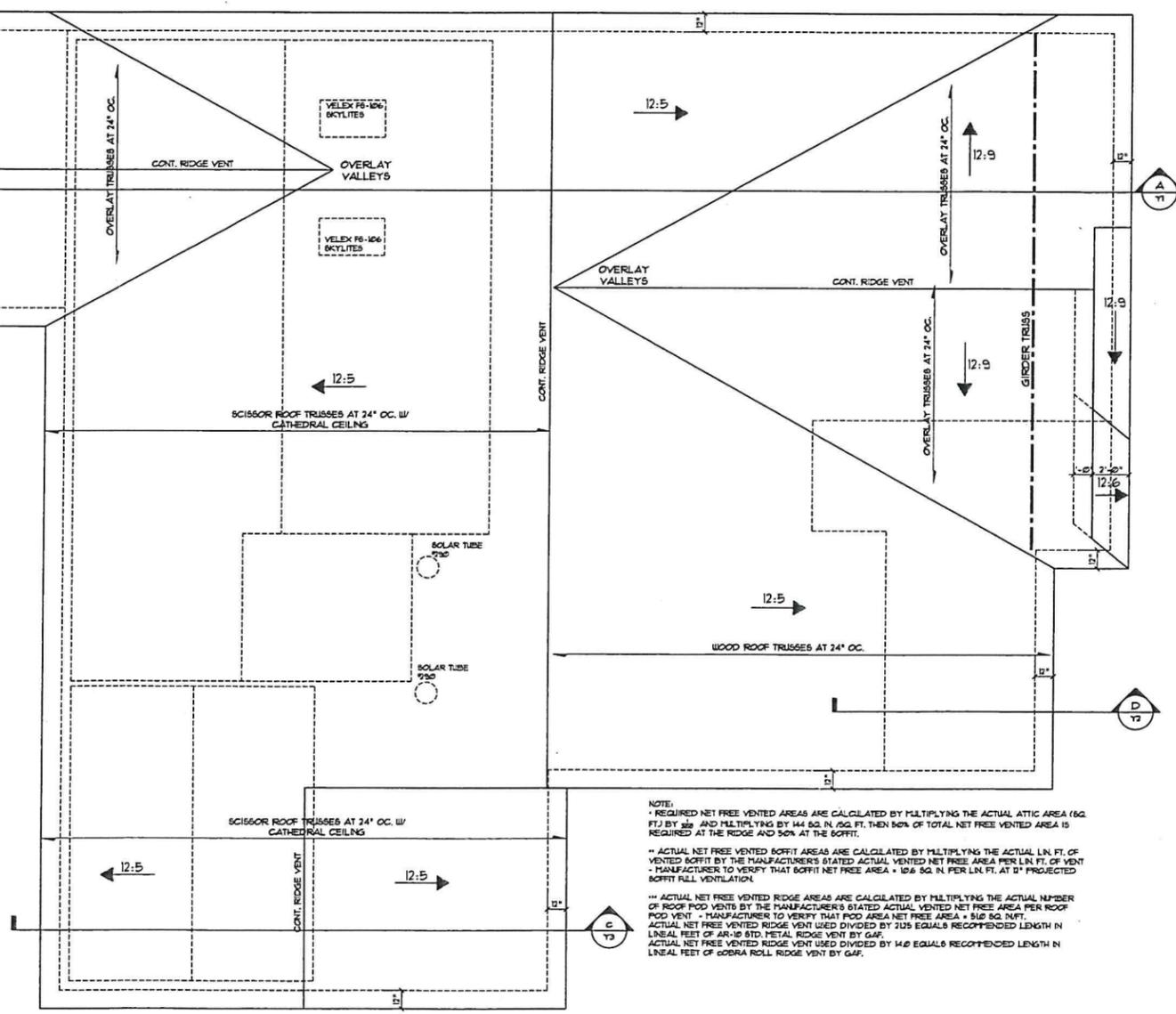


**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



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**ROOF PLAN VIEW W/ FRAMING**  
SCALE: 1/4" = 1'-0"

**PLUMBING NOTES:**

PROVIDE 2" AIR CHAMBERS AT ALL FIXTURES & RISERS, VALVE ALL FIXTURES, EQUIPMENT, & APPLIANCES.  
MINIMUM SUPPLY SIZES AND FLOW RATES:  
DISHWASHER 1/2" LINE 1.0 GPM  
BATH TUBS 1/2" LINE 2.0 GPM  
KITCHEN SINK 1/2" LINE 2.0 GPM  
LAVATORIES 1/2" LINE 1.0 GPM  
SHOWER 1/2" LINE 2.0 GPM  
WATER CLOSETS 1/2" LINE 3.0 GPM  
LAUNDRY TUB 1/2" LINE 3.0 GPM  
HOSE BIBBS 1/2" LINE 5.0 GPM

ALL SUPPLY LINES SHALL BE TYPE 'L' OR TYPE 'K' COPPER, TYPE 'M' COPPER PROHIBITED.  
CELL CORE PVC IS NOT ALLOWED FOR DRAINAGE, WASTE & VENTING PIPING.  
PROVIDE SHUT-OFF VALVE AND CHECK VALVE FOR EJECTOR PUMP DISCHARGE.  
ALL SHOWER OR SHOWER/TUB UNITS MUST HAVE EITHER A THERMOSTATIC OR PRESSURE-BALANCING SAFETY-MIXING VALVES. SET TO DELIVER A MAX OF 115 DEG WATER AT TIME OF INSTALLATION.  
PROVIDE DRIP-VALVE ON THE DISCHARGE SIDE OF WATER METER.  
PROVIDE FULL SIZE CLEAN-OUT WITHIN 5'-0" OF THE BLDG. FOUNDATION.  
PROVIDE A VACUUM BREAK FOR ALL HOSE THREADED OUTLETS.  
THE SANITARY WASTE BELOW THE SEWER MUST DISCHARGE INTO A GAS TIGHT, COVERED AND VENTED SUMP, TOP OF SUMP FIT TO BE MIN 2" ABOVE SLAB.  
DUAL CHECK VALVE REQUIRED ON HOUSE SIDE OF WATER METER  
THERMAL EXPANSION TANK REQUIRED AT ALL WATER HEATERS  
INSTALL A BILL COCK OR OTHER MEANS TO DRAIN WATER HEATER

**WASTE DIAGRAM NOTES:**  
2" 3" 4" DRAINS AND 2" VENTS FOR HORIZONTAL RUNS  
ALL STUBS TO FIXTURES = 2"  
THE PLUMBING INSPECTOR SHALL FIELD VERIFY THE DRAIN, WASTE, VENT, AND WATER DISTRIBUTION SYSTEM SHALL BE PROPERLY SIZED IN ACCORDANCE WITH THE APPROPRIATE TABLES FOUND IN 9300 APPENDIX A.  
ALL FLOOR DRAINS SHALL BE INDIVIDUALLY VENTED, AND ACCESSIBLE AND READILY CLEANED, AND SHALL BE LOCATED SO THAT THEY ARE EASILY VISIBLE.  
ALL EXPOSED HOT WATER PIPING SHALL BE INSULATED FROM THE WATER HEATER TO THE FIXTURES WITH A MINIMUM THERMAL RESISTANCE (R-VALUE) OF R-3 INSULATION.

**WATER SUPPLY FIXTURE UNIT CALCULATIONS**

- (3) LAVATORY = 1 WSFU = 3 WSFU
- (3) TOILETS = 3 WSFU = 9 WSFU
- (1) KITCHEN SINK BASIN = 2 WSFU = 2 WSFU
- (2) SHOWER OR TUB = 2 WSFU = 4 WSFU
- (1) DISHWASHER = 1 WSFU = 1 WSFU
- (1) LT. SINK BASIN = 3 WSFU = 3 WSFU
- (1) WASHING MACHINE = 2 WSFU = 2 WSFU
- 24 WSFU = 1" SERVICE

**ROOFER NOTE:**

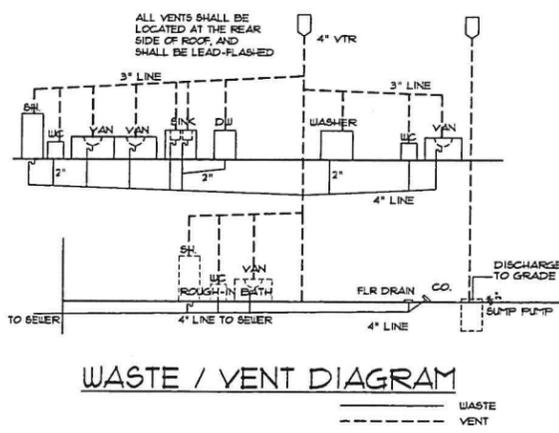
HOUSEWRAP ON WALLS MUST LAP OVER TOP OF CONCEALED FLASHING & ICE BARRIERS. THEREFORE, AT ALL ROOF/WALL CONVERGENCES, IT IS THE ROOFER'S RESPONSIBILITY TO CUT (IF NECESSARY) AND REFASTEN HOUSEWRAP ON WALLS SUCH THAT REQUIRED ICE BARRIERS FOR CONCEALED FLASHING CAN BE INSTALLED PROPERLY AGAINST WALL SHEATHING, AND LAP THE HOUSEWRAP OVER IN A "SHINGLE STYLE" EFFECT. IT IS ALSO THE ROOFER'S RESPONSIBILITY TO REPAIR HOUSEWRAP THAT WAS TORN OR CUT DURING INSTALLATION OF ROOFING MATERIALS, AND TO REFASTEN IT TO THE WALL SHEATHING. TAPE USED AT SEAMS MUST BE APPROVED FOR THAT HOUSEWRAP BY ITS MANUFACTURER.

**ICE BARRIER:**

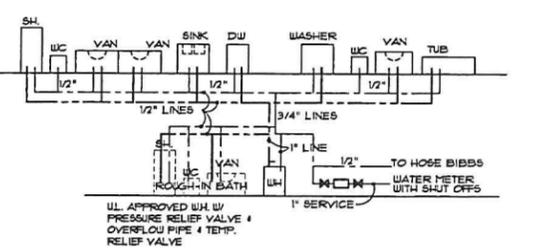
AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL BE USED IN LEAD OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ICE BARRIERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS NOT ONLY FROM THE LOWEST EDGES, BUT ALSO TO 24" OF EITHER SIDE OF ALL VALLEYS AND PITCH CHANGES OVER ENTIRE SURFACE OF ALL ROOFS PITCHED LESS THAN 4:12, AND OVER ALL BADDLES & CRACKS REGARDLESS OF PITCH. WHERE ROOF SURFACES RUN ADJACENT TO WALLS, ICE BARRIER MUST BE EXTENDED TO RUN CONTINUOUSLY FROM ROOF FACE UP WALL SHEATHING A MINIMUM OF 6" UNLESS NOTED OTHERWISE.

**ATTIC VENTILATION:**

WHEN DETERMINED BY THE BUILDING OFFICIAL DUE TO ATMOSPHERIC OR CLIMATIC CONDITIONS, ENCLOSED ATTICS AND RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1% OF THE AREA OF THE SPACE VENTILATED. EXCEPT THAT THE AREA MAY BE 1% TO 300% PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 34" ABOVE EAVE OR CORNICE VENTS. THE NET FREE CROSS-VENTILATING AREA MAY NOT BE LESS THAN 1% TO 300% OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERH1 IS INSTALLED ON THE WARM SIDE OF THE CEILING.



**WASTE / VENT DIAGRAM**



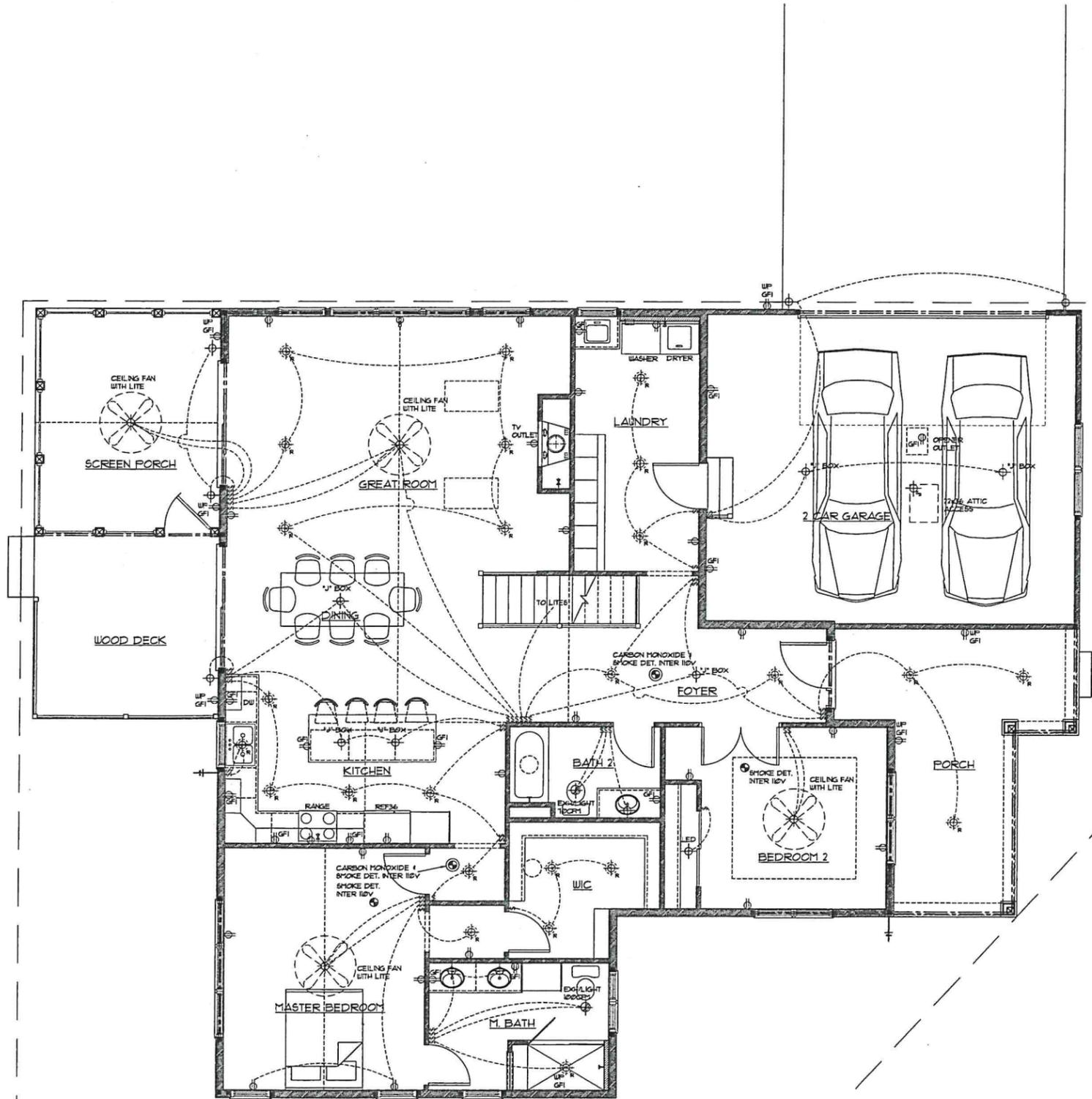
**WATER SUPPLY DIAGRAM**

**ELECTRIC NOTE:**  
FIELD VERIFY 1% OF LUMINAIRES ARE ENERGY EFFICIENCY TYPE.  
FIELD VERIFY A COMPLETED PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL PANEL BY THE BUILDER.  
LOCAL INSPECTOR SHALL FIELD VERIFY ALL RECESSED LIGHTING INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE IC-RATED AND SEALED.  
ALL RECEPTACLE OUTLETS SHALL BE TAMPER RESISTANT.  
THE GARAGE DOOR OPENER, GARAGE LIGHTS, AND GARAGE RECEPTACLES SHALL BE ON SEPARATE CIRCUITS.  
PROVIDE DOUBLE GROUND ROD SPACED A MINIMUM OF 6'-0" APART.  
PROVIDE INTERSYSTEM BONDING PROVISIONS AT THE ELECTRICAL SERVICE.  
A MINIMUM OF (3) 20 AMP APPLIANCE RECEPTACLES ARE REQUIRED AT THE KITCHEN COUNTERS.

**CO & SMOKE DETECTOR NOTE:**  
ONE APPROVED CARBON MONOXIDE ALARM IN AN OPERATING CONDITION WITHIN 15 FEET OF EVERY ROOM USED FOR SLEEPING PURPOSES. THE CARBON MONOXIDE ALARM MAY BE COMBINED WITH SMOKE DETECTING DEVICES PROVIDED THAT THE COMBINED UNIT COMPLIES WITH THE RESPECTIVE PROVISIONS OF THE ADMINISTRATIVE CODE, REFERENCE STANDARDS, AND DEPARTMENTAL RULES RELATING TO BOTH SMOKE DETECTING DEVICES AND CARBON MONOXIDE ALARMS AND PROVIDED THAT THE COMBINED UNIT EMITS AN ALARM IN A MANNER THAT CLEARLY DIFFERENTIATES THE HAZARD. DETECTOR SHALL BE EITHER BATTERY POWERED, PLUG-IN WITH BATTERY BACK-UP, OR WIRED INTO THE STRUCTURE'S AC POWER LINE WITH SECONDARY BATTERY BACK-UP.  
SMOKE DETECTORS IN ALL BEDROOMS SHALL BE ARC-FAULT RECEPTACLES.  
CARBON MONOXIDE & SMOKE DETECTOR \* CO  
SMOKE DETECTOR \* S.D.  
ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED 120V WITH BATTERY BACK-UPS.

**ARC-FAULT NOTE:**  
ALL 120 VOLT, SINGLE PHASE, 15 AMP, AND 20 AMP ELECTRICAL RECEPTACLES, LIGHTING OUTLETS, AND SMOKE DETECTORS IN ALL ROOMS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

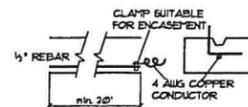
- ELECTRICAL KEY**
- DUPLEX CONVENIENCE OUTLET
  - WEATHERPROOF DUPLEX OUTLET
  - GROUND FAULT INTERRUPTER DUPLEX OUTLET
  - 20A 200V OUTLET
  - WALL SWITCH
  - CEILING MTD FIXTURE
  - WALL MTD INCANDESCENT FIXTURE
  - RECESSED INCANDESCENT FIXTURE
  - FLUORESCENT LIGHT FIXTURE
  - EXHAUST FAN
  - EXHAUST FAN LIGHT COMBINATION
  - ELECTRIC DOOR OPERATOR
  - SMOKE DET. INTER 120V
  - CARBON MONOXIDE & SMOKE DET. INTER 120V
  - CEILING FAN



**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

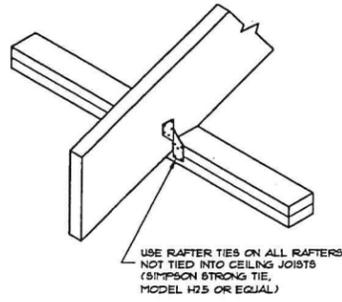
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**CONC. ENCASED  
ELECTRODE DETAIL**

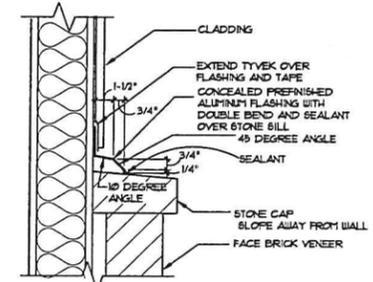
SCALE: 1/2" = 1'-0"



**DETAIL - RAFTER TIE**

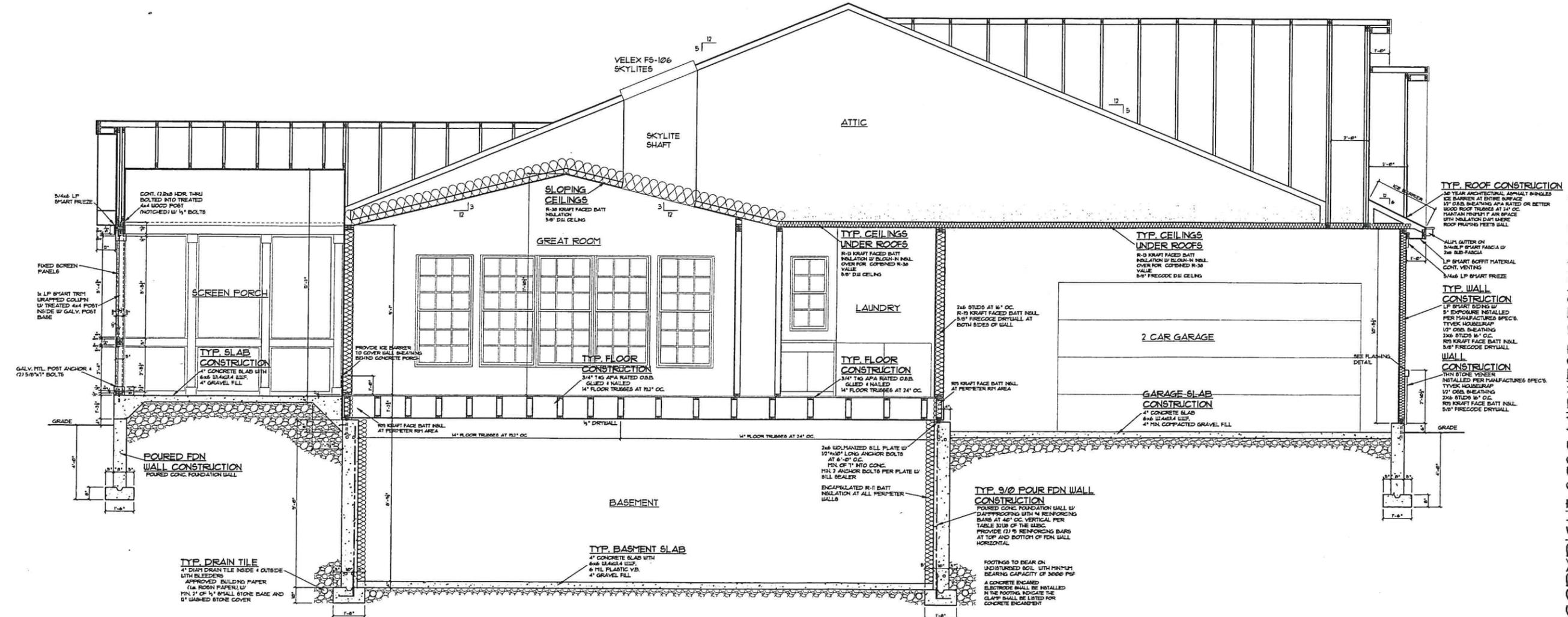
SCALE: 1/2" = 1'-0"

NOTE:  
RAFTER TIES TO BE INSTALLED AT  
ALL TRUSSES



**FLASHING DETAIL  
OVER STONE CAP**

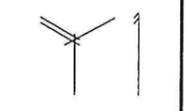
SCALE: 2" = 1'-0"



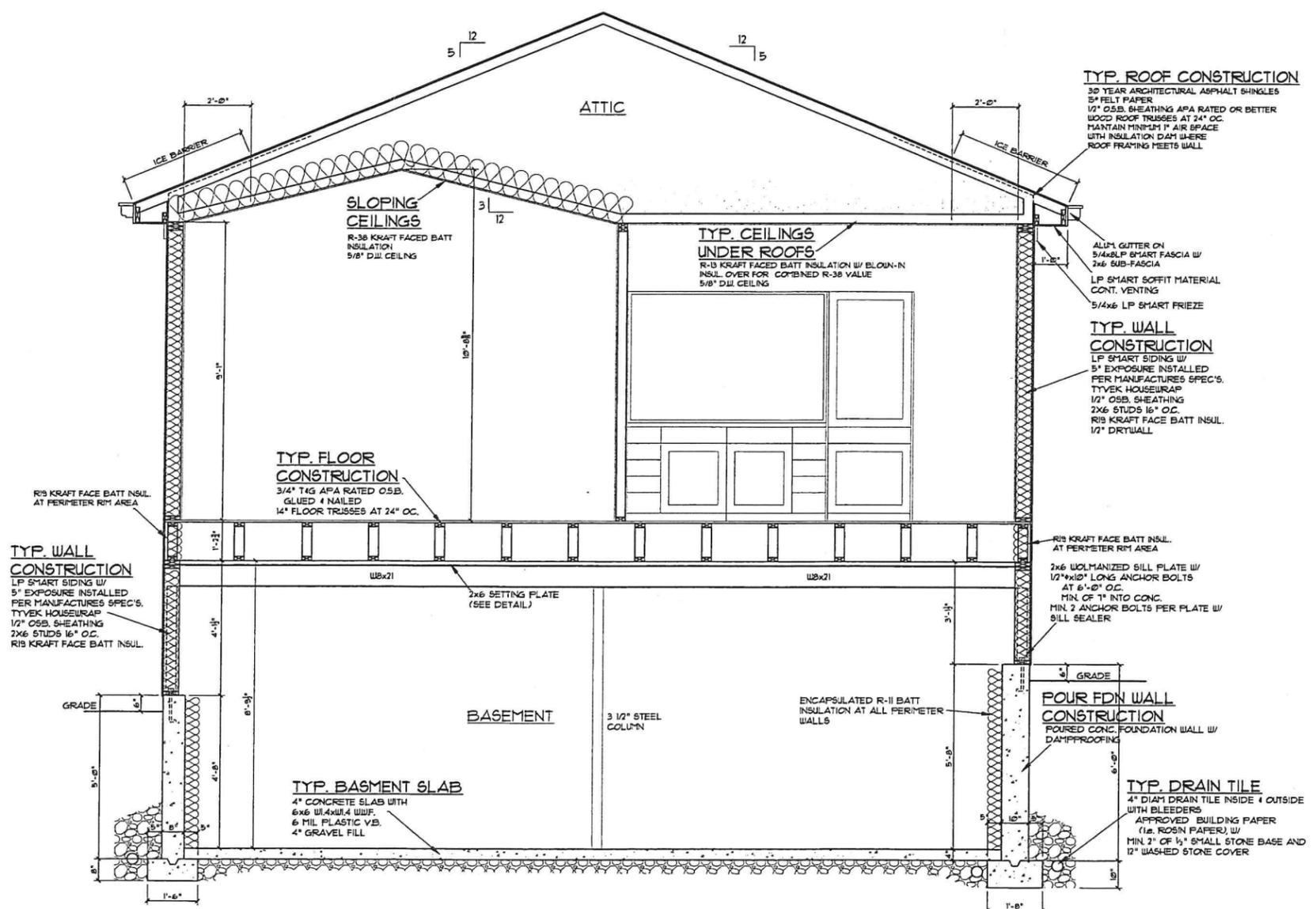
**BUILDING CROSS SECTION "A"**  
SCALE: 3/8" = 1'-0"

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**BUILDING CROSS SECTION "C"**  
 SCALE: 1/2" = 1'-0"

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2

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION AND IN A PROFESSIONAL MANNER...

THE SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY THE SUPERINTENDENT AT ONCE OF ANY DISCREPANCIES PRIOR TO CONTINUING WORK...

DO NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY THE ARCHITECT IF QUESTIONS ARISE. LOCATIONS AND ROUTING FOR ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK ARE TO BE COORDINATED BETWEEN TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT...

ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH SUB-CONTRACTOR. EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. AS REQUIRED TO COMPLETE THEIR WORK.

EACH CONTRACTOR IS TO CLEAN CONSTRUCTION DEBRIS THROUGHOUT THE BUILDING SITE THAT HAS BEEN GENERATED BY THEIR SCOPE OF WORK. SUB-CONTRACTORS SHALL ATEND AND MAKE GOOD AT THEIR OWN EXPENSE ANY DEFECTS OR FAILURES...

THE ARCHITECT IS NOT SUPERVISING THE CONSTRUCTION OF THIS BUILDING. THE USE OF THESE DRAWINGS BY ANY CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN, OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING USER AND THE ARCHITECT...

BUILDING OWNER OR OWNER'S REPRESENTATIVE TO REVIEW, COORDINATE AND APPROVE ALL WINDOW AND DOOR MANUFACTURERS, LOCATIONS, SIZES, AND FINISHES WITH CONTRACTOR'S PRIOR TO ORDERING MATERIALS OR START OF CONSTRUCTION.

DO NOT DRIP LOCATIONS TO BE INSTALLED BY GUTTER CONTRACTOR, PER LOCAL CODES. DO NOT DRAIN DOWNS/POUTS INTO SEWER OR STORM DRAINS. SIDING, PAINT, AND ROOFING COLORS TO BE SELECTED BY THE CONTRACTOR. COORDINATE WITH OWNER PRIOR TO CONSTRUCTION.

ALL STRUCTURE TO REMAIN NEEDS TO BE PROPERLY BRACED PRIOR TO AND DURING DEMOLITION.

EXCAVATION & FOUNDATION NOTES

CLEAR SITE AS REQUIRED OF ALL EXISTING GROWTH AND VEGETATION, REMOVING ALL DEBRIS FROM SITE. STOCKPILE TOP SOIL ON SITE.

FINAL GRADE ENTIRE SITE WITH TOP SOIL FROM STOCKPILE. PROVIDE ADDITIONAL TOP SOIL AND FILL IF REQUIRED BY SITE ENGINEERING PLAN TO REACH FINISH GRADES.

ALL CONCRETE WORK SHALL COMPLY WITH CURRENT BUILDING CODES FOR REINFORCED CONCRETE CONSTRUCTION.

THE CONCRETE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR PRIOR TO FORMWORK TO ENSURE PROPER LOCATIONS OF BUEVES AS REQUIRED FOR OTHER TRADES.

EXCAVATE TO DESIGN ELEVATIONS AS REQUIRED TO INSTALL NEW FOUNDATION. EXCAVATED AREAS TO REMAIN OPEN UNTIL INSPECTED. FOUNDATIONS TO BEAR ON UNDISTURBED SOIL OR APPROVED FILL HAVING A SAFE SOIL BEARING CAPACITY OF 2500 PSF.

IF REQUIRED, COMPACTED FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 9" IN THICKNESS AND SHALL BE OF AN APPROVED MATERIAL COMPACTED TO A MINIMUM OF 95% DRY DENSITY IN ACCORDANCE WITH ASTM D698.

GRADE CONDITIONS MAY VARY FROM THAT SHOWN CONTRACTOR TO VERIFY FOOTING DEPTHS WITH LOCAL Frost AND/OR EXISTING SOIL CONDITIONS, WHOEVER IS MORE RESTRICTIVE.

CONCRETE SHALL ACHIEVE 3000 PSI STRENGTH AT 28 DAYS. CONCRETE CONTRACTOR SHALL PROVIDE (3) TEST CYLINDERS FOR CONCRETE AND FOOTING POURS. CYLINDERS TO BE TESTED BY AN APPROVED TESTING AGENCY AT 7, 14, AND 28 DAYS. PROVIDE RESULTS TO ARCHITECT FOR REVIEW.

THE CONCRETE CONTRACTOR SHALL INSTALL FOUNDATION REINFORCING, ANCHOR BOLTS, ETC. AS SPECIFIED IN THE DRAWINGS AND AS REQUIRED DUE TO THE PROGRESS OF THE WORK.

POUR ALL FOUNDATION WALLS MONOLITHICALLY OR PROVIDE ADEQUATE JOINT CONNECTION AND WATER STOP.

PROVIDE (2) 5" BARS AT TOP AND BOTTOM OF FOUNDATION WALLS OR AS SHOWN IN THE DRAWINGS. PROVIDE (3) 5" CORNER BARS AT EACH CORNER (24" LEGS).

THE CONCRETE CONTRACTOR SHALL INSTALL FLUID APPLIED ASPHALTIC DAMP-PROOFING AT ALL BASEMENT WALLS.

DURING CONSTRUCTION ALL EXPOSED VERTICAL RE-BAR SHALL HAVE END PROTECTORS. PROVIDE PRESSURE PRESERVATIVE TREATED WOOD NAILEDERS (USERS SHOWN IN ELEVATION TO FACILITATE SIDING INSTALLATION) TO EXTEND FROM THE TOP OF THE FOUNDATION WALL DOWN TO THE DEPTH INDICATED ON THE CORRESPONDING EXTERIOR ELEVATION. CONTRACTOR TO VERIFY SIZE & SPACING OF NAILEDERS W/ OWNER PRIOR TO CONSTRUCTION.

EXCAVATING CONTRACTOR TO HAND DIG THE MATERIAL NEXT TO THE EXISTING FDN WALL AND FOOTING, TAKE CARE NOT TO DISTURB THE BARS FOR EXISTING FOOTINGS.

BACKFILLING NOTE: CONTRACTOR SHALL NOT BACKFILL UNTIL THE SLAB HAS BEEN POURED AND FLOOR DECK IS PLACED WITH SUBFLOOR AND JOISTS BOLTED TO THE FOUNDATION WALL. BACKFILLING SHALL BE COMPLETED AFTER ALL FOUNDATION WALLS HAVE BEEN ADEQUATELY BRACED PER SITE AND SOIL CONDITIONS.

PROVIDE A SOIL TEST TO THE BUILDING INSPECTOR PRIOR TO POURING ANY CONCRETE. THE SOILS REPORT SHALL BE CONDUCTED BY AN APPROVED AGENCY AND APPROVED METHODS.

ROOF FRAMING

COLLAR TIEB: MINIMUM SIZE: 1x6 OR 2x4 MAXIMUM SPACING: 48" OC. WHEN CEILING JOISTS DO NOT BEHAVE AS A TIE AT PLATE LINE OR ARE NOT BELOW THE LOWER THIRD OF RAFTERS, INSTALL CEILING JOISTS OR COLLAR BEAMS 1/2 SAME SIZE AS RAFTERS ON EACH PAIR OF RAFTERS, AND USE 6" SPACING, OR EQUAL, METAL ANGLE BRACKETS TO CONNECT RAFTER TO TOP PLATE.

RIDGE RAFTERS: A 2" INCH MEMBER WITH DEPTH NOT LESS THEN THE CUT END OF RAFTER. VALLEY RAFTERS: A MINIMUM THICKNESS: 2 INCHES, MINIMUM DEPTH: NOT LESS THEN CUT END OF JACK RAFTERS.

MAY BE OMITTED WHEN JACK RAFTERS ON ONE ROOF FRAME OR SOLE PLATE ON TOP OF ROOF SHEATHING OF ADJOINING ROOF. CRACKS OR CHIPPED SADDLES AT UPPER SIDE OF ALL CHIMNEYS NOT IN CONTACT WITH RIDGE.

STAIRS

MAXIMUM RISER HEIGHT: 7-3/4". MINIMUM TREAD: 10". FOR UNDER THE TREAD SIZE SHALL BE 10" MEASURED AT 90 DEGREE FROM STAIR CONVERGENCE WITH A 6" MINIMUM TREAD SITE AT INSIDE STRINGER. GUARDRAILS TO BE PROVIDED AT THE PASSAGE OF A 4" DIAMETER SPHERE. BALUSTERS SPACED TO PREVENT THE PASSAGE OF A 4" DIAMETER SPHERE. STAIR CONSTRUCTION TO MEET ALL APPLICABLE CODE REQUIREMENTS.

FIRE SUPPRESSION SYSTEM NOTE (IF REQ'D):

ALL NEWLY CONSTRUCTED SINGLE FAMILY AND TWO FAMILY DWELLING UNITS SHALL INSTALL, AND MAINTAIN FULLY FUNCTIONAL AUTOMATIC FIRE SUPPRESSION SYSTEMS IN COMPLIANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD (NFPA).

MAKE-UP WATER SUPPLY PIPE FEEDING THE FIRE STORAGE TANK SHALL HAVE A FIXED AIR GAP OR AN APPROVED TESTABLE DOUBLE CHECK VALVE INSTALLED IN-LINE AND SHALL BE LOCATED NO MORE THAN 3'-0" ABOVE THE FLOOR. THE DOUBLE CHECK VALVE BACKFLOW PREVENTED (DCV) ASSEMBLY SHALL BE TESTED AND APPROVED BY A CROSS CONNECTION CONTROL DEVICE INSPECTOR (CCDCI) BEFORE INITIAL OPERATION AND AT LEAST ANNUALLY THEREAFTER.

LOCAL AUTHORITY SHALL VERIFY PERMITS/INSURANCE SUBMITTED FOR SEPARATE REVIEW.

CARPENTRY NOTES

ALL 6" STRIPS GRADE FRAMING LUMBER SHALL CONFORM WITH RECOMMENDATIONS SET FORTH IN THE LATEST EDITION OF THE "NATIONAL BASE VALUES FOR DIMENSION LUMBER". WOOD TO BE 1/2 OR BETTER 1/4" FIBER OF DOMESTIC ORIGIN. Fb = 2800 E = 1,200,000 PSI.

ENGINEERED WOOD PRODUCTS HAVE BEEN SPECIFIED BASED UPON "GEORGIA PACIFIC ENGINEERED LUMBER" MICROLAM'S Fb = 2800 PSI E = 1,000,000 PSI PARALLAM'S Fb = 2,850 PSI E = 2,000,000 PSI.

DESIGN LOADS ARE AS FOLLOWS: ROOF TRUSSES: 30 PSF TOP CHORD LL, 15 PSF TOP CHORD D.L., 40 PSF BOT. CHORD LL (+ ATTIC FLOOR), 20 PSF BOT. CHORD LL (TYP. NON-ACCESS), 1 PSF BOT. CHORD D.L.

FLOOR TRUSSES: 40 PSF LIVE LOAD, 10 PSF DEAD LOAD.

WOOD GILL PLATES SHALL BE PRESURE PRESERVATIVE CCA TREATED. ALL STRUCTURAL HEADERS ARE TO BE (2) 2X12'S WITH A 1/2" PLYWOOD BRACER UNLESS SHOWN OTHERWISE IN DRAWINGS.

PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS AND PROVIDE SOLID BLOCKING UNDER ALL PARTITIONS PERPENDICULAR TO JOISTS.

PROVIDE DOUBLE JOISTS UNDER WATER HEATERS, WASHING MACHINE, DRYER, EDGE OF BATH TUBS, AND ALL STATUARY APPLIANCES.

USE METAL CONNECTORS FOR CONNECTING FLUSH JOISTS TO HEADERS, 6" SPACING OR APPROVED EQUAL. FIRE-STOP ALL FURRS, PARTITIONS, AND STUD WALLS AT BOTH FLOOR AND CEILING OF EACH FLOOR LEVEL AND AT JUNCTURE OF ROOF RAFTERS AND WALL.

INSTALL METAL BOFFIT VENTS AND ROOF VENTS AS SHOWN ON THE DRAWINGS. ALL CLOSETS MARKED LINEN AND PANTRY TO HAVE FIVE SHELVES - ENTRY, WARDROBE, AND WALK-IN CLOSETS TO HAVE ONE HANGER BAR AND ONE SHELF.

INSTALL 1/2" APA RATED PLYWOOD SHEATHING AT CORNERS OF ALL EXTERIOR WALLS. ALL CONCEALED FLASHING SHALL BE 26 GAUGE GALVANIZED SHEET METAL.

INSULATE AND COVER WITH 1/2" EXT. GRADE PLYWOOD ANY CANTILEVERED FLOOR JOISTS. PROVIDE ROUGH-IN OPENING FOR 1/4" X 1/4" MEDICINE CABINET. BOTTOM OF CABINET SHALL BE 52" AFF (TYPICAL IN FULL BATHS + MASTER BATHS).

PROVIDE 3'-1" CLEAR FOR ALL STAIR CONSTRUCTION. ALL CEDAR TO BE USED FOR EXTERIOR TRIM SHALL BE FACTORY PRE-PRIME. OTHERWISE, PRE-PRIME ALL CEDAR TRIM. ALL CUTS TO BE PRIME & CALKED BY CARPENTER.

GABLE END TRUSSES ARE TO BE SHEATHED IN 1/2" SHEATHING BY MANUFACTURER. SEE DRAWINGS FOR SPECIFIC FIRE-RATED REQUIREMENTS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE TRUSS TO SUBMIT CALCULATIONS AND LOADS TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION.

ICE BARRIER NOTE: AN ICE BARRIER THAT CONSISTS OF A LEAST TWO LAYERS OF UNDERLAYMENT CEINTEG TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND TO REINFORCE EXISTING UNDERLAYMENT. ICE BARRIERS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS NOT ONLY FROM THE LOWER EDGES, BUT ALSO TO 24" OF EITHER SIDE OF ALL VALLEYS AND PITCH CHANGES, OVER ENTIRE SURFACE OF ALL ROOFS WITH PITCHES LESS THAN 4:12, AND OVER ALL SADDLES & CRACKS REGARDLESS OF PITCH, WHERE ROOF SURFACES RUN ADJACENT TO WALLS. ICE BARRIER MUST BE EXTENDED TO RUN CONTINUOUSLY FROM ROOF SURFACE UP WALL SHEATHING A MINIMUM OF 6" UNLESS NOTED OTHERWISE.

PROVIDE CONCEALED METAL FLASHING AT ALL ROOF-TO-WALL JUNCTIONS. ALL CONCEALED FLASHING TO BE 26 GAUGE GALVANIZED STEEL, MINIMUM. EXTERIOR FLASHING TO BE CORRECTLY INSTALLED AT ALL CONJUNCTIONS BETWEEN ROOFS, WALLS, FIREPLACES AND PROJECTIONS, OR AS REQUIRED BY GOOD AND COMMON CONSTRUCTION PRACTICES.

ROOFER NOTE: HOUSEWRAP ON WALLS MUST LAP OVER TOP OF CONCEALED FLASHING & ICE BARRIERS. THEREFORE, AT ALL ROOF/WALL CONJUNCTIONS, IT IS THE ROOFER'S RESPONSIBILITY TO CUT (IF NECESSARY) AND UNFASTEN HOUSEWRAP ON WALLS SUCH THAT REQUIRED ICE BARRIERS &/OR CONCEALED FLASHING CAN BE INSTALLED PROPERLY AGAINST WALL SHEATHING, AND LAP THE HOUSEWRAP OVER IN A "SHINGLE STYLE" EFFECT. IT IS ALSO THE ROOFER'S RESPONSIBILITY TO MAKE SURE THAT USE TORN OR CUT DURING INSTALLATION OF ROOFING MATERIALS, AND TO REFASTEN IT TO THE WALL SHEATHING. TAPE USED AT SEAMS MUST BE APPROVED FOR THAT HOUSEWRAP BY ITS MANUFACTURER.

ALL EXTERIOR PERIMETER CALLING SHALL BE WATER AND WEATHER TIGHT. ELASTIC CALLING COMPOUND SHALL BE NON-STAINING ACRYLIC OR BUTYL TYPE. COLOR SHALL MATCH ADJACENT SURFACES. INSTALL EXTERIOR WALL VAPOR BARRIER/HOUSEWRAP OVER EXTERIOR SHEATHING, TAPE ALL SEAMS USING MANUFACTURER APPROVED PRODUCTS.

PROVIDE ASPHALTIC DAMP-PROOFING AS INDICATED IN CONCRETE NOTES. PROVIDE MINIMUM 6 MIL POLYETHYLENE VAPOR BARRIER BELOW CONCRETE SLABS IN AREAS INDICATED IN THE DRAWINGS. LOCATE ABOVE REINFORCING AND SEAL ALL JOINTS PER MANUFACTURER'S RECOMMENDATIONS. TAKE CARE DURING CONCRETE PLACEMENT TO PREVENT FRACTURING THE VAPOR BARRIER.

PROVIDE FLASHING AT ALL TOP AND SIDES OF WINDOWS, DOORS, SILLS, AND ROOF VALLEYS. FLASH ALL GILL COPINGS AT HANGAR VEEBEN OPENINGS.

ROOF TRUSS SYSTEM NOTE: IT IS THE RESPONSIBILITY OF THE "TRUSS DESIGNER" TO DESIGN AND DETAIL THE ROOF TRUSS SYSTEM. THE ROOF TRUSS SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO A COMPLETE ROOF PLAN INDICATING ALL TRUSS SIZES, LOCATIONS, CONNECTIONS, IMPOSED LOADS, AND BEARING REQUIREMENTS. THE ROOF TRUSS SYSTEM SHALL BE DESIGNED TO ACCOMMODATE ALL LIVE, DEAD, SNOW WIND, AND UPLIFT LOADS AS REQUIRED BY ALL APPLICABLE AUTHORITIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR DETERMINING THE ROOF TRUSS SYSTEM REQUIREMENTS. THE ROOF TRUSS SYSTEM SHALL CONFORM TO THE DESIGN INTENT OF THE CONSTRUCTION DOCUMENTS PREPARED BY THE ARCHITECT. IF MODIFICATIONS TO THESE CONSTRUCTION DOCUMENTS ARE REQUIRED DUE TO THE ROOF TRUSS SYSTEM, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

IF TRUSSES ARE REQUIRED TO BE STORED PRIOR TO ERECTION, THEY SHALL BE STORED IN VERTICAL POSITIONS AND PROTECTED FROM THE WEATHER IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

IT WILL BE THE RESPONSIBILITY OF THE MANUFACTURER TO NOTE ANY STICK FRAMING AREA'S OF THE ROOF IF REQUIRED. THIS IS TO BE REFLECTED BY THEIR QUOTE.

CONTRACTOR RETAINS THE RIGHT TO LOCATE AND OR RELOCATE ANY MECHANICAL SYSTEMS AND INDIVIDUAL COMPONENTS OF SUCH SYSTEMS IN ACCORDANCE WITH ACCEPTABLE STANDARDS OF THE APPLICABLE BUILDING TRADES AS TO THE SAFETY AND EFFICIENCY OF OPERATION AS DETERMINED BY CONTRACTOR.

LOCATION OF MECHANICAL EQUIPMENT IS TO BE VERIFIED IN FIELD BASED UPON LAYOUT AND EQUIPMENT REQUIREMENTS. VERIFY EXACT LOCATIONS WITH BUILDER PRIOR TO INSTALLATION.

THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. NOTIFY SUPERINTENDENT AND ARCHITECT IF DISCREPANCIES ARE FOUND. DO NOT PROCEED WITH THE WORK UNTIL ALL DISCREPANCIES ARE CORRECTED.

PENETRATIONS BETWEEN STORES AND THE ROOF SHALL BE FIRE STOPPED AS WELL AS BOFFITS, DROPPED CEILING, ETC. PER ALL APPLICABLE CODE REQUIREMENTS.

FIELD VERIFY ALL JOISTS, PENETRATIONS, DOORS, AND WINDOWS ARE CALKED, GASKETED WEATHER STRIPPED, OR OTHERWISE SEALED TO ASSIST IN THE DOOR BLOWER DEPRESSURIZATION PASSAGE.

LUMBER: 6" STRIPS GRADE LUMBER SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, APPLIANCES AND TUBS, AND SOLID BLOCKING UNDER PERPENDICULAR PARTITIONS. ALL FLOOR TRUSS SYSTEMS TO BE DESIGNED BY MANUFACTURER.

FIREPLACE NOTES: FIREPLACE BUILDER SHALL PROVIDE ALL COMPONENTS NECESSARY FOR A COMPLETE INSTALLATION INCLUDING FIREBOX, FLUE, OFFSETS, FLOOR/Ceilings FIRE-STOPPS, FLUE SPAK ARRESTORS, AND CHIMNEY SUPPORTS. PROVIDE NON-COMBUSTIBLE HEARTH 20" DEEP. HEARTH SHALL EXTEND 2" PAST EACH SIDE OF OPENING. VERIFY IN THE FIELD BY THE LOCAL INSPECTOR THAT THE MANUFACTURER'S INSTALLATION MANUALS FOR THE PRE-FABRICATED FIREPLACES WILL BE ON SITE AND AVAILABLE FOR REVIEW BY THE INSPECTOR AT THE TIME OF THE INSPECTION.

DOOR & WINDOW NOTES

SEE CARPENTRY NOTES FOR WINDOW MANUFACTURER'S. ALL GLAZING MUST MEET OR EXCEED ALL APPLICABLE CODE REQUIREMENTS. EXTERIOR ENTRANCE DOORS ARE TO BE PRE-FINISH WITH STANDARD WOOD FRAME. MANUFACTURER TO PROVIDE 1/2" HIGH ALUMINUM THRESHOLD AND WEATHERSTRIPPING. LOCK SETS AND LATCH SETS TO BE COORDINATED BY THE GENERAL CONTRACTOR. MATCH DOOR DESIGN SHOWN ON ELEVATION OR AS SELECTED BY THE OWNER.

INTERIOR DOORS TO BE SELECTED BY THE OWNER. BI-FOLD DOORS SHALL BE HOLLOW CORE TO MATCH PASSAGE DOORS.

WINDOW DESIGNATION BASED ON GENERIC WINDOWS AND WILL INCLUDE SCREENS, AND ALL THE NECESSARY HARDWARE FOR OPERATION. GENERAL CONTRACTOR TO MAKE FINAL DETERMINATION OF WINDOW MANUFACTURER. SEE PLANS FOR WINDOW HEAD HEIGHTS.

INSTALL TAPERED WALLBOARD WITH METAL CORNER BEADS. MACHINE TAPE ALL JOINTS. WALLBOARD SHALL BE ATTACHED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. PATCH ALL CORED HEADS AND LEAVE SURFACE FREE OF DEFECTS. USE FIRE-CODE WALLBOARD WHERE REQUIRED FOR FIRE-RATINGS AND PROVIDE WATER RESISTANT WALLBOARD AT ALL SET AREAS.

PROVIDE UNDERLAYMENT AT "HARD SURFACE" FLOOR FINISH AREAS. UNDERLAYMENT VARIES WITH FINISH. VERIFY WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION. CERAMIC TILE FLOORS, WALLS AND BASE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND IN ACCORDANCE WITH THE CERAMIC TILE ASSOCIATION'S RECOMMENDATION FOR EACH USE.

INTERIOR WALLS TO HAVE PRIME COAT PLUS ONE TOP COAT OF FLAT LATEX PAINT. INTERIOR DOORS, WINDOW, AND TRIM TO BE PAINTED, STAINED, OR SEALED AS SELECTED BY THE OWNER. ALL INTERIOR FINISHES TO BE SELECTED BY THE OWNER PRIOR TO CONSTRUCTION.

ELECTRICAL NOTES: THE ELECTRICAL CONTRACTOR(S) SHALL INCLUDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, ETC. FOR THE INSTALLATION OF A COMPLETE AND OPERABLE ELECTRICAL SYSTEM. ELECTRICAL CONTRACTOR TO DETERMINE PANEL AND SERVICE SIZES BASED ON CONNECTED LOADS, DETERMINE CIRCUIT QUANTITIES AND SIZES, AND PROVIDE TYPED PANEL SCHEDULES.

THE ELECTRICAL CONTRACTOR SHALL INSTALL ALL WORK IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL, AND NATIONAL CODES AND ORDINANCES. USE CONDUIT IN GROUND, EXPOSED TO WEATHER, IN SLABS ON GRADE, AND WHERE REQUIRED BY CODE. CONDUIT SHALL BE HOT-DIPPED GALVANIZED INTERMEDIATE METAL WITH WATERPROOF FITTINGS. CONDUIT AT OTHER LOCATIONS SHALL BE SET WITH CORROSION FITTINGS.

WIRE SHALL HAVE 600 V. INSULATION AND NOT BE LESS THAN #12 EXCEPT AT THE THERMOSTAT AND LOW VOLTAGE APPLICATIONS. WIRE SHALL BE COPPER UNLESS OTHERWISE NOTED. WIRE SHALL BE TYPE THN OR THHN FOR 1/2" AND LARGER. WIRE MUST BE COPPER, NO ALUMINUM OR COPPER CLAD WILL BE ALLOWED.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE SWITCHED FIXTURES IN ALL ATTICS ABOVE THE ACCESS PANEL. THE ELECTRICAL CONTRACTOR SHALL PROVIDE GROUND FAULT PROTECTED GROUNDED OUTLETS WITHIN 6' OF ALL LAVATORIES, SINKS, SHOWER ENCLOSURES, "WET" LOCATIONS, AND AT EXTERIOR OUTLETS, AND GARAGES AS SHOWN ON DRAWINGS.

THE ELECTRICAL CONTRACTOR MUST PROVIDE DISCONNECTS AT ALL HARD-WIRED APPLIANCES AND AS REQUIRED BY CODE, SUCH AS FURNACES, AND CONDENSING UNITS. SHOCK DETECTORS SHALL BE UL APPROVED 120 VOLT INTERCONNECTED WITH BATTERY BACK-UP AS INDICATED IN THE DRAWINGS.

ALL OUTLET RECEPTACLES SHALL BE MOUNTED 6" AFF TO CENTER OF BOX, TYPICALLY, UNLESS NOTED OTHERWISE. ALL SWITCHES SHALL BE MOUNTED 6" AFF TO CENTER OF BOX. EXACT PLAN LOCATIONS MAY VARY DUE TO 6" STUD LAYOUT.

ALL ELECTRICAL DEVICES AND COVER-PLATES SHALL WHITE UNLESS OWNER SELECTS AN ALTERNATE. WIRE/POLE INSTALLATION TO FOLLOW ALL APPLICABLE CODE REQUIREMENTS. ALL CEILING FANS TO HAVE FAN APPROVED BOXES.

ALL REG. CANS OVER WET LOCATIONS SHALL BE APPROVED FOR WET LOCATIONS. DISHWASHER, RANGE EXHAUST HOOD AND GARBAGE DISPOSAL SHALL BE HARDWIRED. ALL ELECTRICAL RECEPTACLES IN ALL BEDROOMS SHALL BE ARC-FAULT RECEPTACLES.

PLUMBING NOTES: THE PLUMBING CONTRACTOR SHALL INCLUDE ALL NECESSARY LABOR, MATERIALS, AND EQUIPMENT REQUIRED FOR A COMPLETE AND OPERABLE INSTALLATION OF ALL WATER AND SEWAGE SYSTEMS. ALL SYSTEMS AND EQUIPMENT SHALL CONFORM TO APPLICABLE LOCAL, STATE, AND NATIONAL CODES. FIXTURE AND EQUIPMENT CONNECTIONS SHALL BE MADE WITH CP SUPPLIES WITH STOPS. ALL WATER PIPES SHALL BE VALVED. EXPOSED WASTE PIPING SHALL BE CHROME PLATED.

PROVIDE ESCUTCHEON PLATES AT ALL WALL PENETRATIONS AT ALL FINISHED AREAS. WATER PIPING ABOVE GROUND SHALL BE 1/2" COPPER WITH LEAD-FREE JOINTS. WATER PIPING BELOW GROUND SHALL BE TYPE "K" COPPER WITH SILL FLORES BOLDER JOINTS OR CEMENT LITE DUCTILE IRON WITH FLUSH JOINTS.

SUSPENDED WASTE AND VENT PIPING SHALL BE CODE APPROVED MATERIALS AND FITTINGS. GAS PIPING SHALL BE BLACK STEEL WITH MALLEABLE FITTINGS. PROVIDE GAS COOK UNION AND DIRT LEG AT EACH CONNECTION. TEST GAS PIPING SYSTEM AT 25 PSI.

FLASH VENTS THROUGH ROOF WITH A 1/2" LEAD. INSULATE SUSPENDED HOT AND COLD WATER PIPING WITH 1/2" PIPE INSULATION.

PROVIDE FREEZE-PROOF HOSE BIBBS WITH VACUUM BREAKERS WHERE INDICATED ON DRAWINGS. PROVIDE "GUT GREY BOX" AT CLOTHES WASHMACHINE LOCATION.

PROVIDE A 1" AIR CHAMBER AT EVERY FIXTURE AND A 2 1/2" AIR CHAMBER AT TOP OF RISERS. DO NOT INSTALL WATER SUPPLY LINES OR HORIZONTAL DRAIN LINES IN WALLS ADJACENT TO UNHEATED SPACES.

PRIOR TO USAGE, WATER PIPING SHALL BE DISINFECTED USING LIQUID CHLORINE THAT HAS A RESIDUAL LEVEL 20 PPM AFTER 24 HOURS. AFTER ACCEPTED, FLUSH SYSTEM UNTIL CHLORINE IS REMOVED. PLUMBING CONTRACTOR TO PROVIDE NECESSARY FILL DRAIN, AND TEST EQUIPMENT TO PERFORM THIS DISINFECTION.

EMERGENCY EGRESS OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS. OR RESOLVE THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESOLVE THEY SHALL HAVE A HEIGHT OF NOT MORE THAN 24" ABOVE THE FLOOR. ALL EGRESS OR RESOLVE WINDOWS MUST HAVE A MINIMUM NET CLEAR OPENING OF 57 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24", THE WIDTH SHALL BE 20". A GRADE FLOOR WINDOW MAY HAVE A NET CLEAR OPENING OF 5.62 FT.

ATTIC VENTILATION NOTE: WHEN DETERMINED BY THE BUILDING OFFICIAL DUE TO ATMOSPHERIC OR CLIMATIC CONDITIONS, ENCLOSED ATTICS AND RAFTER SPACES FORCED THROUGH CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATED OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATION AREA SHALL BE NOT LESS THEN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300, PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATIONS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 36" ABOVE EAVE OR CORNICE. VENTILATION NET FREE CROSS-VENTILATION AREA MAY NOT BE LESS THEN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PER FT IS INSTALLED ON THE WARM SIDE OF THE CEILING.

RADON VENT NOTE (IF REQ'D): PROVIDE RADON VENT PIPE FROM CEILING THROUGH ROOF. 2" PIPE ELECTRICAL BOX IN ATTIC FOR FUTURE FAN. PROVIDE MIN. 3" PIPE LABELED "RADON REDUCTION SYSTEM". SUPPLY FIT TO BE SEALED. ALL CRACKS AND PERFORATION TO BE SEALED. LAP VENT UNDER SLAB 6" MIN. AT ALL SEAMS.

INSULATION NOTE: A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED.

HEADERS

FOR ALL EXTERIOR MASONRY OPENINGS THE FOLLOWING LITTLE SIZES SHALL BE USED UNLESS NOTED OTHERWISE: 6"-0" TO 5'-0" OPENINGS: 1.5"x3'-1/2"/6" L.V. WITH 6" OF BEARING. 5'-0" TO 1'-0" OPENINGS: 1.5"x3'-1/2"/6" L.V. WITH 6" OF BEARING. 1'-0" AND GREATER: 1.6"x4'-5/8"/6" L.V. WITH 6" OF BEARING.

WOOD POSTS, THE FULL WIDTH OF THE BEAM, SHALL BE PROVIDED UNDER EACH END OF BEAM BEING SUPPORTED, AND AS SHOWN ON PLANS. MINIMUM 3" BEARING AT EACH END OF BEAM LENGTHWISE, FOR BEAMS UP TO 11'-18" DEPTH. MINIMUM OF 4-1/2" BEARINGS FOR BEAMS GREATER THEN 12" IN DEPTH. POSTS ARE TO EXTEND DOWN TO SOLID BEARING ON FOUNDATION. WALL, STEEL BEAM OR MINIMUM OF (3) FLOOR FRAMING MEMBERS, OR AS NOTED ON PLAN. (3.2x4'S AND (3.2x6'S ARE SUFFICIENT REPLACEMENTS FOR 4x4 AND 4x6 POSTS AS LONG AS THEY ARE GLUED AND NAILLED TOGETHER AND SPLICE JOINTS ARE STAGGERED EQUAL LENGTH OF POST, WITH (3) 1/2" LAG BOLTS AT 12" OC.

NON-LOAD BEARING HEADER DETAIL: A cross-section diagram showing a header supported by two posts. The header is labeled 'NON-LOAD BEARING HEADER DETAIL' and 'NO SCALE'. The posts are labeled '2 X 4 BLOCK + 1 1/2\"/>

DESIGN CRITERIA: FLOOR: 40' LL 10' DL ALL AREAS EXCEPT SLEEPING AREAS. FLOOR: 30' LL 10' DL SLEEPING AREAS. WALL: 60' PLF OR ACTUAL LOAD. CEILING: 20' LL 10' DL ROOF SLOPES OVER 3 IN 12. ROOF: 30' LL 10' DL ALL SLOPES. CATHEDRAL: 30' LL 15' DL. EXT DECK: 60' LL 10' DL EXTERIOR. BALCONY: 60' LL 10' DL.

STRUCTURAL FRAMING LUMBER: FLOOR JOISTS, CEILING JOISTS, HEADERS AND RAFTERS IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE). 1/2 SFF E = 14 x 10^6 PSI REPETITIVE Fb 875 PSI. 1006 PSI. 1/2 HEM/FIR (NORTH) E = 16 x 10^6 PSI REPETITIVE Fb 1000 PSI. 1150 PSI.

STUDS: ALL 2x4'S AND 2x6'S IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE). 2 SFF (SOUTH) OR BETTER 750 PSI. E = 11 x 10^6 PSI.

SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH THE CURRENT SIZE, Fb AND E VALUES PER MANUFACTURER. MANUFACTURER PRODUCT PARALLAM. VARIES 2900 PSI 20 EX10 6 PSI. SIZE Fb E.

TRUS JOIST WEYERHAEUSER MICROLAM LVL. VARIES 2600 PSI 19 EX10 6 PSI. SIZE Fb E.

TRUS JOIST WEYERHAEUSER TIMBERSTRAND. VARIES 1700 PSI 13 EX10 6 PSI. SIZE Fb E.

SPECIFY MANUFACTURER OF SPECIFIC I-JOISTS PRODUCT WITH SERIES NUMBER AND SIZE OF JOIST PER MANUFACTURER. TRUS JOIST WEYERHAEUSER VARIES VARIES.

HEATING, COOLING AND VENTILATION NOTES: THE HEATING AND AIR CONDITIONING SYSTEM SHALL BE DESIGNED TO OPERATE AND MAINTAIN TO DEG. F. INSIDE WITH +10 DEG. F. OUTSIDE AND 15 DEG. F. INSIDE WHEN 55 DEG. F. OUTSIDE.

THE HVAC CONTRACTOR SHALL PROVIDE A COMPLETE AND OPERATING SYSTEM CONSISTING OF BUT NOT NECESSARILY LIMITED TO A GAS-FIRED FORCED AIR FURNACE, A/C CONDENSING UNIT, 1/4" COL. FANS, DUCTWORK, THERMOSTATS, REGISTERS, ETC. PROVIDE RIGID SHEET METAL DUCTWORK WITH INDIVIDUAL MANUAL VOLUME DAMPERS. LOCATE AND BALANCE ALL REGISTERS TO PROVIDE EVEN DISTRIBUTION OF HEATING AND COOLING.

DRYER EXHAUST SHALL BE DUCTED TO EXTERIOR WITH SUITABLE CAP AND BACK-DRAFT DAMPER. RANGE VENT EXHAUST SHALL BE DUCTED TO THE EXTERIOR WITH THE REQUIRED SUITABLE CAP.

SUPPLY DUCTS SHALL BE SIZED, DESIGNED AND CONSTRUCTED BY THE HVAC CONTRACTOR IN ACCORDANCE WITH THE MOST RECENT ASHRAE GUIDELINES. COMBUSTION AIR INTAKES SHALL BE INSTALLED FOR FURNACE AND WATER HEATER IN ACCORDANCE WITH CLASS 1b VENTS TO HAVE MINIMUM CLEARANCE TO ALL COMBUSTIBLE MATERIALS AND BE FIRE-STOPPED AT FLOORS ON CEILING BIDE.

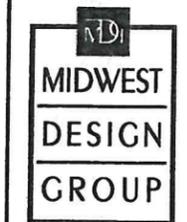
ALL SUPPLY DUCTS IN UNHEATED SPACES SHALL BE INSULATED WITH 3/4" THICK FIBERGLASS INSULATION OR APPROVED EQUAL. INSTALL INSULATION ON EXTERIOR OF DUCTWORK.

ADEQUATE SUPPLY OF COMBUSTION AIR SHALL BE PROVIDED FOR ALL GAS APPLIANCES IN ACCORDANCE WITH FRB'S SPECIFICATIONS AND 202 IIRC. LOCAL INSPECTOR SHALL FIELD VERIFY, RANGE EXHAUST HOOD IS TO BE PROVIDED IN KITCHEN DETAIL. MEANS OF MAKEUP-AIR AND LOCATION OF EXHAUST VENTING SHALL BE VENTED DIRECTLY TO THE EXTERIOR.

THE DRYER DUCT TERMINATION AND CONCEALED DUCT SHALL BE LABELED OR TAGGED WITH ITS EQUIVALENT LENGTH WITHIN 6'-0" OF THE EXHAUST DUCT CONNECTION. IF THE DRYER IS NOT INSTALLED AT OCCUPANCY THEN THE EXHAUST DUCT SHALL BE CAPPED OR PLUGGED AND IDENTIFIED AND MARKED FUTURE USE.

LOCAL INSPECTOR SHALL FIELD VERIFY THE DUCT FOR LEAK TIGHTNESS. TESTING SHALL BE DONE AND DOCUMENTED PRIOR TO CALLING FOR THE FINAL INSPECTION SO THE FIELD INSPECTOR CAN CONCLUDE THE INSPECTION WITHOUT WAITING FOR DOCUMENTATION TO COLLECT.

CARBON MONOXIDE DETECTOR NOTE: ONE APPROVED CARBON MONOXIDE ALARM IN AN OPERATING CONDITION WITHIN 5 FEET OF EVERY ROOM USED FOR SLEEPING PURPOSES. THE CARBON MONOXIDE ALARM MUST BE CERTIFIED WITH SMOKE DETECTING DEVICES PROVIDED THAT THE COMBINED UNIT COMPLIES WITH THE RESPECTIVE PROVISIONS OF THE APPLICABLE CODE. REFERENCE STANDARDS, AND DEPARTMENTAL RULES RELATIVE TO BOTH SMOKE DETECTING DEVICES AND CARBON MONOXIDE ALARMS AND PROVIDED THAT THE COMBINED UNIT MEETS ALL REQUIREMENTS THAT CLEARLY DIFFERENTIATES THE HAZARD. DETECTOR SHALL BE EITHER BATTERY POWERED, PLUG-IN WITH BATTERY BACK-UP, OR WIRED INTO THE STRUCTURE'S AC POWER LINE WITH SECONDARY BATTERY BACK-UP.



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FAIRWYN HOMES: 875 TOWNLINE ROAD, SUITE 103, LAKE GENEVA, WI 53147. P: 262-248-5010.

SINGLE FAMILY HOME FOR: THE ESARCO RESIDENCE, LOT 27 PINE TREE LANE, LAKE GENEVA WI 53147.

Table with 4 columns: DATE, REV, DESCRIPTION OF REVISION, and REV. It contains 4 rows of revision information.

<b>RESOLUTION OF THE COMMON COUNCIL</b>			
Resolution confirming the Mayor's Aldermanic and Citizen Appointments to certain Non-Standing Committees and Commissions for the City of Lake Geneva			
Committee:	N/A		
Fiscal Impact:	N/A		
<b>File Number:</b>	<b>20-R31</b>	<b>Date:</b>	April 27, 2020

WHEREAS, the appointments are as follows;

**Oak Hill Cemetery**

Aldersperson Ken Howell (Annual term)  
 Citizen Arleen Krohn (term expires May 1, 2023)  
 Citizen Maureen Allenstein (term expires May 1, 2023)

**Lake Geneva Public Library Board**

Aldersperson John Halverson (Annual Term)

**Business Improvement District Board**

Aldersperson Shari Straube (Annual Term)

**Historic Preservation**

Aldersperson Tim Dunn (Annual term)  
 Citizen Ken Etten (term expires May 1, 2023)  
 Citizen Grace Hanny (term expires May 1, 2023)  
 Citizen Jim Davis (term expires May 1, 2023)

**Board of Park Commissioners**

Aldersperson Mary Jo Fesenmaier (Annual term)  
 Citizen Brian Olsen (term expires May 1, 2023)  
 Citizen David Quickel (term expires May 1, 2023)

**Tree Board**

Aldersperson John Halverson (Annual term)  
 Citizen Candy Kirchberg (term expires May 1, 2023)

**Tourism Commission**

Aldersperson Rich Hedlund (term expires May 1, 2021)  
 Aldersperson Shari Straube (term expires May 1, 2021)  
 Citizen Brian Waspi (term expires May 1, 2021)  
 Business Owner Dana Trilla (term expires May 1, 2021)  
 Business Owner Tammie Carstensen (term expires May 1, 2021)  
 BID Board Member John Trione (term expires May 1, 2021)



Report Criteria:

Report type: Summary  
 [Report].Check Issue Date = 04/07/2020,04/15/2020  
 Check.Type = {<>} "Adjustment"  
 Bank.Bank account = "043230"

Check Issue Date	Check Number	Vendor Number	Payee	Amount
04/07/2020	73154	2046	ALLIANT ENERGY	17,348.87
04/07/2020	73155	2561	GENEVA ONLINE INC	39.00
04/07/2020	73156	5752	HUMBLE BNB	28.42
04/07/2020	73157	5745	REBHORN, JOHN	347.80
04/07/2020	73158	3233	RHYME BUSINESS PRODUCTS	133.28
04/15/2020	73271	2108	AT&T LONG DISTANCE	146.40
04/15/2020	73272	2613	GREAT AMERICA FINANCIAL SERVICES	202.92
04/15/2020	73273	4918	TIME WARNER CABLE	360.71
04/15/2020	73274	4659	VERIZON WIRELESS-VSAT NORTH	50.00
04/15/2020	73275	5071	WE ENERGIES	3,145.39
04/15/2020	73276	3186	PROPHOENIX	7,820.00
Grand Totals:				29,622.79

Summary by General Ledger Account Number

GL Account	Debit	Credit	Proof
11-00-00-21100	.00	26,427.47-	26,427.47-
11-00-00-41210	28.42	.00	28.42
11-12-00-52210	.06	.00	.06
11-16-10-52210	1.19	.00	1.19
11-16-10-52220	2,451.39	.00	2,451.39
11-16-10-52240	746.90	.00	746.90
11-21-00-52210	286.01	.00	286.01
11-21-00-52220	53.94	.00	53.94
11-21-00-53300	347.80	.00	347.80
11-21-00-53800	50.00	.00	50.00
11-21-00-57350	7,820.00	.00	7,820.00
11-22-00-52210	119.65	.00	119.65
11-22-00-52220	1,104.97	.00	1,104.97
11-22-00-52240	454.51	.00	454.51
11-22-00-53400	202.92	.00	202.92
11-24-00-53100	133.28	.00	133.28
11-29-00-52220	52.10	.00	52.10
11-32-10-52210	4.40	.00	4.40
11-32-10-52220	903.80	.00	903.80
11-32-10-52240	847.08	.00	847.08
11-34-10-52220	410.77	.00	410.77
11-34-10-52230	8,500.62	.00	8,500.62
11-51-10-52220	471.19	.00	471.19
11-51-10-52240	447.81	.00	447.81
11-52-00-52220	708.87	.00	708.87
11-52-00-59220	199.71	.00	199.71
11-52-01-52240	80.08	.00	80.08

GL Account	Debit	Credit	Proof
40-00-00-21100	.00	2,426.30-	2,426.30-
40-54-10-52220	260.41	.00	260.41
40-55-10-52240	504.19	.00	504.19
40-55-30-52220	1,661.70	.00	1,661.70
47-00-00-21100	.00	110.75-	110.75-
47-70-00-57155	110.75	.00	110.75
48-00-00-21100	.00	65.05-	65.05-
48-00-00-52210	.23	.00	.23
48-00-00-52240	64.82	.00	64.82
61-00-00-21100	.00	1.80-	1.80-
61-00-00-53110	1.80	.00	1.80
62-00-00-21100	.00	18.22-	18.22-
62-00-00-92100	18.22	.00	18.22
99-00-00-21100	.00	573.20-	573.20-
99-00-00-52210	3.80	.00	3.80
99-00-00-52220	569.40	.00	569.40
Grand Totals:	29,622.79	29,622.79-	.00

Dated: April 21, 2020

Mayor: Charles Klein

City Council: Joan Yecker  
Ken Howell  
John Stala

City Recorder: \_\_\_\_\_

Report Criteria:  
Report type: Summary  
[Report].Check Issue Date = 04/07/2020,04/15/2020  
Check.Type = {<>} "Adjustment"  
Bank.Bank account = "043230"

Report Criteria:

Detail report.  
Invoices with totals above \$0.00 included.  
Only unpaid invoices included.  
Invoice.Batch = "L04222020","04222020","04222020A"  
Invoice Detail.GL account (2 Characters) = {<>} "61"  
Invoice Detail.GL account (2 Characters) = {<>} "62"

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
<b>AURORA EAP</b>				
IN 21684	03/28/2020	2ND QTR 2020 FEE	11-10-20-51350 EAP PROGRAM	937.50
Total AURORA EAP:				937.50
<b>BADGER STATE INDUSTRIES</b>				
306-182541	04/09/2020	PAPER TOWELS	11-16-10-53500 CITY HALL BLDG MAINT SUPPLIES	172.15
306-182541	04/09/2020	TOILET TISSUE	11-51-10-52400 MUSEUM-MAINTENANCE & REPAIRS	29.91
Total BADGER STATE INDUSTRIES:				202.06
<b>BATTERIES PLUS LLC</b>				
P24355107	02/18/2020	(11) 12V BATTERIES-LUKES	42-34-50-52500 KIOSK REPAIRS/SUPPLIES	1,349.89
Total BATTERIES PLUS LLC:				1,349.89
<b>BATZNER PEST CONTROL</b>				
2867408	03/31/2020	PEST CONTROL-MAR	40-55-20-53600 RIV MAINTENANCE SERVICE COSTS	125.00
Total BATZNER PEST CONTROL:				125.00
<b>BUMPER TO BUMPER AUTO PARTS</b>				
662-424087	04/15/2020	POWER STEERING FLUID,CLA	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	58.48
Total BUMPER TO BUMPER AUTO PARTS:				58.48
<b>CDW GOVERNMENT INC</b>				
XKS6678	03/31/2020	NETWK EQUIP TELE VIRTUAL	11-10-00-55000 COVID-19 EXPENDITURES	281.46
XKX3859	04/01/2020	NETWK EQUIP TELE VIRTUAL	11-10-00-55000 COVID-19 EXPENDITURES	171.93
XKX8824	04/02/2020	NETWK EQUIP TELE VIRTUAL	11-10-00-55000 COVID-19 EXPENDITURES	11.83
XMM3098	04/08/2020	(3) COMPUTER REPLACE-CH	11-15-10-54500 COMPUTER IT SVC & EQUIPMENT	2,452.57
Total CDW GOVERNMENT INC:				2,917.79
<b>CINTAS CORP</b>				
5016609442	04/07/2020	SANITIZER,DISINFECTANT	11-32-10-55000 COVID-19 EXPENDITURES	38.27
5016609442	04/07/2020	FIRST AID SUPPLIES	11-32-10-53900 FIRST AID AND SAFETY SUPPLIES	24.19
Total CINTAS CORP:				62.46
<b>CLIFTON LARSON ALLEN LLP</b>				
2430171	03/31/2020	2019 AUDIT	11-15-10-52130 INDEPENDENT AUDIT FEES	8,800.00
Total CLIFTON LARSON ALLEN LLP:				8,800.00
<b>D.W. DAVIES &amp; CO. INC.</b>				
1591506	04/02/2020	12 GALS SAN-O-KLEEN	11-22-00-55000 COVID-19 EXPENDITURES	168.07

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total D.W. DAVIES & CO. INC.:				168.07
<b>DATA EQUIPMENT SERVICES</b>				
1413	04/15/2020	MODEM SVC-APR	42-34-50-52210 TELEPHONE EXPENSE	990.00
1413	04/15/2020	MODEM SVC-APR	40-54-10-53400 LUKE OPERATING AND CC EXP	45.00
Total DATA EQUIPMENT SERVICES:				1,035.00
<b>DUNN LUMBER</b>				
780387	12/31/2019	SAW SPRING	11-32-13-54200 TREE & BRUSH-REPAIR	13.99
784103	02/17/2020	GLUE,PINE BOARD	48-00-00-53500 CEM BLDG MAINT SUPPLIES	26.47
785169	02/29/2020	HAND TORCH TIPS,DRILL BIT	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	38.45
787611	04/02/2020	WALL HOOKS-VETS PK/MAINT	11-52-01-53500 BLDG MAINT & REPAIR	21.98
787628	04/02/2020	GRASS SEED	11-32-13-54300 TREE & BRUSH OPERATING SUPPLY	74.99
787628	04/02/2020	HYD FITTINGS	11-32-10-52500 ST DEPT EQUIPMENT REPAIRS	9.76
788062	04/08/2020	CART CASTER WHEELS-VETS	11-52-01-53400 VETS PARK OPERATING SUPPLIES	27.77
788068	04/08/2020	ROPE-BLOCK OFF PARKS	11-32-10-55000 COVID-19 EXPENDITURES	102.22
788139	04/09/2020	PICK AXE	11-52-00-53400 PARKS OPERATING SUPPLIES	38.99
788484	04/14/2020	NUTS,BOLTS-REATTACH SIGN	11-34-10-53750 TRAFFIC CONTROL STREET SIGNS	10.56
Total DUNN LUMBER:				365.18
<b>ELEVATE MEDIA GROUP INC.</b>				
INV 755	03/13/2020	WEBSITE CONVERSION	47-70-00-57155 TOURISM MUNICIPAL DEVELOPMENT	900.00
Total ELEVATE MEDIA GROUP INC.:				900.00
<b>ELKHORN NAPA AUTO PARTS</b>				
190744	04/14/2020	FORKLIFT BATTERY	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	107.86
Total ELKHORN NAPA AUTO PARTS:				107.86
<b>EVERBRIDGE</b>				
M49130	03/31/2020	NIXLE SERVICE	11-10-00-55000 COVID-19 EXPENDITURES	4,500.00
Total EVERBRIDGE:				4,500.00
<b>FINDAWAY WORLD LLC</b>				
04022020AB	04/02/2020	AUDIO BOOKS	99-00-00-54140 LIBRARY NONPRINT MATERIALS	7,500.00
Total FINDAWAY WORLD LLC:				7,500.00
<b>FIRST SUPPLY LLC</b>				
2829030-00	04/06/2020	FLUSH VALVE PARTS-LOWER	40-55-20-52400 LOWER RIVIERA REPAIRS	158.39
Total FIRST SUPPLY LLC:				158.39
<b>FORD OF LAKE GENEVA</b>				
71948	04/09/2020	BI-ANNUAL VEHICLE SERVICE	42-34-50-53510 VEHICLE/EQUIPMENT MAINT	30.95
Total FORD OF LAKE GENEVA:				30.95
<b>FROST, JOHN</b>				
REFD 040820	04/08/2020	OVPD-CIT #CN80FFP3BG	11-12-00-45100 COURT PENALTIES & FINES	9.60

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total FROST, JOHN:				9.60
<b>FULL COMPASS SYSTEMS LTD</b>				
INC01316564	04/07/2020	TELEPHONE INTF-AUDIO CITY	11-10-00-55000 COVID-19 EXPENDITURES	540.00
Total FULL COMPASS SYSTEMS LTD:				540.00
<b>GENEVA LAKE PLUMBING CO</b>				
15431	03/29/2020	REDO PLUMBING-RIV RENO	40-55-20-53600 RIV MAINTENANCE SERVICE COSTS	514.99
Total GENEVA LAKE PLUMBING CO:				514.99
<b>GENEVA ONLINE INC</b>				
1096481	04/02/2020	EMAIL SVC-APR	11-12-00-52210 MUNICIPAL CT TELEPHONE	2.00
Total GENEVA ONLINE INC:				2.00
<b>HE STARK AGENCY INC</b>				
6089COURT-0	04/02/2020	COURT COLLECTION FEES-MA	11-12-00-52140 COLLECTION FEES	29.64
Total HE STARK AGENCY INC:				29.64
<b>ITU ABSORB TECH INC</b>				
7341600	10/18/2019	MATS,RAGS	11-32-10-53600 ST DEPT BLDG MAINT SERV COSTS	85.02
M000046237	03/23/2020	CREDIT-INV#7437859	40-55-20-53600 RIV MAINTENANCE SERVICE COSTS	92.81-
Total ITU ABSORB TECH INC:				7.79-
<b>JERRY WILLKOMM INC</b>				
269126	04/03/2020	1450.0 GALS GAS	11-32-10-53410 VEHICLE-FUEL & OIL	1,753.05
395191	04/13/2020	55 GALS DEF	11-32-10-53410 VEHICLE-FUEL & OIL	128.70
Total JERRY WILLKOMM INC:				1,881.75
<b>JOHNS DISPOSAL SERVICE INC</b>				
420958	04/06/2020	APR SVC	11-36-00-52940 SOLID WASTE-RESIDENTIAL	29,946.00
420958	04/06/2020	APR SVC	11-36-00-52970 SOLID WASTE-RECYCLING	16,422.00
Total JOHNS DISPOSAL SERVICE INC:				46,368.00
<b>KANOPY LLC</b>				
KDEP-5888	03/18/2020	PAY PER USE PROGRAM	99-00-00-54140 LIBRARY NONPRINT MATERIALS	1,000.00
Total KANOPY LLC:				1,000.00
<b>KROPF, LANA</b>				
REIMB 4/20	04/14/2020	136 MILES-SPRING ELECTION 2	11-14-30-53110 BALLOTS/OTHER ELECTION EXPENSE	78.20
Total KROPF, LANA:				78.20
<b>LAKE GENEVA UTILITY</b>				
302 CADENCE	03/21/2020	302 CADENCE CIR	45-00-00-24520 WATER IMPACT FEES	1,690.00
302 CADENCE	03/21/2020	302 CADENCE CIR	45-00-00-24530 SEWER IMPACT FEES	1,865.00
419 GALLANT	03/31/2020	419 GALLANT DR	45-00-00-24520 WATER IMPACT FEES	1,690.00
419 GALLANT	03/31/2020	419 GALLANT DR	45-00-00-24530 SEWER IMPACT FEES	1,865.00
520 N BOULD	03/30/2020	520 N BOULDER RIDGE DR	45-00-00-24520 WATER IMPACT FEES	1,690.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
520 N BOULD	03/30/2020	520 N BOULDER RIDGE DR	45-00-00-24530 SEWER IMPACT FEES	1,865.00
545 N BOULD	03/26/2020	545 N BOULDER RIDGE DR	45-00-00-24520 WATER IMPACT FEES	1,690.00
545 N BOULD	03/26/2020	545 N BOULDER RIDGE DR	45-00-00-24530 SEWER IMPACT FEES	1,865.00
Total LAKE GENEVA UTILITY:				14,220.00
<b>LAKWOOD FILTERS INC</b>				
00121343	04/01/2020	FURNACE FILTERS CHANGED	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	280.25
Total LAKEWOOD FILTERS INC:				280.25
<b>LEONARD, BEVERLY</b>				
45227	04/13/2020	PERCHING RODS,MAGNETS	11-70-00-57800 AVIAN COMMITTEE EXPENSES	213.07
Total LEONARD, BEVERLY:				213.07
<b>MIDSTATE EQUIPMENT</b>				
V20158	03/06/2020	AIR FILTERS-LOADER	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	36.48
Total MIDSTATE EQUIPMENT:				36.48
<b>MORELOCK, RAYMOND</b>				
REIMB 4/14/20	04/14/2020	OVPD-TIX #35714	11-12-00-24280 COURT FINES-OTHER	45.00
Total MORELOCK, RAYMOND:				45.00
<b>MSI GENERAL CORPORATION</b>				
26876	03/31/2020	RIVIERA RENO-PAY REQUEST	43-40-00-17010 RIVIERA RENOVATION	330,321.65
Total MSI GENERAL CORPORATION:				330,321.65
<b>MUNICIPAL SERVICES LLC</b>				
202025	03/31/2020	SUB INSPECTOR-FRED VACA	11-24-00-52190 CONTRACT BUILDING INSPECTOR	1,154.25
Total MUNICIPAL SERVICES LLC:				1,154.25
<b>NYQUIST ENGINEERING</b>				
1225	04/03/2020	1ST QTR IT SVCS	11-15-10-54500 COMPUTER IT SVC & EQUIPMENT	7,199.54
Total NYQUIST ENGINEERING:				7,199.54
<b>OFFICE DEPOT</b>				
453895532001	03/07/2020	(2) FILE CABINETS	40-52-10-53990 BUOY/STALL MISC. EXPENSES	334.88
461242020001	03/18/2020	FILE CABINET	40-52-10-53990 BUOY/STALL MISC. EXPENSES	249.96
461263939001	03/31/2020	DAMAGED FILE CABINET-RETU	40-52-10-53990 BUOY/STALL MISC. EXPENSES	167.44-
462426082001	03/20/2020	FILE STORAGE,LABELS,PENS	11-12-00-53100 MUNICIPAL CT OFFICE SUPPLIES	203.71
462459283001	03/22/2020	LABELS	11-12-00-53100 MUNICIPAL CT OFFICE SUPPLIES	8.99
462662573001	03/20/2020	STAPLES	11-16-10-53100 CITY HALL OFFICE SUPPLIES	3.44
462662573001	03/20/2020	TONER	11-14-30-53100 CITY CLERK OFFICE SUPPLIES	89.99
465040545001	03/25/2020	(2) DYMO LABEL PRINTERS	11-15-10-53100 ACCTG OFFICE SUPPLIES	390.04
465040545001	03/25/2020	SHIPPING LABELS	11-16-10-53100 CITY HALL OFFICE SUPPLIES	51.22
465099991001	03/25/2020	SHIPPING LABELS	11-16-10-53100 CITY HALL OFFICE SUPPLIES	26.98
466623329001	03/27/2020	DYMO FILE FOLD LABELS,POS	11-16-10-53100 CITY HALL OFFICE SUPPLIES	51.77
466623329001	03/27/2020	WIRELESS MOUSE	11-15-40-53100 ASSESSOR OFFICE SUPPLIES	13.64
Total OFFICE DEPOT:				1,257.18

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
<b>POWER TECH LLC</b>				
9551	04/01/2020	COMM ELEC INS-2/4-3/24	11-24-00-52190 CONTRACT BUILDING INSPECTOR	950.00
Total POWER TECH LLC:				950.00
<b>RHYME BUSINESS PRODUCTS</b>				
AR379177	03/31/2020	M3550IDN-MAR	11-12-00-53610 EQUIPMENT MAINT SERVICE COSTS	24.00
AR379995	04/03/2020	SHARP-MAR COLOR	11-16-10-55310 CH OFFICE EQUIPMENT CONTRACTS	341.46
AR379995	04/03/2020	SHARP-MAR B&W	11-16-10-55310 CH OFFICE EQUIPMENT CONTRACTS	55.89
Total RHYME BUSINESS PRODUCTS:				421.35
<b>SHERRILL INC</b>				
INV-520465	04/02/2020	TREE CLIMBING HARNESS	11-32-13-54300 TREE & BRUSH OPERATING SUPPLY	149.95
Total SHERRILL INC:				149.95
<b>UNITED LABORATORIES</b>				
INV284181	04/01/2020	SANITIZER	11-32-10-55000 COVID-19 EXPENDITURES	270.18
INV284462	04/03/2020	PHENOFOG	11-32-10-55000 COVID-19 EXPENDITURES	219.70
INV285195	04/09/2020	DISINFECTANT SPRAY	11-32-10-55000 COVID-19 EXPENDITURES	185.98
Total UNITED LABORATORIES:				675.86
<b>WALWORTH COUNTY CLERK OF COURT</b>				
WRIGHT-GOV	03/27/2020	WRIGHT-#BD271217-3	11-12-00-24280 COURT FINES-OTHER	175.30
Total WALWORTH COUNTY CLERK OF COURT:				175.30
<b>WISCONN VALLEY MEDIA GROUP</b>				
36930	03/27/2020	LN-ORD 20-01-COMP PLAN	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	85.44
Total WISCONN VALLEY MEDIA GROUP:				85.44
Grand Totals:				436,820.34

Dated: April 21, 2020

Mayor: Charlene Klein

City Council: Joan Yunkey

Ken Hoyer

John P. Moran

C

City Recorder: \_\_\_\_\_

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
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Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Only unpaid invoices included.

Invoice.Batch = "L04222020","04222020","04222020A"

Invoice Detail.GL account (2 Characters) = {<>} "61"

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