



REGULAR CITY COUNCIL MEETING

MONDAY, JUNE 25, 2018 – 6:00 PM

COUNCIL CHAMBERS, CITY HALL

Members:

Mayor Tom Hartz, Council President Ken Howell, Council Vice President John Halverson, Alderpersons: Selena Proksa, Doug Skates, Tim Dunn, Cindy Flower, Shari Straube, and Rich Hedlund

AGENDA

1. Mayor Hartz calls the meeting to order
2. Pledge of Allegiance – Alderperson Flower
3. Roll Call
4. Awards, Presentations, and Proclamations
5. Re-consider business from previous meeting
6. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.
7. Acknowledgement of Correspondence
8. Approve Regular City Council Meeting minutes of June 11, 2018, as prepared and distributed
9. **CONSENT AGENDA**– *Recommended by Finance, License and Regulation on June 19, 2018*
Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.
 - a. 2018-2019 Original & Renewal Operator License applications filed by various applicants as listed in packet
 - b. Temporary Class “B”/”Class B” Retailer’s License Application made by VISIT Lake Geneva for the event of Winterfest Magical Evening to be held on January 31, 2019 from 6:30 p.m. to 8:30 p.m. at the Riviera Ballroom
 - c. **Renewal of 2018-2019 Massage Establishment License applications filed by the following:**
 - 1) Aveda Life Salon and Spa, LLC
 - 2) The Heartland Spa/ Bella Vista Suites
 - d. Temporary Operator Licenses to be used at Venetian Fest held August 15, 2018 through August 19, 2018, for the following: Ryan Stelzer, Nathan Love, Christopher Zegarra, Eric Akucttah, Bryan Iwicki, Douglas Bartz, Ryan Lasch, Gregg Christenson, Franklyn Lasch, Andrew Collins, and Thomas Hove
 - e. Discussion/Recommendation of Event Permit application made by Shad Branen & Bridget Leech for the event of Geneva Theater 90th Anniversary Red Carpet Celebration to be held on June 28, 2018 from 4:00 p.m. to 11:00 p.m. at 244 Broad St (Geneva Theater)

10. Items Removed from the Consent Agenda
11. **First Reading of Ordinance 18-04- Amending Subsection (b) Meeting of Section 2-230, Committee of the Whole of Division 1, Generally of Article V Boards and Commission of Chapter 2, Administration of the Municipal Code of the City of Lake Geneva; Relating to the Frequency of meetings for the Committee of the Whole**
12. **First Reading of Ordinance 18-06- Amending Section 90-198, Rental Authority of Subdivision IV, Docking Facilities Rental of Division 3, Lake Shore and Beaches of Article II, Lake and Beaches of Chapter 90, Waterways of the Municipal Code of the City of Lake Geneva; Relating to the establishment of a Rental Authority and the setting of Rental Fees**
13. **Finance, License, and Regulation Committee Recommendations of June 19, 2018- Ald. Howell**
 - a. Discussion/Action regarding potential traffic control device at the intersection of Broad Street and Geneva Street
 - b. Discussion/Action regarding Request for Proposals to provide Property Assessment Services
14. **Planning Commission Recommendations of June 18, 2018- Ald. Skates**
 - a. Discussion/Action on **Resolution 18-R46** regarding an application for a Conditional Use Permit filed by Letitia Erdman, 5455 Steele Rd., Burlington WI 53105, to install a fence which exceeds the allowable heights for the Downtowner property located at 640 W. Main St. on the Central Business (CB) zoning. Tax Key No. ZOP00306.
 - b. Discussion/Action on **Resolution 18-R47** regarding a Conditional Use Permit filed by Serendipity & Sunsets LLC. P.O. Box 649. Cary IL 60013 for the installation and addition of a 100' pier located at 962 Mariane Terrace, property is located within the Estate Residential – 1 (ER-1) zoning district Tax Key No. ZSY00016.
 - c. Discussion/Action on **Resolution 18-R48** regarding an application for a Conditional Use Permit filed by Greg Anagnos N1567 Clover Rd, Lake Geneva WI 53147 to operate an Commercial Indoor Lodging land use for the property located at 501 ½ Broad St, Lake Geneva, WI 53147 located in the Central Business (CB) zoning, Tax Key No. ZOP00032.
 - d. Discussion/Action on an application to amend the General Development Plan (GDP) for the Lake Geneva 50120 LLC. Located at 281 N. Edwards Blvd., filed by GMX Real Estate Group LLC. To expand the building 2 footprint by 465 square feet. Located in the Planned Development (PD) zoning district, Tax Key Nos. ZA297300001.
 - e. Discussion/Action on **Resolution 18-R49** regarding an amendment to the Precise Implementation Plan (PIP) for the Lake Geneva 50120 LLC. located at 281 N. Edwards Blvd., filed by GMX Real Estate Group LLC. to expand the building 2 footprint by 465 square feet. Located in the Planned Development (PD) zoning district, Tax Key Nos. ZA297300001.
15. **Presentation of Accounts – Ald. Howell (Recommended by Finance, License and Regulation Committee on June 19, 2018)**
 - a. Purchase Orders (none)
 - b. Prepaid Bills in the amount of \$1,920.68
 - c. Regular Bills in the amount of \$316,159.16

16. **Adjournment**

Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk's office in advance so the appropriate accommodations can be made.

6/22/2018 10:00 AM

cc: Aldermen, Mayor, City Admin., Attorney, Dept. Heads, Media

REGULAR CITY COUNCIL MEETING MINUTES

MONDAY, JUNE 11, 2018 – 6:00 PM

COUNCIL CHAMBERS, CITY HALL

Members:

Mayor Tom Hartz, Council President Ken Howell, Council Vice President John Halverson, Alderpersons: Selena Proksa, Doug Skates, Tim Dunn, Cindy Flower, Shari Straube, and Rich Hedlund

Mayor Hartz called the meeting to order at 6:16 p.m.

Alderperson Dunn led the Council in the Pledge of Allegiance.

Roll Call:

Present: Mayor Hartz, Alderpersons: Howell, Halverson, Dunn, Straube, Hedlund, Flower, Proksa, and Skates

Absent: None

Guests: City Attorney Draper, Building & Zoning Administrator Walling, City Administrator Oborn, and City Clerk Kropf

Awards, Presentations, and Proclamations:

None

Re-consider business from previous meeting

None

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.

Jo Busch; 6343 First Ave; Spoke in regards to the Spousal Surcharge and its favor of its discontinuance.

Acknowledgement of Correspondence

Clerk Kropf noted there was no correspondence to acknowledge at this time.

Approve Regular City Council Meeting minutes of May 29, 2018, as prepared and distributed

Motion by Skates to approve the minutes of the May 29, 2018 Common Council meeting, second by Proksa. Motion carried 8-0.

CONSENT AGENDA– Recommended by Finance, License and Regulation on June 5, 2018

Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.

-2018-2019 Original & Renewal Operator License applications filed by various applicants as listed in packet

-Discussion/Action regarding Renewal of 2018-2019 “Class A” Liquor & Class “A” Fermented Malt Beverage License applications filed by the following, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds:

- 1) ALDI Inc Wisconsin d/b/a ALDI #56, 200 N. Edwards Blvd, Lake Geneva, Danielle Quale, Agent
- 2) Cove Condominium Association Inc d/b/a The Cove of Lake Geneva (Gift Shop), 111 Center St, Patrick McCarthy, Agent
- 3) Kwik Trip Inc d/b/a Kwik Trip #219, 710 Williams St, Jillian Ricker, Agent
- 4) Maya Geneva Inc d/b/a Maya Geneva Inc, 605 Williams St, Wayne Schwartz, Agent
- 5) Midwest Fuel Inc d/b/a Northside Mobil, 501 Interchange North, John Consolino, Agent
- 6) Walgreen Co. d/b/a Walgreens #05600, 351 Edwards Blvd, Suzanne Tiedke, Agent
- 7) QuickNSave LLC d/b/a QuickNSave, 1231 Grant St, Jatinder Dhillion, Agent
- 8) Stinebrinks Lake Geneva Foods LLC d/b/a Stinebrink’s Piggly Wiggly, 100 East Geneva Sq, Mark Stinebrink, Agent

- 9) Hare Krishna Liquor INC d/b/a Geneva Liquor, 797 Wells St, Dixit Patel, Agent
- 10) Walmart Stores INC d/b/a Walmart Store #910, 201 S Edwards Blvd, Rebecca Edwards, Agent
- 11) Target Corp d/b/a Target Store T2348, 660 N Edwards Blvd, Nicholas Schmidt, Agent
- 12) StopNGo of Madison INC d/b/a StopNGo Store #265, 896 Wells St, Andrew Bowman, Agent
- 13) New World Wine Shop INC d/b/a New World Wine Shop, 830 W Main St Suite G, Jerry Sibbing, Agent
- 14) Prairie State Enterprises of Darien LLC d/b/a Lake Geneva Mobil, 350 N Edwards Blvd, Kenneth Kearns, Agent
- 15) Queso Corp d/b/a The Cheese Box, 801 S Wells St, Zbigniew Boroweic, Agent
- 16) Brutap LLC d/b/a Bruno's Liquors, 524 Broad St, James Sharkus, Agent

-Discussion/Action regarding Renewal of 2018-2019 "Class A" Intoxicating Liquor License application filed by Lake Geneva School of Cooking LLC d/b/a Lake Geneva School of Cooking, 727 Geneva St, John Bogan, Agent, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds

-Discussion/Action regarding Original Application for a "Class A" Intoxicating Liquor License for Lake-Ben INC d/b/a Cornerstone Shop & Gallery, 214 Broad St, Karin Bennett, Agent, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds

-Discussion/Action regarding Renewal of 2018-2019 Class "A" Fermented Malt Beverage License application filed by Tienda El Rancho Inc d/b/a Tienda El Rancho, 1151 Elkhorn Rd, Mercedes Jaramillo, Agent, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds

-Discussion/Action regarding Renewal of 2018-2019 "Class B" Intoxicating Liquor & Class "B" Fermented Malt Beverage License (Hotel Exemption) application filed by the following, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds

- 1) Cove Condominium Association Inc d/b/a The Cove of Lake Geneva, 111 Center St, Patrick McCarthy, Agent
- 2) Harbor Shores Hotel Management INC d/b/a Harbor Shores on Lake Geneva, 300 Wrigley Dr, William Strangeway, Agent

-Discussion/Action regarding Renewal of 2018-2019 Class "B" Fermented Malt Beverage & "Class C" Wine License applications filed by the following, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds:

- 1) Beachside Hospitality Inc d/b/a Barrique Wine & Brew Bar, 835 Wrigley Dr, Nancy Trilla, Agent
- 2) Geneva Java Inc d/b/a Geneva Java, 252 Center St, Halvar Petersen, Agent
- 3) Simple Café LLC d/b/a Simple Café, 525 Broad St, Thomas Hartz, Agent
- 4) Plaza Media LLC d/b/a Geneva Theater, 244 Broad St, Shad Branen, Agent
- 5) Martins Olympic Restaurant LLC d/b/a Olympic Restaurant, 748 Main St, Yolanda Zavaleta, Agent
- 6) Marsala's Pizza INC d/b/a Marsala's Pizza, 820 Williams St, Miguel Barcena, Agent
- 7) Happy Restaurant INC d/b/a Happy Café, 526 Wells St, Yong Zhong Liang, Agent
- 8) Breakfast Bungalow LLC d/b/a Great Eggs, 220 Cook St #101, Justin Ochlek, Agent
- 9) D & D Restaurant Group INC d/b/a Flat Iron Tap, 150 Center St, Edward Muisenga, Agent
- 10) Sabai Sabai Thai Cuisine, INC d/b/a Sabai Sabai Thai Cuisine, 306 Center St, Jirapa Cox, Agent

-Discussion/Action regarding Original Application for a Class "B" Fermented Malt Beverage & "Class C" Wine License for Mama Cimino's LLC d/b/a Mama Cimos, 131 Wells St, John Boback, Agent, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds

-Discussion/Action regarding Renewal of 2018-2019 Class “B” Fermented Malt Beverage License application filed by the following, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds

- 1) PH Hospitality Group LLC d/b/a Pizza Hut, 801 Williams St, Kate Rath, Agent
- 2) KNMG Hotels LLC d/b/a Comfort Suites, 300 E Main St, Eric Schmitt, Agent
- 3) B & B Lake Geneva LLC d/b/a Board & Brush Lake Geneva, 262 Center St, Julie Selby, Agent

-Discussion/Action regarding Renewal of 2018-2019 “Class B” Intoxicating Liquor & Class “B” Fermented Malt Beverage License applications filed by the following, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds:

- 1) American Legion Post 24 d/b/a American Legion, 735 Henry St, Charles Schlehlein, Agent
- 2) Harry’s Café & Place Inc d/b/a Harry’s Café, 808 Main St, James Chironis, Agent
- 3) Medusa Grill & Bistro LLC d/b/a Medusa Grill & Bistro, 501 Broad St, Gregory Anagnos, Agent
- 4) Popeyes Galley & Grog LTD d/b/a Popeye’s on Lake Geneva, 811 Wrigley Dr, Veronica Anagnos, Agent
- 5) Gleneagles LLC d/b/a Sopra, 724 W Main St, Alastair Cumming, Agent
- 6) Capitol Geneva LLC d/b/a Sprecher’s Restaurant & Pub, 111 Center St, Elizabeth Dion, Agent
- 7) Stone Soup LLC d/b/a Baker House, 327 Wrigley Dr, Charles Fritz IV, Agent
- 8) Mercedes or Bust LLC d/b/a The Bottle Shop, 617 W Main St, Elizabeth Tumas, Agent
- 9) Samson Enterprises LLC d/b/a Northsiders, 642 W Main St, Eugene Grahler, Agent
- 10) 422 S. Wells St. LTD d/b/a Celebration on Wells, 422 S Wells St, Charles Lorenzi, Agent
- 11) L&B Main Street Inc d/b/a Champs Sports Bar & Grill, 747 W Main St, Jessica Bush, Agent
- 12) Chubby Kitty LLC d/b/a Fat Cat’s, 104 Broad St, Mark Basil, Agent
- 13) Hogs & Kisses Inc d/b/a Hogs & Kisses, 149 Broad St, Linda Chironis, Agent
- 14) Sandal Inc d/b/a Lake Geneva Lanes, 192 E Main St, Franklin Guske, Jr, Agent
- 15) Geneva Bay Club LLC d/b/a Maxwell Mansion, 421 Baker St, Charles Fritz IV, Agent
- 16) DCR Restaurant Group LLC d/b/a Next Door Pub & Pizzeria, 411 Interchange North, Chad Bittner, Agent
- 17) SS2 Inc d/b/a The Red Geranium Restaurant, 393 N Edwards Blvd, Troy Bartz, Agent
- 18) Two Thumbs Up LLC d/b/a Thumbs Up, 260 Broad St, Benjamin Barels, Agent
- 19) LG Hospitality Group LLC d/b/a Tuscan Tavern & Grill, 430 Broad St, James Georgalas, Agent
- 20) Oakfire LLC d/b/a Oakfire, 831 Wrigley Dr, David Scotney, Agent

-Discussion/Action regarding Renewal of 2018-2019 “Class B” Winery License & Class “B” Fermented Malt Beverage License application filed by Jackson Wine LLC d/b/a Studio Winery, 401 Sheridan Springs Rd., Kathleen Jackson, Agent, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds

-Discussion/Action regarding Renewal of 2018-2019 Reserve “Class B” Intoxicating Liquor & Class “B” Fermented Malt Beverage License applications filed by the following, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, and clearance of any Department of Revenue holds:

- 1) Lake Aire LLC d/b/a Lake Aire Restaurant, 804 W Main St, George Argiropoulos, Agent
- 2) Harborside Pub & Grill LLC d/b/a Harborside Pub & Grill, 100 Broad St, Spyro Condos, Agent
- 3) Su Wings Corp d/b/a Su Wing’s Chinese, 743 North St, Siu Wing Leung, Agent
- 4) Bella Vista Suites on the Shores of Lake Geneva, INC d/b/a Bella Vista Suites on the Shores of Lake Geneva, 335 Wrigley Dr, Charles Lorenzi, Agent

-Discussion/Action of Event Permit application made by the Lake Geneva Business Improvement District for the event of Oktoberfest to be held on October 6, 2018 and October 7, 2018 at the 200 block of Broad Street and Flat Iron Park

-Discussion/Action regarding Renewal of Taxi Cab Company License applications filed by Cruzin Transportation; 32200 45th St #58, Burlington, WI

Motion by Howell to approve the consent agenda as presented, second by Straube. No discussion. Motion carried 8-0.

Finance, License, and Regulation Committee Recommendations of June 5, 2018- Ald. Howell

Discussion/Action on Employee Health Benefits regarding discontinuing Wellness Program with HealthCheck 360
Motion by Howell to approve the discontinuance of the Wellness Program HealthCheck 360, second by Hedlund. City Administrator noted that this will be removed as the City is moving forward to the state health plan. He added that this will save the City roughly \$13,000 per year. Motion carried 8-0.

Discussion/Action on Employee Health Benefits regarding continuing Transparency Program with DirectPath
Motion by Howell to approve the continuance of the Transparency Program with DirectPath, second by Skates. City Administrator noted that this program will help employees transfer to the state health plan and helps employees navigate providers throughout the plan. The cost associated with this is approximately \$3,240.00. Motion carried 8-0.

Discussion/Action on **Resolution 18-R44** regarding change in 2018-2019 COBRA rates
Motion by Howell to approve Resolution 18-R44, second by Hedlund. City Administrator Oborn explained how the COBRA rates are changing for the 2018-2019 term. He noted that the new single COBRA amount would be \$1,393.75 and the family COBRA rate is \$3,045.43. He noted that these rate changes would put the City's budget at a deficit of approximately \$133,000. Motion carried 8-0.

Discussion/Action on **Resolution 18-R45** regarding discontinuing the working spousal surcharge as it relates to health insurance *(Personnel Committee recommended approval 3-2, with Proksa and Flower voting no on June 5, 2018 & Finance, License, & Regulation Committee did not recommend approval 2-3, with Howell, Hedlund, and Proksa voting no on June 5, 2018)*
Motion by Howell to deny Resolution 18-R45, second by Hedlund. Skates noted that he isn't in favor of the continuation of the spousal surcharge as individuals on the City's health insurance with the family plan are getting hit twice. Hedlund added that he is in favor of the continuation due to the fact that the City is looking at a short fall for the budgeted amount of the health insurance. He also added that this would only continue until January 1, 2019 as the City is more than likely going to move towards joining the state health plan. Motion carried 5-3, with Skates, Halverson, and Straube voting no.

Discussion/Action regarding employee health insurance premium share
Informational only, no action taken by the Council.

Discussion/Action regarding Pay Request #1 from Willkomm Excavating and Grading INC for the Main Street Construction Contract in the amount of \$192,340.67
Motion by Howell to approve Pay Request #1 from Willkomm Excavating and Grading INC for the Main Street Construction Contract in the amount of \$192,340.67, second by Hedlund. Howell noted that the City does have a payment bond so the payment does not need to be held for lien waivers. Motion carried 8-0.

Discussion/Action regarding Event Permit Application made by Doug Skates for the event of Jazz at Rushwood to be held on June 21, 2018 from 5:00 p.m. to 9:00 p.m. at Rushwood Park *(Item not considered by Park Board or the Finance, License, and Regulation Committee)*
Motion by Hedlund to approve, second by Proksa. Skates explained his event and that he apologizes for the tardiness of the submission of the application. Motion carried 8-0.

Presentation of Accounts – Ald. Howell (Recommended by Finance, License and Regulation Committee on June 5, 2018)

Purchase Orders
None

Prepaid Bills in the amount of \$47,198.62
Motion by Howell to approve, second by Halverson. No discussion. Motion carried 8-0.

Regular Bills in the amount of \$135,333.29
Motion by Howell to approve, second by Hedlund. No discussion. Motion carried 8-0.

Motion to go into Closed Session pursuant to Wis. Stat. 19.85(1)(c) considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility regarding employee contracts, pay, and benefits for 1) Jim Flower, Code Enforcement Officer / Assistant Building Inspector

Motion by Hedlund to convene the Common Council in closed session, second by Halverson. Hedlund added to include the City Administrator Oborn, City Attorney Draper, Building & Zoning Administrator Walling, and Clerk Kropf in the closed session discussion. Motion carried on a roll call vote 8-0. Alderperson Flower recused herself from the closed session discussion. The Common Council convened into closed session at 7:14 p.m.

Motion to return to open session pursuant to Wisconsin Statutes 19.85 (2) and take action on any items discussed in closed session

Motion by Howell to reconvene the Common Council in open session, second by Skates. Motion carried on a roll call vote 7-0. The Common Council reconvened into open session at 7:53 p.m.

Motion by Proksa to approve the promotion of Jim Flower to Assistant Building Inspector with a pay grade 7, and not to exceed twenty hours per week, second by Skates. No discussion. Motion carried 7-0.

Adjournment

Motion by Dunn to adjourn the Common Council, second by Skates. Motion carried 7-0. The June 11, 2018 meeting of the Common Council adjourned at 7:56p.m.

THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE COMMON COUNCIL

Original Operators:

Kalpesh Shah
Jasmine Kincaid
Silvia Whatley
Jonathan Weilandt
Kristine Pedraza
Kendra Feld
Kirston Hartnell

Renewals:

Lauren Walker
Brent Coleman
Roxanne Smith
Ryan Vendegna
Ryan White
Jay McNulty
Chad Arnett
Mary Bayner
Christopher Cummings
Nancy Dvonch
Sharon Kawczynski
Amy Burgstede
Lauri Lange
Nicole Lili

Application for Temporary Class "B" / "Class B" Retailer's License

See Additional Information on reverse side. Contact the municipal clerk if you have questions.

FEE \$ 10.00

Application Date: April 2nd, 2018

Town Village City of Lake Geneva

County of Walworth

The named organization applies for: (check appropriate box(es).)

- A Temporary Class "B" license to sell fermented malt beverages at picnics or similar gatherings under s. 125.26(6), Wis. Stats.
 A Temporary "Class B" license to sell wine at picnics or similar gatherings under s. 125.51(10), Wis. Stats.

at the premises described below during a special event beginning Thur. 4/3/19 and ending Thur 1/31/19 and agrees to comply with all laws, resolutions, ordinances and regulations (state, federal or local) affecting the sale of fermented malt beverages and/or wine if the license is granted.

1. Organization (check appropriate box) →

- Bona fide Club Church Lodge/Society
 Chamber of Commerce or similar Civic or Trade Organization
 Veteran's Organization Fair Association

(a) Name VISIT Lake Geneva

(b) Address 527 Center St. Lake Geneva, WI 53147
(Street) Town Village City

(c) Date organized _____

(d) If corporation, give date of incorporation 1971

(e) If the named organization is not required to hold a Wisconsin seller's permit pursuant to s. 77.54 (7m), Wis. Stats., check this box:

(f) Names and addresses of all officers:

President ~~Ed Svitek~~ Ed Svitek

Vice President Mike Jackson (Chairman)

Secretary Ardith Berkmanovic

Treasurer Nick Vorpagel

(g) Name and address of manager or person in charge of affair: Katye Weeks

2. Location of Premises Where Beer and/or Wine Will Be Sold, Served, Consumed, or Stored, and Areas Where Alcohol Beverage Records Will be Stored:

(a) Street number 512 Wingley Dr. Lake Geneva, WI 53147

(b) Lot _____ Block _____

(c) Do premises occupy all or part of building? _____

(d) If part of building, describe fully all premises covered under this application, which floor or floors, or room or rooms, license is to cover: _____

3. Name of Event

(a) List name of the event _____

(b) Dates of event January 31st, 2019

DECLARATION

The Officer(s) of the organization, individually and together, declare under penalties of law that the information provided in this application is true and correct to the best of their knowledge and belief.

Officer M. Svitek
(Signature/date)

Officer Ardith Berkmanovic
(Signature/date)

Date Filed with Clerk _____

Date Granted by Council _____

Visit Lake Geneva
(Name of Organization)

Officer Ed Svitek
(Signature/date)

Officer Nick Vorpagel
(Signature/date)

Date Reported to Council or Board _____

License No. _____

**SUPPLEMENTAL APPLICATION FORM
TEMPORARY CLASS "B" / "CLASS B" RETAILER'S LICENSE
CITY OF LAKE GENEVA**

This form needs to be submitted as an attachment to the Application for Temporary Class "B" / "Class B" Retailer's License Form (Form AT-315) and returned to the City Clerk.

Applicant Organization: Visit Lake Geneva

Name of Event: Winterfest Magical Evening

Date of Event: Thursday January 31st, 2019

Time of Event: 6:30 pm - 8:30 PM
(Beginning) (Ending)

Event Contact Person: Katie Weeks

Contact Phone: (202) 248-1000

Contact Email: katie@visitlakegeneva.com

Will a Licensed Operator be serving or supervising the service of alcohol?
***This includes Temporary Operator's who have completed the Responsible Beverage Servers class.**

Yes

No

**PLEASE FILL ALL BLANKS COMPLETELY.
THIS INFORMATION IS NEEDED TO COMPLETELY PROCESS YOUR
TEMPORARY RETAILER'S LICENSE APPLICATION.**

For Office Use Only

Date Filed: _____		Receipt No: _____	
Total Amount: _____			
Forwarded to Police Chief: _____			
Recommendation: _____		Approved	Denied
Verification that not more than 2 temporary wine licenses have been issued to this applicant within the last 12 months: _____			
FLR Approval: _____		License Issued: _____	
Council Approval: _____		License Number: _____	
MAILTO: _____		License Expires: _____	
Organization			



CITY OF LAKE GENEVA MASSAGE ESTABLISHMENT APPLICATION

\$50.00 ANNUAL LICENSE FEE

EXPIRES JUNE 30TH EACH YEAR

Is Application: Original or Renewal

Application must be accompanied by the following documents:

1. \$50.00 License fee, payable to the City of Lake Geneva and due upon application
2. Copy of Applicant's Driver's License
3. A listing of the name and address of each Massage Technician employed or subcontracted by the establishment
4. Copy of each Massage Technician's Current and Valid State of Wisconsin Massage Therapist or Bodywork Therapist Certificate
5. Copy of each Massage Technician's Driver's License
6. If the applicant business is a corporation, include a report of the names and current addresses of all officers, directors, and stockholders owning more than 10% of stock in the corporation

BUSINESS INFORMATION

Trade Name: Aveda Life Salon and Spa LLC

Corporate Name (if applicable): Jasmine Salon and Spa

Business Address (Physical): 251 Cook St.

Mailing Address (if different): _____

City, State, Zip: Lake Geneva, WI. 53147

Phone: 242-~~2008~~ 249-9800 Email: brittany@jasminesalonspa.com

Please explain the nature of services to be provided: massage, facial, manicure, pedicure, waxing, hair cutting, hair coloring

BUSINESS OWNER (APPLICANT) INFORMATION

Please include information for all business owners

Full Name: Brittany Harris

Please provide names and addresses of any and all previous establishments where applicant was employed or subcontracted as a Massage technician during the last 3 years, including type of work performed and dates of employment:

I'm not a massage therapist. I own the salon.

Have you ever had a massage or similar license/permit revoked, suspended, or denied?

NO YES If yes, please explain: _____

Have you ever been arrested, charged, and/or convicted for any offense, other than misdemeanor traffic violations, in Wisconsin or any other state?

NO YES If yes, provide the offense, date, location, and disposition: _____

The undersigned hereby swears, under penalty of law, that the foregoing information provided in this application is true and correct to the best of his/her knowledge and belief.

APPLICANT SIGNATURE: *Brittany* Date: 05-07-18

For Office Use Only

Date Filed: 5/9/18 Receipt #: C180509-5 Amt Paid: \$50.00

Forwarded to Police Dept: 5/9/18 Background Completed: 6-2-18 g7

Police Chief Recommendation: _____ Approved _____ Denied _____

Fingerprinting required for new establishments - Fingerprinted by LGPD: N/A

Forwarded to Building Dept: 5/9/18 Inspector approval required for new establishments

Building Inspector Recommendation: _____ Approved _____ Denied _____

FLR/Council Approval Dates: _____ License #: _____

Verified: Stark MSI Notes/Conditions: _____

Copies to: Building & Zoning Police Chief Fire Chief



CITY OF LAKE GENEVA

MASSAGE ESTABLISHMENT APPLICATION

\$50.00 ANNUAL LICENSE FEE

EXPIRES JUNE 30TH EACH YEAR

Is Application: Original or Renewal

Application must be accompanied by the following documents:

1. \$50.00 License fee, payable to the City of Lake Geneva and due upon application
2. Copy of Applicant's Driver's License
3. A listing of the name and address of each Massage Technician employed or subcontracted by the establishment
4. Copy of each Massage Technician's Current and Valid State of Wisconsin Massage Therapist or Bodywork Therapist Certificate
5. Copy of each Massage Technician's Driver's License
6. If the applicant business is a corporation, include a report of the names and current addresses of all officers, directors, and stockholders owning more than 10% of stock in the corporation

BUSINESS INFORMATION

Trade Name: The Heartland Spa/Bella Vista Suites
Corporate Name (if applicable): _____
Business Address (Physical): 335 Wrigley Drive
Mailing Address (if different): _____
City, State, Zip: Lake Geneva WI 53147
Phone: 262 248-2157 Email: info@heartlandspa.com
Please explain the nature of services to be provided: massage, facial, reiki

BUSINESS OWNER (APPLICANT) INFORMATION

Please include information for all business owners.

Full Name: Bella Vista Suites Hotel
Address: 335 Wrigley Dr
City, State, Zip: Lake Geneva, WI 53147
Phone: 262 248-2157 Copy of Driver's License Attached

Please provide names and addresses of any and all previous establishments where applicant was employed or subcontracted as a Massage technician during the last 3 years, including type of work performed and dates of employment:

see attached

Have you ever had a massage or similar license/permit revoked, suspended, or denied?

NO YES, If yes, please explain: _____

Have you ever been arrested, charged, and/or convicted for any offense, other than misdemeanor traffic violations, in Wisconsin or any other state?

NO YES If yes, provide the offense, date, location, and disposition: _____

The undersigned hereby swears, under penalty of law, that the foregoing information provided in this application is true and correct to the best of his/her knowledge and belief.

APPLICANT SIGNATURE: [Signature] Date: 5/30/18

For Office Use Only

Date Filed: 5/30/18 Receipt #: C18⁰⁵30-6 Amt Paid: \$50.00
 Forwarded to Police Dept: 5/30/18 Background Completed: 6-2-18
 Police Chief Recommendation: [Signature] Approved Denied
 Fingerprinting required for new establishments - Fingerprinted by LGPD:
 Forwarded to Building Dept: _____ Inspector approval required for new establishments
 Building Inspector Recommendation: _____ Approved Denied
 FLR/Council Approval Dates: _____ License #: _____
 Verified: Stark MSI Notes/Conditions: _____
 Copies to: Building & Zoning Police Chief Fire Chief

CITY OF LAKE GENEVA EVENT PERMIT APPLICATION



Please fill in all blanks completely, as incomplete applications will be rejected.
Applications must be submitted **AT LEAST 10 WEEKS** prior to the proposed event date(s).

Section I - What type of Permit(s) will your event require?

- Parade Permit.** Required for any parade on public property.
 - Map or description of the requested route to be traveled.
- Public Assembly Permit.** Required for any public gathering on public property. No fee required.
- Street Use Permit.** Required for any event using a public street. Per Sec. 62-243 of the municipal code, this application must include the following attachments:
 - Certificate of Comprehensive General Liability Insurance with the City, its employees and agents as additional insured with coverage for contractual liability with minimum limits of \$500,000 per occurrence for bodily injury and property damage limits of \$250,000 per occurrence.
 - Petition signed by more than half of the residential dwelling units and/or commercial units residing along that portion of the street designated for the proposed use or whose property is denied access by virtue of the granting of the permit.
- Parking Stall Bag Request.** Required for reserving the use of any City parking stall in conjunction of with an event.
- Park Reservation Permit.** Required for reserving the use of a park facility or shelter.
 - Brunk Pavilion.** Requires rental of Flat Iron Park. Additional rental fees apply.
- Beach Reservation Permit.** Required for reserving the use of the beach.

Section II - Applicant Information

1. Applicant Name: Shad Branen/Bridget Leech Date of Application: 5/11/18
2. Organization Name: Geneva Theater
3. Organization Type: For Profit Non-Profit (501(c)____) Tax ID: _____
4. Mailing Address: 244 Broad Street Lake Geneva, WI 53147
5. City, State, Zip: Lake Geneva, WI 53147
6. Phone: (262) 395-8128 E-mail: bridget@streetsoflakegeneva.com
7. Applicant's Drivers License #: _____ State license issued: _____
8. Are you applying as a resident of the City of Lake Geneva? Yes No
If yes, proof of residency must be attached.

Section III - Event Information

1. Title of Event: Geneva Theater 90th Anniversary Red Carpet Celebration
2. Date(s) of Event: Thursday, June 28, 2018
3. Location(s) of Event: Geneva Theater - 244 Broad St. -- sidewalk outside of theater
4. Hours: 4pm - 11pm. Event Timing: 6:30pm - 8pm arrival, movie begins 8:15pm - 10:20pm

5. Event Chair/Contact Person: Shad Branen/Bridget Leech Phone: (262) 395-8128

6. Day of Event Contact Name: Shad Branen/Bridget Leech Phone: (262) 395-8128

7. Is the event open to the public? Yes No

8. Will you charge an admission fee? Yes No

9. Estimated Attendance Number: 300

10. Basis for Estimate: Capacity of theater sizes

11. Will you be setting up a tent? Yes No

If yes, list the location, size, Rental Company, and proof of completion of locates.

12. Will there be any animals? Yes No

If yes, what type and how many: Small dog to pose as Toto for photos - this is not confirmed and can be flexible

13. Detailed description of proposed event with map of exact location of the event and/or route.

The 90th Anniversary of the Geneva Theater would have been in June 2018. To celebrate, we will be hosting a red carpet event to celebrate! This is a 21+ event that invites people down to the Geneva Theater to experience red carpet treatment. Guests will arrive to the Geneva Theater (perhaps by limo), step onto the red carpet, be interviewed by the "G-News" reporter/videographer and have their photo taken at the Step & Repeat for a keepsake. Guests will then enter the theater to enjoy champagne/wine/beer and desserts and a viewing of the classic Wizard of Oz.

We will have a red carpet or yellow brick road on the sidewalk - approximately 50' long x 4' - 6' wide. Characters will be mingling. We will have stanchions around the space. A hot air balloon basket will be staged outside for photo op outside. This will be placed in the loading zone on Broad St.

The Geneva Theater will also be showing a complimentary viewing of Wizard of Oz on Saturday, following the event, so kids and families can enjoy the movie as well.

Ticket price includes (\$30 individual/\$50 per couple) one glass of champagne, desserts, a showing of the classic Wizard of Oz in 4K/7.1 surround sound and a red carpet experience. Beer, Wine/Champagne, concessions available for purchase inside the theater.

14. Description of plan for handling refuse collection and after-event clean-up:

No additional garbage collection needed. Geneva Theater employees will monitor garbage cans directly outside the theater.

15. Description of plan for providing event security (if applicable):

The Geneva Theater will have staff near the entrance to the red carpet, checking tickets.

16. Will there be fireworks or pyrotechnics at your event? Yes No

If yes, please attach a fireworks display permit or application.

17. Will your event include the sale of beer and/or wine? Yes No

If yes, please attach a completed Temporary Alcohol License & Temporary Operator License Application.

18. Will you or any other vendors be selling food or merchandise? Yes No

If yes, please attach list of proposed vendors, including business name and type of food/merchandise sold.

Section IV - Street Use

Check if this section does not apply.

1. Description of the portion(s) of road(s) to be used:

Road closures must include rental of barricades.

We are asking for use of the loading area and sidewalk directly in front of Geneva Theater, on Broad St. Limos/Cars can pull up here to drop guests onto the red carpet/yellow brick road. There will be one main event entrance, which will be near the alley.

2. Will any parking stalls be used or blocked during the event? Yes No

Date(s) of use: _____

Total Number of Stalls Request: _____

Stall Number(s) and Location: _____

Additional Information:

3. Description of signage to be used during event:

If requesting City banner poles, please include a Street Banner Display Application.

If possible, event signage includes hanging monkeys on exterior of building (temporary) leading up to the event. '

Additional event signage will be provided on-site.

Anticipated Services

Please indicate below any additional services you are requesting for your event. Estimated Fees or Deposits for these services may be required prior to issuance of permit(s).

Electricity Explain: _____

Water Explain: _____

Traffic Control Explain: _____

Police Services Explain: _____

Fire/EMS Services Explain: _____

Other Explain: _____

Section V- Fees

Application and Permit Fees		Unit Fee			Applicable Fee
Parade Permit					
Application Fee		\$25.00			_____
Street Use Permit					
Application Fee		\$25.00			25.00
Permit Fee - Events lasting 2 days or less		\$40.00			40
Permit Fee - Events lasting more than 2 days		\$100.00			_____
Parking Stall Bag Request					
Administrative Fee		\$10.00			_____
Parking Stall Usage/Blockage Fee - Per Stall, Per Day			# of Stalls	# of Days	
March 1 - November 14	\$20.00	x	_____	x _____ =	_____
November 15 - February 29	\$10.00	x	_____	x _____ =	_____
Park Reservation Permit					
Application Fee		\$25.00			_____
Security Deposit					
Non-Profit or Resident					
49 Attendees or Less		\$50.00			_____
50-149 Attendees		\$100.00			_____
150 or more Attendees		<i>Determined by Park Board</i>			_____
Non-Resident					
49 Attendees or Less		\$100.00			_____
50-149 Attendees		\$150.00			_____
150 or more Attendees		<i>Determined by Park Board</i>			_____
Park Reservation Fees - Per Location, Per Day					
Non-Profit or Resident					
49 Attendees or Less	\$30.00	x	_____	x _____ =	_____
50-149 Attendees	\$55.00	x	_____	x _____ =	_____
150 or more Attendees	\$105.00	x	_____	x _____ =	_____
Non-Resident					
49 Attendees or Less	\$75.00	x	_____	x _____ =	_____
50-149 Attendees	\$125.00	x	_____	x _____ =	_____
150 or more Attendees	\$225.00	x	_____	x _____ =	_____
Brunk Pavilion Rental Permit					
<i>Must also include rental of Flat Iron Park to rent Pavilion</i>				# of Days	
Non-Profit or Resident	\$250.00	x	_____	=	_____
Non-Resident	\$500.00	x	_____	=	_____
Additional Park Amenities					
Equipment (with delivery)	Rental Fee		# Requested	Sec. Dep.	Applicable Fee
Benches	\$5.00 each	x	_____ +	\$50.00 =	_____
Picnic Tables	\$15.00 each	x	_____ +	\$50.00 =	_____
Barricades	\$5.00 each	x	_____ +	\$50.00 =	_____
Trash Receptacles	\$8.00 each	x	_____ +	\$50.00 =	_____
Dumpster Delivery	\$50.00 each	x	_____ +	\$0 =	_____
Dumpster Pick-up	\$50.00 plus additional landfill		_____		_____
Fencing - Snow	\$30.00 per 50 feet		_____		_____
<i>Requests for equipment are subject to availability.</i>					Subtotal: \$ 65.00

Application and Permit Fees	Unit Fee			Applicable Fee
Beach Reservation Permit				
<i>Excludes Normal Beach Hours Memorial Day through Labor Day 9am-5pm</i>				
<i>Opening/Cleaning of Beach Bathrooms will be invoiced at an Hourly Rate</i>				
Application Fee	\$25.00			_____
Security Deposit				_____
Non-Profit or Resident				
49 Attendees or Less	\$50.00			_____
50-149 Attendees	\$100.00			_____
150 or more Attendees	<i>Determined by Piers, Harbors & Lakefront</i>			_____
Non-Resident				
49 Attendees or Less	\$100.00			_____
50-149 Attendees	\$150.00			_____
150 or more Attendees	<i>Determined by Piers, Harbors & Lakefront</i>			_____
Beach Reservation Fees - Per Day				
Non-Profit or Resident				
49 Attendees or Less	\$30.00	x	_____ =	_____
50-149 Attendees	\$55.00	x	_____ =	_____
150 or more Attendees	\$105.00	x	_____ =	_____
Non-Resident				
49 Attendees or Less	\$75.00	x	_____ =	_____
50-149 Attendees	\$125.00	x	_____ =	_____
150 or more Attendees	\$225.00	x	_____ =	_____
Subtotal: \$				_____
+ Subtotal from Page 4: \$				_____

Total PAID with Application: \$ 65.00 _____

Accepted by cash, credit card or checks (payable to the City of Lake Geneva)

Section VI - Signature of Applicant

“The information provided in this application is true and correct to the best of my knowledge and belief. I understand that cancellation of any event, for any reason, shall result in the forfeiture of permit fees. I understand that application fees are not refunded in the event the application is not approved. I understand that in addition to the schedule of fees, if any additional City services are requested or determined to be impacted, an additional fee will be charged for those services. I agree to comply with all applicable state, federal and municipal regulations and ordinances.”

APPLICANT SIGNATURE:

_____ DATE: _____

For Office Use Only

Date Filed with Clerk: _____ Payment with Application: \$ _____ Receipt: _____

Additional Fees Collected: \$ _____ Receipt # _____

Departmental review (all that apply):

Police Chief: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Fire Chief: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Street Dept.: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Parking Dept.: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Piers, Harbors & Lakefront: Approved Denied Signed: _____

Additional services needed: _____

Additional fees or deposit: _____

Committee/Council review (all that apply):

Park Board: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Finance, License & Regulation: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Council: Meeting Date(s): _____ Approved Denied

Reasons/Conditions: _____

Clerk's Office Completion:

Total Add'l fee/deposit to be collected: \$ _____ Receipt # _____

Permit(s) issued: Parade/PA Street Use Park Permit

Date of issue: _____ Deposit Returned: \$ _____ Deposit withheld: \$ _____

Reason withheld: _____

Thumbs Up

Geneva Theater

Balloon Basket Photo-Op

arrival/mingling

Drop Off

Event Entrance

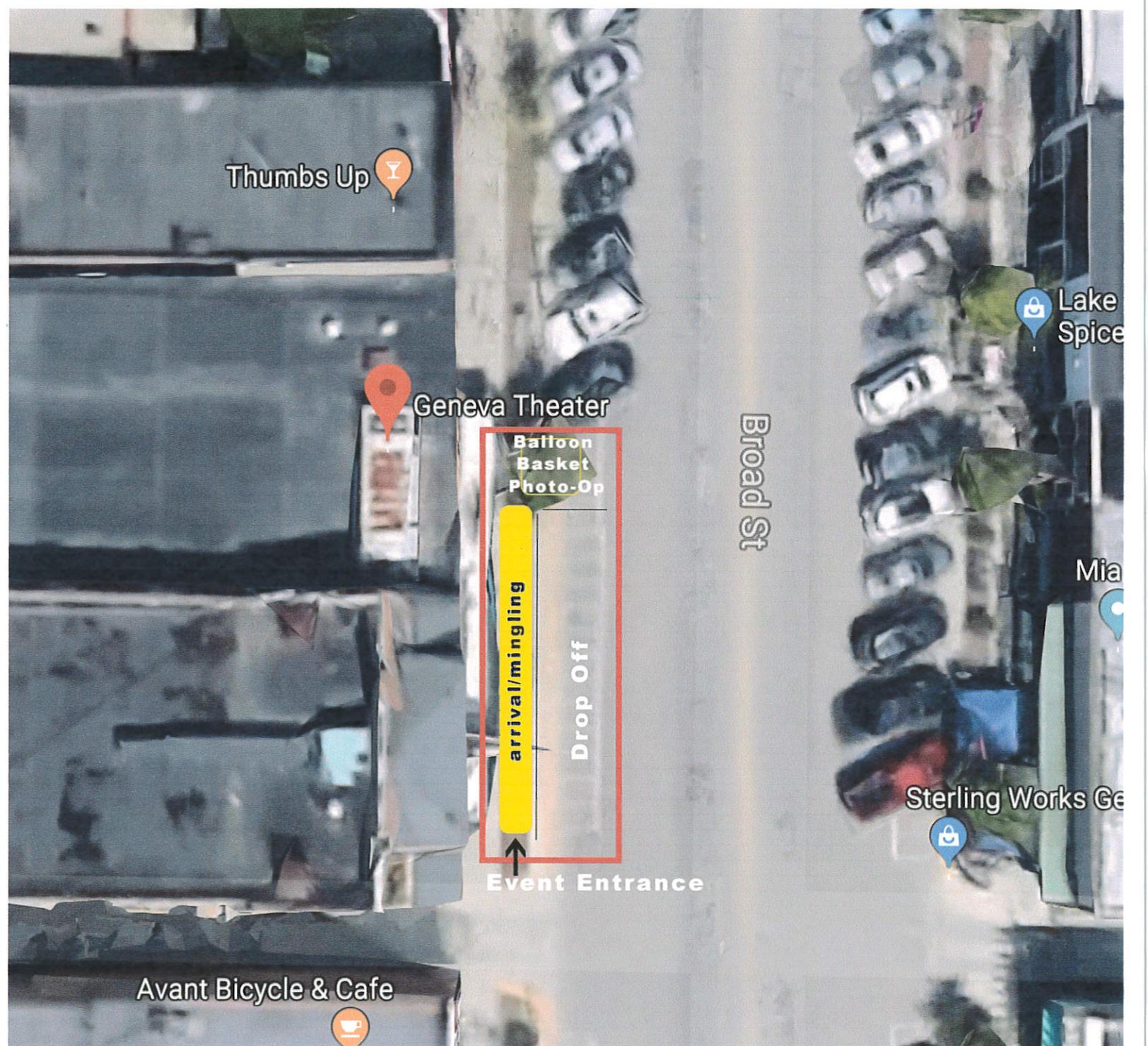
Broad St

Lake Spice

Mia

Sterling Works Ge

Avant Bicycle & Cafe



ORDINANCE 18-14

AN ORDINANCE AMENDING SUBSECTION (b) MEETING OF SECTION 2-230, COMMITTEE OF THE WHOLE OF DIVISION 1, GENERALLY OF ARTICLE V BOARDS AND COMMISSIONS OF CHAPTER 2, ADMINISTRATION OF THE MUNICIPAL CODE OF THE CITY OF LAKE GENEVA; RELATING TO THE FREQUENCY OF MEETINGS FOR THE COMMITTEE OF THE WHOLE

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain as follows:

1. That Subsection (b) Meeting, of Section 2-230, Committee of the Whole of Division 1, Generally, of Article V, BOARDS AND COMMISSIONS of Chapter 2, Administration of the Municipal Code of the City of Lake Geneva, Wisconsin is hereby amended to read as follows:

Sec. 2-230. Committee of the Whole

[Ord. No. 08-02, 3-10-2008; Ord. No. 08-07, § 1, 6-23-2008]

...

- b. Meeting. The Committee of the Whole shall meet in the Council Chambers of City Hall on the first Monday of the month when called by the Council President. The Council President may change the meeting time and place and may call special meetings of the Committee of the Whole.

...

2. This ordinance shall take effect upon passage by a majority vote of the members-elect of the City Council and publication/posting as required by law.

Adopted this 25th day of June, 2018.

Tom Hartz, Mayor

Attest:

Lana Kropf, City Clerk

First Reading: June 25, 2018
Second Reading:
Adoption:
Publication:

ORDINANCE 18-06

AN ORDINANCE AMENDING SECTION 90-198, RENTAL AUTHORITY OF SUBDIVISION IV, DOCKING FACILITIES RENTAL OF DIVISION 3, LAKE SHORE AND BEACHES OF ARTICLE II, LAKES AND BEACHES OF CHAPTER 90, WATERWAYS OF THE MUNICIPAL CODE OF THE CITY OF LAKE GENEVA; RELATING TO THE ESTABLISHMENT OF A RENTAL AUTHORITY AND THE SETTING OF RENTAL RATES

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain as follows:

1. That Section 90-198, Rental Authority of Subdivision IV, Docking Facilities Rental of DIVISION 3, LAKE SHORE AND BEACHES of ARTICLE II, LAKES AND BEACHES of Chapter 90, Waterways of the Municipal Code of the City of Lake Geneva, Wisconsin is hereby amended to read as follows:

Sec. 90-198 Rental authority.

[Code 1992, § 20.27(8)]

The Council hereby designates the City Administrator or his/her designee as the rental authority for the purposes of carrying out this subdivision and the City Council prior to the first meeting in March shall establish the rates to be in force during the following rental period.

2. This ordinance shall take effect upon passage by a majority vote of the members-elect of the City Council and publication/posting as required by law.

Adopted this 25th day of June, 2018.

Tom Hartz, Mayor

Attest:

Lana Kropf, City Clerk

First Reading: June 25, 2018
Second Reading:
Adoption:
Publication:

AGREEMENT FOR ENGINEERING SERVICES

THIS AGREEMENT is entered into between the **City of Lake Geneva** (Client) and **Traffic Analysis & Design, Inc.** (Engineer), based upon Client's intention to conduct a Traffic Signal Retiming Optimization Analysis for the STH 50 intersections with Cook Street, Broad Street and Center Street signal systems along with a four-way stop warrant analysis at the Geneva Street intersection with Broad Street in the City of Lake Geneva, Wisconsin (the Project) and Client's requirement for certain engineering services in connection with the Project (the Services) which Engineer is prepared to provide.

1. Engineer shall provide the Services described in Attachment A, "Scope of Services", according to Attachment A, "Schedule".
2. Client shall pay Engineer in accordance with Attachment A, "Compensation". Invoices for additional work shall be due and payable upon receipt. Invoice amounts not paid within 30 days after receipt shall accrue interest at the rate of 1.5% per month (or the maximum rate permitted by law, if less), with payments applied first to accrued interest and then to unpaid principal.
3. The same degree of care, skill, and diligence shall be exercised in the performance of the Services as is ordinarily possessed and exercised by a member of the same profession, currently practicing, under similar circumstances. No other warranty, express or implied, is included in this Agreement or in any drawing, specification, report, opinion, or other instrument of service, in any form or media, produced in connection with the Services.
4. Engineer shall not be liable to Client for any consequential damages resulting in any way from the performance of the Services. To the fullest extent permitted by law, Engineer's liability under this Agreement shall not exceed Engineer's total compensation actually received under this Agreement.
5. Engineer and Client waive all rights against each other for damages covered by property insurance during and after the completion of the Services.
6. Notwithstanding anything to the contrary in any Attachments hereto, Engineer has no responsibility for (a) construction means, methods, techniques, sequences, procedures, or safety precautions and programs in connection with the Project; or (b) the failure of any contractor, subcontractor, vendor, or other Project participant, not under contract to Engineer, to fulfill contractual responsibilities to Client or to comply with federal, state, or local laws, regulations, and codes.

7. Engineer does not guarantee that proposals, bids, or actual Project costs will not vary from Engineer's cost estimates or that actual schedules will not vary from Engineer's projected schedules.

8. This Agreement may be terminated upon written notice at Client's convenience or by either party in the event of substantial failure by the other party to perform in accordance with the terms of this Agreement. Engineer shall terminate performance of Services on a schedule acceptable to Client, and Client shall pay Engineer for all Services performed and reasonable termination expenses. Paragraphs 4 and 5 shall survive any termination or completion of this Agreement.

9. All documents prepared by Engineer pursuant to this Agreement are instruments of service in respect to the Project. Any use except for the specific purpose intended by this Agreement will be at the user's sole risk and without liability or legal exposure to Engineer. Engineer shall retain its ownership in its data bases, computer software, and other proprietary property. Intellectual property developed, utilized, or modified in the performance of the Services shall remain the property of Engineer.

10. The Services provided for in this Agreement are for the sole use and benefit of Client and Engineer. Nothing in this Agreement shall be construed to give any rights or benefits to anyone other than Client and Engineer.

11. Any notice required by this Agreement shall be made in writing to the address specified below:

Client: City of Lake Geneva
361 W. Main Street
P.O. Box 187
Lake Geneva, WI 53147

Attn: Mr. Greg Governatori, PE
City Engineer

Engineer: Traffic Analysis & Design, Inc.
N36 W7505 Buchanan Street
Cedarburg, WI 53012

Attn: Mr. John Bieberitz

IN WITNESS WHEREOF, Client and Engineer have executed this Agreement, effective as of June 6, 2018.

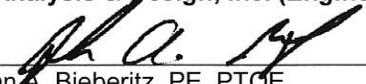
City of Lake Geneva (Client)

By: _____

Title: _____

Date: _____

Traffic Analysis & Design, Inc. (Engineer)

By: 
John A. Bieberitz, PE, PTOE

Date: 6/6/18

ATTACHMENT A

SCOPE OF SERVICES

Engineer shall provide the Services described below. As indicated, Tasks 1-5 include activities involved with preparation of a Traffic Signal Retiming Optimization Analysis to enhance traffic operations along STH 50 at its intersections with Cook Street, Broad Street and Center Street in the City of Lake Geneva, Wisconsin. Work to be performed by the Engineer under this Services Agreement shall consist of traffic counting, signal optimization, traffic simulation modeling/analysis, comparison to existing conditions, evaluation of pretimed pedestrian phases versus actuated (push button) pedestrian phases, and preparation of timing plans for field implementation.

Traffic Signal System Analysis Process

Engineer shall prepare a comprehensive Traffic Signal Retiming Optimization Analysis in accordance with current traffic engineering practices/ standards. Work conducted under this Services Agreement shall follow transportation and traffic engineering guidelines, principles and procedures as defined by the ITE Traffic Engineering Handbook, WisDOT Traffic Signal Design Manual, Traffic Guidelines Manual and FHWA Manual of Uniform Traffic Control Devices, including its Wisconsin MUTCD supplement. The following three (3) intersections are included in this scope of services.

1. W. Main Street (STH 50) with Cook Street
2. W. Main Street (STH 50) with Broad Street
3. W. Main Street (STH 50) with Center Street

Task 1 – Evaluation of Previous Traffic Report and Current Operations

Engineer will conduct a comprehensive review of the previous traffic report and signal timing plans contained in that report. Engineer will review the recommendations in the traffic report. Engineer will conduct a field visit to determine if the signal timing plans in the report were input into the traffic signal controllers or if other timing plans are currently in use. Engineer will prepare a technical memorandum outlining the review comments of the previous traffic report and the existing traffic signal timing operations.

Task 2 – Traffic Data Collection for New Signal Timing Plans

To evaluate signal conditions for pre-timed versus actuated for various hours of the day, hourly traffic/pedestrian data is needed at each of the study intersections. Therefore Engineer will collect traffic turning movement counts at the three (3) study area intersections which will be used for the traffic signal retiming optimization. To determine the hours to use for the traffic analysis and for which hours to operate the intersections pretimed, Engineer will conduct 16-hour traffic turning movement counts at the W. Main Street intersections with Cook Street, Broad Street and Center Street. These counts will represent peak summer traffic conditions.

All traffic turning movement counts will be conducted via WisDOT standards, which includes counting all passenger cars, trucks, buses, pedestrians and bicyclists for each movement passing through the study intersections in 15-minute increments.

Intersection features shall be obtained during the traffic counting period. Lane designations, turn bay lengths, queuing observations, safety issues and distances to nearby access points/driveways will be documented at each intersection.

Engineer will download the data and analyze the data to determine the weekday AM, mid-day and PM peak hours (commuter rush hours) as well as the traffic variations for the other hours of the day. The traffic count data from 6 AM to 10 AM will be analyzed to determine fluctuations in traffic flow and to determine the optimum hours of coordination, pretimed and actuated signal operation.

The City shall provide the Engineer with the existing traffic signal timing plans for the three (3) study area intersections as well as the previous traffic signal timing report.

Task 3 – Signal Timing and Phasing Plans, Evaluation and Implementation

Engineer will review and balance traffic volumes to facilitate the input needs of the Synchro/SimTraffic software package. The Engineer shall obtain from the Client existing traffic signal plans and timing sheet data and utilize data inputs from the existing timing plans to develop the base model of the existing signal systems. The base model will be analyzed for the weekday AM, Midday and PM peak hours for the three signalized intersections. This will be used as a basis of comparison between operations with pretimed pedestrian phases and actuated (push button) pedestrian phases.

Engineer will optimize the traffic signal timing for the three study area intersections for the weekday AM, midday, PM, and off-peak hours based on the traffic turning movement counts for the peak summer season. The intersection cycle length will be optimized to increase the efficiency of the through traffic movements on W. Main Street. At the W. Main Street intersection with Broad Street, the intersection will be optimized to favor the highest volume traffic movements. This intersection will be used as a control point for the W. Main Street corridor. The traffic signal phasing splits/green times at the other intersections will be optimized to provide LOS C or better for all traffic movements on the side street and to allow adequate timing for pedestrian movements. Any excess green time will be allocated to the W. Main Street through traffic movements. The Synchro/SimTraffic software package will be used for the traffic signal retiming optimization analysis.

Engineer will compare the Measures of Effectiveness (MOE's) of the optimized traffic signal systems to the existing signal timing system to determine the operational benefit of the signal timing changes. A table will be developed illustrating the benefits of the traffic signal timing improvements. The table will also show the impacts of having the intersections operate in pretimed to accommodate pedestrian phases, actuated/coordinated and free-mode.

Engineer shall prepare a progression analysis summary with cycle length, maximum greens, offset data and graphics. Time space diagrams and supporting graphics will also be provided.

After the City decides which timing plans to implement, Engineer will prepare traffic signal timing tables and supplemental data which will be submitted to either TAPCO or the City for development of the signal timing sheets and uploading into the signal controllers. Engineer will coordinate with TAPCO and/or the City for the implementation of the timing plans. Engineer will meet with TAPCO and/or the City on-site for one weekday to fine-tune/adjust the final signal timings for optimum traffic flow.

Task 4 – Stop Sign Warrant Analysis – Geneva Street with Broad Street

To determine if a four-way stop-sign controlled intersection is warranted at the Geneva Street intersection with Broad Street with construction detours being completed, current summer hourly traffic/pedestrian data is needed. Therefore, Engineer will collect a traffic turning movement count at the Geneva Street intersection with Broad Street on a typical summer weekday from 6 AM to 10 PM.

The traffic turning movement count will be conducted via WisDOT standards, which includes counting all passenger cars, trucks, buses, pedestrians and bicyclists for each movement passing through the intersection in 15-minute increments. Intersection features shall be obtained during the traffic counting period. Lane designations, turn bay lengths, queuing observations, safety issues and distances to nearby access points/ driveways will be documented.

Engineer will download the data and analyze the data to determine the weekday AM, mid-day and PM peak hours (commuter rush hours) as well as the traffic variations for the other hours of the day. The traffic count data from 6 AM to 10 PM will be analyzed to determine fluctuations in traffic flow. Engineer will use the traffic count data and compare it to the traffic volume thresholds in the Manual of Uniform Traffic Control Devices to determine if four-way stop control is warranted at this intersection. If four-way stop sign control is not warranted, Engineer will determine the optimum traffic control device for this intersection (2-way stop, signals, etc.).

Engineer will prepare a technical memorandum documenting the data collection, analysis, findings and recommendations of the stop sign warrant analysis at the Geneva Street intersection with Broad Street.

Task 5 – Report

The Engineer shall prepare a draft and final report summarizing the traffic analysis with text, tables, exhibits and an appendix (with the Synchro analysis and final timing plans) to document the findings and recommendations of the traffic analysis. An electronic “pdf” file of the draft report (text and exhibits only – no appendix) and final report (with appendix) will be provided to the Client for review and use.

Task 6 – Meetings & Field Implementation

If attendance at any meetings are requested by the Engineer, it will be considered additional work requiring a contract amendment.

SUBCONSULTANT SERVICES

If the City staff does not have availability to upload and implement the new timing plans, it is recommended that the Client hire Traffic and Parking Control Corporation (TAPCO) to prepare the controller signal timing sheets, upload revised signal timing plans into signal controllers and adjust offsets/timing in the field with the Engineer. TAPCO typically does this work on a time/materials basis.

SCHEDULE

Engineer shall conduct Task 1 within two weeks of receiving a signed agreement. The traffic turning movement counts in Task 2 will be conducted within two weeks of receiving

authorization. Engineer will conduct the traffic analysis, recommendations and submit a draft report to the Client within three weeks of compiling the traffic count data and with receiving the existing traffic signal timing data.

Engineer shall conduct Task 4 within two weeks of receiving a signed agreement.

If the Client requests and accelerated schedule, every effort will be made to meet the Client's needs.

COMPENSATION

For the services described in Tasks 1 through 6, Client shall pay Engineer a lump sum fee of Twenty-Three Thousand Four Hundred Seventy-Two Dollars (\$23,472.00). This lump sum fee consists of the following tasks:

Task 1 – Evaluation of Previous Traffic Report and Current Operations: \$2,853.00

Task 2 – Traffic Data Collection for New Signal Timing Plans: \$7,243.00

Task 3 – Signal Timing and Phasing Plans, Evaluation and Implementation: \$7,425.00

Task 4 - Stop Sign Warrant Analysis – Geneva Street with Broad Street: \$3,618.00

Task 5 – Report: \$2,333.00

Task 6 – Meetings & Field Implementation: \$0.00. If needed, to be billed based on time and materials.

All services not cited in Attachment A, Scope of Services, will be conducted as additional services.

Authorization for Task 1: \$2,853.00

Kapur and Associates (Client)

By: _____

Title: _____

Date: _____

Authorization for Task 4: \$3,618.00

Kapur and Associates (Client)

By: _____

Title: _____

Date: _____

Authorization for Tasks 2, 3, and 5: \$17,001.00

Kapur and Associates (Client)

By: _____

Title: _____

Date: _____

CITY OF LAKE GENEVA

REQUEST FOR PROPOSALS TO PROVIDE ASSESSMENT SERVICES

June 26, 2018

The City of Lake Geneva invites proposals to provide annual assessment services for the period of January 1, 2019 to December 31, 2021. The proposal should also include services to conduct revaluation during the three year period.

City Information:

The City of Lake Geneva (hereafter, referred to as “City”) is located in Walworth County with a 2010 census population of 7,651.

The 2017 assessment included the following parcels:

- | | |
|--------------------------------------|-------|
| • Residential | 3,834 |
| • Residential Improved | 3,420 |
| • Commercial Total | 511 |
| • Commercial Improved | 417 |
| • Agricultural | 206 |
| • Other Total | 1 |
| • Other improved | 1 |
| • Total Parcels | 4,552 |
| • Total Improved Parcels | 3,838 |
| • 2017 Assessment Ratio | .9804 |
| • There is currently no TIF District | |

Obligations of the City:

The City will perform limited services to assist the assessor including:

- Answer general correspondence concerning assessment related inquiries that City staff is capable of answering. Provide information as to how to contact the Assessor by mail, fax, e-mail or telephone. Provide updates of assessor data on the City web site.
- Provide copies of all building permits and commercial plans, previous assessment rolls and records as requested at no cost.

- Publish public notices at appropriate times during the assessment and revaluation process.
- Provide adequate office space for assessment personnel for office hours.
- Provide the name, address of the owner and the block and lot number, size or other identifying description of each parcel to be appraised.
- Maintain current City map including lot sizes, parcel numbers and addresses.
- Provide access to the office open during normal City Hall hours: 8:30 a.m. to 5:00 p.m.

Scope of Work – Assessment Services:

1. Assessor will perform all of the work required to properly and professionally assess the real and personal property of the City in accordance with applicable Wisconsin State Statutes.
2. Assessor will review and assess all properties that were under partial construction as of January 1st of the previous year.
3. Assess or will review and assess new construction as of January 1st of the current year.
4. Assessor will mail out state approved forms to all holders of personal property in the City, audit the returned forms and place the new values in the easement roll. Doomage assessments will be made on any personal property account that has not sent in a return.
5. Assessor will account for all buildings moved, destroyed or demolished.
6. Assessor will create new property record cards for all parcels created from parcel splits and new plats. All property record cards shall be updated as needed.
7. Assessor will correct legal descriptions as needed.
8. Assessor will record assessment data, prepare appointment mailers, stuff envelopes and mail notices and schedule and reschedule appointments as necessary.
9. Assessor will mail the notices of changed/increased assessments.
10. Assessor will be responsible for completing the real estate and personal property assessment rolls.
11. Assessor will stay informed about zoning changes, conditional use permits, and other municipal decisions that impact value. Assessor will also stay informed about court decisions, Department of Revenue advisories and other governmental decisions that impact value.
12. All data and programs will become the property of the municipality.
13. All office supplies, postage and other supplies necessary to perform the duties of the contract shall be borne by the Assessor.
14. Assessor will conduct Open Book sessions in accordance with Wisconsin State Statutes. Property owners will be given sufficient notice of changes in assessment and will be provided the opportunity to meet with the Assessor to discuss changes. The assessment roll will be available for public inspection prior to the Open Book session.
15. The Board of review will be conducted prior to June 30th except for the year of the Revaluation, or as approved by the City Administrator.

16. Assessor will attend the Board of Review meetings and testify under oath while defending the Assessor's valuation and work products. In the event of an appeal to the courts, it is agreed that the Assessor will be available to furnish expert testimony in defense of any of the assessed values.
17. Assessor will be responsible for providing the Wisconsin Department of revenue with final reports and TIF report per DOR regulations.
18. Assessor will provide a local or toll-free number for City officials and residents to contact Assessor during regular business hours, Monday through Friday, and shall return calls within twenty-four (24) hours, 90% of the time.
19. Assessor will supply to the City a complete set of computer property assessment records that are compatible with the City's computer equipment and software. (Computer records should be updated within thirty (30) days of the final adjournment of the Board of review.
20. Assessor will attend staff training sessions on Customer Service standards.
21. Assessor will be available by phone to provide information to City staff as needed and return phone calls within twenty-four (24) hours, 90% of the time.
22. Assessor will also perform all other duties incidental to the normal duties of Assessor.

Scope of Work – Revaluation Services:

The Revaluation, if determined necessary by the City Council, is to be completed at a mutually agreed upon time during the three year period. The Assessor, having familiarized himself/herself with the local conditions affecting the cost of the work to be done, and the Standard Specifications for the Revaluation of all Real and Personal Property in the State of Wisconsin pursuant to Chapter 70, Wisconsin State Statutes, will perform everything required to be performed, and to complete in a professional manner, all the work required to be completed, to revalue all Real and Personal Property within the City in accordance with all the applicable Wisconsin State Statutes.

1. For the valuation of residential properties, the Assessor will use a Computer Assisted Appraisal System.
2. For the valuation of commercial properties, the Assessor will use a Computer Assisted Appraisal System.
3. For the valuation of personal property, the Assessor will follow the procedures outlined in Volume 1 of the Wisconsin Property Assessment Manual.
4. The Assessor will complete all revaluation work in a timely and professional manner in compliance with Wisconsin State Statutes and with Volume 1 of the Wisconsin Property Assessment Manual. The Assessor will complete a Market Update in line with current sales for all properties in the City.
5. The Assessor will reconcile existing property record card data with data maintained in the assessor's mass appraisal software program.

6. The Assessor will review all recent property sales, perform an outside inspection to verify property attributes, and take digital color photographs of all current sales.
7. The Assessor will perform sales analysis to determine value trends and help to build a valuation model specifically for the City.
8. The Assessor will apply new valuation model to exiting property record information to arrive at a new assessed value for all property in the City.
9. The Assessor will individually review each property to insure a fair and equitable assessment.
10. The Assessor will mail new notices of assessment along with a letter explanation to all property owners.
11. Prior to the Open Book hearing period, a time for public inspection of the proposed roll will be allowed. The Open Book period should be scheduled to comply with appropriate Statutes and ensure notice to affected properties.
12. The Assessor will hold a sufficient number of “Open Book” meetings with taxpayers allowing enough time for those taxpayers wishing to ask questions or provide evidence supporting a different value.
13. The Board of Review for the revaluation period will be scheduled at the mutual convenience of the Assessor, Board of Review and the City Clerk.
14. The Assessor will attend “Board of Review to provide testimony supporting the assessment.
15. The Assessor will defend assessed values should a taxpayer challenge their assessment after the Board of Review at no additional cost to the City.

General Quotation Requirements:

1. Proposals must include no more than twenty (20) pages, 8 ½ inches by 11 inches.
2. All quotations must identify the firm name, address and specific assessment services experience in Wisconsin. The proposals should also include the names, educational background and municipal assessment experience of the person or persons to be assigned as the City’s point of contact for the work to be performed.
3. **Assessor should provide complete information regarding the below items:**
 - a. Define an inspection and describe your procedures for administering inspections.
 - b. Describe your approaches used in developing commercial valuations.
 - c. Specifically, describe your methods for “discovering” personal property accounts.
 - d. Describe the criteria you employ in determining which permits you inspect.

- e. Detail your procedures relative to those properties that are improved but unfinished as of the assessment date.
 - f. Describe the process you utilize to update annual assessments outside of the revaluation years.
 - g. When reviewing building permits, when do you feel it is necessary to conduct a physical inspection of the property in order to determine an updated value for the property which was issued a building permit?
 - h. In your estimation, what should be the percentage of assessment disputes considered by the Board of Review in a revaluation year?
 - i. During a revaluation year, what percentage of your firm's disputes is reduced prior to Board of Review?
 - j. What is your overall philosophy of being a municipal assessor?
 - k. How would you define good customer service?
 - l. Given the current economic problems, please describe your opinion on the need for a revaluation over the next three years for the City of Lake Geneva. What would be your recommendation if you were to be the City's assessor?
4. Assessor is to provide a list of municipal references for which the Assessor has provided assessment services and revaluation services. An explanation of how the Assessor would deliver the services requested and inclusion of a timetable for delivery and completion of the revaluation shall also be submitted.
 5. A detailed resume of the person or persons to be assigned as the City's primary contact for work to be performed should be submitted.
 6. All work shall be accomplished in accordance with the provisions of the State of Wisconsin and in full compliance with the rules and regulations promulgated by the Wisconsin Department of revenue.
 7. The proposals should also identify any and all contractual requirements that the bidder has.
 8. All personnel providing assessment service shall be currently certified in compliance with Wisconsin State Statutes and Administrative Rules of the Department of Revenue for the type of properties in the City of Lake Geneva.
 9. Bidders are advised to carefully inspect the community, the entire records and facilities of the City of Lake Geneva and examine the above referenced specifications for the proposed work and judge for themselves the circumstances affecting the cost of the work or the time requirement for its completion. Failure to do so will not relieve the successful bidder of the obligation to furnish and perform the work, to carry out the provisions of the contract and to complete the contemplated work for consideration set forth in this RFP.
 10. The successful bidder is not permitted to assign, subcontract or transfer the work of providing assessment services, without the prior written approval of the City.

11. Assessor shall maintain insurance coverage to protect against claims, demands, actions and causes of action, arising from any act or emission of the Assessor, his/her agents and employees in the execution of the work. Certificates of insurance by a company authorized to transact business in the State of Wisconsin shall be supplied to the municipality. The City of Lake Geneva shall be named as an additional insured. Limits of liability shall not be less than:

Workers Compensation	Statutory
Bodily Injury	
Per Person	\$1,000,000
Per Occurrence	\$1,000,000
Property Damage – Each Occurrence	\$ 500,000
Comprehensive Auto Liability Including Non-ownership Coverage	
Per Person	\$1,000,000
Per Occurrence	\$1,000,000
Property Damage Each Occurrence	\$ 500,000

12. The proposals will be reviewed and awarded to the Assessor whose quote is the most responsive to the solicitation and is the most advantageous to the City of Lake Geneva, considering experience, knowledge, demonstration of a high level of accuracy in assessment work for municipal clients, high level of customer service to property owners as well as municipal clients and other factors. The conditions enumerated in this request for proposal will form the basis for the agreement which the City will enter into. The final agreement will be modified upon selection and will be subject to review and approval by the City Council.
13. Submit any additional information that is pertinent to the RFP.

Inquiries:

Inquiries about this RFP should be directed to:

Blaine D. Oborn, City Administrator
 City of Lake Geneva
 626 Geneva Street
 Lake Geneva, WI 53147

Phone: 262-249-4098 Fax: 262-248-4715
 E-mail: cityadmin@cityoflakegeneva.com

Submission Instructions:

The City reserves the right to request additional written or oral information to supplement all written statements of qualifications or proposals. Interviews and presentations to a review committee and/or City Council are anticipated and will be on an invitation basis.

Submit the original and (10) copies of the proposal to Blaine D. Oborn, City Administrator, City of Lake Geneva, 626 Geneva Street, Lake Geneva, WI 53147 no later than 4:00 PM on Monday July 30, 2018.

Right to Reject:

The City of Lake Geneva reserves the right to reject any and all proposals and statements of qualifications and accepts no responsibility for the cost of proposal preparation.

CONDITIONAL USE RESOLUTION 18-R46

A resolution authorizing the issuance of a Conditional Use Permit to Letitia Erdman, 5877 Alvin Howe Rd, Burlington, WI 53105, to install a fence to a height greater than permitted within the zoning ordinance, and to have the top 26" installed as wire cabling

WHEREAS, the City Plan Commission has considered the application of Letitia Erdman for a fence installation;

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on June 18, 2018.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to Letitia Erdman 5877 Alvin Howe Rd, Burlington, WI 53105, to install a fence at the property located at 640 W. Main St., in the Business Central (BC) zoning district,

Tax Key No. ZOP00306

to include all affirmative findings of fact and note staff recommendations.

Granted by action of the Common Council of the City of Lake Geneva this 25th day of June 2018.

Tom Hartz, Mayor

ATTEST:

Lana Kropf, City Clerk

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 18, 2018

Agenda Item: 7

Applicant:

Letitia Erdman
5455 Steele Rd.
Burlington WI 53105

Request: Conditional Use Permit

640 W. Main St
Fence Installation in the Central Business
(CB) Zoning District
Tax Key No. ZOP00306

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) for a new fence installation in the Central Business (CB) zoning district. The project is requesting to exceed the allowable heights for a fence installation on a street side property. The applicants have carefully designed the proposed fence to increase size to 48” whereas the maximum allowable fence height of 36” and 60% opaque.

The applicant appeared before the Plan Commission to provide guidance on a fence design that would enhance the location in addition provide a safety guardrail for pedestrian traffic on the property that has a significant drop of greater than 8’ onto the property below.

The applicant and Plan Commission members agreed upon a design that in keeping with the newly renovated building design and allowing for the safety of the pedestrians in the considerations, the design was to have the lower fence materials matches the building exterior in addition the installation of horizontal wire above the fence be installed that are reminiscent of the materials used for the deck railings on the building.

Project Details from CUP Submittal

The proposed project exceeds the allowable fence heights in the Central Business (CB) Zoning District.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed conditional use includes increases in the fence heights, the rendition of the proposed fence location in the Central Business district.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any

- other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

640 W. MAIN St. LAKE GENEVA

NAME AND ADDRESS OF CURRENT OWNER:

Letitia Erdman / FYF LLC

5455 Steele rd. Burlington

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: 920-723-1317 lakegenevapremiumrentals@

gmail.com

NAME AND ADDRESS OF APPLICANT:

Same as above

TELEPHONE NUMBER & EMAIL OF APPLICANT:

PROPOSED CONDITIONAL USE:

Amendment to existing fence in front of building (at Main St.)
per recommendation by planning commission (May 21st
meeting/discussion)

ZONING DISTRICT IN WHICH LAND IS LOCATED: Central Business

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Ryan Schultz Opening Design Madison, WI

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Remove 26" of applied wood fence at top and replace w/
open horizontal cable

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

5/23/18

DATE


SIGNATURE OF APPLICANT

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: 5/21/18 Time of Meeting: 6:00 pm Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: 6/18/18 Time of Meeting: 6:00 pm Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____



- ___ (a) A map of the proposed conditional use:
 - ___ Showing all lands for which the conditional use is proposed;
 - ___ Showing all other lands within 300 feet of the boundaries of the subject property;
 - ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
 - ___ Map and all its parts are clearly reproducible with a photocopier;
 - ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
 - ___ All lot dimensions of the subject property provided;
 - ___ Graphic scale and north arrow provided.

- ___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

per recommendation by planning committee (5/21/18) I am to alter existing 58" horizontal wood fence at building front to 42" wood and 26" wire cable to ensure public safety

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Design approved by planning committee to meet goals of aesthetics & safety

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

no

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Fence blocks pedestrians from falling through to lower concrete courtyard while maintaining views to park in rear of property

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

yes

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

yes

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

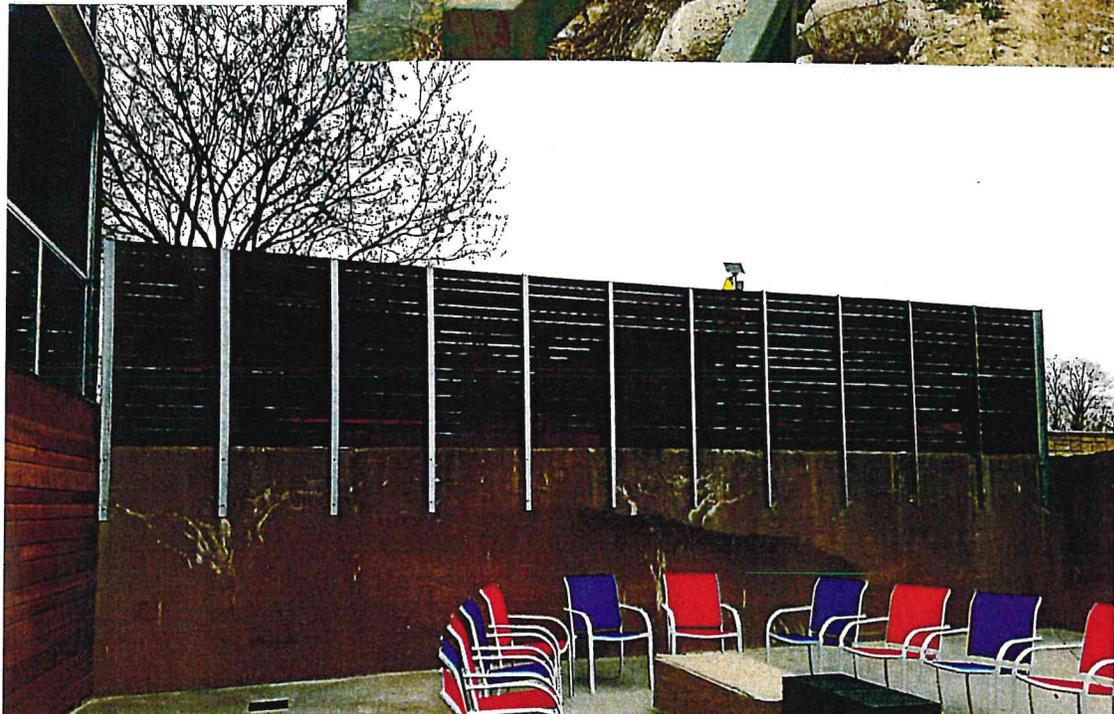
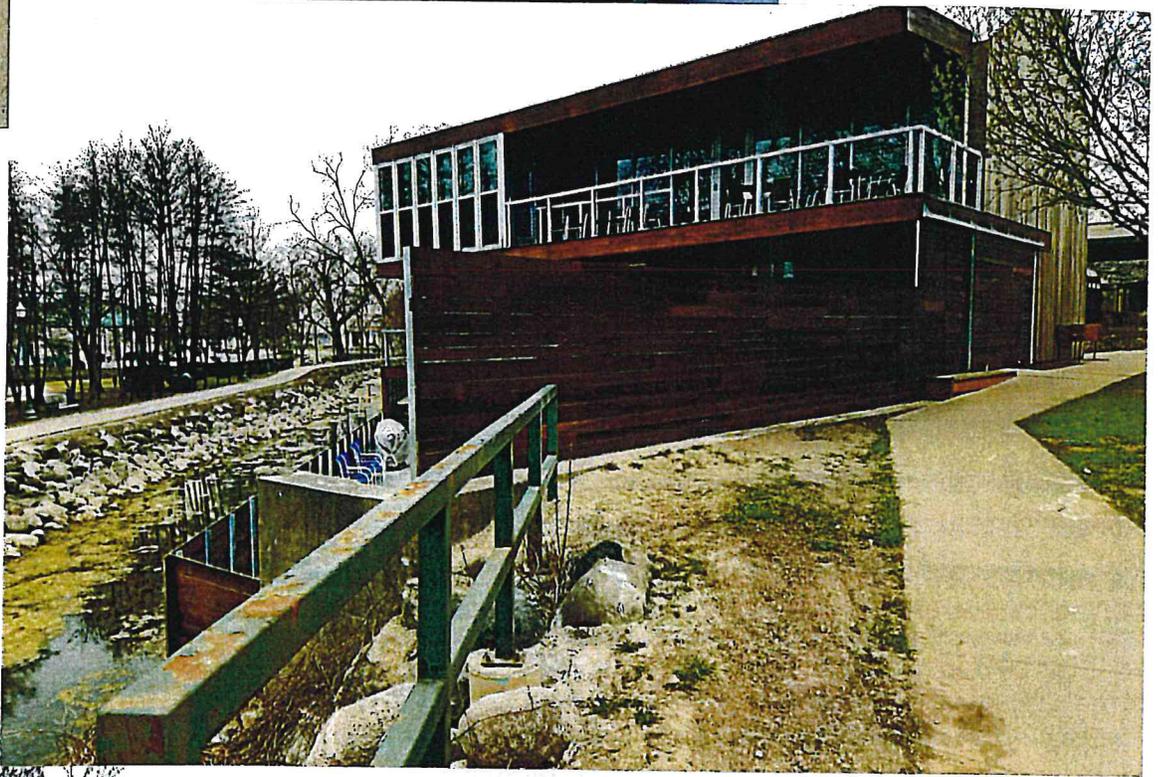
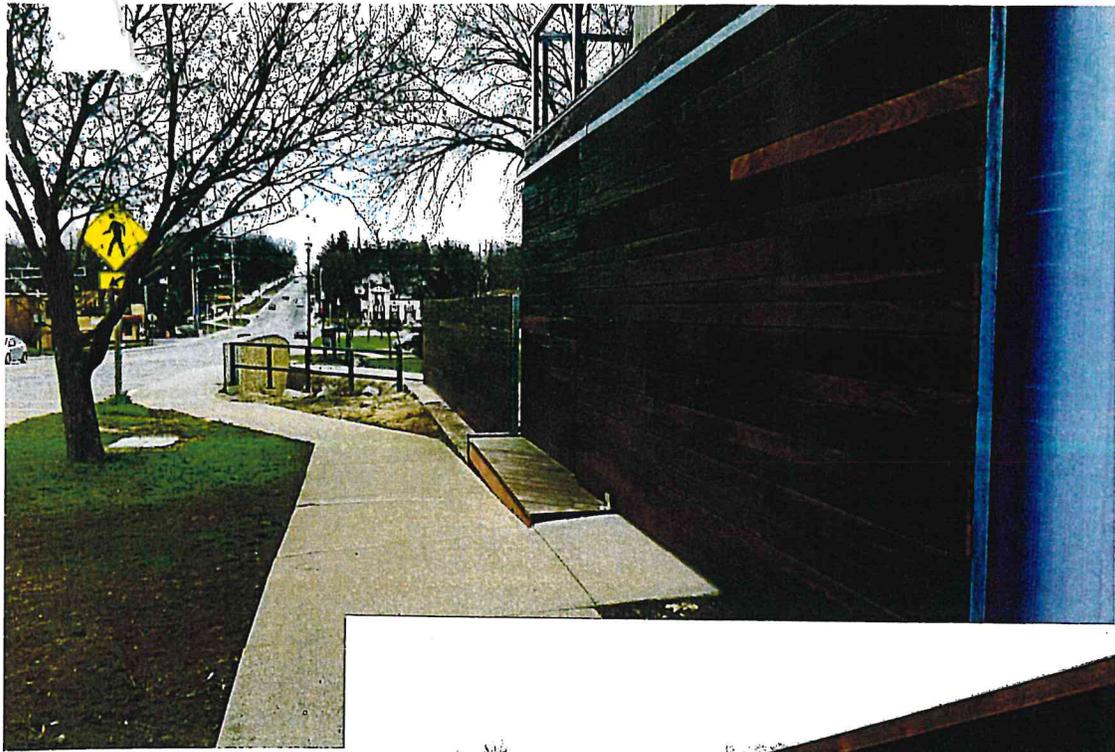
____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

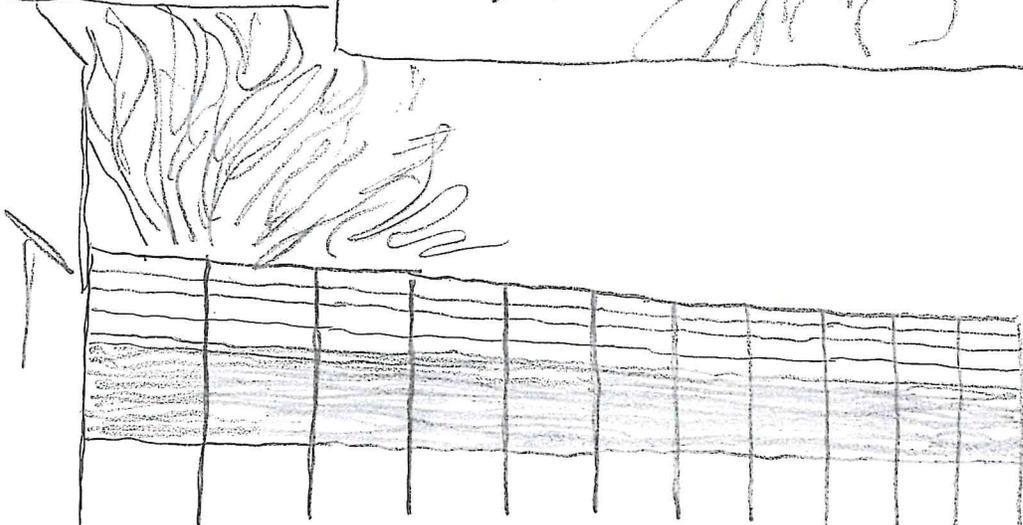
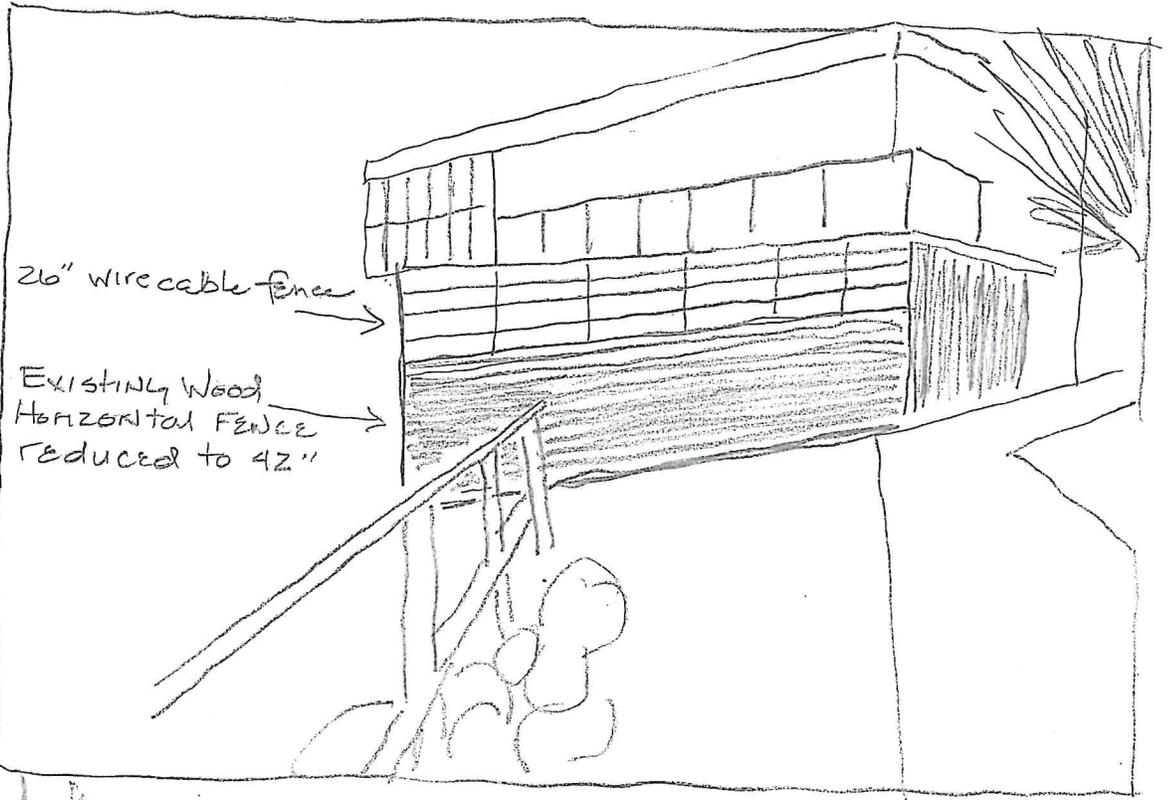
____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____



AFTER



5'8" total height
42" wood
26" cable



CONDITIONAL USE RESOLUTION 18-R47

A resolution authorizing the issuance of a Conditional Use Permit to Serendipity & sunsets LLC, P.O. Box 649, Cary, IL 60013, to install a 100' pier, at the property located at 962 Mariane Terrace.

WHEREAS, the City Plan Commission has considered the application of Serendipity & Sunsets LLC, for a pier installation;

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on June 18, 2018.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to Serendipity & sunsets LLC, P.O. Box 649, Cary, IL 60013, to install a 100' pier, at the property located at 962 Mariane Terrace, in the Estate Residential (ER-1) zoning district,

Tax Key No. ZSY00016

to include all affirmative findings of fact and note staff recommendations.

Granted by action of the Common Council of the City of Lake Geneva this 25th day of June 2018.

Tom Hartz, Mayor

ATTEST:

Lana Kropf, City Clerk

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 18, 2018

Agenda Item: 8

Applicant:

Reeds Construction LLC
W3199 S Lake Shore Drive
Lake Geneva, WI 53147

Request: 962 Mariane Terrace

Boat Slip - Conditional Use Permit
Serendipity & Sunsets LLC. Keith Rozolis
Tax Key No. ZOP00032
P.O. Box 649
Cary, IL 60013

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a new boat slip at 962 Mariane Terrace. The slip would involve a wood pier with six wood cribs filled with rock. Detailed crib and decking designs are included in the submittal. The slip is proposed to be 4 x 40 feet and would be connected to the 100 foot long main pier by a 4 x 18.5 foot catwalk. The boat slip would be parallel to the main pier and would be used for private boat docking and summer boat storage.

The City conditions all Conditional Use Permits for boat slips and piers on approval from the DNR. A copy of the Wisconsin DNR Water Resources permit application is included in the submittal.

As proposed, the new boat slip meets the 100-foot maximum length for piers (per Section 90-142 of the Lake Geneva Municipal Code). The pier meets the 12.5-foot setback from the adjacent riparian zone boundary (Section 90-143(e)). The pier does not seem to create an unlawful obstruction, although this will be confirmed by the required review by Wisconsin DNR.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Municipal Ordinance.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other

plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached.
 - a. Conditional Use Permit approval is contingent on review and approval of the proposed slip by the Wisconsin DNR.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

962 Mariane Terrace, Lake Geneva, WI 53147

NAME AND ADDRESS OF CURRENT OWNER:

Serendipity & Sunsets, LLC - Keith Rozolis

PO Box 649, Cary, IL 60013

TELEPHONE NUMBER OF CURRENT OWNER: 608-207-0700

NAME AND ADDRESS OF APPLICANT:

Reed's Construction, LLC - Jeff Reed

W3199 S. Lake Shore Drive, Lake Geneva, WI 53147

TELEPHONE NUMBER OF APPLICANT: B 262-248-2934 cell 262-949-5064

PROPOSED CONDITIONAL USE:

Add a 6' x 34' long addition to current pier (current pier is 6' x 65') with a 12' x 12' L ,

There will be 1 slip that is 4' wide x 18' 5 1/2" catwalk with a 4' x 40' slip

ZONING DISTRICT IN WHICH LAND IS LOCATED: Residential

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Reed's Construction, LLC

W3199 S. Lake Shore Drive

Lake Geneva, WI 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Install 6 cribs on the lake bed and fill with rock, then building of Jacks, stringers and decking at shop then haul it to lake and put it together

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

4/20/18

DATE

Jeff Reed / by Michele Reed

SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Reed's Construction, LLC, as applicant/petitioner for:

Name: Jeff Reed
Address: W3199 S. Lake Shore Drive
Lake Geneva, WI 53147
Phone: Office 262-248-2934 Cell 262-949-5064

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 20th day of April, 2018.

Jeff Reed
Printed name of Applicant/Petitioner

Jeff Reed / by Michelle Baer
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

___ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

___ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ *by:* _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ *by:* _____



___ (a) **A map of the proposed conditional use:**

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

_____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

_____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

_____ (e) Written justification for the proposed conditional use:

_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Main Pier addition will be 6' wide x 34' long, with total length of pier 100'.

Slip will be 4' wide x 40' long with a 4' x 18' 5 1/2" catwalk with canopy.

Will be 22' off the west lot line and 12' 6" off the east lot line

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Going to be used a private boat docking and summer housing for boat

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No, this is all on private property. It is a pier just like all the other piers on the lake

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Used for private boat dock

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

This is down on the water and the home owner is responsible for repair and up keep. It is made at a shop and hauled in to be installed. It is stored on private property when removed during the winter.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Public does not benefit. This is a private pier for private use only.

Will not cost the public anything.

IV.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

Notice: Pursuant to chs. 30 and 31, Wis. Stats., ch. 281, Wis. Stats. and s. 283.33, Wis. Stats., this form is used to apply for coverage under the state construction site storm water runoff general permit, and to apply for a state or federal permit or certification for waterway and wetland projects or dam projects. This form and any required attachments constitute the permit application. Failure to complete and submit this application form may result in a fine and/or imprisonment or forfeiture under the provisions of applicable laws including s. 283.91, Wis. Stats. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Public Records Laws (ss. 19.31-19.39, Wis. Stats.). This form is required for U.S. Army Corps of Engineers (ACOE) regulatory purposes pursuant to 33 CF 325.

Read all instructions provided before completing

Section 1: Landowner Information			
Organization, Entity or Name Serendipity & Sunsets, LLC		Authorized Representative (Last Name, First Name) Rozolis, Keith	
Mailing Address PO Box 649	City Cary	State IL	Zip Code 60013
Email krozolis@comcast.net	Phone Number (incl. area code) 608-207-0700	Alternative Phone Number	
Section 2: Applicant/Information <input checked="" type="checkbox"/> Select if same as landowner			
Organization, Entity or Name Serendipity & Sunsets, LLC		Contact Person (Last Name, First Name) Rozolis, Keith	
Mailing Address PO Box 649	City Cary	State IL	Zip Code 60013
Email krozolis@comcast.net	Phone Number (incl. area code) 608-207-0700	Alternative Phone Number	
Section 3: Primary Project Contact <input type="checkbox"/> Select if same as landowner			
<input type="radio"/> Consultant or Plan Preparer <input type="radio"/> Contractor <input type="radio"/> Agent <input type="radio"/> Other - specify: _____			
Name (Organization or Entity) Reed's Construction, LLC		Contact Person (Last Name, First Name) Reed, Jeff	
Mailing Address W3199 S. Lake Shore Drive	City Lake Geneva	State WI	Zip Code 53147
Email michele@reedsconstructionllc.com	Phone Number (incl. area code) 262-248-2934	Alternative Phone Number 262-248-9403	
Section 4: Project or Site Location:			
Project Name Rozolis, Keith	County Walworth	<input checked="" type="radio"/> City <input type="radio"/> Township <input type="radio"/> Village of LAKE GENEVA;C	
Location Address / Description 962 Mariane Terrace, Lake Geneva, WI 53147			
Public Land Survey System (PLSS) – Provide the section, range, township information and latitude and longitude in decimal degrees, if available.			
NE	of ¼ NW	of Section ¼ 01	Township 01 N Range 17 <input checked="" type="radio"/> E <input type="radio"/> W Latitude Longitude
If this site is not wholly contained in the quarter-quarter section, more description: Contained on quarter-quarter section			
Waterways: Provide the name(s) of closest water bodies Geneva Lake			

Water Resources Application for Project Permits

Form 3500-053 (R 8/16)

Page 2 of 2

Section 5: Wetlands

If a wetland is present at a project site and permit approvals are sought through the waterway and wetland program, storm water program, or concentrated animal feeding operations (CAFO) program, the department requires that a wetland delineation that accurately shows the location of a wetland is submitted with an application. A wetland delineation needs to be verified/concurred with before the application can be submitted or be considered a complete application. See the department "[Wetland screening and delineation procedures](http://dnr.wi.gov/topic/waterways/construction/wetlands.html)" at <http://dnr.wi.gov/topic/waterways/construction/wetlands.html> for more information for more information.

Is a wetland present in the project area? Yes No

If yes, select all sources of information used and attach supporting report or documentation

- a. A copy of your wetland delineation and a [Wetland Confirmation Service](#) concurrence letter (wetland boundary verification service offered for a fee from the department)
- b. An [assured delineator's](#) wetland delineation report
- c. A copy of your wetland delineation and an Army Corps of Engineers concurrence letter
- d. A copy of your correspondence with a [WDNR Office of Energy Water Management Specialist](#) or [WDNR Transportation Liaison](#) regarding your wetland review/ concurrence.

If no, please select one of the following items showing that a wetland is not present within the project boundaries:

- a. A copy of your wetland determination and a letter from the department's [Wetland Identification Program](#) stating wetlands are not present or the activity proposed in the wetland is exempt under NR 103.06(4)
- b. A letter from an assured delineator stating wetlands are not present
- c. Documentation showing that each of these resources were reviewed for wetland absence on the [Surface Water Data Viewer](#):
 - i. Surface Water Data Viewer- Wisconsin Wetland Inventory
 - ii. Surface Water Data Viewer- Wisconsin Indicator layer
 - iii. Surface Water Data Viewer- Digital Topographic map layer or aerial photo indicating if waterways, drainage ways, ditches, depressions, or standing water are within project boundary
- d. Show that the project limits are entirely in existing paved, graveled, or concrete areas
- e. A copy of your correspondence with a [WDNR Office of Energy Water Management Specialist](#) or [WDR Transportation Liaison](#) regarding your wetland review/concurrence

(Please note that if the information provided is incorrect or incomplete, the overall permit application may be considered incomplete and may be returned to the applicant.)

Section 6: Endangered or Threatened Resources

Has the presence of endangered or threatened resources been evaluated according to protocols developed by the DNR Bureau of National Heritage Conservation (BNHC) <http://dnr.wi.gov/topic/ERReview> Yes No

If Yes, select how the evaluation was completed and attach supporting report or documentation:

- a. Endangered Resources Preliminary Assessment from the Public Portal
- b. Certified ER Review Letter - specify: ERR- (example ERR-15-123
- c. Broad Incidental Take Permit /Authorization -specify (e.g. No / Low Impact Activities, Grassland & Savanna Management, etc.):
- d. Other:

Section 7: Project Information (Attach additional sheets as necessary)

Anticipated Project Start Date: 6/25/2018	Projected Project End Date: 12/31/2019
Photos: Provide photographs of the "before" condition.	Date of Photographs: 6/19/2017

Narrative of the Project:

Provide a one to two paragraph description of the proposed project, including land and water alterations and intended use(s) of the project. Include this in the attachment section.

Section 8: Certification and Permissions

State of Wisconsin
DEPARTMENT OF NATURAL RESOURCES
141 NW Barstow, Room 180
Waukesha, WI 53188

Scott Walker, Governor
Daniel L. Meyer, Secretary
Telephone 608-266-2621
Toll Free 1-888-936-7463
TTY Access via relay - 711



April 11, 2018

IP-SE-2018-65-00125

Serendipity & Sunsets, LLC
Keith Rozolis
PO Box 649
Cary, IL 60013

Dear Mr. Rozolis:

The Department of Natural Resources has completed its review of your application for a permit to enlarge a pier (Pier 867) on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County. You will be pleased to know your application is approved.

I am attaching a copy of your permit, which lists the many important conditions that must be followed to protect water quality and habitat. A copy of the permit must be posted for reference at the project site. Please read your permit conditions carefully so that you are fully aware of what is expected of you.

Please note you are required to submit photographs of the completed project within 7 days after you've finished construction. This helps both of us to document the completion of the project and compliance with the permit conditions.

Your next step will be to notify me of the date on which you plan to start construction and again after your project is complete.

If you have any questions about your permit, please call me at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov.

Sincerely,

Elaine Johnson
Water Management Specialist

cc: Reeds Construction, Contractor
Rachel Nuetzel, U.S. Army Corps of Engineers
City of Lake Geneva
Walworth County

**STATE OF WISCONSIN Pier PERMIT
DEPARTMENT OF NATURAL RESOURCES**

IP-SE-2018-65-00125

Keith Rozolis is hereby granted under Section 30.12(3m), Wisconsin Statutes, a permit to enlarge a pier on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the NE1/4 of the NW1/4 of Section 1, Township 1 North, Range 17 East, subject to the following conditions:

PERMIT

1. You must notify Elaine Johnson at phone (262) 574-2136 or email Elaine.Johnson@wisconsin.gov before starting construction and again not more than 5 days after the project is complete.
2. You must complete the project as described on or before 04/11/2021. If you will not complete the project by this date, you must submit a written request for an extension prior to expiration of the initial time limit specified in the permit. Your request must identify the requested extension date. The Department shall extend the time limit for an individual permit or contract for no longer than an additional 5 years if you request the extension before the initial time limit expires. You may not begin or continue construction after the original permit expiration date unless the Department extends the permit in writing or grants a new permit.
3. This permit does not authorize any work other than what you specifically describe in your application and plans, and as modified by the conditions of this permit. If you wish to alter the project or permit conditions, you must first obtain written approval of the Department.
4. Before you start your project, you must first obtain any permit or approval that may be required for your project by local zoning ordinances and by the U.S. Army Corps of Engineers. You are responsible for contacting these local and federal authorities to determine if they require permits or approvals for your project. These local and federal authorities are responsible for determining if your project complies with their requirements.
5. Upon reasonable notice, you shall allow access to your project site during reasonable hours to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance.
6. The Department may modify or revoke this permit for good cause, including if the project is not completed according to the terms of the permit or if the Department determines the activity is detrimental to the public interest.
7. You must post a copy of this permit at a conspicuous location on the project site, visible from the waterway, for at least five days prior to construction, and remaining at least five days after construction. You must also have a copy of the permit and approved plan available at the project site at all times until the project is complete.
8. Your acceptance of this permit and efforts to begin work on this project signify that you have read, understood and agreed to follow all conditions of this permit.
9. You must submit a series of photographs to the Department, within one week of completing work on the site. The photographs must be taken from different vantage points and depict all work authorized by this permit.

10. You, your agent, and any involved contractors or consultants may be considered a party to the violation pursuant to Section 30.292, Wis. Stats., for any violations of Chapter 30, Wisconsin Statutes, or this permit.
11. Construction shall be accomplished in such a manner as to minimize erosion and siltation into surface waters. Erosion control measures (such as silt fence and straw bales) must meet or exceed the technical standards of ch. NR 151, Wis. Adm. Code. The technical standards are found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html .
12. All equipment used for the project including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps shall be de-contaminated for invasive and exotic viruses and species prior to use and after use.

The following steps must be taken *every time* you move your equipment to avoid transporting invasive and exotic viruses and species. To the extent practicable, equipment and gear used on infested waters shall not be used on other non-infested waters.

1. **Inspect and remove** aquatic plants, animals, and mud from your equipment.
2. **Drain all water** from your equipment that comes in contact with infested waters, including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps.
3. **Dispose** of aquatic plants, animals in the trash. Never release or transfer aquatic plants, animals or water from one waterbody to another.
4. **Wash your equipment** with hot (>140° F) and/or high pressure water,

- OR -

Allow your equipment to **dry thoroughly for 5 days**.

13. This permit authorizes future maintenance to the pier structures; however, no change can be made to the type of materials, number of slips, signage or pier configuration without written approval from the Department or amendment of this permit.
14. This pier must not interfere with the rights of other riparians.
15. The pier must allow the free movement of water and must not entrap vegetation.
16. The pier must not enclose any portion of the navigable waterway.
17. All canopies and boat shelters must comply with the standards in NR 326, Wisconsin Administrative Code & 30.01 (1c)(a), Wisconsin Statutes.
18. Electrical, fueling, and waste handling facilities must comply with applicable safety and environmental protection regulations.
19. If foam flotation is used, this material must be completely coated or contained to resist deterioration from the elements and gasoline. A written description of the proposed material must be submitted to the Department for approval prior to use.

FINDINGS OF FACT

1. Keith Rozolis has filed an application for a permit to enlarge a pier on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the NE1/4 of the NW1/4 of Section 1, Township 1 North, Range 17 East.
2. The proposed project involves the extension of the existing 65 foot long pier to 99 feet from the shoreline, the addition of a 12 foot wide by 12 foot long loading platform, and 4 foot wide by 18.5 long and 4 foot wide by 40 foot long catwalks around 1 boat slip. The pier additions will be supported by 6 rock filled support cribs (416 square feet).
3. The Department has completed an investigation of the project site and has evaluated the project as described in the application and plans.
4. Geneva Lake is a navigable water.
5. The proposed project, if constructed in accordance with this permit will not adversely affect water quality, will not increase water pollution in surface waters and will not cause environmental pollution as defined in s. 283.01(6m), Wis. Stats.
6. The proposed project will not impact wetlands if constructed in accordance with this permit.
7. The Department of Natural Resources has determined that the agency's review of the proposed project constitutes an equivalent analysis action under s. NR 150.20(2), Wis. Adm. Code. The Department has considered the impacts on the human environment, alternatives to the proposed projects and has provided opportunities for public disclosure and comment. The Department has completed all procedural requirements of s. 1.11(2)(c), Wis. Stats., and NR 150, Wis. Adm. Code for this project.
8. The Department of Natural Resources has completed all procedural requirements and the project as permitted will comply with all applicable requirements of sections 30.12(3m), Wisconsin Statutes and Chapters NR 102, 103, 326 of the Wisconsin Administrative Code.

The applicant was responsible for fulfilling the procedural requirements for publication of notices under s. 30.208(5)(c)1m., Stats., and was responsible for publication of the notice of pending application under s.30.208(3)(a), Stats. or the notice of public informational hearing under s.30.208(3)(c), Stats., or both. S. 30.208(3)(e), Stats., provides that if no public hearing is held, the Department must issue its decision within 30 days of the 30-day public comment period, and if a public hearing is held, the Department must issue its decision within 20 days after the 10-day period for public comment after the public hearing. S. 30.208(5)(bm), Stats., requires the Department to consider the date on which the department publishes a notice on its web site as the date of notice.

9. The structure or deposit will not materially obstruct navigation because vessels will be able to navigate around the structure and waterward of the structure.
10. The structure or deposit will not be detrimental to the public interest. The project will not increase the number of slips at the site beyond what would be considered reasonable use and the pier will be of similar size and configuration of other piers on Geneva Lake.

CONCLUSIONS OF LAW

1. The Department has authority under the above indicated Statutes and Administrative Codes, to issue a permit for the construction and maintenance of this project.

NOTICE OF APPEAL RIGHTS

If you believe that you have a right to challenge this decision, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions shall be filed. For judicial review of a decision pursuant to sections 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review shall name the Department of Natural Resources as the respondent.

To request a contested case hearing of any individual permit decision pursuant to section 30.209, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources, P.O. Box 7921, Madison, WI, 53707-7921. The petition shall be in writing, shall be dated and signed by the petitioner, and shall include as an attachment a copy of the decision for which administrative review is sought. If you are not the applicant, you must simultaneously provide a copy of the petition to the applicant. If you wish to request a stay of the project, you must provide information, as outlined below, to show that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment. If you are not the permit applicant, you must provide a copy of the petition to the permit applicant at the same time that you serve the petition on the Department.

The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30 day period for filing a petition for judicial review.

A request for contested case hearing must meet the requirements of section 30.209, Wis. Stats., and sections NR 2.03, 2.05, and 310.18, Wis. Admin. Code, and if the petitioner is not the applicant the petition must include the following information:

1. A description of the objection that is sufficiently specific to allow the department to determine which provisions of this section may be violated if the proposed permit or contract is allowed to proceed.
2. A description of the facts supporting the petition that is sufficiently specific to determine how the petitioner believes the project, as proposed, may result in a violation of Chapter 30, Wis. Stats.;
3. A commitment by the petitioner to appear at the administrative hearing and present information supporting the petitioner's objection.

If the petition contains a request for a stay of the project, the petition must also include information showing that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment.

Dated at Waukesha Service Center, Wisconsin on 04/11/2018.

STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES
For the Secretary



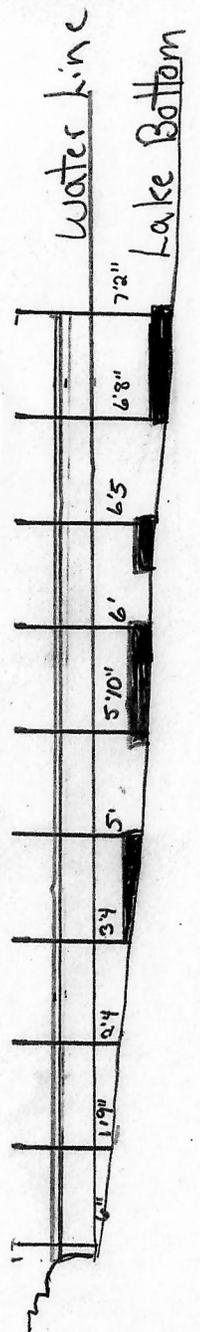
By

Elaine Johnson
Water Management Specialist

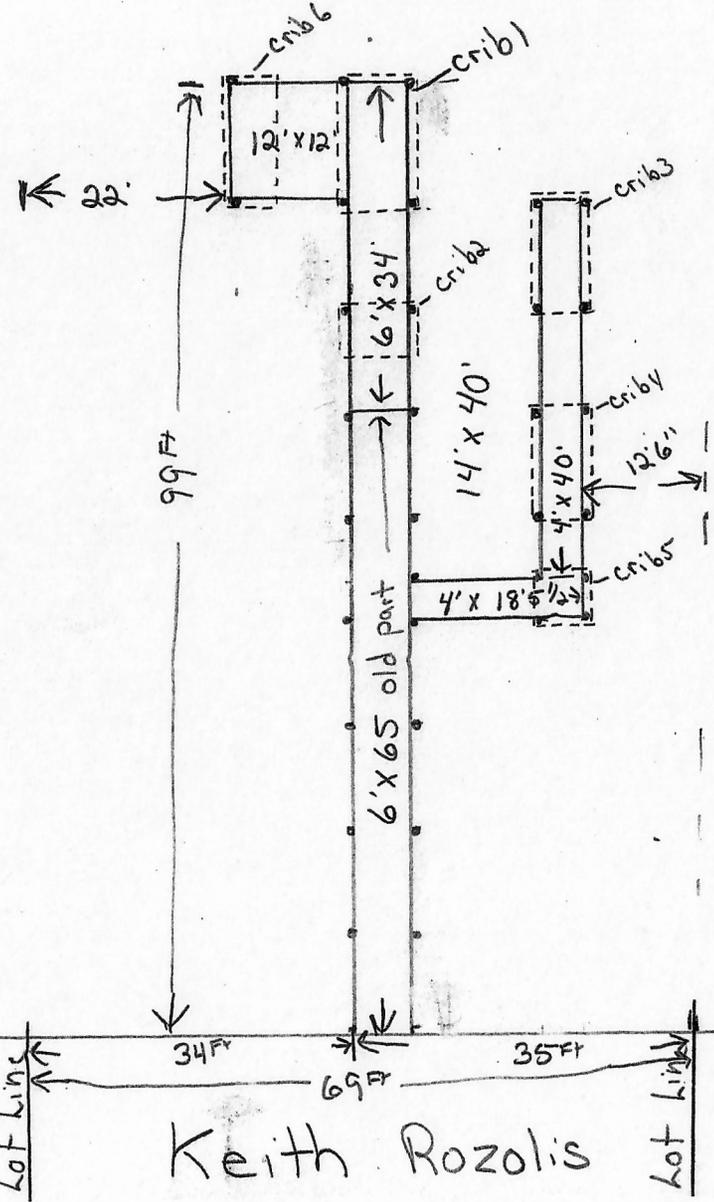
N →

1" = 20 Ft

Cross View



Top View
pier # 867



Water Dept

100'	7'2"
99'	6'8"
80'	6'5"
70'	6'
60'	5'10"
50'	5'
40'	3'3"
30'	2'4"
20'	1'9"
10'	6"

Crib sq Ft

- crib 1 8' x 13' = 104'
 - crib 2 8' x 6' = 48'
 - crib 3 6' x 12' = 72'
 - crib 4 6' x 12' = 72'
 - crib 5 6' x 6' = 36'
 - crib 6 14' x 6' = 84'
- Total crib sq Ft 416'

Ernie Bayer

Keith Rozolis

Jonathan W. Gross

Lot line

Lot line

Keith Rozolis
Anton old House

PLAT OF SURVEY
LOT 16 AND PART OF LOT 17 OF SYVER-STAD LAKE SHORE ESTATES
 LOCATED IN PART OF THE NE 1/4 OF THE NW 1/4 OF SECTION 1,
 TOWN 1 NORTH, RANGE 17 EAST, WALWORTH COUNTY, WISCONSIN

LEGAL DESCRIPTION
 LOT 16 OF SYVER-STAD LAKE SHORE ESTATES; ALSO PART OF LOT 17 OF SAID SUBDIVISION DESCRIBED AS BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 17; THENCE SOUTH 22°28' WEST ALONG THE WESTERLY LINE OF SAID LOT 17, 86.73 FEET; THENCE SOUTH 88°31' EAST 28.00 FEET; THENCE NORTH 15°26' EAST 77.23 FEET TO THE NORTH LINE OF SAID LOT 17; THENCE SOUTH 83°28' WEST 18.56 FEET TO THE PLACE OF BEGINNING, SAID LAND BEING IN THE CITY OF LAKE GENEVA, COUNTY OF WALWORTH, STATE OF WISCONSIN.



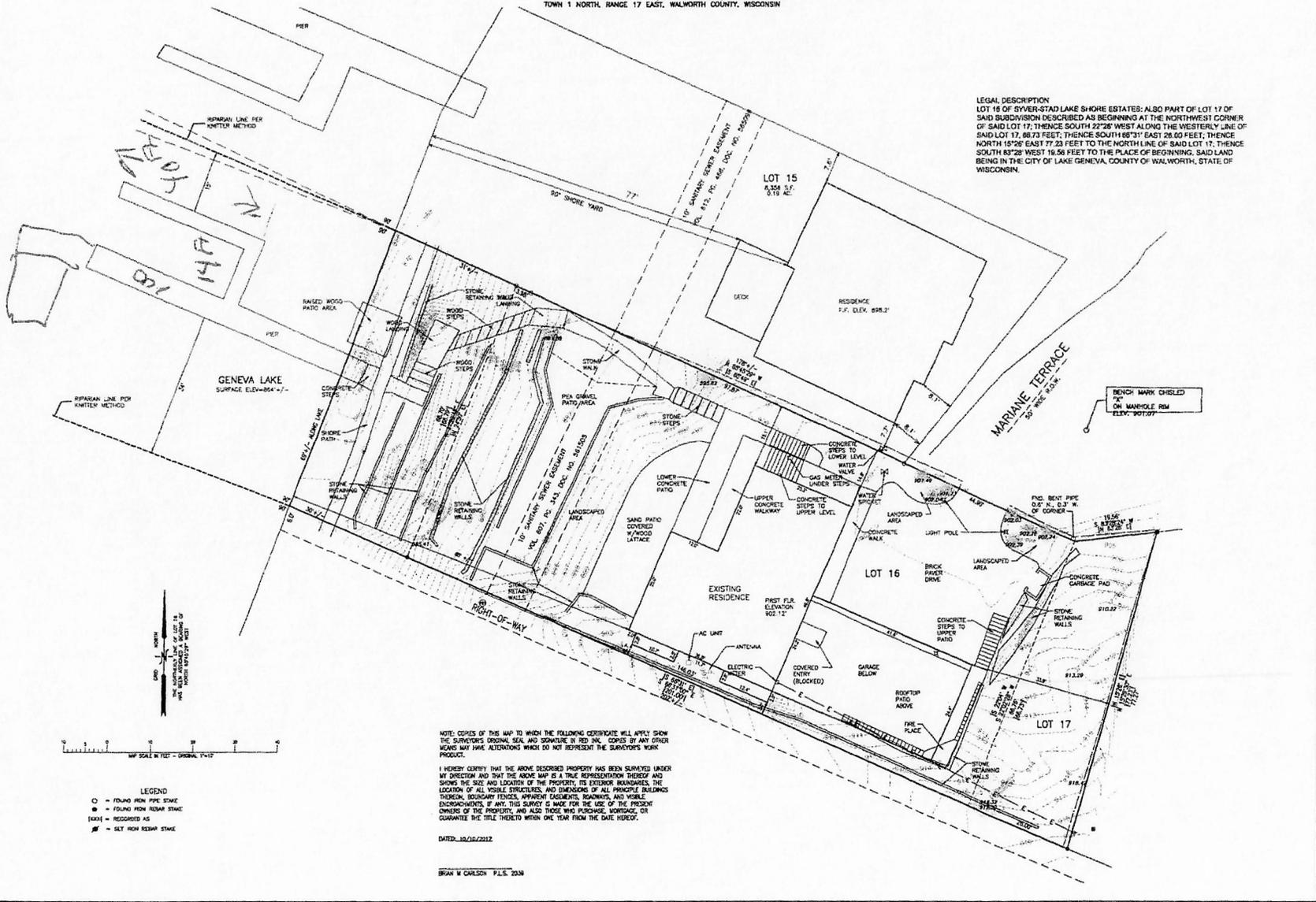
WORK ORDERED BY --
 GEORGE ANTONOPOLIS
 751 GENEVA PARKWAY P.O. BOX 450
 LAKE GENEVA, WISCONSIN 53147

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERS - ARCHITECTURE - SURVEYING
 7 PEGAN COURT P.O. BOX 437
 ELKHORN, WISCONSIN 53121
 OFFICE: (262) 733-2058 FAX: (262) 733-5888

ISSUANCE
 10/10/17 - AS
 ORIGINAL DRAWING

10/10/17
 NO REVISIONS DETECTED

PROJECT NO.
 98-33
 DATE
 10/10/2017
 SHEET NO.
 1 OF 1



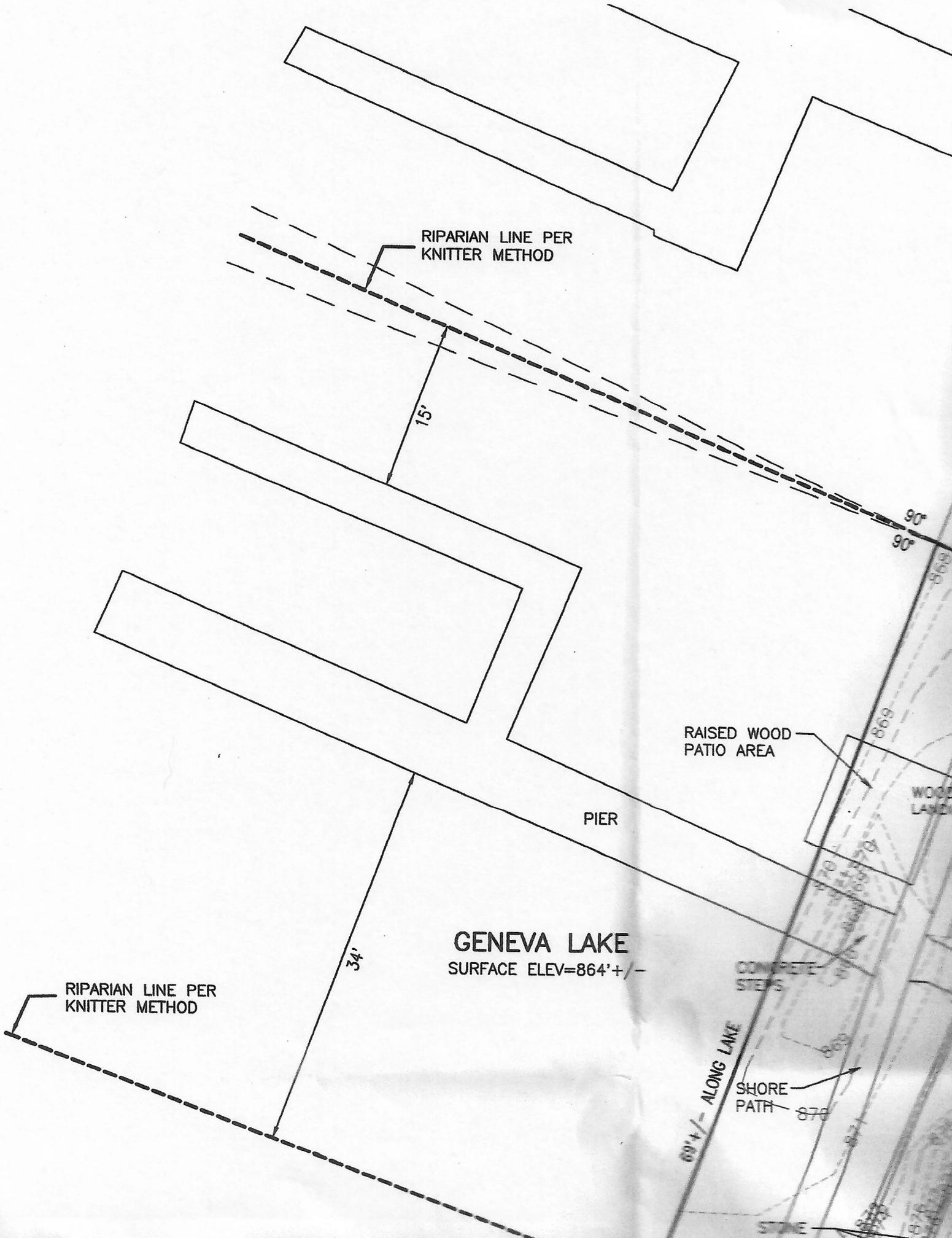
LEGEND
 ○ = FOUND FROM IRON PIPE STAKE
 ● = FOUND FROM REBAR STAKE
 [] = RECORDED AS
 # = SET FROM REBAR STAKE

MAP SCALE IN FEET - ORIGINAL 1"=12'

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTORSHIP AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXISTING BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES, AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT ENCUMBRANCES, EASEMENTS, AND VISIBLE ENCROACHMENTS IF ANY. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THERE WAS NO KNOWLEDGE, NOTICE, OR GUARANTEE THE TITLE THEREIN WITHIN ONE YEAR FROM THE DATE HEREOF.

DATE: 10/10/2017
 BRIAN W. CARLSON P.L.S. 2018



RIPARIAN LINE PER KNITTER METHOD

15'

90°
90°

RAISED WOOD PATIO AREA

PIER

GENEVA LAKE
SURFACE ELEV=864'+/-

RIPARIAN LINE PER KNITTER METHOD

34'

CONCRETE STEPS

60' +/- ALONG LAKE

SHORE PATH
876

WOOD-LAND

869

870

871

872

873

874

875

876

877

TRUSTEE'S DEED

Document No.

Document Name

THIS DEED, made between

George Antonopoulos, Trustee of The George Antonopoulos Self-Declaration of Trust dated November 25, 2008 and Mary Antonopoulos, Trustee of The Mary Antonopoulos Self-Declaration of Trust dated November 25, 2008

("Grantor," whether one or more), and

Serendipity & Sunsets, LLC

("Grantee," whether one or more).

Grantor conveys to Grantee, without warranty, the following described real estate, together with the rents, profits, fixtures and other appurtenant interests, in County of Walworth, State of Wisconsin ("Property") (If more space is needed, please attach addendum):

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Recording Area

Name and Return Address:

Keith F Rozolis
Serendipity & Sunsets, LLC
PO BOX 649
Cary, IL 60013

ZSY 00016

Parcel Identification No. (PIN) WA-10270

This is not homestead property.

Dated: 1-3-18

The George Antonopoulos Self-Declaration of Trust dated November 25, 2008

BY: George Antonopoulos
George Antonopoulos
Trustee

The Mary Antonopoulos Self-Declaration of Trust dated November 25, 2008

BY: Mary Antonopoulos
Mary Antonopoulos
Trustee

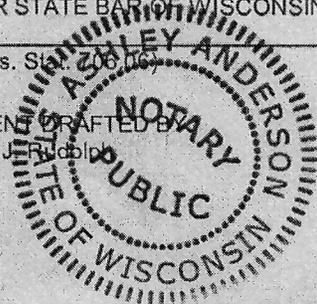
AUTHENTICATION

Signature(s) authenticated on:

Signature lines for authentication

* TITLE: MEMBER STATE BAR OF WISCONSIN
(If not, _____
authorized by Wis. Stat. 206.06)

THIS INSTRUMENT DRAFTED BY
Attorney William J. Radolph



ACKNOWLEDGMENT

State of Wisconsin
County of Walworth

Personally came before me on January 5, 2018
the above named George Antonopoulos and
Mary Antonopoulos

to me known to be the person(s) who executed the foregoing
instrument and acknowledged the same.

Notary Signature

Notary Public

My commission (is permanent) (expires: 10/26/2021)

(Signatures may be authenticated or acknowledged. Both are not necessary.)

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.

TRUSTEE'S DEED

2003 STATE BAR OF WISCONSIN

FORM NO. 7-2003

*Type name below signatures

Handwritten mark

EXHIBIT "A"
Legal Description

Lot 16 of Syverstad Lake Shore Estates: Also that part of Lot 17 of said subdivision described as beginning at the Northwest corner of said Lot 17; thence South 22°04' West along the Westerly line of said Lot 17, 66.73 feet; thence South 66°31' East 26.00 feet; thence North 15°26' East 77.23 feet to the North line of said Lot 17; thence South 83°28' West 19.56 feet to the place of beginning. Said land being in the City of Lake Geneva, County of Walworth, State of Wisconsin.

Tax Key No.: ZSY 00016

(Signatures may be authenticated or acknowledged. Both are not necessary.)

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.

TRUSTEE'S DEED

2003 STATE BAR OF WISCONSIN

FORM NO. 7-2003

*Type name below signatures

LIMITED CONDITIONAL USE RESOLUTION 18-R48

A resolution authorizing the issuance of a Limited Conditional Use Permit to Greg Anagnos, N1567 Clover Rd, Lake Geneva, WI 53147, to allow Commercial Indoor Lodging, at the property located at 501 ½ Broad Street.

WHEREAS, the City Plan Commission has considered the application of Greg Anagnos, for a land use that permits Commercial Indoor Lodging;

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on June 18, 2018.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Limited Conditional Use Permit to Greg Anagnos, N1567 Clover Rd, Lake Geneva, WI 53147, to allow Commercial Indoor Lodging, at the property located at 501 ½ Broad Street, in the Business Central (BC) zoning district,

Tax Key No. ZOP00032

to include all affirmative findings of fact, staff recommendations, and the property restrictions identified in the zoning code section 98-206(k) for Commercial Indoor Lodging.

Granted by action of the Common Council of the City of Lake Geneva this 25th day of June 2018.

Tom Hartz, Mayor

ATTEST:

Lana Kropf, City Clerk

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 18, 2018

Agenda Item: 9

Applicant:

Greg Anagnos
N1567 Clover Rd.
Lake Geneva WI, 53147

Request:

501 ½ Broad Street
Conditional Use Permit (CUP) for
Commercial Indoor Lodging land use in the
Central Business (CB) Zoning District
Tax Key No. ZOP00032

Description:

The applicant is submitting a proposal for the issuance of a Conditional Use Permit (CUP) to utilize the property located at 501 ½ Broad Street for the Commercial Indoor Lodging Services land use located in the Central Business (CB) zoning district.

The request is to allow the property owners rent the units out for a rental term of less than 6 days in accordance with the Commercial Indoor Lodging.

Project Details from CUP Submittal

The proposed request of for this use is a permitted land use in the CB zoning if granted the CUP for the two units located on the second floor.

Staff Review Comments:

In speaking with the applicant, it is understood that the process for this request is that two second floor units will need to have to meet the guidelines for Commercial Indoor Lodging and be applied at the time they wish to rent that unit.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
- b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above, noting that the proposal is a fully consistent with the setback requirements of the Central Business (CB) zoning district.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

ZOP 00032

501 1/2 Broad Street, 729 Dodge Street

NAME AND ADDRESS OF CURRENT OWNER:

Conroy Anagnos

N1567 Cloven rd

Lake Geneva, WI 53147

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER:

262-745-1114

NAME AND ADDRESS OF APPLICANT:

SAME as ABOVE

TELEPHONE NUMBER & EMAIL OF APPLICANT:

chefgug1962@netzero.com

PROPOSED CONDITIONAL USE:

Apartment Rental on existing Apartments
Commercial indoor lodging

ZONING DISTRICT IN WHICH LAND IS LOCATED: Central Business

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

n/a

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Short term lodging for guests
visiting Lake Geneva

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

5-8-18

DATE

SIGNATURE OF APPLICANT

May 7th, 2018

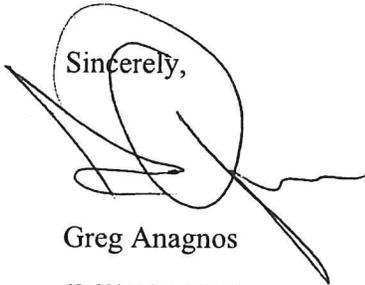
Broad Street Suites

I am applying for a conditional use permit for commercial indoor lodging to allow short term rental of my existing two apartments at ZOP 00032. The apartments are zoned in the central business district and are currently utilized as licensed long-term rentals.

Each two bedroom unit will accommodate 6 persons maximum. There are two assigned private parking spaces behind the property for each unit. The proposed development shall comply with all requirements of Article VII. There will be no outside storage of recreational equipment.

I have attached floor plans of both units, as well as a map indicating private parking.

Sincerely,

A handwritten signature in black ink, appearing to read "Greg Anagnos", written over the word "Sincerely,". The signature is stylized with a large loop and a long horizontal stroke.

Greg Anagnos

(262)745-1114

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The property meets all requirements to operate as a commercial indoor lodging facility.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Same as above

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

no, it does not negatively affect any of the above factors.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The property is located in the central business district and is already being used as a long term rental.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes, this will promote Lake Geneva's visitor population, thus stimulating our economy.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

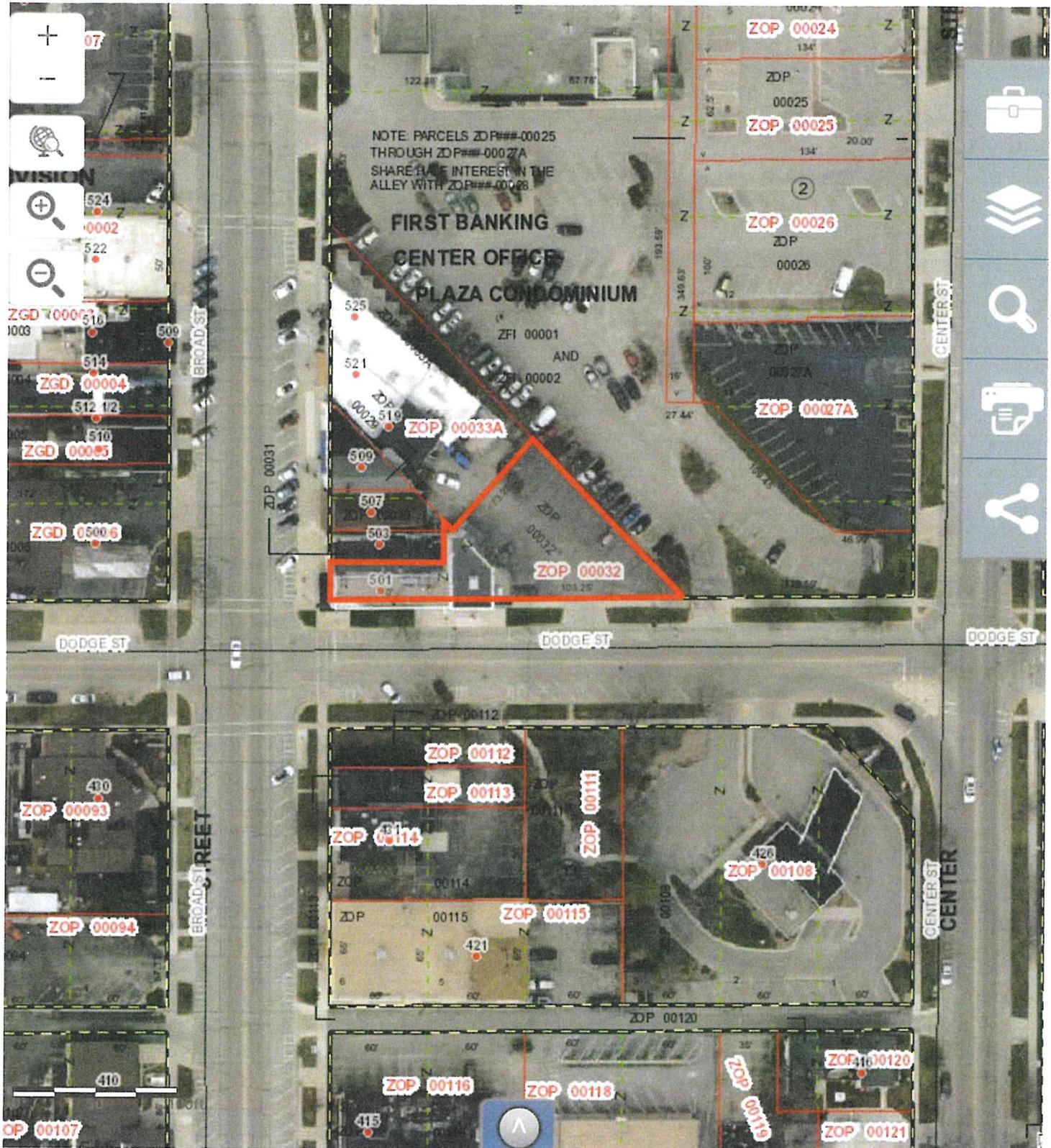
____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____



NOTE PARCELS ZPD###-00025
THROUGH ZPD###-00027A
SHARE HAVE INTEREST IN THE
ALLEY WITH ZPD###-00028

FIRST BANKING CENTER OFFICE PLAZA CONDOMINIUM

ZPD 00024

ZPD 00025

ZPD 00026

ZPD 00027A

ZPD 00033A

ZPD 00032

ZPD 00112

ZPD 00113

ZPD 00114

ZPD 00115

ZPD 00108

ZPD 00116

ZPD 00118

ZPD 00119

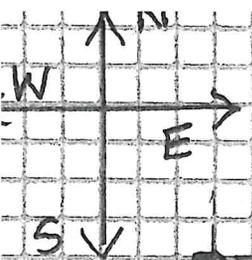
ZPD 00120

ZPD 00121

Map navigation controls including zoom in (+), zoom out (-), and a globe icon.

Map utility icons including a briefcase, a house, a magnifying glass, a document, and a share icon.





* UNIT One
UPPER APARTMENT
(2 BEDROOM)

STAIRWAY → UP

BROAD STREET

BEDROOM 2
8' x 10'

KITCHEN
8' x 12'

BATH
7' x 5'

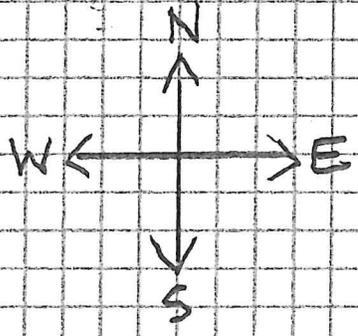
LIVING ROOM
10' x 20' (APPROX)

BEDROOM 1
10' x 10'

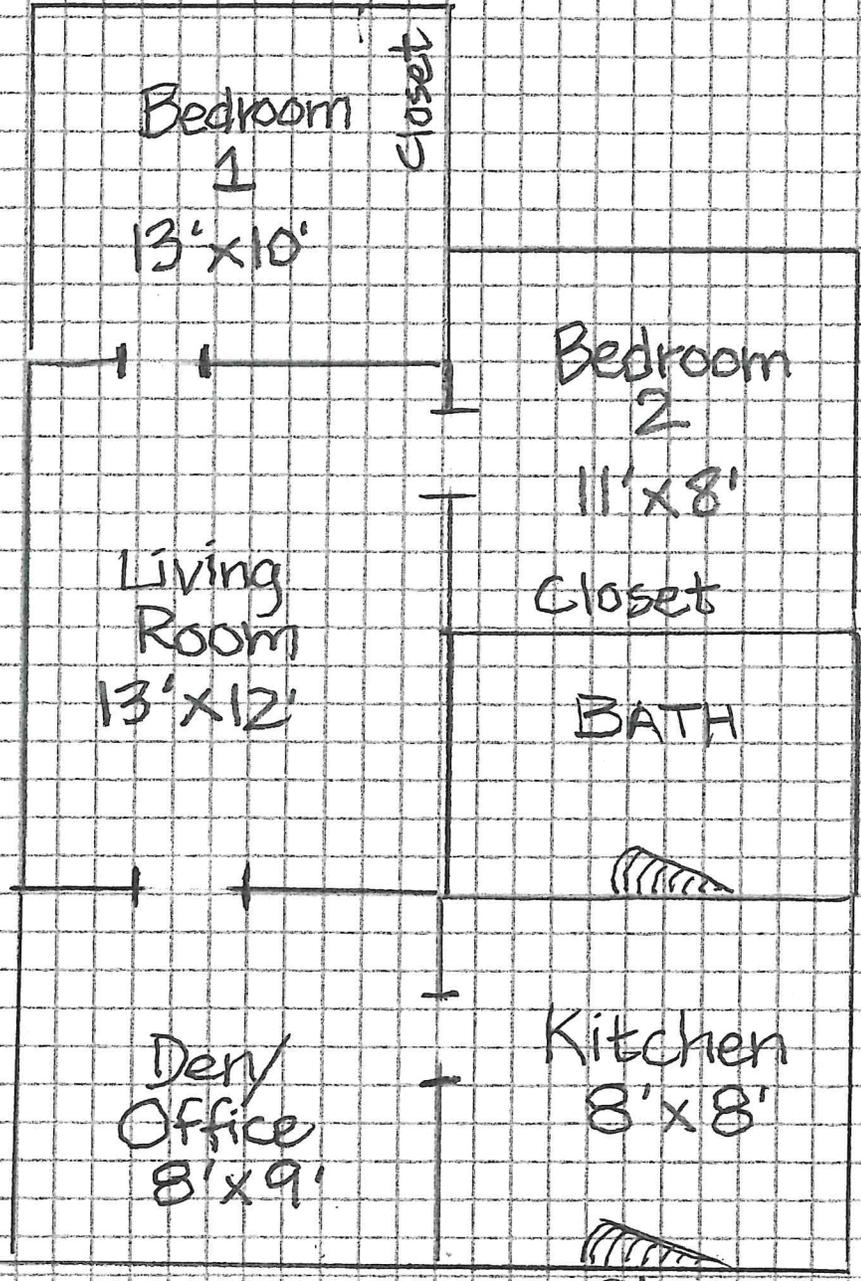
Medusa Restaurant
Below Unit

* TWO DESIGNATED
PARKING SPACES
IN REAR LOT OF
BUILDING →

Dodge Street



*** UNIT TWO
UPPER APARTMENT
(2 Bedroom)**

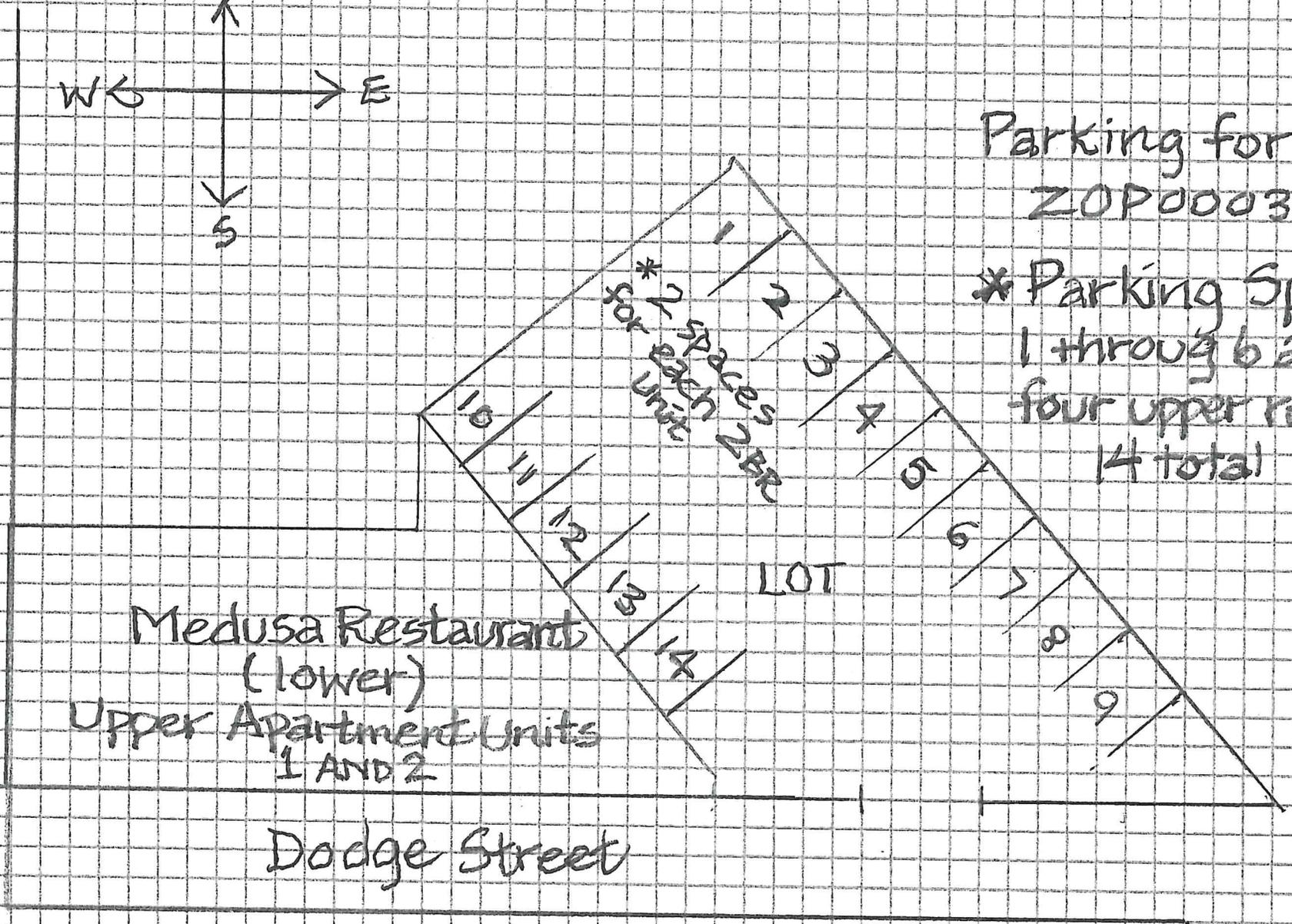
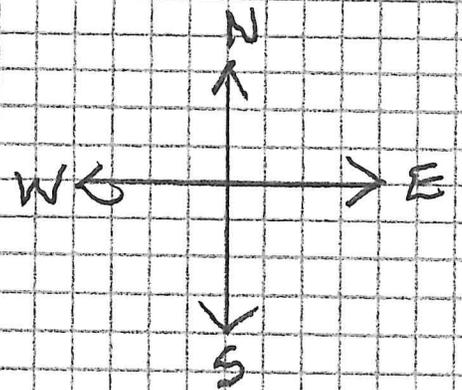


*** Two Designated Parking Spaces
Rear Lot of Building**

*** Medusa
Restaurant
Below Unit**

Dodge Street

Broad Street



Parking for:
ZOP00032

* Parking Spaces
1 through 6 available
for upper rentals.
4 total

Medusa Restaurant
(lower)
Upper Apartment Units
1 AND 2

Dodge Street

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 18, 2018

Agenda Item: 12

Applicant:

Lake Geneva 50120 LLC.
c/o GMX Real Estate Group LLC
3000 Dundee Road suite 408
Northbrook IL 60062

Request:

Amend General Development Plan (GDP)
281 Edwards Blvd, Lake Geneva, WI 53147
Amendment Exterior Building Dimensions

Description:

The applicant is submitting a request to amend the existing General Development Plan (GDP) that was previously issued for the property located at 281 Edwards Blvd. for the exterior building dimension. The current design of the buildings is identified in the submittal as documents "Original Submittal". The requested changes are reflected on the following pages whereas the request is a change to enlarge the existing building to accommodate a potential tenants store size. The City has previously approved the building, building locations, and site plan to include parking.

To clarify this request is only to enlarge the building slightly larger by approximately 6'.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed amendment to the existing General Development Plan (GDP):

As part of the consideration of the requested GDP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed GDP;
- Include *findings* required by the Zoning Ordinance for GDPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the GDP for Recommendation to the Common Council:

A proposed GDP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed amended General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning

Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed amended General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed amended General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed amended General Development Plan (GDP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed amended General Development Plan (GDP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed amended General Development Plan (GDP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed amended General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed amended General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed amended General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed amended General Development Plan (GDP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed amended General Development Plan (GDP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed amended General Development Plan (GDP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed General Development Plan (GDP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed amended General Development Plan (GDP) as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 18, 2018

Agenda Item: 13

Applicant:

Lake Geneva 50120 LLC.
c/o GMX Real Estate Group LLC
3000 Dundee Road suite 408
Northbrook IL 60062

Request:

Amend Precise Implementation Plan (PIP)
281 Edwards Blvd, Lake Geneva, WI 53147
Amendment Exterior Building Dimensions

Description:

The applicant is submitting a request to amend the existing Precise Implementation Plan (PIP) that was previously issued for the property located at 281 Edwards Blvd. for the exterior building dimension. The current design of the buildings is identified in the submittal as documents "Original Submittal". The requested changes are reflected on the following pages whereas the request is a change to enlarge the existing building to accommodate a potential tenant's store size. The City has previously approved the building, building locations, and site plan to include parking.

To clarify this request is only to enlarge the building slightly larger by approximately 6'.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed amendment to the existing Precise Implementation Plan (PIP):

As part of the consideration of the requested PIP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed PIP;
- Include *findings* required by the Zoning Ordinance for PIPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the PIP for Recommendation to the Common Council:

A proposed PIP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed amended Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning

Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed amended Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed amended Precise Implementation Plan (PIP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed amended Precise Implementation Plan (PIP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed amended Precise Implementation Plan (PIP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed amended Precise Implementation Plan (PIP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed amended Precise Implementation Plan (PIP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed amended Precise Implementation Plan (PIP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed amended Precise Implementation Plan (PIP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed amended Precise Implementation Plan (PIP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed amended Precise Implementation Plan (PIP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed amended Precise Implementation Plan (PIP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Precise Implementation Plan (PIP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed amended Precise Implementation Plan (PIP) as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

GENERAL DEVELOPMENT PLAN (GDP) AMENDMENT

Name of Applicant: Lake Geneva 50120, LLC

Address of Applicant: 3000 Dundee Road Suite 408, Northbrook, IL 60062

Attn: Kevin Mottlowitz, Manager, GMX Real Estate Group, LLC,

As Agent on behalf of Lake Geneva 50120, LLC

Telephone No. (847) 680-8600 ext. 301

Email Address: kbm@gmxre.com

Proposed GDP Amendment: Proposed expansion of the second building (Building B)
footprint by +/- 465 sf.

Reason for requesting proposed Amendment: In order to accommodate our proposed tenant,
who requires a minimum of 2,400 sf vs the existing +/- 1,935 sf.

Fee of \$400.00 payable upon filing application.

8/10/19
Date


Signature of Applicant

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

281 N. Edwards Blvd.

Name and Address of Current Owner:

GNI of Eleventh, L.L.C., 2554 Charles Street, Rockford, IL 61108

Attn: Nerino J. Petro, Jr. President/Attorney, The Erickson Group, As Agent on behalf of owner.

Telephone No. with area code & Email of Current Owner: 815.398.1900 (O) | 815.398.1905 (M) | npetro@ericksonrockford.com

Name and Address of Applicant:

Lake Geneva 50120, LLC, 3000 Dundee Road, Northbrook, IL 60062

Attn: Kevin Mottlowitz, Manager, GMX Real Estat eGroup, LLC, As Agent on behalf of Lake Geneva 50120, LLC

Telephone No. with area code & Email of Current Owner: 847.680.8600 Ext. 301 | kbm@gmxre.com

Proposed Use:

Extension of second commercial building to the west to accomodate national dental, retail, & restaurant.

Zoning District in which land is located: Planned Business Commercial

Names and Addresses of architect, professional engineer and contractor of project:

JTS Architects - 450 E Higgins Rd. Ste 202, Elk Grove Village, IL 60007

RTM Engineering - 650 E Algonquin Rd. Ste 250, Schaumburg, IL 60173

ICSI General Contractor - 21675 Gateway Dr., Brookfield, WI 53045

Short statement describing activities to take place on site:

Existing Starbucks & AT&T opened summer/fall of 2017. The proposed second building and the proposed extension would commence spring 2018 for tenant openings in the fall of 2018. This would be the completion of the development project. The overall plan and design were previously approved in the Fall of 2016 at which time the PIP amendment was approved. Applicant is seeking another site amendment in order to receive approval to make extension modifications to the previously approved building design.

PIP Amendment fee \$400.00, payable upon filing application.

5/10/18

Date

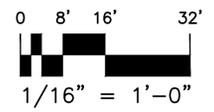
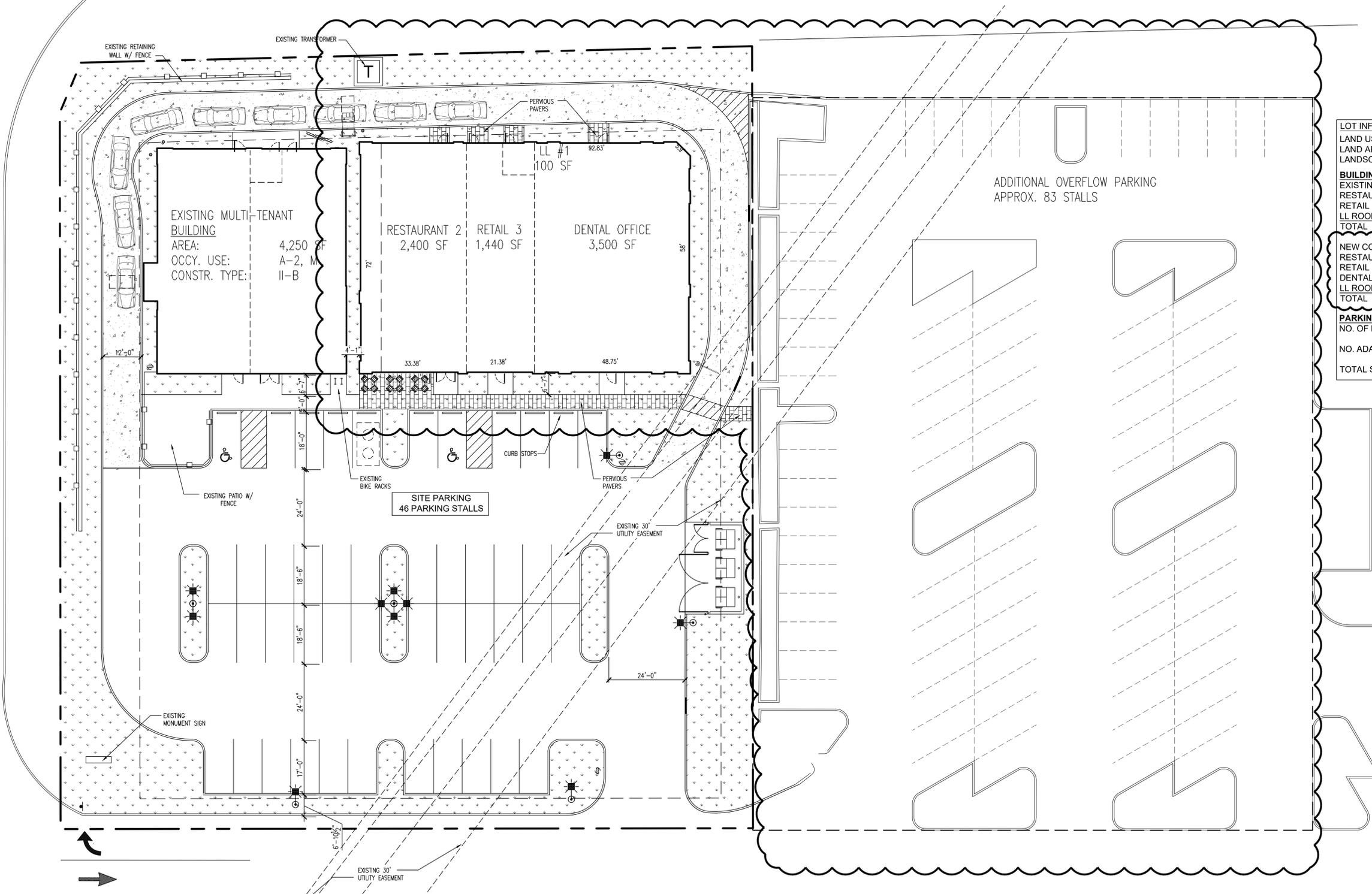


Signature of Applicant

These documents in this form, electronic media, are being provided at your request. The information contained herein is preliminary in nature and may only be utilized for the current project. All document information contained herein is preliminary and not intended to be used for construction, bidding, or other purposes. The user shall be responsible for the accuracy of the information contained herein. The user shall be responsible for the accuracy of the information contained herein. The user shall be responsible for the accuracy of the information contained herein.

EDWARDS BLVD

S.T.H. 50



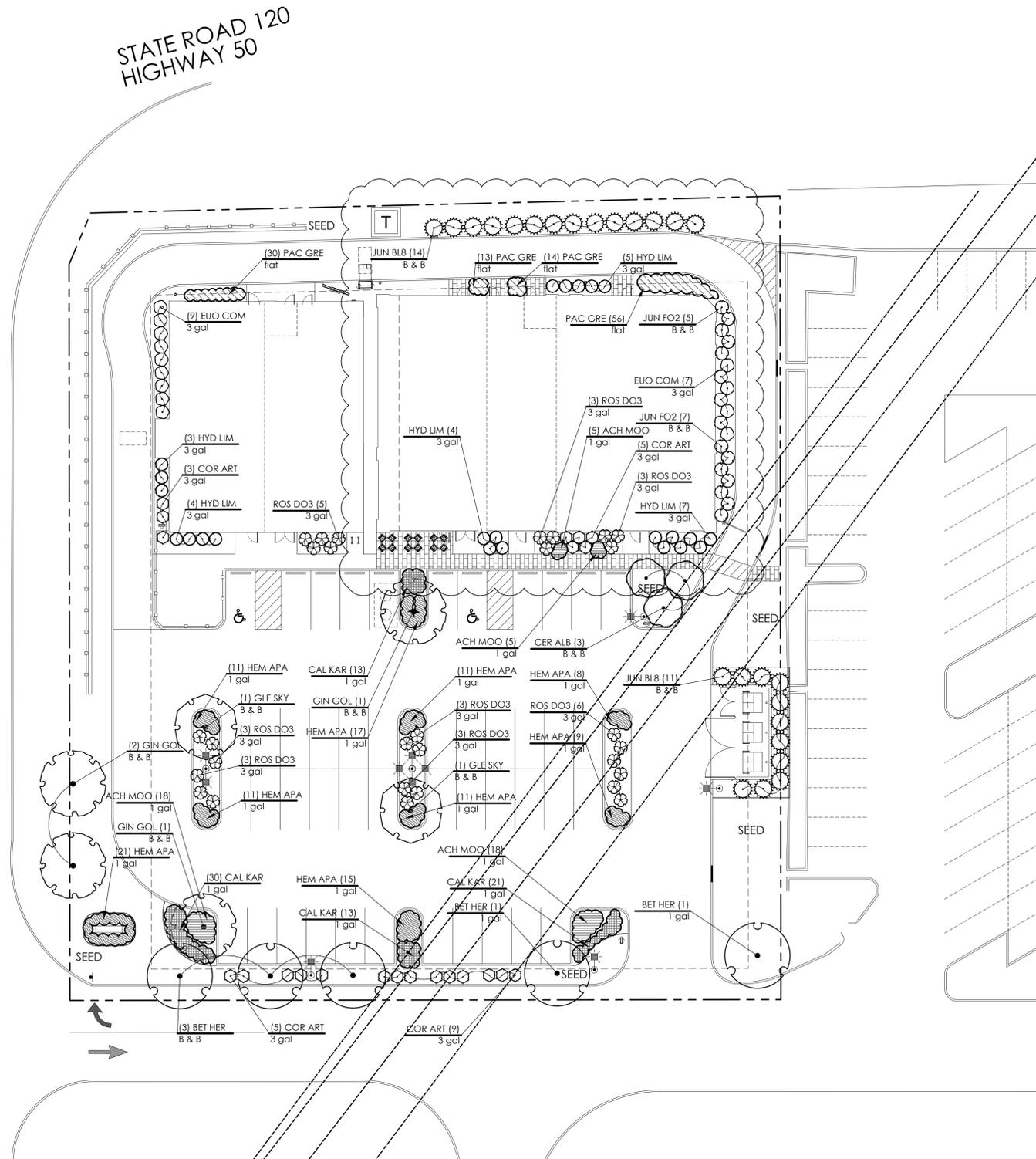
ARCHITECTURAL SITE PLAN
 SCALE: 1/16" = 1'-0"



LOT INFORMATION	
LAND USE:	COMMERCIAL
LAND AREA:	1.214 ACRES
LANDSCAPE AREA:	25.0%
BUILDING AREA	
EXISTING CONSTRUCTION:	
RESTAURANT 1	2,115 SF
RETAIL 1	2,030 SF
LL ROOM 1	105 SF
TOTAL	4,250 SF
NEW CONSTRUCTION:	
RESTAURANT 2	2,400 SF
RETAIL 3	1,440 SF
DENTAL OFFICE	3,500 SF
LL ROOM 2	100 SF
TOTAL	7,440 SF
PARKING DATA	
NO. OF PARKING STALLS:	44
NO. ADA STALLS:	2
TOTAL STALLS PROVIDED:	46





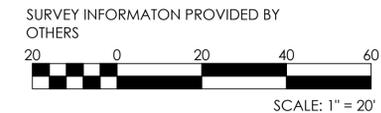


PLANT TYPE	REQUIREMENTS:	QTY.	PTS.
PERIMETER FOUNDATION:			
LOW DECIDUOUS TREE		3	20
MEDIUM EVERGREEN SHRUB		12	60
MEDIUM DECIDUOUS SHRUB		58	174
TOTAL:	253 POINTS		
STREET PLANTING:			
CLIMAX DECIDUOUS TREE	50% = 110 POINTS	2	150
MEDIUM DECIDUOUS TREE	30% = 70 POINTS	5	75
TOTAL:	180 POINTS		
PARKING LOT PLANTING:			
CLIMAX DECIDUOUS TREE		2	150
TALL DECIDUOUS TREE	30% = 59 POINTS	2	60
MEDIUM DECIDUOUS SHRUB	40% = 78 POINTS	37	111
PERENNIALS	702 SF		1010 SF
TOTAL:	192 POINTS		
FLOOR AREA:			
MEDIUM EVERGREEN SHRUB		25	125
TOTAL:	116 POINTS		

OVERALL PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
BET HER	Betula nigra 'Heritage' / Heritage River Birch	B & B	2.5"Cal	6' trunk ht.	5
CER ALB	Cercis canadensis 'Alba' / White Eastern Red Bud	B & B	2.5"Cal	6' trunk ht.	3
GIN GOL	Ginkgo biloba 'Golden Globe' / Golden Globe Ginkgo	B & B	2.5"Cal		4
GLE SKY	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B & B	2.5"Cal		2
SHRUBS					
	BOTANICAL NAME / COMMON NAME	SIZE	HEIGHT		QTY
COR ART	Cornus sericea 'Artic Fire' / Artic Fire Dogwood	3 gal	24" H		22
EYO COM	Euonymus alatus 'Compactus' / Compact Burning Bush	3 gal	36" H		16
HYD LIM	Hydrangea paniculata 'Limelight' TM / Limelight Hydrangea	3 gal	24" H		23
JUN FO2	Juniperus chinensis 'Sea Green' / Sea Green Juniper	B & B	24" H		12
JUN BL8	Juniperus virginiana 'Blue Mountain' / Blue Mountain Juniper	3 gal	36" H		25
ROS DO3	Rosa x 'Double Knockout' / Rose	3 gal	24" H.		29
GROUND COVERS					
	BOTANICAL NAME / COMMON NAME	CONT	SPACING		QTY
ACH MOO	Achillea x 'Moonshine' / Moonshine Yarrow	1 gal	24" o.c.		46
CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	24" o.c.		74
HEM APA	Hemerocallis x 'Chicago Apache' / Daylily	1 gal	24" o.c.		94
PAC GRE	Pachysandra terminalis 'Green Carpet' / Japanese Spurge	flat	18" o.c.		113
SEED	Bluegrass, Rye and Fescue Blend with Blanket		13,000 SF		

NOTE:
SEED ALL AREAS DISTURBED DURING CONSTRUCTION



REV.	COMMENT	DATE
0	Tree Adjustment	11/16/16
0	Plan Phasing	2/8/17
0	Base Change	5/15/18

SEAL:



DATE: 10/20/2016
JOB NO.: 16-868
DRAWN BY: CW
CHECKED BY: TS

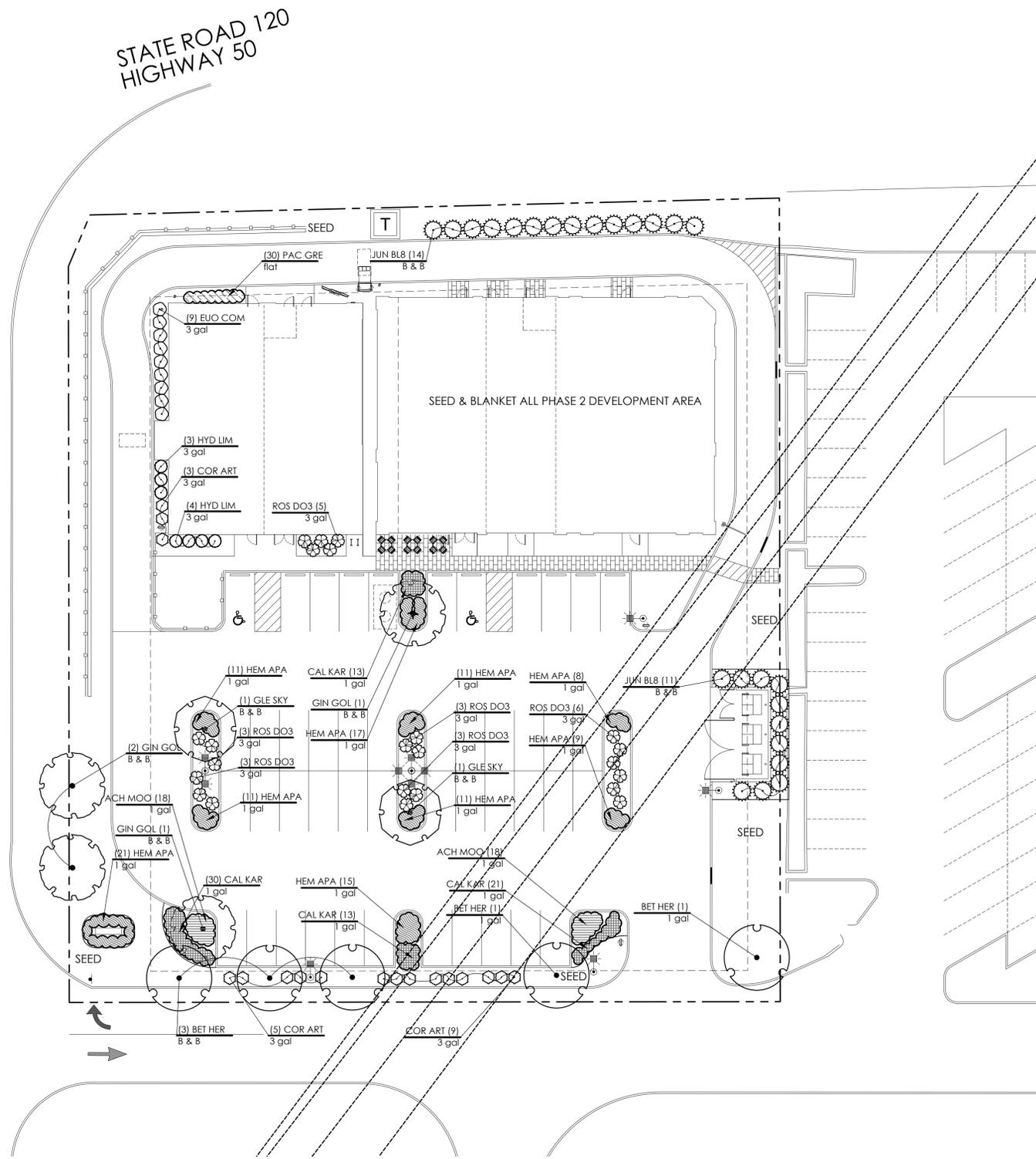
DRAWING TITLE:
OVERALL LANDSCAPE PLAN
SHEET NO.:

LP-100

THE SHOPS AT
LAKE GENEVA



1280 Iroquois Avenue
Suite 110
Naperville, Illinois 60563
Telephone: (630) 428-3134
Fax: (630) 428-3159
www.design-perspectives.net



Phase 1 PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
BET HER	Betula nigra 'Heritage' / Heritage River Birch	B & B	2.5"Cal	6' trunk ht.	5
GIN GOL	Ginkgo biloba 'Golden Globe' / Golden Globe Ginkgo	B & B	2.5"Cal		4
GLE SKY	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B & B	2.5"Cal		2
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	HEIGHT	QTY	
COR ART	Cornus sericea 'Artic Fire' / Artic Fire Dogwood	3 gal	24" H	17	
EUO COM	Euonymus alatus 'Compactus' / Compact Burning Bush	3 gal	36" H	9	
HYD LIM	Hydrangea paniculata 'Limelight' TM / Limelight Hydrangea	3 gal	24" H	7	
JUN BL8	Juniperus virginiana 'Blue Mountain' / Blue Mountain Juniper	3 gal	36" H	25	
ROS DO3	Rosa x 'Double Knockout' / Rose	3 gal	24" H.	23	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	
ACH MOO	Achillea x 'Moonshine' / Moonshine Yarrow	1 gal	24" o.c.	36	
CAL KAR	Calamagrostis x 'Karl Foerster' / Feather Reed Grass	1 gal	24" o.c.	74	
HEM APA	Hemerocallis x 'Chicago Apache' / Daylily	1 gal	24" o.c.	94	
PAC GRE	Pachysandra terminalis 'Green Carpet' / Japanese Spurge	flat	18" o.c.	30	
SEED	Bluegrass, Rye and Fescue Blend with Blanket	12,500 SF			

REV.	COMMENT	DATE
0	Tree Adjustment	11/16/16
0	Plan Phasing	2/8/17
0	Base Change	5/15/18

SEAL:



DATE: 10/20/2016
JOB NO.: 16-868
DRAWN BY: CW
CHECKED BY: TS

DRAWING TITLE:
**PHASE 1
LANDSCAPE
PLAN**
SHEET NO.:

LP-101

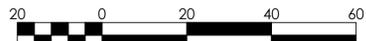
© DESIGN PERSPECTIVES INC. ALL RIGHTS RESERVED

NOTE:
SEED ALL AREAS DISTURBED DURING CONSTRUCTION



NORTH

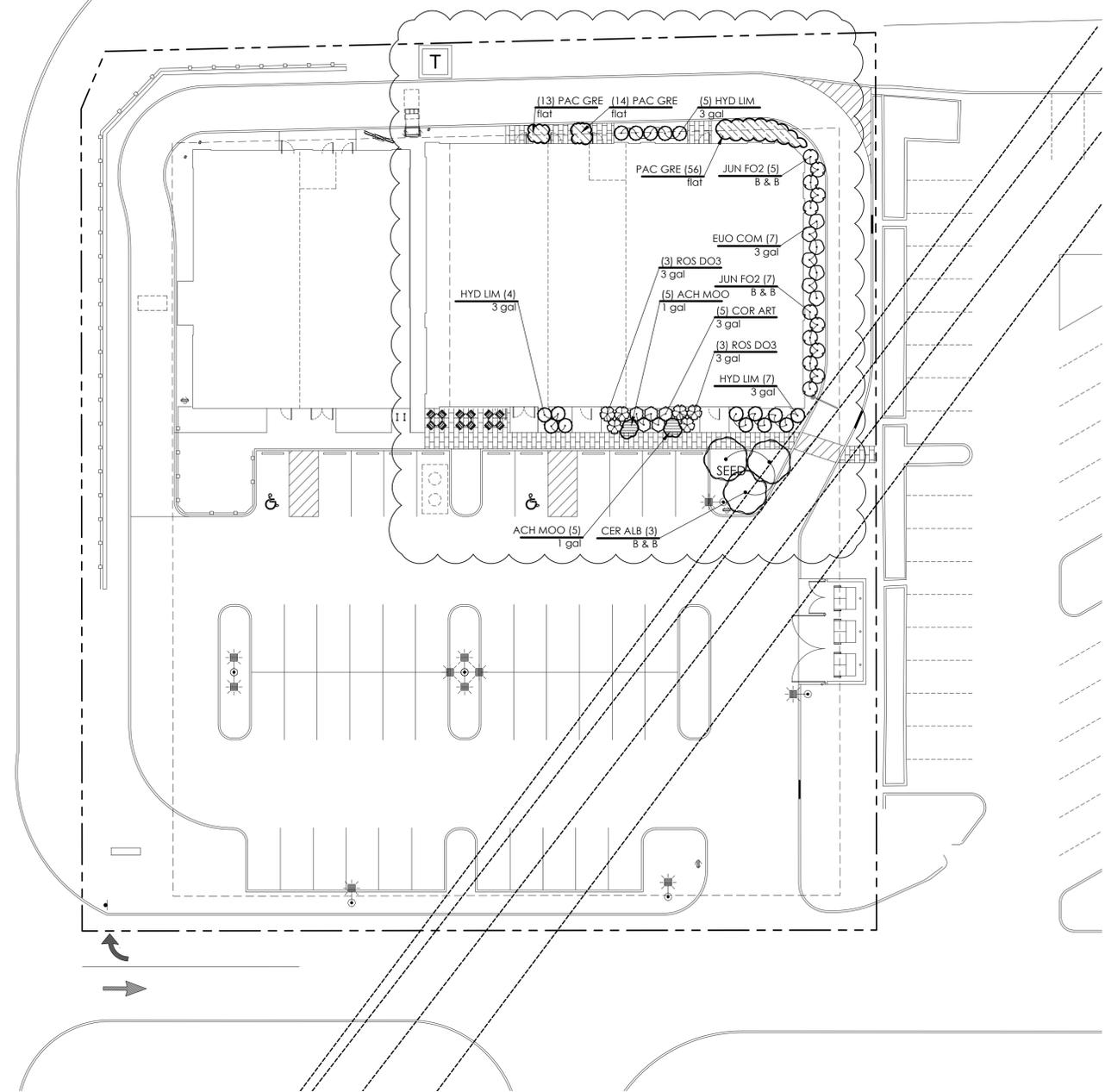
SURVEY INFORMATION PROVIDED BY
OTHERS



SCALE: 1" = 20'

STATE ROAD 120
EDWARDS BLVD

STATE ROAD 120
HIGHWAY 50



Phase 2 PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
CER ALB	Cercis canadensis 'Alba' / White Eastern Red Bud	B & B	2.5' Cal	6' trunk ht.	3
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	HEIGHT	QTY	
COR ART	Cornus sericea 'Arctic Fire' / Arctic Fire Dogwood	3 gal	24" H	5	
EVO COM	Euonymus alatus 'Compactus' / Compact Burning Bush	3 gal	36" H	7	
HYD LIM	Hydrangea paniculata 'Limelight' TM / Limelight Hydrangea	3 gal	24" H	16	
JUN FO2	Juniperus chinensis 'Sea Green' / Sea Green Juniper	B & B	24" H	12	
ROS DO3	Rosa x 'Double Knockout' / Rose	3 gal	24" H	6	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	
ACH MOO	Achillea x 'Moonshine' / Moonshine Yarrow	1 gal	24" o.c.	10	
PAC GRE	Pachysandra terminalis 'Green Carpet' / Japanese Spurge	flat	18" o.c.	83	
SEED	Bluegrass, Rye and Fescue Blend with Blanket	300 SF			

REV.	COMMENT	DATE
0	Tree Adjustment	11/16/16
0	Plan Phasing	2/8/17
0	Base Change	5/15/18

SEAL:



DATE: 3/15/2018
JOB NO.: 16-868
DRAWN BY: CW
CHECKED BY: TS

DRAWING TITLE:
**PHASE 2
LANDSCAPE
PLAN**
SHEET NO.:

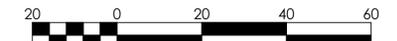
LP-102

NOTE:
SEED ALL AREAS DISTURBED DURING CONSTRUCTION

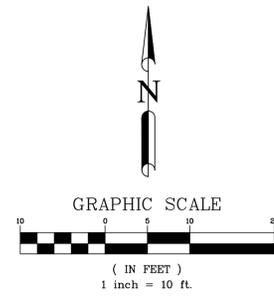


NORTH

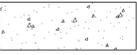
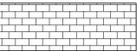
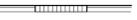
SURVEY INFORMATION PROVIDED BY
OTHERS



SCALE: 1" = 20'



LEGEND

-  **CONCRETE:**
 SIDEWALKS/PATIO:
 5" PC CONCRETE
 OVER 6" OF 3/4" CRUSHED AGGREGATE.
 DUMPSTER APRON:
 6" PC CONCRETE WITH 6"x6" W2.9xW2.9 W.W.F.
 OVER 6" OF 3/4" CRUSHED AGGREGATE
 DRIVE APRON:
 6" PC CONCRETE WITH 6"x6" W2.9xW2.9 W.W.F.
 OVER 6" OF 1 1/2" CRUSHED AGGREGATE
-  EXISTING IMPROVEMENTS SHOWN PER THE ORIGINAL DESIGN DRAWINGS.
 NOTE: CONTRACTOR TO VERIFY AS-BUILT CONDITIONS AND NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES THAT AFFECT THEIR WORK. EXISTING IMPROVEMENTS DAMAGED IN THE COURSE OF THE WORK SHALL BE REPAIRED / REPLACED TO OWNERS SATISFACTION.
-  PERMEABLE PAVER WALK:
 SEE DETAIL SHEET C6.0 AND MANUFACTURER'S SPECIFICATIONS
-  REMOVAL OF SIDEWALKS:
 SEE NOTES THIS SHEET FOR FURTHER INFORMATION.
-  CURB AND GUTTER CURB
-  CURB AND GUTTER DEPRESSED
-  CURB TRANSITION, SEE GRADING PLAN FOR ELEVATIONS
-  REVERSE GUTTER PITCH (AWAY FROM CURB)
-  EXISTING CURB
-  EXISTING STRIPING
-  EXISTING SIDEWALK
-  PARKING STALL COUNT
-  SIGN AND STRIPING CALLOUT
-  POLE MOUNTED AREA LIGHT

NOTES:

1. ALL DIMENSIONS ALONG CURB LINES ARE TO BACK OF CURB, UNLESS NOTED OTHERWISE.
2. BUILDINGS AND ADJACENT TO BUILDING IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED UPON THE BUILDING PLANS PROVIDED BY OTHERS AT THE DATE OF THESE PLANS BEING PREPARED. BUILDING PLANS NORMALLY CONTINUE TO CHANGE AFTER SITE PLANS HAVE BEEN APPROVED. THEREFORE THE CONTRACTOR SHALL USE THE BUILDING PLANS FOR FINAL BUILDING IMPROVEMENTS, AND VERIFY THAT ALL ADJACENT IMPROVEMENTS ARE CONSISTENT WITH THE DESIGN INTENT AND REQUIREMENTS OF THE SITE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF CLARIFICATION IS NEEDED, OR IF CONFLICTS OR INCONSISTENCIES EXIST.
3. ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPUT LAND SURVEYS, LLC. DATED MAY 10, 2016.
4. BUILDING ARE PARALLEL AND PERPENDICULAR TO THE WEST PROPERTY LINE. DIMENSIONS ARE SUGGESTED DIMENSIONS. CONTRACTOR SHALL MEET ALL OSHA TRENCH REQUIREMENTS AND ADJUST DIMENSIONS ACCORDINGLY. MINIMUM DISTURBANCE SHALL BE APPLIED.
5. CONTRACTOR SHALL LOCATE TOPS OF EXISTING 54 INCH PIPING RUNNING THROUGH EASEMENT.
6. SEE ARCHITECTURAL DRAWINGS FOR DIRECTIONAL SIGNAGE AND DRIVE THROUGH EQUIPMENT.

PARKING SUMMARY

	PROPOSED
REGULAR STALLS (9'x18')	9
REGULAR STALLS (9'x18.5')	24
REGULAR STALLS (9'x17')	11
HANDICAP STALLS (18'x18')	2
TOTAL	46

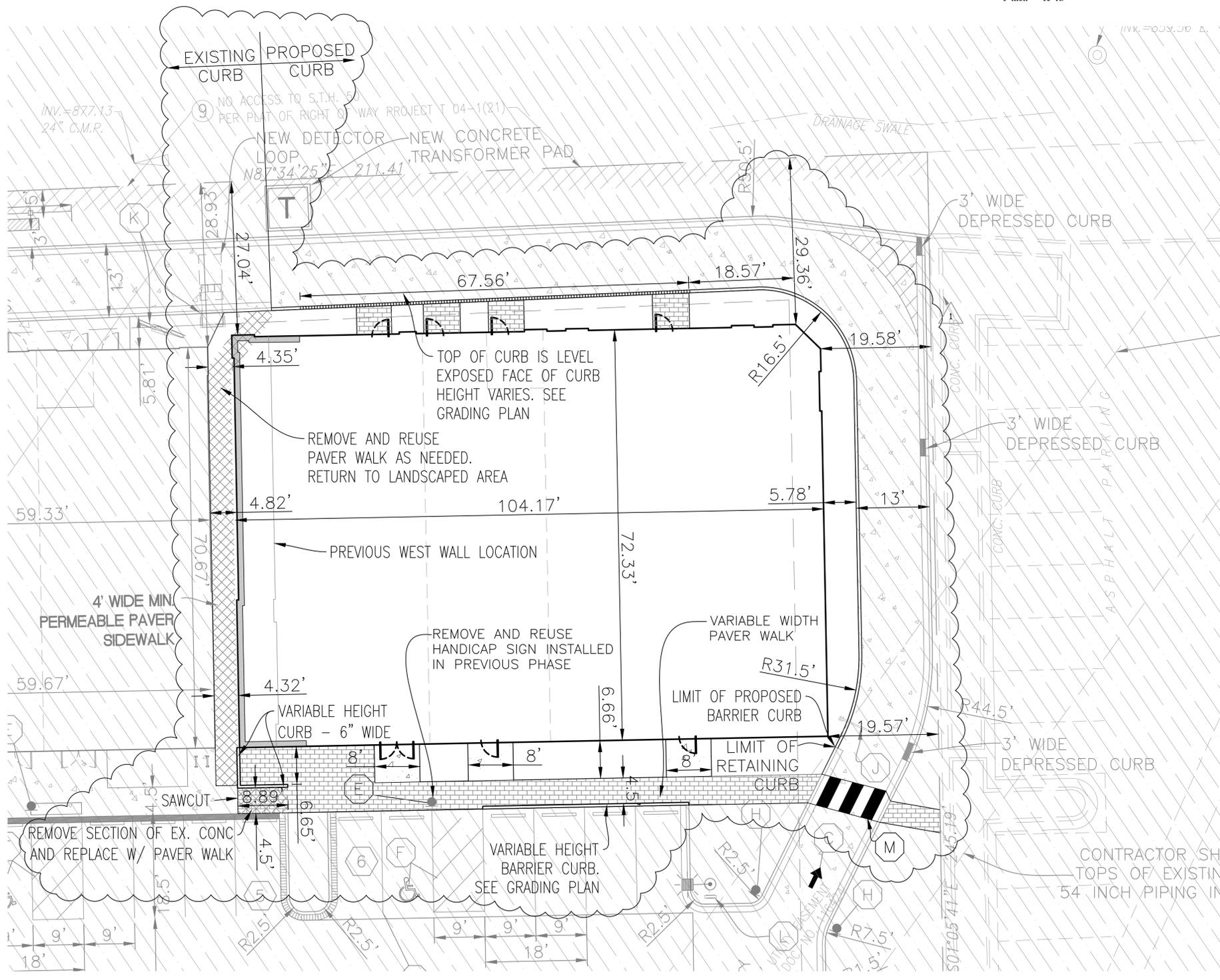
(X) SIGNING AND STRIPING SCHEDULE

- A. "STOP" SIGN
- B. 24" WIDE STOP BAR *
- C. PAINTED DIRECTIONAL ARROW *
- D. "DO NOT ENTER" SIGN *
- E. HANDICAP SIGN (\$250 FINE)
- F. HANDICAP STRIPING (SEE DETAIL) *
- G. 4" PAINTED PARKING STALL STRIPE *
- H. "DRIVE THRU" SIGN
- I. MONUMENT SIGN (SEE ARCH. DWG.)
- J. CLEARANCE BAR (SEE ARCH. DWG.)
- K. DIGITAL ORDER SCREEN AND MENU BOARD (SEE ARCH. DWG.)
- L. DIRECTIONAL SIGN (SEE ARCH. DWG.)
- M. CROSSWALK STRIPING

* ON SITE PAVEMENT MARKINGS AND GRAPHICS SHALL CONSIST OF TWO (2) COATS OF WHITE PAINT APPLIED A MINIMUM OF 30 DAYS APART. STRIPING AND GRAPHICS AT ENTRY DRIVES SHALL BE THERMOPLASTIC AS NOTED. SHALL MEET WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARDS.



EXPIRES 11-30-2019



No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION	No.
0	03/15/18	ISSUED FOR PERMIT							
1	05/15/18	BUILDING EXPANSION							



715 Ridgeway Drive, McHenry, IL 60050 T: 815.578.0200 www.rtmassociates.com

GEOMETRIC PLAN

THE SHOPS AT LAKE GENEVA - BUILDING #2

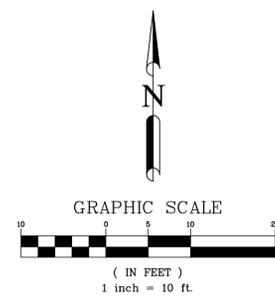
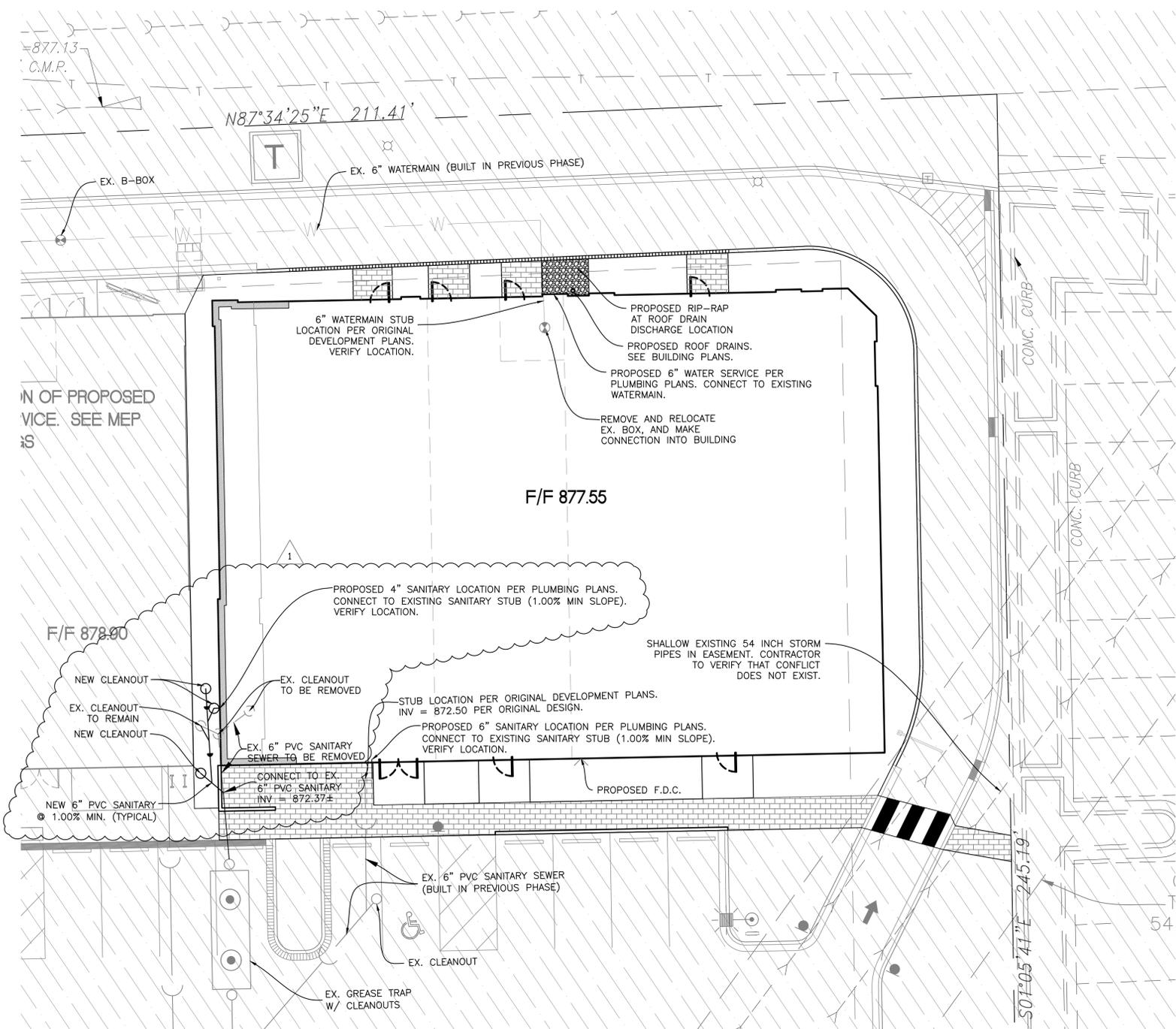
LAKE GENEVA, WI

PROJECT NAME: THE SHOPS AT LAKE GENEVA - BUILDING #2

PROJECT No. 15.GMX.009

SHEET No. C2

NOT FOR CONSTRUCTION



LEGEND

	EXISTING	PROPOSED
SANITARY SEWER	—	—
SANITARY SERVICE	—	—
STORM SEWER	—	—
STORM SERVICE	—	—
WATERMAIN	— W —	— W —
GAS MAIN	— G —	— G —
TELEPHONE LINE	— TV —	—
ELECTRIC LINE	— E —	— E —
OVERHEAD WIRES	— OHW —	—
CATCH BASIN/INLET	⊙	⊙
MANHOLE	⊙	⊙
CLEAN OUT	⊙	⊙
VALVE BOX/VAULT	⊙	⊙
FIRE HYDRANT	⊙	⊙
B-BOX	⊙	⊙
LIGHTS (SEE BLDG PLANS)	⊙	⊙

EXISTING IMPROVEMENTS SHOWN PER THE ORIGINAL DESIGN DRAWINGS.
 NOTE: CONTRACTOR TO VERIFY AS-BUILT CONDITIONS AND NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES THAT AFFECT THEIR WORK. EXISTING IMPROVEMENTS DAMAGED IN THE COURSE OF THE WORK SHALL BE REPAIRED / REPLACED TO OWNERS SATISFACTION.

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
0	03/15/18	ISSUED FOR PERMIT			
1	05/15/18	BUILDING EXPANSION			

PROJECT NAME
 THE SHOPS AT LAKE GENEVA - BUILDING #2
 281 NORTH EDWARDS BLVD. LAKE GENEVA, WI

SHEET NAME
 UTILITY PLAN

PROJECT No.
 15.GMX.009

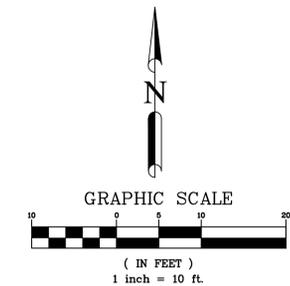
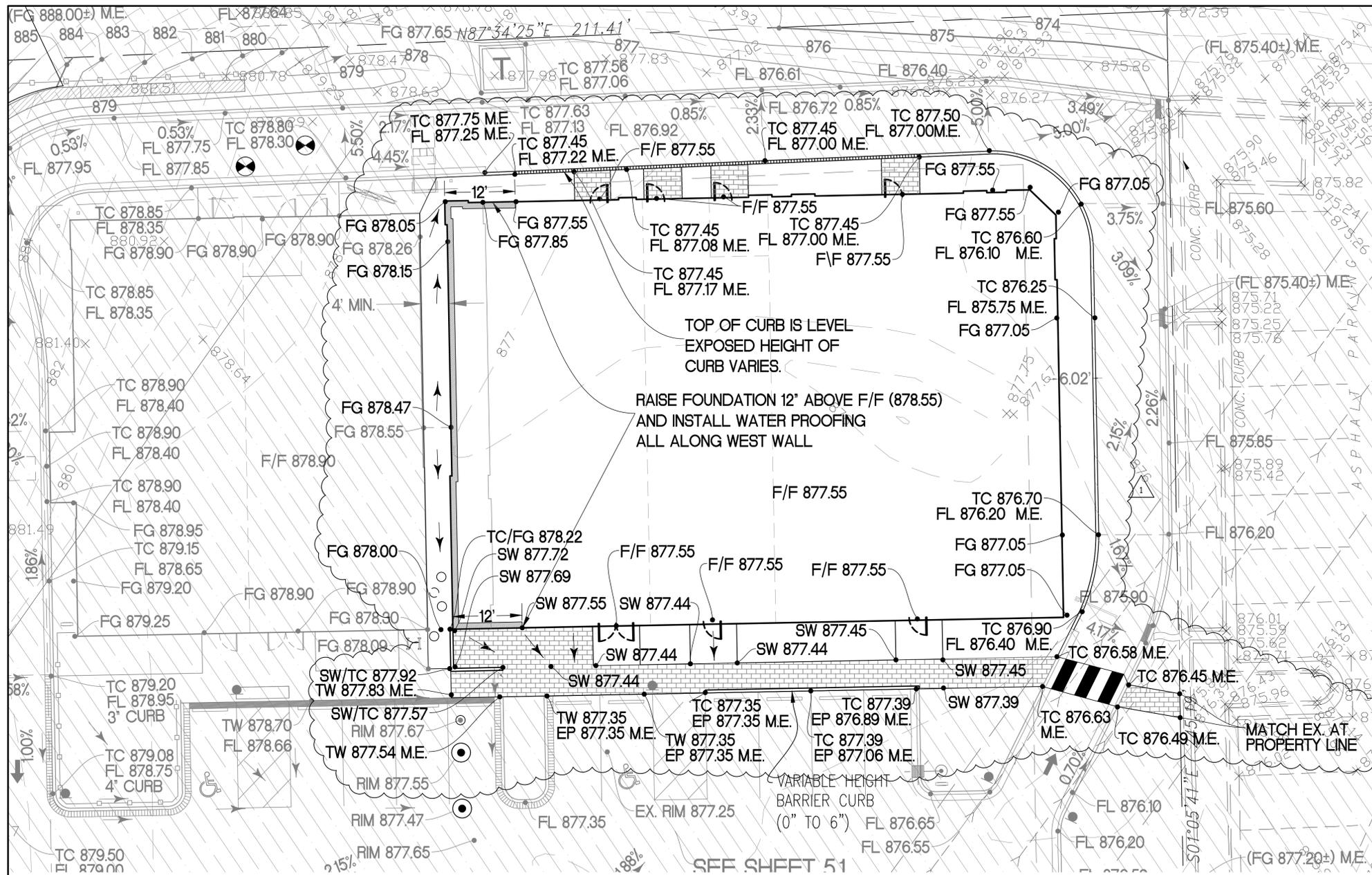
SHEET No.
 C3

NOT FOR CONSTRUCTION

rtm
 engineering consultants
 715 Ridgeway Drive, McHenry, IL 60050 T:815.578.0200 www.rtmassociates.com



EXPIRES 11-30-2019



LEGEND

	EXISTING	PROPOSED
1 FOOT CONTOUR		
5 FOOT CONTOUR		
SURFACE ELEVATION		
RECORD SURFACE ELEVATION		
DIRECTION OF FLOW		
OVERLAND OVERFLOW		
CATCH BASIN / INLET		
MANHOLE		
WATERMAIN VALVE		
SAWTOOTH LINE		
RIDGE LINE		
GRADE CHANGE SLOPE AREA		
TOP OF CURB		
TOP OF DEPRESSED CURB		
FLOW LINE		
TOP OF PAVEMENT		
TOP OF SIDEWALK		
TOP OF FINISHED GRADE		
TOP OF UTILITY STRUCTURE		
TOP OF WALL		
BOTTOM OF WALL		
FINISHED FLOOR		
MATCH OR MEET EXIST GRADE		
CRITICAL GRADE		
CURB AND GUTTER CURB		
CURB AND GUTTER DEPRESSED		
CURB TRANSITION		
REVERSE GUTTER PITCH (AWAY FROM CURB)		

EXISTING IMPROVEMENTS SHOWN PER THE ORIGINAL DESIGN DRAWINGS.
 NOTE: CONTRACTOR TO VERIFY AS-BUILT CONDITIONS AND NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES THAT AFFECT THEIR WORK. EXISTING IMPROVEMENTS DAMAGED IN THE COURSE OF THE WORK SHALL BE REPAIRED / REPLACED TO OWNERS SATISFACTION.

NOTES:

1. PROPOSED ELEVATIONS SHOWN ON PROPOSED CURB LINES ARE FLOW LINE ELEVATIONS UNLESS NOTED OTHERWISE. ADD 0.50' TO OBTAIN TOP OF CURB ELEVATIONS. HOWEVER, PLEASE KEEP IN MIND THAT ALL CURBS ARE NOT 0.50' TALL. PAY CLOSE ATTENTION TO ALL CURB TRANSITIONS. IN THESE AREAS THE CURB HEIGHTS ARE VARIABLE.
2. A CONSTANT SLOPE SHALL BE MAINTAINED BETWEEN SPOT GRADES.
3. RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
4. ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPUT LAND SURVEYS, LLC., DATED MAY 10, 2016.
5. HANDICAP SPACES SHALL NOT EXCEED 2% SLOPE IN ALL DIRECTIONS.
6. SIDEWALK TO BE USED AS A HANDICAP ACCESSIBLE ROUTE, SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.

NOTES:
 M.E. DENOTES MEET EXISTING ELEVATION. IF EXISTING ELEVATIONS DO NOT MATCH ORIGINAL PLAN GRADES SHOWN OR CREATES A GRADING PROBLEM NOTIFY ENGINEER IMMEDIATELY.

PROJECT NAME	THE SHOPS AT LAKE GENEVA - BUILDING #2
PROJECT No.	15.GMX.009
SHEET No.	C4
DATE	11/05/19/18
DESCRIPTION	BUILDING EXPANSION
ISSUED FOR PERMIT	11/05/19/18
DATE	11/05/19/18
DESCRIPTION	BUILDING EXPANSION
DATE	11/05/19/18
DESCRIPTION	BUILDING EXPANSION

GRADING PLAN

PROJECT NAME
 THE SHOPS AT LAKE GENEVA - BUILDING #2
 PROJECT No.
 15.GMX.009
 SHEET No.
 C4



EXPIRES 11-30-2019

NOT FOR CONSTRUCTION

SPECIAL PROVISIONS

- 1. THE MUNICIPAL AUTHORITY GOVERNING THIS WORK IS THE CITY OF LAKE GENEVA. IN EVENT OF CONFLICT, MUNICIPAL REQUIREMENTS SHALL GOVERN.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING SPECIFICATIONS. IF A CONFLICT ARISES BETWEEN ANY PROVISION(S) OF THESE STANDARDS AND SPECIFICATIONS, THEN THE MOST RESTRICTIVE PROVISION(S) SHALL APPLY.
A. CITY OF LAKE GENEVA MUNICIPAL CODE.
B. WISCONSIN DEPARTMENT OF TRANSPORTATION (W.D.O.T.) "STANDARD SPECIFICATIONS" LATEST EDITION.
C. "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (M.U.T.C.D.) LATEST EDITION.
D. AMERICAN ASSOCIATION OF STATE HIGHWAY TRANSPORTATION OFFICIALS, AND SPECIFICALLY, "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS."
E. WISCONSIN DEPARTMENT OF NATURAL RESOURCES, "CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK" LATEST EDITION.
F. WISCONSIN DEPARTMENT OF TRANSPORTATION, "FACILITIES DEVELOPMENT MANUAL" LATEST EDITION.
G. "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" LATEST EDITION.
H. "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" STATE OF WISCONSIN, DEPARTMENT OF TRANSPORTATION.
I. AMERICAN SOCIETY FOR TESTING AND MATERIALS, (ASTM)
J. AMERICAN WATER WORKS ASSOCIATION, (AWWA)
K. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
3. IN THE EVENT OF CONFLICTS, ERRORS, OR AMBIGUITIES IN THE DOCUMENTS CLIENT AND OR CONTRACTOR SHALL IMMEDIATELY, AND BEFORE ANY WORK HAS BEGUN OR COSTS INCURRED, REQUEST CLARIFICATION FROM THE ENGINEER WHOSE INTERPRETATION SHALL BE FINAL AND BINDING UPON ALL PARTIES CONCERNED. NEITHER CLIENT NOR CONTRACTOR SHALL TAKE ADVANTAGE OF CONFLICTS, ERRORS, OR AMBIGUITIES IN THE DOCUMENTS.
4. THE MUNICIPALITY SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OR RESUMPTION OF ANY CONSTRUCTION WORK.
5. THE CONTRACTOR SHALL CALL DIGGER HOT LINE AT LEAST 48 HOURS BEFORE THE START OF ANY CONSTRUCTION WORK.
6. THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTILITIES SHOWN IN THE PLANS ARE FROM RECORDS OR FIELD OBSERVABLE INFORMATION LOCATED BY SURVEYOR. ANY UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
7. IF ANY EXISTING UTILITIES ARE ENCOUNTERED OR DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED PROPERLY BY THE CONTRACTOR. IF THEY ARE UTILITIES TO BE ABANDONED, THEY SHALL BE CAPPED, SEALED AND ABANDONED PROPERLY PER THE RESPECTIVE UTILITY COMPANY'S CRITERIA.
8. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS, MUNICIPAL REGULATIONS AND STANDARDS, AND SHALL CONFORM IN ALL RESPECTS TO ALL LOCAL, STATE AND FEDERAL LAWS.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SIGNS, BARRICADES, FENCING, TRAFFIC CONTROL DEVICES AND MEASURES, AND ALL OTHER MEASURES THAT ARE NECESSARY TO PROTECT THE SAFETY OF THE SITE AT ALL TIMES.
10. SITE ACCESS CONTROL INCLUDING SAFETY FENCES, AND ALL CONSTRUCTION MEANS AND METHODS AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. ALL ROADS, SWALES, DRAINAGE STRUCTURES, MANHOLES AND PIPES MUST BE KEPT CLEAN AND FREE OF DIRT, SILT AND DEBRIS AT ALL TIMES.
12. ALL DISTURBED R.O.W. AREAS SHALL BE RESTORED WITH A MINIMUM OF 4 INCHES OF TOPSOIL AND SOD.
13. ANY DAMAGED R.O.W. AREA SHALL BE REPAIRED TO EXISTING OR BETTER CONDITIONS.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING AND LAYOUT.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEASURING, DOCUMENTING AND RECORDING ALL CONSTRUCTION WORK AND SHALL FURNISH THE OWNER, THE ENGINEER AND THE MUNICIPALITY WITH RECORD DRAWINGS UPON COMPLETION OF HIS WORK.
16. THE CONTRACTOR, BY AGREEING TO PERFORM THE WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ENGINEER, THE MUNICIPALITY, AND ALL AGENTS AND ASSIGNS OF THOSE PARTIES, FROM ALL SUITS AND CLAIMS ARISING OUT OF THE PERFORMANCE OF SAID WORK, AND FURTHER AGREES TO DEFEND OR OTHERWISE PAY ALL LEGAL FEES ARISING OUT OF THE DEFENSE OF SAID PARTIES.
17. CONTRACTOR SHALL PURCHASE AND MAINTAIN FOR THE DURATION OF THE WORK INSURANCE TO PROTECT ENGINEER, OWNER, ALL OF THE AGENTS, EMPLOYEES, SUCCESSORS, AND ASSIGNS FROM ANY AND ALL CLAIMS ARISING OUT OF THE CONSTRUCTION OF THE WORK INCLUDING NAMING THEM AS ADDITIONAL INSURED ON THE CONTRACTORS GENERAL LIABILITY POLICY, WHICH SHALL STATE THAT IT IS PRIMARY IN COVERAGE TO ANY INSURANCE CARRIED BY AGENTS, EMPLOYEES, SUCCESSORS, OR ASSIGNS.
18. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.

STANDARD EARTHWORK, GRADING AND PAVING PROVISIONS

- 1. ALL CONSTRUCTION WORK INCLUDING EARTHWORK, GRADING AND PAVING SHALL BE GOVERNED BY THE "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION IN WISCONSIN", STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, ADOPTED LATEST EDITION, AND ALL REVISIONS AND SUPPLEMENTS THERETO, THE MUNICIPALITIES REQUIREMENTS, AND THE APPLICABLE ROADWAY AUTHORITY'S REQUIREMENTS.
2. ALL PROPOSED PAVEMENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO DESIGN SUBGRADE.
3. THE SUBGRADE SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM 95 PERCENT OF MODIFIED PROCTOR DENSITY.
4. THE SUBGRADE SHALL BE INSPECTED AND APPROVED BY THE MUNICIPALITY AND THE OWNERS GEOTECHNICAL CONSULTANT, PRIOR TO PLACING THE BASE MATERIAL.
5. STOCKPILING OF SOIL SHALL BE AT LOCATIONS DESIGNATED BY OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SPOIL MATERIAL FROM THE UNDERGROUND CONTRACTOR, PREPARING THE PAVEMENT SUBGRADE, PLACING REQUIRED DEPTH OF TOPSOIL TO FINISH GRADE, GRADING OF DRAINAGE SWALES, AND ALL OTHER TASKS AS DIRECTED BY THE OWNER OR ENGINEER.
7. ANY QUANTITIES IF CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR IN DETERMINING ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE AND SOIL CONDITIONS.
8. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.
9. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE FINAL SUBGRADE PREPARATION, THE PAVEMENT BASE, BINDER, AND SURFACE, AND ALL FINAL CLEAN-UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATION.
10. THE PROPOSED CURB AND GUTTER AND PAVEMENT SHALL BE OF THE TYPE AND THICKNESS AS SPECIFIED IN THESE DRAWINGS, AND CONSTRUCTED IN CONFORMANCE WITH THE WDOT STANDARD SPECIFICATIONS PREVIOUSLY REFERENCED AND THE REQUIREMENTS OF THE MUNICIPALITY.
11. THE CURB AND GUTTER SHALL HAVE EXPANSION JOINTS CONSISTING OF 1" THICK PERFORMED EXPANSION JOINT FILLER FULL DEPTH AND WIDTH WITH 3/4" - DIAMETER BY 18-INCH LONG PLAIN ROUND STEEL DOWEL BARS AT HIGH POINTS, INLETS, CATCH BASINS, CURB RETURNS, PC AND PT'S, COLD JOINTS OR 60-FOOT MAX. INTERVALS. CONSTRUCTION JOINTS SHALL BE SAW CUT 2" DEEP AT 20 FOOT MAX. INTERVALS. THE COST OF THESE JOINTS SHALL BE INCIDENTAL TO THE CURB AND GUTTER.
12. ALL CONCRETE SHALL BE CONSTRUCTED PER WSDOT STANDARD SPECIFICATION.
13. ALL CONCRETE SHALL BE BROOM FINISHED.
14. CURING AND PROTECTION OF ALL CONCRETE SHALL BE IN CONFORMANCE WSDOT STANDARD SPECIFICATIONS.
15. DEPRESSED CURB SHALL BE PROVIDED FOR HANDICAPPED RAMPS AT ALL SIDEWALKS ABUTTING THE CURB AND GUTTER. HANDICAP RAMPS SHALL BE INSTALLED PER THE MUNICIPAL, STATE AND ADA REQUIREMENTS.
16. ALL EARTHWORK OPERATIONS SHALL BE PERFORMED FOLLOWING THE ABOVE GUIDELINES AND THE INFORMATION AND RECOMMENDATIONS FOUND IN THE REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING SERVICES BY EGS MIDWEST, LLC. ECS PROJECT NO. 42-1212, DATED DECEMBER 30, 2015, AND SUPPLEMENTAL SUBSURFACE EXPLORATION AND GEOTECHNICAL REPORT JOB NO. 42-1212-A DATED 10-12-16.
17. THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL REMOVE AND DISPOSE OF OFFSITE ANY EXCESS DIRT OR MATERIALS.

STANDARD UTILITY PROVISIONS

- 1. ALL CONSTRUCTION WORK INCLUDING SEWER AND WATER MAIN, SHALL GOVERNED BY THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", LATEST EDITION, THE MUNICIPALITIES REQUIREMENTS, AND THE APPLICABLE ROADWAY AUTHORITY'S REQUIREMENTS.

- 2. ALL UTILITY TRENCHES UNDER AND WITHIN TWO FEET OF PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE BACKFILLED WITH 3/4" GRADE CRUSHED STONE (SANDY GRADE) IN SECTION 8.43.00 OF THE SSSWCW), COMPACTED IN 8" LIFTS TO 95% OF MODIFIED PROCTOR. ADDITIONAL REQUIREMENTS OF THE GEOTECHNICAL ENGINEER AND MUNICIPALITY SHALL BE FOLLOWED.
3. ANY EXISTING FIELD DRAINAGE TILES ENCOUNTERED OR DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION, PROPERLY REROUTED AND/OR CONNECTED TO THE STORM SEWER SYSTEM WHERE APPROVED. ALL LOCATIONS OF ENCOUNTERED FIELD DRAINAGE TILES SHALL BE PROPERLY RECORDED AND SHOWN ON THE CONTRACTOR'S "RECORD DRAWINGS" AND IMMEDIATELY REPORTED TO THE MUNICIPALITY AND THE ENGINEER. ABANDONED TILES SHALL AT A MINIMUM BE PERMANENTLY PLUGGED. ADDITIONAL REQUIREMENTS OF THE GEOTECHNICAL ENGINEER AND MUNICIPALITY SHALL BE OBTAINED AND FOLLOWED.
4. IF ANY EXISTING UNDERGROUND UTILITIES ARE ENCOUNTERED OR DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED PROPERLY BY THE CONTRACTOR. IF THEY ARE UTILITIES TO BE ABANDONED, THEY SHALL BE CAPPED, SEALED AND ABANDONED PROPERLY PER THE RESPECTIVE UTILITY COMPANY'S CRITERIA.
5. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF OFFSITE ANY EXCESS DIRT OR MATERIALS.
6. "BAND/SEAL" OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPE OF DISSIMILAR MATERIALS OR SIZES.
7. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. WHENEVER A SEWER CROSSES A WATER MAIN, A MINIMUM VERTICAL DISTANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE PIPES, AND THE SEWER JOINTS ARRANGED SO THEY ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHEN IT IS NECESSARY FOR A SEWER TO CROSS OVER THE TOP OF A WATER MAIN WITH 18" SEPARATION, OR THE SEWER CROSSES UNDER THE WATERMAIN WITH LESS THAN 18" VERTICAL SEPARATION, OR 10' HORIZONTAL SEPARATION IS NOT MAINTAINED, THEN ONE OF THE FOLLOWING METHODS MUST ALSO BE CONSTRUCTED:
A. THE SEWER SHALL BE CONSTRUCTED EQUAL TO THE WATER MAIN PIPE FOR THE LENGTH OF THE INADEQUATE HORIZONTAL SEPARATION OR FOR A DISTANCE OF TEN (10) FEET EITHER SIDE OF A CROSSING AND SHALL BE PRESSURE-TESTED TO INSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
B. FOR A STORM SEWER CROSSING, THE RCP STORM SEWER SHALL BE CONSTRUCTED WITH O-RING GASKETED JOINTS (ASTM C-361) FOR A DISTANCE OF TEN (10)' FEET EITHER SIDE OF A CROSSING.
8. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN A 8-MIL POLYETHYLENE TUBING. THE TUBING SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARD FOR POLYETHYLENE ENCASEMENT FOR GRAY AND DUCTILE IRON PIPING ANSI/AWWA C105/72/A21.5 OR AS REVISED. INSTALLATION PROCEDURES SHALL FOLLOW "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN".
9. ALL MANHOLES, CATCHBASINS, INLETS AND VALVE VAULTS SHALL BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE RING CONSTRUCTION WITH TONGUE AND GROOVE JOINTS IN CONFORMANCE WITH THE LATEST REVISION OF ASTM C-478. ALL JOINTS BETWEEN SECTIONS SHALL BE SEALED WITH MASTIC TYPE BITUMINOUS JOINT SEALER. CONTRACTOR SHALL REMOVE EXCESS MASTIC INSIDE STRUCTURE AND BUTTER JOINTS WITH MORTAR. ALL STORM AND SANITARY STRUCTURES SHALL HAVE OFFSET CONES, EXCEPT WHERE HEIGHT RESTRICTIONS REQUIRE A REINFORCE CONCRETE FLAT TOP. VALVE VAULTS SHALL HAVE CONCENTRIC CONES. A MAXIMUM OF 2 PRECAST CONCRETE ADJUSTMENT RINGS LIMITED TO 6 INCHES TOTAL HEIGHT SHALL BE PERMITTED. MANHOLE STEPS SHALL BE PROVIDED. CONTRACTOR SHALL ADJUST STRUCTURES TO FINISHED GRADE AS NEEDED.
10. ALL UTILITIES SHALL BE INSTALLED WITH TRACER WIRE. TRACER WIRE TO BE INSTALLED IN A MANNER THAT IS CONTINUOUS.
11. IF THE SPECIFICATIONS ON THIS SHEET CONTRADICT THE CITY SPECIFICATIONS, THE CITY DETAILS, SPECIFICATIONS GOVERN.

STANDARD SANITARY SEWER PROVISIONS:

- 1. THE CITY MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK.
2. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER.
3. ALL DOWNSPOUTS, FOOTING DRAINS, AND OUTSIDE DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM OR TO GRADE.
4. ALL SANITARY PIPE SHALL BE, AS SPECIFIED ON THE PLANS, EITHER P.V.C. (S.D.R. DEPENDANT ON DEPTH) PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212, OR CERAMIC EPOXY LINED DUCTILE IRON PIPE CLASS 52 CONFORMING TO A-21.51 WITH JOINTS CONFORMING TO ANSI A-21.11.
5. "BAND-SEAL" OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPE OF DISSIMILAR MATERIALS OR SIZES.
6. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
A. CIRCULAR SAW-CUT OF THE SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.
B. WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND-SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
7. SANITARY MANHOLES SHALL HAVE IN ADDITION TO THE GENERAL MANHOLE REQUIREMENTS:
A. BASE AND BOTTOM SECTION SHALL BE MONOLITHICALLY CAST INCLUDING BENCHES, INVERTS AND FLOW LINES.
B. MANHOLES JOINTS AND ADJUSTMENT RINGS SHALL SET IN PREFORMED PLASTIC GASKET RUB-R-NEK, EZ STIK OR APPROVED EQUAL.
C. PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER TIGHT PIPE SLEEVES CONFORMING TO ASTM C-923.
D. CHIMNEY SEAL OR APPROVED ALTERNATE AS REQUIRED BY MUNICIPALITY OR SANITARY DISTRICT.
8. ALL SEPTIC TANKS (IF ANY) BEING ABANDONED SHALL BE FILLED OR REMOVED. APPROVAL MUST BE OBTAINED FROM THE APPROPRIATE HEALTH DEPARTMENTS. ALL SEWER CONNECTIONS SHALL BE MADE UPSTREAM FROM THE TANK. CONTRACTORS SHALL OBTAIN ANY NECESSARY PERMITS FOR REMOVAL.
9. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. WHENEVER A SEWER CROSSES A WATER MAIN, A MINIMUM VERTICAL DISTANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE PIPES, AND THE SEWER JOINTS ARRANGED SO THEY ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHEN IT IS NECESSARY FOR A SEWER TO CROSS OVER THE TOP OF A WATER MAIN WITH 18" SEPARATION, OR THE SEWER CROSSES UNDER THE WATERMAIN WITH LESS THAN 18" VERTICAL SEPARATION, OR 10' HORIZONTAL SEPARATION IS NOT MAINTAINED, THEN ONE OF THE FOLLOWING METHODS MUST ALSO BE CONSTRUCTED:
A. THE SEWER SHALL BE CONSTRUCTED EQUAL TO THE WATER MAIN PIPE FOR THE LENGTH OF THE INADEQUATE HORIZONTAL SEPARATION OR FOR A DISTANCE OF TEN (10) FEET EITHER SIDE OF A CROSSING AND SHALL BE PRESSURE-TESTED TO INSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
B. FOR A STORM SEWER CROSSING, THE RCP STORM SEWER SHALL BE CONSTRUCTED WITH O-RING GASKETED JOINTS (ASTM C-361) FOR A DISTANCE OF TEN (10)' FEET EITHER SIDE OF A CROSSING.
10. ALL SANITARY SEWERS SHALL BE TESTED IN KEEPING WITH ALL MUNICIPAL REQUIREMENTS. ALL CONSTRUCTION SHALL CONFORM TO "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", LATEST EDITION. EXCEPT FOR CONFLICTS WITH CITY REQUIREMENTS, WHERE THE CITY REQUIREMENTS SHALL TAKE PRECEDENCE.
11. ALL SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH SSSWCW.
12. IF THE SPECIFICATIONS ON THIS SHEET CONTRADICT THE CITY SPECIFICATIONS, THE CITY DETAILS, SPECIFICATIONS GOVERN.
13. SANITARY SEWER BEDDING AND TRENCH BACKFILL SHALL BE PER THE UTILITY TRENCHES DETAIL.

STANDARD WATER MAIN PROVISIONS

- 1. ALL WATERMANS TO BE DUCTILE IRON PIPE PER ANSI A-21.51, (CLASS 52) WITH JOINTS PER ANSI A-21.11 AS REQUIRED BY THE "STANDARD SPECIFICATION OF SEWER AND WATER CONSTRUCTION IN WISCONSIN". PIPE TO BE CEMENT LINED PER ANSI A-21.4 (AWWA C104). ALL WATERMANS TO BE WRAPPED IN POLYETHYLENE MATERIAL USING, 8 MIL. THICK MINIMUM FOR CORROSION PROTECTION.
2. THE MINIMUM COVER FOR ALL WATER MAIN AND WATER SERVICE PIPE IS SIX (6') FEET FROM FINISHED GRADE TO TOP OF PIPE.
3. ALL VALVES SHALL BE RESILIENT WEDGE VALVES AND BE FURNISHED MECHANICAL JOINTED, WITH CAST IRON BODY, BRONZE MOUNTED, BRONZE STEMMED, DOUBLE DISC PATTERN, WITH NON-RISING STEM AND BE DESIGNED FOR 300 POUNDS WORKING PRESSURE. ALL VALVES SHALL OPEN LEFT.
4. ALL WATER MAIN SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA, WISCONSIN, AND THE CITY.
5. AFTER THE PRESSURE TEST HAS BEEN ACCEPTED, THE CONTRACTOR SHALL CHLORINATE THE WATER MAINS WITH GAS IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA, WISCONSIN, AND THE CITY.
6. ALL VALVE VAULTS ARE TO BE A MINIMUM OF 5 FEET IN DIAMETER.

- 7. ANY WELLS FOUND SHALL BE CAPPED/ABANDONED PER COUNTY HEALTH DEPARTMENT REQUIREMENTS.
8. ALL MECHANICAL JOINTS SHALL BE MEGALUG.
9. WATERMAIN BEDDING AND TRENCH BACKFILL SHALL BE PER THE UTILITY TRENCHES DETAIL.
REPORTING AND MONITORING REQUIREMENTS NR 216.48
A. THE OWNER OR OWNER'S REPRESENTATIVE IS REQUIRED TO SUBMIT A NOTICE OF INTENT AND SHALL RETAIN RECORDS OF ALL CONSTRUCTION SITE INSPECTIONS, COPIES OF ALL REPORTS AND PLANS REQUIRED BY THE PERMIT, AND RECORDS OF ALL DATA USED TO OBTAIN COVERAGE UNDER THE PERMIT.
B. THE CONTRACTOR SHALL RETAIN NR 216.48(1)(a) THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS AND AMENDMENTS TO THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS AT THE CONSTRUCTION SITE UNTIL PERMIT COVERAGE IS TERMINATED IN ACCORDANCE WITH S. NR 216.55.
C. THE OWNER AND CONTRACTOR SHALL RETAIN NR 216.48(1)(b) ALL REPORTS REQUIRED, OR INFORMATION SUBMITTED TO OBTAIN PERMIT COVERAGE, INCLUDING THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS; AMENDMENTS AND BACKGROUND INFORMATION USED IN THEIR PREPARATION, FOR A PERIOD OF AT LEAST 3 YEARS FROM THE DATE OF NOTICE OF TERMINATION.
D. NR 216.48 Note NR 216.48(2) THE CONTRACTOR SHALL OBTAIN ALL LOCAL EROSION CONTROL PERMITS.
E. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL INSPECTIONS AND MONITORING AND SHALL CONDUCT THE FOLLOWING NR 216.48(4)(a) CONSTRUCTION SITE INSPECTIONS:
1. NR 216.48(4)(a)1 WEEKLY INSPECTIONS OF IMPLEMENTED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES.
2. NR 216.48(4)(a)2 INSPECTIONS OF EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5 INCHES OR GREATER. A PRECIPITATION EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD.
3. NR 216.48(4)(b) REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR DEPARTMENT NOTIFICATION THAT REPAIR OR REPLACEMENT IS NEEDED.
4. NR 216.48(4)(c) MAINTAIN, AT THE CONSTRUCTION SITE OR AVAILABLE VIA AN INTERNET WEBSITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS CONDUCTED BY OR FOR THE PERMITTEE OR LANDOWNER REQUIRED TO SUBMIT A NOTICE OF INTENT UNDER THIS SUBCHAPTER. THE LANDOWNER SHALL NOTIFY THE DEPARTMENT OF ALL APPROPRIATE INTERNET ADDRESSES TO ACCESS THE WEEKLY INSPECTION RECORDS. WEEKLY INSPECTION REPORTS SHALL INCLUDE ALL OF THE FOLLOWING:
5. NR 216.48(4)(c)1 THE DATE, TIME AND LOCATION OF THE CONSTRUCTION SITE INSPECTION.
6. NR 216.48(4)(c)2 THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION.
7. NR 216.48(4)(c)3 AN ASSESSMENT OF THE CONDITION OF EROSION AND SEDIMENT CONTROLS.
8. NR 216.48(4)(c)4 A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED.
9. A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE.

TYPICAL CONSTRUCTION SEQUENCE

- 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE.
2. TOPSOIL STRIPPING AND STOCKPILING WITH APPROPRIATE EROSION CONTROL MEASURES.
3. EARTHWORK CONSTRUCTION INCLUDING APPLICABLE SE & SC MEASURES.
4. TEMPORARY VEGETATIVE SOIL COVER IN AREAS WHERE WORK HAS CEASED. REPEAT TEMPORARY MEASURES THROUGHOUT CONSTRUCTION AS NEEDED.
5. UNDERGROUND / UTILITY CONSTRUCTION INCLUDING INLET PROTECTION AND OTHER APPLICABLE SE & SC MEASURES.
6. PAVING OPERATIONS
7. TOPSOIL RE-SREAD IN APPLICABLE AREAS.
8. INSTALL PERMANENT VEGETATION AND STABILIZATION.
9. REMOVE SEDIMENT AND TEMP MEASURES AFTER FINAL STABILIZATION.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- 1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
2. INLET PROTECTION SHALL BE INSTALLED AT EACH DRAINAGE STRUCTURE THAT ACCEPTS WATER ONCE THAT STRUCTURE IS ABLE TO RECEIVE WATER.
3. ALL ROADS INCLUDING ADJACENT ROADWAYS, SWALES, DRAINAGE STRUCTURES, MANHOLES AND PIPES MUST BE KEPT CLEAN AND FREE OF DIRT, SILT AND DEBRIS AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD ADJUSTING THE LOCATION OF THE EROSION MEASURES TO ACCOMMODATE CONSTRUCTION ACTIVITIES. RELOCATED MEASURES SHALL BE PLACED TO PREVENT SILT FROM RUNNING OFF THE SITE OR INTO FINISHED GRADED AREAS. MEASURES SHALL BE RELOCATED BACK TO ORIGINAL LOCATION AS NECESSARY AFTER CONSTRUCTION ACTIVITY IN THE EFFECTED AREA IS COMPLETED.
5. AFTER PERMANENT GROUND COVER IS ESTABLISHED THROUGHOUT THE SITE, THE ACCUMULATED SEDIMENT SHALL BE REMOVED FROM COLLECTION AREAS, AND ALL STORM SEWER PIPES AND STRUCTURES.
6. SEE LANDSCAPE PLANS FOR PERMANENT VEGETATION REQUIREMENTS.
7. ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPUT LAND SURVEYS, LLC. DATED MAY 10, 2016.
8. TEMPORARY STOCKPILE SHALL BE SEEDED IF UNDISTURBED FOR MORE THAN 14 DAYS.
9. ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS RESTRICTED TO THE CONSTRUCTION ENTRANCE.
10. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTION.
11. MAJOR AMENDMENTS OF THE SITE DEVELOPMENT OR EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
12. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL.
13. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER THE FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES.
14. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR REDISTURBANCE.
15. IF Dewatering DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
16. THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
17. ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".
18. A NOTICE OF INTENT MUST BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY AND POSTMARKED AT LEAST 30 DAYS

- BEFORE COMMENCEMENT OF ANY WORK ON-SITE FOR ALL CONSTRUCTION SITES OVER AN ACRE. INCLUDED IN THE NOI SHALL BE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE APPROPRIATE BMP'S TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
19. AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED TO WDNR IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICES FAILS.
20. A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMITTED TO THE WDNR WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHMENT OF VEGETATION.
21. CONTRACTOR TO INCLUDE MIN. 3" RIP RAP AT BUILDING'S ABOVE GROUND PRIMARY STORM PIPE POINT OF DISCHARGE.

Project information block including: PROJECT NAME: THE SHOPS AT LAKE GENEVA - BUILDING #2; PROJECT No.: 15.GMX.009; SHEET No.: C5; SHEET NAME: SPECIFICATIONS; SHEET NUMBER: 11-30-2019; and logos for rtm engineering consultants and WISCONSIN PROFESSIONAL ENGINEER.



EXPIRES 11-30-2019

NOT FOR CONSTRUCTION

PRECISE IMPLEMENTATION PLAN (PIP)
RESOLUTION 18-R49

A resolution authorizing the issuance of a Precise Implementation Plan (PIP) to GMX Real Estate Group LLC., for the Lake Geneva 50120 LLC., Lake Geneva, WI 53147, to allow for the amendment of the Precise Implementation Plan, for the property located at 281 Edwards Blvd.

WHEREAS, the City Plan Commission has considered the application of Lake Geneva 50120 LLC to amend the existing PIP;

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on June 18, 2018.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue an Precise Implementation Plan to Lake Geneva 50120 LLC, 281 Edwards Blvd. Lake Geneva, WI 53147, for the property located in the Planned Business (PB) zoning district,

Tax Key No. ZA2970300001

to include all affirmative findings of fact and note staff recommendations.

Granted by action of the Common Council of the City of Lake Geneva this 25th day of June 2018.

Tom Hartz, Mayor

ATTEST:

Lana Kropf, City Clerk

**City of Lake Geneva
Finance, License, & Regulation Committee
June 19, 2018**

**Prepaid Checks
6/2/18 - 6/15/18**

**Total:
\$1,920.68**

Checks over \$5,000:

\$	-
\$	-
\$	-
\$	-
\$	-

Report Criteria:

Report type: Summary
 Check.Type = {<>} "Adjustment"
 Check.Check number = {>} 67000

Check Issue Date	Check Number	Vendor Number	Payee	Amount
06/13/2018	67807	2046	ALLIANT ENERGY	96.69
06/13/2018	67808	3354	BRENT SPOTZ	8.49
06/13/2018	67809	241	REGISTRATION FEE TRUST	1.00
06/13/2018	67810	5095	REGISTRATION FEE TRUST	2.00
06/13/2018	67811	5207	SARAH KEISTER ARMSTRONG & ASSOCIATES	1,812.50
Grand Totals:				1,920.68

Summary by General Ledger Account Number

GL Account	Debit	Credit	Proof
11-00-00-21100	.00	10.49-	10.49-
11-21-00-53310	8.49	.00	8.49
11-21-00-53800	2.00	.00	2.00
42-00-00-21100	.00	1.00-	1.00-
42-34-50-53990	1.00	.00	1.00
48-00-00-21100	.00	96.69-	96.69-
48-00-00-52220	96.69	.00	96.69
99-00-00-21100	.00	1,812.50-	1,812.50-
99-00-00-52160	1,812.50	.00	1,812.50
Grand Totals:	1,920.68	1,920.68-	.00

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

City of Lake Geneva
Finance, License, & Regulation Committee
June 19, 2018

Accounts Payable

	<u>Fund #</u>	
1. General Fund	11	\$ 95,096.10
2. Debt Service	20	\$ -
3. TID #4	34	\$ -
4. Lakefront	40	\$ 6,101.22
5. Capital Projects	43,52	\$ 193,023.42
6. Parking	42	\$ 6,025.33
7. Cemetery	48	\$ 271.09
8. Equipment Replacement	50	\$ -
9. Library Fund	99	\$ -
10. Impact Fees	45	\$ 15,642.00
11. Tourism Commission	47	\$ -
Total All Funds		<u><u>\$316,159.16</u></u>

**CITY OF LAKE GENEVA
ACCOUNTS PAYABLE UNPAID ITEMS OVER \$5,000**

**FINANCE, LICENSE, & REGULATION COMMITTEE
6/19/2018**

TOTAL UNPAID ACCOUNTS PAYABLE **\$ 316,159.16**

ITEMS > \$5,000

Willkomm Excavation - Main Street Reconstruction Pay Request #1	\$ 192,340.67
Johns Disposal - June Refuse & Recycling Service	\$ 38,954.16
Accurate Appraisal - 2018 Contract Balance	\$ 20,000.00
Humphreys Contracting - 3 Graces Base Repair; Light Post/Main & Wells	\$ 15,750.00
Lake Geneva Utility Commission - Impact Fees	\$ 15,642.00
Springsted Inc - 2018 Arbitrage Calculations	\$ 5,400.00
	\$ -
	\$ -

Balance of Other Items \$ 28,072.33

Report Criteria:

Detail report.
Invoices with totals above \$0.00 included.
Only unpaid invoices included.
Invoice.Batch = "180625"

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
A+ GRAPHICS & PRINTING				
19164	06/04/2018	OAKHILL MAPS	48-00-00-53100 CEM OFFICE SUPPLIES	20.43
Total A+ GRAPHICS & PRINTING:				20.43
AASEN EMBROIDERY				
12853	06/07/2018	BEACH STAFF T-SHIRTS	40-54-10-53100 BEACH OFFICE SUPPLIES	448.06
12857	06/11/2018	T-SHIRTS,CAPS,SWEATSHIRT	40-52-11-53990 LAUNCH RAMP MISCELLANEOUS	193.95
Total AASEN EMBROIDERY:				642.01
ACCURATE APPRAISAL LLC				
ACCAPP2018-	06/05/2018	2018 CONTRACT BALANCE	11-15-40-52100 ASSESSOR CONTRACTED SERVICES	20,000.00
Total ACCURATE APPRAISAL LLC:				20,000.00
ADVANCE AUTO PARTS				
719381342833	05/14/2018	CREDIT-FILTER	48-00-00-53510 CEM VEHICLE MAINT/REPAIR	5.49
719381345734	05/14/2018	OIL,FILTERS,ENG FLUSH	48-00-00-53510 CEM VEHICLE MAINT/REPAIR	56.65
719381365744	05/16/2018	OIL	48-00-00-53510 CEM VEHICLE MAINT/REPAIR	19.99
Total ADVANCE AUTO PARTS:				71.15
ADVANCED DISPOSAL SERVICES				
A40000009315	05/31/2018	LANDFILL USE-3.56 TN	11-36-00-52960 SOLID WASTE-STREET DEPT	205.19
Total ADVANCED DISPOSAL SERVICES:				205.19
ARROW PEST CONTROL INC				
75920	05/29/2018	BEE TREATMENT	11-51-10-52400 MUSEUM-MAINTENANCE & REPAIRS	75.00
Total ARROW PEST CONTROL INC:				75.00
AURORA MEDICAL GROUP				
205	05/31/2018	EMP CLINIC-MAY	11-10-20-51330 HEALTH AND DENTAL CLAIMS	3,375.00
Total AURORA MEDICAL GROUP:				3,375.00
BADGER HIGH SCHOOL				
REFUND 6/3/1	06/04/2018	REF BARRICADES 6/3	11-00-00-23530 SECURITY DEPOSITS	50.00
Total BADGER HIGH SCHOOL:				50.00
BEVERLY LEONARD				
REIMB-AVIAN	06/05/2018	INSECT TRAPS,PINE STRAW,S	11-70-00-57800 AVIAN COMMITTEE EXPENSES	507.94
Total BEVERLY LEONARD:				507.94
BUMPER TO BUMPER AUTO PARTS				
6620385302	03/19/2018	OIL,FUEL FILTERS	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	47.41
662-388441	05/14/2018	OIL,FILTERS	48-00-00-53510 CEM VEHICLE MAINT/REPAIR	99.73

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
662-389545	05/31/2018	SNOWBLOWER PARTS	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	9.38
662-389746	06/04/2018	SNOWBLOWER OIL	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	14.76
662-389925	06/06/2018	CABLE	11-32-10-53420 MOSQUITO CONTROL	3.69
662-390138	06/11/2018	WIPER BLADES,MIRROR	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	33.45
662-390140	06/11/2018	REAR WIPER BLADES-RET'D	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	8.69
662-390140	06/11/2018	WIPER BLADES	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	6.69
Total BUMPER TO BUMPER AUTO PARTS:				206.42
BURRIS EQUIPMENT CO				
PI87246	06/04/2018	BALL FIELD TIRES	11-52-01-59520 GROUNDS MAINTENANCE SUPPLIES	336.49
Total BURRIS EQUIPMENT CO:				336.49
CARROT-TOP INDUSTRIES INC				
38997800	05/30/2018	FLAG WIRE	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	14.65
Total CARROT-TOP INDUSTRIES INC:				14.65
CDW GOVERNMENT INC				
MVP1109	05/25/2018	ANTI-VIRUS RENEWAL	11-15-10-54500 COMPUTER IT SVC & EQUIPMENT	560.32
Total CDW GOVERNMENT INC:				560.32
CES				
LKG/045505	03/15/2018	MAIN STREET LIGHT REPAIRS	11-34-10-52610 STREET LIGHTS REPAIRS	235.70
LKG/047562	06/05/2018	WRIGLEY/CENTER ST LIGHT	11-10-00-52450 EXPENSES SUBJECT TO INS CLAIM	29.33
LKG/047563	06/05/2018	WELLS/MAIN ST LIGHT	11-10-00-52450 EXPENSES SUBJECT TO INS CLAIM	407.14
LKG/047614	06/06/2018	WRIGLEY/CENTER ST LIGHT	11-10-00-52450 EXPENSES SUBJECT TO INS CLAIM	75.85
Total CES:				748.02
CINTAS CORP				
5010938515	06/01/2018	FIRST AID KIT-1065	11-32-10-53900 FIRST AID AND SAFETY SUPPLIES	47.12
Total CINTAS CORP:				47.12
D&K SERVICES				
20180167	06/05/2018	SEWER RODDING-PD MENS	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	250.00
Total D&K SERVICES:				250.00
DATA EQUIPMENT SERVICES				
955	06/11/2018	MODEM SVC-JUN	42-34-50-52210 TELEPHONE EXPENSE	990.00
955	06/11/2018	MODEM SVC-JUN	40-54-10-53400 LUKE OPERATING EXPENSES	45.00
Total DATA EQUIPMENT SERVICES:				1,035.00
DEL'S SERVICE				
6287	06/01/2018	GAS	11-32-10-53410 VEHICLE-FUEL & OIL	94.12
Total DEL'S SERVICE:				94.12
DOUSMAN TRANSPORT CO				
45-001423	06/04/2018	SHUTTLE-TASTE OF LG 6/2/18	42-34-50-53990 PARKING MISC EXPENSES	543.97

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total DOUSMAN TRANSPORT CO:				543.97
DUNN LUMBER & TRUE VALUE				
723360	05/17/2018	SAFETY CHAINS-RHINO	11-52-00-59510 EQUIP MAINT SUPPL-RECREATION	13.54
723360	05/17/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.68-
723457	05/18/2018	TAPE	48-00-00-53400 CEM OPERATING SUPPLIES	20.97
725015	05/31/2018	SCREW EXTRACTOR	42-34-50-52500 KIOSK REPAIRS/SUPPLIES	12.99
725015	05/31/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.65-
725087	06/01/2018	WAX,PAD,CLEANING SUPPLIES	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	15.48
725087	06/01/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.77-
725098	06/01/2018	HOSE,NOZZLE-LIBRARY BATH	11-52-00-53500 BLDG MAINT SUPPLIES-PARKS	45.28
725098	06/01/2018	DUST PAN,BROOM-WESTEND	11-52-00-53500 BLDG MAINT SUPPLIES-PARKS	16.99
725098	06/01/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	3.11-
725179	06/01/2018	CANOPY	40-54-10-53100 BEACH OFFICE SUPPLIES	79.99
725179	06/01/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	4.00-
725218	06/02/2018	NUTS,BOLTS	40-54-10-53100 BEACH OFFICE SUPPLIES	3.75
725218	06/02/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.19-
725404	06/04/2018	FLAG ROPE	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	.99
725404	06/04/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.05-
725494	06/05/2018	LIGHTBULBS - LIB RESTRM	11-52-00-53500 BLDG MAINT SUPPLIES-PARKS	29.98
725494	06/05/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	1.50-
725605	06/06/2018	CHAMBER - BROOM & DUSTPA	11-52-00-53520 GROUNDS MAINT SUPPLIES	16.99
725605	06/06/2018	SNOWBLOWER PAINT	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	24.95
725605	06/06/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	2.10-
725678	06/06/2018	NUTS,BOLTS-BUBBLERS	11-52-00-52270 FOUNTAINS/STATUES-WATER/SEWER	2.60
725678	06/06/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.13-
725699	06/06/2018	SANDPAPER, HOSE	11-16-10-53500 CITY HALL BLDG MAINT SUPPLIES	16.98
725699	06/06/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.85-
725758	06/07/2018	SHOWER STOOL BOLTS	40-54-10-53520 BEACH MAINTENANCE SUPPLIES	4.50
725758	06/07/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.23-
725842	06/07/2018	WALL TAP	40-55-20-52400 LOWER RIVIERA REPAIRS	16.99
725842	06/07/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.85-
725850	06/07/2018	BULBS,BUCKET,SAND MIX	11-34-10-52610 STREET LIGHTS REPAIRS	27.27
725850	06/07/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.90-
725918	06/08/2018	ZINC CORNERS-RR STALLS	40-54-10-53100 BEACH OFFICE SUPPLIES	15.16
725918	06/08/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.76-
725929	06/08/2018	MILORGANITE	11-32-13-54300 TREE & BRUSH OPERATING SUPPLY	9.97
726259	06/11/2018	SUBFLOOR ADHESIVE	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	10.98
726259	06/11/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.55-
726333	06/12/2018	NUTS,BOLTS,DRILL BITS,ANCH	40-54-10-53100 BEACH OFFICE SUPPLIES	43.12
726333	06/12/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	1.66-
726376	06/12/2018	NUTS,BOLTS	40-54-10-53100 BEACH OFFICE SUPPLIES	2.02
726376	06/12/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.10-
726400	06/12/2018	DUCT TAPE	40-54-10-53520 BEACH MAINTENANCE SUPPLIES	7.99
726400	06/12/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.40-
726413	06/12/2018	FASTENERS,DRILL BITS	40-54-10-53520 BEACH MAINTENANCE SUPPLIES	46.06
726413	06/12/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	.24-
Total DUNN LUMBER & TRUE VALUE:				465.82
ELKHORN CHEMICAL CO INC				
600301	05/25/2018	FLOOR PADS	40-55-10-52400 UPPER RIVIERA REPAIRS	117.40
600678	06/06/2018	FLOOR FINISHER, SOAP	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	170.00
Total ELKHORN CHEMICAL CO INC:				287.40

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
EMILY SOBCZAK				
REFUND 6/2/1	06/07/2018	SOBCZAK-SEC DEP 6/2/18	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
REFUND 6/2/1	06/07/2018	SOBCZAK-SETUP,SEC GRD 6/2/	40-55-10-46740 UPPER RIVIERA REVENUE	277.63-
Total EMILY SOBCZAK:				722.37
FIRST SUPPLY LLC				
1710506-00	05/21/2018	URINAL REPAIR	40-54-10-53520 BEACH MAINTENANCE SUPPLIES	79.24
1710506-01	05/21/2018	URINAL REPAIR	40-54-10-53520 BEACH MAINTENANCE SUPPLIES	269.64
1710506-02	05/21/2018	URINAL REPAIR	40-54-10-53520 BEACH MAINTENANCE SUPPLIES	217.91
1716507-00	06/01/2018	TOILET/SHOWER VALVES	40-54-10-53520 BEACH MAINTENANCE SUPPLIES	526.72
Total FIRST SUPPLY LLC:				1,093.51
FORD OF LAKE GENEVA				
63806	06/12/2018	BRAKE LIGHT,KEYLESS LOCK	42-34-50-53510 VEHICLE/EQUIPMENT MAINT	599.55
Total FORD OF LAKE GENEVA:				599.55
GAIL KUKLA				
REIMB-6/18	06/07/2018	REIMB-BOAT LAUNCH STOP SI	40-52-11-53990 LAUNCH RAMP MISCELLANEOUS	17.79
Total GAIL KUKLA:				17.79
GAPPA SECURITY SOLUTIONS LLC				
15324	06/01/2018	GATE KEYS	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	28.00
15386	06/06/2018	LOCKSETS-VISITOR CENTER	43-52-00-53000 PARKS CAPITAL PROJECT	273.00
15389	06/06/2018	DEADBOLT-VISITOR CENTER	43-52-00-53000 PARKS CAPITAL PROJECT	93.50
Total GAPPA SECURITY SOLUTIONS LLC:				394.50
GENEVA ONLINE INC				
1065332	06/01/2018	EMAIL SVC-JUN	11-12-00-52210 MUNICIPAL CT TELEPHONE	2.00
Total GENEVA ONLINE INC:				2.00
GIRAFFE ELECTRIC				
S1053	06/04/2018	POWER LINE REPAIRS	11-52-01-53500 BLDG MAINT & REPAIR	675.00
Total GIRAFFE ELECTRIC:				675.00
HE STARK AGENCY INC				
6089PARK-5/1	05/31/2018	COLLECTION FEES-MAY	42-34-50-52160 PROFESSIONAL SERVICES	621.92
Total HE STARK AGENCY INC:				621.92
HOME DEPOT CREDIT SERVICES				
5022339	04/23/2018	FORK LATCH	11-52-01-53500 BLDG MAINT & REPAIR	5.98
Total HOME DEPOT CREDIT SERVICES:				5.98
HUMPHREY'S CONTRACTING				
06-05-18	06/05/2018	3 GRACES LIGHT POST BASE	11-10-00-52450 EXPENSES SUBJECT TO INS CLAIM	7,875.00
6-5-18	06/05/2018	LIGHT POST-MAIN & WELLS	11-10-00-52450 EXPENSES SUBJECT TO INS CLAIM	7,875.00
Total HUMPHREY'S CONTRACTING:				15,750.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
ITU ABSORB TECH INC				
7017247	06/01/2018	MATS	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	79.16
Total ITU ABSORB TECH INC:				79.16
JOHNS DISPOSAL SERVICE INC				
187767	06/04/2018	JUN SVC	11-36-00-52940 SOLID WASTE-RESIDENTIAL	27,635.76
187767	06/04/2018	JUN SVC	11-36-00-52970 SOLID WASTE-RECYCLING	11,318.40
Total JOHNS DISPOSAL SERVICE INC:				38,954.16
JUREWICZ, JUDY				
4350	05/30/2018	TORO - STARTER	11-52-00-52500 EQUIPMENT REPAIR SERVICES	238.44
4359	06/04/2018	RHINO - INNER TUBES	11-52-00-52500 EQUIPMENT REPAIR SERVICES	68.61
Total JUREWICZ, JUDY:				307.05
KENOSHA CIRCUIT COURT				
WARRANT-BR	06/04/2018	WAR-BROWN 17TR3131/17TR3	11-12-00-24280 COURT FINES-OTHER	401.00
Total KENOSHA CIRCUIT COURT:				401.00
LAKE GENEVA BID				
REFUND 6/3/1	06/04/2018	DEP REF TASTE 6/3/18	11-00-00-23530 SECURITY DEPOSITS	200.00
Total LAKE GENEVA BID:				200.00
LAKE GENEVA REGIONAL NEWS				
1257618	05/03/2018	LN-4/9/18 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	181.29
1257619	05/03/2018	LN-4/17/18 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	74.78
1257621	05/03/2018	LN-3/26/18 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	304.48
1257625	05/03/2018	LN-LARKIN ANNEXATION ORD	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	104.30
1257772	05/10/2018	LN-CUP FINLEY 805 CUMBERL	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	42.34
1257773	05/10/2018	LN-CUP DICK 7236 GENEVA	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	42.34
1257774	05/10/2018	LN-CUPGENEVA PLAZA	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	46.93
1257778	05/10/2018	LN-CUP WU 239 COOK	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	42.34
1257780	05/10/2018	LN-PIP 1111 N EDWARDS	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	44.64
1260538	05/31/2018	LN-4/23/18 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	296.78
1260540	05/31/2018	LN-5/7/18 SPECIAL COUNCIL	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	41.42
Total LAKE GENEVA REGIONAL NEWS:				1,221.64
LAKE GENEVA UTILITY				
281 N EDWAR	05/29/2018	281 N EDWARDS BLDG 2	45-00-00-24520 WATER IMPACT FEES	4,732.00
281 N EDWAR	05/29/2018	281 N EDWARDS BLDG 2	45-00-00-24530 SEWER IMPACT FEES	5,222.00
500 S EDWAR	05/17/2018	500 S EDWARDS BLVD UNIT 13	45-00-00-24520 WATER IMPACT FEES	1,690.00
500 S EDWAR	05/17/2018	500 S EDWARDS BLVD UNIT 13	45-00-00-24530 SEWER IMPACT FEES	1,865.00
962 MARIANE	05/03/2018	962 MARIANE TERRACE	45-00-00-24520 WATER IMPACT FEES	1,014.00
962 MARIANE	05/03/2018	962 MARIANE TERRACE	45-00-00-24530 SEWER IMPACT FEES	1,119.00
Total LAKE GENEVA UTILITY:				15,642.00
LAKESIDE INTERNATIONAL LLC				
2171825P	06/11/2018	OIL PAN-TRK #26	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	265.99
Total LAKESIDE INTERNATIONAL LLC:				265.99

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
LASER ELECTRIC SUPPLY				
1461791-00	05/21/2018	LIGHT BULBS	40-55-10-52400 UPPER RIVIERA REPAIRS	51.29
1461791-00	05/21/2018	DISCOUNT	11-00-00-48190 DISCOUNTS EARNED	1.03-
Total LASER ELECTRIC SUPPLY:				50.26
LASER WORKS UNLIMITED LLC				
1405	05/24/2018	NAMEPLATE - KEJOVIC	11-24-00-53100 BLDG INSPECTOR OFFICE SUPPLIES	13.25
Total LASER WORKS UNLIMITED LLC:				13.25
MARLIN PRINTING & GRAPHICS				
496817	05/11/2018	WINDOW ENVELOPES	11-16-10-53100 CITY HALL OFFICE SUPPLIES	118.28
496966	05/18/2018	BUSINESS ENVELOPES	11-16-10-53100 CITY HALL OFFICE SUPPLIES	131.16
Total MARLIN PRINTING & GRAPHICS:				249.44
MICHAEL BOHAN				
REFUND GOV	05/31/2018	REF GOVPAY-UNABLE TO LOC	11-12-00-24280 COURT FINES-OTHER	18.00
Total MICHAEL BOHAN:				18.00
MIDSTATE EQUIPMENT				
V91372	05/31/2018	LAWN MOWER BELT	48-00-00-52500 CEM EQUIP MAINT/REPAIRS	58.81
Total MIDSTATE EQUIPMENT:				58.81
MKCELLULAR INC				
MKCLGIN9333	04/27/2018	CELL PHONE-OBORN	11-14-20-53100 CITY ADMIN OFFICE SUPPLIES	89.98
Total MKCELLULAR INC:				89.98
OCTAVIO TORRES				
REFUND-6/18	06/12/2018	REFUND-BUSINESS LICENSE A	11-00-00-44120 OTHER BUS LIC-CIG,MILK,VID,ETC	25.00
Total OCTAVIO TORRES:				25.00
PARKER WADE				
REF-WADE	06/01/2018	WADE-SEC DEP 5/31/18	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
REF-WADE	06/01/2018	WADE-SETUP,SEC GRD-5/31/18	40-55-10-46740 UPPER RIVIERA REVENUE	287.50-
REF-WADE	06/01/2018	WADE-LEASE 5/31/18	40-55-10-46740 UPPER RIVIERA REVENUE	500.00-
Total PARKER WADE:				212.50
PIGGLY WIGGLY				
OPPER-6/18	06/08/2018	CITATION PYMT N538879 & N53	11-12-00-45100 COURT PENALTIES & FINES	50.00
OPPER-6/18	06/08/2018	CITATION PYMT N538879 & N53	11-12-00-45100 COURT PENALTIES & FINES	75.00
Total PIGGLY WIGGLY:				125.00
RC ELECTRONICS				
644393	05/31/2016	PORTABLE RADIO	42-34-50-53400 OPERATING SUPPLIES-ENFORCEMEN	249.95
644404	06/04/2018	PORTABLE RADIO	42-34-50-53100 OFFICE SUPPLIES	267.45
644414	06/11/2018	BATTERY	42-34-50-53100 OFFICE SUPPLIES	195.50
Total RC ELECTRONICS:				712.90

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
REBECCA L NOVAK				
REF-NOVAK	06/05/2018	REF CIT AI000488-5/AI000489-6	11-12-00-45100 COURT PENALTIES & FINES	48.80
Total REBECCA L NOVAK:				48.80
RHYME BUSINESS PRODUCTS				
AR225378	05/29/2018	M3550IDN-JUNE	11-12-00-53610 EQUIPMENT MAINT SERVICE COSTS	22.00
AR225379	05/29/2018	SHARP-MAY COLOR	11-16-10-55310 CH OFFICE EQUIPMENT CONTRACTS	57.13
AR225379	05/29/2018	SHARP-MAY B&W	11-16-10-55310 CH OFFICE EQUIPMENT CONTRACTS	189.39
Total RHYME BUSINESS PRODUCTS:				268.52
ROTE OIL COMPANY				
1815000608	05/30/2018	474.8 GALS DYED DIESEL	11-32-10-53410 VEHICLE-FUEL & OIL	1,210.27
1815000609	05/30/2018	189.4 GALS CLEAR DIESEL	11-32-10-53410 VEHICLE-FUEL & OIL	541.50
Total ROTE OIL COMPANY:				1,751.77
SARAH WOOLMAN				
REF SEC DEP	06/11/2018	WOLLMAN-SEC DEP 6/9/18	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
REF SEC DEP	06/11/2018	WOLLMAN-SETUP,SEC GRD-6/	40-55-10-46740 UPPER RIVIERA REVENUE	364.00
Total SARAH WOOLMAN:				636.00
SECURITY EQUIPMENT SUPPLY INC				
D24780	05/03/2018	CAMERA PARTS-WEST END PI	40-52-10-53990 BUOY/STALL MISC. EXPENSES	626.40
Total SECURITY EQUIPMENT SUPPLY INC:				626.40
SPRINGSTED INC				
1720.999-1	06/08/2018	ARBITRAGE CALCULATIONS-20	11-15-10-52120 ACCTG CONSULTANT FEES	3,100.00
1720.999-2	06/08/2018	ARBITRAGE CALCULATIONS-20	11-15-10-52120 ACCTG CONSULTANT FEES	2,300.00
Total SPRINGSTED INC:				5,400.00
STAFFORD ROSENBAUM LLP				
17248	05/30/2018	COMMITTEE OF THE WHOLE-2/	11-13-10-52140 OUTSIDE ATTORNEYS FEES	189.00
Total STAFFORD ROSENBAUM LLP:				189.00
SWWEIA				
1432112	06/05/2018	2018 MEMBERSHIP	11-24-00-53200 MEMBERSHIP DUES & FEES	25.00
Total SWWEIA:				25.00
T2 SYSTEMS CANADA				
INVSTD00000	05/24/2018	IRIS FEES-JUN	42-34-50-54500 SUPPORT CONTRACTS	2,544.00
INVSTD00000	05/24/2018	IRIS FEES-JUN	40-54-10-53400 LUKE OPERATING EXPENSES	119.25
Total T2 SYSTEMS CANADA:				2,663.25
TAMMY EGAN				
REFUND-6/8/1	06/11/2018	EGAN-SEC DEP 6/8/18	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
REFUND-6/8/1	06/11/2018	EGAN-SETUP,SEC GRD-6/8/18	40-55-10-46740 UPPER RIVIERA REVENUE	424.00
Total TAMMY EGAN:				576.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
TAPCO				
I602000	05/21/2018	MAIN ST SIGNAL CONTROLLER	43-32-10-17010 2017 STREET IMP PROGRAM	316.25
Total TAPCO:				316.25
THE SUPPLY CORPORATION				
0068415	06/01/2018	PAPER TOWELS,MOP HANDLE	40-54-10-53990 BEACH MISCELLANEOUS	81.97
0068416	06/01/2018	SHOWER STOOL	40-54-10-53520 BEACH MAINTENANCE SUPPLIES	297.85
68440-IN	06/06/2018	TOWEL DISPENSER	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	239.30
68441-IN	06/06/2018	MARKING PAINT	11-34-10-53700 MARKING PAINT	94.50
Total THE SUPPLY CORPORATION:				713.62
THELEN MATERIALS LLC				
361116	05/26/2018	INFIELD MIX	11-52-01-59520 GROUNDS MAINTENANCE SUPPLIES	564.06
Total THELEN MATERIALS LLC:				564.06
TIMBERLINE SIGN CO INC				
4500	05/27/2018	BEACH PRICE SIGNS	40-54-10-53100 BEACH OFFICE SUPPLIES	375.00
Total TIMBERLINE SIGN CO INC:				375.00
TOM EARLE				
MILEAGE-JUN	06/01/2018	88 MILES-GOVT 101 CLASS	11-32-10-53300 MILEAGE/TRAVEL	47.96
Total TOM EARLE:				47.96
TOWN OF GENEVA MUNICIPAL COURT				
ROMAN-06/18	06/12/2018	CITATION PYMT D ROMAN-AD9	11-12-00-24280 COURT FINES-OTHER	124.00
Total TOWN OF GENEVA MUNICIPAL COURT:				124.00
TOWN OF LINN CLERK				
CIT #AE57748	06/08/2018	CITATION-AE5774882 JOHNSO	11-12-00-24280 COURT FINES-OTHER	124.00
Total TOWN OF LINN CLERK:				124.00
TRACTOR SUPPLY CREDIT PLAN				
4033-5/18	05/31/2018	GRASS SEED	11-32-13-54300 TREE & BRUSH OPERATING SUPPLY	299.96
Total TRACTOR SUPPLY CREDIT PLAN:				299.96
TRUGREEN PROCESSING CTR				
84044719	05/30/2018	FERTILIZER SVC-MAY	11-52-00-53620 GROUNDS FERTILIZER/WEED CONTR	865.09
Total TRUGREEN PROCESSING CTR:				865.09
WILLKOMM EXCAVATING				
PAY REQUES	05/01/2018	MAIN ST RECONSTRUCTION-P	43-32-10-17010 2017 STREET IMP PROGRAM	192,340.67
Total WILLKOMM EXCAVATING:				192,340.67
ZARNOTH BRUSH WORKS INC				
170427-IN	05/31/2018	SWEEPER GUIDES	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	159.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total ZARNOTH BRUSH WORKS INC:				159.00
Grand Totals:				316,159.16

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

Report Criteria:

- Detail report.
- Invoices with totals above \$0.00 included.
- Only unpaid invoices included.
- Invoice.Batch = "180625"