



City of Lake Geneva, 626 Geneva St, Lake Geneva, WI 53147- 262.248.3673- www.cityoflakegeneva.com

CITY OF LAKE GENEVA REGULAR COMMON COUNCIL

MONDAY, JUNE 22, 2020 6:00 P.M.

LAKE GENEVA CITY HALL; COUNCIL CHAMBERS (MAIN LEVEL)

Members:

Mayor Charlene Klein, Council President, Rich Hedlund, Council Vice President, John Halverson,
Alderspersons: Tim Dunn, Mary Jo Fesenmaier, Cindy Flower, Ken Howell, Shari Straube, and Joan Yunker

THE CITY OF LAKE GENEVA IS HOLDING ALL MEETINGS VIRTUALLY TO HELP PROTECT OUR COMMUNITY FROM THE CORONAVIRUS (COVID-19) PANDEMIC. YOU CAN CALL-IN OR WATCH THE MEETING IN SEVERAL WAYS:

1. Livestream at the City of Lake Geneva Vimeo Channel found here www.vimeo.com/lakegeneva
2. Television: Watch live broadcast of the meeting on Spectrum Cable Channel 25
3. Listen to audio via phone: (602) 333-2017 (Long distance rates may apply) (888) 204-5987 (Toll Free)
Access Code: 9746153
4. You can provide public comment on agenda items by emailing your comments to the Deputy Clerk at deputyclerk@cityoflakegeneva.com or you may deliver your written comments to the City of Lake Geneva City Hall, 626 Geneva Street, Lake Geneva, WI 53147. All written comments must be provided to the Deputy Clerk by 5:00 P.M. on the date of the meeting. All written comments will be read aloud during the agenda item when public comments are allowed during the meeting.

CITY HALL WILL NOT BE OPEN TO THE PUBLIC DURING THE MEETING. YOU CAN OBSERVE THE MEETING VIA THE ABOVE LISTED COMMUNICATIONS.

AGENDA

1. Mayor Klein call the meeting to order
2. Pledge of Allegiance – Alderperson Straube
3. Roll Call
4. Awards, Presentations, Proclamations, and Announcements
5. Re-consider business from previous meeting
 - a. Discussion/Action regarding **Resolution 20-R40** a resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by Brian Nelson 21605 N. Tiffany Ct. Kildeer IL 60047 for a request to install a 100 foot pier with 3 boat slips for the property located at 1640 Lake Shore Dr. located in the Estate Residential - 1 (ER-1) zoning district. Tax Key No. ZLM00039
6. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes
7. Acknowledgement of Correspondence

8. Approve the Regular Council Minutes of June 8, 2020 as prepared and distributed
9. **CONSENT AGENDA**– *Recommended by Finance, Licensing and Regulation on June 16, 2020.* Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.
 - a. Renewal application of a Massage Establishment License for Healing Muscle Therapies
 - b. Renewal application of a Massage Establishment License for Lake Geneva Massage Therapy
 - c. Renewal application of a Taxi Can Company License for Senior Cab
10. **Items removed from the Consent Agenda**
11. First Reading of **Ordinance 20-05** an ordinance amending Chapter 46: Nuisances, Article 1: General regulations, Section 46-4 Loud and unnecessary noise (b) and (c) to clarify types of noise and hours of quiet time and creating section 46-4 (c)(3) to define acceptable types and hours of construction noise
12. First Reading of **Ordinance 20-06** an ordinance amending Chapter 14: Building and Building regulations, Article II: Building code, Division 1: Generally, Section 14-31 (a) Administrative code and adding 14-31(c) Amendments and deleting section 14-32 Wisconsin Uniform Building Code and renaming section 14-33 scope of Article to Section 14-32 Scope of Article
13. Discussion/Action regarding **Resolution 20-R51** a resolution authorizing the creation of the Ad Hoc Committee on Riviera Restorations and appointing members
14. Discussion/Action regarding an Original Class “B” Fermented Malt Beverage and Class “C” Wine License Application filed by RL KL Company LLC d/b/a SuWings Chinese Restaurant, 743 North Street, Ransi Lei, Agent
15. Discussion/Action regarding a Renewal “Class B” Intoxicating Liquor and Class “B” Fermented Malt Beverage License Application filed by Samson Enterprises LLC, Northsider’s, 642 W Main St, Michelle Norgard, Agent-*Chief Rasmussen not approve on the renewal application*
16. Discussion/Action regarding **Resolution 20-R43** a resolution to ratify the Emergency Proclamation approved by the Chief Executive Officer pertaining to the COVID-19 Pandemic and Emergency Proclamation (*June 8, 2020 Council Meeting: Motion by Halverson to approve with amendments previously approved and that this be considered at the next Council meeting, second by Howell. Motion carried 8-0, on a roll call vote.*)
17. **Recommendation of the Finance, Licensing, and Regulation Committee of June 16, 2020- Ald. Howell**
 - a. Discussion/Action regarding **Resolution 20-R44** and **Resolution 20-R45** resolutions authorizing and directing the proper City official(s) to issue the Liquor License renewals for the period of July 1, 2020 to June 30, 2021
 - b. Discussion/Action regarding a proposal from Asphalt Contractors INC to perform a 6’ depth road patch on Main Street between Maxwell St and Warren Street, in an amount not to exceed \$11,938.00 to be paid from the 2020 Street Improvement Project Fund
 - c. Discussion/Action regarding final payment to Total Parking Solutions, INC for the purchase of the new parking kiosks, in an amount not to exceed \$165,175.00
 - d. Discussion/Action regarding **Resolution 20-R50** updating the City of Lake Geneva Fee Schedule as it relates to Parking Fees and Beach Pass Fees
 - e. Discussion/Action regarding acceptance of a donation of \$400 from American Transmission Co for the City of Lake Geneva Tree Replacement Program
 - f. Discussion/Action authorizing the expenditure of \$3,000 to obtain a quote for the ETF Health Insurance

- g. Discussion/Acceptance of June 16, 2020 Finance, Licensing, and Regulation Committee Payment Approval Reports

18. Recommendation of the Plan Commission of June 15, 2020- Ald. Dunn

- a. Discussion/Action regarding **Resolution 20-R46** a resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by John Sherman Lindsey W3741 Fir Ct., Lake Geneva for a request to allow Outdoor Display land use located at 529 W. Main St. in the General Business (GB) zoning district. Tax Key No. ZOP00301
- b. Discussion/Action regarding **Resolution 20-R47** a resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by Pete & Holly Krug 417 S. Columbia St., Naperville IL 60540 for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 870 Maytag Dr. located in the Estate Residential - 1 (ER-1) zoning district. Tax Key No. ZCE00011
- c. Discussion/Action regarding **Resolution 20-R48** a resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by Leigh Ann Myers 420 S. Lake Shore Dr. Lake Geneva for a request to Outdoor Commercial Entertainment for the property located at 870 W. Main St. in the Central Business (CB) zoning district. Tax Key No. ZOP00337
- d. Discussion/Action regarding **Resolution 20-R49** a resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by Brian Nelson 21605 N Tiffany Ct., Kildeer IL 60047 for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 1640 Lake Shore Dr. located in the Estate Residential - 1 (ER-1) zoning district. Tax Key No. ZLM00039

19. Mayoral Appointments

- a. Confirming the appointment of Dimitri Anagnos to the Downtown Business Improvement District Board with a term to expire Jan 1, 2022
- b. Confirming the following appointments to the Tourism Commission on all terms expiring May 1, 2021:
 - Alderperson Rich Hedlund
 - Alderperson Mary Jo Fesenmaier
 - Zakia Pirzada, Hotelier
 - Brian Waspi, BID Member
 - Dana Trilla, Business Owner
 - Linda Moritz, Citizen

20. Adjournment

Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk's office in advance so the appropriate accommodations can be made.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 18, 2020

Agenda Item: 7

Applicant:
Brian Nelson
21605 N. Tiffany Ct.
Killdeer, IL 60047

Request: 1640 Lake Shore Dr.
Conditional Use Permit (CUP)
Pier Installation Tax Key No. ZLM00039

Description:

The applicant is submitting a request for a Conditional Use Permit (CUP) that would allow for the candidate to install a 100 foot pier and 3 boat slip in the Estate Residential – 1 (ER-1) zoning district, for the residence located at 1640 Lake Shore Dr.

The application has been submitted to the DNR for approval, albeit we do not know if it has been approved as of this staff report.

The riparian setbacks meets the “12.5 feet required setback”, the applicants identify 13 feet as proposed.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

1640 Lake Shore Drive
Lake Geneva, WI 53147

Name and Address of Current Owner:

Brian Nelson
21605 N. Tiffany Ct., Kildeer, IL 60047

Telephone No. with area code & Email of Current Owner: 773-230-8401

bnelson@lapmaster-walters.com

Name and Address of Applicant:

Reeds Construction, LLC - Jeff Reed
W3199 S. Lake Shore Drive, Lake Geneva, WI 53147

Telephone No. with area code & Email of Applicant: 262-248-2934

michele@reedsconstructionllc.com

Proposed Conditional Use: New Pier

Zoning District in which land is located: _____

Names and Addresses of architect, professional engineer and contractor of project:

Reeds Construction, LLC
W3199 S. Lake Shore Drive, Lake Geneva, WI 53147

Short statement describing activities to take place on site:

Build new pier on property 8 x 100'

new L - 10' x 12'

2 Steps 12' x 33'

1 Step 14' x 33'

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

3/31/30

Date

Michele Reed
Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

↓

Draft Final Packet (1 Copy to Zoning Administrator)

↓

Date: _____ by: _____

Date: _____ by: _____

___ (a) **A map of the proposed conditional use:**

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

- (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- (e) Written justification for the proposed conditional use:
 - Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

main pier will be 8'x100' with a 10'x12' L to the left of pier on right will be 3 slips total, 1-14'x33', 2-12'x33'. There will be a 4'x50' 5 1/2 walkway in front of slips + 3-4'x33' walkways to create slips
2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Going to be used as loading dock area for boats
3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No, this is all on private property. It is just a pier like all the other piers on the lake.
4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Used for private boat dock.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

This is done on the water and the home owner is responsible for repair & up keep. It is made at the shop and then hauled in to be installed. It is stored on private property when removed in the winter.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Public does not benefit. This is a private pier used for private lease only. Will not cost the public anything

IV. FINAL APPLICATION PACKET INFORMATION

___ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

___ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

___ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

___ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

___ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

___ Class 2 Legal Notice published on _____ and _____ by: _____

___ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

↓

Date: _____ by: _____

Date: _____ by: _____

___ (a) **A written description of the intended use describing in reasonable detail the:**

- ___ Existing zoning district(s) (and proposed zoning district(s) if different);
- ___ Land use plan map designation(s);
- ___ Current land uses present on the subject property;
- ___ Proposed land uses for the subject property (per Section 98-206);
- ___ Projected number of residents, employees, and daily customers;
- ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";

Exterior building and fencing materials (Sections 98-718 and 98-720);

Possible future expansion and related implications for points above;

Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

(b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

(c) **A Property Site Plan drawing which includes:**

- A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- The date of the original plan and the latest date of revision to the plan;
- A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- A reduction of the drawing at 11" x 17";
- A legal description of the subject property;
- All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- All required building setback lines;
- All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- The location and dimension (cross-section and entry throat) of all access points onto public streets;
- The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- The location of all outdoor storage areas and the design of all screening devices;
- The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- All engineering requirements for utilities, site designs, etc;
- The location and type of any permanently protected green space areas;
- The location of existing and proposed drainage facilities for storm water;

___ In the legend, data for the subject property on:

- ___ Lot Area;
- ___ Floor Area;
- ___ Floor Area Ratio (b/a);
- ___ Impervious Surface Area;
- ___ Impervious Surface Ratio (d/a);
- ___ Building Height.

___ ___ (d) **A Detailed Landscaping Plan of the subject property:**

- ___ Scale same as main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing the location of all required buffer yard and landscaping areas
- ___ Showing existing and proposed Landscape Point fencing
- ___ Showing berm options for meeting said requirements
- ___ Demonstrating complete compliance with the requirements of Article VI
- ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

___ ___ (e) **A Grading and Erosion Control Plan:**

- ___ Same scale as the main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

___ ___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- ___ Showing finished exterior treatment;
- ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

- ___ Receipt of 5 full scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ___ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ___ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address _____

Applicant name _____

Applicant email _____ Phone Number _____

Architect/Contractor/Designer Name _____

Architect/Contractor/Designer Email _____ Phone Number _____

Type of Construction: New _____ Addition _____ Remodel _____

Type of Development: Single-family _____ Multi-family _____ Commercial _____ Industrial _____

Type of Business _____

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? _____
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms _____
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____

Waterway Individual Permit Application- General Information

PROJECT: Nelson, Brian

Format Documents : If you submitted an application in hard copy with documents that are larger than 11x17, WDNR staff may request that you submit a copy of the document in electronic format, either as an email attachment, or on digital media, such as a CD

The information included in this checklist is necessary for a complete application. A complete submittal with detailed drawings will help us make a decision about your permit application. Any applicable statutory review times do not begin until the application is received by the Department and is determined to be complete.

Please recognize that you are responsible for obtaining all necessary local (e.g. city, town, village or county) and U.S. Army Corps of Engineer permits or approvals in addition to any applicable state permits prior to commencing any work at the project site.

To help us make a decision in the shortest amount of time possible, the following information must be submitted:

Dam - Abandonment and Removal

Miscellaneous

Piers, docks and wharves

1. Review the following links for more information: [Instructions](#)
2. Attach a copy of your deed or similar proof of ownership.
3. Attach a good photo that clearly shows the existing project area.
4. Attach a narrative description of your proposal.
5. Attach a site map based on the following format: [Blank Site Map](#).
6. Complete all displayed forms and fee sheets.
7. Pay fee online
8. Sign and Submit form.

Please review the following links for additional county and Corps of Engineering requirements:

Army Corps of Engineers: <https://mvp.usace.afpims.mil/Portals/57/docs/regulatory/PM%20County%20Assignments%20WI%20January%202013.pdf>

County Zoning: <http://dnr.wi.gov/topic/shorelandzoning/contacts/county.html>

Notice: Pursuant to chs. 30 and 31, Wis. Stats., ch. 281, Wis. Stats., and s. 283.33, Wis. Stats., this form is used to apply for coverage under the state construction site storm water runoff general permit, and to apply for a state or federal permit or certification for waterway and wetland projects or dam projects. This form and any required attachments constitute the permit application. Failure to complete and submit this application form may result in a fine and/or imprisonment or forfeiture under the provisions of applicable laws including s. 283.91, Wis. Stats. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Public Records Laws (ss. 19.31-19.39, Wis. Stats.). This form is required for U.S. Army Corps of Engineers (ACOE) regulatory purposes pursuant to 33 CF 325.

Read all instructions provided before completing

Section 1: Landowner Information

Organization, Entity or Name Brian Nelson	Authorized Representative (Last Name, First Name) Nelson, Brian		
Mailing Address 21605 N. Tiffany Ct..	City Kildeer	State IL	Zip Code 60047
Email bnelson@lapmaster-wolters.com	Phone Number (incl. area code) 773-230-8401	Alternative Phone Number	

Section 2: Applicant/Information Select if same as landowner

Organization, Entity or Name Brian Nelson	Contact Person (Last Name, First Name) Nelson, Brian		
Mailing Address 21605 N. Tiffany Ct..	City Kildeer	State IL	Zip Code 60047
Email bnelson@lapmaster-wolters.com	Phone Number (incl. area code) 773-230-8401	Alternative Phone Number	

Section 3: Primary Project Contact Select if same as landowner

Consultant or Plan Preparer Contractor Agent Other - specify: _____

Name (Organization or Entity) Reed's Construction, LLC	Contact Person (Last Name, First Name) Reed, Jeff		
Mailing Address W3199 S. Lake Shore Drive	City Lake Geneva	State WI	Zip Code 53147
Email michele@reedsconstructionllc.com	Phone Number (incl. area code) 262-248-2934	Alternative Phone Number 262-248-9403	

Section 4: Project or Site Location:

Project Name Nelson, Brian	County Walworth	<input checked="" type="radio"/> City <input type="radio"/> Township <input type="radio"/> Village of LAKE GENEVA;C
-------------------------------	--------------------	--

Location Address / Description
1640 Lake Shore Drive, Lake Geneva, WI 53147

Public Land Survey System (PLSS) – Provide the section, range, township information and latitude and longitude in decimal degrees, if available.

_____ of _____ of Section _____ Township _____ Range _____ E
 _____ ¼ _____ ¼ _____ N W Latitude _____ Longitude _____

If this site is not wholly contained in the quarter-quarter section, more description:

Lots 7 * 8 Blk, 18 Lake Geneva Manor (Tract #17)

Waterways: Provide the name(s) of closest water bodies

Geneva Lake

Section 5: Wetlands

If a wetland is present at a project site and permit approvals are sought through the waterway and wetland program, storm water program, or concentrated animal feeding operations (CAFO) program, the department requires that a wetland delineation that accurately shows the location of a wetland is submitted with an application. A wetland delineation needs to be verified/concurred with before the application can be submitted or be considered a complete application. See the department "[Wetland screening and delineation procedures](http://dnr.wi.gov/topic/waterways/construction/wetlands.html)" at <http://dnr.wi.gov/topic/waterways/construction/wetlands.html> for more information for more information.

Is a wetland present in the project area? Yes No

If yes, select all sources of information used and attach supporting report or documentation

- a. A copy of your wetland delineation and a [Wetland Confirmation Service](#) concurrence letter (wetland boundary verification service offered for a fee from the department)
- b. An [assured delineator's](#) wetland delineation report
- c. A copy of your wetland delineation and an Army Corps of Engineers concurrence letter
- d. A copy of your correspondence with a [WDNR Office of Energy Water Management Specialist](#) or [WDNR Transportation Liaison](#) regarding your wetland review/ concurrence.

If no, please select one of the following items showing that a wetland is not present within the project boundaries:

- a. A copy of your wetland determination and a letter from the department's [Wetland Identification Program](#) stating wetlands are not present or the activity proposed in the wetland is exempt under NR 103.06(4)
- b. A letter from an assured delineator stating wetlands are not present
- c. Documentation showing that each of these resources were reviewed for wetland absence on the [Surface Water Data Viewer](#):
 - i. Surface Water Data Viewer- Wisconsin Wetland Inventory
 - ii. Surface Water Data Viewer- Wisconsin Indicator layer
 - iii. Surface Water Data Viewer- Digital Topographic map layer or aerial photo indicating if waterways, drainage ways, ditches, depressions, or standing water are within project boundary
- d. Show that the project limits are entirely in existing paved, graveled, or concrete areas
- e. A copy of your correspondence with a [WDNR Office of Energy Water Management Specialist](#) or [WDR Transportation Liaison](#) regarding your wetland review/concurrence

(Please note that if the information provided is incorrect or incomplete, the overall permit application may be considered incomplete and may be returned to the applicant.)

Section 6: Endangered or Threatened Resources

Has the presence of endangered or threatened resources been evaluated according to protocols developed by the DNR Bureau of National Heritage Conservation (BNHC) <http://dnr.wi.gov/topic/ERReview> Yes No

If Yes, select how the evaluation was completed and attach supporting report or documentation:

- a. Endangered Resources Preliminary Assessment from the Public Portal
- b. Certified ER Review Letter - specify: ERR- (example ERR-15-123)
- c. Broad Incidental Take Permit /Authorization -specify (e.g. No / Low Impact Activities, Grassland & Savanna Management, etc.):
- d. Other:

Section 7: Project Information (Attach additional sheets as necessary)

Anticipated Project Start Date: <input type="text" value="6/8/2020"/>	Projected Project End Date: <input type="text" value="7/4/2020"/>
Photos: Provide photographs of the "before" condition.	Date of Photographs: <input type="text"/>

Narrative of the Project:
Provide a one to two paragraph description of the proposed project, including land and water alterations and intended use(s) of the project. Include this in the attachment section.

Section 8: Certification and Permissions

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or imprisonment or forfeiture under the provisions of applicable laws.

Permission: I hereby give the Department permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Signed Electronically

Signature of Landowner / Authorized Representative – For **Stormwater applications**,
signature of landowner is required. Authorized representative is not sufficient.

Date Signed

Payment Confirmation

<u>Fee Type</u>	<u>Number of Activities</u>	<u>Subtotal</u>
Waterway Permit	<input type="text" value="1"/>	\$603.00
Wetland Permit	<input type="text" value="0"/>	\$0.00
Boathouse Certification	<input type="text" value="0"/>	\$0.00
New Dam Construction	<input type="text" value="0"/>	\$0.00
Expedited Decision (# of counties)	<input type="text" value="0"/>	\$0.00
WDNR publishes all required class 1 public notices <input type="checkbox"/>		<input type="text" value="\$0.00"/>

After-the-fact application for permits or approvals submitted after work has been commenced or completed. Fee is twice the usual fee.

Total Paid

US Bank Transaction Number WS2WT1004332197

WDNR Invoice Number WP-00021492

Questions about fees ? [Click Here](#)

Your total payment should be the SUM of ALL application fees and supplemental fees for EACH permitted activity for which you are applying.

For example, if you are applying for individual permits and a) your project involves a wetland fill that requires a wetland Individual permit; and b) involves the installation of a culvert in a waterway along with some dredging in a waterway; then your fee would be calculated as follows:

Wetland IP = (1 activity or \$800)

Waterway IP (Culvert) = \$600

Waterway IP (Dredging) = \$600 (2 activities or \$1200)

A supplemental Fee is assessed for Waterway Permits (\$3 for each waterway activity) = \$6

Total Application Fees for project = \$2006 (ALL of these permit fees added together)

Electronic Signature

Terms and Conditions

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or imprisonment or forfeiture under the provisions of applicable laws.

Permission: I hereby give the Department permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

NOTE: For security purposes the email will be sent to the address you used when registering your WAMS ID. This may be a different email than that provided in the application. For information on your WAMS account click [HERE](#).

Authorized Signature

I accept the above terms and conditions.

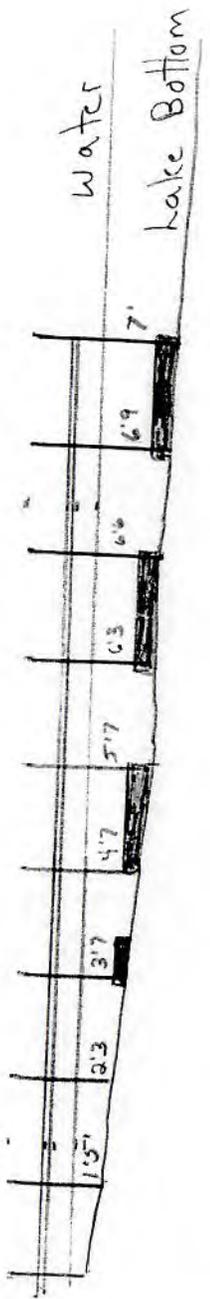
Signed by : i:0#.f|wamsmembership|z48vppy1 on 2020-02-06T13:29:42

After providing the final authorized signature, the system will send an email to the authorized party and any agents. This email will include a copy to the final read only version of this application. Either party may cancel the signature process and make further updates.

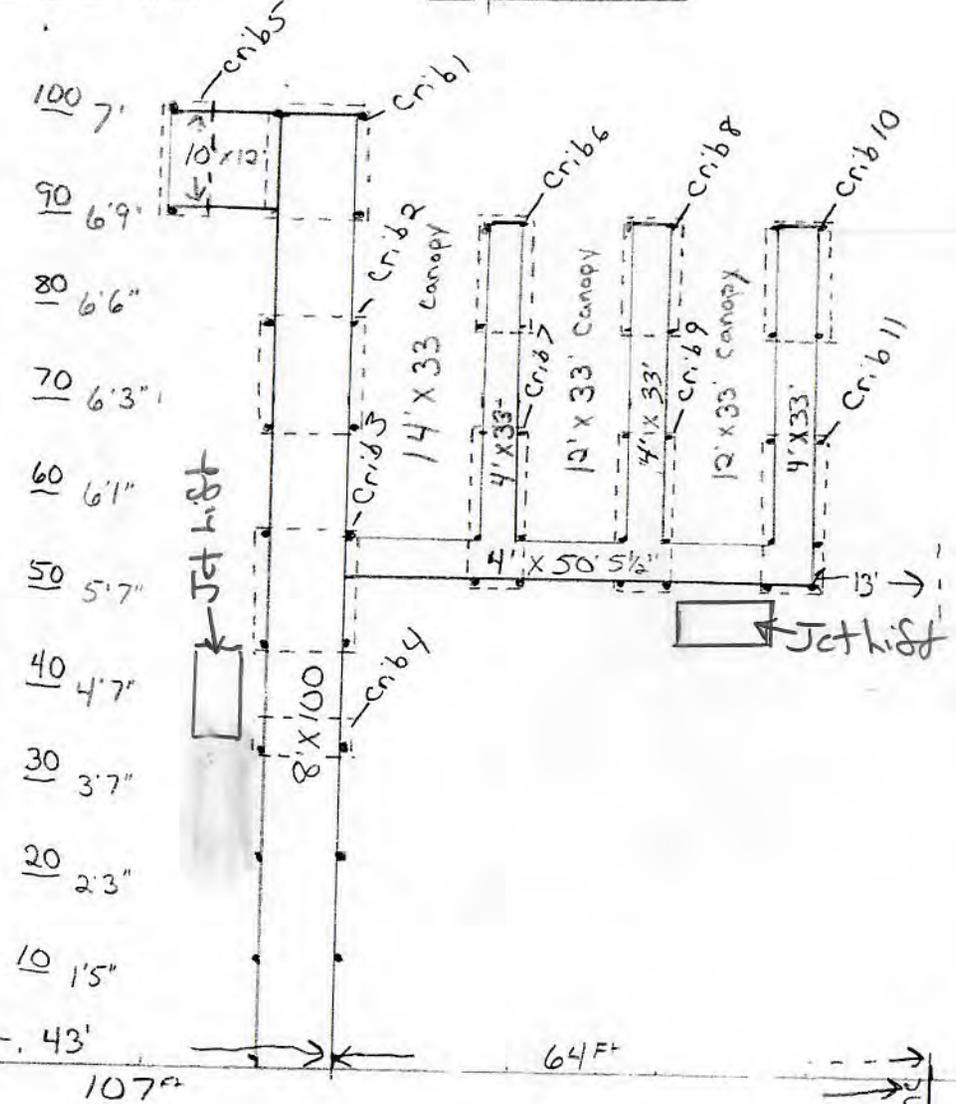
← N

Scale
1" = 20'

Cross Section

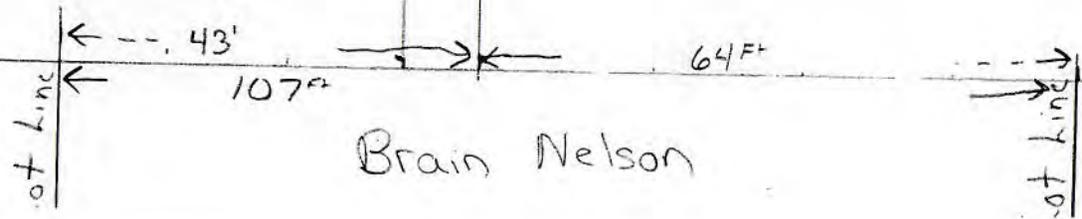


Water Dept Top View



Crib sq Ft

Crib 1	$9'10\frac{3}{4} \times 11'10\frac{3}{4} = 120$
Crib 2	$9'10\frac{3}{4} \times 12'2\frac{1}{2} = 120$
Crib 3	$9'10\frac{3}{4} \times 12'2\frac{1}{2} = 120$
Crib 4	$9'10\frac{3}{4} \times 6' = 60$
Crib 5	$11'10\frac{3}{4} \times 6' = 72$
Crib 6	$5'10\frac{3}{4} \times 12'2\frac{1}{2} = 72$
Crib 7	$5'10\frac{3}{4} \times 16'8'' = 96$
Crib 8	$5'10\frac{3}{4} \times 12'2\frac{1}{2} = 72$
Crib 9	$5'10\frac{3}{4} \times 16'8'' = 96$
Crib 10	$5'10\frac{3}{4} \times 12'2\frac{1}{2} = 72$
Crib 11	$5'10\frac{3}{4} \times 16'8'' = 96$
	996
	996 Total sq Ft



Brain Nelson

Description of the pier work to be done for Brian Nelson Pier

Would like to build a new pier with 3 slips with canopy. The main pier will be 8' wide x 100' long. There will be three slips, two will be 12' x 33" and one will be 14' x 33'. We will have a 4' x 50' 5 1/2" catwalk with three 4' x 33' catwalks that will create the three slips. There will be 11 new cribs added to the lakebed. All wood will be Doug fir, 6 x 6 posts and Jacks, 4 x 6 stringers, 2 x 8 decking. We will use fieldstone to fill in the cribs and hold them down.

The project is to give access for installation of pier for use of private property and that they may access their boat.

The project will be completed from the lake using barges and guys in waders. All jacks, stringers and cribs are built at the shop and brought in from the launch ramps.

The construction schedule is dependent upon the weather. We would like to start installing the new pier sometime after Memorial Day and it usually takes about a week to complete once we get started.

We will not be using erosion control as we will not be disturbing the lakefront.

We will use field stone to fill in the cribs to hold them down in the lake.

We will not be impacting the waterways.

The main pier will be 8' wide x 100' long. There will be three slips, two will be 12' x 33" and one will be 14' x 33'. We will have a 4' x 50' 5 1/2" catwalk with three 4' x 33' catwalks that will create the three slips.



February 7, 2020

IP-SE-2020-65-00411

Brian Nelson
21605 N. Tiffany Ct.
Kildeer, IL 60047

Dear Brian Nelson:

This acknowledges receipt of your application to place a pier/wharf on the bed of Geneva Lake, City of Lake Geneva in Walworth County.

Our field staff are currently evaluating your proposal. Depending on the amount of information you provided and the complexity of your project, you may be asked to provide additional information so that a complete evaluation can be made. We will notify you of the final disposition of your application as soon as we complete our review.

If you have not already done so, please contact the Walworth County and local municipal zoning offices to determine if a local permit is also required for your project. I have forwarded a copy of your application to the U.S. Army Corps of Engineers. They will advise you directly as to whether their regulations apply to your project.

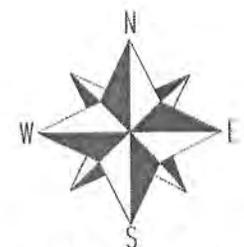
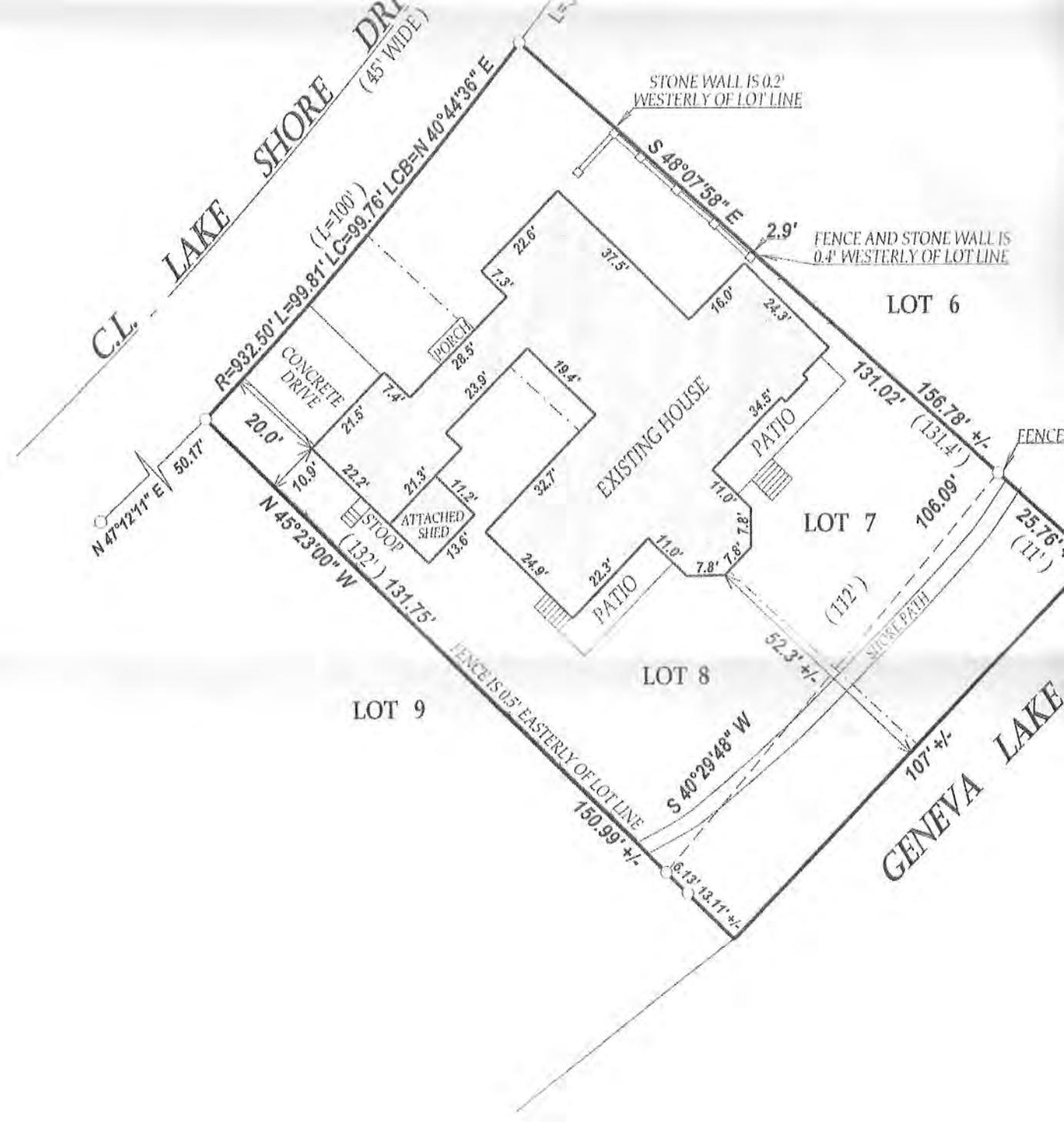
If you would like to know more about this project or would like to see the application and plans, please visit the Department's permit tracking website at <https://permits.dnr.wi.gov/water/SitePages/Permit%20Search.aspx> and search for WP-IP-SE-2020-65-X02-06T13-29-43.

If you have any questions, please contact your local Water Management Specialist, Theresa Szabelski at (414) 263-8670 or email Theresa.Szabelski@wisconsin.gov.

Sincerely,

Sarah Rhodes
Waterway and Wetland Permit Intake Specialist

cc: Theresa Szabelski, Water Management Specialist
U.S. Army Corps of Engineers
Jeff Reed, Reed's Construction LLC



SCALE 1" = 30'



NOTE: BEARINGS ARE REFERENCED TO PREVIOUS SURVEY RECORDS

LEGEND

○ FOUND IRON PIPE

(XX) RECORDED AS

I have surveyed the above-described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences apparent easements and roadways and visible encroachments, if any.

DATED TH

This survey is made for the exclusive use of the present owners of

LAKE GENEVA CITY TREASURER
626 GENEVA ST
LAKE GENEVA, WI 53147

**WALWORTH COUNTY - STATE OF WISCONSIN
PROPERTY TAX BILL FOR 2019
REAL ESTATE**

1640 LAKESHORE DRIVE LLC



**Parcel Number: ZLM 00039
Bill Number: 450776**

Important: Be sure this description covers your property. Note that this description is for tax bill only and may not be a full legal description. See reverse side for important information.

450776/ZLM 00039 3857
1640 LAKESHORE DRIVE LLC
21605 N TIFFANY CT
KILDEER IL 60047

Location of Property/Legal Description

1640 LAKE SHORE DR

LOTS 7 & 8 BLK 18 LAKE GENEVA MANOR (TRACT #17)
CITY OF LAKE GENEVA

0.316 ACRES

Please inform treasurer of address changes.

ASSESSED VALUE LAND 1,660,000	ASSESSED VALUE IMPROVEMENTS 713,000	TOTAL ASSESSED VALUE 2,373,000	AVERAGE ASSMT. RATIO 0.953164976	NET ASSESSED VALUE RATE 0.01928353 <small>(Does NOT reflect credits)</small>	NET PROPERTY TAX 45684.70
ESTIMATED FAIR MARKET VALUE LAND 1,741,600	ESTIMATED FAIR MARKET VALUE IMPROVEMENTS 748,000	TOTAL ESTIMATED FAIR MARKET VALUE 2,489,600	<input type="checkbox"/> A star in this box means unpaid prior year taxes.	School taxes also reduced by school levy tax credit 4,981.57	
TAXING JURISDICTION	2018 EST. STATE AIDS ALLOCATED TAX DIST.	2019 EST. STATE AIDS ALLOCATED TAX DIST.	2018 NET TAX	2019 NET TAX	% TAX CHANGE
STATE OF WISCONSIN	0	0	0.00	0.00	
WALWORTH COUNTY	237,032	269,851	9,509.30	9,432.88	-0.8%
City of Lake Geneva	757,502	821,145	13,189.93	12,870.01	-2.4%
Lake Geneva J1 School Dist	3,827,458	4,138,281	13,835.25	13,031.06	-5.8%
Lake Geneva-Genoa City UHS	1,104,975	1,085,433	8,445.44	8,430.91	-0.2%
Gateway Technical	1,264,339	1,317,278	1,954.57	1,994.95	2.1%
TOTAL	7,191,306	7,631,988	46,934.49	45,759.81	-2.5%
FIRST DOLLAR CREDIT			-79.18	-75.11	-5.1%
LOTTERY AND GAMING CREDIT			0.00	0.00	0.0%
NET PROPERTY TAX			46,855.31	45,684.70	-2.5%

TOTAL DUE: \$45,684.70
FOR FULL PAYMENT, PAY TO LOCAL TREASURER BY:
JANUARY 31, 2020

Warning: If not paid by due dates, installment option is lost and total tax is delinquent subject to interest and, if applicable, penalty.
Failure to pay on time. See reverse.

FOR INFORMATION PURPOSES ONLY • Voter Approved Temporary Tax Increases

Taxing Jurisdiction	Total Additional Taxes	Total Additional Taxes Applied to Property	Year Increase Ends	Taxing Jurisdiction	Total Additional Taxes	Total Additional Taxes Applied to Property	Year Increase Ends
---------------------	------------------------	--	--------------------	---------------------	------------------------	--	--------------------

PAY 1ST INSTALLMENT OF: \$22,842.36

PAY 2ND INSTALLMENT OF: \$22,842.34

PAY FULL AMOUNT OF: \$45,684.70

BY JANUARY 31, 2020

BY JULY 31, 2020

BY JANUARY 31, 2020

AMOUNT ENCLOSED _____

AMOUNT ENCLOSED _____

AMOUNT ENCLOSED _____

MAKE CHECK PAYABLE AND MAIL TO:

MAKE CHECK PAYABLE AND MAIL TO:

MAKE CHECK PAYABLE AND MAIL TO:

LAKE GENEVA CITY TREASURER
626 GENEVA ST
LAKE GENEVA, WI 53147

WALWORTH COUNTY TREASURER
100 W WALWORTH PO BOX 1001
ELKHORN, WI 53121

LAKE GENEVA CITY TREASURER
626 GENEVA ST
LAKE GENEVA, WI 53147

PIN# ZLM 00039
1640 LAKESHORE DRIVE LLC
BILL NUMBER: 450776

PIN# ZLM 00039
1640 LAKESHORE DRIVE LLC
BILL NUMBER: 450776

PIN# ZLM 00039
1640 LAKESHORE DRIVE LLC
BILL NUMBER: 450776



INCLUDE THIS STUB WITH YOUR PAYMENT



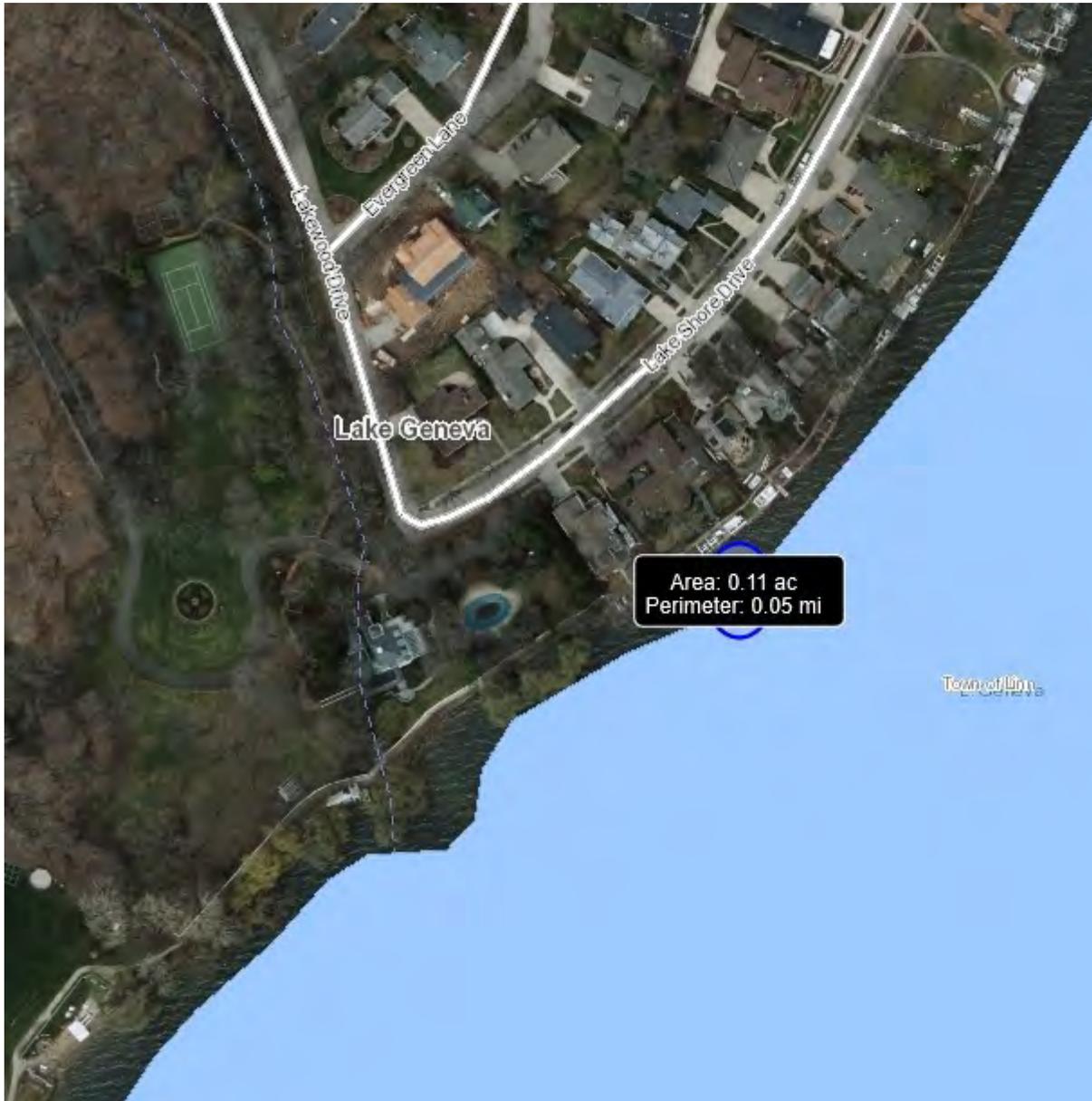
INCLUDE THIS STUB WITH YOUR PAYMENT



INCLUDE THIS STUB WITH YOUR PAYMENT



Surface Water Data Viewer Map



Legend

-  NRCS Wetspots
-  Maximum Extent Wetland Indicators
-  Wetland Restorations
-  Index to EN_Image_Basemap_Leaf_Off

0.1 0 0.03 0.1 Miles

NAD_1983_HARN_Wisconsin_TM

1: 1,980

DISCLAIMER: The information shown on these maps has been obtained from various sources, and are of varying age, reliability and resolution. These maps are not intended to be used for navigation, nor are these maps an authoritative source of information about legal land ownership or public access. No warranty, expressed or implied, is made regarding accuracy, applicability for a particular use, completeness, or legality of the information depicted on this map. For more information, see the DNR Legal Notices web page: <http://dnr.wi.gov/legal/>

Notes

Nelson, Brian – Neighbors

Matustik Family LP

Attn: Nancy Cooney

706 Warwick Dr.

Carol Stream, IL 60188-0000

Paul Lederer Trust

Joanne K Lederer Trust

1632 N. Lake Shore Drive

Lake Geneva, WI 53147



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, ST. PAUL DISTRICT
180 FIFTH STREET EAST, SUITE 700
ST. PAUL, MN 55101-1678

02/10/2020

Regulatory File No. MVP-2020-00244-MMG

THIS IS NOT A PERMIT

Jeff Reed
Reed's Construction, LLC
W3199 South Lake Shore Drive
Lake Geneva, WI 53147

Dear Mr. Reed:

We have received your submittal described below. You may contact the Project Manager with questions regarding the evaluation process. The Project Manager may request additional information necessary to evaluate your submittal.

File Number: MVP-2020-00244-MMG

Applicant: Brian Nelson

Project Name: Nelson / Pier

Project Location: Section 35 of Township 2 N North, Range 17 E, Walworth County, Wisconsin (Latitude: 42.5867207; Longitude: -88.4473087)

Received Date: 02/07/2020

Project Manager: Matthew Groshek
(651) 290-5732 X 5732
Matthew.M.Groshek@usace.army.mil

Additional information about the St. Paul District Regulatory Program, including the new Clean Water Rule, can be found on our web site at <http://www.mvp.usace.army.mil/missions/regulatory>.

Please note that initiating work in waters of the United States prior to receiving Department of the Army authorization could constitute a violation of Federal law. If you have any questions, please contact the Project Manager.

Thank you.

U.S. Army Corps of Engineers
St. Paul District
Regulatory Branch



State of Wisconsin

e-Payment Services

Your last visit was Thu 02/06/2020 12:54 PM CST

Confirmation

You must click the "Continue" button below in order to return to the state agency's website.

Please keep a record of your Confirmation Number, or [print this page](#) for your records.

Confirmation Number **WS2WT1004332197**

Payment Details

Description DNR Finance
DNR - Water Div Volume Permits
<http://dnr.wi.gov/epay/>

Payment Amount \$603.00

Payment Date 02/07/2020

Status SCHEDULED

Invoice Number WP-00021492

Reference Number WP-00021492

Payment Method

Account Nickname BMO checking

Bank Routing Number 071025661

Bank Name BMO HARRIS BANK, N.A.

Bank Account Number *3088

Bank Account Type Checking

Bank Account Category Business

Confirmation Email michele@reedsconstructionllc.com





May 7, 2020

IP-SE-2020-65-00411

Brian Nelson
21605 N. Tiffany Ct..
Kildeer, IL 60047

Dear Mr. Nelson:

The Department of Natural Resources has completed its review of your application for a permit to place a pier on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County. You will be pleased to know your application is approved.

I am attaching a copy of your permit, which lists the many important conditions that must be followed to protect water quality and habitat. A copy of the permit must be posted for reference at the project site. Please read your permit conditions carefully so that you are fully aware of what is expected of you.

Please note you are required to submit photographs of the completed project within 7 days after you've finished construction. This helps both of us to document the completion of the project and compliance with the permit conditions.

Your next step will be to notify me of the date on which you plan to start construction and again after your project is complete.

If you have any questions about your permit, please call me at (715) 628-0069 or email nicole.hays@wisconsin.gov.

Sincerely,

Nicole Hays
Water Management Specialist

cc: U.S. Army Corps of Engineers
Brad Wilson Recreation Warden, WDNR
Jeff Reed, Reed's Construction LLC

**STATE OF WISCONSIN
DEPARTMENT OF NATURAL RESOURCES**

**Pier PERMIT
IP-SE-2020-65-00411**

Brian Nelson is hereby granted under Section 30.12(3m), Wisconsin Statutes, a permit to place a pier on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the NE1/4 of the SE1/4 of Section 35, Township 02 North, Range 17 East, subject to the following conditions:

PERMIT

1. You must notify Nicole Hays at phone (715) 628-0069 or email nicole.hays@wisconsin.gov before starting construction and again not more than 5 days after the project is complete.
2. **You must complete the project as described on or before 5/08/2023.** If you will not complete the project by this date, you must submit a written request for an extension prior to expiration of the initial time limit specified in the permit. Your request must identify the requested extension date. The Department shall extend the time limit for an individual permit or contract for no longer than an additional 5 years if you request the extension before the initial time limit expires. You may not begin or continue construction after the original permit expiration date unless the Department extends the permit in writing or grants a new permit.
3. This permit does not authorize any permanent boat shelters. All canopies and boat shelters must comply with the standards in NR 326, Wisconsin Administrative Code & 30.01 (1c)(a), Wisconsin Statutes.
4. This permit does not authorize any work other than what you specifically describe in your application and plans, and as modified by the conditions of this permit. If you wish to alter the project or permit conditions, you must first obtain written approval of the Department.
5. Before you start your project, you must first obtain any permit or approval that may be required for your project by local zoning ordinances and by the U.S. Army Corps of Engineers. You are responsible for contacting these local and federal authorities to determine if they require permits or approvals for your project. These local and federal authorities are responsible for determining if your project complies with their requirements.
6. Upon reasonable notice, you shall allow access to your project site during reasonable hours to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance.
7. The Department may modify or revoke this permit for good cause, including if the project is not completed according to the terms of the permit or if the Department determines the activity is detrimental to the public interest.

8. You must post a copy of this permit at a conspicuous location on the project site, visible from the waterway, for at least five days prior to construction, and remaining at least five days after construction. You must also have a copy of the permit and approved plan available at the project site at all times until the project is complete.
9. Your acceptance of this permit and efforts to begin work on this project signify that you have read, understood and agreed to follow all conditions of this permit.
10. You must submit a series of photographs to the Department, within one week of completing work on the site. The photographs must be taken from different vantage points and depict all work authorized by this permit.
11. You, your agent, and any involved contractors or consultants may be considered a party to the violation pursuant to Section 30.292, Wis. Stats., for any violations of Chapter 30, Wisconsin Statutes, or this permit.
12. Construction shall be accomplished in such a manner as to minimize erosion and siltation into surface waters. Erosion control measures (such as silt fence and straw bales) must meet or exceed the technical standards of ch. NR 151, Wis. Adm. Code. The technical standards are found at:
http://dnr.wi.gov/topic/stormwater/standards/const_standards.html .
13. All equipment used for the project including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps shall be de-contaminated for invasive and exotic viruses and species prior to use and after use.

The following steps must be taken every time you move your equipment to avoid transporting invasive and exotic viruses and species. To the extent practicable, equipment and gear used on infested waters shall not be used on other non-infested waters.

1. **Inspect and remove** aquatic plants, animals, and mud from your equipment.
 2. **Drain all water** from your equipment that comes in contact with infested waters, including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps.
 3. **Dispose** of aquatic plants, animals in the trash. Never release or transfer aquatic plants, animals or water from one waterbody to another.
 4. **Wash your equipment** with hot (>140° F) and/or high pressure water,
- OR -
Allow your equipment to **dry thoroughly for 5 days**.
14. This permit must not interfere with the rights of other riparian owners.
 15. The method determined for the pier installation is that of the permit holder and not of the Department.

16. The pier must allow the free movement of water and must not entrap vegetation.
17. The pier must not enclose any portion of the navigable waterway.
18. Electrical, fueling, and waste handling facilities must comply with applicable safety and environmental protection regulations.
19. To place a mooring buoy further than 150 feet from shore you will need to apply for a Waterways Marker permit. Please contact DNR Recreational Warden Brad Wilson at (262) 374-8270 for additional information on this approval.

FINDINGS OF FACT

1. Brian Nelson has filed an application for a permit to place a pier/wharf on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the NE1/4 of the SE1/4 of Section 35, Township 02 North, Range 17 East.
2. The project consists of reconstructing the existing pier. The main pier will be 8' wide x 100' long. There will be a 4' x 50'5 1/2" catwalk with three 4' x 33' catwalks that will create the three slips. There will be a 10'x12' platform laterally attached to the main pier. There will be 11 new partially filled support cribs added to the lakebed under the pier.
3. The Department has completed an investigation of the project site and has evaluated the project as described in the application and plans.
4. Geneva Lake is a navigable water (and no bulkhead exists at the project site.)
5. The proposed project, if constructed in accordance with this permit will not adversely affect water quality, will not increase water pollution in surface waters and will not cause environmental pollution as defined in s. 283.01(6m), Wis. Stats.
6. The proposed project will not impact wetlands if constructed in accordance with this permit.
7. The Department of Natural Resources has determined that the agency's review of the proposed project constitutes an equivalent analysis action under s. NR 150.20(2), Wis. Adm. Code. The Department has considered the impacts on the human environment, alternatives to the proposed projects and has provided opportunities for public disclosure and comment. The Department has completed all procedural requirements of s. 1.11(2)(c), Wis. Stats., and NR 150, Wis. Adm. Code for this project.

8. The Department of Natural Resources has completed all procedural requirements and the project as permitted will comply with all applicable requirements of sections 30.12(3m), Wisconsin Statutes and Chapters NR 102, 103, 326 of the Wisconsin Administrative Code.

The applicant was responsible for fulfilling the procedural requirements for publication of notices under s. 30.208(5)(c)1m., Stats., and was responsible for publication of the notice of pending application under s.30.208(3)(a), Stats. or the notice of public informational hearing under s.30.208(3)(c), Stats., or both. S. 30.208(3)(e), Stats., provides that if no public hearing is held, the Department must issue its decision within 30 days of the 30-day public comment period, and if a public hearing is held, the Department must issue its decision within 20 days after the 10-day period for public comment after the public hearing. S. 30.208(5)(bm), Stats., requires the Department to consider the date on which the department publishes a notice on its web site as the date of notice.

9. The structure or deposit will not materially obstruct navigation because it will be placed at a similar distance and angle to other piers in the vicinity and vessels will be able to navigate around and waterward of the pier structure.
10. The structure or deposit will not be detrimental to the public interest because the pier will be placed using best management practices, does not exceed reasonable use thresholds for this property and will be of a same size and configuration to other piers on Geneva Lake.
11. The structure or deposit will not materially reduce the flood flow capacity of the Lake.

CONCLUSIONS OF LAW

1. The Department has authority under the above indicated Statutes and Administrative Codes, to issue a permit for the construction and maintenance of this project.

NOTICE OF APPEAL RIGHTS

If you believe that you have a right to challenge this decision, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions shall be filed. For judicial review of a decision pursuant to sections 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review shall name the Department of Natural Resources as the respondent.

To request a contested case hearing of any individual permit decision pursuant to section 30.209, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the

Department of Natural Resources, P.O. Box 7921, Madison, WI, 53707-7921. The petition shall be in writing, shall be dated and signed by the petitioner, and shall include as an attachment a copy of the decision for which administrative review is sought. If you are not the applicant, you must simultaneously provide a copy of the petition to the applicant. If you wish to request a stay of the project, you must provide information, as outlined below, to show that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment. If you are not the permit applicant, you must provide a copy of the petition to the permit applicant at the same time that you serve the petition on the Department.

The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30 day period for filing a petition for judicial review.

A request for contested case hearing must meet the requirements of section 30.209, Wis. Stats., and sections NR 2.03, 2.05, and 310.18, Wis. Admin. Code, and if the petitioner is not the applicant the petition must include the following information:

1. A description of the objection that is sufficiently specific to allow the department to determine which provisions of this section may be violated if the proposed permit or contract is allowed to proceed.
2. A description of the facts supporting the petition that is sufficiently specific to determine how the petitioner believes the project, as proposed, may result in a violation of Chapter 30, Wis. Stats.;
3. A commitment by the petitioner to appear at the administrative hearing and present information supporting the petitioner's objection.

If the petition contains a request for a stay of the project, the petition must also include information showing that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment.

Dated at Northern Region Headquarters (Rhinelander), Wisconsin on 5/08/2020.

STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES

For the Secretary

By  _____

Nicole Hays
Water Management Specialist

CITY OF LAKE GENEVA REGULAR COMMON COUNCIL MINUTES
MONDAY, JUNE 8, 2020 6:00 P.M.
LAKE GENEVA CITY HALL; COUNCIL CHAMBERS (MAIN LEVEL)

Members: Mayor Charlene Klein, Council President, Rich Hedlund, Council Vice President, John Halverson, Alderpersons: Tim Dunn, Mary Jo Fesenmaier, Cindy Flower, Ken Howell, Shari Straube, and Joan Yunker

Mayor Klein called the meeting to order at 6:00 p.m.

Alderperson Flower led the Council in the Pledge of Allegiance.

Roll Call

Present: Hedlund, Halverson, Dunn, Fesenmaier, Flower, Howell, Straube, and Yunker

Absent: None

Awards, Presentations, Proclamations, and Announcements

American Legion 4th of July Parade scheduled to occur July 4, 2020 at 10:00 a.m.

Mayor Klein noted that the American Legion will be holding their annual children's 4th of July parade. No action taken.

Re-consider business from previous meeting

Flower to reconsider 20-R40 Conditional Use Permit for Brian Nelson at the next Council meeting, second by Dunn.

Flower asked that this be reconsidered as she doesn't think that the Council has the right to deny this request. She would like to see this come back but that the applicant offer a map of where the other piers are. Motion carried 6-2, with Hedlund and Fesenmaier voting no.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes

Bob Kordus JR; Spoke in opposition of Lake Geneva City Hall being closed to the public.

Marc Klug; Spoke in favor of implementing spots at the beach that are for residents only.

Acknowledgement of Correspondence

None

Approve the Regular Council Minutes of May 26, 2020 and Special Council Minutes of May 28, 2020 as prepared and distributed

Motion by Hedlund to approve, second by Halverson. No discussion. Motion carried 8-0.

CONSENT AGENDA— Recommended by Finance, Licensing and Regulation on May 19, 2020. Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.

-Original application of Massage Establishment License for O'Mann Therapeutic Massage LLC

Motion by Howell to approve, second by Yunker. Clerk Kropf noted that this is located at the Project Veteran Muscle on Maxwell St. Motion carried 8-0 on a roll call vote.

Items removed from the Consent Agenda

None

Second Reading of Ordinance 20-04 An ordinance adding sub-sub-sub-subsection xiii to sub-sub-subsection 1c, Property Management Requirements, and amending sub-sub-sub-subsections i, ii, and iii of sub-sub-subsection 1e, Access and Inspections of sub-subsection (Y), Tourist Rooming House, of subsection (8) Accessory Land Uses, of Section 98-206, Detailed Land Use Descriptions and Regulations of Chapter 98: Zoning Ordinance, of the City of Lake Geneva Zoning Ordinance to amend provisions of the Short Term Rental Ordinance regarding making business records available, inspection of premises and the installation of Knox boxes

Motion by Flower to approve, second by Howell. Attorney Draper noted that the language in the ordinance would make the Knox boxes optional and this would ease the requirements for inspections. Motion carried 7-1, on a roll call vote with Fesenmaier voting no.

Discussion/Action regarding Resolution 20-R43 a resolution to ratify the Emergency Proclamation approved by the Chief Executive Officer Pertaining to the COVID-19 Pandemic and Declaration of Emergency

Motion by Howell to approve, second by Straube. Fesenmaier stated that the resolution is quite lengthy and noted that some items could be removed. Howell wondered if the Council would like to review this more and discuss at the next Finance, Licensing, and Regulation meeting. Fesenmaier asked if there have been any changes to the beach. Mayor Klein noted that there was a capacity change from 300 to 700, which is 25% of the beach capacity. She added that it has been increased slightly over the weekend and is based on employee discretion. Hedlund stated that he has issues with the limit on the beach and is wondering about the lines that are created from people having to wait. Flower stated that she does not want to see item relating to the sidewalk café permits removed without having some kind of conversation about shutting down some parking on Wrigley Drive.

Motion by Yunker to remove item #17 from Resolution 20-R43, second by Dunn.

Hedlund expressed concerns with removing this item as if there isn't something in place, then he fears that the restaurants will not be following the Walworth County best practices. Motion failed 3-5, with Hedlund, Halverson, Fesenmaier, Howell, and Straube voting no.

Flower noted that she has concerns with allowing this as she doesn't feel that people can safely walk on the sidewalks with the tables and chairs while maintaining social distancing. Fesenmaier stated that she would hope that if people are in a situation that social distancing cannot be maintained that they would wear a mask.

Motion by Flower to modify the last sentence of the by removing the statement: "including restricting general traffic through the space of outdoor dining areas", second by Straube. Motion carried 5-3, with Hedlund, Fesenmaier, and Howell voting no.

City Administrator Nord noted that the City staff is always looking at methods of potentially opening City Hall and that the extension of keeping the meetings virtual was recommended by the safety team.

Motion by Halverson to approve with amendments previously approved and that this be considered at the next Council meeting, second by Howell. Motion carried 8-0, on a roll call vote.

Discussion/Action regarding Resolution 20-R42 a resolution combining Polling Locations for the August 11, 2020 Partisan Primary Election

Motion by Howell to approve, second by Yunker. No discussion. Motion carried 8-0.

Discussion/Action regarding correspondence received of VISIT Lake Geneva in regards to the 2020 Concerts in the Park
Straube noted that she had talked to VISIT's Director about the cancellation and that this was canceled due to sponsors backing out of the event. Attorney Draper noted that there is an impossibility clause in the agreement with the City that states that if for reasons beyond their control they can cancel without ramifications.

Motion by Halverson to accept the cancellation of the Concerts of the Park series for 2020 from VISIT Lake Geneva without contractual ramifications, second by Straube. Motion carried 8-0, on a roll call vote.

Recommendation of the Finance, Licensing, and Regulation Committee of May 19, 2020 & June 2, 2020- Ald. Howell

Discussion/Action regarding Resolution 20-R38 amending City of Lake Geneva Fee Schedule as it relates to the short term rental permit application fee (Motion made at May 19, 2020 Finance, Licensing, and Regulation Committee Meeting: Motion by Hedlund to lower the short term rental fee to \$750, second by Yunker. Motion carried 3-2, with Halverson and Fesenmaier voting no. Council May 26, 2020: Motion by Fesenmaier to continue until the next Council meeting, second by Dunn. Motion carried 7-1, with Hedlund voting no.)
Motion by Howell to approve, second by Hedlund. Fesenmaier indicated that she feels that the fee should be higher to compensate for the costs associated with doing the inspections. Dunn noted that he would like to see the fee increased from \$750 and that the short term rentals be inspected more often. The City Attorney has indicated in the past that \$750 is a cost that is allowable by state statute. Motion carried 6-2 on a roll call vote, with Dunn and Fesenmaier voting no.

Discussion/Action regarding Pay Request #5 from MSI General INC for work completed on the Riviera Restoration Project in an amount not to exceed \$548,346.65

Motion by Howell to approve, second by Hedlund. No discussion. Motion carried 8-0, on a roll call vote.

Discussion/Acceptance of June 2, 2020 Finance, Licensing, and Regulation Committee Payment Approval Reports

Motion by Howell to accept, second by Halverson. No discussion. Motion carried 8-0.

Mayoral Appointments

Confirming the Citizen appointment of Cindy Forster Fueredi to the Board of Park Commissioners for a term to expire May 1, 2022

Mayor Klein stated that this appointment is to replace Ann Esarco on the Board, who recently resigned.

Motion by Straube to approve, second by Flower. Motion carried 8-0.

Adjournment

Motion by Flower to adjourn, second by Halverson. Motion carried 8-0. The meeting adjourned at 7:31 p.m.



CITY OF LAKE GENEVA MASSAGE ESTABLISHMENT APPLICATION

\$50.00 ANNUAL LICENSE FEE

EXPIRES JUNE 30TH EACH YEAR

Is Application: Original or Renewal

Application must be accompanied by the following documents:

1. \$50.00 License fee, payable to the City of Lake Geneva and due upon application
2. Copy of Applicant's Driver's License
3. A listing of the name and address of each Massage Technician employed or subcontracted by the establishment
4. Copy of each Massage Technician's Current and Valid State of Wisconsin Massage Therapist or Bodywork Therapist Certificate
5. Copy of each Massage Technician's Driver's License
6. If the applicant business is a corporation, include a report of the names and current addresses of all officers, directors, and stockholders owning more than 10% of stock in the corporation

BUSINESS INFORMATION

Trade Name: HEALING MUSCLE THERAPIES

Corporate Name (if applicable): _____

Business Address (Physical): 201 BROAD ST, SUITE D, LAKE GENEVA, WI 53147

Mailing Address (if different): _____

City, State, Zip: _____

Phone: 262-515-7035 Email: info@healingmt.com

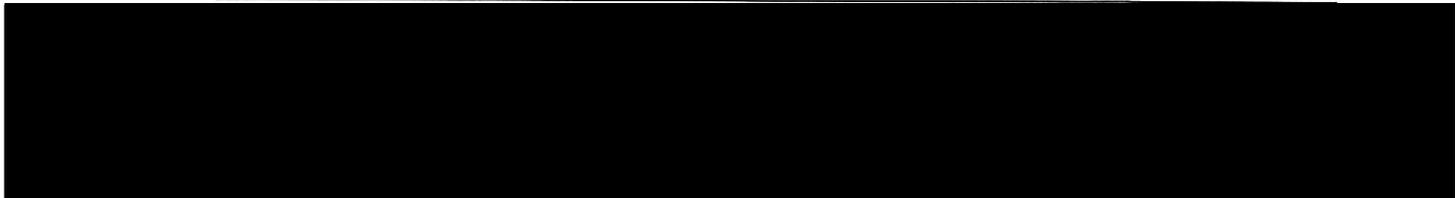
Please explain the nature of services to be provided: Massage Therapy Services.

(Deep Tissue, Relaxation, Salt-Stones, Thai Massage). Also Henna in warmer months, but NOT in 2020.

BUSINESS OWNER (APPLICANT) INFORMATION

(Marti) Please include information for all business owners

Full Name: MARTHA E. DOOLITTLE



Please provide names and addresses of any and all previous establishments where applicant was employed or subcontracted as a Massage technician during the last 3 years, including type of work performed and dates of employment:

N/A

Have you ever had a massage or similar license/permit revoked, suspended, or denied?

NO YES If yes, please explain: _____

Have you ever been arrested, charged, and/or convicted for any offense, other than misdemeanor traffic violations, in Wisconsin or any other state?

NO YES If yes, provide the offense, date, location, and disposition: _____

The undersigned hereby swears, under penalty of law, that the foregoing information provided in this application is true and correct to the best of his/her knowledge and belief.

APPLICANT SIGNATURE: Martha E. Drolittle Date: 5/21/20

For Office Use Only

Date Filed: 5/26/2020 Receipt #: 21.000060 Amt Paid: \$50.00
Forwarded to Police Dept: 5/26/2020 Background Completed: 5-31-20
Police Chief Recommendation: wt Approved Denied
Fingerprinting required for new establishments - Fingerprinted by LGPD: N/A
Forwarded to Building Dept: N/A Inspector approval required for new establishments
Building Inspector Recommendation: N/A Approved Denied
FLR/Council Approval Dates: _____ License #: _____
Verified: Stark MSI Notes/Conditions: _____

Copies to: Building & Zoning Police Chief Fire Chief



CITY OF LAKE GENEVA

MASSAGE ESTABLISHMENT APPLICATION

\$50.00 ANNUAL LICENSE FEE

EXPIRES JUNE 30TH EACH YEAR

Is Application: Original or Renewal

Application must be accompanied by the following documents:

1. \$50.00 License fee, payable to the City of Lake Geneva and due upon application
2. Copy of Applicant's Driver's License
3. A listing of the name and address of each Massage Technician employed or subcontracted by the establishment
4. Copy of each Massage Technician's Current and Valid State of Wisconsin Massage Therapist or Bodywork Therapist Certificate
5. Copy of each Massage Technician's Driver's License
6. If the applicant business is a corporation, include a report of the names and current addresses of all officers, directors, and stockholders owning more than 10% of stock in the corporation

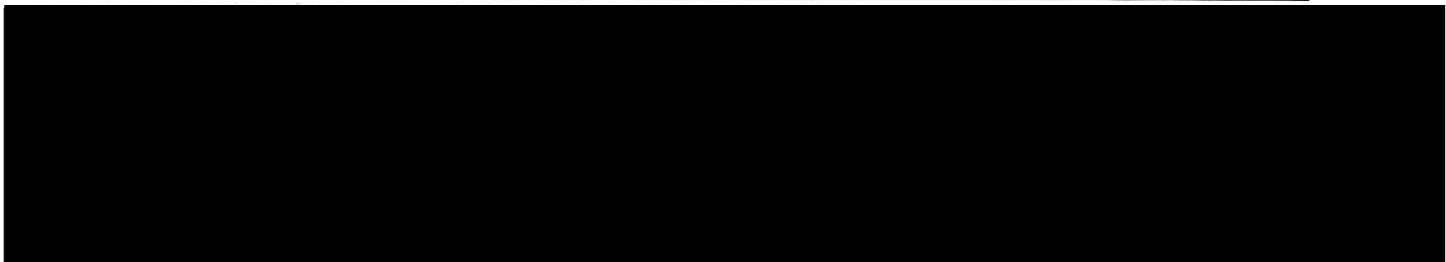
BUSINESS INFORMATION

Trade Name: Lake Geneva Massage Therapy
Corporate Name (if applicable): _____
Business Address (Physical): 905 Marshall St.
Mailing Address (if different): _____
City, State, Zip: Lake Geneva, WI 53147
Phone: 262-249-1230 Email: Lgmessage@yahoo.com
Please explain the nature of services to be provided: Massage Therapy

BUSINESS OWNER (APPLICANT) INFORMATION

Please include information for all business owners

Full Name: Mark W Mitchell & Barbara J Mitchell



Please provide names and addresses of any and all previous establishments where applicant was employed or subcontracted as a Massage technician during the last 3 years, including type of work performed and dates of employment:

N/A for either

Have you ever had a massage or similar license/permit revoked, suspended, or denied?

NO YES If yes, please explain: for either

Have you ever been arrested, charged, and/or convicted for any offense, other than misdemeanor traffic violations, in Wisconsin or any other state?

NO YES If yes, provide the offense, date, location, and disposition: for either

The undersigned hereby swears, under penalty of law, that the foregoing information provided in this application is true and correct to the best of his/her knowledge and belief.

APPLICANT SIGNATURE: Barbara Mitchell Date: 5-22-2020
Barbara Mitchell 5-22-2020
For Office Use Only

Date Filed: 5/26/2020 Receipt #: 21-000066 Amt Paid: 50.00
Forwarded to Police Dept: 5/26/2020 Background Completed: 5-31-20 87
Police Chief Recommendation: [Signature] Approved Denied
Fingerprinting required for new establishments - Fingerprinted by LGPD: N/A
Forwarded to Building Dept: N/A Inspector approval required for new establishments
Building Inspector Recommendation: N/A Approved Denied
FLR/Council Approval Dates: _____ License #: _____
Verified: Stark MSI Notes/Conditions: _____

Copies to: Building & Zoning Police Chief Fire Chief



CITY OF LAKE GENEVA

TAXI COMPANY LICENSE APPLICATION

Please Check:

- Original Application
- Renewal of Current License

Fees of \$50.00 for first car and \$25.00 per each additional car are due upon application

Annual License Expires June 30th each year

Please fill in all blanks completely, as incomplete applications will be rejected.

NOTE: Application must be accompanied by the following documents:

- Copy of policy of liability insurance covering all vehicles, insuring the licensee against loss from liability to the amount of \$300,000 for the injury or death of one or more persons and in the amount of \$100,000 for damage to property of others for any one accident due to negligent operation of vehicle.
- Copy of certificate of inspection signed by a reputable automobile mechanic or public garage owner certifying that the vehicle sought to be licensed is mechanically sound and in a thoroughly safe condition for the transportation of passengers and in clean, fit and good appearance.
- Taxi/Trolley Driver License Application(s) for any drivers who are not currently licensed with the City of Lake Geneva.

ANY APPLICATION SUBMITTED WITHOUT THE REQUIRED DOCUMENTATION SHALL BE CONSIDERED INCOMPLETE AND REJECTED.

BUSINESS INFORMATION

Business Name: Senior Cab

Bus. Address (Physical): W3098 Klinger Rd

Mailing Address (if different): _____

City, State, Zip: Lake Geneva, WI 53147

Bus. Phone: 262-949-8294 Fax: _____

E-Mail: larry.rygielski@att.net

Name of Liability Carrier: Associated Benefits and Risk Consulting

Policy Number: 008968860

BUSINESS OWNER/AGENT INFORMATION

Owner/Agent Name: Larry Ryscielski

Owner/Agent Address: W3099 Knoeger Rd

City, State, Zip: Lake Geneva, WI 53147

Phone: 262-949-8294

PLEASE ANSWER THE FOLLOWING QUESTIONS COMPLETELY

1. Have you been previously licensed to operate a taxicab company? YES NO

If Yes, please state where: Lake Geneva since 2004

2. Have you ever had a license revoked? YES NO

If Yes, please explain: OWS - Walworth County
24 years ago

TAXI VEHICLE INFORMATION

Total Number of Vehicles to be operated: 1

Vehicle #1		
<u>Dodge</u>	<u>Caravan</u>	<u>2007</u>
Make	Model	Year
<u>7</u>	<u>AFR 2791</u>	
Capacity	License Plate No.	
<u>1D4GP24R07B262293</u>	<u>19107DWS/063-9</u>	
VIN	Certificate of Title No.	

Vehicle #2		
Make	Model	Year
Capacity	License Plate No.	
VIN	Certificate of Title No.	

Vehicle #3		
Make	Model	Year
Capacity	License Plate No.	
VIN	Certificate of Title No.	

Vehicle #4		
Make	Model	Year
Capacity	License Plate No.	
VIN	Certificate of Title No.	

APPLICANT SIGNATURE

Larry Ryznar DATE: 5/22/20

For Office Use Only

Date Filed: <u>May 27, 2020</u>	Police Chief
Receipt No: <u>17000183</u>	Recommendation: <u>[Signature]</u>
Total Amount: <u>\$50</u>	Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/>
Forwarded to Police Chief: <u>May 27, 2020</u>	
Forwarded to City Attorney: _____	City Attorney Approval of Liability Insurance: _____
Verified: Stark <input type="checkbox"/> MSI <input type="checkbox"/>	
Notes: _____	
FLR Approval: _____	License Date: _____
Council Approval: _____	License Number: _____

VEHICLE SAFETY INSPECTION

Instructions: The licensee shall provide this form to the garage, dealership or auto repair shop to be completed by the inspector upon completion of the vehicle inspection. The licensee shall submit the completed form to the City Clerk.

Vehicle Owner/Agent Name
Senior Cab

Vehicle - Year <u>2007</u>	Make <u>Dodge</u>	Model <u>Caravan</u>	Color <u>white</u>	Odometer Reading <u>146904</u>	License Plate Number <u>AFR-2791</u>
Name - Inspecting Company or Agency <u>GLP Automotive</u>			Name - Inspector <u>Don Starchy</u>		Telephone Number <u>262 248 3560</u>
Address <u>N3314 Cty Hwy #</u>			City <u>Lake Geneva</u>	State <u>WI</u>	Zip Code <u>53147</u>

VEHICLE INSPECTION CHECKLIST

Item	Pass	Repair / Replace	Item	Pass	Repair / Replace
BRAKES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	SAFETY FEATURES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
1. Failure indicator light	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17. Turn signals operational	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. System integrity	<input checked="" type="checkbox"/>	<input type="checkbox"/>	18. Head lights	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Pedal reserve	<input checked="" type="checkbox"/>	<input type="checkbox"/>	19. Tail lights	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Disc / drum condition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	20. Brake lights	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Hoses and assembly	<input checked="" type="checkbox"/>	<input type="checkbox"/>	21. Horn	<input checked="" type="checkbox"/>	<input type="checkbox"/>
SUSPENSION	<input checked="" type="checkbox"/>	<input type="checkbox"/>	22. Windows / Windshield (cracks / chips)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Shock absorbers / struts	<input checked="" type="checkbox"/>	<input type="checkbox"/>	23. Front seat safety belts condition	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Springs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	24. Back seat safety belts condition	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Shackles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	25. Door locks operational	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Modifications	<input checked="" type="checkbox"/>	<input type="checkbox"/>	WIPERS / WIPER BLADES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
STEERING	<input checked="" type="checkbox"/>	<input type="checkbox"/>	26. Wipers operational	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Lash	<input checked="" type="checkbox"/>	<input type="checkbox"/>	27. Blades contact	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Free turning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	28. Blades condition	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. Linkage play	<input checked="" type="checkbox"/>	<input type="checkbox"/>	TIRES - FRONT	Lft	Rt
13. Power system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	29. Tread depth	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
EXHAUST SYSTEM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	30. Matching	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
14. Leaks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	31. Condition	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
15. Legal muffler	<input checked="" type="checkbox"/>	<input type="checkbox"/>	TIRES - REAR	Lft	Rt
16. Tailpipe	<input checked="" type="checkbox"/>	<input type="checkbox"/>	32. Tread depth	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
			33. Matching	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
			34. Condition	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Brief Comments - Refer to Item Number

SIGNATURE - Inspector Date - Inspection 3/3/2020

ORDINANCE OF THE COMMON COUNCIL

An ordinance amending Chapter 46: Nuisances, Article 1: General regulations, Section 46-4 Loud and unnecessary noise (b) and (c) to clarify types of noise and hours of quiet time and creating section 46-4 (c)(3) to define acceptable types and hours of construction noise

Committee	FLR to consider June 16,2020		
Fiscal Impact:	N/A		
File Number:	20-05	First Reading :	June 22, 2020
		Second Reading :	July 13, 2020

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain as follows:

1. Chapter 46 Article 1 Section 46-4 (b) and (c) of the City of Lake Geneva Municipal Code to read as follows:

46-4 (b)

Loud and/or unnecessary noise prohibited. It shall be unlawful for any person to make, continue or cause to be made or continued any loud and/or unnecessary noise between the hours of 9:00 PM and 7:00 AM on weekdays and between the hours of 9:00 PM and 8:00 AM on weekends.

46-4 (c)

Types of loud and/or unnecessary noises. The following acts are declared to be loud, disturbing and/or unnecessary noises in violation of this section, but this enumeration shall not be deemed to be exclusive:

46-4 (c)(3)

Construction or repair of buildings and/or streets. The erection (including excavation), demolition, alteration or repair of any building and/or street, as well as the operation of any pile driver, steam shovel, pneumatic hammer, derrick, steam or electric hoist, generator, compressor or any other similar equipment attended by loud or unusual noise, other than between the hours of 7:00 A.M. and 9:00 P.M. on weekdays and between the hours of 8:00 AM and 9:00 PM on weekends. However, the Building and Zoning Administrator or Director of Public Works shall have the authority, upon determining that the loss or inconvenience which would result to any party in interest would be extraordinary and of such nature as to warrant special consideration, to grant a permit for a period necessary within which time such work and operation may take place within the hours of 9:00 PM to 7:00 AM on weekdays and between the hours of 9:00 PM and 8:00 AM on weekends.

That this ordinance shall take effect upon passage and publication, as provided by law.

Approved by the City of Lake Geneva Common Council on this 22nd day of June, 2020.

Council Action: **Adopted** **Failed** **Vote** _____

Mayoral Action: **Accept** **Veto**

Charlene Klein, Mayor

Date

Attest:

Lana Kropf, City Clerk

Date

ORDINANCE OF THE COMMON COUNCIL

An ordinance amending Chapter 14: Building and Building regulations, Article II :Building code, Division 1: Generally, Section 14-31 (a) Administrative code and adding 14-31(c) Amendments and deleting section 14-32 Wisconsin Uniform Building Code and renaming section 14-33 scope of Article to Section 14-32 Scope of Article

Committee	FLR to consider June 16,2020		
Fiscal Impact:	N/A		
File Number:	20-06	First Reading :	June 22, 2020
		Second Reading :	July 13, 2020

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain as follows:

1. Chapter 14 Article II: Division 1 Section 14-31 (a) and 14-31(c) of the City of Lake Geneva Municipal Code to read as follows:
 - (a) **Adoption; inclusions. The Wisconsin Administrative Code is adopted and made a part of this chapter by reference as if fully set forth in this section. The adopted Code includes, but is not limited to, the following:**
 - (1) SPS Chapters 320--325, Wisconsin Uniform Dwelling Code.
 - (2) All commercial building codes adopted by State of Wisconsin commonly referred to as the "Commercial Building Code."
 - (3) SPS Chapters — 381-387, Of the Wisconsin Plumbing Code.
 - (4) Chapter SPS 316, and current adopted state national Electrical Code
 - (5) SPS Chapter 305 Licenses, Certifications and Registrations
 - (6) All other chapters of the Wisconsin Administrative Code applicable to the protection and maintenance of the public's health, safety and welfare.
 - (7) NFPA Fire Code
 - (c) **Amendments. All amendments to, changes and interpretations of the Wisconsin Uniform Dwelling Code shall hereby be adopted as of their effective date of issuance or publication, unless such amendment, change or interpretation is more restrictive than applicable provisions of the Wisconsin Administrative Code.**
Sec. 14-32 Scope of article.

The codes adopted in this article apply to construction and inspection procedures used for all construction of new buildings and additions to or alterations of existing buildings.

That this ordinance shall take effect upon passage and publication, as provided by law.

Approved by the City of Lake Geneva Common Council on this 22nd day of June, 2020.

Council Action: **Adopted** **Failed** **Vote** _____

Mayoral Action: **Accept** **Veto**

Charlene Klein, Mayor

Date

Attest:

Lana Kropf, City Clerk

Date

RESOLUTNON NO-20-R51

**CITY.OF LAKE GENEVA
AD HOC COMMITTEE ON RIVIERA RENOVATIONS**

WHEREAS, the Section 2-233 of Article of the City of Lake Geneva Municipal Code was created to allow the appointment of Ad Hoc Committees; and

WHEREAS, the Mayor with the approval of the City Council may establish Ad HOC Committees by resolution from time to time and shall terminate automatically six months after their establishment, unless their terms are extended by the Council; and

WHEREAS, there is a need to form an Ad Hoc Committee to review and recommend renovations to the Riviera Building, and

WHEREAS, the Riviera is a historical treasure located in the City of Lake Geneva and the decisions to be made involve more than construction decisions to be made by the Public Works Committee, and

WHEREAS, the historical significance of the building involves input from citizens of the City of Lake Geneva and professionals from a variety of disciplines;

WHEREAS, Mayor Charlene Klein has requested the composition of this committee to be made up of the Mayor, a Historian, the Director of Public Works, a member or the Historic Preservation Commission, a person knowledgeable about fundraising, a member of the Piers and Harbors Committee, a member of the Public Works Committee, and architectural consultant, an interior design consultant, and three citizens, and

WHEREAS, the tasks shall include but not be limited to determining the vision for the Riviera and the scope of responsibility regarding any existing contracts, determination of priorities for the building including essential/public safety renovations that need to be addressed and a timeline for completion of those items, determination of available funding to complete various renovations, future funding sources, and determination of nonessential or renovations not involving public safety, keeping in mind the historical significance of each renovation, and

WHEREAS, Mayor Charlene Klein hereby appoints the following people to serve on the

ad hoc committee:

Mayor Klein - Chairman
Historian – David Desimone
Director of Public Works – Tom Earle
Public Works Committee Member - TBD
Citizen – Carrol Pearson
Citizen - TBD
Citizen - TBD
Fundraising – Fred Gahl
Piers, Harbors, and Lakefront Committee Member – TBD
Architectural Consultant – TBD
Interior Design Consultant – TBD

NOW, THEREFORE, BE IT RESOLVED that pursuant to City of Lake Geneva Municipal Code Section 2-233, The City of Lake Geneva does hereby create an Ad Hoc Committee on Riviera Renovations composed of the individuals as set forth above and charged with the duties as set forth above.

Dated this 22nd day of June 2020

Charlene Klein, Mayor

Attest:

Lana Kropf, City Clerk

Original Alcohol Beverage Retail License Application

(Submit to municipal clerk.)

For the license period beginning: 07/01/2020 ending: 07/30/2021
(mm dd yyyy) (mm dd yyyy)

To the Governing Body of the: Town of } LAKE GENEVA
 Village of }
 City of }

County of WALWORTH Aldermanic Dist. No. n/a
(if required by ordinance)

Check one: Individual Limited Liability Company
 Partnership Corporation/Nonprofit Organization

Applicant's Wisconsin Seller's Permit Number 456-1029849437- <u>DA</u>	
FEIN Number 84-4884871	
TYPE OF LICENSE REQUESTED	FEE
<input type="checkbox"/> Class A beer	\$
<input checked="" type="checkbox"/> Class B beer	\$ 100
<input checked="" type="checkbox"/> Class C wine	\$ 100
<input type="checkbox"/> Class A liquor	\$
<input type="checkbox"/> Class A liquor (cider only)	\$ N/A
<input type="checkbox"/> Class B liquor	\$
<input type="checkbox"/> Reserve Class B liquor	\$
<input checked="" type="checkbox"/> Class B (wine only) winery	\$
Publication fee	\$ 25
TOTAL FEE	\$ 225

Name (individual / partners give last name, first, middle; corporations / limited liability companies give registered name)
RLKL company Inc

An "Auxiliary Questionnaire," Form AT-103, must be completed and attached to this application by each individual applicant, by each member of a partnership, and by each officer, director and agent of a corporation or nonprofit organization, and by each member/manager and agent of a limited liability company. List the full name and place of residence of each person.

President / Member Last Name	(First)	(Middle Name)	
LEI	RANSI		
Vice President / Member Last Name	(First)	(Middle Name)	
LEI	KELLY	B	
Secretary / Member Last Name	(First)	(Middle Name)	
LEI	JIANMING		
Treasurer / Member Last Name	(First)	(Middle Name)	
LEI	JIANMING		
Agent Last Name	(First)	(Middle Name)	
LEI	RANSI		
Directors / Managers Last Name	(First)	(Middle Name)	
SAME AS AGENT			

1. Trade Name Suwing's Chinese Restaurant Business Phone Number 262-248-1178
 2. Address of Premises 743 NORTH STREET Post Office & Zip Code LAKE GENEVA WI 53147

3. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, consumption, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.)
BAR, BACK ROOM, DINING ROOM, OFFICE, KITCHEN, Dive through

4. Legal description (omit if street address is given above): _____

5. (a) Was this premises licensed for the sale of liquor or beer during the past license year? Yes No
 (b) If yes, under what name was license issued? CLASS B BEER, RESERVE CLASS B LIQUOR - Suwings

6. Is individual, partners or agent of corporation/limited liability company subject to completion of the responsible beverage server training course for this license period? **If yes, explain** Yes No
 KELLY B. LEI, RANSI LEI, AND JIANMING LEI

7. Is the applicant an employe or agent of, or acting on behalf of anyone except the named applicant? Yes No
If yes, explain.

8. Does any other alcohol beverage retail licensee or wholesale permittee have any interest in or control of this business? **If yes, explain** Yes No

9. (a) **Corporate/limited liability company applicants only:** Insert state _____ and date _____ of registration.
- (b) Is applicant corporation/limited liability company a subsidiary of any other corporation or limited liability company? **If yes, explain** Yes No

- (c) Does the corporation, or any officer, director, stockholder or agent or limited liability company, or any member/manager or agent hold any interest in any other alcohol beverage license or permit in Wisconsin? **If yes, explain.** Yes No

10. Does the applicant understand they must register as a Retail Beverage Alcohol Dealer with the federal government, Alcohol and Tobacco Tax and Trade Bureau (TTB) by filing (TTB form 5630.5d) before beginning business? [phone 1-877-882-3277] Yes No
11. Does the applicant understand they must hold a Wisconsin Seller's Permit? [phone (608) 266-2776] Yes No
12. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers, breweries and brewpubs? Yes No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signer. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000. Signer agrees to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants, or one member of a partnership applicant must sign; one corporate officer, one member/manager of Limited Liability Companies must sign.) Any lack of access to any portion of a licensed premises during inspection will be deemed a refusal to permit inspection. Such refusal is a misdemeanor and grounds for revocation of this license.

Contact Person's Name (Last, First, M.I.) Lei Jianming	Title/Member Secretary	Date 04/27/20
Signature Jianming Lei	Phone Number [REDACTED]	Email Address [REDACTED]

TO BE COMPLETED BY CLERK

Date received and filed with municipal clerk	Date reported to council / board	Date provisional license issued	Signature of Clerk / Deputy Clerk
Date license granted	Date license issued	License number issued	

Renewal Alcohol Beverage License Application

Submit to municipal clerk. Read instructions on reverse side.

For the license period beginning: 07/01/2020 ending: 06/30/2021
(MM DD YYYY) (MM DD YYYY)

TO THE GOVERNING BODY of the: Town of }
 Village of } Lake Geneva
 City of }

County of Walworth Aldermanic Dist. No. N/A (if required by ordinance)

CHECK ONE Individual Partnership Limited Liability Company
 Corporation/Nonprofit Organization

Applicant's WI Seller's Permit No.: 456102699377803		FEIN Number: 13-4282545	
LICENSE REQUESTED			
TYPE		FEE	
<input type="checkbox"/>	Class A beer	\$	
<input checked="" type="checkbox"/>	Class B beer	\$	100-
<input type="checkbox"/>	Class C wine	\$	
<input type="checkbox"/>	Class A liquor	\$	
<input type="checkbox"/>	Class A liquor (cider only)	\$	N/A
<input checked="" type="checkbox"/>	Class B liquor	\$	500-
<input type="checkbox"/>	Reserve Class B liquor	\$	
<input type="checkbox"/>	Class B (wine only) winery	\$	
Publication fee		\$	25-
TOTAL FEE		\$	625-

pd 4/24/20

Complete A or B. All must complete C.

A. Individual or Partnership:
Full Name(s) (Last, First and Middle Name) Caravette, Daniel Christopher
Home Address [REDACTED]
Post Office & Zip Code [REDACTED]

B. Full Name of Corporation/Nonprofit Organization/Limited Liability Company Samson Enterprises, LLC
 Address of Corporation/Limited Liability Company (if different from licensed premises) [REDACTED]
 All Officer(s) Director(s) and Agent of Corporation and Members/Managers and Agent of Limited Liability Company:

Title	Name (Inc. Middle Name)	Home Address	Post Office & Zip Code
President/Member	Member Daniel Christopher Caravette	[REDACTED]	[REDACTED]
Vice President/Member			
Secretary/Member			
Treasurer/Member			
Agent	Michelle Michalek Norgard		
Directors/Managers			

- C. 1. Trade Name NORTHSIDERS LAKE GENEVA Business Phone Number _____
 2. Address of Premises 642 W Main Street, Lake Geneva WI Post Office & Zip Code 53147
 3. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers, breweries and brewpubs? Yes No
 4. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, consumption, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) Restaurant, Bar, Patio, Basement storage - See Maps
 5. Legal description (omit if street address is given above): _____
 6. a. Since filing of the last application, has the named licensee, any member of a partnership licensee, or any member, officer, director, manager or agent for either a limited liability company licensee, corporation licensee, or nonprofit organization licensee been **convicted of any offenses** (excluding traffic offenses not related to alcohol) for violation of any federal laws, any Wisconsin laws, any laws of other states, or ordinances of any county or municipality? **If yes, complete reverse side** Yes No
 b. Are **charges for any offenses** presently **pending** (excluding traffic offenses not related to alcohol) against the named licensee or any other persons affiliated with this license? **If yes, explain fully on reverse side** Yes No
 7. Except for questions 6a and 6b, have there been any changes in the answers to the questions as submitted by you on your last application for this license? **If yes, explain.** Yes No
 8. Was the profit or loss from the sale of alcohol beverages for the previous year reported on the Wisconsin Income or Franchise Tax return of the licensee? If not, explain. Yes No
 9. Does the applicant understand they must hold a Wisconsin Seller's Permit? [phone (608) 266-2776] Yes No
 10. Does the applicant understand that alcohol beverage invoices must be kept at the licensed premises for 2 years from the date of invoice and made available for inspection by law enforcement? Yes No
 11. Is the applicant indebted to any wholesaler beyond 15 days for beer or 30 days for liquor? Yes No

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the undersigned states that each of the above questions has been truthfully answered to the best of the knowledge of the signer. The signer agrees that he/she is the person named in the foregoing application; that the applicant has read and made a complete answer to each question, and that the answers in each instance are true and correct. The undersigned further understands that any license issued contrary to Chapter 125 of the Wisconsin Statutes shall be void, and under penalty of state law, the applicant may be prosecuted for submitting false statements and affidavits in connection with this application. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000.

[Signature]
 (Officer of Corporation / Member / Manager of Limited Liability Company / Partner / Individual)

TO BE COMPLETED BY CLERK

Date received and filed with municipal clerk <u>April 24, 2020</u>	Date reported to council/board	Date license granted
License number issued	Date license issued	Signature of Clerk / Deputy Clerk

CITY OF LAKE GENEVA

626 GENEVA STREET
LAKE GENEVA, WISCONSIN 53147
(262) 248-3673 • Fax (262) 248-4715



June 17, 2020

Samson Enterprises, Inc.
c/o Michelle Norgard & Daniel Caravette
642 Main Street
Lake Geneva, WI 53147

VIA PERSONAL SERVICE

RE: "Class B" Retail License for the Sale of Fermented Malt Beverages and Intoxicating Liquors Issued to Samson Enterprises, LLC d/b/a Northsiders Lake Geneva

Dear Mr. Caravette and Ms. Norgard:

Please be advised that at a meeting of the Finance License and Regulation held on June 2, 2020, the committee recommended to the City Council of the City of Lake Geneva that the above referenced liquor license issued to Samson Enterprises, LLC d/b/a Northsiders Lake Geneva not be renewed for the period commencing July 1, 2020. It is alleged that you are in violation of Wisconsin State Statute 125.12(2) and City of Lake Geneva Municipal Code Section 6-55(f) for not using the liquor license for 90 consecutive days. Specifically, it is alleged that you were closed from a consecutive period between October 2019 through February 2020. Pursuant to City of Lake Geneva Municipal Code Section 6-35, a copy of the motion recommending nonrenewal of the license is attached.

If you would like to be heard on this recommendation at the City Council Meeting of June 22, 2020, at 6:00 PM, please notify the City Clerk as soon as possible at (262) 249-4092 and she will provide you directions on how to access the City Council meeting so that you will be able to present evidence and witnesses to refute the recommendations by the Finance License and Regulation Committee. The City is prepared to present evidence from their police department and the utility department to demonstrate the nonuse of the liquor license between October 1, 2019 and March 1, 2020. If you do not appear, the City Council may act on the information presented at the meeting and not renew the license.

If you should have any further questions regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel S. Draper".

Daniel S. Draper
Attorney
Ddraper@bodlaw.net

DSD:sb
Enclosure

Discussion/Recommendation regarding a Renewal "Class B" Intoxicating Liquor and Class "B" Fermented Malt Beverage License Application filed by Samson Enterprises LLC, Northsider's, 642 W Main St, Michelle Norgard, Agent- *Chief Rasmussen not approve on the renewal application*
Motion by Howell to deny, second by Hedlund. Howell stated that he wanted to deny this based on the fact that this business has not been open for several months. Motion carried 5-0.



Lake Geneva Police Department
626 Geneva St.
Lake Geneva WI 53147
Phone: (262) 248-4455

Call Simple Lists

Printed On: 06/12/20 13:12

Lake Geneva							
Call#	Reported Date	CAD CFS	Location	Common Name	Disp	Unit#	Officer(s)
20-004841	04/16/20 22:55	Building Check	642 W Main St,BLDG;LG	Northsiders Lake Geneva,BLDG	FI	721	348



Case #: 147

Case Date: 01/31/19

Complainant Name: City of Lake Geneva

Complainant Address:

Address of Violation: 642 W Main St

Description: Snow Removal

Status: Open

Property

Parcel #	Address	Legal Description	Owner Name	Owner Phone	Zoning
ZOP00305	642 W MAIN ST		642 MAIN STREET LLC		CB

Activities

Date	Activity Type	Description	Employee	Status
01/31/2019	Initial Phone Call	Spoke with Michelle Norgard at shoveled by 2/1/2019	Jim Flower	Assigned

Violations

Date	Violation	Description	Notes	Status
01/31/2019	Section 62-223. Removal; sidewalks to be kept clear.	<p>(a) The owner or occupant of any parcel or lot not located in the Central Business District shall remove all snow and ice which may have fallen or accumulated upon the entire width of the sidewalk in front of or abutting to the premises which he owns or occupies no later than 24 hours after the snow and ice has ceased to fall or accumulate. The owner or occupant of property in the Central Business District shall remove all snow and ice which may have fallen or accumulated upon the entire width of the sidewalk in front of or abutting to the premises which he owns or occupies no later than 12 hours after snow and ice has ceased to fall or accumulate. The owner or occupant of property abutting sidewalks on two intersecting streets shall remove all snow and ice from the sidewalks of both streets, including the portion of the sidewalks bordering the crosswalk, including the entire width of the curb ramp to the gutter line, at all times providing a clear path of travel from the curb ramp to the street crosswalk. In the event snow and ice has so formed upon</p> <p>(b)</p> <p>(c) any sidewalk that it cannot be removed, the owner or occupant shall keep the snow and ice effectively treated with sand, salt or other suitable substance in such manner as to prevent the ice from being dangerous, until such time as it can be removed, and then it</p>	Please remember to shovel all sidewalks adjoining your property. This is necessary to ensure the requirements of the Americans with Disabilities Act. Your future cooperation in this matter will be greatly appreciated. Failure to do so will result in fines being assessed to your property.	Open

shall be promptly removed. Any person violating any of the provisions of this section shall be subject to a forfeiture of not less than \$20 nor more than \$30 for a first offense and not less than \$30 nor more than \$50 for any subsequent offense. Each twenty-four-hour period any violation of this section continues shall cause a separate offense.



Case #: 210

Case Date: 06/12/19

Complainant Name: Citizen

Complainant Address:

Address of Violation: 642 W Main St.

Description: Blighted Property

Status: Open

Property

Parcel #	Address	Legal Description	Owner Name	Owner Phone	Zoning
ZOP00305	642 W MAIN ST		642 MAIN STREET LLC		CB

Violations

Date	Violation	Description	Notes	Status
06/12/2019	Section 46-3. Blighted buildings and premises.	Premises existing within the city which are blighted because of faulty design or construction, failure to maintain them in a proper state of repair, improper management or due to the accumulation thereon of junk or other unsightly debris, which includes, but is not limited to, the outdoor storage of inoperable or unlicensed automobiles, trucks, buses or tractors, automobile parts, machinery or machinery parts, refrigerators, furnaces, washing machines, stoves, dryers, wood, bricks, cement blocks or other building materials or other items determined by the Building Inspector, structurally unsound fences and other items which depreciate property values and jeopardize or are detrimental to the health, safety, morals or welfare of the people of the City.	It has come to the attention of the City that there is garbage, debris and equipment that has accumulated on and around your property. The grass is also reaching the 12" height limit. Please remove the garbage and debris from the property immediately. This includes any debris present on the shore of the lagoon adjacent to your property.	Open

Uploaded Files

Date	File Name
06/12/2019	5185209-20190612_122212.jpg
06/12/2019	5185210-20190612_122234.jpg
06/12/2019	5185206-20190612_121537.jpg
06/12/2019	5185207-20190612_121540.jpg
06/12/2019	5185208-20190612_121552.jpg
06/12/2019	5185205-20190612_121528.jpg
06/12/2019	5185204-20190612_121506.jpg



Permit #: 20200507

Permit Date: 06/02/20

Permit Requested*: Electrical

Applicant Name*: Northsiders

Project Address: 642 W Main Street

City, State, Zip: Lake Geneva

Phone Number:

Description: Electrical wiring for outside

Project Cost: 0.00

Total Square Feet: 0

Status: Open

Permit Issued By*: Fred Walling

Occupancy: Commercial

State Seal Number*: WI

Project: Alteration

Permit Issued Date*: 06/02/2020

Type of Use: Commercial

Improvement: Alteration

Electric Service:

Property

Parcel #	Address	Legal Description	Owner Name	Owner Phone	Zoning
ZOP00305	642 W MAIN ST		642 MAIN STREET LLC		CB

Contractors

Contractor	Primary Contact	Phone	Address	Contractor Type	License	License #
Richard Koehnke	Richard Koehnke			Electrical	Registered Master Electrician	252227

Fees

Fee	Description	Notes	Amount
Commercial Electrical Minimum			\$150.00
Total			\$150.00

Payments

Date	Paid By	Description	Payment Type	Accepted By	Amount
06/02/2020	Eleven North LLC		Check/2233	Brenda Follensbee	\$150.00
Outstanding Balance					\$0.00

Uploaded Files

Date	File Name
------	-----------



Permit #: 20181036

Permit Date: 11/20/18

Permit Requested*: Zoning

Applicant Name*: Michelle Norgard

Project Address: 642 W Main St.

City, State, Zip: Lake Geneva WI. 53147

Phone Number:

Description: New Sign

Project Cost: 0.00

Total Square Feet: 0

Status: Open

Permit Issued By*: James Flower

Occupancy: Commercial

State Seal Number*:

Project: Alteration

Permit Issued Date*: 11/20/2018

Type of Use: Commercial

Improvement: Alteration

Electric Service:

Property

Parcel #	Address	Legal Description	Owner Name	Owner Phone	Zoning
ZOP00305	642 W MAIN ST		642 MAIN STREET LLC		CB

Contractors

Contractor	Primary Contact	Phone	Address	Contractor Type	License	License #
Owner			See contact information			

Fees

Fee	Description	Notes	Amount
Sign Permit			\$60.00
Total			\$60.00

Payments

Date	Paid By	Description	Payment Type	Accepted By	Amount
11/20/2018	Michelle Norgard		cash	James Flower	\$60.00
Outstanding Balance					\$0.00

Uploaded Files

Date	File Name
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RESOLUTION OF THE COMMON COUNCIL			
Resolution to ratify the Emergency Proclamation approved by the Chief Executive Officer Pertaining to the COVID-19 Pandemic and Declaration of Emergency			
Committee:	N/A		
Fiscal Impact:	N/A		
File Number:	20-R43	Date:	June 8, 2020

WHEREAS, an emergency, namely the COVID-19 Pandemic, has impacted or is anticipated to impact the City of Lake Geneva, Wisconsin; and

WHEREAS, pursuant to sections 323.11 and 323.14(4)(b) of the Wisconsin Statutes, Tom Hartz, as the chief executive officer of the City of Lake Geneva, Wisconsin, proclaimed a state of emergency in effect from March 16, 2020 until the Council could meet; and

WHEREAS, there continues to be a public health emergency as a result of the COVID-19 Pandemic and continued measures must be taken to protect the public health and welfare of the citizens of the City of Lake Geneva, the employees of the City of Lake Geneva, and the many people who visit our city,

NOW, THEREFORE BE IT RESOLVED that pursuant to sections 323.11 and 323.14 of the Wisconsin Statutes hereby ratify Mayor Charlene Klein’s Ninth Amended Proclamation of State of Emergency and adopt as their own Proclamation of State of Emergency the following provisions to address the continuing public health emergency:

1. The Mayor will use her best efforts to meet with the City Administrator and City Department Heads to discuss and coordinate a City response to new CDC, Walworth County Health Department, State of Wisconsin COVID-19 information, proclamations, recommendations, and requirements to protect all City residents provided the conditions allow such meetings.
2. All City meetings will be conducted virtually. The public will be able to access and observe all meetings by the communications and technology made available and posted by the City Clerk in the agendas for such meetings. The public will not be allowed into City Hall for meetings until the State of Emergency expires, is rescinded or altered by future proclamations by state, county or municipal authorities.
3. Recommend that whenever in person staff meetings are required, there be created a “socialization distance” of 6 feet, however staff is encouraged to utilize the technology available to conduct such meetings virtually.
4. Recommend that all standing committees and the boards and commissions set forth below conduct meetings virtually and utilize all the technology and equipment available in the City Hall Council Chambers.

5. All City meetings except for City Council, Plan Commission, Utility Commission, Police & Fire Commission and City of Lake Geneva Standing Committees be postponed.

6. Recommend that Department Heads adopt procedures to limit employees' direct contact with the public.

7. Encourage all residents of the City of Lake Geneva comply with Federal and State guidelines and recommendations for maintaining personal and occupational health.

8. Release the Security Deposits of all scheduled private and public events at the Riviera that were cancelled because they exceeded Governor Evers' public gathering limit of 10 people or may be required to cancel because of future limitations imposed by the city, county, or state officials in response to the Covid-19 Pandemic.

9. Authorize emergency purchases of goods and materials.

10. Authorize emergency purchases of services.

11. Authorize emergency costs to the labor force.

12. Authorize the Mayor to take any further necessary actions to protect the health, safety and public welfare of the citizens of the City of Lake Geneva in those instances the City Council is unable to meet with promptness to address any issues requiring immediate attention.

13. City Hall will be closed to the public for all walk-in city business. The City Clerk will provide means for the public and any vendors to conduct business through the mail, electronically, or by phone. If face to face business is required, appointments must be made with appropriate City personnel. The City Administrator of Lake Geneva is to work with leadership staff of the City of Lake Geneva Departments to identify and carry out best practices (in accordance with guidelines by the CDC, Walworth County Health Department and the Wisconsin Economic Development Corporation) to operate city departments and city facilities in an efficient manner and in a manner to protect the health and welfare of employees and the public and develop a plan to eventually open city buildings and facilities in a responsible manner and time frame using best practices outlined above.

14. The Lake Geneva Fire Department located at 730 Marshall Street will be closed April 7, 2020 as a polling place to protect the health of our first responders. City Hall located at 626 Geneva Street will be the sole polling place for Aldermanic Districts I, II, III, and IV for future elections until this emergency proclamation expires or is rescinded by the City Council.

15. Playground equipment in city parks will remain closed until an effective means is available to sanitize the equipment.

16. Because of the economic effects of various emergency orders put in place since, March 12th, 2020, and to provide economic relief for our downtown businesses during the pendency of this Ninth Amended Proclamation of State of Emergency (until it expires, is amended or is rescinded), the provisions of Section

98-206(8)(f) of the City of Lake Geneva Zoning Code are relaxed to allow the placement of merchandise for sale in those areas designated for "Sidewalk Furnishings" as set forth in Section 62-67(9), of the Municipal Code of the City of Lake Geneva, Wisconsin.

17. That sidewalk café permits granted to restaurants and businesses selling confectionary goods and frozen creamery goods as authorized by Sections 62-67(6) and (8) of the Municipal Code of the City of Lake Geneva are modified to provide that all tables placed in the City right of way under current permits shall be placed so that Walworth County best practices for social distancing are implemented in the sidewalk café permits.

This Proclamation shall take effect immediately and shall continue in effect until June 30th, 2020 at 11:59 p.m. or such earlier time as a quorum of the Governing Body convenes and rescinds or alters the Proclamation.

Granted by action of the Common Council of the City of Lake Geneva this 8th day of June, 2020.

Council Action: Adopted Failed Vote 8-0

Mayoral Action: Accept Veto

Charlene Klein 6-8-2020
Charlene Klein, Mayor Date

Attest:
Lana Kropf 6/8/2020
Lana Kropf, City Clerk Date

RESOLUTION OF THE COMMON COUNCIL

Authorizing and directing the proper city official(s) to issue the Liquor License renewals for the period of July 1, 2020, to June 30, 2021

Committee Action: Finance, Licensing, and Regulation Committee to consider June 2, 2020

Fiscal Impact: Class A Beer=\$100; Class A Liquor=\$500; Class B Beer & Liquor=\$600; Class C Wine=\$100; Publication fee=\$20

File Number: 20-R44

Date Introduced: June 22, 2020

WHEREAS the City Clerk’s office has received applications for Liquor License renewals for the period of July 1, 2020, to June 30, 2021, for the following businesses:

Combination “Class A” Intoxicating Liquor & Class “A” Fermented Malt Beverage:

- Cove Condominium Association Inc d/b/a The Cove of Lake Geneva (Gift Shop), 111 Center St, Patrick McCarthy, Agent
- Kwik Trip Inc d/b/a Kwik Trip 219, 710 Williams St, Laura Meinen, Agent
- Maya Geneva Inc d/b/a Maya Geneva Inc, 605 Williams St, Wayne Schwartz, Agent
- Walgreen Co. d/b/a Walgreens #05600, 351 Edwards Blvd, Suzanne Tiedke, Agent
- Quick and Save LLC d/b/a Quick and Save, 1231 Grant St, Pradip Patel, Agent
- Stinebrinks Lake Geneva Foods LLC d/b/a Stinebrink’s Piggly Wiggly, 100 East Geneva Sq, Mark Stinebrink, Agent
- Walmart Stores INC d/b/a Walmart Store #910, 201 S Edwards Blvd, Rebecca Edwards, Agent
- Target Corp d/b/a Target Store T2348, 660 N Edwards Blvd, Katherine Johnson, Agent
- StopNGo of Madison INC d/b/a StopNGo Store # 265, 896 Wells St, Andrew Bowman, Agent
- New World Wine Shop INC d/b/a New World Wine Shop, 830 W Main St Suite G, Jerry Sibbing, Agent
- Kelley Williamson Company d/b/a Kelley’s Market, 350 N Edwards Blvd, Suzanne Dorsey-Sterling, Agent
- Queso LLC d/b/a The Cheese Box, 801 S Wells St, Zbigniew Boroweic, Agent
- Brutap LLC d/b/a Bruno’s Liquors, 524 Broad St, James Sharkus, Agent
- 1111 N Edwards Blvd, LLC d/b/a Fairfield Inn & Suites, 1111 N Edwards Blvd, Michelle Adkins, Agent
- Simple Spirits Inc d/b/a Geneva Liquors, 797 S Wells St, Rajesh Sachdeva, Agent
- Midwest Fuel, Inc d/b/a Northside Mobil, 501 Interchange North, John Consolino, Agent

“Class A” Intoxicating Liquor:

- Lake Geneva School of Cooking LLC d/b/a Lake Geneva School of Cooking, 727 Geneva St, John Bogan, Agent
- Lake-Ben INC d/b/a Cornerstone Shop & Gallery, 214 Broad St, Karin Bennett, Agent

Combination “Class B” Liquor & Class “B” Fermented Malt Beverage (Hotel Exemption):

- Cove Condominium Association Inc d/b/a The Cove of Lake Geneva, 111 Center St, Patrick McCarthy, Agent

- Harbor Shores Hotel Management INC d/b/a Harbor Shores on Lake Geneva, 300 Wrigley Dr, Tessa Springer, Agent

Combination “Class B” Liquor & Class “B” Fermented Malt Beverage:

- Harry’s Café & Place Inc d/b/a Harry’s Café, 808 Main St, James Chironis, Agent
- Medusa Grill & Bistro LLC d/b/a Medusa Grill & Bistro, 501 Broad St, Gregory Anagnos, Agent
- Popeyes Galley & Grog LTD d/b/a Popeye’s on Lake Geneva, 811 Wrigley Dr, Veronica Anagnos, Agent
- Gleneagles LLC d/b/a Sopra, 724 W Main St, Alastair Cumming, Agent
- Capitol Geneva LLC d/b/a Sprecher’s Restaurant & Pub, 111 Center St, Elizabeth Dion, Agent
- Mercedes or Bust LLC d/b/a The Bottle Shop, 617 W Main St, Elizabeth Tumas, Agent
- 422 S. Wells St. LTD d/b/a Celebration on Wells, 422 S Wells St, Charles Lorenzi, Agent
- L&B Main Street Inc d/b/a Champs Sports Bar & Grill, 747 W Main St, Jessica Bush, Agent
- Chubby Kitty LLC d/b/a Fat Cat’s, 104 Broad St, Mark Basil, Agent
- Hogs & Kisses Inc d/b/a Hogs & Kisses, 149 Broad St, Linda Chironis, Agent
- Sandal Inc d/b/a Lake Geneva Lanes, 192 E Main St, Franklin Guske, Jr, Agent
- Geneva Bay Club LLC d/b/a Maxwell Mansion, 421 Baker St, Charles Fritz IV, Agent
- DCR Restaurant Group LLC d/b/a Next Door Pub & Pizzeria, 411 Interchange North, Chad Bittner, Agent
- Two Thumbs Up LLC d/b/a Thumbs Up, 260 Broad St, Kimberly Freely, Agent
- LG Hospitality Group LLC d/b/a Tuscan Tavern & Grill, 430 Broad St, James Georgalas, Agent
- Oakfire LLC d/b/a Oakfire, 831 Wrigley Dr, David Scotney, Agent
- American Legion Post #24 d/b/a American Legion Post #24, 735 Henry St, Charles Schlehlein, Agent

Combination Reserve “Class B” Liquor & Class “B” Fermented Malt Beverage:

- Lake Aire LLC d/b/a Lake Aire Restaurant, 804 W Main St, George Argiropoulos, Agent
- Harborside Pub & Grill LLC d/b/a Harborside Pub & Grill, 100 Broad St, Spyro Condos, Agent
- Bella Vista Suites on the Shores of Lake Geneva, INC d/b/a Bella Vista Suites on the Shores of Lake Geneva, 335 Wrigley Dr, Charles Lorenzi, Agent

Class “B” Fermented Malt Beverage:

- KNMG Hotels LLC d/b/a Comfort Suites, 300 E Main St, Eric Schmitt, Agent
- Jackson Wine, LLC d/b/a Studio Winery/Geneva Lake Distillery, 401 Sheridan Springs Rd, Kathleen Jackson, Agent
- B & B Lake Geneva LLC d/b/a Board & Brush Lake Geneva, 262 Center St, Julie Selby, Agent

Class “B” Fermented Malt Beverage & Class “C” Wine:

- Beachside Hospitality Inc d/b/a Barrique Wine & Brew Bar, 835 Wrigley Dr, Nancy Trilla, Agent
- Simple Café LLC d/b/a Simple Café, 525 Broad St, Thomas Hartz, Agent
- Plaza Media LLC d/b/a Geneva Theater, 244 Broad St, Shad Branen, Agent
- Happy Restaurant INC d/b/a Happy Café, 526 Wells St, Min Ting Zhong, Agent
- Breakfast Bungalow LLC d/b/a Great Eggs, 220 Cook St #101, Justin Ochlek, Agent
- DCRB Inc d/b/a Avant Cycle Café, 234 Broad St, Andrew Gruber, Agent
- Martins Olympic Restaurant LLC d/b/a Olympic Restaurant, 748 W Main St, Yolanda Zavaleta, Agent
- EYM Pizza of Wisconsin LLC d/b/a Pizza Hut, 801 Williams St,

RESOLUTION OF THE COMMON COUNCIL	
Authorizing and directing the proper city official(s) to issue the Liquor License renewals for the period of July 1, 2020, to June 30, 2021	
Committee Action: Finance, Licensing, and Regulation Committee to consider June 16, 2020	
Fiscal Impact: Class A Beer=\$100; Class A Liquor=\$500; Class B Beer & Liquor=\$600; Class C Wine=\$100; Publication fee=\$20	
File Number: 20-R45	Date Introduced: June 22, 2020

WHEREAS the City Clerk’s office has received applications for Liquor License renewals for the period of July 1, 2020, to June 30, 2021, for the following businesses:

Combination “Class A” Intoxicating Liquor & Class “A” Fermented Malt Beverage:

- Aldi Inc (Wisconsin) d/b/a Aldi #56, 200 N Edwards Blvd, Ryan McDermid, Agent

Class “A” Fermented Malt Beverage:

- Tienda El Rancho Inc d/b/a Tienda El Rancho, 1151 Elkhorn Rd, Mercedes Jaramillo, Agent

Combination “Class B” Liquor & Class “B” Fermented Malt Beverage:

- Stone Soup LLC d/b/a Baker House 1885, 327 Wrigley Dr, Robert Lopez, Agent
- Capitol Geneva LLC d/b/a Sprecher’s, 111 Center St, Stephen Schroeder, Agent

Class “B” Fermented Malt Beverage & Class “C” Wine:

- Sabai Sabai Inc d/b/a Sabai Sabai, 306 Center St, Jirapa Cox, Agent
- Mama Cimino’s LLC d/b/a Mama Cimno’s, 131 S Wells St, John Bobak, Agent
- MOD Super Fast Pizza (Wisconsin), LLC d/b/a MOD Pizza, 281 N Edwards Blvd, Benjamin Henneberry, Agent
- Ovalle-Perez, LLC d/b/a Taqueria El Gallo De Oro, 820 Williams St, Cynthia Perez, Agent

WHEREAS, your Finance, Licensing, and Regulation Committee met on June 16, 2020, to consider the terms of the Liquor License renewal applications and, upon advisement from the Police Chief, recommends approval all of a licenses; now therefore

BE IT RESOLVED by the Common Council of the City of Lake Geneva that the proper city official(s) be hereby authorized and directed to issue the Liquor License to these businesses contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds.

Council Action: **Adopted** **Failed** **Vote** _____

Mayoral Action: **Accept** **Veto**

Charlene Klein, Mayor

Date

Attest:

Lana Kropf, City Clerk

Date



CID: **90629**

All Mail to:
1701 Main Street
Union Grove, WI 53182

Contact Info:
(262) 878-4678
Fax (262) 878- 5411
aci@asphaltinc.com

Grading-Paving-Sealing-Striping
Asphaltinc.com

Date: May 06, 2020

PROPOSAL SUBMITTED to:

City of Lake Geneva Street Dept. Attn: Neil Waswo
1065 Carey St.
Lake Geneva, WI 53147
Work: 262-248-6644 Fax: 262-248-2545
nwaswo@cityoflakegeneva.com

WORK LOCATION:

City of Lake Geneva Street Dept.
1065 Carey St.
Lake Geneva, WI 53147

We are pleased to quote the following:

Road Patch Area of Approximately 1,692 SF (Main St – Maxwell/Warren) – up to 6" Depth \$11,938.00
4" Depth \$9,676.00

- Provide traffic control as needed
- Sawcut and remove existing asphalt; haul waste material off site
- Re-work and compact existing base aggregate; enhance, if and where needed
- Grade, shape and compact base aggregate
- Install up to 6" of hot compacted asphalt binder & surface mix; up to 3 lifts with tack coat in between OR 4", 2 lifts with tack

NOTE: Client is responsible for all needed permits, if required.

Note: This proposal may be withdrawn if not accepted within 30 days.

Terms of Payment: **Due upon completion**, a \$15 service charge and interest of 1-1/2% per month will be charged on all accounts 10 days past due.

As Required by the Wisconsin Construction Lien Law, Builder (Contractor) hereby notifies owner that persons or companies furnishing labor or materials for the construction on owner's land may have lien rights on owner's land and buildings if not paid. If acceptance of this proposal is made on other than this form, such acceptance shall be subject to terms and conditions herein.

Thank you for the opportunity to quote you on this project. Respectfully submitted.

By: Carrie Ballard

Acceptance of Proposal – The above prices, specifications and conditions and the attached "Terms and Conditions" are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined.

Signature: _____

Date: _____



Total Parking Solutions Inc.

**City of Lake Geneva
Parking Equipment Proposal
January 13, 2020**

Equipment

Cale CWT Terminals – Color Touch Screen/Coin and Card

Cabinet stainless steel construction, color - black, 80 amp battery, credit/debit card reader, coin acceptor w/coin canister, vandal resistant Lexan protected fully programmable color touch screen display, 3/4G modem and antennae, one roll receipt paper, instruction graphics, installation hardware, 100% one year warranty on parts and service

Pricing Per Unit

Coin, card – color touch display	\$ 6,370.00
Shipping	\$ 125.00
Installation	\$ 112.00
Total per Unit	\$ 6,607.00

50 Units **\$ 330,350.00**

Cale “WebOffice” Central Management System

Includes and provides for:

- PCI compliant real time credit card payment processing
- alarms and warnings sent via SMS text or e-mail to owner and/or service technician
- access to maintenance, statistical and financial reporting (built-in report generator can export data as Excel or PDF files)
- Any pay by phone, LPR or enforcement related integration

\$ 65.00 per month, \$ 780.00 per year per terminal

Optional Service and Maintenance Coverage *

Year one		included, no charge
Years two thru five	\$ 560.00	per terminal

* 100% parts and labor, no limit on number of service calls, includes quarterly preventive maintenance inspections



Total Parking Solutions Inc.

OTHER NOTES

Delivery

Estimated 10 to 12 weeks

Installation

Does not include any necessary concrete work. Installation is bolt down type therefore substrate must be of concrete. Any asphalt or soil base placement locations shall require a minimum 2' x 2' concrete pad which is the responsibility of the City.

Signage

Included are universal parking "P" and "Pay By Plate Parking" stickers applied to both side faces of each pay station. Any and all posted street signage and its' hardware is the responsibility of the City.

Proposed by:

Accepted by:

Joseph T. Smith
Total Parking Solutions
President of Operations/Co-Owner

Signature

1-14-2020

Date

* Council approval 1-13-2020
agenda item 12a

Total Parking Solutions, Inc.

2721 Curtiss Street
Downers Grove, IL 60515

Invoice

Date	Invoice #
1/15/2020	104833

Bill To
City of Lake Geneva 626 Geneva Street Lake Geneva, WI 53147

Ship To

P.O. Number	Terms	Rep	Ship	Via	F.O.B.	Project
	50% down / Bal. due ...		3/2/2020	TPS delv.		

Quantity	Item Code	Description	Price Each	Amount
50	CWT STLTH	CWT Stealth terminal, solar power, back up battery, credit card data transfer	6,607.00	330,350.00T
	Install labor	Project installation labor	0.00	0.00
	PYMNT	Terms: 50% down with order; 50% due net 30 days upon completion of install \$165,175.00 due now; \$165,175.00 due net 30 on completion previous payment Balance due upon receipt Equipment has been delivered to City of Lake Geneva received by Public Works Out-of-state sale, exempt from sales tax	0.00%	-165,175.00 0.00

Thank you for your business.	Total	\$165,175.00
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Phone #	Fax #
630-241-1984	630-241-1985

Resolution 20-R50

The Common Council of the City of Lake Geneva does hereby establish the following revised schedule of fees, effective June 22, 2020



SCHEDULE OF FEES

CITY OF LAKE GENEVA, WISCONSIN

The City of Lake Geneva may retain overpayments of taxes, fees, licenses, and similar charges when the overpayment is \$2 or less, unless such refund is specifically requested by the remitter.

LICENSES & PERMITS	
Temporary Retailer's	\$10.00 Each
Provisional/Temp. Operator (60 days)	\$15.00 each
Operator- 1 Year License (First Time Applicants)	\$50.00
Operator- 2 Year License (Renewal)	\$75.00
Class A Liquor	\$500.00
Class A Beer	\$100.00
Class C Wine	\$100.00
Class B Liquor (Quota License)	\$500.00
Class B Beer	\$100.00
Reserve Class B Liquor	\$10,000.00
Change of Agent	\$10.00
Publication Fee	\$25.00
Extension of Premises	\$25.00
ANNEXATION FILING FEE - DUE UPON PETITION	\$200.00
AMUSEMENTS	
Coin Operated music machine/juke box	\$20.00 per machine
ASSESSMENT REQUEST LETTER	\$35.00 each
BANNER PERMIT	\$1.00 per banner per day of display
BUSINESS LICENSE	\$25.00 Annual
Late fee after July 1	\$20.00 (in addition to license fee)
CAT LICENSE	
Not Spayed/Neutered	\$8.00 Annual
Spayed/Neutered	\$4.00 Annual
Late fee after April 1, or 30 days after adoption of new animal if adoption occurs after April 1	\$5.00 (in addition to license fee)
DOG LICENSE	
Not Spayed/Unneutered	\$30.00 Annual
Spayed/Neutered	\$15.00 Annual
Late fee after April 1, or 30 days after adoption of new animal if adoption occurs after April 1	\$5.00 (in addition to license fee)
BOWLING ALLEY	\$20.00 per lane
BILLIARDS OR POOL TABLE	\$40.00 per table
CARRIAGE COMPANY LICENSE	\$50.00 Annual
Each Additional Carriage	\$25.00
CLOSING OUT SALE	\$25.00 event
CIGARETTE/TOBACCO LICENSE * STATUTORY	\$100.00 Annual

CREAMERY PERMIT	\$50.00
DIRECT SELLERS PERMIT	\$50.00 nonrefundable application fee
EVENT PERMIT (PER POLICY)	
PUBLIC ASSEMBLY PERMIT	Non-profit organization: No charge For-profit organization: \$60 per day
BLOCK PARTIES OR GAZEBO USE (1 hour Photo Session in Gazebo in Flat Iron Park)	Non-profit organization: No charge For-profit organization: \$75
TIER 1 EVENT	Non-profit organization: No charge For-profit organization: \$250 for an event up to seven days, additional \$50 per day thereafter
TIER 2 EVENT	Non-profit organization: No charge For-profit organization: \$500 for an event up to seven days, additional \$100 per day thereafter
MESSAGE ESTABLISHMENT	
Investigation	\$50.00 Annual
Transfer	\$50.00
MOBILE HOME PARK LICENSE	\$100.00 Annual
PARADE PERMITS	\$25.00 nonrefundable application fee
BASEBALL TOURNAMENT PERMIT FEE - VETERAN'S PARK	\$1,000 Security Deposit
Friday Rental	\$150.00
Saturday Rental	\$300.00
Sunday Rental	\$300.00
PARKING STICKERS	
Resident & Non-Resident Residence Owners - Lasts 2 years (even) - 2 hours free parking	4 free per residence each additional \$25.00
Business Owner - 2 hours free parking	\$25.00 Lasts 2 years (even) \$25.00 for 1 year (effective Jan. 1 2017) \$50.00 (effective Jan. 1, 2018)
Walworth County Resident - 2 hours free parking	\$160.00 Lasts 2 years (even) \$80.00 for 1 year
Parking Lot Permit	\$400.00 Annual
PARKING RATES	
Parking Stall Rate for stalls on Wrigley Dr., 10 stalls at the boat launch, stalls on lower Center St. south of Main St., stalls on lower Broad St. south of Main St., 700, 800, 900, 1000, & 1100 blocks of Main St., and Center St. Parking Lot All other Parking Stalls Rate	\$2.00 \$3.00 per hour \$1.00 per hour
Parking Meter Bags/ Contractor Permits	\$10.00 administrative fee \$25.00 deposit per locked bag March 1 - Nov 14: \$20.00 daily per bag Nov 15 - Feb 29: \$10.00 daily per bag
PARKING TICKETS	
Expired Stall (Over 2 hours; Over 5 hours; Over 25 min.)	\$20.00
More than 3 motorcycles	\$20.00

Improper Use or Display of Sticker	\$20.00
Backed into parking stall	\$25.00
Compact Car Only	\$25.00
No Parking Zone	\$25.00
Over the Line	\$25.00
Parking by fire hydrant	\$40.00
Handicap Zone	\$150.00
Parking with Trailer or Trailer alone in Sage Lot D	\$25.00
Parking any Vehicle without a Trailer or with an occupied Trailer in Boat Launch Parking Lot F	\$25.00
LATE FEES	
Expired Stall After 10 days	\$40.00
More than 3 motorcycles After 10 days	\$40.00
Backed into parking stall After 10 days	\$50.00
Compact Car Only After 10 days	\$50.00
No Parking Zone After 10 days	\$50.00
Parking by fire hydrant	\$80.00
Handicap Zone	\$300.00
Second Collection Letter Fee	\$6.00
Vehicle Suspension Release Fee	\$20.00
PUBLIC RECORDS REQUESTS * STATUTORY	
Photocopies (can include hourly wage for gathering data)	\$0.25 per page
RADON TEST KIT	\$10.00
REISSUE CHECK FEE	\$25.00
RETURNED CHECK FEE (NSF)	\$30.00 each
ROOM TAX LICENSE	\$10.00 Annual
SHOWS, CIRCUS, CARNIVALS	
Circus	\$50.00 per day
Tent Show - Day 1	\$15.00
Tent Show - Each Additional Day	\$10.00
All Other	\$2.00 per day
SIDEWALK CAFÉ PERMIT	\$15.00 per seat Annual
STREET USE PERMIT	\$25.00 nonrefundable application fee
Up to two days	\$40.00
More than two days	\$100.00
TAX EXEMPT REPORT FILING (every other year)	
Late Fee	\$20.00
TAXI CAB COMPANY LICENSE	\$50.00 Annual
Each Additional Car	\$25.00
TAXI CAB DRIVER LICENSE	\$25.00 Annual
THEATER LICENSE	
Up to 1,200 seats	\$200.00
Over 1,200 seats	\$275.00
TOURIST ROOMING/SHORT-TERM RENTAL LICENSE	\$750.00 Annual
TRAPPING PERMIT	\$25.00 Annual
CITY HALL MEETING ROOM RENT	\$25 per event

LAKEFRONT		
BEACH (Open Memorial Day thru Labor Day - no glass containers allowed)		
Children age 6 and under		Free
Children age 7-12		\$5.00 \$4.00 per day
Ages 13 to Adult		\$10.00 \$8.00 per day
Resident Beach Tags (Maximum 6 per Household)		\$3.00 per tag
Seasonal Pass Adult 13 and up		\$100.00 \$80.00 per year
Seasonal Pass Child 7-12		\$50.00 \$40.00 per year
Beach Bathrooms - Opening/Cleaning		Hourly Rate
BOAT LAUNCH PERMIT		
One-Time Launch	Resident	Non-Resident
Non-Trailer Non-Motor	\$7.00	\$8.00
Less than 20 feet	\$10.00	\$11.00
20 feet to 25 feet 11 inches	\$14.00	\$21.00
26 feet and over	\$16.00	\$24.00
Season Launch Permit	Resident	Non-Resident
Non-Trailer Non-Motor	\$70.00	\$80.00
Less than 20 feet	\$100.00	\$110.00
20 feet to 25 feet 11 inches	\$140.00	\$210.00
26 feet and over	\$160.00	\$240.00
COMMERCIAL BOAT LAUNCH PERMIT	\$1,000 per year (unlimited launches)	
ANNUAL WEST END PIER SLIP, LAGOON SLIP, BUOY, DINGHY, KAYAK AND PADDLEBOARD RACK LEASE PERMITS	<i>Rates may change on an annual basis by the Common Council</i>	
WEST-END PIER 24' SLIP		
Resident		\$1,774.00
Non- Resident Property Owner		\$2,661.00
Non-Resident		\$3,547.00
WEST-END PIER 26' SLIP		
Resident		\$2,070.00
Non- Resident Property Owner		\$3,015.00
Non-Resident		\$3,842.00
LAGOON SLIP & BUOY		
Resident		\$764.00
Non- Resident Property Owner		\$1,272.00
Non-Resident		\$1,774.00
DINGHY, KAYAK, & PADDLEBOARD RACKS		
Resident		\$131.00
Non- Resident Property Owner		\$191.00
Non-Resident		\$262.00
BUOY/SLIP RATES ESTABLISHED ANNUALLY BY RESOLUTION		
		\$30.00 per year
Season Launch Pass for Kayaks, Canoes and Paddleboards (non-trailer, non-motor)		
RIVIERA RENTALS (ALL CONFERENCES/CONVENTIONS & WEDDINGS HELD NOVEMBER 15 THROUGH APRIL 30) <i>Maximum attendees is 380</i>		

Security Deposit	\$1,000.00
Resident Rental Fee (Friday, Saturday, Sunday)	\$2,500.00
Non-Resident Rental Fee (Friday, Saturday, Sunday)	\$3,000.00
Resident & Non-Resident Weekday Rental Fee (Monday - Thursday)	\$500.00
Not-for-Profit Group Rental Fee	\$400.00
Per Hour Set Up Fee	\$20.00 per hour
Security Guards for Event (2)	Additional Renter Expense - Hourly Rate
Extra Security Guard over 250 attendees	Additional Renter Expense - Hourly Rate
RIVIERA RENTALS (WEDDINGS HELD MAY THROUGH NOVEMBER 15) <i>Maximum attendees is 380</i>	
Security Deposit	\$1,000.00
Resident Rental Fee (Monday - Thursday)	\$625.00
Resident Rental Fee (Friday & Sunday- Non-Holiday)	\$1,700.00
Resident Rental Fee (Saturday)	\$1,950.00
Non-Resident Rental Fee (Monday- Thursday)	\$1,250.00
Non-Resident Rental Fee (Friday & Sunday- Non-Holiday)	\$3,400.00
Non- Resident Rental Fee (Saturday)	\$3,900.00

BUILDING & ZONING	
Building	
Minimum permit fee for all building permits	Residential \$60.00 Commercial \$100.00
Residential Construction:	
One & Two family & attached garage (new, addition and alterations)	\$0.31 / sq. ft. New Single Family Construction \$1,000.00 Minimum
Accessory buildings & garages	\$0.25 / sq. ft.
Decks	\$0.15 / sq. ft., or \$60.00 Minimum
Roofing and Siding	\$60.00
Commercial Construction:	
Residences - Apartments, Three family & over, Row Housing, Multiple Family Dwellings, Institutional (new, addition and alterations)	\$0.31 / sq. ft. New Commercial Construction \$1,500.00 Minimum
Local Business, Office Building (new, addition or alteration)	\$0.30/ sq. ft.
Manufacturing or Industrial (new, addition or alteration)	\$0.30 / sq. ft.
Commercial , structures, alterations, residing, reroofing, repairs, where square footage cannot be calculated	\$10.00 / \$1,000.00 valuation
Plan Examination:	
One and Two Family Residence	\$150.00
Apartments, Three Family Residence, Row Housing, Multiple family Building State Approved Plans	\$150.00 plus \$10.00 / unit

Commercial, Industrial, Institutional & Additions State Approved Plans	\$350.00
Heating Plans, Energy Calculations, or Lighting Plans submitted separately	\$125.00/ Plan
Additions, Alterations to 1 & 2 Family Dwellings	\$75.00
Accessory building over 240 sq. ft., and decks for 1 & 2 family dwellings	\$40.00
Wisconsin Uniform Building Permit Seal	\$45.00
Occupancy Permit	\$60.00/Residential \$100.00/Commercial & Industrial
Temporary (6 months or less Commercial only)	\$75.00
Permit Renewal (6 month extension or less)	\$200.00 Commercial \$50 Residential
Heating and Air Conditioning:	
Heating and Air Conditioning Distribution Systems	\$3.00/ 100 sq. ft. of conditioned area with a minimum fee of \$60.00
New Residential Heating	\$125.00 first unit, \$60.00 each additional unit.
Replacement Residential Heating	\$60.00 / unit
Commercial New or Replacement Heating	\$150.00/ unit, up to and including 150,000 BTU units. Additional fee of \$20.00 / each 50,000 BTU fraction thereof up to a maximum of \$900.00 / unit.
Residential Air Conditioning – Other than Wall Units (new or replacement)	\$60.00 / unit
Commercial Air Conditioning - Other than Wall Units (new or replacement)	\$150.00/ unit up to 5tons or 60,000 BTU's. Additional fee of \$20.00 each ton or 12,000 BTU's or fraction thereof up to a maximum of \$900.00 / unit
Permanently installed Wall unit (example - Fireplace, wall pack)	\$60.00 / unit
Commercial/Industrial Exhaust Hoods and Exhaust Systems	\$75.00
Plumbing Permit:	
Fixture Count	\$15.00/ fixture, drain or device, \$60.00 Minimum
Water Main	\$1.00 / lineal foot of sewer or private water main, \$60.00 Minimum
Sanitary Sewer	\$1.00 / lineal foot of sewer or private water main, / \$9.00 per manhole \$60.00 Minimum
Storm Sewer	\$1.00 / lineal foot of sewer or private water main / \$12.00 per manhole or basin \$60.00 Minimum

Exterior Grease Trap	\$100.00
Electrical:	
Residential Minimum	\$60.00 minimum.
New Residential Service	\$100.00/ Service First 200 Amps, \$25.00 each additional 100 Amps.
Sanitary Sewer	\$1.00 / lineal foot of sewer or private water main, \$60.00 minimum & / \$9.00 per manhole.
Residential Service Update	\$100.00/ Service
Residential Sub-Panel	\$50.00/ Panel
Residential Generator	\$75.00 (includes gas piping)
Temporary Electrical Service	\$100.00 up to 200 Amps. \$25.00 each additional 100 Amps.
Commercial Electrical Minimum	\$150.00 Minimum
Commercial Electrical Re-Inspections	\$150.00/ Inspection
Commercial Service (New or Update)	\$150.00 First 200 Amps, \$25.00 each additional 100 Amps.
Commercial Sub-Panel	\$50.00 First 100 Amps, \$10.00 each additional 100 Amps.
Commercial Generator	\$150.00 (included gas piping)
Commercial Low Voltage	\$1.00/ Device, \$100.00 Minimum
Commercial Exterior Light Fixture Replacement	\$100.00 per site
Residential Electrical Permit - for minor installations with fees not exceeding \$5.00, the permit fee may be waived by the inspector.	\$0.10 / sq. ft. of area served, \$60.00 minimum.
Commercial Electrical Permit - for minor installations with fees not exceeding \$5.00, the permit fee may be waived by the inspector.	\$0.10 / sq. ft. of area served, \$150.00 minimum.
Erosion control fees:	
New One and Two Family Buildings	\$125.00 / lot
One and Two Family Additions and Accessory Structures	\$50.00
Multi-Family Residential, Commercial, Industrial and Institutional	\$175.00/Building, plus \$5.00/1,000 sq. ft. disturbed lot area up to \$2,000.00 max.
Other	\$40.00
Zoning	
Zoning Permit	\$60.00
Temporary Use (per Section 98-906)	\$60.00
Zoning Verification Letter	\$60.00
Sign Permit (per Section 98-907)	\$60.00 minimum or \$0.35/ sq ft of sign area
Early Start Permit to start construction	\$125.00 (1-2 family)

	\$250.00 (all others)
Fuel Tanks	\$75.00 administrative fee/ tank for installation or removal
Wrecking or Razing- Building Inspector may waive the fee if the structure is condemned	\$100.00 (One or two family residences and accessory Structure over 250 sq ft)
Commercial/ Industrial Razing	\$350.00
Moving buildings over public right-of-ways	\$250.00 plus \$0.03/ sq ft
Special Inspections and Reports	\$150.00/ inspection report
Text Amendment (per Section 98-902)	\$400.00
Zoning Map Amendment (per Section 98-903)	\$400.00
Certified Survey Map (CSM)	For each new Residential Lot Created: \$400.00 For each new Commercial Lot Created: \$200.00
Plat Renewal	\$150.00
Conditional Use (per Section 98-905)	\$400.00
Site Plan (per Section 98-908)	\$100.00
Variance (per Section 98-910)	\$400.00
Interpretation (per Section 98-911)	\$400.00
Appeal (per Section 98-912)	\$150.00
PD Zoning Map Amendment (Includes 1 PIP Review)	\$400.00
PIP Review	\$750.00
Filing or Recording fee with City Clerk, plus actual recording fee	\$400.00
Triple Fees: Upon failure to obtain a permit before work on a building has been started, except in emergency cases, the total fee shall be triple the total fees charged.	\$10.00
NOTE: Fees shall be charged on gross square footage defined as follows: <ul style="list-style-type: none"> The exterior dimensions, including attached garage and each floor level 	
NOTE: In determining costs, all construction shall be included with the exception of heating, air conditioning, electrical or plumbing work.	
NOTE: All fee amounts shall be rounded up to the next full dollar amount.	
NOTE: An additional fee for plan review may be assessed at the time of application for renewal of the permit.	
* Base fee may be modified by Subsection (4) of Section 98-935, Fees of the Zoning Code	

CEMETERY FEES	
Opening Grave - Weekdays (Full Burial)	\$675.00

Opening Grave - Saturdays (Full Burial)	\$800.00
Opening Grave - Weekdays (Cremation)	\$450.00
Opening Grave - Saturdays (Cremation)	\$525.00
Two cremations buried in same grave at one time	\$100.00 extra charge
Opening Grave - Weekdays - Baby Under 1 Year	\$200.00
Opening Grave - Saturdays - Baby Under 1 Year	\$300.00
Grave (50% Perpetual Care)	\$650.00
Grave - Single Cremation (50% Perpetual Care)	\$400.00
Grave - Double Cremation (50% Perpetual Care)	\$500.00
Columbarium Niche (includes opening & inurnment) (\$200 Perpetual Care)	\$1,200.00 \$1,000.00 bottom row
2 nd Inurnment if Niche allows for two	\$150.00 additional
Niche Door Inscriptions	\$240.00
Frost Charges (November 1 to March 15)	\$75.00
Stake Out Fee for Foundations	\$50.00
Foundation Charges	\$0.40 per square inch
Use of Cemetery for Functions	20% of Gross Receipts
POLICE DEPARTMENT FEES	
FINGERPRINTING	
City Residents	\$15.00
Individuals employed in business in city limits or working for city licensed business	\$15.00
Non-Residents	\$60.00
PUBLIC WORKS FEES	
CONSTRUCTION PERMIT FEE	
Curb Cut/Driveway Approach Fee	
Right-of-Way Excavation Fee	\$25.00
Storm Sewer Connection Fee	\$25.00
Sanitary Sewer Connection Fee	\$25.00
Special brush, limb and refuse pick-up	\$25.00
Dumpster Delivery	\$24.00 per 15 minutes
Dumpster Pick-up	\$50.00 per dumpster
	\$50.00 plus additional landfill fees

FIRE DEPARTMENT FEES	
Fees for Apparatus and Personnel	1 hour minimum and fractions thereafter on hourly rates unless stated otherwise
Chief, Deputy Chief or Assistant Chief	\$26.00/hr.
Fire and EMS Personnel	\$26.00/hr.

Engine/Squad	\$550.00/hr.
Truck (aerial apparatus)	\$875.00/hr.
Brush Truck	\$300.00/hr.
Air Boat	\$300.00/hr.
Technical Rescue and Utility	\$500.00/hr.
Chief, Deputy Chief, Assistant Chief, or Command Vehicle	\$50.00/hr.
Utility	\$50.00/hr.
Ambulance	\$270.00/hr.
Paramedic Intercept Fee (Option a OR b)	
a. Flat Rate Billed to Requesting Municipality	\$400.00
b. Shared Revenue from Requesting Municipality	50% Monies Received
EMS First Responder and Transport Fees	
Residents Fee	\$150.00 per call
Non-Resident Fee	\$200.00 per call
Ambulance Transport Fee Schedule	
Advanced Life Support Base Rate	\$918.89
Advanced Life Support Base Rate (ALS2)	\$1010.47
Advanced Life Support Base Rate (Intercept)	\$918.89
Advanced Life Support Base Rate (Intercept ALS2)	\$1010.47
Equal Level Staffing Mutual Aid	\$300.00
Basic Life Support Base Rate	\$700.00
Mileage Charge	\$20.00 per mile
Supplies used fee	
Defibrillation	\$100.00
EKG Monitoring	\$150.00
Spinal Immobilization	\$150.00
I/O Needle & Associated Supplies	\$200.00
Airway Placement	\$150.00
Oxygen & Associated Supplies	\$100.00
IV & Associated Supplies	\$150.00
CPAP Disposable	\$150.00
Epi 1:1,000	\$35.00
Nitro Tabs	\$22.00
Albuterol/Ventolin	\$30.00
Glucagon	\$211.00
Narcan	\$48.00
ASA	\$32.00
Dextrose 25gms/50cc	\$32.00
Glucose	\$10.50
CO2 Monitor Nasal/Tube	\$40.00

Oil Dry	\$10.00 per bag
Class A, B, or AB Firefighting Foam	\$30.00/ gallon
BLS Supplies Used	\$75.00
ALS Supplies Used	\$125.00
Paramedic Medications	
Adenocard	\$31.00
Amiodorone	\$125.00
Atropine	\$37.00
Calcium Chloride	\$43.00
Dextrose 5%	\$32.00
Diltiazem	\$9.00
Diphenhydramine	\$5.00
Epi 1:10,000	\$16.00
Etomidate	\$94.00
Heparin	\$32.00
Ketamine	\$54.00
Lidocaine	\$36.00
Magnesium Sulfate	\$7.00
Methylprednisolone	\$101.00
Metoprolol	\$9.00
Midazolam	\$68.00
Norepinephrine	\$22.00
Ondansteron	\$28.00
Sodium Bicarbonate	\$37.00
Sublimaze	\$5.00
Succinylcholine	\$41.00
Clopidogral	\$19.00
Dopamine	\$97.00
Hydromorphone	\$10.00
Hydroxycobalamin	\$1270.00
Metoclopromide	\$5.00
Morphine Sulfate	\$56.00
Tranexamic Acid	\$96.00
Fees Relating To Permits Required	
Fire pit burn permit	\$15.00 each fire or \$50.00 yr
Fireworks permit	\$50.00
Burning permits	\$50.00
Key box processing fee	\$10.00
Operational Permit	\$75.00
Fees Relating To Fire Protection Systems	
Basic system Review Fee is charged for systems without hydraulic calcs	\$250
Fire Sprinkler, Fire Control and/or Fire Suppression system plan review with one set of hydraulic calculations. (Fee is charged for each separate floor and /or area of building per system and review.)	\$300.00

Verifications of Additional Hydraulic Calcs (fee is charged for each additional set of hydraulic calculations required by the AHJ)	\$175.00
Additional review of same system. (Fee applies to all re-submittals.)	\$300
Site inspection during installation 2 hour minimum Note: system may not be concealed prior to inspection. Inspections are required for all systems.	\$75.00/hr.
Modifications to existing systems	
Min. fee per system without hydraulic calcs	\$75.00
Fee per sprinkler up to 15 sprinklers w/o calcs	\$20.00 ea.
Fee per sprinkler up to 15 with calcs	\$200.00
Fire Pumps per review	\$300.00
Fire prevention inspection fee schedule:	
Residential Building Type:	
4 to 36 units	\$10 per unit per year
37 to 60 units	\$400 per year
61 to 99 units	\$450 per year
100 units and above	\$500 per year
Commercial:	
Under 1,000 square feet	\$50
1,000 to 4,999 square feet	\$100
5,000 to 24,999 square feet	\$150
25,000 to 99,000 square feet	\$200
100,000 to 174,999 square feet	\$400
175,000 to 249,999 square feet	\$700
Industrial:	
Under 5,000 square feet	\$100
5,000 to 24,999 square feet	\$200
25,000 to 99,000 square feet	\$300
100,000 to 174,999 square feet	\$500
175,000 to 349,999 square feet	\$800
Additional conditions: (a) The fee for hotels and motels shall be the same as for residential property, except that the fee shall be calculated on a per room basis. (b) Square footage refers to the total floor area of any building or structure. (c) Inspection fees shall be charged to the property owner. Any fees unpaid by November 1 of each year shall be entered upon the tax roll as a special charge against the property and all proceedings in relation to the collection, return, and sale of the property for delinquent real estate taxes, shall apply to the inspection fee.	
Sprinkler system underground mains	
0-200 feet	\$75.00
201-999 feet	\$125.00
1000 or more	\$300

Fire hose standpipe connections	\$15.00 each
Other fire protection systems (hood, wet & dry chem.)	\$300
Fire alarm systems per control panel	\$250.00
Fire Alarm system manual pull stations, initiating devices; this includes smoke, heat, flame, ionization, photoelectric detectors, water flow devices and all monitoring devices per review.	\$50.00 up to 3 \$10 each additional
Witness of all required tests – 2 hour minimum	\$150/hr.
Inspection during installation	\$75.00/hr.
Fire protection Consulting on systems and or for occupancies or permits	\$75.00/hr. 1 Hour Minimum

Adopted this 22nd day of June, 2020.

Charlene Klein, Mayor

Date

ATTEST:

Lana Kropf, City Clerk

Date



Helping to keep the lights on,
businesses running
and communities strong®

City of Lake Geneva
John Foster
626 Geneva St.
Lake Geneva, WI 53147

Dear John:

Enclosed is a sponsorship check from American Transmission Co. While intended to support your Arbor Day activities, we recognize that these are unprecedented times.

We encourage you to use this funding to support tree education in your communities however you can this year.

The Arbor Day Foundation also understands the impact COVID-19 is having and is not requiring Arbor Day celebrations as a requirement of Tree City USA® this year. They provided suggestions that do not involve public gatherings on their website, including:

- Livestream a tree book reading or share videos of librarians reading the poem *Trees* by Joyce Kilmer or other tree-related poems or stories.
- Invite local youth to submit a tree-related question to a city arborist via email and answer the questions on your community's website or social media.
- Hold a virtual presentation by a native tree expert to inform your community about recommended tree choices for your area.

Thank you for allowing ATC to be part of your Arbor Day celebrations and tree-education efforts.

Please contact me if you have any questions.

Sincerely,

Michelle Stokes

Michelle Stokes

**Wisconsin Public Employers
Large Group Underwriting Checklist/Questionnaire**

(For groups with 50 or more WRS active employees.)

All Information must be sent to:

Employer Services, ATTN: Program Manager

PO Box 7931, Madison, WI 53707-7931

Fax (608) 266-5801

Email: ETFSMBESSNewEmployer@etf.wi.gov

- Check made out to Segal Consulting for \$3,000 for the cost of underwriting.
- Employer Questionnaire checklist from ET-1139 (this form).
- WRS Group Name: _____.
- Employer Identification Number (EIN) _____.
- Federal Employer Identification Number (FEIN) _____.
- Group Contact/WRS Agent (name) _____.
- Group Contact phone _____ Fax _____.
- Email Address _____.
- Group Physical Address: _____

_____.
- County Location of Employer: _____.
- Effective Date of Quote (Offered no sooner than 120 days from the renewal/effective date of the client): _____.
- Number of *all* employees on payroll including part time, seasonal *and all retirees* whether or not they meet WRS eligibility requirements: _____.
- Number of WRS eligible employees including part time, seasonal *and retirees*: _____.
- US Dept. of Labor- Standard Industrial Classification (SIC) code (for example: 9199: General Government, Not Elsewhere Classified): #_____.
- What is your anticipated employer contribution?:
_____.
- What is your anticipated probationary period for health insurance eligibility? (For example, 1st of the month following 60 days):
_____.
- Current insurance carrier & years enrolled: _____.
- Most recent State Department of Workforce Development quarterly Wage and Tax Report statement. This report must include employee names. This report can be sent by secure email to ETFSMBESSNewEmployer@etf.wi.gov or mailed with this checklist.
- Send electronic census data by secure e-mail to ETFSMBESSNewEmployer@etf.wi.gov or on disc that is mailed with this checklist. Your census data will be for all eligible employees (noting those employees who are in their probationary period), retirees, former employees receiving COBRA benefits (include COBRA end date) and employees waiving coverage under the current benefit plan. Census data should include:
 - The employee by name, employee number, or numeric assigned number
 - Date of birth or age
 - Sex
 - Current status of their insurance EE (single), EC (employee/child{ren}), ES (employee/spouse), F (family) preferable. At a minimum EE & F.
 - Zip code of the employee's address

Continued on next page

For current self-funded groups and insured groups with experience data, send by secure email to ETFSMBESSNewEmployer@etf.wi.gov or on disc that is mailed with this checklist:

- Twenty-four months (month by month, 12 months minimum) of claims data
 - Enrollment data (month by month summary of enrollment by single, limited family, family)
 - Benefit plans in force for each year of rate history
 - Employer contribution
 - **High cost claims data (over \$25,000) detail including dollar amount, diagnosis, current status (enrolled or cancelled) and prognosis (if available). This information cannot include name, Social Security number, or any information that would identify the individual.**
 - Current rates by benefit plan. For self-funded groups, current COBRA/funding rates and/or current specific stop loss, aggregate stop loss, and administrative fees and aggregate factors by plan.
- **For insured groups with carriers who do not provide experience data, send by secure e-mail to ETFSMBESSNewEmployer@etf.wi.gov or on disc that is mailed with this checklist*:**
- 3 years of rate history and renewal calculations, including renewal rates
 - Enrollment (summary of enrollment by single, limited family, and family) for each of 3 year rate history
 - Benefit plans in force for each year of rate history
 - High cost claim (over \$25,000) detail including dollar amount, diagnosis, current status (enrolled or cancelled) and prognosis (if available). **Note: Claims data cannot include name, Social Security number, or any information that would identify the individual.**

* Note: Groups that consist of 50 to 100 active WRS employees may have to request this information, in writing, from their current plan. If it is not received by ETF, your group may be assigned to the highest surcharge amount.

Do not file a resolution until you have received your group's rates and your governing body has decided to accept them.

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Only unpaid invoices included.

Invoice.Batch = "L06172020","L06172020A","06172020","06172020A"

Invoice Detail.GL account (2 Characters) = {<>} "61"

Invoice Detail.GL account (2 Characters) = {<>} "62"

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
ADVANCED DISPOSAL SERVICES				
A40000011320	05/15/2020	LANDFILL USE-BULK	11-36-00-52960 SOLID WASTE-STREET DEPT	765.35
A40000011367	05/31/2020	LANDFILL USE-BULK	11-36-00-52960 SOLID WASTE-STREET DEPT	426.03
Total ADVANCED DISPOSAL SERVICES:				1,191.38
ASPHALT CONTRACTORS INC				
20168	05/28/2020	STORM SEWER PATCHES	43-32-10-17010 2019/2020 STREET IMP PROGRAM	5,474.00
Total ASPHALT CONTRACTORS INC:				5,474.00
AUTOMATED PARKING TECHNOLOGIES				
0000200451	05/18/2020	RELOCATE BOSS SOFTWARE	42-34-50-54500 SUPPORT CONTRACTS	140.00
Total AUTOMATED PARKING TECHNOLOGIES:				140.00
AVANT CYCLE CAFE				
REIMB 6/1/20	06/01/2020	REIMB-OPS LICENSE	11-00-00-44110 OPERATOR LICENSES	75.00
Total AVANT CYCLE CAFE:				75.00
BAKER & TAYLOR				
MAY-2020	05/29/2020	CHILDRENS BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	1,028.07
MAY-2020	05/29/2020	YOUTH PAPERBACKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	60.72
MAY-2020	05/29/2020	YOUTH BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	479.66
Total BAKER & TAYLOR:				1,568.45
BATZNER PEST CONTROL				
2902106	05/28/2020	PEST CONTROL-MAY	40-55-20-53600 RIV MAINTENANCE SERVICE COSTS	125.00
Total BATZNER PEST CONTROL:				125.00
BAUER, LINDA				
REFD 9/5/20	05/28/2020	BAUER-SEC DEP 9/5/20	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
Total BAUER, LINDA:				1,000.00
BEAR GRAPHICS				
847669	05/20/2020	INNER ABSENTEE ENVELOPES	11-14-30-53110 BALLOTS/OTHER ELECTION EXPENSE	340.29
848307	05/29/2020	ABSENTEE ENVELOPES	11-14-30-53110 BALLOTS/OTHER ELECTION EXPENSE	198.86
Total BEAR GRAPHICS:				539.15
CDW GOVERNMENT INC				
XXL2096	05/27/2020	COUNCIL TABLETS	11-11-00-53990 COUNCIL MISCELLANEOUS EXPENSE	457.56
Total CDW GOVERNMENT INC:				457.56

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
CES				
LKG/062439	04/01/2020	SIGNAL REPAIR	11-34-10-52600 REPAIRS-TRAFFIC SIGNALS,ETC	31.88
Total CES:				31.88
CINTAS CORP				
5017344533	05/29/2020	1ST AID	11-32-10-55000 COVID-19 EXPENDITURES	229.15
5017344533	05/29/2020	1ST AID	11-32-10-53900 FIRST AID AND SAFETY SUPPLIES	38.43
Total CINTAS CORP:				267.58
COPIES & PRINTS PLUS LLC				
324633	06/01/2020	COLOR COPIES-AVIAN	11-70-00-57800 AVIAN COMMITTEE EXPENSES	9.00
Total COPIES & PRINTS PLUS LLC:				9.00
DOWN TO EARTH CONTRACTORS INC				
7334	06/02/2020	STORM DRAIN REP-SAGE	43-32-10-17010 2019/2020 STREET IMP PROGRAM	9,372.48
Total DOWN TO EARTH CONTRACTORS INC:				9,372.48
DUNN LUMBER				
5/19/20	05/19/2020	SEALANT,PUTTY-BEACH HOUS	40-54-10-53520 BEACH MAINTENANCE SUPPLIES	28.47
792250	05/26/2020	MARKING PAINT	11-32-14-54300 COMPOSTING OPERATING SUPPLIES	17.97
792357	05/27/2020	DUMPSTER PADLOCKS	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	7.96
792396	05/27/2020	BATTERIES,BOLT,FILTER	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	65.90
792473	05/28/2020	CONCRETE MIX/BOUND	48-00-00-54200 CEM GRAVES/FOUNDATIONS	30.26
792486	05/28/2020	TROWEL	48-00-00-54200 CEM GRAVES/FOUNDATIONS	5.79
792858	06/01/2020	FAUCET-CHAMBER BATH	11-52-00-53500 BLDG MAINT SUPPLIES-PARKS	15.98
793020	06/02/2020	SQ BIT DRIVER-SHOP	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	17.49
793074	06/03/2020	PAINT-SKATE PARK	11-52-00-59500 BLDG MAINT SUPPLIES-RECREATION	9.98
793178	06/03/2020	KEYS-#25	11-32-10-53990 ST DEPT MISCELLANEOUS EXP	1.99
793399	06/04/2020	KEYS	99-00-00-53500 LIBRARY MAINT SUPPLIES	9.95
793607	06/08/2020	CONNECTORS,BITS-LIB BATH	11-52-00-52410 BLDG MAINT&REPAIR-PARKS	18.03
793623	06/08/2020	PLUMBING PARTS-CREDIT	11-52-00-52410 BLDG MAINT&REPAIR-PARKS	7.21
793664	06/08/2020	HOSE,BULBS	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	102.75
793762	06/09/2020	EDGER RENTAL	11-52-00-53520 GROUNDS MAINT SUPPLIES	97.90
Total DUNN LUMBER:				423.21
ELKHORN CHEMICAL CO INC				
619911	03/24/2020	VACCUM CLEANER	48-00-00-53500 CEM BLDG MAINT SUPPLIES	399.99
622085	05/20/2020	MASKS-BEACH	11-32-10-55000 COVID-19 EXPENDITURES	408.00
622409	06/01/2020	SOAP,BATH TISSUE	11-16-10-53500 CITY HALL BLDG MAINT SUPPLIES	301.33
Total ELKHORN CHEMICAL CO INC:				1,109.32
ELKHORN DRIVESHAFT CO				
3364	05/26/2020	DRIVE UNIT-#57	11-52-00-52500 EQUIPMENT REPAIR SERVICES	75.72
Total ELKHORN DRIVESHAFT CO:				75.72
ELKHORN FOOD PANTRY				
6/4/20	06/04/2020	DONATION-P WATSON	11-15-10-53100 ACCTG OFFICE SUPPLIES	50.00
Total ELKHORN FOOD PANTRY:				50.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
ELKHORN NAPA AUTO PARTS				
193885	05/21/2020	BATTERY-JACOBSEN	11-52-00-52500 EQUIPMENT REPAIR SERVICES	113.95
194416	05/27/2020	BATTERY-JACOBSEN	11-52-00-52500 EQUIPMENT REPAIR SERVICES	238.40
194583	05/28/2020	BATTERY-TRK #55	11-52-00-59510 EQUIP MAINT SUPPL-RECREATION	93.95
Total ELKHORN NAPA AUTO PARTS:				446.30
FAIRWYN SB INC				
555 RIDGEVIE	06/01/2020	DEV PYMT-555 RIDGEVIEW CT	11-00-00-23540 DEVELOPER DEPOSITS	3,500.00
Total FAIRWYN SB INC:				3,500.00
FIRST SUPPLY LLC				
2963701-00	06/01/2020	VANDALISM-CHAMBER BATH	11-52-00-53500 BLDG MAINT SUPPLIES-PARKS	149.52
2966991-00	06/03/2020	FAUCET REPAIR-DOG PARK	11-52-00-59500 BLDG MAINT SUPPLIES-RECREATION	26.88
2966991-00	06/03/2020	SLOAN VALVES-LOWER REST	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	344.44
Total FIRST SUPPLY LLC:				520.84
GENEVA ONLINE INC				
1099219	06/01/2020	EMAIL SVC-JUN	11-12-00-52210 MUNICIPAL CT TELEPHONE	2.00
Total GENEVA ONLINE INC:				2.00
GUARDIOLA, KATIE				
RFD 6/8/20	06/08/2020	BEACH REFUND-6/8/20	40-54-10-46730 BEACH REVENUE	18.96
RFD 6/8/20	06/08/2020	BEACH REFUND-6/8/20	11-00-00-24210 SALES TAX PAYABLE	1.04
Total GUARDIOLA, KATIE:				20.00
HALL, KAREN				
REIMB MAY 20	06/01/2020	WI CPA DUES	11-15-10-53200 ACCTG PROFESSIONAL DUES	310.00
Total HALL, KAREN:				310.00
HUMPHREYS CONTRACTING				
05/20/20-2	05/20/2020	STORM DRAIN REPAIR	43-32-10-17010 2019/2020 STREET IMP PROGRAM	5,997.40
5/20/20	05/20/2020	S/W REPAIR,TREE RING REMO	11-32-10-52700 SIDEWALK REPAIRS	2,918.78
5/26/20	05/26/2020	STORM DRAIN REPAIR-HWY 50	43-32-10-17010 2019/2020 STREET IMP PROGRAM	469.67
Total HUMPHREYS CONTRACTING:				9,385.85
ITU ABSORB TECH INC				
7481386	05/29/2020	MATS,RAGS,COVERALLS	11-32-10-53600 ST DEPT BLDG MAINT SERV COSTS	101.62
Total ITU ABSORB TECH INC:				101.62
J3 EVENTS				
REIMB 6/3/20	06/03/2020	REIMB-PARK USE FEE COVID	11-52-00-46750 PARK USE FEES	250.00
Total J3 EVENTS:				250.00
JERRY WILLKOMM INC				
269354	04/30/2020	1500.0 GALS GAS	11-32-10-53410 VEHICLE-FUEL & OIL	2,083.50
269485	05/22/2020	1640.0 GALS GAS	11-32-10-53410 VEHICLE-FUEL & OIL	2,851.96

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total JERRY WILLKOMM INC:				4,935.46
JOHNS DISPOSAL SERVICE INC				
461195	06/05/2020	JUN SVC	11-36-00-52940 SOLID WASTE-RESIDENTIAL	30,001.80
461195	06/05/2020	JUN SVC	11-36-00-52970 SOLID WASTE-RECYCLING	16,452.60
Total JOHNS DISPOSAL SERVICE INC:				46,454.40
KAESTNER AUTO ELECTRIC CO				
339822	05/26/2020	SAFETY GLASSES-BEACH	11-32-10-55000 COVID-19 EXPENDITURES	44.16
339919	05/29/2020	SAFTEY GLASSES	11-32-10-55000 COVID-19 EXPENDITURES	23.88
Total KAESTNER AUTO ELECTRIC CO:				68.04
KAPUR & ASSOCIATES INC				
102762	05/18/2020	ENG SVCS-SUMMERHAVEN	11-00-00-13910 A/R BILL OUTS	51.00
102764	05/18/2020	ENG SVCS-STONERIDGE PHAS	11-00-00-13910 A/R BILL OUTS	935.38
102780	05/18/2020	ENG SVCS-870 MAYTAG	11-00-00-13910 A/R BILL OUTS	196.00
102781	05/18/2020	ENG SVCS-LG GIS REQUESTS	11-69-30-52120 OUTSIDE PROFESSIONAL PLANNING	1,452.50
102784	05/18/2020	2020 PAVING PROGRAM	43-32-10-17010 2019/2020 STREET IMP PROGRAM	28,386.50
102883	05/26/2020	ENG SVCS-1150 WELLS	11-00-00-13910 A/R BILL OUTS	349.00
102884	05/26/2020	ENG SVCS-VISTAS OF LG	11-00-00-13910 A/R BILL OUTS	1,589.00
102885	05/26/2020	ENG SVCS-1120 S LSD	11-00-00-13910 A/R BILL OUTS	392.00
102889	05/26/2020	ENG SVCS-SUMMERHAVEN III	11-00-00-13910 A/R BILL OUTS	196.00
102957	05/27/2020	SCANNING PROP FILES-MAY	11-24-00-53350 OTHER PROFESSIONAL FEES	6,592.50
Total KAPUR & ASSOCIATES INC:				40,139.88
LAKE GENEVA CONVENTION				
REIMB 6/3/20	06/03/2020	REIMB-PARKING STALL	42-34-50-46400 RESERVED PARKING PERMITS/BAGS	85.31
REIMB 6/3/20	06/03/2020	REIMB-PARKING STALL	11-00-00-24210 SALES TAX PAYABLE	4.69
Total LAKE GENEVA CONVENTION:				90.00
LAKE GENEVA UTILITY				
1799 DODGE	05/06/2020	1799 DODGE ST	45-00-00-24520 WATER IMPACT FEES	1,690.00
1799 DODGE	05/06/2020	1799 DODGE ST	45-00-00-24530 SEWER IMPACT FEES	1,865.00
413 GALLANT	05/20/2020	413 GALLANT DR	45-00-00-24520 WATER IMPACT FEES	1,690.00
413 GALLANT	05/20/2020	413 GALLANT DR	45-00-00-24530 SEWER IMPACT FEES	1,865.00
555 RIDGEVIE	05/21/2020	555 RIDGEVIEW CT	45-00-00-24520 WATER IMPACT FEES	1,690.00
555 RIDGEVIE	05/21/2020	555 RIDGEVIEW CT	45-00-00-24530 SEWER IMPACT FEES	1,865.00
Total LAKE GENEVA UTILITY:				10,665.00
LAKESHORES LIBRARY SYSTEM				
2305	05/26/2020	NETWORK EQUIPMENT	99-00-00-55140 LIBRARY COMPUTER HARDWARE	666.66
Total LAKESHORES LIBRARY SYSTEM:				666.66
LAKESIDE INTERNATIONAL LLC				
2050873	03/21/2020	JONS PLOW	11-32-12-53510 EQUIP MAINT SUPPL-SNOW & ICE	391.23
Total LAKESIDE INTERNATIONAL LLC:				391.23
LANGE ENTERPRISES INC				
72586	05/28/2020	SIGNS/STRAPPING	11-34-10-53750 TRAFFIC CONTROL STREET SIGNS	4,342.03

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
72586	05/28/2020	STRAPPING,BRACKETS	42-34-50-53400 OPERATING SUPPLIES-ENFORCEMEN	798.00
Total LANGE ENTERPRISES INC:				5,140.03
LARRY'S TOWING & RECOVERY				
5149	05/23/2020	TOWING-FORD ESCORT	11-34-10-52900 CAR TOWING	140.00
Total LARRY'S TOWING & RECOVERY:				140.00
LASER ELECTRIC SUPPLY				
1474075-01	12/13/2019	BULBS	40-55-10-53500 BLDG MAINT SUPPLIES-UPPER RIV	93.60
1474572-01	01/20/2020	BULBS	40-55-10-53500 BLDG MAINT SUPPLIES-UPPER RIV	48.00
1476853-00	05/26/2020	BULBS	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	94.59
Total LASER ELECTRIC SUPPLY:				236.19
MIDWEST FUEL INC.				
RFD 6/5/20	06/05/2020	OVPD-WEIGHTS & MEASURES	11-00-00-44120 BUS LIC-CIG,TAXI,AMUSE,BILLARD	20.00
Total MIDWEST FUEL INC.:				20.00
MIKES AUTO REPAIR INC				
54572	06/11/2020	REPAIRS,TIRES-TRK 13	11-32-10-52500 ST DEPT EQUIPMENT REPAIRS	462.72
Total MIKES AUTO REPAIR INC:				462.72
MUTUAL OF OMAHA				
001089314768	05/19/2020	STD-JUNE 2020	11-00-00-21562 ST DISABILITY DEDUCTIONS	820.36
001089314768	05/19/2020	ACC-JUNE 2020	11-00-00-21564 ACCID INS DEDUCTIONS	352.91
001089314768	05/19/2020	LTD-JUNE 2020	11-00-00-21555 LT DISABILITY INS PAYABLE	1,395.87
Total MUTUAL OF OMAHA:				2,569.14
NORTHWIND PERENNIAL FARM				
9152	06/09/2020	GARDEN CARE-MAY	99-00-00-53600 LIBRARY BLDG MAINT SERVICES	451.00
Total NORTHWIND PERENNIAL FARM:				451.00
OFFICE DEPOT				
498397382001	05/22/2020	CALENDAR,SCISSORS-TREAS	11-15-10-53100 ACCTG OFFICE SUPPLIES	37.18
498409792001	05/27/2020	WIRELESS KB/MOUSE-TREAS	11-15-10-53100 ACCTG OFFICE SUPPLIES	53.99
498409793001	05/22/2020	LETTER OPENER-TREAS	11-15-10-53100 ACCTG OFFICE SUPPLIES	1.49
500650196001	05/27/2020	TONER,LABELS	11-16-10-53100 CITY HALL OFFICE SUPPLIES	245.82
500971330001	05/27/2020	THERMAL PAPER-RECEIPT PRI	11-16-10-53100 CITY HALL OFFICE SUPPLIES	50.39
500971330001	05/27/2020	BATTERIES-BEACH MEGAPHO	40-54-10-53100 BEACH OFFICE SUPPLIES	15.56
Total OFFICE DEPOT:				404.43
OFFICE PRO INC				
0379839-001	02/28/2020	EAR PLUGS	11-32-10-53900 FIRST AID AND SAFETY SUPPLIES	41.20
0384767-001	04/07/2020	FLOOR SHINE,MOP	40-55-10-53500 BLDG MAINT SUPPLIES-UPPER RIV	256.28
0384767-002	04/21/2020	FLOOR SHINE-CREDIT	40-55-10-53500 BLDG MAINT SUPPLIES-UPPER RIV	94.40
0385621-001	04/21/2020	FLOOR SHINE-BALLROOM	40-55-10-53500 BLDG MAINT SUPPLIES-UPPER RIV	202.18
0386531-001	05/21/2020	TRASH BAGS	11-52-00-53520 GROUNDS MAINT SUPPLIES	5,880.00
0386533-001	04/29/2020	AIR FRESHENERS-RESTROOM	11-52-00-53500 BLDG MAINT SUPPLIES-PARKS	51.40
0387852-001	05/18/2020	(20) SOCIAL DISTANCE SIGNS	11-32-10-55000 COVID-19 EXPENDITURES	225.90
0388776-001	05/26/2020	HAND SOAP	11-52-00-53500 BLDG MAINT SUPPLIES-PARKS	263.40

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
0389743-001	06/04/2020	HAND SOAP	11-52-00-53500 BLDG MAINT SUPPLIES-PARKS	301.32
Total OFFICE PRO INC:				7,127.28
OTIS ELEVATOR COMPANY				
CMM04054620	05/20/2020	ANNUAL ELEV MAINT	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	3,791.88
Total OTIS ELEVATOR COMPANY:				3,791.88
OTTO JACOBS				
121182	04/30/2020	SLURRY-STORM REPAIR	43-32-10-17010 2019/2020 STREET IMP PROGRAM	1,743.00
121183	04/30/2020	SLURRY-STORM REPAIR	43-32-10-17010 2019/2020 STREET IMP PROGRAM	747.00
121184	04/30/2020	SLURRY-STORM REPAIR	43-32-10-17010 2019/2020 STREET IMP PROGRAM	1,245.00
Total OTTO JACOBS:				3,735.00
PHILS ELECTRIC DRAIN SVC LLC				
241223	06/03/2020	ROTO ROOTER CAMERA-LIBRA	11-52-00-52410 BLDG MAINT&REPAIR-PARKS	165.00
Total PHILS ELECTRIC DRAIN SVC LLC:				165.00
POMP'S TIRE SERVICE INC				
60211385	05/28/2020	INNER TUBES	11-52-00-59510 EQUIP MAINT SUPPL-RECREATION	20.85
Total POMP'S TIRE SERVICE INC:				20.85
POWER TECH LLC				
9617	06/02/2020	COMM ELEC INS-6/2-6/17	11-24-00-52190 CONTRACT BUILDING INSPECTOR	910.00
Total POWER TECH LLC:				910.00
PROVEN POWER INC				
02-336321	06/09/2020	SPINDLE,SLEEVE-JD MOWER #	11-52-00-52500 EQUIPMENT REPAIR SERVICES	540.34
Total PROVEN POWER INC:				540.34
RAM RACING				
REIMB 6/3/20	06/03/2020	REIMB-PARK FEE COVID	11-52-00-46750 PARK USE FEES	500.00
Total RAM RACING:				500.00
REINDERS INC				
1831055-00	06/03/2020	VESSEL	11-52-00-53620 GROUNDS FERTILIZER/WEED CONTR	719.00
Total REINDERS INC:				719.00
RHYME BUSINESS PRODUCTS				
AR388960	05/29/2020	M3550IDN-MAY	11-12-00-53610 EQUIPMENT MAINT SERVICE COSTS	26.00
AR388961	05/29/2020	SHARP-MAY B&W	11-16-10-55310 CH OFFICE EQUIPMENT CONTRACTS	15.14
AR388961	05/29/2020	SHARP-MAY COLOR	11-16-10-55310 CH OFFICE EQUIPMENT CONTRACTS	86.78
Total RHYME BUSINESS PRODUCTS:				127.92
ROBERT STEWART EXCAVATING INC				
27286	05/19/2020	SOLID WASTE TO DUMP	11-36-00-52960 SOLID WASTE-STREET DEPT	1,000.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total ROBERT STEWART EXCAVATING INC:				1,000.00
ROC, ISABELLE				
RFD 6/8/20	06/08/2020	OPS LIC REFUND	11-00-00-44110 OPERATOR LICENSES	50.00
Total ROC, ISABELLE:				50.00
ROTE OIL COMPANY				
2014800411	05/27/2020	233.31 GALS CLEAR DIESEL	11-32-10-53410 VEHICLE-FUEL & OIL	340.40
2014800412	05/27/2020	92.38 GALS DYED DIESEL	11-32-10-53410 VEHICLE-FUEL & OIL	106.14
2015700008	06/05/2020	239.5 GALS CLEAR DIESEL	11-32-10-53410 VEHICLE-FUEL & OIL	349.43
2015700009	06/05/2020	325.8 GALS DYED DIESEL	11-32-10-53410 VEHICLE-FUEL & OIL	374.35
Total ROTE OIL COMPANY:				1,170.32
SCHMIDT, BRITTNEY				
REFD 9/12/20	05/28/2020	SCHMIDT-SEC DEP 9/12/20	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
Total SCHMIDT, BRITTNEY:				1,000.00
SEMPER RUNNING				
REIMB 6/1/20	06/01/2020	REIMB-PARK USE COVID	11-52-00-46750 PARK USE FEES	250.00
Total SEMPER RUNNING:				250.00
SHERWIN-WILLIAMS COMPANY				
9537-5	04/22/2020	WHITE PAINT	11-34-10-53700 MARKING PAINT	250.00
Total SHERWIN-WILLIAMS COMPANY:				250.00
STATE OF WISCONSIN				
INV 64-246 5/2	05/29/2020	COURT FINES-MAY 2020	11-12-00-24240 COURT FINES-STATE	2,053.18
Total STATE OF WISCONSIN:				2,053.18
TOTAL PARKING SOLUTIONS INC				
104965	05/28/2020	CMS MONITORING-MAY	42-34-50-54500 SUPPORT CONTRACTS	3,250.00
104966	05/28/2020	CMS MONITORING-JUN	42-34-50-54500 SUPPORT CONTRACTS	3,250.00
TOTAL PARKING SOLUTIONS INC:				6,500.00
TRUGREEN PROCESSING CTR				
121537374	05/31/2020	FERTILIZER SVC-MAY	11-52-00-53620 GROUNDS FERTILIZER/WEED CONTR	669.55
Total TRUGREEN PROCESSING CTR:				669.55
UNITED LABORATORIES				
INV289047	05/21/2020	SANITIZER,SOAP-BEACH HOUS	11-32-10-55000 COVID-19 EXPENDITURES	334.56
Total UNITED LABORATORIES:				334.56
UNITED PUBLIC SAFETY INC				
45971	05/31/2020	AUTO OWNER LOOKUPS-MAY 2	42-34-50-54500 SUPPORT CONTRACTS	55.00
Total UNITED PUBLIC SAFETY INC:				55.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
VANDEWALLE & ASSOCIATES INC				
202005055	05/19/2020	COST RECOVERY	11-00-00-13910 A/R BILL OUTS	3,537.50
202005055	05/19/2020	PLANNING SVCS-MAY	11-69-30-52120 OUTSIDE PROFESSIONAL PLANNING	183.48
Total VANDEWALLE & ASSOCIATES INC:				3,720.98
VORPAGEL SERVICE INC				
46154	05/18/2020	CHIMNEY ISSUES	40-55-10-53600 UPPER RIVIERA MAINTENANCE	275.00
Total VORPAGEL SERVICE INC:				275.00
WALWORTH COUNTY SHERIFF				
MAY 2020	06/03/2020	PRISONER CONFINES-MAY	11-12-00-52900 CARE OF PRISONERS	30.00
Total WALWORTH COUNTY SHERIFF:				30.00
WALWORTH COUNTY TREASURER				
INV 64-246 5/2	05/29/2020	COURT FINES-MAY 2020	11-12-00-24200 COURT FINES-COUNTY	577.05
Total WALWORTH COUNTY TREASURER:				577.05
WI DEPT OF AG, TRADE &				
115-000001711	05/29/2020	2020 ANNUAL WEIGHTS/MEASU	11-24-00-52180 CONTRACTS-WEIGHTS & MEASURES	4,800.00
Total WI DEPT OF AG, TRADE &:				4,800.00
WISCONN VALLEY MEDIA GROUP				
41386	05/22/2020	PD STORAGE SHED-BID NOTIC	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	59.22
42148	05/22/2020	ORD 20-03-PD EMERGENCY OR	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	48.45
Total WISCONN VALLEY MEDIA GROUP:				107.67
WITTE SUPPLY COMPANY				
93255	06/02/2020	TOP SOIL-3 YDS	43-32-10-17010 2019/2020 STREET IMP PROGRAM	76.50
Total WITTE SUPPLY COMPANY:				76.50
WOLF CONSTRUCTION CO INC				
8175	06/04/2020	COLD PATCH-6/4/20	11-32-10-53700 ROAD MAINTENANCE SUPPLIES	1,528.22
Total WOLF CONSTRUCTION CO INC:				1,528.22
Grand Totals:				191,365.82

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
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Dated: 6-17-20

Mayor: Charles Klein

City Council: Ken Horn

City Recorder: _____

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Only unpaid invoices included.

Invoice.Batch = "L06172020","L06172020A","06172020","06172020A"

Invoice Detail.GL account (2 Characters) = {<>} "61"

Invoice Detail.GL account (2 Characters) = {<>} "62"

Report Criteria:

Report type: Summary
 [Report].Check Issue Date = 06/03/2020,06/10/2020
 Check.Type = {<>} "Adjustment"
 Bank.Bank account = "043230"

Check Issue Date	Check Number	Vendor Number	Payee	Amount
06/03/2020	73582	2046	ALLIANT ENERGY	7,870.83
06/03/2020	73583	2273	CHASE CARD SERVICES	4,997.14
06/03/2020	73584	2670	HOME DEPOT CREDIT	142.36
06/03/2020	73585	5782	LINDA FRAME	60.72
06/03/2020	73586	3233	RHYME BUSINESS PRODUCTS	135.94
06/03/2020	73587	4918	TIME WARNER CABLE	144.98
06/03/2020	73588	5783	WALWORTH COUNTY REGISTER OF DEEDS	30.00
06/10/2020	73659	2046	ALLIANT ENERGY	10,350.66
06/10/2020	73660	5770	AT & T TELECONFERENCE SERVICES	236.40
06/10/2020	73661	5790	JOHN REBHORN	575.21
06/10/2020	73662	3199	R&R INSURANCE SERVICES INC	26,138.00
06/10/2020	73663	4918	TIME WARNER CABLE	110.75
06/10/2020	73664	4935	TRANS UNION LLC	94.32
06/10/2020	73665	5001	VERIZON WIRELESS	539.91
Grand Totals:				51,427.22

Summary by General Ledger Account Number

GL Account	Debit	Credit	Proof
11-00-00-21100	236.12	46,423.40-	46,187.28-
11-10-00-53160	30.00	.00	30.00
11-10-00-55000	236.40	.00	236.40
11-14-10-53100	45.35	.00	45.35
11-14-20-53240	958.00	.00	958.00
11-14-30-53320	489.00	20.00-	469.00
11-15-10-53100	58.59	.00	58.59
11-15-10-54500	50.00	.00	50.00
11-16-10-52220	3,136.23	.00	3,136.23
11-16-10-53100	139.73	.00	139.73
11-16-10-53500	71.00	.00	71.00
11-21-00-52210	319.98	.00	319.98
11-21-00-52220	23.71	.00	23.71
11-21-00-53300	575.21	.00	575.21
11-21-00-54110	94.32	.00	94.32
11-22-00-51150	54.00	.00	54.00
11-22-00-51340	26,138.00	.00	26,138.00
11-22-00-52210	539.91	.00	539.91
11-22-00-52220	1,011.04	.00	1,011.04
11-22-00-53400	23.98	.00	23.98
11-22-00-53510	14.94	.00	14.94
11-22-00-53990	14.33	.00	14.33
11-22-00-54500	175.00	.00	175.00
11-22-00-55000	321.68	216.12-	105.56

GL Account	Debit	Credit	Proof
11-22-00-58000	215.89	.00	215.89
11-22-00-58100	44.33	.00	44.33
11-24-00-53100	135.94	.00	135.94
11-24-00-53200	81.60	.00	81.60
11-29-00-52220	53.28	.00	53.28
11-32-10-52220	720.59	.00	720.59
11-32-10-55000	281.91	.00	281.91
11-32-13-52200	66.88	.00	66.88
11-34-10-52220	364.11	.00	364.11
11-34-10-52230	8,313.83	.00	8,313.83
11-51-10-52220	347.03	.00	347.03
11-52-00-52220	539.19	.00	539.19
11-52-00-52410	52.48	.00	52.48
11-52-00-53500	98.42	.00	98.42
11-52-00-59220	144.53	.00	144.53
11-52-01-52220	442.99	.00	442.99
40-00-00-21100	.00	2,651.15-	2,651.15-
40-52-10-52640	60.72	.00	60.72
40-54-10-52220	329.17	.00	329.17
40-55-30-52220	2,261.26	.00	2,261.26
47-00-00-21100	.00	110.75-	110.75-
47-70-00-57155	110.75	.00	110.75
48-00-00-21100	.00	49.15-	49.15-
48-00-00-53400	49.15	.00	49.15
99-00-00-21100	.00	2,428.89-	2,428.89-
99-00-00-52220	534.53	.00	534.53
99-00-00-54100	1,303.18	.00	1,303.18
99-00-00-54140	377.20	.00	377.20
99-00-00-54150	39.41	.00	39.41
99-00-00-54155	61.71	.00	61.71
99-00-00-55000	112.86	.00	112.86
Grand Totals:	51,899.46	51,899.46-	.00

Dated: 6-17-20

Mayor: Charles Kelpin

City Council: Ken Howell

City Recorder: _____

Report Criteria:

Report type: Summary

[Report].Check Issue Date = 06/03/2020,06/10/2020

Check.Type = {<>} "Adjustment"

Bank.Bank account = "043230"

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 15, 2020

Agenda Item: 10

Applicant:

John Sherman Lindsey
d.b.a Wisconsin Street LLC.
W3741 Fir Ct.
Lake Geneva

Request: Conditional Use Permit

Outdoor Display
529 W. Main St.
Central Business (CB)
Tax Key No. ZOP00301

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for the consideration Outdoor Display land use. With this request the applicant would like to allow outdoor display of rental classic cars and scooters.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
 - a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

529 W MAIN ST. LAKE GENEVA, WI

(SEE ATTACHMENT)

Name and Address of Current Owner:

WISCONSIN STREET LLC - KEN AND MICHELLE SHIELDS

728 WISCONSIN ST. LAKE GENEVA, WI 53147

Telephone No. with area code & Email of Current Owner:

(262) 248-0861 KSHIELDS@ALLSTATE.COM

Name and Address of Applicant:

JOHN SHERMAN LINDSEY

W3741 FIR CT. LAKE GENEVA, WI 53147

Telephone No. with area code & Email of Applicant:

(224) 388-2401 SHERMLINDSEY@GMAIL.COM

Proposed Conditional Use: TO DISPLAY 6-8 CLASSIC CARS ON THE LEFT HAND SIDE

FACING THE BUILDING IN THE PARKING STALLS. ALSO DISPLAY 4-6 SCOOTERS DIRECTLY
IN FRONT OF THE BUILDING TO PROMOTE SCOOTER RENTALS.

Zoning District in which land is located: GB

Names and Addresses of architect, professional engineer and contractor of project:

NONE

Short statement describing activities to take place on site:

SALES OF SCOOTERS AND SCOOTER ACCESSORIES, ALSO TO BE USED FOR PROMOTIONAL
PURPOSES OF SCOOTER RENTALS AND CLASSIC CAR RENTALS HOWEVER TRANSACTIONS FOR
THESE RENTALS WILL NOT TAKE PLACE ON THE PREMISES.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

4/16/20

Date

Signature of Applicant

- (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
NO DEVELOPEMENT
- (e) Written justification for the proposed conditional use:
 - Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

(SEE ATTACHMENT)

2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

(SEE ATTACHMENT)

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

WE FEEL IT DOES NOT IN ANY WAY.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

THIS WILL NOT AFFECT ANYTHING DIFFERENTLY IN ANY WAY AND WILL KEEP THE CONSISTENCY OF THIS PROPERTY AND THE CITY.

Description of Proposed Use of Property 529 W Main St. Lake Geneva, WI

The outdoor usage of the property 529 W Main St. Lake Geneva will be as follows. The purpose is to display 4-6 Classic Cars for intention of renting. These will be a rotation of clean classic cars that will be available for Lake Geneva tourists to rent. They will be available by the day or week for special events such as weddings or just casual rides around Geneva Lake. Cars will be lined up on the left side of the building with plenty of room for the through driveway for cars to exit the lot. The intention is to cover these cars at night with high-end uniformed car covers. Cars will then be returned to the same location where one of our staff members will park the car.

The second usage for for this is to display scooters for promotional purposes. We intend to display 4-6 scooters outside directly in front of the building angled uniformly. These will be as close to the building's windows as possible and will never interfere with the sidewalk. They will be brought back into the building every night and will never be left out overnight for any circumstances and only displayed during business hours.

Transactions for both the Classic Cars and Scooter Rentals will not take place at this location. The Classic Cars Rentals is done entirely online and the customer simply comes there to take possession of the car. The Scooter Rentals are similar however the customer must take delivery of the scooter at the Grand Geneva where our other location is. The display of these outside will just be for promotional purposes.

All regular sales and business will be done inside only.

**EXHIBIT A
LEGAL DESCRIPTION**

All that part of the Northeast ¼ of Section 36, T2N, R17E, City of Lake Geneva, Walworth County, Wisconsin, bounded and described as follows: Begin at an iron stake on the North line of Main Street, 250 feet West of an iron stake at the intersection of said North line with the Southwest line of the Chicago & Northwestern Railway Company's right of way; thence North 00° 55' West and at right angles to the North line of Main Street, 114.2 feet to an iron stake on the Southeast edge of the Tail Race to the Electric Light Plant; thence North 46°55' East to the center of the main channel of White River, or outlet of Geneva Lake; thence Southerly along the center of the main channel of said river to the North line of Main Street; thence South 89° 5' West 90 feet; more or less, to the place of beginning, in the City of Lake Geneva, Walworth County, Wisconsin. The stake at the point of beginning is a 1" iron stake 7' long, 93' West from the East side of a 6" box elder on the East side of the river, 20' West of the Typewriter Building and 75.7 feet South of an iron stake set on the first described line. The iron stake at the edge of tail race is 8 ½' long; and is on line with the inner face of the South abutment to R.R. Culvert and a notch in the concrete landing at the waste gate to Electric Light Plant, also marked by an iron stake.

TOGETHER WITH all that part of Main Street, now vacated, as set forth in Ordinance No. 121 adopted by the Common Council of the City of Lake Geneva, dated April 2, 1926 and bounded and described as follows: Commencing at a point in the North line of said Main Street, two hundred fifty feet West of the Southwesterly line of the right of way of the Chicago and Northwestern Railway Company, run thence South thirty four feet and four inches, to the North line of the concrete sidewalk as now constructed; thence East in the North line of said sidewalk a distance of ninety feet, more or less, to the center of the outlet of Geneva Lake, thence North in the center line of said outlet to the North line of said Main Street; thence West in said North line to the place of commencement.

Such real estate is also described in deed dated February 26, 1999 and recorded on March 5, 1999 in Volume 661, page 9976 in the Walworth County Register of Deeds as follows:

Begin at an iron stake on the North line of Main Street, City of Lake Geneva, Two Hundred and Fifty feet (250) West of an iron stake at the intersection of said North line with the Southwest line of the Chicago & Northwestern Railway Company's right of way; thence North fifty-five (55) minutes West and at right angles to the North line of Main Street, one-hundred fourteen and two tenths (114.2) feet to an iron stake on the Southeast edge of the Tail Race to the Electric Light Plant; thence north forty-six degrees fifty-five minutes East to the center of the main channel of the White River, or Outlet of Geneva Lake; thence Southerly along the main channel of said river to the North line of Main Street; thence South eighty-nine degrees five minutes West, ninety feet more or less to the place of beginning; the stake at the point of beginning is a 1" iron stake 7' long, 93' west from the east side of a six inch box elder on the east side of the river, 20' west of the Typewriter Building, and 75.7' south of an iron stake set on the first described line. The iron stake at the edge of Tail Race is 8 ½' long, and is on line with the inner face of the south abutment to R. R. culvert and a notch in the concrete landing at the West gate to Electric Light Plant also marked by an iron stake. Together with a parcel commencing at a point in the North line of Main Street Two Hundred Fifty (250) feet West of the Southwesterly line of the right of way of the Chicago & Northwestern Railway Company, run thence South thirty-four (34) feet four (4) inches, to a point which is the North line of the concrete sidewalk; thence East in the North line of said sidewalk a distance of ninety (90) feet, more or less, to the center of the outlet of Geneva Lake, thence North in the center line of said outlet to the North line of Main Street, thence West in said North line to the place of commencement; Said parcel being vacated as a portion of Main Street by the City of Lake Geneva April 2, 1926.

(Signatures may be authenticated or acknowledged. Both are not necessary.)

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.

WARRANTY DEED

© 2003 STATE BAR OF WISCONSIN

FORM NO. 1-2003

*Type name below signatures.

ATG FORM 4147-WI
(10/08)

FOR USE IN: WI
Page 2 of 2

LAKE GENEVA
MUSEUM

4-6 CLASSIC CAR DISPLAY
(LEFT HAND SIDE OF BUILDING IN PARKING STALLS)

THERE ARE 10 OTHER PARKING SPOTS
BEYOND THE CLASSIC CAR PARKING
ON THIS PREMISES FOR CUSTOMER
AND EMPLOYEE PARKING

OLD TRAIN TRACKS

N

20 FEET

ADDITIONAL ONSITE
PARKING WILL REPLACE
THE CLASSIC CAR THAT IS RENTED

4-6 MOPEDS/SCOOTERS
(LOCATED DIRECTLY IN FRONT OF BUILDING)

529 W
MAIN ST
522 SF

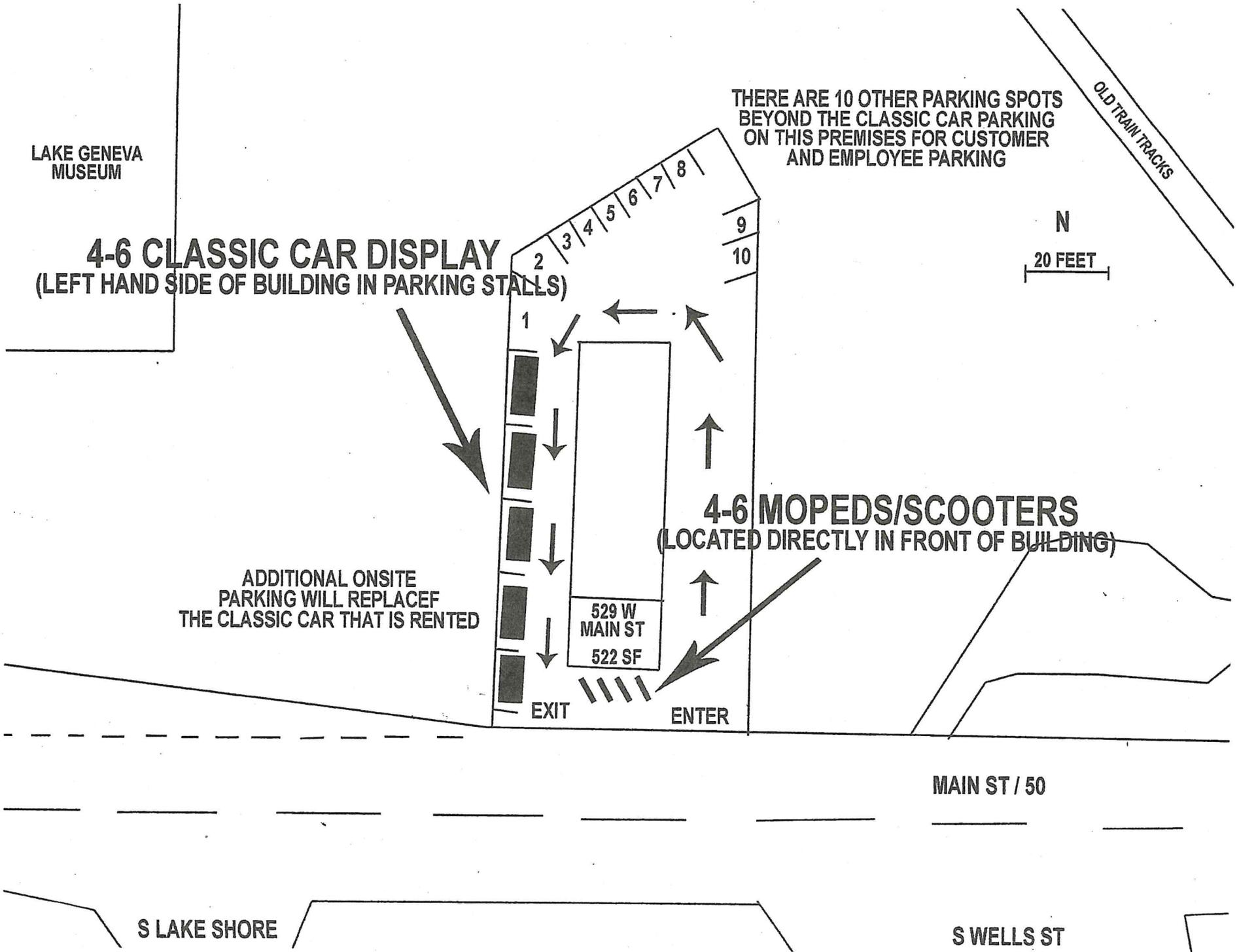
EXIT

ENTER

MAIN ST / 50

S LAKE SHORE

S WELLS ST



THERE ARE 10 OTHER PARKING SPOTS
BEYOND THE CLASSIC CAR PARKING
ON THIS PREMISES FOR CUSTOMER
PARKING AND EMPLOYEE PARKING



20 FEET

4-6 CLASSIC CAR DISPLAY
(LEFT HAND SIDE OF BUILDING IN PARKING STALLS)

4-6 MOPEDS/SCOOTERS
(LOCATED DIRECTLY IN FRONT OF BUILDING)

ADDITIONAL
ONSITE PARKING WILL REPLACE
THE VEHICLE THAT IS RENTED



529
W MAIN

EXIT

ENTER

50

W Main St

W Main St

Google



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 15, 2020

Agenda Item: 7

Applicant:

Pete & Holly Krug
417 S. Columbia St.
Naperville, IL 60540

Request: Conditional Use Permit

New Single Family Residence
870 Maytag Rd. Estate Residential (ER-1)
Tax Key No. ZCE00011

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for the construction of a new single family residence located in the Estate Residential (ER-1) zoning district utilizing the Single-Family Residential – 4 (SR-4) zoning.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
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- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

Memo to City of Lake Geneva

To: Fred Walling, Zoning Administrator **Date:** May 19, 2020

From: Naomi Rauch, P.E.
262-758-6032

CC: Pete Krug
Brad Dendel – Brad Dendel Builders
Dave Nord – City Administrator
Brenda Follensbee – Building and Zoning Administrative Assistant
Tom Earle – Director of Public Works
Josh Gajewski – Utility Director
Greg Governatori P.E. – Kapur & Associates, Inc.

Subject: SITE PLAN RECOMMENDED APPROVAL – 870 Maytag Road

BACKGROUND AND REQUEST:

A site plan application was submitted by Mr. and Mrs. Krug for the demolition of an existing residential structure and construction of a new structure at 870 Maytag Road (Lot 11 of Ceylon Court Estates).

The following plans were submitted for review:

- Site, Grading, Drainage & Erosion Control Plan Lot 11 of Ceylon Court Estates, One Sheet, prepared by Farris, Hansen & Associates, Inc. dated 09/21/1999 and last revised 05/06/2020.
- Landscape Plan, The Krug Residence 780 Maytag Road, Lake Geneva, WI, one sheet, prepared by The Reeseman Company, dated 3/17/2020 last revised 4/22/2020.
- Impervious Surface Calculations, three sheets, signed and dated 4/22/20.

Comments:

Kapur recommends approval of the site plan application for demolition of an existing residential structure and construction of a new residential structure based on the information reviewed above. This approval is subject to the following conditions:

1. Field coordination with Lake Geneva Utility Commission is required prior to service abandonment and reinstallation.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Lake Geneva policies. Although the material has been reviewed, the applicant is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.



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To: Fred Walling, Zoning Administrator **Date:** May 19, 2020

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262-758-6032

CC: Pete Krug
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Please contact me if you have any questions or comments pertaining to this project.



APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

870 Maytag Road, Lake Geneva, WI. Parcel number ZCE 00011

SW 1/4 of Section 1, Town 1 North, Range 17 East. City of Lake Geneva, Walworth County, Wisconsin.

Name and Address of Current Owner:

Pete & Holly Krug - 417 S. Columbia St. Naperville, Il. 60540

Telephone No. with area code & Email of Current Owner:

Holly Krug 630-660-6063 Email : Krugs@sbcglobal.net

Name and Address of Applicant:

Brad Drendel - 24W420 Eugenia Dr., Naperville, Il. 60540

Telephone No. with area code & Email of Applicant:

Brad Drendel -630-688-7065 bdrendel@comcast.net

Proposed Conditional Use: Property is currently zoned ER1. We would like to utilize SR4 zoning and setbacks.

Zoning District in which land is located: ER-1 Estate lot

Names and Addresses of architect, professional engineer and contractor of project:

BR Design/Potts Designs & Architecture One Trans Am Plaza Drive suite 120, Oakbrook Terrace, Il 60181 -630-778-7588

Farris, Hansen & Associates, Inc. 7 Ridgeway Ct, Elkhorn, WI 53121 -262-723-2098

Short statement describing activities to take place on site:

Raise current single family residence and build new single family residence.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

Date


Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

↓

___ (a) **A map of the proposed conditional use:**

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

_____ The proposed conditional use is in harmony with other similar properties on the Lake. This is a common
 _____ Conditional use request for this area.

2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

_____ This conditional use is in harmony with the current Lake Geneva standards. We are not changing current use
 _____ Of property. The property both existing and improved meet current city standards.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

_____ There is no change of use. Just improving the property. No increase in occupants or parking requirements.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

_____ There is no change of use. Just improving the property. No increase in occupants or land use intensities. We are
 _____ Not exceeding the .50 increase in lot coverage.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

No additional stress on public agencies in the area.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

There will be no adverse effects on the public.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ (a) A written description of the intended use describing in reasonable detail the:

- ___ Existing zoning district(s) (and proposed zoning district(s) if different);
- ___ Land use plan map designation(s);
- ___ Current land uses present on the subject property;
- ___ Proposed land uses for the subject property (per Section 98-206);
- ___ Projected number of residents, employees, and daily customers;
- ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- _____ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- _____ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- _____ Exterior building and fencing materials (Sections 98-718 and 98-720);
- _____ Possible future expansion and related implications for points above;
- _____ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

_____ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

_____ (c) A **Property Site Plan drawing which includes:**

- _____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- _____ The date of the original plan and the latest date of revision to the plan;
- _____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- _____ A reduction of the drawing at 11" x 17";
- _____ A legal description of the subject property;
- _____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- _____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- _____ All required building setback lines;
- _____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- _____ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- _____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- _____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- _____ The location of all outdoor storage areas and the design of all screening devices;
- _____ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- _____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- _____ All engineering requirements for utilities, site designs, etc;
- _____ The location and type of any permanently protected green space areas;
- _____ The location of existing and proposed drainage facilities for storm water;

_____ In the legend, data for the subject property on:

- _____ Lot Area;
- _____ Floor Area;
- _____ Floor Area Ratio (b/a);
- _____ Impervious Surface Area;
- _____ Impervious Surface Ratio (d/a);
- _____ Building Height.

_____ (d) **A Detailed Landscaping Plan of the subject property:**

- _____ Scale same as main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing the location of all required buffer yard and landscaping areas
- _____ Showing existing and proposed Landscape Point fencing
- _____ Showing berm options for meeting said requirements
- _____ Demonstrating complete compliance with the requirements of Article VI
- _____ Providing individual plant locations and species, fencing types and heights, and berm heights;

_____ (e) **A Grading and Erosion Control Plan:**

- _____ Same scale as the main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

_____ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- _____ Showing finished exterior treatment;
- _____ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- _____ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

_____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 870 Maytag Road
Applicant name Brad Drendel
Applicant email Bdrendel@comcast.net Phone Number 630-688-7065

Architect/Contractor/Designer Name Potts Designs/Brad Drendel Builders, Inc.
Architect/Contractor/Designer Email Pottsdesigns@yahoo.com Phone Number 630-747-6545

Type of Construction: New Addition _____ Remodel _____
Type of Development: Single-family Multi-family _____ Commercial _____ Industrial _____
Type of Business _____

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow).

- Storm water management provisions provided? YES NO
 - As-built/certification notification
- Erosion control plan provided? YES NO
- Wetlands, floodplains, environmental corridors, groundwater Identifier. YES NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES NO
- Access points and dimensions shown? YES NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES NO
 - Traffic Control Plan Required YES NO
 - Will construction affect street parking or intersections? YES NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? N/A
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms _____
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____



ONE TRANS AM PLAZA DRIVE SUITE #120
OAKBROOK TERRACE IL 60181
PHONE: 708-508-7281

April 21, 2020

Re: Krug residence
870 Maytag Road

Dear Lake Geneva Building and Zoning Department,
In response to the plan review by Mike Slavney, please see below in red:

1. This is a very complete plan set that will create a beautiful home that is setback farther from the lake, in alignment with the immediate neighboring homes to the east and west. No action needed.
2. The building exterior material are very nice. However, the building elevations do not specify product textures and colors. These are required. Labeled on new elevations provided.
3. The building coverage and landscape surface ratio/impervious surface ratio requirements are all met for the SR-4 District. ISR increases from 41.4% to 49.7%. See new civil drawings.
4. All building setback and pavement setback requirements are met for the SR-4 District. The total sideyard setback has increased from 17.1 feet in total to 21.2 feet in total. The house setback to the east property line is proposed at 6.5 feet vs the 6 feet minimum. The pavement setback to the east property line is proposed at 6.5 feet vs the 5 feet minimum. No comment.
5. The building height, as measured from the lowest exposed wall to the mean height of the Attic Mechanical Closet dormer appears to exceed the maximum permitted building height of 35 feet. My "on-screen" estimate is about 42 feet in this location. Spoke with Mike. He agrees the main roof mean to grade complies with the 35' requirement.
6. The master bath tub area and attic mechanical closet overhangs the lower floor. This is shown of the elevations, but not on any plan view in the submitted plan set. The minimum sideyard setback appears to be met. Please confirm this with the project architect. Clarified with Mike, he was mistaken.
7. The sidewalk on the side of the house complies with the minimum 5 feet paved setback. See Civil.
8. The Landscaping Plan is good but continues the lawn along the full width of the lot all the way to the lakeshore. No prairie or perennial beds are provided in the lakeside 35 feet to reduce stormwater runoff into the lake. See Civil.
9. I have several additional questions for the architect or applicant:
 - a. What purpose does the knee wall serve on the side of the house? Confirmed, raised floor with short carpenter built wall is suitable.
 - b. Why is there a garage door on the west side (back wall) of the garage? If for boat or RV storage purposes, the required pavement setback is 5 feet, and the required trailer/equipment setback is 3 feet per Section 98-706(2)(b)3. Confirmed with Mike, door is for water kayaks and the like.
10. Finally, I have identified four required changes to the submittal:

- a. Specify exterior textures and colors on the elevation drawings, and bring a sample board of all exterior materials to match the revised elevations. See sample board provided by Builder.
- b. Remove the dormer for the attic mechanical closet (which results in a building height of about 42 feet versus the limit of 35 feet) from all plans, and provide revised building elevations that depict a continuation of the main roof plane instead. Mike said he was mistaken in this request.
- c. Revise the Plan Set to depict the or remove the building overhang. We kept the overhang and moved the house over to include it in the required setback. See Civil.
- d. Provide either a prairie planting area and/or a deep-rooted hardy perennial bed between the shore path and the point 35 feet inland from the OHWM, except for the paved pathway to the lake. No shrubs or trees are required that would block views. See Civil.

If you have any questions, please feel free to call us directly.

Sincerely,

Christine Potts 630-747-6545

Brian Gould 708-508-7281

Treated impervious surfaces; The impervious surface calculation may exclude any existing or proposed impervious surface where the property owner can show the county that runoff from the impervious surface is treated by existing or proposed devices such as storm water ponds, constructed wetlands, infiltration systems, rain gardens, bioswales or other engineered systems, or that the runoff discharges to internally drained pervious area that retains the runoff on or off the parcel to allow infiltration into the soil. If a property owner or subsequent property owner fails to maintain the treatment system, treatment device or internally drained area, the impervious surface is no longer exempt under this ordinance.

- a. For smaller sites, such as those usually associated with shoreland areas, hydrologic modeling is not necessary if the landowner simply infiltrates or treats the first ½ inch of runoff discharging from the existing and planned impervious surfaces. This method shall demonstrate how the infiltration system and/or best management practice(s) will result in the exceedance of the following storm water discharge standards:
 1. Capture 80% of the total suspended solids (i.e. sediment/water quality standard);
 2. Infiltrate 90% of the predevelopment runoff volume (i.e. runoff volume standard).
- b. The County may exclude an impervious surface from the impervious surface calculation provided the property owner can demonstrate that one or more of the following general standards apply, and the existing or proposed infiltration system or best management practice(s) conform to County Conservation Standards or the applicable technical standards:
 1. One half inch of runoff from the area of impervious surface is treated by a storm water BMP, complying with the County Conservation Standards, or
 2. One half inch of runoff from the surface is discharged to an internally drained pervious area that retains the runoff on or off the parcel to allow infiltration into the soil.
- c. A storm water management plan and permit must be approved by the County, pursuant to the Walworth County Storm Water Management Ordinance, Chapter 26, Walworth County Code of Ordinances.

Mitigation Plan. For lots or parcels that exceed the impervious surface standard, but do not exceed the maximum impervious surface standard, the county may issue a complete permit that requires a mitigation plan reviewed and approved by the county zoning division and land conservation division (if applicable) and implemented by the property owner by the date specified in the permit. The application shall include the following:

- a. A site plan that describes the proposed mitigation measures. The site plan shall be designed and implemented to restore natural functions lost through development and human activities.
- b. The mitigation measures shall be proportional in scope to the amount and impacts of the impervious surface being permitted to establish or maintain measures adequate to offset the impacts of the impervious surface on water quality, near-shore habitat, upland wildlife habitat and natural scenic beauty.
- c. The mitigation plan shall include an implementation schedule and enforceable obligations on the property owner to establish and maintain the mitigation measures.
- d. The obligations of the property owner under the mitigation plan shall be evidenced by an instrument recorded in the office of the county register of deeds.

IMPERVIOUS SURFACE MITIGATION AFFIDAVIT – SHORELAND ZONING

Mitigation requirements

Permitted : 0% - 15% impervious surface GENERAL Mitigation- max of 30%

- 2.5% increase impervious surface 1 point
- 5% increase impervious surface 2 points
- 7.5% increase impervious surface 3 points
- 10% increase impervious surface 4 points
- 12.5% increase impervious surface 5 points
- 15% increase impervious surface 6 points

Permitted : 0%- 30% HIGHLY DEVELOPED SHORELINE –

Residential Mitigation - max of 40%

- 2.5% increase impervious surface 1 point
- 5% increase impervious surface 2 points
- 7.5% increase impervious surface 3 points
- 10% increase impervious surface 4 points

Permitted : 0% - 40% HIGHLY DEVELOPED SHORELINE –

Commercial/Business/Ind. Mitigation - max of 60%

- 2.5% increase impervious surface 1 point
- 5% increase impervious surface 2 points
- 7.5% increase impervious surface 3 points
- 10% increase impervious surface 4 points
- 12.5% increase impervious surface 5 points
- 15% increase impervious surface 6 points
- 17.5% increase impervious surface 8 points
- 20% increase impervious surface 10 points

Number of Points required: _____

Mitigation Measures.

- ___ 1 point - for every 5' of permanent native shore yard buffer from 35' to 75'
- ___ 1 point - for every 5' of buffer perpendicular to the shore from 35' to 75'
- ___ 1 point - for every 5' reduced width of view/access corridor
- ___ 1 point - for no shore yard lighting
- ___ 1 point- Planting/restoration of a primary buffer 1 pt for every 7' depth of buffer (max of 5 points)
- ___ 1 point- Increase shore yard setback – 1 point for every 5' of increase
- ___ 1 point - Permanent plantings (native forbs/shrubs) to screen existing retaining walls 1 pt/35'
- ___ 1 point - Removal of retaining wall - for every 100 square foot of face area
- ___ 2 points - DNR approved rip rap or vegetated shore treatment
- ___ 2 points - Code compliant POWTS/ septic (installed after 1980)
- ___ 3 points - Removal of second access to shore
- ___ 3 points - Rain garden
- ___ 3 points - Roof run off collection system
- ___ 4 points - Removal of legally constructed sand beach/pea gravel
- ___ 2 points - No grade change within 75 feet of OHWM
- ___ 4 points - No boathouse
- ___ 5 points - Preserve existing permanent native buffer (OHWM extended 35' landward)
- ___ TBD points - Other method approved by LURM. points based on proposal and impacts

Total Impervious Surface 6267.3²

Total Impervious Surface Percentage calculated on worksheet _____ 41.4 _____ %

I (print property owner name) Holly Krug will implement the Mitigation Measures chosen (as noted above) and record a Deed in the Register of Deeds Office. A method not listed above but approved by LURM is: _____

_____ and is designated as _____ points.

Signature (Owner):

Holly Krug

Date: 4/22/20

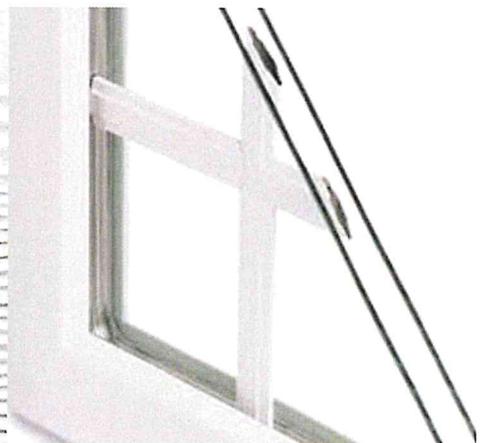
KRUG RESIDENCE
870 MAYTAG RD.
EXTERIOR FINISHES



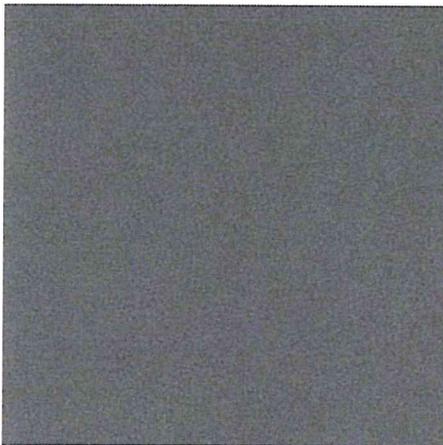
EXTERIOR STONE
BARNWOOD BLUE ASHLAR STONE



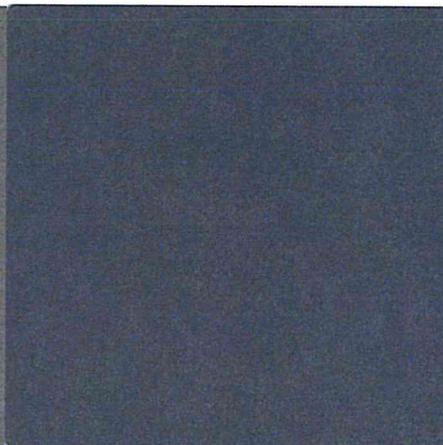
SIDING
JAMESHARDIE - ARTIC WHITE



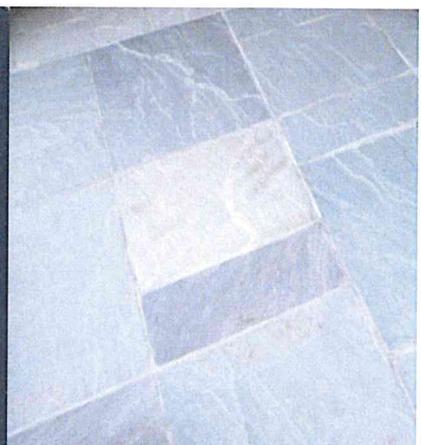
WINDOW TRIM
ULTREX - STONE WHITE



METAL ROOF
PAC-CLAD - ZINC



FRONT DOOR
BENJAMIN MOORE - HC-156



PORCH & VERANDA
BLUESTONE - BLUE ICE



FRONT ENTRY LIGHT
BACK POST LIGHT



OVER GARAGE LIGHTS



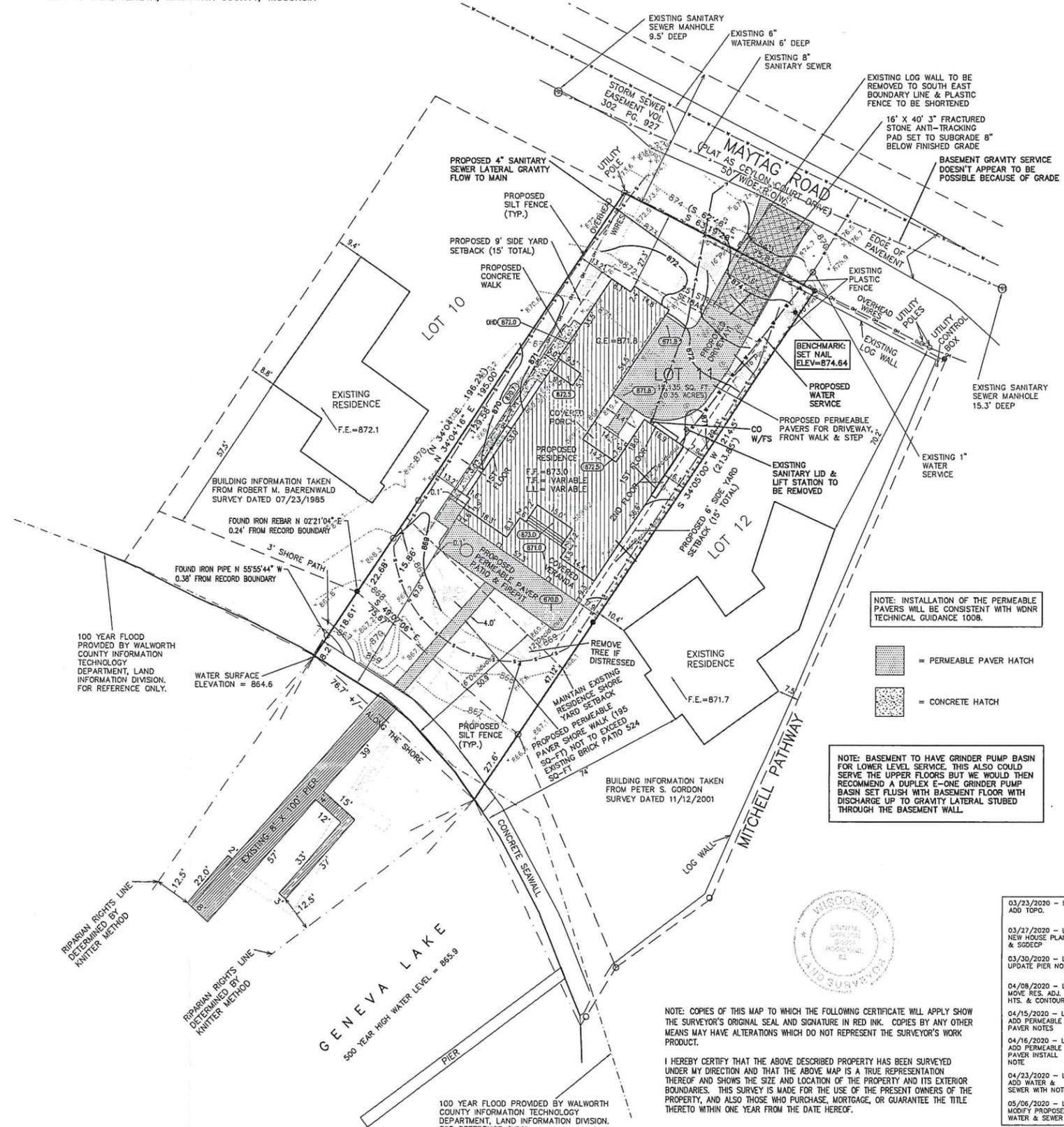
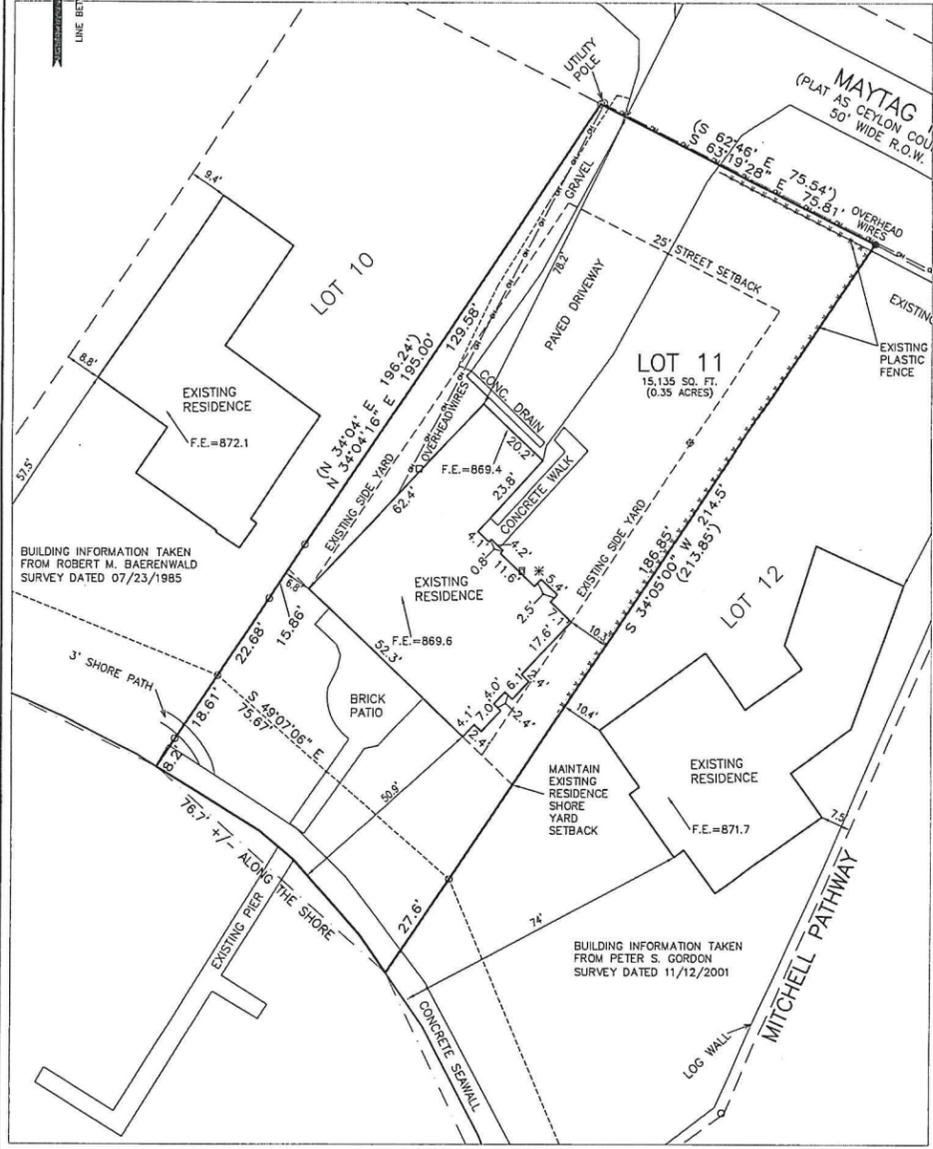
VERANDA FANS

SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN

LOT 11 OF CEYLON COURT ESTATES

LOCATED IN PART OF THE NE 1/4 OF THE SW 1/4
OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

EXISTING RESIDENCE TO BE DEMOLISHED.
EXISTING UTILITIES TO BE RELOCATED.
EXISTING CONCRETE WALK, GRAVEL AREA &
PAVED DRIVEWAY TO BE DEMOLISHED.
EXISTING BRICK PATIO & WALK TO SHORE
TO BE DEMOLISHED.
EXISTING PIER TO BE DEMOLISHED.



- LEGEND**
- = FOUND IRON PIPE STAKE
 - = FOUND IRON REBAR STAKE
 - ⊕ = GAS METER
 - ⊗ = AIR CONDITIONING UNIT
 - ⊞ = ELECTRIC METER
 - ⊕ = SANITARY LID
 - F.E. = EXISTING FLOOR ELEVATION
 - (XXX) = RECORDED AS
 - = EXISTING GROUND ELEVATION
 - = EXISTING LAND CONTOURS
 - = PROPOSED LAND CONTOURS
 - = PROPOSED SILT FENCE OR STAKED 12" WATTLE
 - = PROPOSED FINISHED GRADE/ELEVATION
 - T.F. = TOP OF FOUNDATION ELEVATION
 - F.F. = FIRST FLOOR ELEVATION
 - G.E. = GARAGE ELEVATION
 - L.L. = LOWER LEVEL ELEVATION (CRAWL SPACE)
 - ⊗ = EXISTING TREE TO BE REMOVED

- CONSTRUCTION SEQUENCE**
- 1) SILT FENCING INSTALLED
 - 2) INSTALL ANTI-TRACKING MAT
 - 3) VEGETATION TO BE CLEARED
 - 4) TOPSOIL STRIPPED
 - 5) FOUNDATIONS DUG & POURED
 - 6) WALLS BACKFILLED
 - 7) FRAMING AND HOME CONSTRUCTION COMPLETED
 - 8) DRIVE & LANDSCAPING COMPLETED
- AREA WITHIN SILT FENCING TO BE CLEARED OF UNDERBRUSH WITH ONLY NECESSARY LARGE TREES REMOVED (MARKED WITH "X").
- ALL SILT FENCING SHALL BE MAINTAINED IN A STABLE CONDITION FULLY BRACED AND STAKED TO PREVENT MOVEMENT BY RUNOFF UNTIL A DENSE TURF IS ESTABLISHED OVER ALL DISTURBED GROUND SURFACES. DURING OR AFTER EVERY STORM THEY SHALL BE CHECKED. ACCUMULATIONS OF SILT TOPSOIL AND ANY OTHER CONSTRUCTION DEBRIS SHALL BE ROUTINELY REMOVED.
- ALL TOPSOIL AND SURPLUS EXCAVATED MATERIALS TO BE LOADED AND HAULED OFF SITE AT TIME OF EXCAVATION
- AREA TO BE RESTORED WITH IMPORTED SCREENED AND SHREDDED TOPSOIL (MINIMUM 6" DEPTH) AFTER FOUNDATION AND FRAMING AS SOON AS POSSIBLE FOLLOWED WITH GRASS SEEDING AND MULCH.

NOTE: INSTALLATION OF THE PERMEABLE PAVERS WILL BE CONSISTENT WITH WDMR TECHNICAL GUIDANCE 100B.

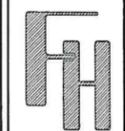
NOTE: BASEMENT TO HAVE GRINDER PUMP BASIN FOR LOWER LEVEL SERVICE. THIS ALSO COULD SERVE THE UPPER FLOORS BUT WE WOULD THEN RECOMMEND A DUPLEX E-ONE GRINDER PUMP BASIN SET FLUSH WITH BASEMENT FLOOR WITH DISCHARGE UP TO GRAVITY LATERAL STUBED THROUGH THE BASEMENT WALL.

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND ITS EXTERIOR BOUNDARIES. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATED: 05/06/2020

Brian M. Carlson
BRIAN M. CARLSON P.L.S. 2039



SITE PLAN
870 MAYTAG ROAD
LAKE GENEVA, WI 53147

WORK ORDERED BY -
PETE KRUG
471 S. COLUMBIA STREET
NAPERVILLE, IL 60540

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2088 FAX: (262) 723-5886

REVISIONS	
03/23/2020 - LB ADD TOPO.	03/21/2019 - LB PERMIT
03/27/2020 - LB NEW HOUSE PLANS & SODECP	04/09/2019 - LB MODIFY PERMIT
03/30/2020 - LB UPDATE PIER NOTE	05/16/2019 - LB ADD FLOOR ELEV.
04/08/2020 - LB MOVE RES. ADJ. HTS. & CONTOURS	10/15/2019 - LB NEW HOUSE PLANS
04/15/2020 - LB ADD PERMEABLE PAVER NOTES	10/25/2019 - LB UPDATE
04/16/2020 - LB ADD PERMEABLE PAVER INSTALL NOTE	03/02/2020 - LB NEW HOUSE PLANS
04/23/2020 - LB ADD WATER & SEWER WITH NOTES	03/16/2020 - LB SODECP PREP.
05/06/2020 - LB MODIFY PROPOSED WATER & SEWER	

PROJECT NO.
5390.19

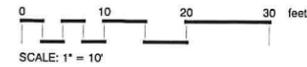
DATE
09/21/1999

SHEET NO.
1 OF 1

X:\PROJECTS\5390\5390-19\ACAD\5390-19_SODECP.DWG

MAP SCALE IN FEET - ORIGINAL 1"=20'

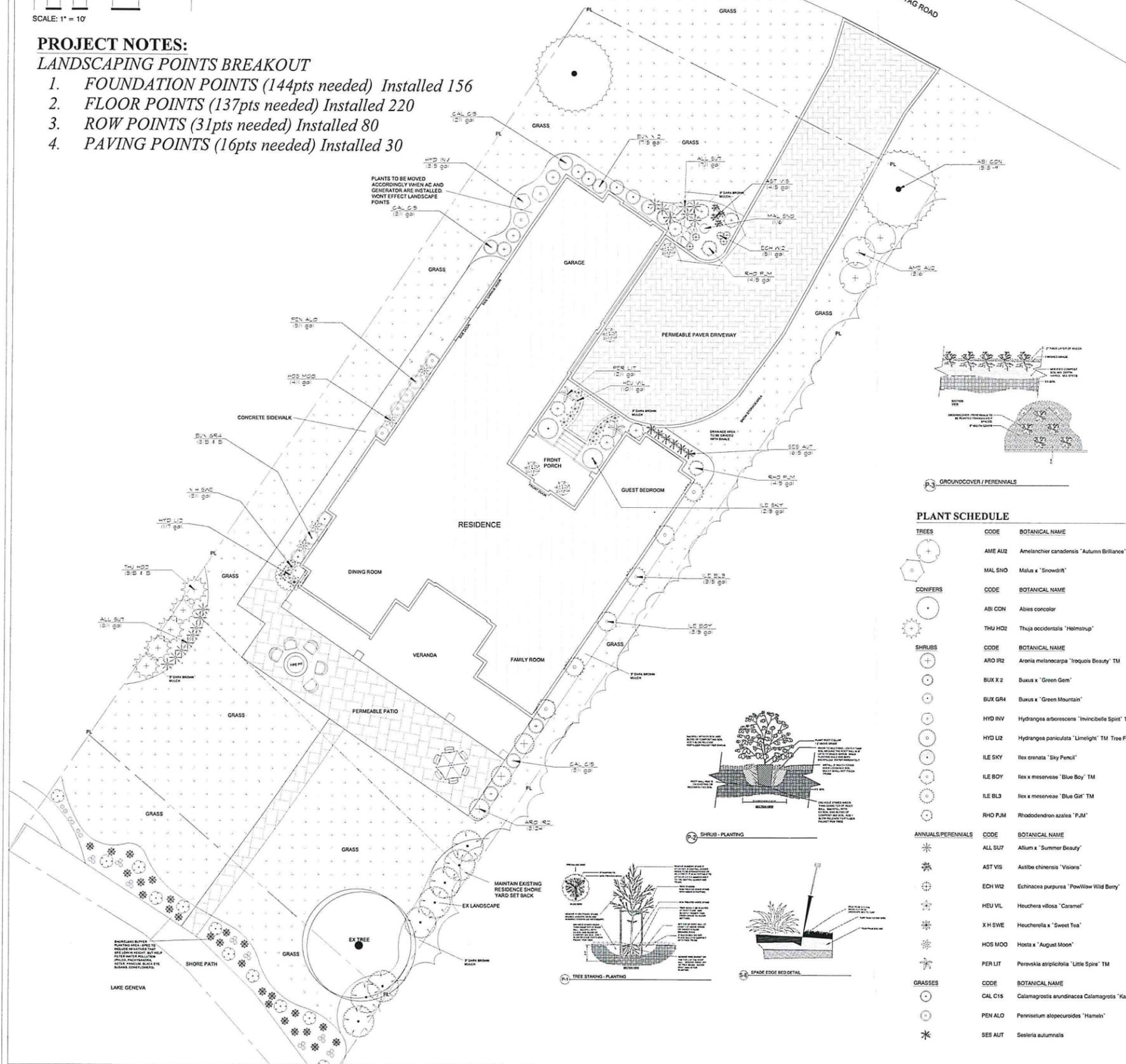
LANDSCAPE PLAN



PROJECT NOTES:

LANDSCAPING POINTS BREAKOUT

1. FOUNDATION POINTS (144pts needed) Installed 156
2. FLOOR POINTS (137pts needed) Installed 220
3. ROW POINTS (31pts needed) Installed 80
4. PAVING POINTS (16pts needed) Installed 30



GENERAL LANDSCAPE NOTES:

1. Always contact Diggers Hotline (800-242-8511) 72 HRS before proceeding with any work. Contractor is responsible for having site marked.
 2. All plantings shall comply with the standards described in American Standard of Nursery Stock ANSI Z60.1- Latest Version and Standardized Plant Names 1942 Edition.
 3. Topsoil return to depth of 6" minimum is by excavating contractor. Berms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth. Landscape contractor is responsible for fine grading.
 4. All plants must be bid and selected per species specified on this plan. Contractor is responsible for furnishing all materials, tools, equipment, and labor necessary for proper planning and installation of all landscape materials.
 5. Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by Landscape Architect/Designer AND City Forester. Any discrepancies should be discussed before bidding.
 6. Plant substitutions must be approved by Landscape Architect/Designer, Owner AND City Forester. Any changes to the sizes or selection shown on plan must be submitted in to Landscape Architect/Designer or Owner in writing prior to installation.
 7. Tree planting details: All installation of plants must be installed per details.
 8. Planting beds shall receive a 3" layer of high quality shredded hardwood mulch. 3" diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive a 2.5-3" layer of shredded bark mulch. Do not build up any mulch around or onto collar of any tree.
 9. Spade cut landscape plant beds and tree rings with a 3" deep shovel cut- see detail or mechanical edger. Edge must be a clean cut between lawn and mulch bed.
 10. Seeded lawn areas to have Bluegrass blend of seed for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufacturers direction on application rates. Where seed is not specified it should be Cedar Creek Blue Tag Seed #25 (or similar) installed at a rate of 3#/1000sf.
- The acceptance of a newly established turf seeded is defined as:
 No bare spots larger than 1 SF
 No more than 10% of the Total Area of the project with bare spots larger than 1 SF
 Coverage should be uniform across the entire seeded areas.
11. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade.
 12. Lawn Installation: Contractor to furnish and prep soil conditions as needed, removing rock larger than 1". Provide a starter fertilizer, and mulch cover suitable to germinate and establish grass. Erosion mat should be used as plan states or in swales or on steep grades. Civil Plans stating an erosion plan should be followed.
 13. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, moving of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth and the landscape.
 14. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. (if applicable)
 15. If a permanent irrigation system is required in turf areas install system with head to head coverage. Ensure that all turf is covered and that no voids are left which will create brown or dead grass in dry weather. Planting beds around perimeter of building shall have a drip irrigation system installed on separate manifold. Install wireless rain gauge and timer. Installation of sleeves for irrigation pipe is by irrigation or landscape contractor. Water meter, backflow preventer and electrical (by others) for timer are to be installed by a licensed plumber and electrician.
 16. Contractor is responsible for all estimating and bidding of all areas, and quantities of the project. Warranty of plants, trees, evergreens, shrubs shall be for a period of (16) months from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (16) months. One replacement will be required of each dead plant at the end of the warranty period.

GROUNDCOVER / PERENNIALS

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	AME AU2	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6'		3		
	MAL SNO	Malus x 'Snowdrift'	Snowdrift Crab Apple	6'		1		
CONIFERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	ABI CON	Abies concolor	White Fir	6'-8'	B&B	2		
	THU HO2	Thuja occidentalis 'Holmstrup'	Holmstrup Cedar	B & B		5		
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	ARO IR2	Aronia melanocarpa 'Troquois Beauty' TM	Black Chokeberry	24"		3		
	BUX X2	Buxus x 'Green Gem'	Green Gem Boxwood	5 gal		7		
	BUX GR4	Buxus x 'Green Mountain'	Boxwood	B & B 18-24"		3		Balanced Plant Structure
	HYD INV	Hydrangea arborescens 'Invincible Spirit' TM	Invincible Spirit Hydrangea	5 gal		3		
	HYD L2	Hydrangea paniculata 'Limelight' TM Tree Form	Limelight Hydrangea on Standard TreeForm	7 gal. Pot		1		Straight Truck
	ILE SKY	Ilex crenata 'Sky Pencil'	Sky Pencil Japanese Holly	5 gal		2		
	ILE BOY	Ilex x meserveae 'Blue Boy' TM	Blue Boy Holly	5 gal		3		
	ILE BL3	Ilex x meserveae 'Blue Girl' TM	Blue Girl Holly	5 gal		3		
	RHO PJM	Rhododendron azalea 'PJM'	Azalea	5 gal		6		
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	ALL SU7	Allium x 'Summer Beauty'	Summer Beauty Allium	1 gal		15		
	AST VIS	Astilbe chinensis 'Visions'	Visions Astilbe	5 gal		4		
	ECH W2	Echinacea purpurea 'PowWow Wild Berry'	PowWow Wild Berry Coneflower	1 gal. Pot		5		
	HEU VIL	Heuchera villosa 'Caramel'	Coral Bells	1 gal		10		
	X.H SWE	Heucherella x 'Sweet Tea'	Sweet Tea Coral Bells	1 gal		3		
	HOS MOO	Hosta x 'August Moon'	Plantain Lily	1 gal		4		
	PER LIT	Perovskia atriplicifolia 'Little Spire' TM	Little Spire Russian Sage	1 gal		2		
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	CAL C15	Calamagrostis arundinacea Calamagrostis 'Karl Foerster'	Karl Foerster Grass	1 gal		6		Balanced Root and Plant Structure
	PEN ALO	Penstemon alpestris 'Hamel'	Hamel Dwarf Fountain Grass	1 gal		5		
	SES AUT	Sesleria autumnalis	Autumn Moor Grass	5 gal		6		

General Notes

1 ADDED PERM-SHOREPLANTS 4-22-2020		
No.	Revision/Issue	Date

28815 Bushnell Road
 Burlington, WI 53105
 Phone 262.342.1425
 Fax 262.539.2665
 www.reesmans.com

THE KRUG RESIDENCE
 780 MAYTAG ROAD
 LAKE GENEVA, WI

Project	Sheet
LANDSCAPE	L-100
Date	
3/27/2020	
Scale	

LAKE GENEVA CODE REQUIREMENTS

- WISCONSIN UNIFORM BUILDING CODE WITH AMENDMENTS

UNIFIED SOIL CLASSIFICATION STATEMENT/ DESIGN & BEARING CAPACITY FOR PROJECT

DESIGN PRESENTED TO BE FROM TABLE R405.1 OF IRC 2006 SOIL GROUP II WITH A UNIFIED SOIL CLASSIFICATION SYMBOL CLAY OR BETTER. IF SOIL DOES NOT MEET THIS DESCRIPTION INFORM ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK. CONTRACTOR OR ENGINEER TO FIELD VERIFY AND SUBMIT TO CITY OF WAVERVILLE CONFIRMED FINDINGS.

ALL CONCRETE FOUNDATION WALLS AND CONCRETE FLOORS TO BE A MINIMUM OF 1500 PSI COMPRESSIVE STRENGTH OF SOIL.

DESIGN CRITERIA LIVE LOADS

LIVE LOADS: SHALL BE AS FOLLOWS PER IRC R301.5

EXTERIOR BALCONIES:	60PSF
DECKS:	40PSF
ATTICS WITHOUT STORAGE:	10PSF
ATTICS WITH STORAGE:	20PSF
ROOMS (OTHER THAN SLEEPING):	40PSF
SLEEPING ROOMS:	30PSF
STAIRS:	40PSF
GUARDRAILS & HANDRAILS:	200PSF

DESIGN CRITERIA

FLOOR JOIST SCHEDULE

JOIST # SPACING L/260	MAXIMUM SPAN 40'LL - 10'DL
2X8 @ 12" O.C.	13'-6"
2X8 @ 16" O.C.	12'-3"
2X6 @ 12" O.C.	17'-3"
2X6 @ 16" O.C.	15'-10"
DOUBLE EVERY OTHER JOIST 2X6 @ 16" O.C.	16'-5"
2X10 @ 12" O.C.	20'-11"
2X10 @ 16" O.C.	17'-10"
DOUBLE EVERY OTHER JOIST 2X10 @ 16" O.C.	19'-11"

- PROVIDE DOUBLE FJ'S BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS
- ALL FJ'S SHALL BE 2 DOMESTIC HEM-FIR OR BETTER
- PROVIDE CROSS BRIDGING @ MAX. 8'-0" O.C.

CEILING JOIST SCHEDULE

JOIST SIZE	JOIST SPACING	MAXIMUM SPAN
2X4	#16" O.C.	8'-11"
2X6	#16" O.C.	12'-10"
2X8	#16" O.C.	16'-5"
2X8	#12" O.C.	18'-9"
2X10	#16" O.C.	19'-10"
2X10	#12" O.C.	22'-11"
2X12	#16" O.C.	27'-8"
2X12	#12" O.C.	26'-5"

- ALL JOISTS SHALL BE MINIMUM SIZE & SPACING PER SCHEDULE ABOVE UNLESS NOTED OTHERWISE ON PLANS
- ALL CJS SHALL BE 2 DOMESTIC HEM-FIR OR BETTER

ROOF RAFTER SCHEDULE

JOIST SIZE	JOIST SPACING	MAXIMUM SPAN
2X6	#16" O.C.	11'-3"
2X8	#16" O.C.	14'-3"
2X10	#12" O.C.	16'-5"
2X10	#16" O.C.	17'-5"
2X10	#12" O.C.	20'-11"
2X12	#16" O.C.	26'-2"
2X12	#12" O.C.	23'-5"

- ALL RAFTERS SHALL BE MINIMUM SIZE & SPACING PER SCHEDULE ABOVE UNLESS NOTED OTHERWISE ON PLANS
- ALL RAFTERS SHALL BE 2 DOMESTIC HEM-FIR OR BETTER (E/1200/2000 MINIMUM)

GENERAL NOTES

GENERAL REQUIREMENTS

- ALL SUBCONTRACTORS SHALL VERIFY THE PLANS ARE THE MOST CURRENT SET PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL CONSTRUCTION AND MATERIALS USED SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION AS NOTED ON THE COVER SHEET.
- ALL SUBCONTRACTORS ARE LIABLE FOR THE SAFETY OF THEIR EMPLOYEES AND EQUIPMENT WHILE ON THE JOB SITE.
- DO NOT SCALE DRAWINGS- USE FIGURED DIMENSIONS ONLY. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
- ALL DIMENSIONS ARE FOR ROUGH FRAMING. WALLS ARE DIMENSIONED @ 3/4" UNLESS NOTED OTHERWISE.

FOUNDATION NOTES:

- CONCRETE NOTES: ALL FOOTINGS DESIGNED FOR SOIL BEARING OF 3000' PER SQ. FT. FOOTINGS TO BEAR ON SOLID SOIL, REGARDLESS OF GIVEN DIMENSIONS. TOPS OF WALLS SHALL HAVE (2) #4 BARS CONTINUOUS LAP 20". BOTTOMS OF WALLS SHALL HAVE (2) #4 BARS. ALL FOUNDATION CONCRETE SHALL BE 3000' P.S.I. AT 28 DAYS. ALL EXTERIOR CONCRETE SHALL BE AT 4000' P.S.I. AT 28 DAYS. ALL CONCRETE SHALL BE AIR ENTRAINED 3% TO 6% AIR. ALL FILL INSIDE BLDG. SHALL BE GRAVEL OR SAND. ALL FILL SHALL BE MACHINE TAMPED.
- ALL FILL INSIDE BUILDING SHALL BE GRAVEL @ MAXIMUM DENSITY BASED COMPACTED TO 95 ON ASTM 1557.

FRAMING/ DESIGN CRITERIA NOTES:

- SEE COVER SHEET FOR DESIGN CRITERIA OF FLOOR JOISTS, CEILING JOISTS, HEADERS, AND PARTIES.
- FOR ALL LVL PRODUCTS USE TRUS JOIST HXAC MILLAN SIZED PER PRINT W/ FB-2600 AND E-19.
- ALL JOISTS TO HAVE BRIDGING - MAXIMUM INTERVAL TO BE 8'-0" O.C. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS & TUBAHL POOL AREAS. SUBFLOOR TO BE 3/4" T&G PLYWOOD GLUED AND SCREWED TO FLOOR JOISTS.
- (2) 2X10 HEADER IS TYPICAL FOR ALL DOORS, WINDOWS, AND OPENINGS UNLESS OTHERWISE NOTED.
- GLUE AND NAIL ALL MICROLAM HEADERS.

INSULATION:

- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR BARRIERS OR BREATHER PAPERS, INSTALLATION FLOOR - CEILING ASSEMBLIES, WALL OR ROOF/WALL ASSEMBLIES, CRACK SPACES AND ATTICS SHALL HAVE A FLAME-SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPMENT INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84.

STEEL NOTES:

- FIELD VERIFY ALL STEEL BEAM DIMENSIONS PRIOR TO FABRICATION. ALL STRUCTURAL STEEL AND STEEL LINTELS SHALL BE FACTORY PRIMED WITH RUST INHIBITING PRIMER. PAINT STEEL LINTELS TO MATCH SURROUNDING MASONRY. STEEL LINTELS AS FOLLOWS UNLESS NOTED OTHERWISE: 3/2" X 3/2" X 5/16" ANGLE TO 5' SPAN 4" X 3/2" X 5/16" ANGLE TO 3' SPAN. PROVIDE FLASHING AND WEEPS 24" O.C. AT ALL STEEL LINTELS. STONE SILLS AND CAPS.
- SEE LINTEL SCHEDULE FOR MORE INFORMATION.

ELECTRICAL NOTES:

- ALL WIRING TO BE INSTALLED BASED ON THE CURRENT NATIONAL ELECTRIC CODES. ALL BASEMENT AND GARAGE RECEPTACLES TO HAVE GFI PROTECTION. ALL BATHROOM ELECTRICAL TO BE ON GFI CIRCUIT. ALL EXTERIOR RECEPTACLES TO BE WEATHER-PROOF GFI.
- ALL SMOKE DETECTORS TO BE 120V WIRE IN SERIES. LOCATE WITHIN 15 FEET OF ANY BEDROOM DOORS. MINIMUM ONE PER FLOOR INCLUDING BASEMENT. PROVIDE BATTERY BACK-UP TYP.
- COMBUSTIBLE INSULATION SHALL MAINTAIN A 3" CLEARANCE FROM RECESSED LIGHTING FIXTURES UNLESS DEVICES ARE LISTED FOR LESSER CLEARANCE.
- ALL SWITCHES SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48" ABOVE FINISHED FLOOR MEASURED FROM FINISHED FLOOR TO THE CENTERLINE OF THE SWITCH.
- ALL RECEPTACLES SHALL BE LOCATED AT A HEIGHT NOT LESS THAN 48" ABOVE FINISHED FLOOR MEASURED FROM FINISHED FLOOR TO THE CENTERLINE OF THE RECEPTACLE.
- ALL RECEPTACLES IN BEDROOMS TO BE ARC-FULT CIRCUIT INTERRUPTED AS REQUIRED BY CODE.
- ALL ELECTRICAL FIXTURES IN CLOTH CLOSETS TO FOLLOW NEC 410-B.
- ALL 120 VOLT SINGLE PHASE IS 120 AMPERE.
- RECEPTACLE/ELECTRICAL EQUIPMENT, LIGHT FIXTURES & FANS, INSTALLED IN ALL BATHROOMS SHALL BE INSTALLED W/ GFCI.

HVAC NOTES:

- HEATING EQUIPMENT SHALL BE CAPABLE OF MAINTAINING MINIMUM ROOM TEMPERATURE OF 68° F ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- DUCT SYSTEMS SERVING HEATING, COOLING AND VENTILATION EQUIPMENT SHALL BE FABRICATED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE.
- DRYER EXHAUST SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE SECTION M16.01.

PLUMBING NOTES:

- STRUCTURAL AND PIPING PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE SECTION P16.03. WATER SERVICE PIPE SHALL BE INSTALLED 42" BELOW GRADE FIN.
- WATER SUPPLY AND DISTRIBUTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE SECTION P16.01.
- ALL BELOW GRADE WATER PIPING AND PIPING FROM CITY MAIN TO METER SHALL BE TYPE K COPPER WITH LEAD FREE SOLDER.
- ALL ABOVE GRADE WATER PIPING DOWNSTREAM OF THE WATER METER SHALL BE TYPE M COPPER WITH LEAD FREE SOLDER.
- SEE RISER DIAGRAMS FOR MORE INFORMATION.

WALL BRACING NOTES:

- PROVIDE WOOD STRUCTURAL PANEL SHEATHING W/ MIN. 5/16" THICKNESS FOR 16" O.C. STUD SPACING PER TABLE R6.01.3(3) FOR CONTINUOUS SHEATHING AS METHOD FOR WALL BRACING. TYPICALLY, WHERE OPENINGS WITHIN WALLS REQUIRE ALTERNATIVE BRACING PER CHART R6.01.05 SEE FLOOR PLANS FOR LOCATIONS AND DETAIL IN SHEET 8.

DRAFTSTOPPING NOTES:

- ALL AREAS WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY/DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA DOES NOT EXCEED 1000 SF.
- DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" GYPSUM BOARD, 3/8" TYPE 2-M-U PARTICLEBOARD OR EQUAL. DRAFTSTOPPING TO BE INSTALLED PARALLEL TO FLOOR FRAMING MEMBERS, TYPICAL.

FIREBLOCKING NOTES:

- FIREBLOCKING SHALL BE PROVIDED PER CODE.



FRONT ELEVATION

SCALE: 1/4"=1'-0"

NOTE: SEE ROOF PLAN ON SHEET 3 FOR ROOF PITCHES & OVERHANGS

5,946 SF SINGLE FAMILY
2 STORY RESIDENCE W/
865 SF FINISHED ATTIC

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
			WEATHERING	FROST LINE DEPTH	TERMITES					
30	50	B	SEVERE	3'-6"	MODERATE	-1° F	YES	NOT APPLICABLE	1635	48.7 F

- MATERIALS NOTES:**
- ALL EXTERIOR STONE IS BARNWOOD BLUE ASHLAR STONE
 - ALL SIDING IS ARTIC WHITE JAMESHARDIE
 - ALL WINDOW TRIM IS ULTRETREX STONE WHITE
 - ALL ROOFS ARE STANDING SEAM METAL PAC-CLAD - ZINC COLOR
 - FRONT DOOR IS BENJAMIN MOORE -HC-156
 - CONCRETE PORCHES AND VERANDAS ARE CLAD WITH BLUE ICE BLUESTONE

BR DESIGN & ARCHITECTURE
ONE TRANS AM PLAZA DRIVE, SUITE #120
OAKBROOK TERRACE, IL, 60181
PHONE: 708-568-7281

POTTS DESIGNS
DRAWING CREATED INTO REALITY
630.778.7588

PROJECT NUMBER: **CP1807**
BRAD DRENDEL BUILDERS
Telephone: 630.688.7065
Facsimile: 630.548.4963
bdrendel@comcast.net

ISSUE DATES:

11-17-19	PRELIMINARY REVIEW SET
2-3-20	90 SET / REVISED 2-27-20
3-30-20	PRELIMINARY PERMIT SET

REVISIONS:

NO.	DATE	DESCRIPTION
1	DATE	DESCRIPTION
2	DATE	DESCRIPTION
3	DATE	DESCRIPTION
4	DATE	DESCRIPTION

THE KRUG RESIDENCE
870 MAYTAG ROAD
LAKE GENEVA, WISCONSIN

FRONT ELEVATION & CODES

WIND UPLIFT CLIPS ARE REQUIRED FOR RAFTER-TO-WALL CONNECTIONS WHERE THE RAFTERS DO NOT INTERSECT CEILING JOISTS AT THE TOP PLATE CONNECTION. A CONTINUOUS LOAD PATH SHALL BE PROVIDED TO TRANSMIT THE UPLIFT FORCES FROM THE RAFTERS TIES TO THE FOUNDATION PER 2012 IRC R602.11

PROVIDE WR GRACE ICE & WATERSHIELD TO EXTEND FROM EAVES EDGE TO A MIN OF 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING - MEASURED HORIZONTALLY AS SHOWN

1/2" CDX PLYWOOD SHEATHING
METAL ROOF ON 235° BUILDING FELT
INSULATION Baffle w/ 1" AIRSPACE
5/8" PSON 15 ANCHOR

INSULATION PER REFRATE
RAFTER ANCHOR
5" ALUMINUM GUTTER & DOWN SPOUT
1/2" CDX FASCIA ON 2x6 SUB-FASCIA
1 1/2" CONTINUOUS SCREENED VENT
3/8" CEDAR PLUD. SOFFIT
1/2" CDX FRIEZE BD.

1/2" GUB CLG. JOIST PER PLAN
1/2" GYPSUM DRYWALL
(2) 2x12 UNO
2x4 STUDS @ 16" O.C. AT EXTERIOR 2x6 STUDS AT PLUMBING WALLS - SEE PLANS
INSULATION PER REFRATE

FINISH FLOOR OVER 3/4" T&G PLYWOOD GLUED
WOOD BASE INSULATION PER REFRATE SECOND FLOOR
WOOD FRAME SHEATHING WEATHER RESISTANT BARRIER 7 LAYERS 5/8" BLDG FELT OR 1 LAYER FELT + 1 LAYER TYVEK DRAINAGE MAT EXPANDED METAL LATH 150# PAPER BACKING ONTO MESH (1/2" TO 3/4" THICK) THIN MASONRY VENEER MAX. 5" / 5/8" PER CODE

FOUNDATION WATERPROOFING SELF ADHERING FLASHING WECP SCREEN FOUNDATION
FLOOR JOISTS PER PLAN
1/2" GUB
(2) 2x12 UNO

FINISH FLOOR OVER 3/4" T&G PLYWOOD GLUED
WOOD BASE INSULATION PER REFRATE FIRST FLOOR
FLOOR JOISTS PER PLAN
1/2" GUB
(2) 2x12 UNO

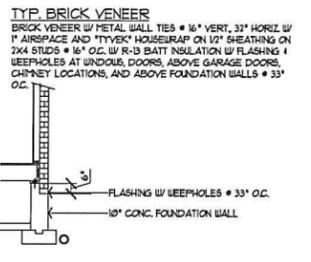
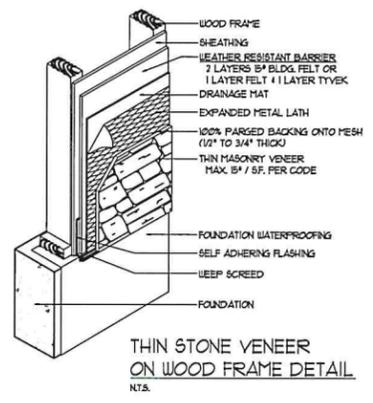
BUILDING WRAP
1/2" EXT GRADE PLYD SHEATHING
2x6 STUDS @ 16" O.C. AT EXTERIOR AND PLUMBING WALLS - SEE PLANS
INSULATION PER REFRATE

CONTINUE MEMBRANE 12" UP PAST GRADE TYPICAL PROVIDE PROTECTION FROM DAMAGE
WOOD BASE INSULATION PER REFRATE FIRST FLOOR
FLOOR JOISTS PER PLAN

2x6 TREATED PLATE w/ SILL SEAL, 1/2" X 1/2" J ANCHOR BOLTS AT 4'-0" O.C.
POURED CONC. FOOTING & FOUNDATION
INSULATION PER REFRATE
WATERPROOFING
GRAVEL SLUSH COAT FLOOR
4" SLUSH COAT w/ 6 MIL PLASTIC VAPOR BARRIER ON 4" COMPACTED GRAVEL

4" DIA. PER. PERIMETER DRAIN w/ FILTER SOCK IN 12" MIN. RIGID COARSE GRAVEL COVER

TYPICAL SECTION
SCALE: 1/4" = 1'-0"
SEE FOUNDATION NOTES FOR VERTICAL AND HORIZONTAL REINFORCEMENT REQUIREMENTS

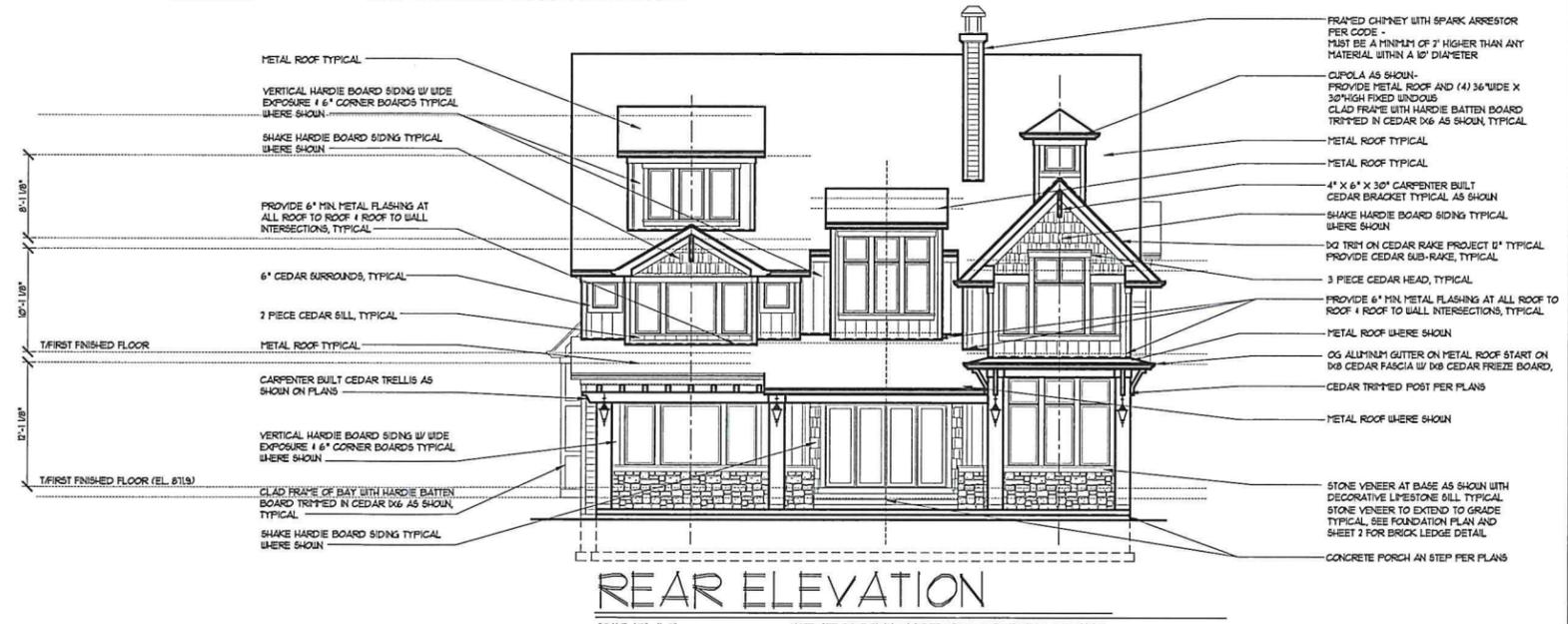


TYP. BRICK WALL SECTION
SCALE: 1/4" = 1'-0"

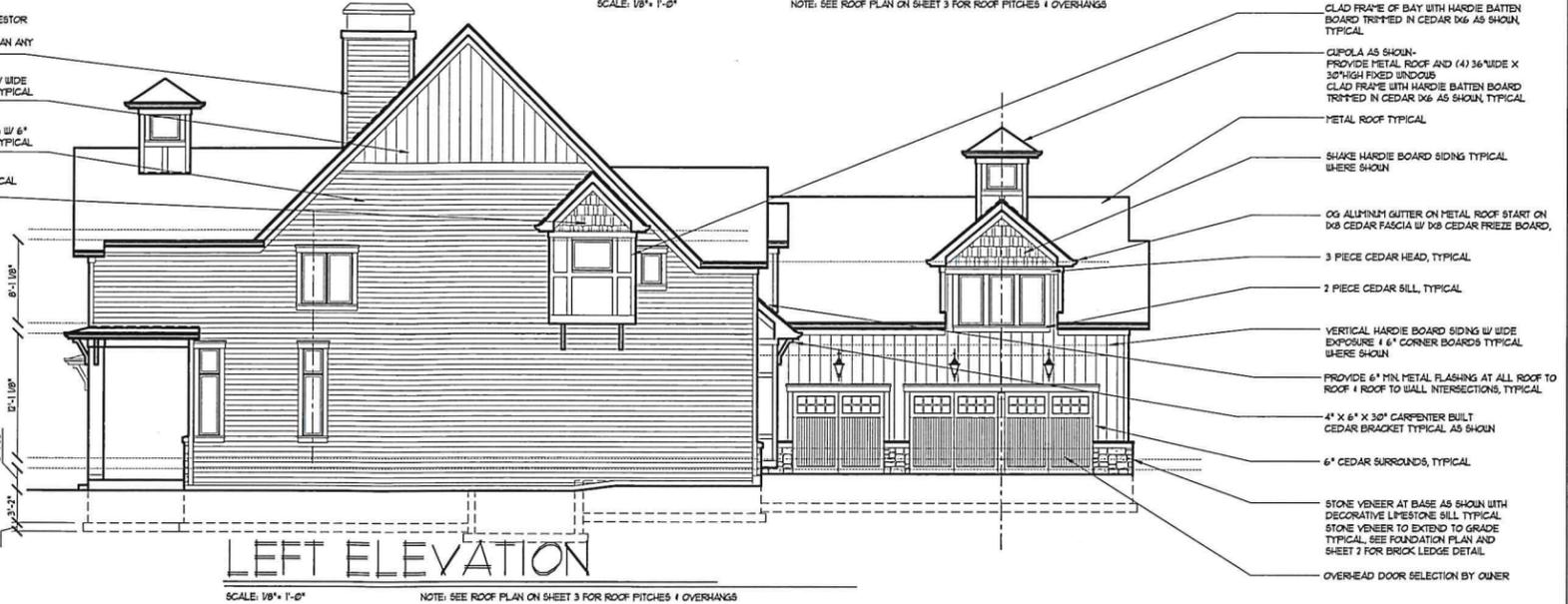
MATERIALS NOTES:
- ALL EXTERIOR STONE IS BARNWOOD BLUE ASHLAR STONE
- ALL SIDING IS ARTIC WHITE JAMESHARDIE
- ALL WINDOW TRIM IS ULTREX STONE WHITE
- ALL ROOFS ARE STANDING SEAM METAL PAC-CLAD - ZINC COLOR
- FRONT DOOR IS BENJAMIN MOORE HC-156
- CONCRETE PORCHES AND VERANDAS ARE CLAD WITH BLUE ICE BLUESTONE



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
NOTE: SEE ROOF PLAN ON SHEET 3 FOR ROOF PITCHES & OVERHANGS



REAR ELEVATION
SCALE: 1/8" = 1'-0"
NOTE: SEE ROOF PLAN ON SHEET 3 FOR ROOF PITCHES & OVERHANGS



LEFT ELEVATION
SCALE: 1/8" = 1'-0"
NOTE: SEE ROOF PLAN ON SHEET 3 FOR ROOF PITCHES & OVERHANGS

ISSUE DATES:

11-27-19	PRELIMINARY REVIEW SET
2-3-20	BID SET / REVISED 2-27-20
3-30-20	PRELIMINARY PERMIT SET
DATE	PERMIT

REVISIONS:

NO.	DATE	DESCRIPTION
1	DATE	DESCRIPTION
2	DATE	DESCRIPTION
3	DATE	DESCRIPTION
4	DATE	DESCRIPTION

PROJECT

NO.	DATE	DESCRIPTION
1	DATE	DESCRIPTION
2	DATE	DESCRIPTION
3	DATE	DESCRIPTION
4	DATE	DESCRIPTION

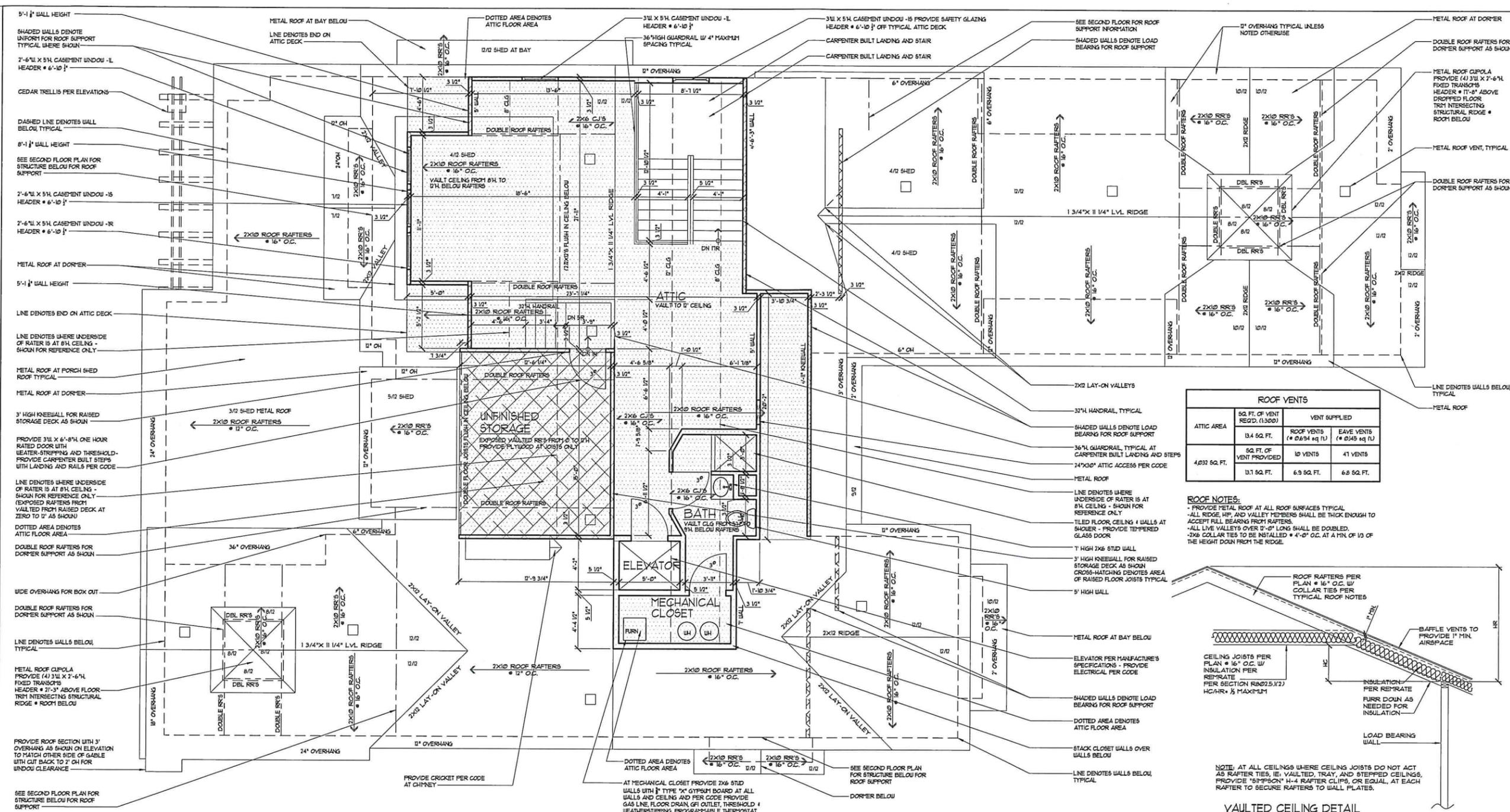
THE KRUG RESIDENCE
870 MAYTAG ROAD
LAKE GENEVA, WISCONSIN

ISSUE DATES:

11-27-19	PRELIMINARY REVIEW SET
2-3-20	BD SET / REVISED 2-27-20
3-30-20	PRELIMINARY PERMIT SET
DATE	PERMIT

REVISIONS:

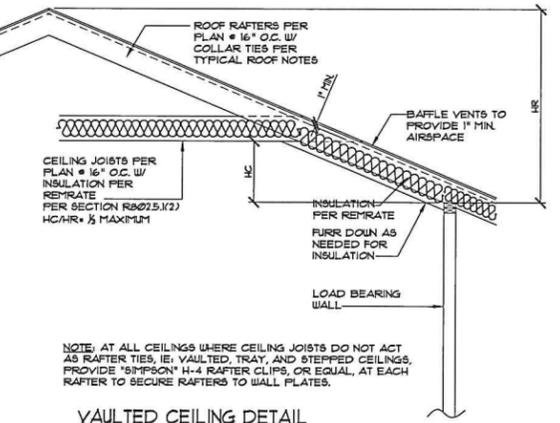
NO.	DATE	DESCRIPTION
1	DATE	DESCRIPTION
2	DATE	DESCRIPTION
3	DATE	DESCRIPTION
4	DATE	DESCRIPTION



ROOF VENTS

ATTIC AREA	SQ. FT. OF VENT REQ'D. (1:300)	VENT SUPPLIED
	13.4 SQ. FT.	ROOF VENTS (4 @ 0.64 sq ft) + EAVE VENTS (2 @ 0.45 sq ft)
4,032 SQ. FT.	13.7 SQ. FT.	10 VENTS + 41 VENTS
	13.7 SQ. FT.	6.9 SQ. FT. + 6.8 SQ. FT.

ROOF NOTES:
 - PROVIDE METAL ROOF AT ALL ROOF SURFACES TYPICAL
 - ALL RIDGE, HIP, AND VALLEY MEMBERS SHALL BE THICK ENOUGH TO ACCEPT FULL BEARINGS FROM RAFTERS.
 - ALL LIVE VALLEYS OVER 12'-0" LONG SHALL BE DOUBLED.
 - 2x6 COLLAR TIES TO BE INSTALLED @ 4'-0" O.C. AT A MIN. OF 1/3 OF THE HEIGHT DOWN FROM THE RIDGE.

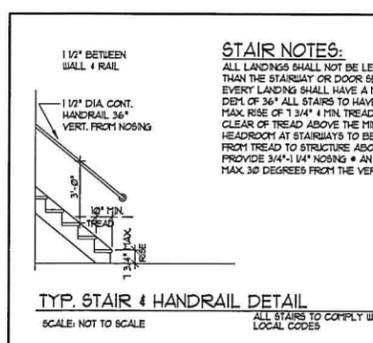


ROOF/ ATTIC PLAN

SCALE: 1/4" = 1'-0"

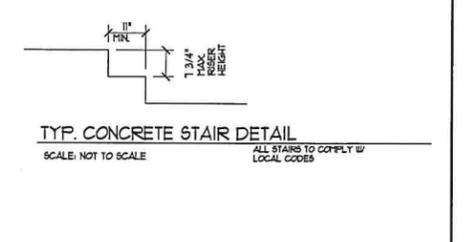
DOOR & WINDOW NOTES:

-WINDOWS SHALL BE ALUMINUM CLAD MANUFACTURED BY PELLA WINDOW COMPANY (UNDO) AND SHALL BE OF SIZE AND OPERATION AS INDICATED ON THE DRAWINGS (GRILLIES PER ELEVATIONS).
 -TEMPERED GLASS REQUIRED - ALL PICTURE WINDOWS, ALL WINDOWS OVER 9 SQ. FT. AND LESS THAN 18" ABOVE FINISHED FLOOR - ALL WINDOWS
 -SEE PLANS & ELEVATION FOR DIRECTION OF OPERABLE DOORS
 -IT IS THE RESPONSIBILITY BOTH THE GENERAL CONTRACTOR (OR OWNER IF ACTING AS GENERAL CONTRACTOR) AND THE DOOR/WINDOW SUPPLIER TO VERIFY THAT ALL ROUGH MASONRY OPENINGS AND DIMENSIONS ARE CORRECT AND ADEQUATE FOR THE PROPER INSTALLATION OF ALL DOORS/WINDOWS SUPPLIED.
 -ANY ADDITIONAL WORK REQUIRED INCLUDING CALLINGS, FINISHING, BUCKING AND ADDITIONAL MASONRY OR CARPENTRY WORK TO PROVIDE A COMPLETELY FINISHED DOOR/WINDOW INSTALLATION IS THE RESPONSIBILITY OF THE SUPPLIER UNLESS THE ARCHITECT IS SPECIFICALLY NOTIFIED IN WRITING OF ALTERNATIVE ARRANGEMENTS.
 -NO ALTERATIONS TO THE DOORS OR WINDOW THAT ALTER THE AMOUNT OF LIGHT OR VENTILATION PROVIDED ARE ALLOWED UNLESS APPROVED IN WRITING BY THE ARCHITECT. IT IS THE WINDOW SUPPLIER'S RESPONSIBILITY TO PROVIDE LIGHT AND VENTILATION INFORMATION FOR ALL WINDOW UPON SUBMISSION OF PROPOSAL.
 -IT IS THE RESPONSIBILITY BOTH THE GENERAL CONTRACTOR (OR OWNER IF ACTING AS GENERAL CONTRACTOR) AND THE DOOR/WINDOW SUPPLIER TO VERIFY THE DIRECTION OF ANY OPERABLE DOORS BY COORDINATION OF THE PLANS AND ELEVATIONS, THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.
 -PROVIDE AND INSTALL BLOCKING AND FINISHING AT ALL DOOR AND WINDOW HEADS. BLOCKING TO BE PRESERVATIVE TREATED TYP.
 -ALL OPERABLE WINDOWS AND DOORS SHALL HAVE SCREENS.
 -ALL BEDROOMS TO HAVE EGRESS WINDOWS
 -GLAZING AT HAZARDOUS LOCATIONS PER CODE
 -PROVIDE LOW E GLASS AT ALL WINDOWS/DOORS - 0.33 PENETRATION U-FACTOR FOR ALL GLAZING



STAIR NOTES:
 ALL LANDINGS SHALL NOT BE LESS THAN THE STAIRWAY OR DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DEPT. OF 36" ALL STAIRS TO HAVE A MAX. RISE OF 7 1/4" & MIN. TREAD OF 10" CLEAR OF TREAD ABOVE THE MIN. HEADROOM AT STAIRWAYS TO BE 6'-8" FROM TREAD TO STRUCTURE ABOVE PROVIDE 3/4"x1/4" NOSING @ AN ANGLE MAX 30 DEGREES FROM THE VERTICAL

STAIR NOTES:
 -PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT. OPEN SIDES OF STAIRS W/ A TOTAL RISE OF MORE THAN 30" OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34" IN HEIGHT. MEASURED VERTICALLY FROM THE NOSING OF THE TREADS-ALL REGD RAILINGS SHALL HAVE UPGRADE OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4" IN DIA. REGD GUARDS SHALL NOT BE CONSTRUCTED W/ HORIZ. RAILS OR OTHER PATTERNS THAT RESULT IN A LADDER EFFECT -ALL STAIRS OVER TWO RISERS, HANDRAILS AND GUARDRAILS ON OPEN SIDES OF STAIRWAYS & BALCONIES SHALL HAVE INTER-MEDIATE RAILS OR ORNAMENTAL CLOSURE WHICH WILL NOT ALLOW PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER. CONTINUOUS HANDRAIL 34"x38" HT. REQUIRED ON ONE SIDE ABOVE GUARDRAIL ALSO REGD ON ALL OPEN AREAS EXCEEDING 24" ABOVE ADJACENT GRADE OR FLOOR LEVEL
 -PROVIDE ALL CONTINUOUS HANDRAIL 34"x38" ONE SIDE OF STAIR (TYP)
 -FOR ALL CONCRETE STAIRS PROVIDE MINIMUM STAIR AND LANDING WIDTH @ 36" MINIMUM. ALL TREAD DEPTH TO BE 11" MINIMUM. RISER HEIGHT NOT TO EXCEED 7 1/4" AND MAINTAIN A MINIMUM OF 6'-8" OF HEAD HEIGHT CLEARANCE.



ROOF PLAN & DETAILS

THE KRUG RESIDENCE
 870 MAYTAG ROAD
 LAKE GENEVA, WISCONSIN

ISSUE DATES:

11-27-19	PRELIMINARY REVIEW SET
2-3-20	BID SET / REVISED 2-27-20
3-30-20	PRELIMINARY PERMIT SET
	DATE PERMIT

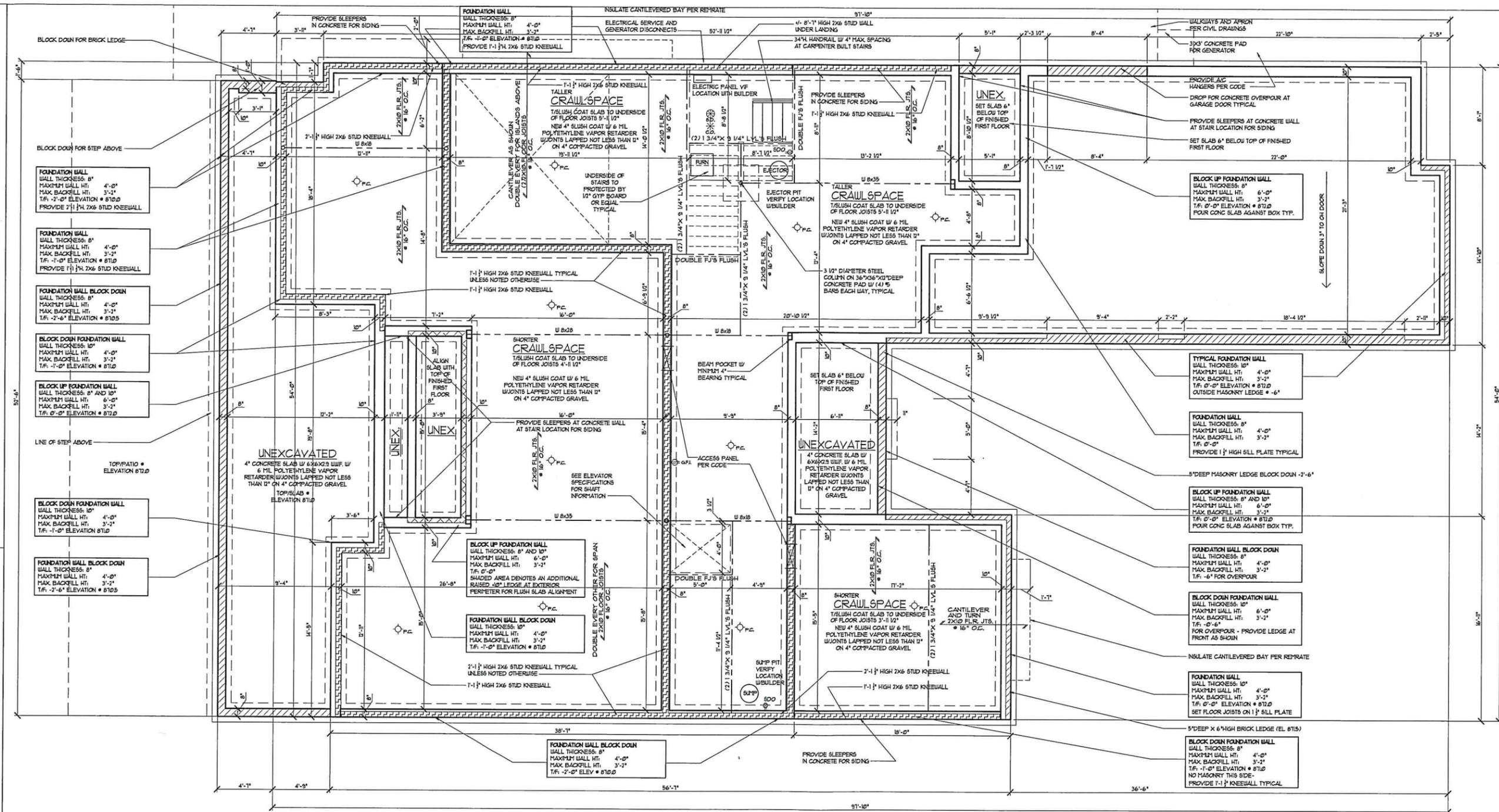
REVISIONS:

NO.	DATE	DESCRIPTION
1	DATE	DESCRIPTION
2	DATE	DESCRIPTION
3	DATE	DESCRIPTION
4	DATE	DESCRIPTION

PROJECT

THE KRUG RESIDENCE
 870 MAYTAG ROAD
 LAKE GENEVA, WISCONSIN

FOUNDATION PLAN & DETAILS



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

CONCRETE FOUNDATION WALLS SCHEDULE IRC R404.12(B)

FOUNDATION WALLS:	
THICKNESS OF WALLS:	8" FROST WALLS 10" FOUNDATION WALLS
MAXIMUM HEIGHT OF WALL:	6'-0"
MAX HEIGHT OF BACKFILL:	3'-2"
DESIGN:	FC-3000/1 FT+40/2001 60 PSF/FT
FOR 7" H. FOUND. WALLS OR LESS:	
HORIZONTAL	IRC 2012 TABLE R404.12(1) -FOR WALLS LESS THAN 8' HIGH ONE NO. 4 BAR WITHIN 12"5 OF THE TOP OF THE WALL STORY AND ONE NO. 4 BAR NEAR MID-HEIGHT OF THE WALL STORY
VERTICAL	IRC 2012 TABLE R404.12(B) NO VERTICAL REINFORCEMENT REQUIRED

CONCRETE FLOORS/WALLS PER IRC

ALL CONCRETE FOUNDATION WALLS 3000PSI AND CONCRETE FLOORS TO BE A MINIMUM OF 4000PSI COMPRESSIVE STRENGTH OF CONCRETE.

CONCRETE PAD CHART

36" X 36" CONCRETE PAD	• 1500 • 135 KIPS MAX ALLOWABLE
48" X 48" CONCRETE PAD	• 1500 • 24 KIPS MAX ALLOWABLE

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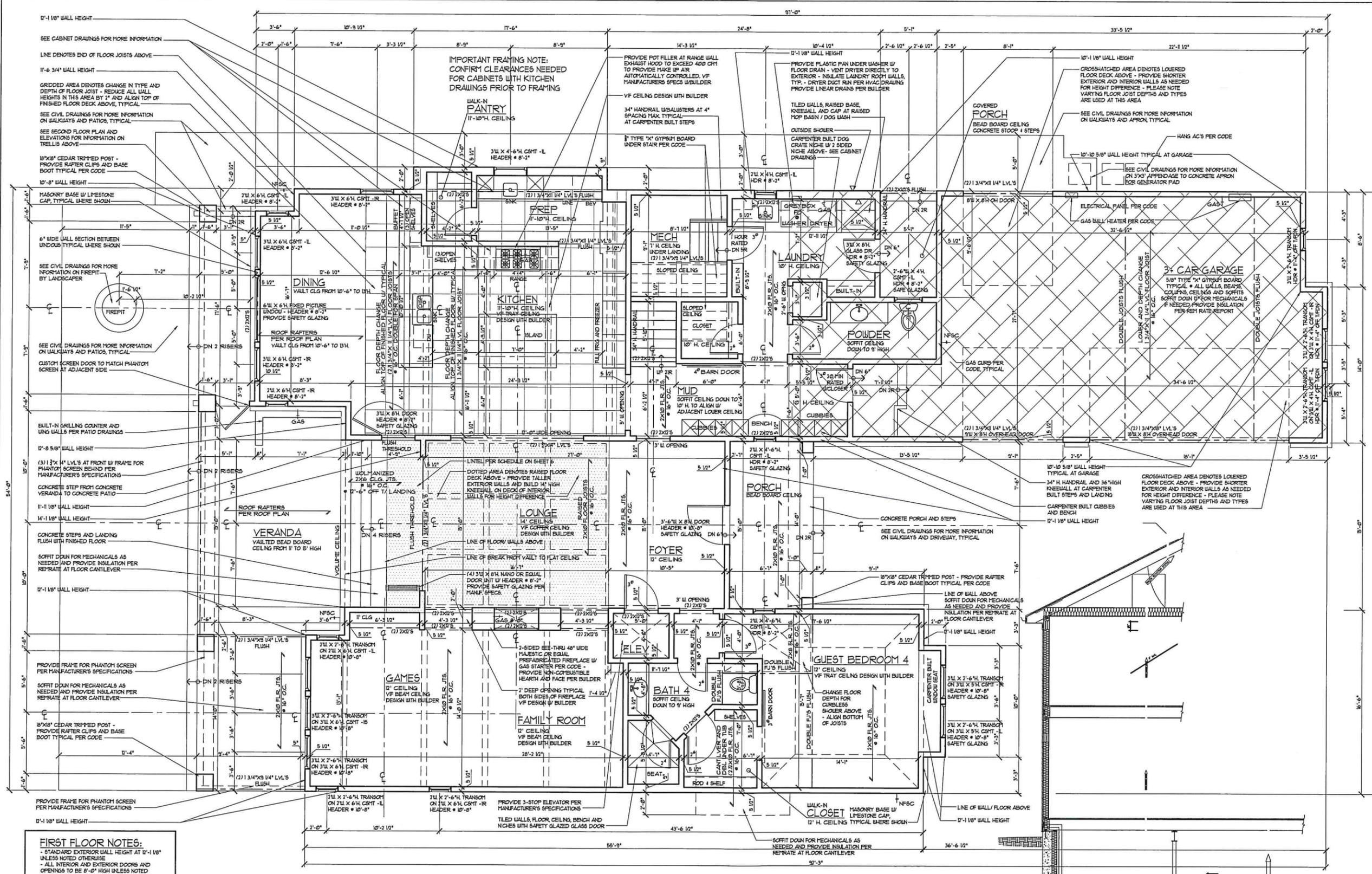
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PROJECT

THE KRUG RESIDENCE
 870 MAYTAG ROAD
 LAKE GENEVA, WISCONSIN

FIRST FLOOR PLAN & DETAILS



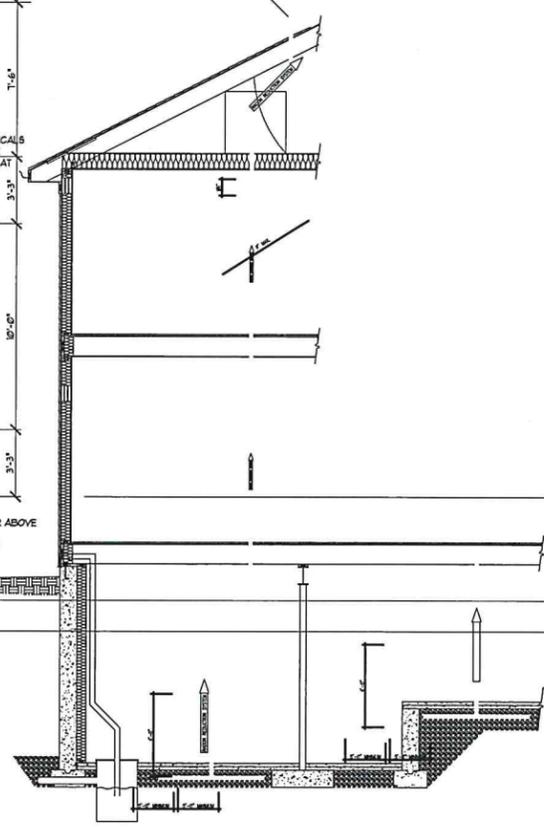
FIRST FLOOR NOTES:

- STANDARD EXTERIOR WALL HEIGHT AT 10'-1 1/8"
- UNLESS NOTED OTHERWISE
- ALL INTERIOR AND EXTERIOR DOORS AND OPENINGS TO BE 8'-0" HIGH UNLESS NOTED OTHERWISE
- ALL HEADERS TO BE SET AT 8'-2" UNLESS NOTED OTHERWISE
- ALL WALL STUDS TO BE 2X6 STUDS TYPICAL WITH DOUBLE WALL OF 2X4 AND 2X6 STUDS AT ALL EXTERIOR PLUMBING WALLS TYPICAL
- SEE SHEET 3 FOR STAIR INFORMATION
- ALL INTERIOR/EXTERIOR STAIRS TO HAVE 1 3/4" MAX RISE, 10" MIN TREAD DEPTH CLEAR OF NOSING AND 4 MIN OF 6" RAMP CONT. HEADROOM ALL STAIRS OVER 7 RISERS TO HAVE 36" GUARDRAIL
- WALLBRUSTERS MAX 4" O.C. AND CONT. 34" H. HANDRAIL ON ONE SIDE. ABOVE GUARDRAIL IS ALSO REQUIRED ON ALL OPEN AREAS EXCEEDING 34" ABOVE ADJACENT GRADE OR FLOOR LEVEL.
- ALL WINDOW SIZES ARE 50% CASEMENTS UNLESS NOTED OTHERWISE

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

2,100 SQ. FT. FIRST FLOOR



ISSUE DATES:

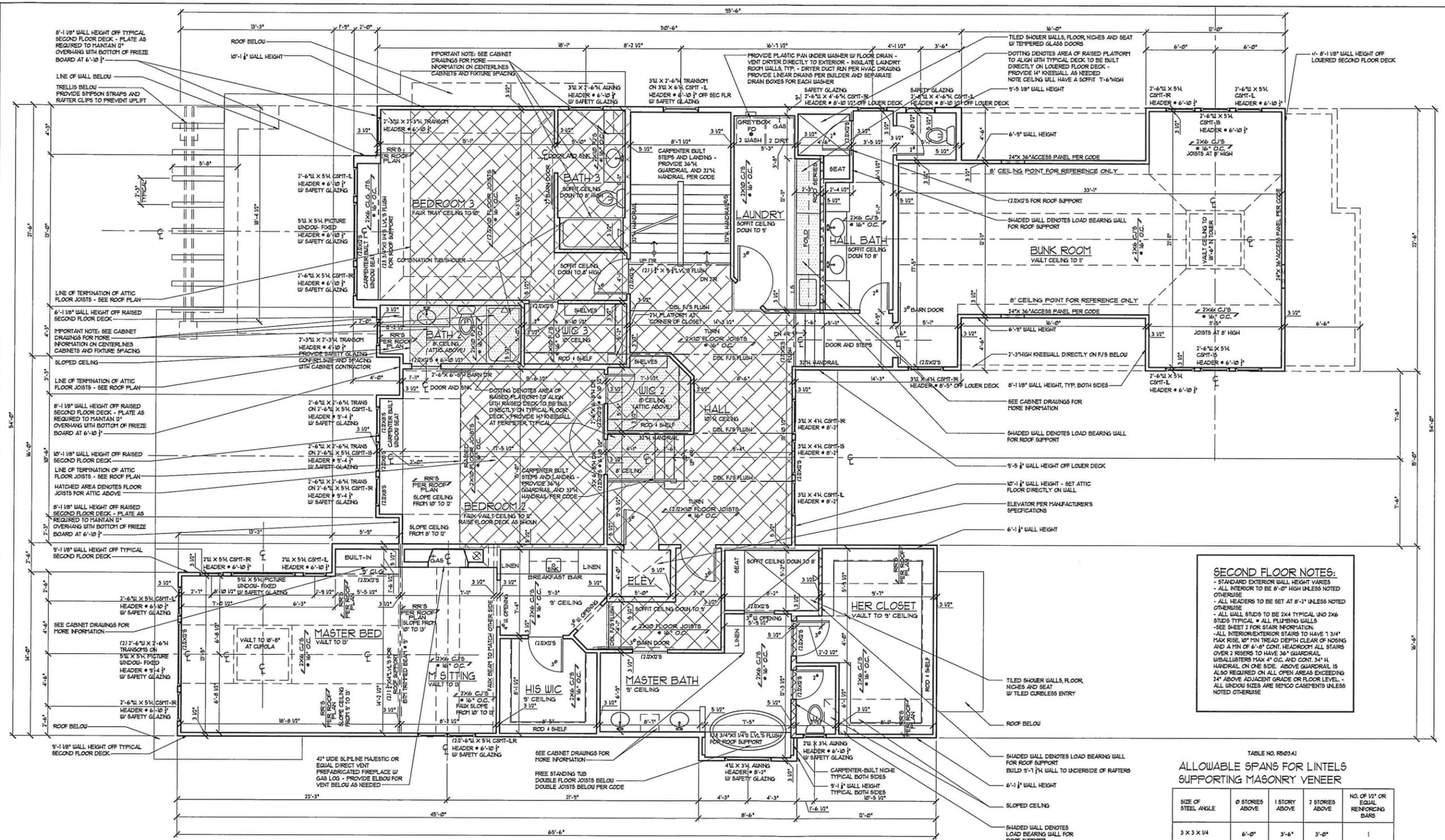
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PROJECT

THE KRUG RESIDENCE
 870 MAYTAG ROAD
 LAKE GENEVA, WISCONSIN



SECOND FLOOR NOTES:
 - STANDARD EXTERIOR WALL HEIGHT VARIES
 - ALL INTERIOR TO BE 8'-0" HIGH UNLESS NOTED OTHERWISE
 - ALL HEADERS TO BE SET AT 8'-3" UNLESS NOTED OTHERWISE
 - ALL WALL STUDS TO BE 2X4 TYPICAL UNO 2X6 STUDS TYPICAL * ALL PLUMBING WALLS
 - SEE SHEET 2 FOR STAIR INFORMATION
 - ALL INTERIOR/EXTERIOR STAIRS TO HAVE 1 3/4" MAX RISE, 10" MIN TREAD DEPTH CLEAR OF NOSING AND A MIN OF 6'-8" CONT HEADROOM ALL STAIRS OVER 2 RISERS TO HAVE 36" GUARDRAIL
 - WALL BRISTERS MAX 4" O.C. AND CONT. 34" H. HANDRAIL ON ONE SIDE ABOVE GUARDRAIL IS ALSO REQUIRED ON ALL OPEN AREAS EXCEEDING 24" ABOVE ADJACENT GRADE OR FLOOR LEVEL - ALL WINDOW SIZES ARE SENCOC CASEMENTS UNLESS NOTED OTHERWISE

TABLE NO. RS03.41
ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER

SIZE OF STEEL ANGLE	0 STORIES ABOVE	1 STORY ABOVE	2 STORIES ABOVE	NO. OF 1/2" OR EQUAL REINFORCING BARS
3 X 3 X 1/4	6'-0"	3'-6"	3'-0"	1
4 X 3 X 1/4	8'-0"	5'-0"	3'-0"	1
6 X 3 1/2 X 1/4	14'-0"	8'-0"	3'-6"	2
8 X 4 X 1/2	20'-0"	11'-0"	5'-0"	4

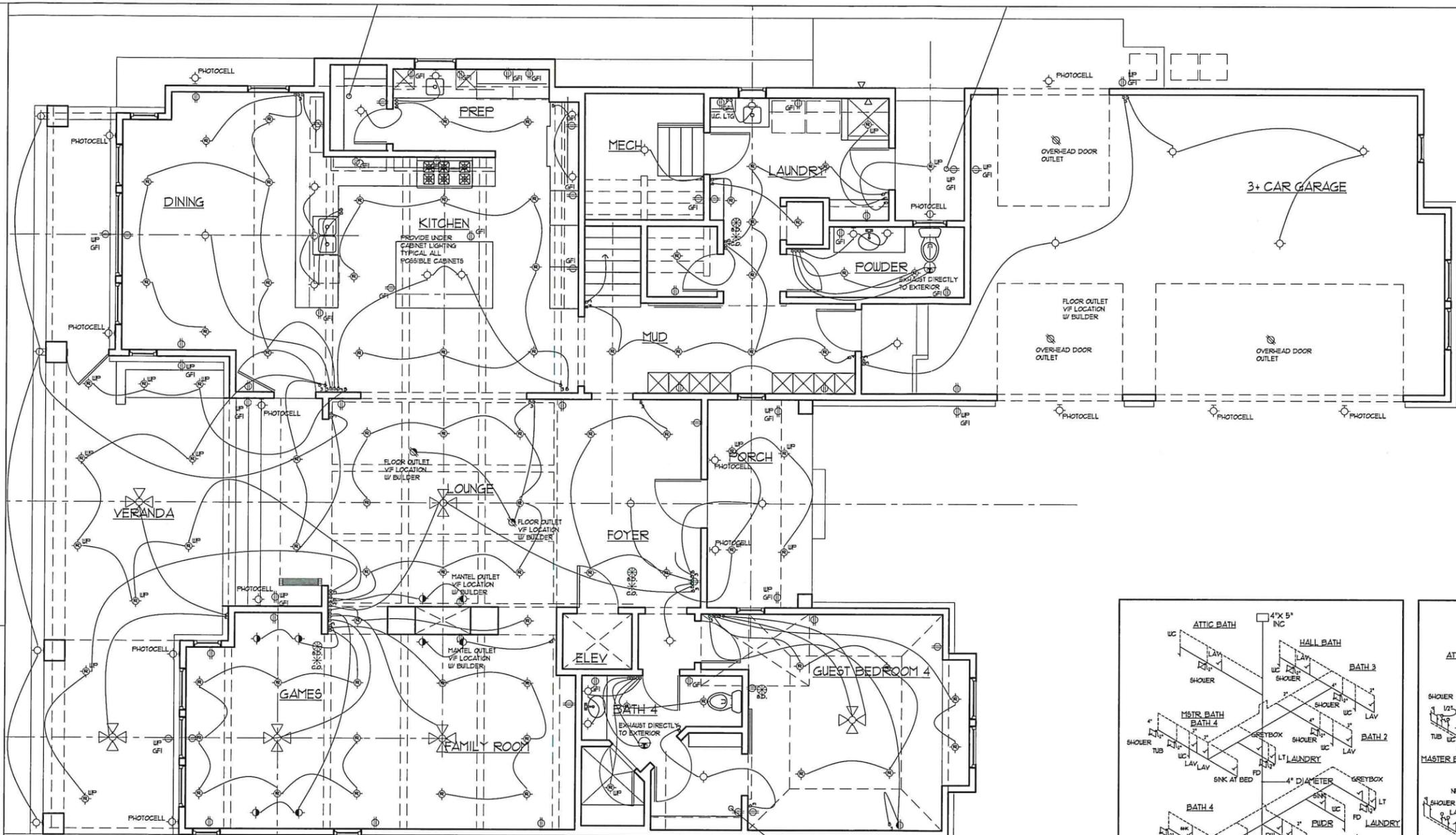
- LONG LEG OF ANGLE TO BE IN VERTICAL POSITION
- DEPTH OF REINFORCED LINTELS SHALL NOT BE LESS THAN 8" AND ALL CELLS OF HOLLOW MASONRY LINTELS TO BE GROUTED SOLID.
- REINFORCING BARS SHALL EXTEND NOT LESS THAN 8 INCHES INTO THE SUPPORT.
- STEEL MEMBERS INDICATED ARE ADEQUATE TYPICAL EXAMPLES OTHER STEEL MEMBERS MEETING STRUCTURAL DESIGN REQUIREMENTS MAY BE USED.
- FOR 16'-0" GARAGE DOOR HEADER USE 9" X 4" X 5/8" STEEL ANGLE

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

3246 SQ. FT. SECOND FLOOR

SECOND FLOOR PLAN & DETAILS



ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION
[Symbol]	CEILING FAN/ LIGHT
[Symbol]	SURFACE MOUNTED LIGHT FIXTURE
[Symbol]	RECESSED LIGHT FIXTURE
[Symbol]	SURFACE MOUNTED W/ PULL CHAIN
[Symbol]	WALL MOUNTED FIXTURE
[Symbol]	EMERGENCY LIGHT FIXTURE
[Symbol]	'FISH-EYE' DIRECTIONAL LIGHT FIXTURE
[Symbol]	TRACK LIGHTING
[Symbol]	FLUORESCENT FIXTURE
[Symbol]	EMERGENCY LIGHT FIXTURE
[Symbol]	COMBINATION LIGHT & EXHAUST FAN
[Symbol]	SMOKE ALARM (HARD WIRED)
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	THERMOSTAT
[Symbol]	WALL SWITCH (44" AFF. UNO.)
[Symbol]	THREE WAY SWITCH (44" AFF. UNO.)
[Symbol]	DIMMER SWITCH (44" AFF. UNO.)
[Symbol]	DUPLEX WALL OUTLET (15" MIN. AFF. UNO.)
[Symbol]	QUAD OUTLET (15" MIN. AFF. UNO.)
[Symbol]	SWITCHED OUTLET (15" MIN. AFF. UNO.)
[Symbol]	DUPLEX WALL OUTLET (15" AFF. UNO.)
[Symbol]	GROUND FAULT INTERRUPTER (15" AFF.)
[Symbol]	WATERPROOF OUTLET (W/ GFI)
[Symbol]	RECESSED SERVICE PANEL
[Symbol]	EXHAUST FAN

PLEASE REFER TO GENERAL NOTES ON SHEET 2 OF THE DRAWINGS FOR ADDITIONAL ELECTRICAL NOTES REQUIRED PER LOCAL CODES.

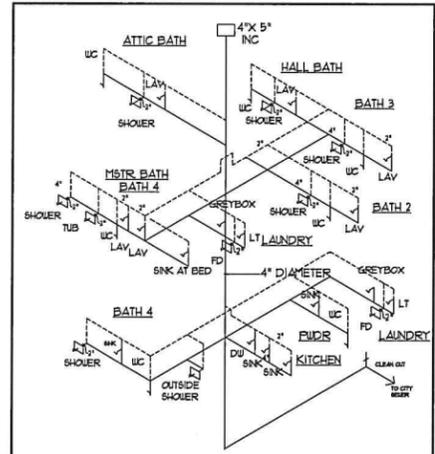
120 VOLT INTER-CONNECTED SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED ON ALL LEVELS AND IN THE VICINITY OF ALL BEDROOMS MUST BE HARDWIRED PER R303.5!

75% OF PERMANENTLY INSTALLED LUMINAIRES MUST BE FLUORESCENT OR CFL LAMPS PER CODE SECTION 480J LIGHTING EQUIPMENT

ARC-FAULT CIRCUIT INTERRUPTER REQUIRED AT ALL DUELLING UNIT BEDROOMS, TYPICAL.

FIRST FLOOR ELECTRICAL PLAN

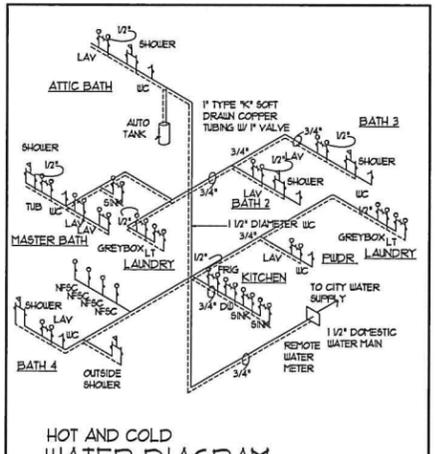
SCALE: 1/4" = 1'-0"



WASTE DIAGRAM

NOT TO SCALE

FIXTURE	MIN. SWEDELY	MIN. WASTE
WATER CLOSET (WC)	3/8"	4"
LAVATORY (LAV)	3/8"	1 1/2"
TUB/SHOWER	1/2"	2"
KITCHEN SINK	1/2"	2"
DISHWASHER	1/2"	2"
LAUNDRY	1/2"	2"



HOT AND COLD WATER DIAGRAM

NOT TO SCALE

--- COLD WATER
--- HOT WATER

NOTE:
- ALL PIPING TO BE COPPER.
- PROVIDE 24" AIR CHAMBERS ABOVE ALL FIXTURES AND ALL RISERS. (TYPICAL)
- AUTO TANKS SHALL HAVE APPROVED TYPE TEMPERATURE AND PRESSURE RELEASE VALVE.
- PROVIDE 1" AIR CHAMBER SHUTOFF ON ALL RISERS AND BRANCHES.

FIXTURE AND EQUIPMENT	SIZE
WATER CLOSET	3/8"
BATH TUBS	3/8"
TUB/SHOWER VALVE	1/2"
SHOWER BASE	1/2"
SHOWER VALVE	1/2"
LAV BOUL	1/2"
LAV FAUCET	1/2"
KITCHEN SINK	3/8"
KITCHEN FAUCET	1/2"
WATER HEATERS	1/2"
BOOSTER PUMP	1/2"

LAUN SPRINKLER & IRRIGATION NOTE:
PLUMBING FIXTURES AND IRRIGATION CONTROLLERS SHALL BEAR WATERSENSE LABEL FOR ALL FIXTURES AVAILABLE

DESIGN & ARCHITECTURE
ONE TRANS AM PLAZA DRIVE SUITE #120
OAKBROOK TERRACE IL 60181
PHONE: 708-509-7241

POTTS DESIGNS
DRAWING DREAMS INTO REALITY
630.778.7588

PROJECT NUMBER: **CP1807**
BRAD DRENDEL BUILDERS
Telephone: 630.688.7065
Facsimile: 630.548.4963
bdrendel@comcast.net

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PROJECT

THE KRUG RESIDENCE
870 MAYTAG ROAD
LAKE GENEVA, WISCONSIN

FIRST FLOOR ELECTRICAL PLAN

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PROJECT

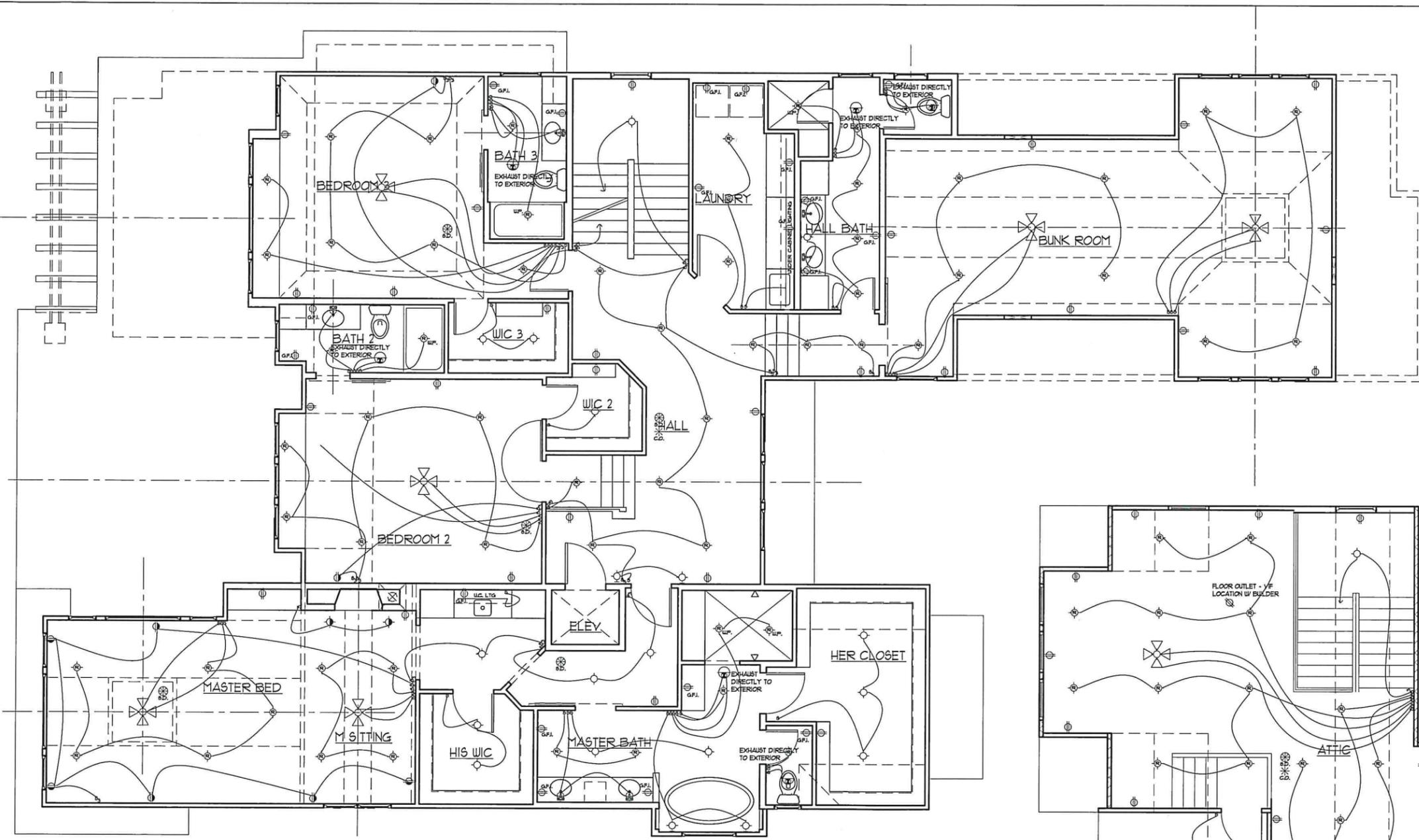
THE KRUG RESIDENCE
 870 MAYTAG ROAD
 LAKE GENEVA, WISCONSIN

SECOND & ATTIC ELECTRICAL PLAN

ELECTRICAL SYMBOLS

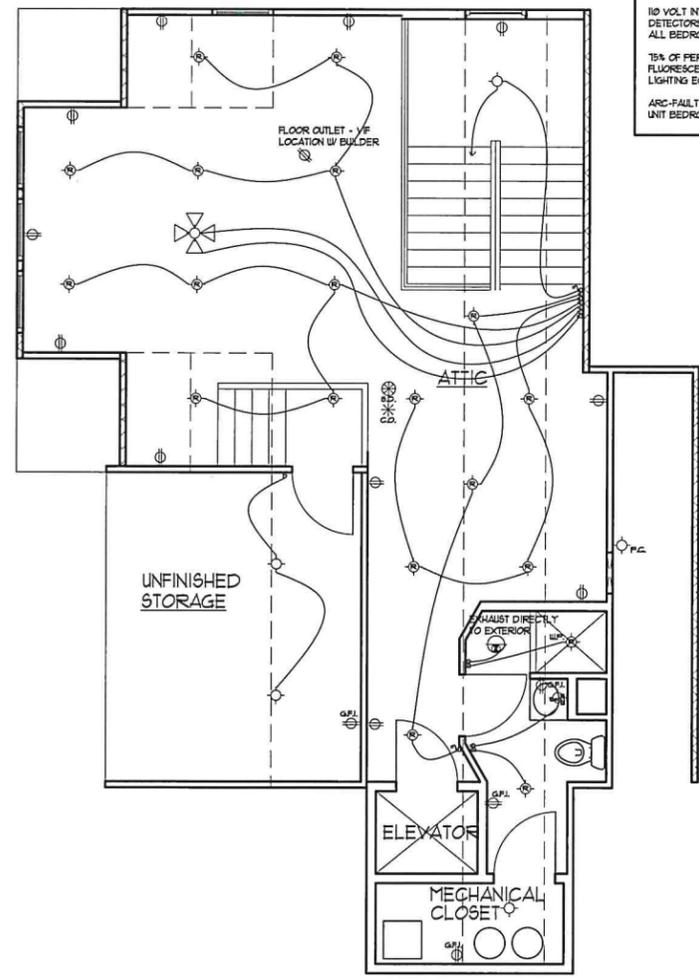
SYMBOL	DESCRIPTION
	CEILING FAN LIGHT
	SURFACE MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	SURFACE MOUNTED W/ FULL CHAIN
	WALL MOUNTED FIXTURE
	EMERGENCY LIGHT FIXTURE
	'FISH-EYE' DIRECTIONAL LIGHT FIXTURE
	TRACK LIGHTING
	FLUORESCENT FIXTURE
	EMERGENCY LIGHT FIXTURE
	COMBINATION LIGHT & EXHAUST FAN
	SMOKE ALARM (HARD WIRED)
	CARBON MONOXIDE DETECTOR
	THERMOSTAT
	WALL SWITCH (44" AFF, UNCO)
	THREE WAY SWITCH (44" AFF, UNCO)
	DIMMER SWITCH (44" AFF, UNCO)
	DUPLEX WALL OUTLET (15" MIN AFF, UNCO)
	QUAD OUTLET (15" MIN AFF, UNCO)
	SWITCHED OUTLET (15" MIN AFF, UNCO)
	DUPLEX WALL OUTLET (15" AFF, UNCO)
	GROUND FAULT INTERRUPTER (15" AFF)
	WATERPROOF OUTLET (W/ GFI)
	RECESSED SERVICE PANEL
	EXHAUST FAN

PLEASE REFER TO GENERAL NOTES ON SHEET 2 OF THE DRAWINGS FOR ADDITIONAL ELECTRICAL NOTES REQUIRED PER LOCAL CODES.
 110 VOLT INTER-CONNECTED SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED ON ALL LEVELS AND IN THE VICINITY OF ALL BEDROOMS MUST BE HARDWIRED PER F903.5
 75% OF PERMANENTLY INSTALLED LUMINAIRES MUST BE FLUORESCENT OR CFL LAMPS PER CODE SECTION 404.1 LIGHTING EQUIPMENT
 ARC-FAULT CIRCUIT INTERRUPTER REQUIRED AT ALL DUELLING UNIT BEDROOMS, TYPICAL



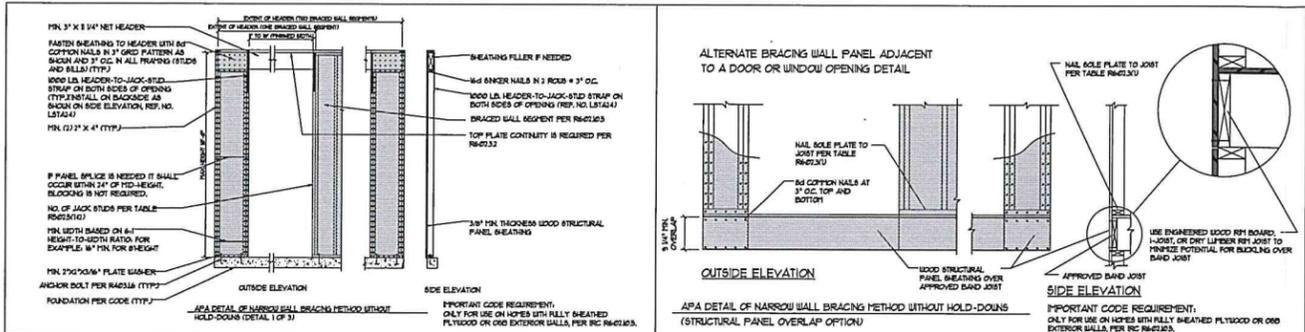
SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



ATTIC ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



FASTEN BRACING TO HEADER WITH 8d COMMON NAILS IN 3" GRID PATTERN AS SHOWN AND 3" O.C. IN ALL FRAMING STUDS AND BATT (TYP)
 1000 LB. HEADER-TO-JACK-STRUT STRAP ON BOTH SIDES OF OPENING (TYP) INSTALL ON SHOCKS AS SHOWN ON SIDE ELEVATION, REF. NO. L81244
 MIN. (2) 3" x 4" (TYP)
 IF PANEL SPLICE IS NEEDED IT SHALL OCCUR WITHIN 24" OF MID-HEIGHT. BLOCKING IS NOT REQUIRED.
 NO. OF JACK STUDS PER TABLE (R602316)
 MIN. WIDTH BASED ON 6" HEADS TO BOTH SIDES FOR EXAMPLE 6" MIN. FOR 8" HEIGHT
 MIN. 2"x6"x6" PLATE GABER
 ANCHOR BOLT PER R602316 (TYP)
 FOUNDATION PER CODE (TYP)
 APA DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS (DETAIL 1 OF 3)
 BREATHING FILLER IF NEEDED
 1/2" BRASS NAILS N 2 ROWS @ 3" O.C.
 1000 LB. HEADER-TO-JACK-STRUT STRAP ON BOTH SIDES OF OPENING (REF. NO. L81244)
 BRACED WALL RESIST PER R602316
 TOP PLATE CONTINUITY IS REQUIRED PER R602316
 2"x6" MIN. THICKNESS WOOD STRUCTURAL PANEL BRACING
 IMPORTANT CODE REQUIREMENT: ONLY FOR USE ON HOLES WITH FULLY BREATHED PLYWOOD ON ONE EXTERIOR WALL, PER IRC R602316.
 ALTERNATE BRACING WALL PANEL ADJACENT TO A DOOR OR WINDOW OPENING DETAIL
 OUTSIDE ELEVATION
 APA DETAIL OF NARROW WALL BRACING METHOD WITHOUT HOLD-DOWNS (STRUCTURAL PANEL OVERLAP OPTION)
 SIDE ELEVATION
 IMPORTANT CODE REQUIREMENT: ONLY FOR USE ON HOLES WITH FULLY BREATHED PLYWOOD ON ONE EXTERIOR WALL, PER IRC R602316.
 USE ENGINEERED 1000 RPI BOARD - 1/2" MIN. OR DRY LUMBER SET JOIST TO MINIMIZE POTENTIAL FOR BUCKLING OVER BARD JOIST
 APPROVED BARD JOIST

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 15, 2020

Agenda Item: 9

Applicant:

Leigh Ann Myers
d.b.a The Candle Mercantile LLC.
420 S. Lake Shore Dr.
Lake Geneva

Request: Conditional Use Permit

Outdoor Commercial Entertainment
870 W. Main St.
Central Business (CB)
Tax Key No. ZOP00337

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for the consideration of Outdoor Commercial Entertainment land use on the site for the outdoor patio service of drinks.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):
870 W MAIN ST ZON 00337 ZON 00338 legal description Attached.

Name and Address of Current Owner:
Key INVESTMENT Group (Richard Kehoe)
PO Box 928 Lake Forest, IL 60045

Telephone No. with area code & Email of Current Owner: _____
847-642-1677 rekehoe@outlook.com

Name and Address of Applicant:
The Candle Mercantile, LLC
870 W Main St. Lake Geneva, WI 53147

Telephone No. with area code & Email of Applicant: _____
704-649-7331 info@thecandlemercantile.com

Proposed Conditional Use: We would like to add outdoor seating
to our front patio to serve drinks (beer, wine, soda).

Zoning District in which land is located: Central business

Names and Addresses of architect, professional engineer and contractor of project:
N/A

Short statement describing activities to take place on site:
Outdoor customer seating with drink service.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

5/3/2020
Date


Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL. (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: 5/5 by: JA

↓

___ (a) A map of the proposed conditional use:

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft.
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- (e) Written justification for the proposed conditional use:
- Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

- How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
out door seating will allow people to enjoy a beverage and enjoy the outdoors of Lake Geneva.
- How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
We are a pure pour studio & bar that serves beer, wine, soda. People often sit outside to enjoy their beverage and Lake Geneva.
- Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?
No - we have a Red brick patio in front of our store that currently is not used.
- How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
Using the patio with tables will utilize available space while bringing traffic to one end of main st.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

yes

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

yes

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ Pre-submittal staff meeting scheduled: *email*
- Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- Follow-up pre-submittal staff meetings scheduled for:
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Application form filed with Zoning Administrator: Date: _____ by: _____
- ___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____
- ___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
 ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____
 ↓

- ___ (a) A written description of the intended use describing in reasonable detail the:
 - ___ Existing zoning district(s) (and proposed zoning district(s) if different);
 - ___ Land use plan map designation(s);
 - ___ Current land uses present on the subject property;
 - ___ Proposed land uses for the subject property (per Section 98-206);
 - ___ Projected number of residents, employees, and daily customers;
 - ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
 - ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- ___ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- ___ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- ___ Exterior building and fencing materials (Sections 98-718 and 98-720);
- ___ Possible future expansion and related implications for points above;
- ___ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

___ ~~X~~ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

___ ___ (c) A **Property Site Plan drawing** which includes:

- ___ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- ___ The date of the original plan and the latest date of revision to the plan;
- ___ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- ___ A reduction of the drawing at 11" x 17";
- ___ A legal description of the subject property;
- ___ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- ___ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- ___ All required building setback lines;
- ___ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- ___ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- ___ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- ___ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- ___ The location of all outdoor storage areas and the design of all screening devices;
- ___ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- ___ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- ___ All engineering requirements for utilities, site designs, etc;
- ___ The location and type of any permanently protected green space areas;
- ___ The location of existing and proposed drainage facilities for storm water;

___ In the legend, data for the subject property on:

- ___ Lot Area;
- ___ Floor Area;
- ___ Floor Area Ratio (b/a);
- ___ Impervious Surface Area;
- ___ Impervious Surface Ratio (d/a);
- ___ Building Height.

___ ___ (d) **A Detailed Landscaping Plan of the subject property:**

- ___ Scale same as main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing the location of all required buffer yard and landscaping areas
- ___ Showing existing and proposed Landscape Point fencing
- ___ Showing berm options for meeting said requirements
- ___ Demonstrating complete compliance with the requirements of Article VI
- ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

___ ___ (e) **A Grading and Erosion Control Plan:**

- ___ Same scale as the main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

___ ___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- ___ Showing finished exterior treatment;
- ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

___ **Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____

___ **Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____

___ **A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.** Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 870 W Main St Lake Geneva, WI 53147
Applicant name Leigh Ann Myers - The Candle Mercantile, LLC
Applicant email info@thecandlemercantile.com Phone Number 704-649-7381

Architect/Contractor/Designer Name N/A
Architect/Contractor/Designer Email _____ Phone Number _____

Type of Construction: New _____ Addition _____ Remodel _____ No construction
Type of Development: Single-family _____ Multi-family _____ Commercial X Industrial _____
Type of Business Retail: Bar serving beer/wine

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES / NO
 - Traffic Control Plan Required YES / NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? Small group, having conversations
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement N/A
- Estimated daily water usage in gallons per day N/A
- Estimated maximum water flow in gallons per minute N/A
- Number of bathrooms 1 (inside)
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____

Exhibit A

Premises Description

Commonly Known As: 870 Main Street, Lake Geneva, Walworth County, Wisconsin

The subject Leased Space is on the following:

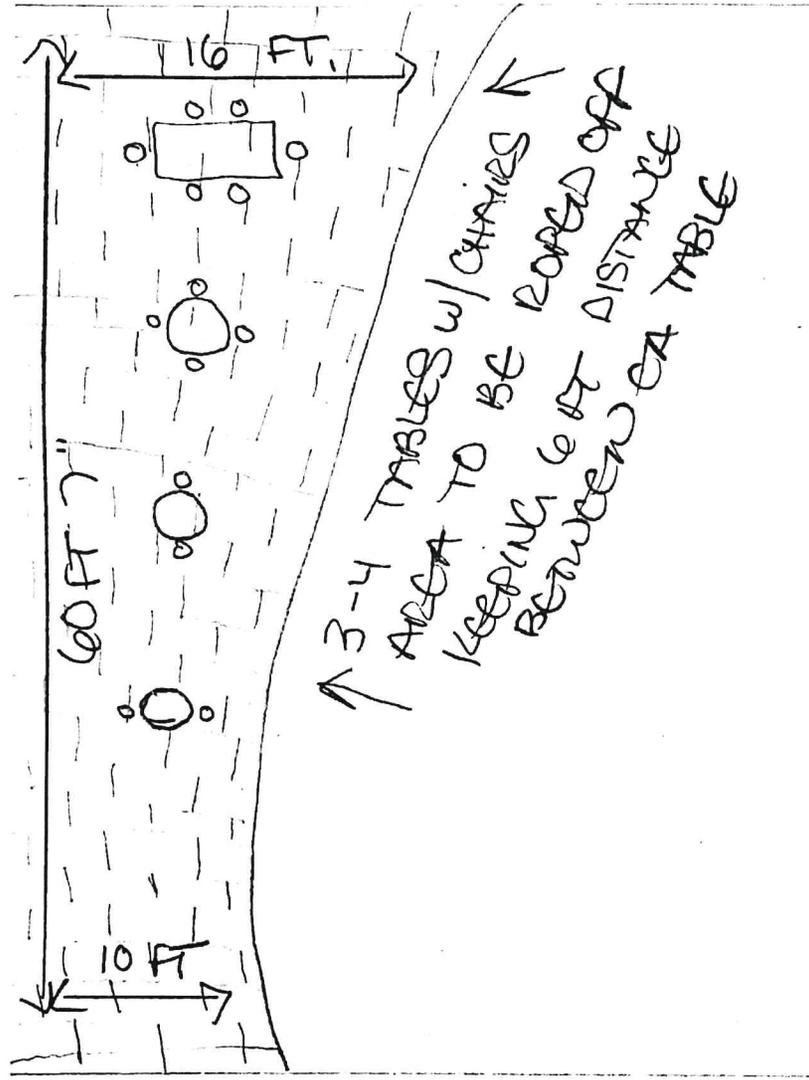
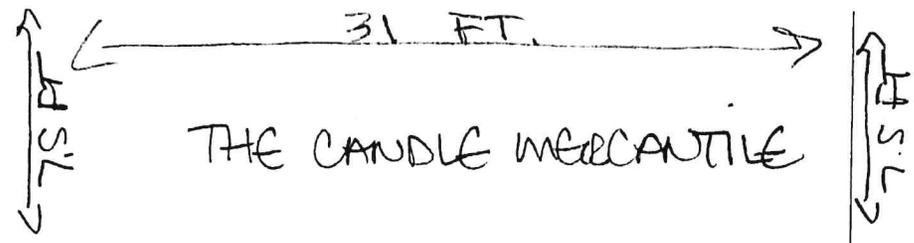
Parcel Numbers, ZOP 00337, and ZOP 00338 The Legal Description is as follows:

The N 2/3 of Lot 6 and the N 2/3 of the W 1/3 of Lot 5, all in Block 31 in the City of Lake Geneva (formerly Village of Geneva) in the County of Walworth and State of Wisconsin, according to the plat of said Village of record in the office of the Register of Deeds in and for Walworth County aforesaid.

Ben *J*
gpp

THE CANDLE MERCHANT

C PROPERTIES



SHADED PARKING LOT

SIDEWALK

WRIGHTLY DR.

SIDEWALK

MAIN STREET

RESOLUTION OF THE COMMON COUNCIL

Resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by Brian Nelson 21605 N Tiffany Ct., Kildeer IL 60047 for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 1640 Lake Shore Dr. located in the Estate Residential - 1 (ER-1) zoning district. Tax Key No. ZLM00039.

Committee:	Plan Commission approved June 15, 2020		
Fiscal Impact:	N/A		
File Number:	20-R49	Date:	June 22, 2020

WHEREAS, the City Plan Commission has considered the application of, Brian Nelson 21605 N Tiffany Ct., Kildeer IL 60047 for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 1640 Lake Shore Dr. located in the Estate Residential - 1 (ER-1) zoning district. Tax Key No. ZLM00039.

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on June 15, 2020.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to Brian Nelson 21605 N Tiffany Ct., Kildeer IL 60047 for a request to utilize the Single-family – 4 zoning in the Estate Residential – 1 zoning land use for the property located at 1640 Lake Shore Dr. located in the Estate Residential - 1 (ER-1) zoning district.

Tax Key No. ZLM00039

to include all affirmative findings of fact and note staff recommendations.

Granted by action of the Common Council of the City of Lake Geneva this 22th day of June, 2020.

Council Action: **Adopted** **Failed** **Vote** _____

Mayoral Action: **Accept** **Veto**

Charlene Klein, Mayor

Date

Attest:

Lana Kropf, City Clerk

Date

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 15, 2020

Agenda Item: 8

Applicant:
Brian Nelson
21605 N Tiffany Ct.
Kildeer, IL 60047

Request: Conditional Use Permit
New 2nd Floor Addition to the Existing
Single Family Residence
1640 Lake Shore Dr.
Estate Residential (ER-1)
Tax Key No. ZLM00039

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) that would allow for the construction of a new 2nd floor addition to the existing single family residence located in the Estate Residential (ER-1) zoning district utilizing the Single-Family Residential – 4 (SR-4) zoning.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
 - a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

1640 LAKE SHORE DRIVE, LAKE GENEVA WI
(SITE PLAN INCLUDED WITH LEGAL DESCRIPTION)

Name and Address of Current Owner:

BRIAN NELSON 21605 N TIFFANY CT KILDEER IL
60047

Telephone No. with area code & Email of Current Owner: 773-230-8401

Bnelson@lapmaster.com

Name and Address of Applicant:

BRIAN NELSON
21605 N. TIFFANY CT. KILDEER IL 60047

Telephone No. with area code & Email of Applicant: 773.230.8401

bnelson@lapmaster.com

Proposed Conditional Use: SECOND FLOOR ADDITION TO EXISTING
RANCH RESIDENCE

Zoning District in which land is located: SR-4

Names and Addresses of architect, professional engineer and contractor of project:

MIDWEST DESIGN GROUP INC - ADAM SHORE
11445 HILSBORO DR. HUNTLEY IL 60142

Short statement describing activities to take place on site:

EXISTING RANCH HOME TO HAVE PROPOSED NEW SECOND FLOOR
ADDITION ADDED

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

4.30.20
Date


Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

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I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

___ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

___ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) **Date:** _____ **by:** _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* **Date:** _____ **by:** _____

↓

✓ ___ (a) A written description of the intended use describing in reasonable detail the:

- ✓ Existing zoning district(s) (and proposed zoning district(s) if different);
- ~~N/A~~ Land use plan map designation(s);
- ✓ Current land uses present on the subject property;
- ✓ Proposed land uses for the subject property (per Section 98-206);
- ✓ Projected number of residents, employees, and daily customers;
- ✓ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- ~~N/A~~ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

In the legend, data for the subject property on:

- Lot Area;
- Floor Area;
- ~~N/A~~ Floor Area Ratio (b/a);
- Impervious Surface Area;
- Impervious Surface Ratio (d/a);
- Building Height.

(d) A **Detailed Landscaping Plan** of the subject property:

- Scale same as main plan (> or equal to 1" equals 100')
- Map reduction at 11" x 17"
- Showing the location of all required buffer yard and landscaping areas
- Showing existing and proposed Landscape Point fencing
- ~~N/A~~ Showing berm options for meeting said requirements
- ~~N/A~~ Demonstrating complete compliance with the requirements of Article VI
- ~~N/A~~ Providing individual plant locations and species, fencing types and heights, and berm heights;

(e) A **Grading and Erosion Control Plan**:

- ~~N/A~~ Same scale as the main plan (> or equal to 1" equals 100')
- ~~N/A~~ Map reduction at 11" x 17"
- ~~N/A~~ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

(f) **Elevation Drawings of proposed buildings or remodeling of existing buildings**:

- Showing finished exterior treatment;
- With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- ~~N/A~~ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

N/A Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

N/A If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";

N/A Exterior building and fencing materials (Sections 98-718 and 98-720);

N/A Possible future expansion and related implications for points above;

N/A Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

✓ _____ (b) A Small Location Map at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

✓ _____ (c) A Property Site Plan drawing which includes:

✓ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;

N/A The date of the original plan and the latest date of revision to the plan;

✓ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);

✓ A reduction of the drawing at 11" x 17";

✓ A legal description of the subject property;

✓ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

✓ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

✓ All required building setback lines;

✓ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

✓ The location and dimension (cross-section and entry throat) of all access points onto public streets;

N/A The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

N/A The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;

N/A The location of all outdoor storage areas and the design of all screening devices;

N/A The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;

N/A The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;

N/A All engineering requirements for utilities, site designs, etc;

N/A The location and type of any permanently protected green space areas;

N/A The location of existing and proposed drainage facilities for storm water;

- ✓ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- ✓ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- ✓ (e) Written justification for the proposed conditional use:
 - Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 1640 LAKE SHORE DRIVE, LAKE GENEVA WI
Applicant name BRIAN NELSON
Applicant email bnelson@lapmasters.com Phone Number 773-230-8401

Architect/Contractor/Designer Name MIDWEST DESIGN GROUP - ADAM SHORE
Architect/Contractor/Designer Email adam.mdg@gmail.com Phone Number 224-800-3030

Type of Construction: New _____ Addition Remodel _____
Type of Development: Single-family Multi-family _____ Commercial _____ Industrial _____
Type of Business N/A

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / (NO)
- Access points and dimensions shown? YES / (NO)
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES / (NO)
 - Traffic Control Plan Required YES / (NO)
 - Will construction affect street parking or intersections? YES / (NO)

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions NOT EXCEEDING EXIST. BUILDING FOOTPRINT
- Will there be signage? YES / NO type (mounted, freestanding) FREESTANDING
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? TYPICAL
- Detailed property Site Plan? YES / NO Date of Plan: 12-13-2012
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement N/A
- Estimated daily water usage in gallons per day N/A
- Estimated maximum water flow in gallons per minute N/A
- Number of bathrooms N/A
- Brief description of process (if Industrial) N/A

If the development is a multi-family dwelling, please provide the following:

- Number of units N/A
- Number of bedrooms in each unit N/A
- Water service size requirement N/A



Midwest Design Group Inc.
11445 Hillsboro Drive
Huntley, IL. 60142
Office: 224.800.3030
Email: adam.mdg@gmail.com
May 2nd 2020
John Matustik
Matustik Builders

City of Lake Geneva
Site Plan review – Application for
Conditional Use.

Re: Letter regarding petition for a Conditional Use Permit.

The enclosed letter is a petition for a Conditional Use for the Single Family Residence located at 1640 Lake Shore Drive, within the limits of the City of Lake Geneva Wisconsin, in The Manor Subdivision of which Brian and Pei Nelson are the property owners. The current Zoning of the property is SR-4.

Brian and Pei purchased the existing single family residence in December of 2012. The said single family residence is currently a single story 3 Bedroom ranch home with an attached 2 Car Garage. The existing residence is clad with Stone Veneer, and has an Asphalt Shingle Roof. A portion of the residence has a Full Basement, with the balance being a Crawl Space. The residence has all city services, and is fully landscaped.

Brian and Pei are requesting the Conditional Use Permit so they can accommodate their growing family. They are requesting a new Second Floor Addition and First Floor Remodel to the existing residence. The new Second Floor Addition shall adhere to all required building setbacks, and shall not exceed the current footprint of the ranch home. The addition shall also adhere to The Manor Subdivision maximum Livable square Footage Ratio of 35%. The proposed addition and renovation shall not impact or increase any of the existing Landscaping, or Hardscape areas. None of the existing Utilities to the property shall be

impacted by the addition or renovation. The new Second Floor Addition shall not exceed the Height requirements of the SR-4 zoning district.

The proposed addition shall adhere to all of the City of Lake Geneva proposed goals, objectives, Zoning Ordinances, and policies. The proposed addition shall not have any adverse impacts to the property, or any of the existing neighbors. The new Second Floor Addition Exterior materials shall be made up of 3 additional materials adding a harmonious integration with the current existing stone veneer. The 3 additional materials are Stucco Veneer, LP Smart Wall Shakes and Board and Batten Panel Siding.

Brian and Pei have met with Jennifer Heaton from The Manor Subdivision Architectural Review Board, which they presented the Architectural Plans and Site Plan for review. Jennifer reviewed the plans and notified all impacted neighbors or the proposed Addition to the existing residence, and has approved the proposed Addition, and has had no adverse communication from any of the impacted neighbors. They have also met with Fred Walling from the City of Lake Geneva and presented the proposed plans for input and guidance. Fred has given Brian and Pei direction and requirements for the Conditional Use Permit.

Overall we feel that the proposed Addition and Renovation for Brian and Pei shall give them the home for their growing family, and shall fit within the Manor Subdivisions requirements and guidelines. We are requesting the City of Lake Geneva to grant a Conditional Use Permit for the proposed new Addition and Renovation located at 1640 Lake Shore Drive.

If you have any questions please call me.

Adam Shore
President
Midwest Design Group Inc.

Lake Geneva Manor ARC Approval.

John Matustik

From: Jenny Heaton <jenny.derita@gmail.com>
Sent: Friday, May 1, 2020 3:19 PM
To: John Matustik
Subject: Re: Plans

Thank you for sharing the plans, John. I passed the plans on to immediate neighbors in an effort to keep them in the loop.

Please move forward, all is approved by the ARC committee.

Enjoy your weekend!

Jenny

On Mon, Apr 27, 2020 at 6:15 PM John Matustik <john@matustikbuilders.com> wrote:

Attached are the plans

Thanks!

John

John Matustik

Mobile: 847-624-7774

E-mail: john@matustikbuilders.com

Website: matustikbuilders.com

From: Jenny Heaton [mailto:jenny.derita@gmail.com]

Sent: Saturday, April 25, 2020 8:06 AM

To: John Matustik

Subject: Re: Plans

Hi John - My cell is 303-204-6715

No worries, any time.

On Sat, Apr 25, 2020 at 7:24 AM John Matustik <john@matustikbuilders.com> wrote:

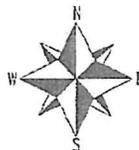
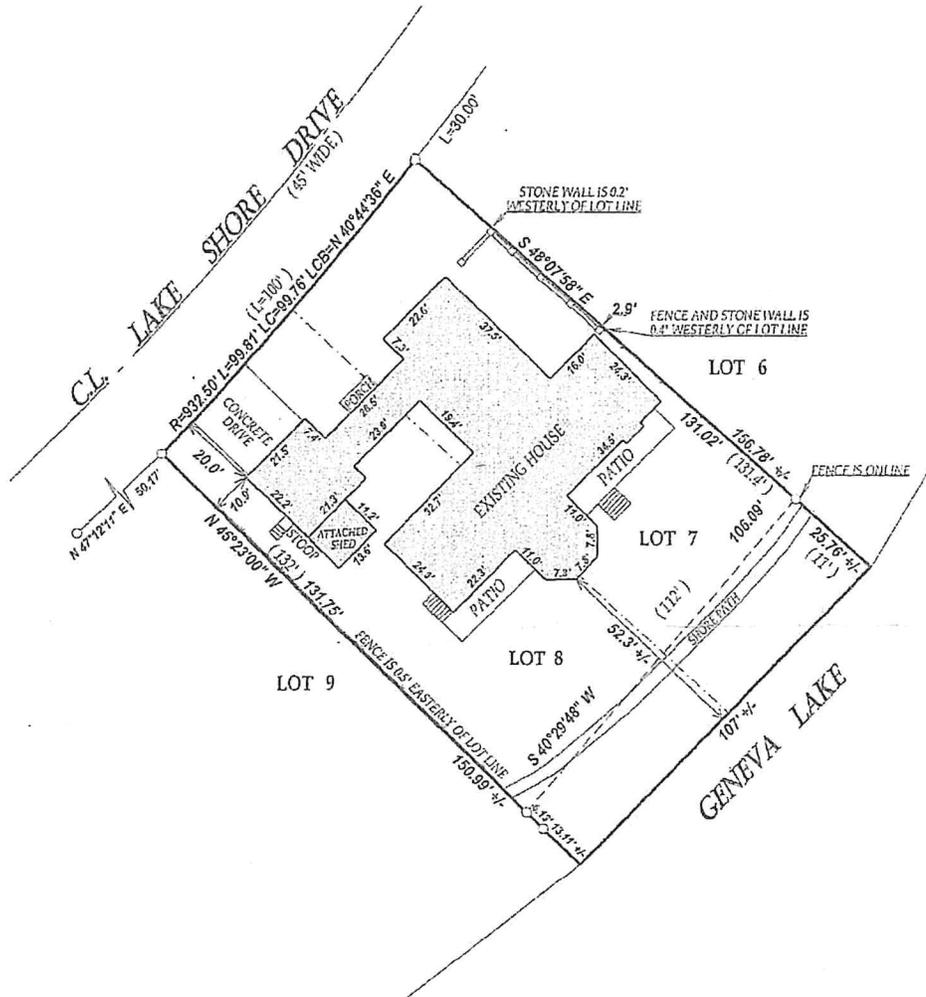
PREPARED FOR
BOB WEBSTER
KEEFE REAL ESTATE
751 GENEVA PARKWAY
LAKE GENEVA WI 53147

PLAT OF SURVEY

KROTT SURVEYING INC.

15765 WILLOW BEND LANE
LAKE GENEVA WI 53147
PHONE # (262)248-3697
FAX # (262)249-0639

-OF-
LOTS 7 AND 8 IN BLOCK 18 IN LAKE GENEVA MANOR TRACT NO. 17,
BEING A SUBDIVISION IN THE EAST 1/2 OF SECTION 35, TOWN 2 NORTH,
RANGE 17 EAST, WALWORTH COUNTY, WISCONSIN.



SCALE 1" = 30'



NOTE: BEARINGS ARE REFERENCED TO PREVIOUS SURVEY RECORDS

LEGEND

○ FOUND IRON PIPE

(XX) RECORDED AS

TAX ID # ZLM00039

JOB # 12-159

I have surveyed the above-described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences apparent easements and roadways and visible encroachments, if any.

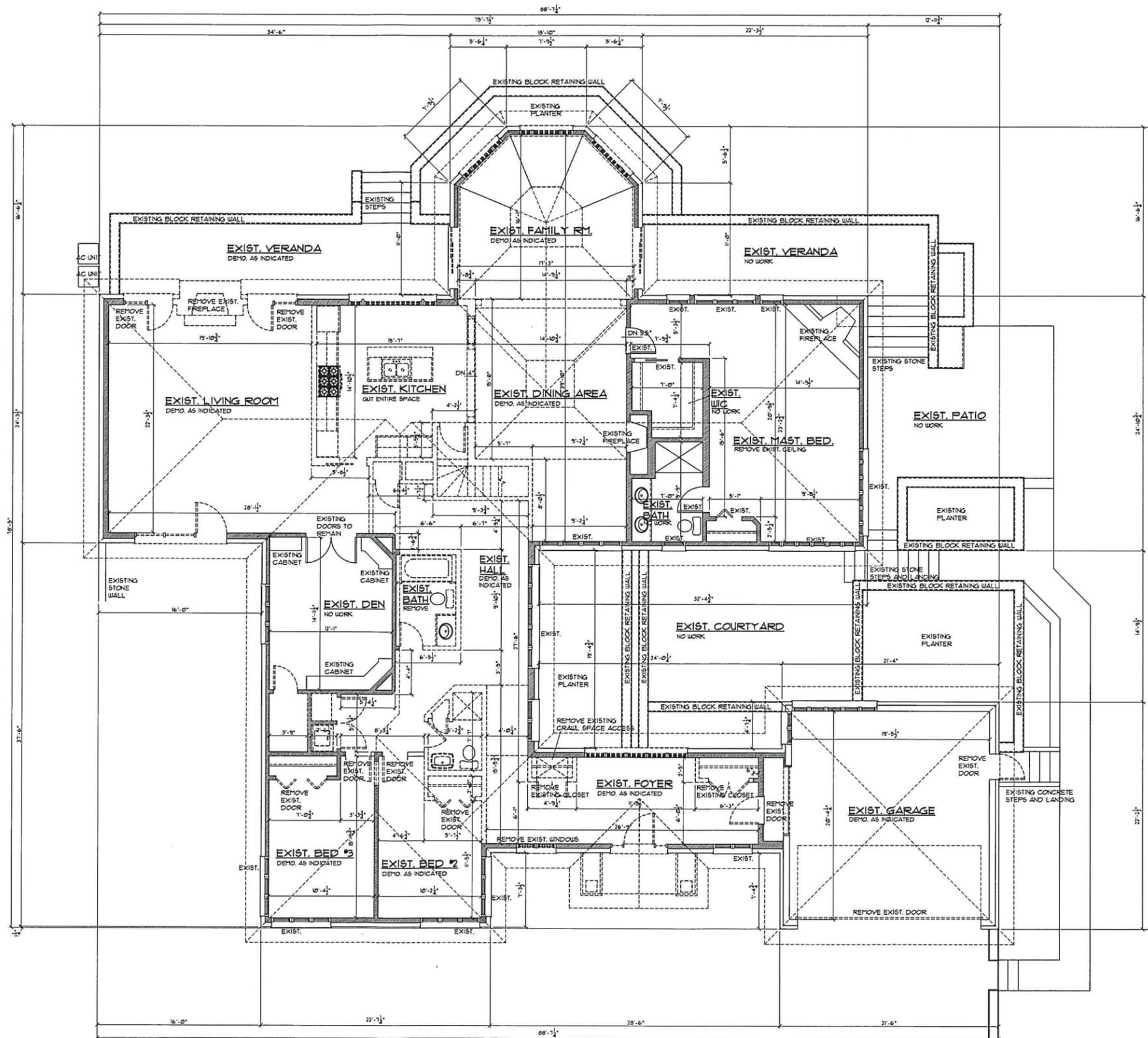
This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or insure the title thereto within one (1) year from date hereof; and as to them I warrant the accuracy of said survey map.



DATED THIS 13th DAY OF DECEMBER 2012

John P. Krott

JOHN KROTT S-2256
Wisconsin Registered Land Surveyor
(original if signed in red)



EXISTING LOT: 14,098 SF
 MAXIMUM LIVABLE SF CALCULATION:
 14,098 X 35% = 4934 SF.

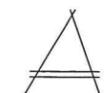
EXISTING FIRST FLOOR PLAN W/ DEMO.

SCALE: 3/16" = 1'-0"
 EXIST. FIRST FLOOR LIVABLE: 3140 SF.
 EXISTING FINISHED BASEMENT LIVABLE: 425 SF.
 EXISTING LIVABLE: 3565 SF.

EXISTING 1'-11" H. CEILING

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REV#	DATE	DESCRIPTION OF REVISION
1	4-16-20	BASIC PRELIMINARY FOR REVIEW
2	4-29-20	REVISED PRELIMINARY DRAWINGS



X-NELSON.dwg

NOT FOR CONSTRUCTION

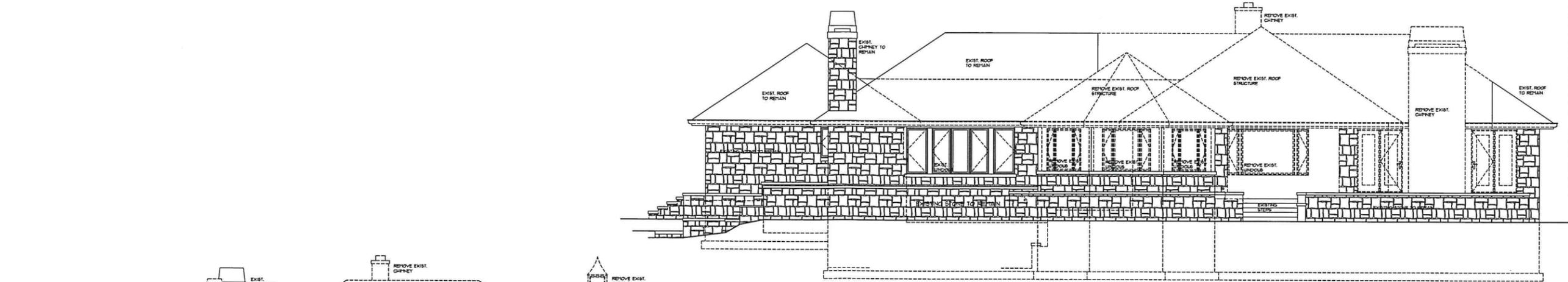


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 HUNTLEY, IL 60142
 OFFICE: 224-500-3030
 EMAIL: ADAM.MDG@GMAIL.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE# 184-004261

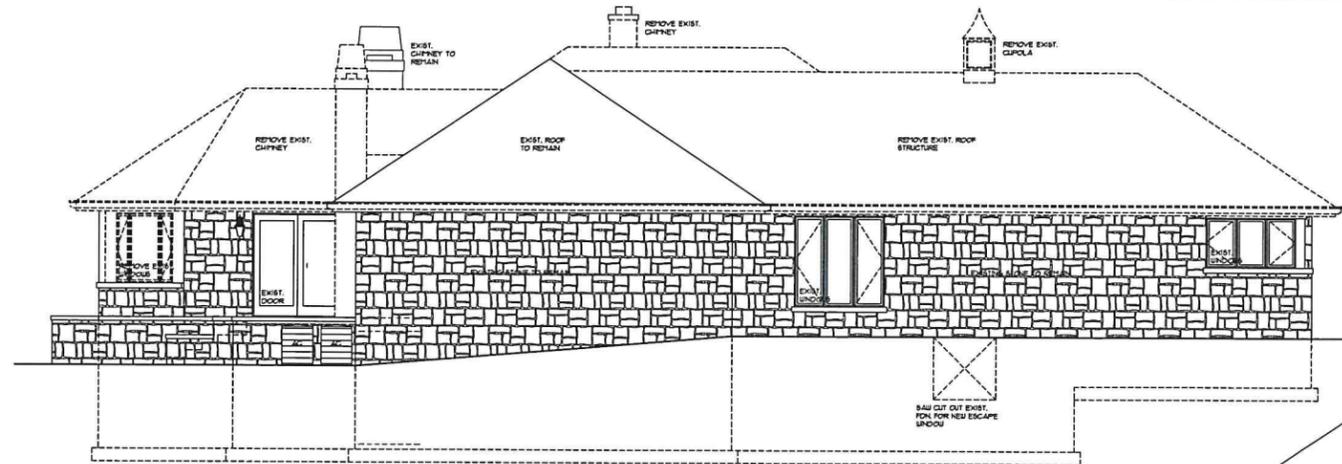
2413 West Algonquin Road
 Suite 515
 Algonquin, IL 60102
 Office: 888-840-9947
 Fax: 224-678-9566
 www.matustikbuilders.com



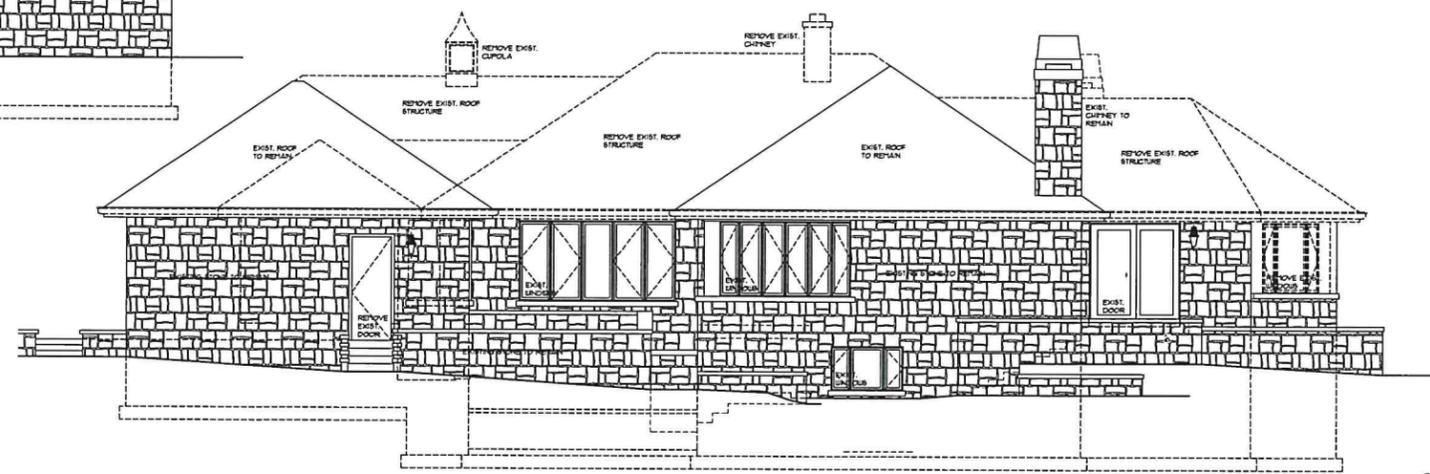
ADDITION & RENOVATION TO:
 THE NELSON RESIDENCE
 1640 LAKE SHORE DRIVE
 LAKE GENEVA, WI.



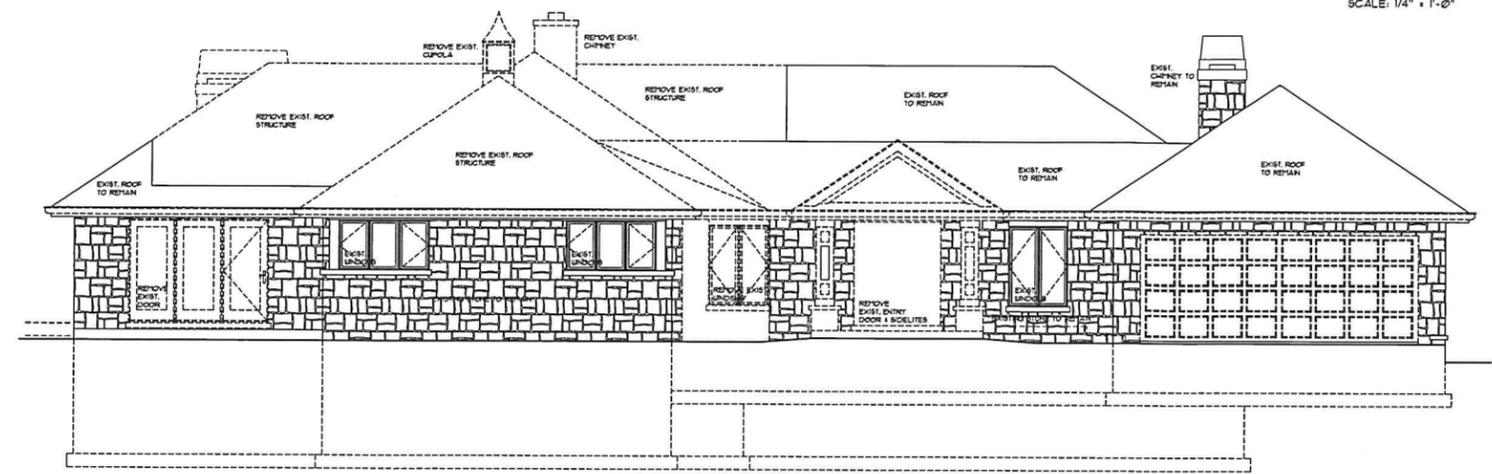
WATERSIDE ELEVATION WITH DEMO.
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION WITH DEMO.
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION WITH DEMO.
SCALE: 1/4" = 1'-0"



FRONT ELEVATION WITH DEMO.
SCALE: 1/4" = 1'-0"

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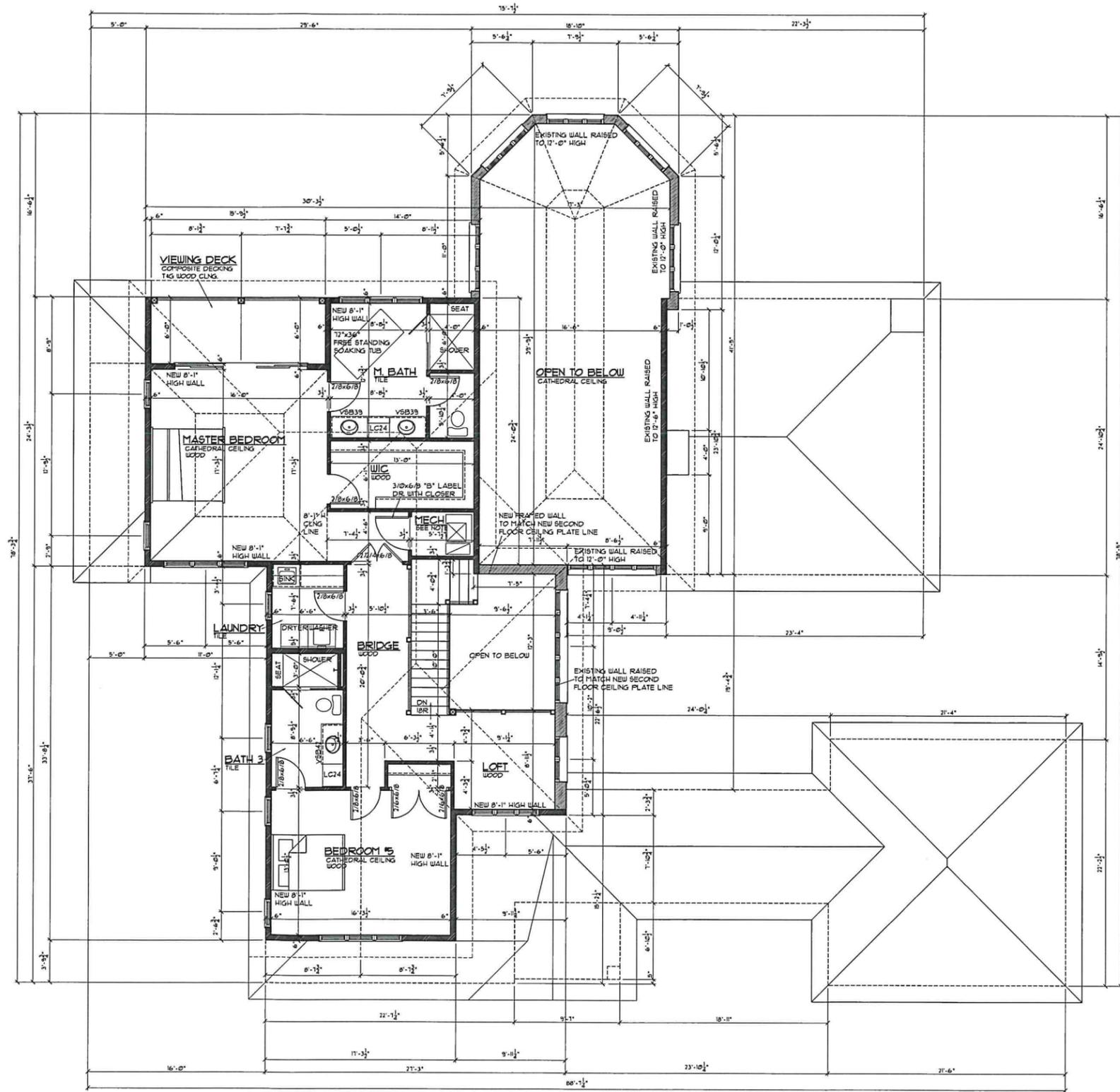


ADDITION & RENOVATION TO:
THE NELSON RESIDENCE
1640 LAKE SHORE DRIVE
LAKE GENEVA, WI.

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DATE	REV#	DESCRIPTION OF REVISION
4-18-20	1	BASIC PRELIMINARY FOR REVIEW
4-29-20	2	REVISED PRELIMINARY DRAWINGS

A2



NEW SECOND FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 8'-1" H. CEILING

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DATE	REV#	DESCRIPTION OF REVISION
4-10-20	1	BASIC PRELIMINARY FOR REVIEW
4-29-20	2	REVISED PRELIMINARY DRAWINGS

B2

X-NELSON.dwg

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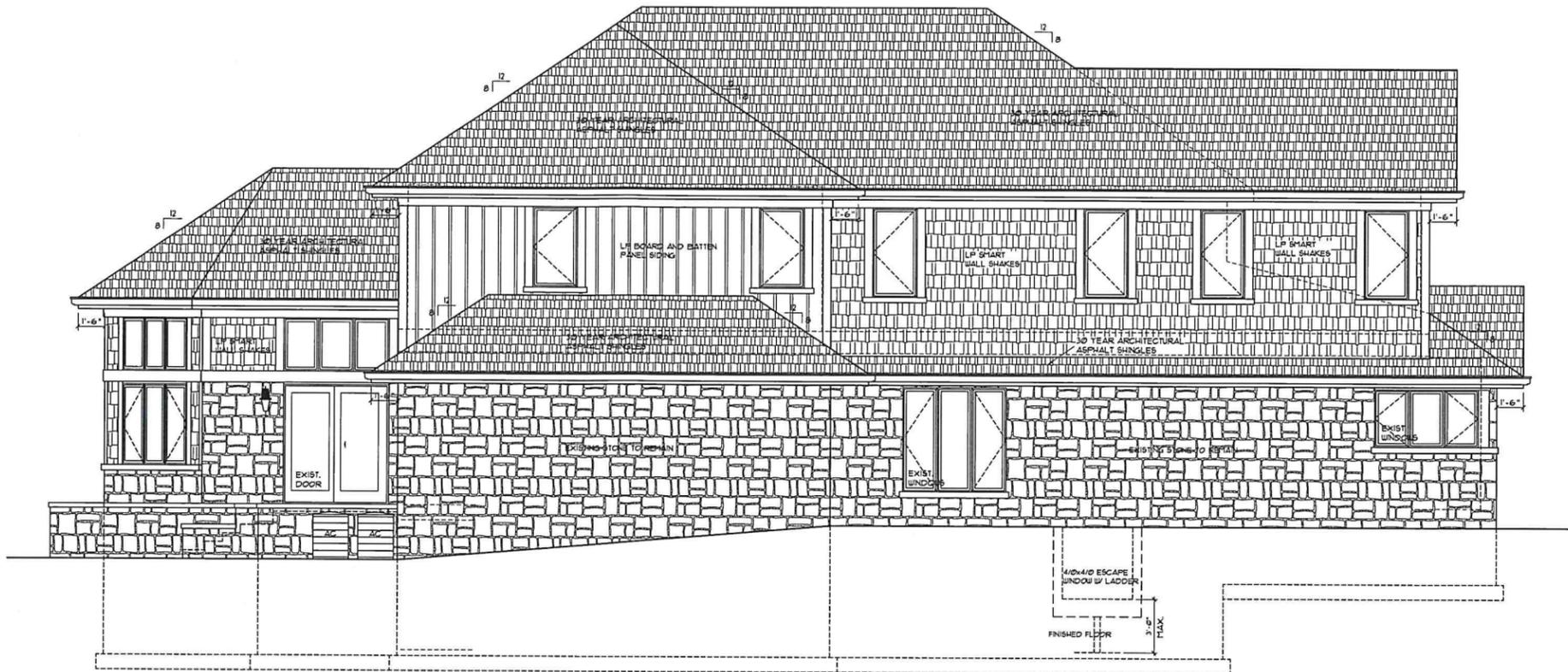


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ADDITION & RENOVATION TO:
THE NELSON RESIDENCE
 1640 LAKE SHORE DRIVE
 LAKE GENEVA, WI.



LEFT SIDE ELEVATION WITH ADDITION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION WITH ADDITION
SCALE: 1/4" = 1'-0"

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ADDITION & RENOVATION TO:
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LAKE GENEVA, WI.

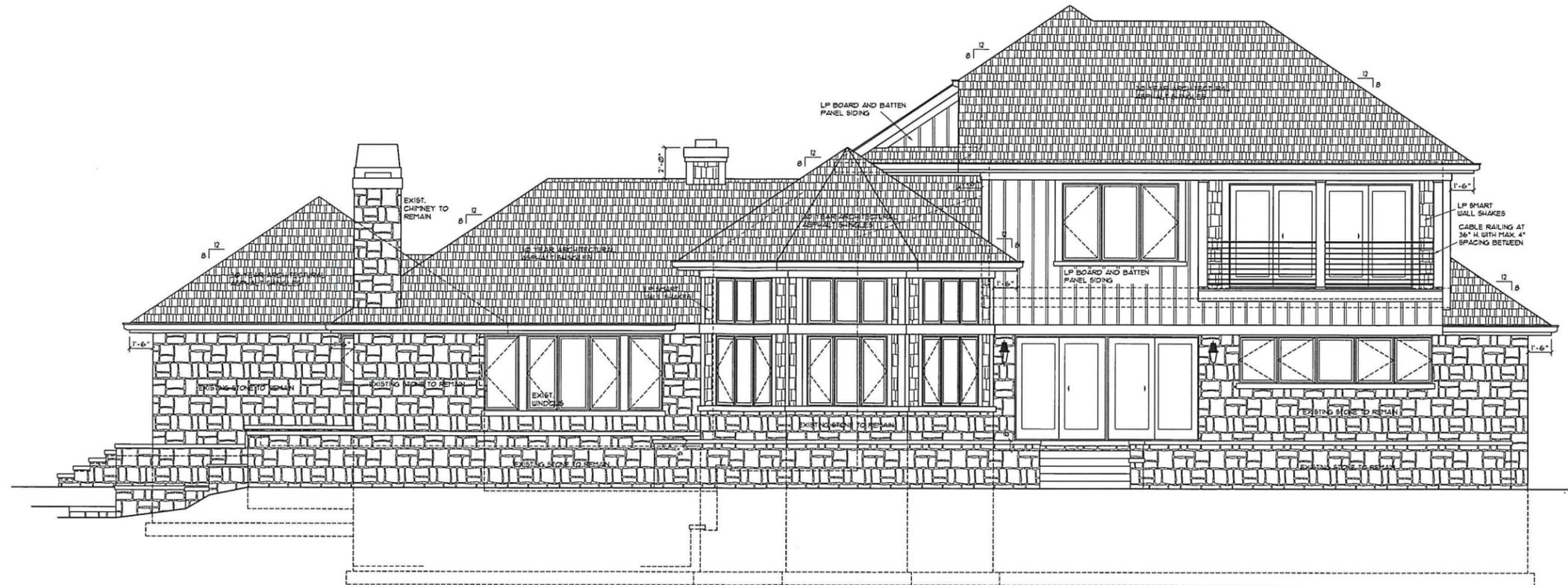
DATE	REV#	DESCRIPTION OF REVISION
4-19-20	1	BASIC PRELIMINARY FOR REVIEW
4-29-20	2	REVISED PRELIMINARY DRAWINGS

B3



RIGHT SIDE ELEVATION WITH ADDITION

SCALE: 1/4" = 1'-0"



WATERSIDE ELEVATION WITH ADDITION

SCALE: 1/4" = 1'-0"

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LAKE GENEVA, WI.

DATE	REV*	DESCRIPTION OF REVISION
4-18-20	1	BASIC PRELIMINARY FOR REVIEW
4-29-20	2	REVISED PRELIMINARY DRAWINGS

B4

X-NELSON.dwg