



City of Lake Geneva, 626 Geneva St, Lake Geneva, WI 53147- 262.248.3673- www.cityoflakegeneva.com

CITY OF LAKE GENEVA REGULAR COMMON COUNCIL
MONDAY, SEPTEMBER 23, 2019 6:00 P.M.
LAKE GENEVA CITY HALL; COUNCIL CHAMBERS (MAIN LEVEL)

Members:

Mayor Tom Hartz, Council President, John Halverson, Council Vice President, Cindy Flower,
Alderspersons: Selena Proksa, Doug Skates, Tim Dunn, Ken Howell, Shari Straube, and Rich Hedlund

AGENDA

1. Mayor Hartz calls the meeting to order
2. Pledge of Allegiance – Alderperson Flower
3. Roll Call
4. Awards, Presentations, Proclamations, and Announcements
5. Re-consider business from previous meeting
6. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes
7. Acknowledgement of Correspondence
8. Approve Regular City Council Meeting minutes of September 9, 2019, as prepared and distributed
9. **CONSENT AGENDA**– *Recommended by Finance, Licensing and Regulation on September 17, 2019*
Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.
 - a. 2019-2021 Original & Renewal Operator License applications filed by various applicants as listed in packet
 - b. Approval of a Riviera Ballroom Lease Agreement Application filed by VISIT Lake Geneva to be used January 27, 2020 through February 2, 2020 for the event of Winterfest and a Street Banner Permit Application filed by VISIT Lake Geneva to be displayed January 1, 2020 through February 2, 2020 (*Fees for both applications to equal \$410*)
10. First Reading of **Ordinance 19-15** an ordinance amending subsection (1), Single-Stop Intersections, of Section 204, Stop Intersections, of Article VI, Traffic Code, of Chapter 74, Traffic and Vehicles of the City of Lake Geneva Municipal Code; relating to the addition of a stop sign at the intersection of Lake View Dr and Lake Shore Dr

11. Recommendation of the Finance, Licensing, and Regulation Committee of September 17, 2019- Ald Howell

- a. Discussion/Action regarding approval of Insurance Policy Renewal for the period of 10/1/2019 through 10/01/2020 with R & R Insurance
- b. Discussion/Action regarding adding insurance coverage for Cyber Security through R & R Insurance in an amount not to exceed \$2,475.00
- c. Discussion/Action regarding amending the City of Lake Geneva Event Permit Policy per the recommendations of the Board of Park Commissioners
- d. Discussion/Action regarding approval of an agreement with John's Disposal for Curbside Collection of Solid Waste and Recyclables for the years 2020-2024
- e. Discussion/Action regarding approval of Pay Request #1 for Payne & Dolan Inc in the amount of \$201,211.57 for the 2019 Street Improvement Project
- f. Discussion/Action regarding approval of a Task Order with Kapur & Associates to provide Civil Engineering Services as it relates to the 2020-2025 Street Improvement Projects plans and budgets, in an amount not to exceed \$10,000
- g. Discussion/Action regarding identifying funding source for the Vandewalle Concept Plan regarding the former Hillmoor Property
- h. Discussion/Acceptance of September 17, 2019 Finance, Licensing, and Regulation Committee Payment Approval Report

12. Recommendation of the Planning Commission of September 16, 2019- Ald Skates

- a. Discussion/Action regarding **Resolution 19-R67** authorizing the issuance of an Exterritorial Platting (ETP) filed by Woodhill Farms Nursery, Inc., N1445 STH 120, Lake Geneva, to allow an Extraterritorial Platting review for a two lot CSM in the Town of Linn, to Tax Key No. IA462300001
- b. Discussion/Action regarding **Resolution 19-R65** authorizing the issuance of a Conditional Use Permit (CUP) filed by Lake Geneva Architects, 201 Broad St. Lake Geneva, for a request to construct a 2 story Commercial Multi-Tenant Building on the property located at 323 Broad St located in the Central Business (CB) zoning district. Tax Key No. ZA464600002
- c. Discussion/Action regarding **Resolution 19-R66** authorizing the issuance of a Conditional Use Permit (CUP) filed by Robert Nabasny, 311 S. Wells St Lake Geneva, for a request to construct a 2 story Residential Addition to the property located at 1544 W. Main St located in the Estate Residential - 1(ER-1) zoning district. Tax Key No. ZLM00070

13. Motion to go into Closed Session pursuant to Wis. Stat. 19.85(1)(e) for the purposes of deliberating or negotiating the purchase of public properties, the investing of public funds, or conducting other specified business whenever competitive or bargaining reasons require a closed session regarding: **Police Union Contract Negotiations**

14. Motion to return to open session pursuant to Wisconsin Statutes 19.85 (2) and take action on any items discussed in closed session

15. Adjournment

Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk's office in advance so the appropriate accommodations can be made.

CITY OF LAKE GENEVA REGULAR COMMON COUNCIL MINUTES
MONDAY, SEPTEMBER 9, 2019 6:00 P.M.
LAKE GENEVA CITY HALL; COUNCIL CHAMBERS (MAIN LEVEL)

Members: Mayor Tom Hartz, Council President, John Halverson, Council Vice President, Cindy Flower, Alderpersons: Selena Proksa, Doug Skates, Tim Dunn, Ken Howell, Shari Straube, and Rich Hedlund

Mayor Hartz called the meeting to order at 6:00 p.m.

Aldersperson Dunn led the Council in the Pledge of Allegiance.

Roll Call

Present: Howell, Proksa, Skates, Straube, Dunn, Hedlund, Flower, and Halverson

Absent: None

Awards, Presentations, Proclamations, and Announcements

National Assisted Living Week Proclamation

Mayor Hartz announced the week of September 8 through September 14, 2019 as National Assisted Living Week.

Presentation of Avian Committee Alliant Energy Bird Watching Kits

Aldersperson Proksa addressed the Council and awarded LeAnn Muzzy an award for her work on obtaining a grant for bird watching. Sarah McConnell displayed the bird watching kits that will be available at the public library to be checked out. She then recognized Sarah Soukup for her work with the kits as well. She also announced that the Swift Night Out will be held on Thursday, September 12, 2019 at the Geneva Lake Museum.

Re-consider business from previous meeting

None

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes

Rick Steinburg; 1032 Williams St; Spoke in opposition to the Vandewalle Proposal in regards to the Hillmoor Property Concept Plan. He encouraged the consultant to conduct a public survey.

Dimiti Anagnos; 148 Cass St; Spoke in opposition of the proposed date for the worship in the park event relating to the congestion downtown during the proposed date. He further spoke in favor of a public survey being conducted in relation to the Hillmoor Property concept plan.

Mary Jo Fesenmaier; 1085 S Lake Shore Dr; Spoke in opposition to the Vandewalle Proposal in regards to the Hillmoor Property Concept Plan. She then noted that the item should not be in front of the Council as the Finance Committee voted the motion down. She spoke in favor of Ice Castles being placed on the Hillmoor property as it is zoned for that type of activity.

Spyro Condos; 1760 Hillcrest Dr; Spoke in opposition to the Vandewalle Proposal in regards to the Hillmoor Property Concept Plan. He also spoke in opposition of paying for this concept plan with tax payer money and stated that something of this nature should be bid out.

Jim Strauss; 1517 Meadow Ridge Cir; Spoke in opposition of the liquor license issuance policy in regards to the points system as it applies to being a property owner versus a business owner. Spoke in opposition to the Vandewalle Proposal in regards to the Hillmoor Property Concept Plan.

Henry Sibbing; 1725 Hillcrest Dr; Spoke in opposition to the Vandewalle Proposal in regards to the Hillmoor Property Concept Plan.

Maureen Marks; 834 Dodge St; Spoke in opposition to the Vandewalle Proposal in regards to the Hillmoor Property Concept Plan. She added the something of this nature should be bid out.

Charlene Klein; 817 Wisconsin St; Spoke in opposition to the Vandewalle Proposal in regards to the Hillmoor Property Concept Plan.

Terry O'Neill; 954 George St; Spoke in opposition to the Vandewalle Proposal in regards to the Hillmoor Property Concept Plan.

Sherri Ames; 603 Center St; Spoke in opposition to the Vandewalle Proposal in regards to the Hillmoor Property Concept Plan.

Dick Malmin; N1991 S Lake Shore Dr; Spoke in opposition to the Vandewalle Proposal in regards to the Hillmoor Property Concept Plan.

Acknowledgement of Correspondence

City Clerk Kropf stated that there were two items of correspondence received; one of Karen Hilt and James Good both regarding the Hillmoor Property Concept Plan Proposal. Both items were distributed to the Council.

Approve Regular City Council Meeting minutes of August 26, 2019, as prepared and distributed

Motion by Hedlund to approve the Regular City Council Meeting minutes of August 26, 2019, second by Skates. No discussion. Motion carried 8-0.

CONSENT AGENDA— Recommended by Finance, Licensing and Regulation on September 3, 2019 Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.

Aldersperson Flower requested that the item: “Approval of a Riviera Ballroom Lease Agreement Application filed by VISIT Lake Geneva to be used January 27, 2020 through February 2, 2020 for the event of Winterfest and a Street Banner Permit Application filed by VISIT Lake Geneva to be displayed January 1, 2020 through February 2, 2020 (*Fees for both applications to equal \$410*)” be removed from the consent agenda.

2019-2021 Original & Renewal Operator License applications filed by various applicants as listed in packet

Event Permit Application filed by Lakeland Community Church for the event of Worship at the Park to be held on July 5, 2020 at 7:00 a.m. and 1:00 p.m. at Flat Iron Park

Approval of waiver of fees for a Street Banner Permit Application filed by Lake Geneva Public Library to be displayed July 24, 2020 through August 9, 2020

Application for Alcohol License Premises Extension filed by Wal-Mart Stores East, LP d/b/a Wal-Mart #910, 201 S Edwards Blvd, Lake Geneva; to allow for outdoor point of alcohol sale for online grocery pickup services

Original Application for a Class “A” Intoxicating Liquor License Application and “Class A” Fermented Malt Beverage License Application filed by 1111 N Edwards Blvd, LLC d/b/a Fairfield Inn & Suites, Michelle Adkins, Agent, located at 1111 N Edwards Blvd, Lake Geneva, WI 53147

Motion by Skates to approve the consent agenda as presented, second by Halverson. No discussion. Motion carried 8-0.

Approval of a Riviera Ballroom Lease Agreement Application filed by VISIT Lake Geneva to be used January 27, 2020 through February 2, 2020 for the event of Winterfest and a Street Banner Permit Application filed by VISIT Lake Geneva to be displayed January 1, 2020 through February 2, 2020 (*Fees for both applications to equal \$410*)

Motion by Heldund to approve, second by Skates. Aldersperson Flower stated that she is opposed to the waiver of fees and would like this to be continued. She would also like to see a policy written on how to address these types of situations. Halverson agreed with Flower and would like to see this done through a process versus an exception. Skates noted that he

would like to see the Riviera less costly and potentially more attractive for residents to rent. Dunn stated that the Riviera is in disrepair due to situations like this and would like to see the fees paid for its' use.

Motion by Flower to refer to FLR for further discussion regarding amending of policies to include Riviera permitting, second by Halverson. Motion carried 5-3, Skates, Hedlund and Howell voting no.

First Reading of Ordinance 19-14 amending sections 74-187(2)(b), Operation on streets restricted, and 74-188(b), Compliance with traffic laws; license required, of Article V, Neighborhood Electric Vehicles, of Chapter 74, Traffic and Vehicles, of the City of Lake Geneva Municipal Code; relating to licensing and areas of operation

Mayor Hartz offered Ordinance 19-14 as a first reading.

Motion by Hedlund to move this ordinance to second reading, second by Halverson. No discussion. Motion carried 8-0.

Mayor Hartz offered Ordinance 19-14 as a second reading.

Motion by Hedlund to approve, second by Flower. Flower stated that this ordinance amendment would allow our code to be consistent with Wisconsin statute. Motion carried 8-0.

Recommendation of the Finance, Licensing, and Regulation Committee of September 3, 2019- Ald Howell

Discussion/Action regarding donation of City of Lake Geneva Fire Department Ambulance to the City of Delavan

Motion by Howell to approve, second by Skates. Howell noted that the Council had tabled this item previously until a valuation could be offered. The Fire Department has indicated that the value on this ambulance is \$1,300. Skates noted that this donation will help the City of Delavan and will ultimately help the City. Chief Peters noted that Delavan is working to build up their EMS and that this donation will ultimately aid all of Walworth County. Motion carried 8-0.

Discussion/Action regarding Resolution 19-R63 authorizing the carryover of 2018 Equipment Replacement Funds to the 2019 Equipment Replacement Fund Budget and authorizing additional 2019 purchases from the Equipment Replacement Fund

Motion by Howell to approve, second by Proksa. Finance Director Hall noted that this is a carry forward of unused 2018 funds to purchase sirens. Motion carried 8-0.

Discussion/Action regarding Resolution 19-R64 adopting a budget amendment authorizing the allocation of the Department of Public Works health insurance premiums to specific departments

Motion by Howell to approve, second by Halverson. Finance Director Hall stated that the City's new payroll system allocates health insurance fund based on the type of work done versus one single line item. Motion carried 8-0.

Discussion/Action regarding City of Lake Geneva Policy Regarding Issuance of Regular and Reserve Intoxicating Liquor Licenses

Motion by Proksa to approve, second by Halverson. Alderperson Proksa stated that she feels this policy is moving in the right direction and she likes that the idea of uniqueness being addressed. Mayor Hartz then reviewed the policy and addressed several points. He added that this policy is to promote smaller and non-chain businesses. Motion carried 7-1, with Howell voting no.

Discussion/Action regarding City Staff Appreciation Party

Motion by Howell to approve with an amount not to exceed \$3,000, second Skates. Alderperson Proksa stated that this idea came up as a way to celebrate the City Staff for their hard work. Howell stated these types of activities are good for morale and team building. Hedlund noted that he would like to see this held on a Thursday versus a Friday and would maybe move the location from the bocce ball court. Motion carried 8-0.

Discussion/Acceptance of September 3, 2019 Finance, Licensing, and Regulation Committee Payment Approval Report

Motion by Howell to approve, second by Halverson. No discussion. Motion carried 8-0.

Discussion/Action regarding Vandewalle Proposal for Services in regards to Hillmoor Property Concept Plan (Finance, Licensing, and Regulation Committee motion to approve failed 2-3, with Howell, Hedlund, and Halverson voting no; Motion by Howell to refer to Council without recommendation, second by Skates. Motion carried 5-0.)

Motion by Skates to approve, second by Proksa. Skates noted that the current zoning was a placeholder. He also added that others in the community have indicated that the current state of the Hillmoor property is unacceptable and that during his conversations with residents there have been many other ideas of what could be there. He offered several other options that had been offered to him including: a splash pad, driving range, indoor/outdoor skating rink, and other recreational activities. Halverson noted that he feels that many people would agree with developing this property for the greater good of the community. Flower noted that she would like all alternatives, including doing nothing, should be explored and discussed with the public. Straube explained that she is in favor of exploring what could be done at this property as long as the public is consulted, all of the public. Mayor Hartz stated that this property is not owned by the City and never has been. He also urged that everyone realize that if this were to be a City-owned park, not only would the City need to maintain, but it would also remove it from the tax roll. He added that this property could most definitely be turned into a water park under this current zoning and he doesn't believe that the City wants to be another Wisconsin Dells.

Motion by Proksa to suspend the rules to allow Brian Munson of Vandewalle to speak, second by Halverson. Motion carried 7-1, with Howell voting no.

Mr. Munson addressed the Council and stated that this plan will help the City identify what the City wants to have there. Munson noted that Vandewalle noted that the property will need to be analyzed and studied before any concept can be offered to the Council. Munson stated that this property is expansive and that no matter what the outcome it will not be developed all at one time. He noted that this is a special area plan that is done by many other communities. Motion carried 6-2, with Dunn and Halverson voting no.

Motion to go into Closed Session pursuant to Wis. Stat. 19.85(1)(e) for the purposes of deliberating or negotiating the purchase of public properties, the investing of public funds, or conducting other specified business whenever competitive or bargaining reasons require a closed session regarding: Police Union Contract Negotiations

Motion by Flower to convene into closed session, second by Straube. Motion carried 8-0 on a roll call vote. The Council convened into closed session at 8:08 p.m.

Motion to return to open session pursuant to Wisconsin Statutes 19.85 (2) and take action on any items discussed in closed session

Motion by Hedlund to reconvene into open session, second by Skates. Motion carried 8-0 on a roll call vote. The Council reconvened into open session at 8:37 p.m.

Motion by Hedlund to direct staff to proceed as discussed in closed session, second by Flower. Motion carried 8-0.

Adjournment

Motion by Howell to adjourn second by Skates. Motion carried 8-0. The Council adjourned at 8:38 p.m.

Provisional License:

Madeline Nelson
Shelby Wrobel
Montana Hatton

Original License:

Madeline Nelson
Shelby Wrobel
Montana Hatton
Alexandra Villasenor

Renewal Operator:

requesting waiver of fees



Receipt No. _____

Date 7/10/19

Riviera Ballroom Lease Agreement

Date of Event: January 27th - February 2nd

Hours (limited to between 10 am & 1 am):

Name of Group or Individual(s): VISIT Lake Geneva

Person(s) Responsible: Shawni Mutter

Address: 507 Center St
Lake Geneva, WI 53147

Phone Number: _____ & Number: -

Email:

Event Type: Winterfest

Estimated number of guests attending (maximum capacity - 380): 380

Admission to be charged? Yes / No Liquor to be served? Yes / No

↳ yes, on Jan 31

Lease, made this 10th day of July, 20 19 between the City of Lake Geneva, a municipal corporation, Lessee, hereinafter referred to as the "City" and VISIT Lake Geneva hereinafter referred to as "Lessee."

Recitals:

1. The City is the sole owner of the described premises and desires to lease the premises to a suitable lessee.
2. Lessee desires to lease the below described premises.
3. The parties desire to enter into a lease agreement defining their rights, duties and liabilities relating to the premises.

1. Lease Premises: The City hereby leases to Lessee the top floor of the Riviera building on Geneva Lake, located at 812 Wrigley Drive in the City of Lake Geneva, also known as the Riviera Ballroom.

2. Term and Rental Fee: Rental fee is for up to a maximum eight (8) hour period and is due four (4) weeks prior to the event. The lease period begins when guests arrive. Any time in excess of eight (8) hours or after 1:00 a.m. will be charged at \$400 per hour and deducted from the security deposit. Lessee shall pay in, addition to the rental fee the hourly rate of \$20 for all necessary set-up and an hourly rate for security personnel. This will be deducted from the security deposit. Any time needed prior to the arrival of guests is considered set-up time.

Rental rates (effective 9/1/15)

Lake Geneva Resident \$2,500.00

- For a wedding, this rate applies only to the bride, groom, or parents of the bride or groom who live full-time within the city limits of Lake Geneva.
- For other bookings, the Lessee must live full-time within the city limits of Lake Geneva and event must be for immediate family (parent or child) of resident Lessee.

Non-Resident \$3,000.00

Non- Profit Organizations* \$400.00

Week Days: Monday – Thursday (Non-Holiday) \$500.00

*Please refer to the Riviera policy concerning non-profit organizations, schools, and civic groups for rules concerning this rate.

The City leases the above described premises for a term of up to eight (8) hours from:

(time) _____ (date & year) _____

To

(time) _____ (date & year) _____

} varies by day

\$400.00 per hour will be charged for any occupancy exceeding the above specified time. Lessee hereby requests to lease the premises for an additional _____ hours

from _____ to _____ (indicate time). The parties agree and understand that rent for such term shall be the sum of \$ _____ dollars. **Rent shall be due and payable in full by 4:00 p.m. no later than four weeks prior to rental.** Payment shall be made to the City of Lake Geneva.

3. Security Deposit: In addition to the rent set forth above the lessee shall pay a security deposit in the amount of \$1000.00. The City and Lessee agree that such security deposit shall be held by the City and may be applied to property damage to the premises, if any, resulting during the term of this lease or otherwise caused by the Lessee, his agents, employees or guests. Nothing in this section shall foreclose

the City from, in addition to withholding the security deposit, seeking further action to recover damages or deficiencies from Lessee, his agents, employees or guests for damages to the leased premises.

4. Use: It is understood and agreed that Lessee's use of the premises shall be for the purpose of Wintorrest Events. Lessee shall not use nor shall he or she allow the use of the premises, or any part thereof, in any manner which is unlawful, immoral, disreputable, including, but not limited to, the following: gambling, contributing to the delinquency of minors, nude dancing and the use of fireworks.
5. Vendors: The lessee agrees to use caterers, beverage services, and rental companies from the Riviera Preferred Vendors List for their event. A vendor fee of 20% of the total bill (excluding tax and gratuity) will be charged for vendors not on the Preferred Vendor List. All other services i.e. Florists, DJ's etc. will be up to the Lessee and no fee will be charged.
6. Indemnity: Lessee shall indemnify the City and hold it harmless for all expenses, liability and claims of every kind, including reasonable attorney's fees, by or on behalf of any person or entity or arising out of (1) a failure of Lessee to perform any term or condition of this lease; (2) any injury or damage happening on or about the premises; (3) a failure of Lessee to comply with any law of any governmental authority; (4) any third party agreements or contracts to provide goods or services for the direct or indirect benefit of the Lessee; or (5) any other circumstance or condition not resulting as a result of the negligence or intentional act of the City, its agents and employees.
7. Stolen or Lost Property: Notwithstanding the provisions of Section 5 herein, Lessee agrees to hold the City harmless for any loss, theft or damage of or to personal property. Lessee has the responsibility of inspecting the premises prior to the close of the lease term for personal property which was lost, misplaced or left behind. Any personal property or fixture remaining at the close of the lease term shall be considered abandoned and shall become property of the City.
8. Surrender of Possession: Lessee shall, upon the close of the lease term, or earlier, peaceably and quietly surrender and deliver the premises to the City free of all liens and encumbrances.
9. Assignment: It is understood and agreed that Lessee shall not assign, sub-lease or in any way encumber the premises, nor shall this lease be transferred by operation of law, without prior written consent of the City.
10. Access to the Premises: Lessee shall allow the City, its agents and employees to enter the premises at reasonable times and in a reasonable manner so as not to disrupt Lessee's use of the premises to inspect the premises to determine whether performance is in accord with the lease terms and conditions.

11. Riviera Security Personnel: Lessee shall allow two (2) employees of the City bearing identification tags with the words "Riviera Personnel" to be present and move freely through the premises during the lease term to make certain no terms or conditions of the lease are being violated. Such Riviera personnel shall also ask persons not authorized by Lessee to be present during the Lease term to leave and will call the police if necessary to assist in the control of guests of Lessee. Riviera personnel shall ask the lessee to announce last call and close down the bar one and a half hours and the DJ one hour before the end of the rental time. The Riviera personnel will assist the Lessee in matters of a custodial or maintenance to ensure a clean and safe environment.

Such personnel shall be bonded at the expense of the City. A third security guard is required for parties larger than 250 guests (maximum capacity is 380).

12. Lessee shall pay, in addition to the rental fee, the hourly rate for necessary set-up and security personnel scheduled for the event. The hourly rate can be obtained from the City Clerk's office. Current hourly rate is \$20.00 for set-up and \$12.75 during the event, and is deducted from the security deposit.

13. Remedies of the City and Liquidated Damages: In the event of breach of any of the terms and conditions of this lease by Lessee, the City, at its option, may treat this lease as null and void, accept the security deposit as liquidated damages, accept the security deposit as partial payment of damages and sue for any deficiency or invoke any remedy available to it under law or equity.

14. Cancellation: A cancellation fee of \$100 will be charged for all cancellations 180 days or more prior to the reserved date; the entire deposit will be forfeited if notified less than 180 days prior to the reserved date. Cancellations must be made in writing.

15. Model Release: It is agreed that The Riviera/City of Lake Geneva staff may display and use any photographs taken for advertising and marketing in ways thought proper by the City of Lake Geneva. For client privacy, last names may be obscured if requested.

16. Rules: Lessee hereby acknowledges receipt of the Rules governing the rental of the Riviera. (*See attached procedures checklist & Usage Rules). Lessee agrees to abide by and follow each and all of said rules regarding the use of the premises. Lessee further agrees that he or she shall be liable for any and all damages incurred as a result of violation of these rules. Failure to abide by the subject rules will be considered a breach of this lease.

I acknowledge that I have received, have read and understand the Riviera Ballroom Procedures & Usage Rules and agree to the provisions therein.

Initial SM

16. Please mail the Riviera Ballroom Lease and \$1,000.00 security deposit to:

Riviera Facilities Coordinator
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

Note: We accept credit cards with ONLINE payments only. If paying by check with this agreement, please make check payable to City of Lake Geneva.

The security deposit refund will be paid to and mailed to the Lessee below:

Shawni Mutter

Signature of Lessee

527 Center St

Address

Lake Geneva, WI 53147

City, State, Zip

7/10/19

Date

emailed to Stephani Copry to hold

For the City of Lake Geneva

7/10/19

Date



July 10th, 2019

Mr. David Nord
City Administrator
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

Dear Mr. Nord,

This letter is our formal request of the Lake Geneva City Council to have the Winterfest banner fees waived for the 25th Winterfest and U.S. National Snow Sculpting Championship, a popular winter tradition that is free for Lake Geneva residents and the general public.

We are requesting the 2020 Winterfest banners be displayed from January 1st – February 2nd, 2020 or as earlier if the Santa Cruise Banners are taken down. The 2020 Winterfest banners will have a seasonal winter theme to highlight the festivities and brand Lake Geneva as a winter destination to stay, play, shop, and dine.

As in past years, this event would not be possible without the support of the City of Lake Geneva. We are grateful for your continued support and will brand the Winterfest banners with City of Lake Geneva logo to provide a greater return on your investment into this legacy event. We are respectfully requesting that the permit fees for the 25th Winterfest and U.S. National Snow Sculpting Competition banners be waived.

Sincerely,

A handwritten signature in cursive script that reads "Shawni Mutter".

Shawni Mutter
Event Manager
VISIT Lake Geneva

CITY OF LAKE GENEVA STREET BANNER DISPLAY APPLICATION

PLEASE FILL IN ALL BLANKS COMPLETELY.
A FEE OF \$1.00 PER BANNER PER DAY SHALL BE PAID, IN ADVANCE,
FOR THE HANGING AND REMOVAL OF BANNERS BY CITY
PERSONNEL.

BANNER INFORMATION

Contact Name: Shawni Mutter

Contact Phone: _____

Organization Name: VISIT Lake Geneva

Mailing Address: 527 Center St

City, State, Zip: Lake Geneva, WI 53147

Phone: _____ Email: _____

Number of Banners to be displayed: 11

Dates for Banners to be displayed: Jan 1st, 2020 - Feb 2nd, 2020

Preferred Location (if available): _____

Special Notes or Requests: _____

Are the Banners to be displayed new, or have they been previously displayed?

NEW

PREVIOUSLY DISPLAYED

If the Banners to be displayed are new, a sketch must be submitted prior to production.
One copy of the Banner should be submitted for approval.

Total Fee: Number of Banners 11 X Number of Days 33 = \$ 363.00
(Total fee is based on \$1.00 per banner for each day it is displayed)

THE UNDERSIGNED HEREBY CERTIFIES THAT I HAVE READ AND UNDERSTAND THE CITY OF LAKE GENEVA ORDINANCE REGARDING THE DISPLAY OF BANNERS. THE UNDERSIGNED FURTHER CERTIFIES THAT I HAVE PAID ANY FEES ASSOCIATED WITH THIS DISPLAY TO THE CITY UPON APPLICATION.

Shawni Mettr DATE: 7/10/19
SIGNATURE OF APPLICANT

For Office Use Only

Date Filed with Clerk: 7/10/19
Receipt Number: Requesting Waiver of Fees
Total Amount: \$ 363.00

Forwarded to City Administrator: 7/10/19
Recommendation: Approved Denied for waiver of fee
Banners

City Administrator Signature: [Signature]

If denied, a refund less the \$10.00 processing fee will be returned to the applicant.

Copied To: Street Department

ORDINANCE OF THE COMMON COUNCIL

An ordinance amending subsection (1), Single-Stop Intersections, of Section 204, Stop Intersections, of Article VI, Traffic Code, of Chapter 74, Traffic and Vehicles of the City of Lake Geneva Municipal Code; relating to the addition of a stop sign at the intersection of Lake View Dr and Lake Shore Dr

Committee	N/A		
Fiscal Impact:	N/A		
File Number:	19-15	First Reading :	September 23, 2019
		Second Reading :	October 14, 2019

The City of Lake Geneva Common Council does ordain as follows:

- (1) Single-stop intersections. The following intersections are designated stop intersections:
- Alley, running east and west north of Pleasant Street; stopping at Madison Street and Maxwell Street
 - Andria Drive, southbound; stopping at Townline Road
 - Ann Street, eastbound; stopping at Center Street
 - Ann Street, westbound; stopping at Williams Street
 - Badger Lane, southbound; stopping at Conant Street
 - Bonnie Brae Lane, southbound; stopping at South Street
 - Campbell Street, eastbound; stopping at Wells Street
 - Cass Street, eastbound; stopping at Curtis Street
 - Cass Street, westbound; stopping at South Lake Shore Drive
 - Cemetery Road, westbound; stopping at Elkhorn Road
 - Center Street, southbound; stopping at Wrigley Drive
 - Clover Street, northbound; stopping at LaSalle Street
 - Clover Street, southbound; stopping at Park Row
 - Commercial Court, southbound; stopping at Park Drive
 - Connie Circle, eastbound; stopping at Timothy Drive
 - Cook Street, northbound; stopping at North Street
 - Cook Street, southbound; stopping at Main Street
 - Cottontail Lane, southbound; stopping at Highway 50/Grand Geneva Parkway
 - Country Club Drive, southbound; stopping at Main Street
 - Curtis Street, northbound; stopping at Main Street
 - Curtis Street, southbound; stopping at Townline Road
 - Darwin Street, eastbound; stopping at Curtis Street
 - Dodge Street, westbound; stopping at Forest Drive
 - Dorwood Drive, southbound; stopping at South Street
 - Eagle Drive, eastbound; stopping at Promontory Drive
 - East Street, northbound; stopping at Main Street
 - Edgewood Court, southbound; stopping at Edgewood Drive
 - Edgewood Drive, eastbound; stopping at Elkhorn Road
 - Elm Street, northbound; stopping at Maple Street
 - Elmwood Avenue, southbound; stopping at Linda Lane
 - Eugene Drive, eastbound; stopping at Dorwood Drive

Eugene Drive, westbound; stopping at South Lake Shore Drive
Forest Street, northbound; stopping at McDonald Road
Forest Street, southbound, stopping at Main Street (Highway 50)
Francis Drive, westbound; stopping at Forest Street
Franklin, southbound; stopping at Dodge Street
Fremont Avenue, southbound; stopping at Dodge Street
Gardner Street, eastbound; stopping at Center Street
Gardner Street, westbound; stopping at Williams Street
Garrison Drive, eastbound; stopping at Dorwood Drive
Garrison Drive, northbound; stopping at Eugene Drive
Geneva Parkway North, westbound; stopping at Edwards Boulevard
Geneva Parkway South, southbound; stopping at Park Drive
Geneva Street, westbound; stopping at Maxwell Street
George Street, eastbound; stopping at Williams Street
Grant Street, eastbound; stopping at Williams Street
Grant Street, westbound, stopping at Elkhorn Road
Grove Street, eastbound; stopping at Sage Street
Grove Street, westbound; stopping at Center Street
Haskins Street, westbound; stopping at Center Street
Havenwood Drive, southbound; stopping at Main Street
Heather Circle, eastbound; stopping at Andria Drive
Henry Street, eastbound; stopping at Center Street
Hillcrest Drive, eastbound; stopping at Timber Lane
Host Drive, westbound; stopping at Wells Street
Kendall Lane, southbound; stopping at Conant Street
Lagrange Drive, eastbound; stopping at South Lake Shore Drive
Lake Geneva Boulevard, northbound; stopping at Wells Street
Lake Geneva Boulevard, southbound; stopping at South Street
Lake View Drive, northbound; stopping at Main Street
Lake View Drive, southbound; stopping at Lake Shore Drive
Lake View Drive, southbound; stopping at Orchard Lane (first intersection with Orchard Lane)
LaSalle Street, eastbound; stopping at Maxwell Street
Linda Lane, eastbound; stopping at Main Street
Logan Street, eastbound; stopping at Madison Street
Madison Street, southbound; stopping at Main Street
Maple Street, westbound; stopping at South Lakeshore Drive
Marion Street, eastbound; stopping at Clover Street
Marshall Street, eastbound; stopping at Center Street
Marshall Street, westbound, stopping at Madison Street
Maxwell Street, northbound, stopping at Elkhorn Road
Maxwell Street, southbound, stopping at Main Street
Maytag Road, westbound; stopping at South Lakeshore Drive
Mill Street, northbound, stopping at Geneva Street
Mill Street, southbound, stopping at Main Street
Miller Road, eastbound, stopping at Timber Lane
Milwaukee Avenue, eastbound, stopping at Center Street
Milwaukee Avenue, westbound, stopping at Williams Street
Minahan Road, northbound, stopping at Interchange North
Minahan Road, southbound, stopping at Sheridan Springs Road
Mobile Street, northbound; stopping at Wells Street
North Street, eastbound; stopping at Center Street

North Street, westbound; stopping at Warren Street
Park Drive, eastbound; stopping at Southwind Drive
Park Drive, westbound; stopping at Edwards Boulevard (Highway 120)
Park Row, eastbound; stopping at Madison Street
Pearson Drive, southbound; stopping at Main Street
Peller Road, southbound; stopping at Main Street (Highway 50)
Penny Lane, westbound; stopping at Romin Road
Pheasant Court, northbound; stopping at Eagle Drive
Pilgrim Church Road, northbound; stopping at South Lake Shore Drive
Pine Tree Lane, eastbound; stopping at South Lake Shore Drive
Pleasant Street, eastbound; stopping at Madison Street
Pond View Drive, southbound; stopping at Dodge Street
Promontory Drive, northbound; stopping at Edgewood Drive
Rogers Court, eastbound; stopping at Center Street
Rogers Court, westbound; stopping at William Street
Rolling Lane, southbound; stopping at South Street
Romin Road, northbound; stopping at Laurie Street
Romin Road, southbound; stopping at South Street
Rush Street, eastbound; stopping at Mobile Street
Sage Street, northbound; stopping at Sheridan Road
Sage Street, southbound; stopping at Geneva Street
Sheridan Springs Road, westbound; stopping at Interchange North
Sky Lane, southbound; stopping at Main Street
Skyline Drive, westbound; stopping at Curtis Street
Snake Road, northbound; stopping at Main Street
South 12, exit ramp, northbound; stopping at South 50
South 12, exit ramp, southbound; stopping at South 50 (stop light)
South Street, westbound; stopping at South Lake Shore Drive
Southwind Drive, southbound; stopping at Townline Road
Spring Street, westbound; stopping at Center Street
Sue Ann Drive, eastbound; stopping at Timothy Lane
Sue Ann Drive, westbound; stopping at South Lake Shore Drive
Timothy Drive, northbound; stopping at Oakwood Lane
Timothy Drive, southbound; stopping at Eugene Drive
Tolman Street, southbound; stopping at George Street
Tomike Street, southbound; stopping at Grant Street
Veterans Parkway, northbound; stopping at Park Drive
Veterans Parkway, southbound; stopping at Townline Road
Walker Street, eastbound; stopping at Center Street
Walker Street, westbound; stopping at Williams Street
Walworth Street, westbound; stopping at Center Street
Warren Street, northbound; stopping at Park Row
Warren Street, southbound; stopping at Main Street
Water Street, westbound; stopping at Center Street
Waverly Street, northbound; stopping at Water Street
West Street, northbound; stopping at Main Street
Wheeler Street, eastbound; stopping at Madison Street
Wheeler Street, westbound; stopping at Elkhorn Road
Wisconsin Street, westbound; stopping at Cook Street
Wrigley Drive, eastbound; stopping at Broad Street
Wrigley Drive, northbound; stopping at Baker Street

#2 Geneva Square, southbound; stopping at Sheridan Springs Road

- 1. This ordinance shall take effect upon passage by a majority vote of the members-elect of the Common Council and publication/posting as required by law.**

Approved by the City of Lake Geneva Common Council on this 14th day October, 2019.

Council Action: **Adopted** **Failed** **Vote** _____

Mayoral Action: **Accept** **Veto**

Thomas Hartz, Mayor

Date

Attest:

Lana Kropf, City Clerk

Date

R&R Insurance Services, Inc.

Paul Lessila, CPA

N14 W23900 Stone Ridge Dr ♦ Waukesha, WI 53188

262.502.3823 ♦ 262.442.2559

paul.lessila@rrins.com

www.myknowledgebroker.com



INSURANCE
SERVICES, INC.

Insurance Solutions

Presented To:

*City of Lake
Geneva*



Policy Term: October 1, 2019 to October 1, 2020

City of Lake Geneva Proposal

Contents



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- B. Cost Comparison

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- A. Local Plan Representatives

SECTION 4 PROGRAM PARTICIPATION

- A. Current LWMMI Plan Participants

This proposal is intended to be only a summary of coverages and services. For specific details on coverage terms and conditions, please refer to the insurance coverage documents or talk to an authorized LWMMI Agent .

Section 1

Program

Proposal



Coverage/Limits Summary

Coverage Provided by League of Wisconsin Municipalities Mutual Insurance	Limit of Liability
General Liability (No Terrorism, Mold or Fungi Exclusions)	\$5,000,000
Law Enforcement Liability	\$5,000,000
Premises Medical Payments	\$10,000
Public Officials Liability	\$5,000,000
Sewer & Water Systems Backup Extended Coverage	\$100,000 Per Occurrence \$300,000 Aggregate
Automobile Liability	\$5,000,000
Automobile: Comprehensive deductible	Various (See schedule)
Collision deductible	Various (See schedule)
Automobile Medical Payments	\$10,000
Uninsured/Underinsured Motorist	Statutory
Damage to Premises Rented to You	\$250,000
Workers Compensation Part A Benefits (Including "Terrorism")	Statutory
Part B Employers Liability	\$2,000,000

The LWMMI Program offers a single limit of liability, combining General Liability, Law Enforcement, Public Officials Liability, and Auto Liability in one policy:

- No Aggregates
- No Claims Made Triggers
- No Deductibles

Section 1

Program

Proposal *Continued*



Coverage/Limits Summary

Coverage	Limit	Deductible	(company name)
Property			MPIC
Building, Personal Property & Property in the open	\$73,092,755	\$5,000	
Contractor's Equipment	\$1,999,658	\$2,500	
Equipment Breakdown	\$73,092,755	\$5,000	
Separate Deductible for Concrete in Wasterwater Treatment facility	\$7,594,496	\$10,000	
Comprehensive Crime Coverage			
Employee Theft – Per Loss <i>(Includes Faithful Performance; Deletes Bonded Employee Exclusion)</i>	\$250,000	\$2,500	Hanover
Forgery or Alteration	\$2,000	\$500	
Inside the Premises – Theft of Money & Securities	\$100,000	\$1,000	
Outside premises	\$100,000	\$1,000	
Computer Fraud	\$250,000	\$2,500	
Funds Transfer Fraud	\$250,000	\$2,500	
False Pretense Coverage	\$75,000	\$5,000	

Section 1

Program



Proposal Continued

Workers Compensation

Employers Liability

Each Accident	100,000
Disease – Policy Limit	500,000
Disease – Each Employee	100,000

Rating Information

Class Code	Classifications	Estimated Remuneration	Rate	Estimated Premium
7520	Waterworks Operation	\$501,700	\$3.76	\$18,864
7709	Fire Department Volunteer	9,586 (Population)		\$5,127
7720	Police Officers	\$1,758,400	\$2.85	\$50,114
8810	Clerical Office	\$1,654,500	\$0.19	\$3,144
9412	Municipal Operations	\$1,202,400	\$3.78	\$45,451

Factors & Premiums

Coverage	Rate	Premium
Classifications Total		\$ 122,700
Experience Modification	1.18	\$ 22,086
Premium Discount	8.5%	\$ -12,266
Expense Constant		\$ 220
Terrorism		\$ 0 (no charge)
Total Estimated Annual Premium		\$ 132,740

Other:
Semi-Annual Plan

Section 1

Program



Cost Comparison

	EXPIRING	VS	LWMMI AND OTHERS
General Liability	\$ 33,338		\$ 33,338
Law Enforcement Liability	\$ 21,266		\$ 20,670
Public Officials E&O Liability	\$ 17,498		\$ 17,498
Automobile Liability	\$ 20,759		\$ 20,241
Auto Physical Damage	\$ 24,605		\$ 26,281
No-Fault Sewer Coverage	\$ 13,692		\$ 13,813
Property / Inland Marine	\$ 46,003 MPIC		\$ 51,086 MPIC
Equipment Breakdown	\$ 3,795 MPIC		\$ 3,947 MPIC
Crime	\$ 1,496 Hanover		\$ 1,496 Hanover
Subtotal	\$ 182,452		\$ 188,370
Workers Compensation	\$ 148,930		\$ 132,470
TOTAL ANNUAL ESTIMATE	\$ 331,382		\$ 320,840

Special Conditions/Options:

- Optional Quote: MPIC – Pier & Wharf Replacement Coverage
 - Limit: \$2,128,818
 - Deductible: \$5,000/15%
 - Premium \$12,581



Coverages for Discussion

Coverage	Quote Desired	Quote Declined	Coverage in Effect
Increased Crime limits	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Social Engineering – False Pretense Coverage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Computer Fraud	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Funds Transfer Fraud	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Forgery or Alteration	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Monies & Securities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Monies & Securities <i>Peak Season Endorsement</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Money orders & Counterfeit Money	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Property in the Open coverage limited to \$10K	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1 st party Cyber – Increased limits for property	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dam Liability	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pollution Liability for above ground or underground tanks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

I understand that R&R Insurance Services has offered me an opportunity to receive information and/or quotations on the above coverages.

Signature

Date

Client Name
City of Lake Geneva

Section 2

Coverage

Summary

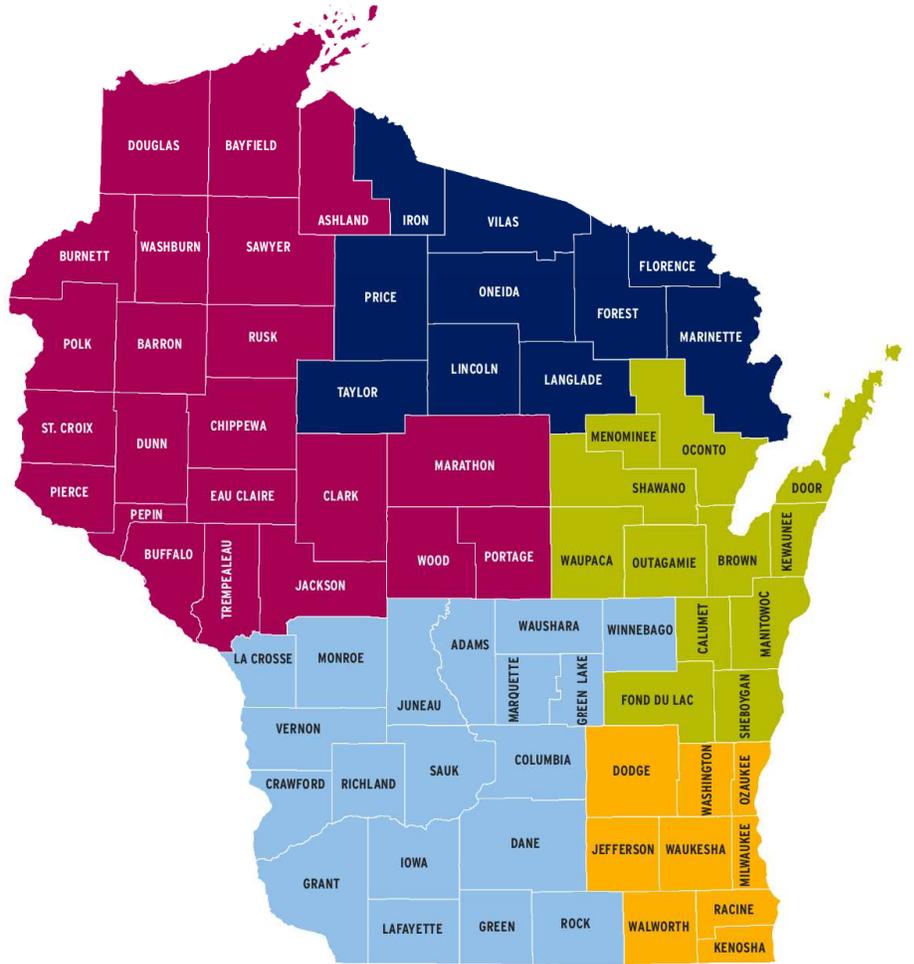


League of Wisconsin Municipalities Mutual Insurance Coverage Enhancements

LWMMI is pleased to offer major coverage enhancements many commercial issuers exclude, including:

- A single policy combining General Liability, Law Enforcement, Public Officials Errors & Liability, and Auto Liability, reducing the chance for gaps between policies
- No “Aggregate Limits.” The “Per Occurrence” policy limit applies to all liability claims
- All coverage is on an “Occurrence” basis, including Public Officials and Employee Benefits Liability
- Prior Act coverage provided for former “Claims-Made” Policies
- Defense costs in addition to the policy limit for all liability coverage, including Law Enforcement Liability
- Police and public official claims will not be settled without your approval
- Limited defense cost reimbursement for alleged criminal acts
- Non-Monetary Claims Coverage up to \$50,000 Per Wrongful Act; subject to a \$250,000 Aggregate Limit
- Sudden and Accidental Above Ground Pollution – \$250,000
- Back and Future Wages and Benefits Covered
- Automobile and Premise Medical No Fault Payments
- \$2,000,000 Added to Limits for Workers Compensation Part B - Employers Liability of the League’s Policy
- Expanded Contractual Liability for Mutual Aid Agreements
- Optional No-Fault Sewer Back-Ups (subject to underwriting acceptability) – \$100,000 per occurrence, \$300,000 annual aggregate.
- Tax Assessment Disputes – up to \$50,000 for Defense

Our LWMMI Professionals are
Protecting the Communities We Live In



402 Gammon Place
Suite 225
Madison, WI 53719

p: 608.833.9595
f: 608.833.8088

insurance@lwmmi.org
www.LWMMI.org

A Mutual Company Owned by
Member Cities and Villages.

Baer Insurance Services, LLC

Mike Zagrodnik
9701 Brader Way, Suite 100
P. O. Box 46490
Madison, WI 53744

p: 888-729-2237
f: 608-664-2233
mikez@baerinsurance.com

R&R Insurance Services, Inc.

Rick Kalscheuer
1581 E Racine Avenue
P. O. Box 1610
Waukesha, WI 53187

p: 262-953-7215
f: 262-953-1343
rick.kalscheuer@rrins.com

Business Insurance Group

Bill Barnes
1856 N Stevens Street
P. O. Box 784
Rhineland, WI 54501

p: 715-362-5557
f: 715-362-5572
bill@businsgroup.com

McClone Agency, Inc.

Sherri Rusch-Regenwether
1807 Erie Avenue
P. O. Box 1320
Sheboygan, WI 53082

p: 800-989-6174
f: 920-458-1363
sherri.regenwether@mcclone.com

Spectrum Insurance Group, LLC

Darrel Zaleski
4233 Southtowne Drive
Eau Claire, WI 54701

p: 877-858-9874
f: 715-858-9866
darrel.zaleski@spectruminsgroup.com

LWMMI

Dennis Tweedale, CEO
402 Gammon Place
Suite 225
Madison, WI 53719

p: 608.833.9595
f: 608.833.8088
dennis@lwmmi.org



League of Wisconsin Municipalities Mutual Insurance

Plan Participants

Abbotsford, City of
Adell, Village of
Albany, Village of
Algoma, City of
Algoma Utilities
Commission
Allouez, Village of
Almena, Village of
Amherst, Village of
Aniwa, Village of
Arcadia, City of
Arena, Village of
Argyle, Village of
Arlington, Village of
Arpin, Village of
Ashland County Housing
Authority
Ashwaubenon, Village of
Athens, Village of
Auburndale, Village of
Augusta, City of
Avoca, Village of
Bagley, Village of
Barneveld, Village of
Barron County Housing
Authority
Barron Housing Authority
Bay City, Village of
Bayfield, City of
Bayside, Village of
Beaver Dam, City of
Belleville, Village of
Bellevue, Village of
Belmont, Village of
Benton, Village of
Big Bend, Village of
Birchwood, Village of
Birchwood Four
Corners EMD
Biron, Village of
Black Creek, Village of
Black Earth, Village of
Black River Falls, City of
Blair, City of
Blanchardville, Village of
Blenker Sherry Sanitary
District
Blue Mounds, Village of
Blue River, Village of
Bonduel, Village of
Boscobel, City of
Boyceville, Village of
Boyceville Community
Ambulance District
Boyceville Community
Fire District
Boyd, Village of
Brillion, City of
Brooklyn, Village of
Bruce, Village of
Buffalo City, City of
Butler, Village of
Butternut, Village of
Cadott, Village of
Calumet Sanitary District
#1, Town Of
Cambria, Village of
Cambridge, Village of
Cambridge Oakland
Wastewater
Camp Douglas, Village of
Campbellsport, Village of
Cazenovia, Village of
Cecil, Village of
Chenequa, Village of
Chetek Housing Authority
Chilton, City of
Chippewa Falls, City of
Clear Lake, Village of
Cleveland, Village of
Clinton, Village of
Clintonville, City of
Clintonville Area Ambulance
Cobb, Village of
Cochrane, Village of
Colby, City of
Colby – Abbotsford Police
Department
Colfax, Village of
Coloma, Village of
Columbus, City of
Combined Locks, Village of
Community Library
Coon Valley, Village of
Cornell, City of
Cottage Grove, Village of
Crandon, City of
Cross Plains, Village of
Cross Plains Area EMS
Cumberland, City of
Cumberland Fire District
Cumberland Municipal Utility
Curtiss, Village of
Dane, Village of
Dane Iowa Sanitary District
Darien, Village of
Deer Grove EMS
Deer Park, Village of
Deerfield, Village of
Delafield, City of
**Delafield – Hartland Water
Pollution Control Commission**
Delavan Lake Sanitary District
Dodgeville, City of
Door County Tourism
Zone Commission
Dorchester, Village of
Dousman, Village of
Downing, Village of
Doylestown, Village of
Dresser, Village of
Eagle, Village of
Eagle River, City of

Eau Claire Housing
Authority, City of
Edgerton, City of
Egg Harbor, Village of
Eland, Village of
Eleva, Village of
Elk Mound, Village of
Elkhart Lake, Village of
Ellsworth, Village of
Elm Grove, Village of
Elmwood, Village of
Elmwood Park, Village of
Embarrass, Village of
Endeavor, Village of
Ephraim, Village of
Everest Metropolitan Police
Department
Fairchild, Village of
Fairchild Fire Protection
District
Fairwater, Village of
Fall Creek, Village of
Ferryville, Village of
Fond du Lac, City of
**Fontana on Geneva Lake,
Village of**
**Fontana – Walworth Water
Pollution Control
Commission**
Footville, Village of
Fountain City, City of
Fox Lake, City of
**Fox Lake Community
Fire Association**
Fox Point, Village of
Fox West Regional Sewerage
Commission
Francis Creek, Village of
**Frank L. Weyenberg Library,
Mequon – Thiensville**
Franklin, City of
Frederic, Village of
Fremont, Village of
Fremont Orihula Wolf River
Friesland, Village of
**Geneva Lake Law
Enforcement**

Gillett, City of
Gilman, Village of
Glen Flora, Village of
Glenbeulah, Village of
Goose Lake Watershed
District
Granton, Village of
Grantsburg, Village of
Gratiot, Village of
Greater Bayfield
Wastewater Treatment
Green Lake, City of
Green Lake Sanitary
District
Greenfield, City of
Gresham, Village of
Hales Corners, Village of
Hammond, Village of
Harrison, Village of
Hartland, Village of
Haugen, Village of
Hawkins, Village of
Hayward, City of
Hewitt, Village of
Highland, Village of
Hilbert, Village of
Hixton, Village of
Hobart, Village of
Hollandale, Village of
Holmen, Village of
Hortonville, Village of
Howards Grove,
Village of
Howards Grove
Volunteer Fire
Department
Hurley, City of
Hustisford, Village of
Hustler, Village of
Independence, City of
Ingram, Village of
Iola, Village of
Iron Ridge, Village of
Jefferson, City of
**Jefferson Housing
Authority, City of**

Johnson Creek, Village of
Junction City, Village of
Kaukauna, City of
Kaukauna Utilities
Kegonsa Sanitary District #2
Kekoskee, Village of
Kennan, Village of
Kewaskum, Village of
Kewaunee, City of
Kiel, City of
Kingston, Village of
Kohler, Village of
Kronenwetter, Village of
La Farge, Village of
La Valle, Village of
Lac La Belle, Village of
Ladysmith, City of
**Lake Country Fire and Rescue
Department**
Lake Delton, Village of
Lake Geneva, City of
Lake Hallie, Village of
Lake Mills, City of
Lake Nebagamon,
Village of
**Lake Pewaukee Sanitary
District**
Landfill Venture Group
League of Wisconsin
Municipalities
League of Wisconsin
Municipalities Mutual
Insurance
Linden, Village of
Little Chute, Village of
Little Elkhart Lake
Rehabilitation District
Livingston, Village of
Loganville, Village of
Lohrville, Village of
Lomira, Village of
Lone Rock, Village of
Luck, Village of
Luxemburg, Village of
Lyndon Station,
Village of
Lynxville, Village of

Madison Metropolitan
Sewerage District
Maiden Rock, Village of
Maine, Village of
Manawa, City of
Maribel, Village of
Marion, City of
Marquette, Village of
Marquette Communities
Joint Municipal Court
Marquette Fire District
Marshall, Village of
Marshfield, City of
Marshfield Utilities Electric
and Water Department
Mary Lane Sanitary District
Mauston, City of
Mazomanie, Village of
McFarland, Village of
Medford, City of
Mellen, City of
Merrill, City of
Merrillan, Village of
Merrimac, Village of
Merton, Village of
Merton Community Fire
Department
Milltown, Village of
Milwaukee Area Domestic
Animal Control
Milwaukee Housing
Authority, City of
Mineral Point, City of
Mishicot, Village of
Mondovi, City of
Montello, City of
Montello Joint Fire District
Montfort, Village of
Monticello, Village of
Mosinee, City of
Mosinee Fire District
Mount Calvary, Village of
Mount Horeb, Village of
Mukwonago, Village of
Municipal Court for
Western Waukesha
County

Muscoda, Village of
Muskego, City of
Nashotah, Village of
Necedah, Village of
Neillsville, City of
Nelsonville, Village of
Neosho, Village of
Neshkoro, Village of
New Holstein, City of
New Lisbon, City of
New Richmond, City of
Newburg, Village of
Niagara, City of
North Bay, Village of
North Fond du Lac,
Village of
North Freedom,
Village of
North Hudson,
Village of
North Prairie, Village of
North Shore Fire
Department
North Shore Water
Commission
Northern Waupaca
County Joint
Municipal Court
Norwalk, Village of
Oconomowoc, City of
Oconomowoc Lake,
Village of
Oconto, City of
Oconto Falls, City of
Oconto Falls Water and
Light Commission,
City of
O'Dells Bay Sanitary
District
Oregon, Village of
Orfordville, Village of
Orihula Sanitary District
Oshkosh, City of
Osseo, City of
Owen, City of
Owen Withee Police
Commission

Oxford, Village of
Pabst Farms Joint Stormwater
Utility District
Paddock Lake,
Village of
Palmyra, Village of
Pardeeville, Village of
Park Falls, City of
Park Ridge, Village of
Pepin, Village of
Peppermill Lake Management
District
Pewaukee, City of
Pewaukee, Village of
Phillips, City of
Pikes Bay Sanitary District
Plain, Village of
Pleasant Prairie,
Village of
Pleasant Springs Sanitary
District
Polk County Housing Authority
Port Edwards, Village of
Portage, City of
Potter, Village of
Poynette, Village of
Prairie du Chien, City of
Prairie du Sac, Village of
Prairie Farm, Village of
Prairie Village Water Trust
Prentice, Village of
Prescott, City of
Princeton, City of
Randolph, Village of
Random Lake, Village of
Readstown, Village of
Redevelopment Authority of the
City of Oshkosh
Redgranite, Village of
Reedsville, Village of
Reeseville, Village of
Rewey, Village of
Rib Lake, Village of
Rib Mountain Sanitary District
Rice Lake, City of
Rice Lake – Lake Protection &
Rehabilitation

Rice Lake Housing Authority
 Richfield, Village of
 Ridgeland, Village of
 Ridgeway, Village of
 Rio, Village of
 Roberts, Village of
 Rochester, Village of
 Rock – Koshkonong Lake District
 Rock Springs, Village of
 Rockdale, Village of
 Rockland, Village of
 Rosendale, Village of
 Rothschild, Village of
 Rudolph, Village of
 Sauk City, Village of
 Sauk Prairie Community Recreation
 Sauk Prairie Court Commission
 Sauk Prairie Police Commission
 Sauk Prairie Sewerage Commission
 Scandinavia, Village of
 Sharon, Village of
 Shawano, City of
 Sheboygan Water Utility
 Shell Lake, City of
 Shell Lake Housing Authority, City of
 Sherry Volunteer Fire Department
 Shorewood, Village of
 Shorewood Hills, Village of
 Siren, Village of
 Sister Bay, Village of
 Soldiers Grove, Village of
 Somerset, Village of
 South Area Fire and Emergency Response District
 South Wayne, Village of
 Spencer, Village of
 Spencer Area Fire and Ambulance Commission
 Spring Green, Village of
 St. Cloud, Village of
 St. Croix Falls, City of
 Stevens Point Airport, City of
 Stevens Point Housing Authority
 Stevens Point Water, Sewer and Stormwater
 Stockholm, Village of
 Strum, Village of
 Sturgeon Bay, City of
 Sturgeon Bay Utilities
 Sturtevant, Village of
 Suamico, Village of
 Sullivan, Village of
 Summit, Village of
 Superior, Village of
 Suring, Village of
 Sussex, Village of and Pauline Haass Public Library
 Tennyson, Village of
 Theresa, Village of
 Thiensville, Village of
 Thorp, City of
 Tomahawk, City of
 Trempealeau, Village of
 Turtle Lake, Village of
 Twin Lakes, Village of
 Union Center, Village of
 Unity, Village of
 Upper St. Croix Lake Sanitary District
 Valders, Village of
 Vanguard Electric Commission
 Vesper, Village of
 Viola, Village of
 Waldo, Village of
 Wales, Village of
 Walworth, Village of
 Washburn, City of
 Waterford, Village of
 Waterloo, City of
 Watertown, City of
 Watertown Housing Authority
 Waukesha, City of
 Waukesha Water Utility
 Waunakee, Village of
 Waupaca, City of
 Wausaukee, Village of
 Wautoma, City of
 Wauzeka, Village of
 Webster, Village of
 West Central Wisconsin Bio Solids
 West Milwaukee, Village of
 West Salem, Village of
 Western Lakes Fire District
 Westfield, Village of
 Weston, Village of
 Weyauwega, City of
 Wheeler, Village of
 Whitehall, City of
 Whitelaw, Village of
 Williams Bay, Village of
 Wind Point, Village of
 Windsor, Village of
 Winneconne, Village of
 Wisconsin Dells – Lake Delton Sewerage Commission
 Wisconsin Rapids, City of
 Wisconsin Rapids Water Works and Lighting Commission
 Withee, Village of
 Wolf River Sanitary District
 Wrightstown, Village of
 Wyocena, Village of

LWMMI - Auto Physical Damage Application

Municipality: Lake Geneva, City of

Effective Date: October 1, 2019

Expiration Date: October 1, 2020

Both Comprehensive and Collision coverages will be provided based on the coverage type selected below, either Replacement Cost (RC) or Actual Cash Value (ACV)

Signature for the Municipality - only required for new business

Date

Vehicle Schedule (attach additional schedules if needed and enter the total on the last line)

Year	Make	Model	Vehicle Type	VIN#	Dept. (optional) FD - NO LIAB CHARGE	Zip Code (Garaged at Night)	Parked Inside (i) or Outside (o)	Is Garage Location in a Flood Zone?	Deductible	(1) Original Cost New	Coverage Type (Replacement Cost or Actual Cash Value)
1917	Republic	Fire Truck	ANTIQUE	38498N	FD - NO LIAB CHARGE	53147	I	No	\$500.00	\$14,000.00	Stated Value
1980	Ford	Van	PICKUP	E37GHH2644	PD	53147	I	No	\$1,000.00	\$30,000.00	Replacement Cost
1988	Undisclosed	Vehicle	PASSENGER	1GCGG35KXJ7146839		53147	O	No	\$1,000.00	\$5,000.00	Replacement Cost
1989	Chevrolet	Truck	PICKUP	1GCG32K7K3329702	UTL	53147	I	No	\$1,000.00	\$25,000.00	Replacement Cost
1990	International	Truck	DMP-TRUCK	1HTSDTVR2LH256199	ST	53147	I	No	\$2,500.00	\$4,000.00	Replacement Cost
1992	Undisclosed	Vehicle	PASSENGER	1HGEG8547NL031622	LIAB ONLY	53147	O	No	\$500.00	\$0.00	None - No APD, Liability
1993	International	Dump	DMP-TRUCK	1HTGBPCR7PH502742	ST	53147	I	No	\$2,500.00	\$40,795.00	Replacement Cost
1995	Chevrolet	K3500 Truck	PICKUP	1GBJK34NXSE200125	ST	53147	I	No	\$1,000.00	\$27,512.00	Replacement Cost
1996	Chevrolet	K1500 Pickup	PICKUP	1GCEK14W2TZ130706	ST	53147	I	No	\$1,000.00	\$18,331.00	Replacement Cost
1996	International	Dump	DMP-TRUCK	1HTSDAAR0TH353444	ST	53147	I	No	\$2,500.00	\$65,497.00	Replacement Cost
1996	Chevrolet	Truck	PICKUP	1GCEC14W9TZ116329	UTL/ST	53147	I	No	\$1,000.00	\$11,967.00	Replacement Cost
1996	Pierce	Fire Truck	FIRE-OTHER	4P1CT02G8TA000204		53147	O	No	\$2,500.00	\$262,076.00	Replacement Cost
1996	IHC	Truck	DMP-TRUCK	1HTGBAAR1TH221921	ST	53147	I	No	\$2,500.00	\$63,143.00	Replacement Cost
1996	Chevrolet	Van	PICKUP	1GCEG15W6T1041784	ST	53147	I	No	\$1,000.00	\$20,000.00	Replacement Cost
1997	Ford	Ambulance	RESCUE	1FDLE402VHA01746	FD	53147	O	No	\$2,500.00	\$80,000.00	Replacement Cost
1997	IHC	Truck w Plow	DMP-TRUCK	1HTSDAAR9VH460477	ST	53147	I	No	\$2,500.00	\$67,000.00	Replacement Cost
1998	Undisclosed	Accord	POLICE	1HGCG165XWA038308	PD	53147	O	No	\$1,000.00	\$3,000.00	Replacement Cost
1999	Ford	Ranger	PASSENGER	1FTZR11V6XPA71492	ST	53147	I	No	\$1,000.00	\$10,000.00	Replacement Cost
1999	International	4900 Truck	DMP-TRUCK	1HTSHADT9XH614684	ST	53147	I	No	\$2,500.00	\$138,000.00	Replacement Cost
1999	International	Garbage Truck	GRBG-TRUCK	1HTSHADRXXH656592	ST	53147	I	No	\$2,500.00	\$46,900.00	Replacement Cost

Total from additional schedules (if needed): \$4,978,341.00
Policy Totals: \$5,910,562.00

(1) Original Cost New (OCN) is the retail cost the original purchaser paid for the vehicle. This includes the value before any credit for a trade-in.

LWMMI - Auto Physical Damage Vehicle Schedule Continued

Year	Make	Model	Vehicle Type	VIN#	Dept. (optional)	Zip Code (Garaged at Night)	Parked Inside (i) or Outside (o)	Is Garage Location in a Flood Zone?	Deductible	(1) Original Cost New	Coverage Type (Replacement Cost or Actual Cash Value)
1999	Chevrolet	Silverado	PICKUP	1GCEC14W4XE253885	ST	53147	I	No	\$1,000.00	\$18,441.00	Replacement Cost
2000	International	4900 Truck	DMP-TRUCK	1HTSDAAR2YH213046	ST	53147	I	No	\$2,500.00	\$75,000.00	Replacement Cost
2001	Pierce	Fire Truck	FIRE-OTHER	4PICT02521A001432		53147	O	No	\$2,500.00	\$372,692.00	Replacement Cost
2001	Ford	350	FIRE-OTHER	1FTSF31L41EC74744	FD	53147	I	No	\$2,500.00	\$24,259.00	Replacement Cost
2002	Ford	Excursion	POLICE	1FMNU40S92EC08530	PD	53147	I	No	\$1,000.00	\$50,000.00	Replacement Cost
2002	Global Electric	GEM Car	PASSENGER	5ASAJ27432F022561	PD	53147	I	No	\$1,000.00	\$5,000.00	Replacement Cost
2003	Suzuki	Motorcycle	POLICE	JS1SK43A032100147	PD	53147	I	No	\$1,000.00	\$5,000.00	Replacement Cost
2003	Chevrolet	Silverado	PICKUP	1GCEK14X23Z113817	ST	53147	I	No	\$1,000.00	\$20,630.00	Replacement Cost
2003	Suzuki	Motorcycle	POLICE	JS1SK43A932101975	PD	53147	I	No	\$1,000.00	\$5,000.00	Replacement Cost
2004	International	5 YRD Truck 7400	DMP-TRUCK	1HTWDADR44J016007	ST	53147	I	No	\$2,500.00	\$70,000.00	Replacement Cost
2005	Ford	F250	PICKUP	1FTNF21505EC28486	UTL	53147	I	No	\$1,000.00	\$30,000.00	Replacement Cost
2005	Ford	E450 Ambulance	RESCUE	1FDXE45P55HB24282	FD	53147	O	No	\$1,000.00	\$250,000.00	Replacement Cost
2006	Western Star	Chassis & Cab Truck	DMP-TRUCK	5KKHALCV46PV23884	UTL	53147	O	No	\$2,500.00	\$99,000.00	Replacement Cost
2007	Pierce	Rescue Pumper	FIRE-OTHER	4P1CL01H77A007824	FD	53147	O	No	\$2,500.00	\$478,461.00	Replacement Cost
2007	Chevrolet	Trailblazer	PICKUP	1GNET13M172125256	UTL	53147	O	No	\$1,000.00	\$18,000.00	Replacement Cost
2007	Chevrolet	Silverado	PICKUP	1GBJK34U57E103803	CEM	53147	I	No	\$1,000.00	\$25,000.00	Replacement Cost
2007	International	4300 Truck	DMP-TRUCK	1HTMMAARX7H433977	ST	53147	I	No	\$2,500.00	\$65,000.00	Replacement Cost
2008	Ford	Explorer	POLICE	1FMEU738X8UB07335	PD	53147	O	No	\$1,000.00	\$29,345.00	Replacement Cost
2008	Ford	350	PICKUP	1FTWF31R48EE59067	FD	53147	O	No	\$1,000.00	\$32,000.00	Replacement Cost
2009	Ford	F550 Truck	PICKUP	1FDAF57Y79EA62065	ST	53147	O	No	\$1,000.00	\$40,000.00	Replacement Cost
2009	Ford	Econoline Cargo Van	PICKUP	1FTNE14WX9DA69845	UTL	53147	O	No	\$1,000.00	\$28,000.00	Replacement Cost
2009	Ford	Explorer	POLICE	1FMEU73E19UA21418	PD	53147	O	No	\$1,000.00	\$33,000.00	Replacement Cost
2009	Ford	Ranger	PICKUP	1FTZR45E99PA35780	PK	53147	O	No	\$1,000.00	\$20,042.00	Replacement Cost
2009	Ford	Explorer	FIRE-OTHER	1FMEU73E59UA18098	FD	53147	O	No	\$2,500.00	\$33,000.00	Replacement Cost
2009	Ford	F550 S-Dty Truck	PICKUP	1FDAF57Y59EA62064	ST	53147	O	No	\$1,000.00	\$40,000.00	Replacement Cost
2010	Chevrolet	Silverado	PICKUP	1GCPKPEA6AZ142028	UTL	53147	O	No	\$1,000.00	\$20,744.00	Replacement Cost
2011	Ford	Crown Victoria	FIRE-OTHER	2FABP7BV1BX159464	FD	53147	I	No	\$1,000.00	\$22,336.00	Replacement Cost
2011	Chevrolet	Silverado	PICKUP	1GC3KZCG7BZ384653	UTL	53147	I	No	\$1,000.00	\$31,450.00	Replacement Cost
2011	Ford	Crown Victoria	FIRE-OTHER	2FABP7BVXBX159463	FD	53147	I	No	\$1,000.00	\$22,336.00	Replacement Cost
2011	Pierce	Tower Ladder Truck	FIRE-OTHER	4P1CA01H0BA011521	FD	53147	I	No	\$2,500.00	\$864,708.00	Replacement Cost
2011	Ford	F550 Bucket Truck	PICKUP	1FDUF5GT9BEB33404	ST	53147	O	No	\$1,000.00	\$39,000.00	Replacement Cost
2012	Freightliner	M280V	DMP-TRUCK	1FVAC3BS2CHBU4447	ST	53147	I	No	\$2,500.00	\$128,489.00	Replacement Cost
2013	Ford	Taurus	POLICE	1FAHP2M80DG198222	PD	53147	I	No	\$500.00	\$27,000.00	Replacement Cost
2013	Dodge	Ram 3500	PICKUP	3C7WRTCT6DG554946	CEM	53147	I	No	\$1,000.00	\$49,357.00	Replacement Cost
2013	Ford	F550	PICKUP	1FDUF5HT0DEA75975	ST	53147	I	No	\$1,000.00	\$63,392.00	Replacement Cost

Totals for this page: \$3,135,682.00

LWMMI - Auto Physical Damage Vehicle Schedule Continued

Year	Make	Model	Vehicle Type	VIN#	Dept. (optional)	Zip Code (Garaged at Night)	Parked Inside (i) or Outside (o)	Is Garage Location in a Flood Zone?	Deductible	(1) Original Cost New	Coverage Type (Replacement Cost or Actual Cash Value)
2013	Chevrolet	Silverado	PICKUP	1GCNCEX9DZ259552	UTL	53147	I	No	\$1,000.00	\$18,133.00	Replacement Cost
2014	Ford	F150	POLICE	1FTFW1EF3EFB11061	PD	53147	I	No	\$1,000.00	\$33,000.00	Replacement Cost
2014	Chevrolet	Silverado	PICKUP	1GCNKPEH3EZ183100	WW	53147	I	No	\$1,000.00	\$26,728.00	Replacement Cost
2014	Ford	F350	PICKUP	1FTRF3B65EAA26936	ST	53147	I	No	\$1,000.00	\$33,615.00	Replacement Cost
2014	Ford	F150	PICKUP	1FTFW1ET8EFB11062	Street	53147	I	No	\$1,000.00	\$24,000.00	Replacement Cost
2015	Ford	Police Interceptor	POLICE	1FAHP2MK2FG203967	PD	53147	O	No	\$1,000.00	\$24,789.00	Replacement Cost
2015	Ford	Expedition	POLICE	1FMJU1GTXFEF22429	Police	53147	I	No	\$1,000.00	\$44,000.00	Replacement Cost
2015	Ford	Transit Connect XL Van	PICKUP	NM0LS7EX3F1195288	UTL	53147	O	No	\$1,000.00	\$24,979.00	Replacement Cost
2015	Ford	Explorer	POLICE	1FM5K8AR7FGB61341	ST	53147	I	No	\$1,000.00	\$44,000.00	Replacement Cost
2016	Ford	Explorer	RESCUE	1FM5K8AR6GGC08330	FD	53147	O	No	\$1,000.00	\$65,000.00	Replacement Cost
2016	Ford	Explorer	POLICE	1FM5K8ARXGGC08329	PD	53147	O	No	\$1,000.00	\$45,000.00	Replacement Cost
2016	Chevrolet	3500 Truck	PICKUP	1GB3KYCG3GZ327744	ST	53147	O	No	\$1,000.00	\$58,900.00	Replacement Cost
2017	Ford	Explorer	POLICE	1FM5K8AR4HGC25970	PD	53147	O	No	\$1,000.00	\$45,000.00	Replacement Cost
2017	International	7400	DMP-TRUCK	3HAWDSTRXHL504098		53147	O	No	\$2,500.00	\$157,067.00	Replacement Cost
2017	International	7400	DMP-TRUCK	3HAWDSTR1HL504099		53147	O	No	\$2,500.00	\$157,067.00	Replacement Cost
2018	Ford	Explorer	POLICE	1FM5K8BHJGA73042	PD	53147	I	No	\$1,000.00	\$70,000.00	Replacement Cost
2018	Ford	Explorer	POLICE	1FM5K8AR5JGA21023	PD	53147	O	No	\$1,000.00	\$50,000.00	Replacement Cost
2018	Ford	Explorer	POLICE	1FM5K8AR7JGA21024	PD	53147	O	No	\$1,000.00	\$70,000.00	Replacement Cost
2018	Horton	Ambulance	RESCUE	1FDUF5HT0JDA02655	FD	53147	I	No	\$2,500.00	\$247,911.00	Replacement Cost
2019	International	Sweeper Truck	DMP-TRUCK	1HTMMMNXKH408693		53147	O	No	\$2,500.00	\$253,045.00	Replacement Cost
2019	Ford	Interceptor	POLICE	1FAHP2MK4KG113780	Police	53147	O	No	\$1,000.00	\$28,682.00	Replacement Cost
2019	Horton	Ambulance	RESCUE	1FDUF5HT5KEE60073	FD	53147	O	No	\$2,500.00	\$250,587.00	Replacement Cost
2019	Ford	Explorer	POLICE	1FM5K8AR2KGB45381	PD	53147	O	No	\$1,000.00	\$32,172.00	Replacement Cost
2019	Ford	Expedition	POLICE	1FMJK1GT7KEA21126		53147	O	No	\$1,000.00	\$38,984.00	Replacement Cost

Totals for this page: \$1,842,659.00

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - 73,092,755

Site	Bldg	Description	Year Built	Floors	Square Footage	Building CRN	Content CRN
1 City Hall							
	1	City Hall 626 GENEVA STREET LAKE GENEVA WI 53147	1998	2	41,209	\$7,406,984	\$1,071,408
		Property in the open					\$300,456
		City Hall (1) Total				\$7,406,984	\$1,371,864
2 Fire Station							
	1	Fire Station 730 MARSHALL STREET LAKE GENEVA WI 53147	1975	1	9,728	\$1,475,552	\$433,680
		Property in the open					\$29,224
		Fire Station (2) Total				\$1,475,552	\$462,904
3 Riviera Beach							
	1	Library Park Beach House 830 WRIGLEY DRIVE LAKE GENEVA WI 53147	1998	1	2,103	\$494,728	\$15,600
	2	Riviera Building 810 WRIGLEY DRIVE LAKE GENEVA WI 53147	1933	2	17,025	\$3,736,616	\$111,800
	3	Riviera Co-op Pier 810 WRIGLEY DRIVE LAKE GENEVA WI 53147	1932	1	10,155	\$554,112	\$0
		Property in the open					\$372,632
		Riviera Beach (3) Total				\$4,785,456	\$500,032
4 Public Library							
	1	Public Library 918 MAIN STREET LAKE GENEVA WI 53147	1954	1	15,814	\$2,076,256	\$3,511,040
		Property in the open					\$279,656
		Public Library (4) Total				\$2,076,256	\$3,790,696
5 History Museum							
	1	History Museum 255 MILL STREET LAKE GENEVA WI 53147	1984	1	16,936	\$3,005,288	\$286,000
		Property in the open					\$35,464
		History Museum (5) Total				\$3,005,288	\$321,464
6 Seminary Park Restroom							
	1	1Open Shelter, Hexagon1,000 sf Baker St & S Lakeshore Dr LAKE GENEVA WI 53147	0	0	0	\$26,000	\$0
	2	Seminary Park Restroom	1960	1	740	\$107,744	\$0

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - 73,092,755

Site	Bldg	Description	Year Built	Floors	Square Footage	Building CRN	Content CRN
		Baker St & S Lakeshore Dr LAKE GENEVA WI 53147					
		Property in the open					\$44,824
		Seminary Park Restroom (6) Total				\$133,744	\$44,824
7		<i>Cobb Park Restroom & Shelter</i>					
	1	Cobb Park Restroom & Shelter 2101 McDonald Rd LAKE GENEVA WI 53147	1978	1	320	\$83,200	\$5,200
		Property in the open					\$8,008
		Cobb Park Restroom & Shelter (7) Total				\$83,200	\$13,208
8		<i>Dunn Field</i>					
	1	Dunn Field Restroom 535 SAGE STREET LAKE GENEVA WI 53147	2013	1	1,024	\$262,704	\$0
		Property in the open					\$726,648
		Dunn Field (8) Total				\$262,704	\$726,648
9		<i>Brunk Performance Pav.</i>					
	1	1Gazebo, Masonry & Clay Tile Roof 201 Block Wrigley Dr LAKE GENEVA WI 53147	0	0	0	\$52,000	\$0
	2	1New Pavilion 201 Block Wrigley Dr LAKE GENEVA WI 53147	0	0	0	\$104	\$0
	3	Brunk Pavilion 201 Block Wrigley Dr LAKE GENEVA WI 53147	2015	1	1,350	\$447,200	\$0
	4	Flat Iron Park Restroom 201 Block Wrigley Dr LAKE GENEVA WI 53147	1993	1	1,564	\$227,760	\$0
		Property in the open					\$483,184
		Brunk Performance Pav. (9) Total				\$727,064	\$483,184
10		<i>Water Treatment Plant</i>					
	1	Concrete Reservoir 361 MAIN STREET LAKE GENEVA WI 53147	1976	1	3,632	\$934,960	\$0
	2	Concrete Reservoir 361 MAIN STREET LAKE GENEVA WI 53147	1976	1	1,963	\$572,312	\$0
	3	Concrete Reservoir 361 MAIN STREET LAKE GENEVA WI 53147	1976	1	962	\$354,640	\$0

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - 73,092,755

Site	Bldg	Description	Year Built	Floors	Square Footage	Building CRN	Content CRN
	4	Garage 361 MAIN STREET LAKE GENEVA WI 53147	1890	1	800	\$46,280	\$0
	5	Storage Building 361 MAIN STREET LAKE GENEVA WI 53147	1985	1	1,680	\$92,248	\$26,000
	6	Water Commission Treatment Process 361 MAIN STREET LAKE GENEVA WI 53147	0	0	0	\$	\$0
	7	Water Treatment Plant 361 MAIN STREET LAKE GENEVA WI 53147	1890	2	14,848	\$6,455,696	\$261,040
		Property in the open					\$714,376
		Water Treatment Plant (10) Total				\$8,456,136	\$1,001,416
11		Wastewater Treatment Facility					
	1	AEROBIC DIGESTER 191 HASKIN STREET LAKE GENEVA WI 53147	1985	1	881	\$254,176	\$0
	2	AEROBIC DIGESTER 191 HASKIN STREET LAKE GENEVA WI 53147	1985	1	881	\$254,176	\$0
	3	Belt Press Building 191 HASKIN STREET LAKE GENEVA WI 53147	2005	1	10,800	\$2,565,160	\$0
	4	Blower Shed 191 HASKIN STREET LAKE GENEVA WI 53147	2016	1	200	\$154,856	\$0
	5	Car Garage 191 HASKIN STREET LAKE GENEVA WI 53147	1999	1	576	\$31,512	\$0
	6	Chlorine Storage Building 191 HASKIN STREET LAKE GENEVA WI 53147	0	0	0	\$	\$0
	7	Effluent Pump Building 191 HASKIN STREET LAKE GENEVA WI 53147	1985	1	378	\$435,240	\$0
	8	FINAL CLARIFIER 1 191 HASKIN STREET LAKE GENEVA WI 53147	1985	1	3,632	\$1,228,136	\$0
	9	FINAL CLARIFIER 2 191 HASKIN STREET LAKE GENEVA WI 53147	1985	1	3,632	\$1,228,136	\$0
	10	Metal Shed 191 HASKIN STREET LAKE GENEVA WI 53147	1992	1	864	\$50,024	\$22,464

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - 73,092,755

Site	Bldg	Description	Year Built	Floors	Square Footage	Building CRN	Content CRN
	11	OXIDATION DITCH 191 HASKIN STREET LAKE GENEVA WI 53147	1985	1	18,053	\$3,952,104	\$0
	12	RAS/WAS Building 191 HASKIN STREET LAKE GENEVA WI 53147	1985	1	3,074	\$1,197,248	\$0
	13	Service Building 191 HASKIN STREET LAKE GENEVA WI 53147	1941	1	5,168	\$2,397,824	\$52,000
	14	Sludge Storage Building 191 HASKIN STREET LAKE GENEVA WI 53147	1941	1	2,896	\$1,202,032	\$0
	15	Storage Building 191 HASKIN STREET LAKE GENEVA WI 53147	1965	1	4,800	\$269,048	\$49,920
	16	Storage Garage 191 HASKIN STREET LAKE GENEVA WI 53147	1965	1	1,620	\$81,640	\$36,608
	17	Vault 191 HASKIN STREET LAKE GENEVA WI 53147	1985	1	28	\$80,184	\$0
	18	WWT FACILITY 191 HASKIN STREET LAKE GENEVA WI 53147	0	0	0	\$	\$0
		Property in the open					\$60,320
		Wastewater Treatment Facility (11) Total				\$15,381,496	\$221,312
12		<i>Lagrange Drive Lift Station</i>					
	1	Lift Station 855 LA GRANGE DRIVE LAKE GENEVA WI 53147	1965	1	0	\$132,704	\$0
		Lagrange Drive Lift Station (12) Total				\$132,704	\$0
13		<i>Edgewood Lift and Sanitary Station</i>					
	1	Lift Station 1350 EDGEWOOD DRIVE LAKE GENEVA WI 53147	1993	1	208	\$147,888	\$0
		Property in the open					\$20,800
		Edgewood Lift and Sanitary Station (13) Total				\$147,888	\$20,800
14		<i>Dodge Street Booster Station</i>					

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - 73,092,755

Site	Bldg	Description	Year Built	Floors	Square Footage	Building CRN	Content CRN
	1	Booster Station 1403 DODGE STREET LAKE GENEVA WI 53147	1971	1	120	\$279,448	\$0
		Property in the open					\$69,472
		Dodge Street Booster Station (14) Total				\$279,448	\$69,472
15 Well #5							
	1	Well #5 12 HASKIN STREET LAKE GENEVA WI 53147	1992	1	580	\$412,256	\$0
		Well #5 (15) Total				\$412,256	\$0
16 830 Wrigley Drive - Riviera Beach							
	1	1 Shelter576 831 Wrigley Dr LAKE GENEVA WI 53147	0	0	0	\$17,992	\$0
		Property in the open					\$429,416
		830 Wrigley Drive - Riviera Beach (16) Total				\$17,992	\$429,416
17 1065 CAREY STREET							
	1	Building #1 1065 CAREY STREET LAKE GENEVA WI 53147	1988	1	6,120	\$345,800	\$159,120
	2	Building #2 1065 CAREY STREET LAKE GENEVA WI 53147	1988	1	18,000	\$1,394,016	\$280,800
	3	Building #3 1070 CAREY STREET LAKE GENEVA WI 53147	1986	1	17,554	\$1,208,480	\$107,120
	4	Salt Shed 1065 CAREY STREET LAKE GENEVA WI 53147	1991	1	1,200	\$59,176	\$0
		Property in the open					\$93,912
		1065 CAREY STREET (17) Total				\$3,007,472	\$640,952
18 1070 Carey Street - Street Dept Buildings							
	1	Police Impound Shed 1070 Carey St LAKE GENEVA WI 53147	0	1	2,400	\$74,880	\$0
		Property in the open					\$15,600
		1070 Carey Street - Street Dept Buildings (18) Total				\$74,880	\$15,600
19 1101 Cemetery Road - Oak Hill							

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - 73,092,755

Site	Bldg	Description	Year Built	Floors	Square Footage	Building CRN	Content CRN
Cemetery							
	1	Columbaium 1101 Cemetery Rd LAKE GENEVA WI 53147	2001	1	210	\$32,760	\$0
	2	Maint. Bldg 1101 Cemetery Rd LAKE GENEVA WI 53147	1990	1	875	\$36,400	\$18,720
	3	North Bldg 1101 Cemetery Rd LAKE GENEVA WI 53147	1995	1	600	\$37,440	\$12,792
	4	Oak Hill Cem. Office 1101 Cemetery Rd LAKE GENEVA WI 53147	1930	1	800	\$124,800	\$18,616
	5	Shed 1101 Cemetery Rd LAKE GENEVA WI 53147	1950	1	350	\$12,792	\$7,488
		Property in the open					\$404,040
		1101 Cemetery Road - Oak Hill Cemetery (19) Total				\$244,192	\$461,656
20 Veterans Park							
	1	2Shelter, Open, 35' Hexagonal 901 TOWNLINE ROAD LAKE GENEVA WI 53147	0	0	0	\$43,680	\$0
	2	Concession Building 901 TOWNLINE ROAD LAKE GENEVA WI 53147	1999	2	1,424	\$274,872	\$10,400
	3	Restroom Building 901 TOWNLINE ROAD LAKE GENEVA WI 53147	2005	1	1,252	\$325,416	\$16,120
	4	Storage Garage 901 TOWNLINE ROAD LAKE GENEVA WI 53147	2000	1	600	\$24,960	\$33,072
		Property in the open					\$725,296
		Veterans Park (20) Total				\$668,928	\$784,888
21 Four Seasons Nature Preserve							
	1	1Overlook Tower w/Boardwalk White Pidgeon Rd & Cty Hwy H LAKE GENEVA WI 53147	0	0	0	\$7,800	\$0
	2	Four Seasons Nature: Shelter White Pidgeon Rd & Cty Hwy H LAKE GENEVA WI 53147	1991	1	576	\$24,024	\$0
	3	Shed with Tools White Pidgeon Rd & Cty Hwy H LAKE GENEVA WI 53147	1989	1	384	\$12,064	\$0

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - 73,092,755

Site	Bldg	Description	Year Built	Floors	Square Footage	Building CRN	Content CRN
	4	Shelter White Pidgeon Rd & Cty Hwy H LAKE GENEVA WI 53147	1990	1	192	\$24,024	\$0
		Property in the open					\$10,400
		Four Seasons Nature Preserve (21) Total				\$67,912	\$10,400
22		<i>Maple Park - Tennis Courts</i>					
	1	West End Restroom Facility 900 Block Main Street-Library Park LAKE GENEVA WI 53147	0	0	0	\$111,384	\$0
		Property in the open					\$117,624
		Maple Park - Tennis Courts (22) Total				\$111,384	\$117,624
23		<i>Water Tower - Host Drive</i>					
	1	Water Tower 1003 HOST DRIVE LAKE GENEVA WI 53147	1996	1	0	\$3,821,168	\$11,856
		Property in the open					\$82,160
		Water Tower - Host Drive (23) Total				\$3,821,168	\$94,016
24		<i>Rushwood Park</i>					
	1	1Shelter, Open 300 SF Rushwood Park LAKE GENEVA WI 53147	0	0	0	\$12,480	\$0
		Property in the open					\$44,616
		Rushwood Park (24) Total				\$12,480	\$44,616
25		<i>Donian Park</i>					
	1	1Observation Deck w/Seating Donian Park LAKE GENEVA WI 53147	0	0	0	\$27,248	\$0
		Property in the open					\$1,664
		Donian Park (25) Total				\$27,248	\$1,664
26		<i>Pioneer Cemetery</i>					
		Property in the open					\$31,512
		Pioneer Cemetery (26) Total				\$0	\$31,512
27		<i>Miller Court Tot Lot</i>					
		Property in the open					\$19,864
		Miller Court Tot Lot (27) Total				\$0	\$19,864
28		<i>Lake Geneva Boat Launch</i>					
		Property in the open					\$19,968

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - 73,092,755

Site	Bldg	Description	Year Built	Floors	Square Footage	Building CRN	Content CRN
Lake Geneva Boat Launch (28) Total						\$0	\$19,968
29 Lake Geneva Beach							
	1	1Walkway200' Lake Geneva Beach LAKE GENEVA WI 53147 Property in the open	0	0	0	\$114,400	\$0
Lake Geneva Beach (29) Total						\$114,400	\$45,136
30 Utility Park							
Property in the open							\$1,469,000
Utility Park (30) Total						\$0	\$1,469,000
31 Wrigley Drive							
Property in the open							\$2,724,696
Wrigley Drive (31) Total						\$0	\$2,724,696
32 Well #2							
	1	Well #2 361 MAIN STREET LAKE GENEVA WI 53147	1912	1	196	\$217,152	\$0
Well #2 (32) Total						\$217,152	\$0
33 (33) Total							
						\$0	\$0
34 Well #3							
	1	Well #3 600 WAVERLY STREET LAKE GENEVA WI 53147	1988	1	255	\$168,688	\$0
Well #3 (34) Total						\$168,688	\$0
35 Well #4							
	1	Well #4 535 SAGE STREET LAKE GENEVA WI 53147	1988	1	255	\$192,400	\$0
Well #4 (35) Total						\$192,400	\$0
36 Center Street Booster Station							
	1	Booster Station 1401 CENTER STREET LAKE GENEVA WI 53147	2005	1	566	\$389,792	\$0
Center Street Booster Station (36) Total						\$389,792	\$0
37 Seepage Cells							
	1	Seepage Cell - Storage 1100 HWY 50	1989	1	3,200	\$199,368	\$20,800

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - 73,092,755

Site	Bldg	Description	Year Built	Floors	Square Footage	Building CRN	Content CRN
		LAKE GENEVA WI 53147					
	2	Septic Receiving Station 1100 HWY 50 LAKE GENEVA WI 53147	1989	1	369	\$101,712	\$0
	3	Wastewater Treatment Seepage Cell 1100 HWY 50 LAKE GENEVA WI 53147	1985	1	75,000	\$318,240	\$0
		Seepage Cells (37) Total				\$619,320	\$20,800
38		<i>Dodge Street Water Tower</i>					
	1	Water Tower 1885 DODGE STREET LAKE GENEVA WI 53147	1970	1	0	\$976,144	\$0
		Dodge Street Water Tower (38) Total				\$976,144	\$0
39		<i>Water Tower</i>					
	1	Water Tower 770 WILD RIDGE DRIVE LAKE GENEVA WI 53147	2006	1	0	\$1,044,368	\$0
		Water Tower (39) Total				\$1,044,368	\$0
40		<i>Country Club Lift Station</i>					
	1	Lift Station 392 COUNTRY CLUB DRIVE LAKE GENEVA WI 53147	1965	1	0	\$68,016	\$0
		Country Club Lift Station (40) Total				\$68,016	\$0
41		<i>Marian Terrace Lift Station</i>					
	1	Lift Station 914 MARIAN TERRACE LAKE GENEVA WI 53147	1965	1	0	\$78,832	\$0
		Marian Terrace Lift Station (41) Total				\$78,832	\$0
42		<i>Geneva Bay Estates Lift Station</i>					
	1	Lift Station 930 BAYVIEW DRIVE LAKE GENEVA WI 53147	2009	1	0	\$81,536	\$0
		Geneva Bay Estates Lift Station (42) Total				\$81,536	\$0
43		<i>Covenant Harbor Lift Station</i>					
	1	Lift Station 1724 W MAIN STREET LAKE GENEVA WI 53147	2007	1	0	\$81,120	\$0
		Covenant Harbor Lift Station (43) Total				\$81,120	\$0

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - 73,092,755

Site	Bldg	Description	Year Built	Floors	Square Footage	Building CRN	Content CRN
44 Maxwell Street Lift Station							
	1	Lift Station 942 MAXWELL STREET LAKE GENEVA WI 53147	1966	1	0	\$49,504	\$0
Maxwell Street Lift Station (44) Total						\$49,504	\$0
45 Big Foot Beach Lift Station							
	1	Lift Station 2400 S LAKE SHORE DRIVE LAKE GENEVA WI 53147	1965	1	0	\$186,888	\$0
Big Foot Beach Lift Station (45) Total						\$186,888	\$0
46 Manning Park							
Property in the open							\$45,131
Manning Park (46) Total						\$0	\$45,131
Building Subtotal							\$57,087,992
Contents Subtotal							\$6,579,664
Property in the Open Subtotal							\$9,425,099
Building, Contents and PITO Total							\$73,092,755

PROPERTY IN THE OPEN

MUNICIPAL PROPERTY INSURANCE COMPANY

Site	Description	Quantity	New Cost of Replacement
1 City Hall			
	1Antenna		\$10,400
	1Lake Geneva TAC3 Repeater		\$15,600
	1police repeater receiver for garage speakers		\$4,160
	1Walworth Co Law 1 Control Station		\$4,160
	911 Systems - Misc Equipment		\$146,536
	1Antenna - Fire Repeater Control Station with Termination Panel		\$4,160
	1Antenna 2 Position Police Console		\$83,200
	1Antenna local govern control station w/term panel		\$4,160
	1Antenna police repeater control station w/term pan		\$4,160
	1Antenna siren control base		\$4,160
	1Antenna walworth co sheriff control station		\$4,160
	1Country Fire Control Station		\$10,400
	1lfren /Mutual Aid Base		\$5,200
	City Hall (1) TOTAL		\$300,456
2 Fire Station			
	1Emergency Warning Siren		\$10,504
	1Flagpole		\$3,536
	1Hydrant on Site		\$1,664
	1Parking Lot Light 2 Bulbs28'		\$5,512
	2Yard Lights 2 lts ea12'		\$8,008
	Fire Station (2) TOTAL		\$29,224
3 Riviera Beach			
	1Boat Launch Pier630		\$26,520
	1Riviera East Pier2544		\$106,808
	1Riviera North Pier2892		\$121,472
	1Riviera West Pier2376		\$99,736
	1Underground Irrigation System		\$10,400
	7Lawn Ornamental Lights		\$7,696
	Riviera Beach (3) TOTAL		\$372,632
4 Public Library			
	18Park BenchesIron		\$18,720
	1FenceWrought Iron, 5'1500		\$110,760
	1Fixed Dock - West Pier1400		\$88,400
	1Underground Irrigation System		\$10,400
	1Warning Siren		\$10,504
	22Street LightsOrnamental		\$40,872
	Public Library (4) TOTAL		\$279,656
5 History Museum			
	1Emergency Siren		\$10,504
	2Mill Pond Fountain		\$24,960
	History Museum (5) TOTAL		\$35,464

PROPERTY IN THE OPEN

MUNICIPAL PROPERTY INSURANCE COMPANY

Site	Description	Quantity	New Cost of Replacement
6 Seminary Park Restroom			
	1Play EquipmentModular		\$32,760
	24Picnic Tables		\$12,064
	Seminary Park Restroom (6) TOTAL		\$44,824
7 Cobb Park Restroom & Shelter			
	1Play EquipmentSmall		\$5,512
	5Picnic Tables		\$2,496
	Cobb Park Restroom & Shelter (7) TOTAL		\$8,008
8 Dunn Field			
	1Backstop #3 32x12		\$6,448
	1Chainlink Fence2500		\$20,800
	1Disc Golf Course		\$15,600
	1Skateboard Park Surface 230' x 60'		\$502,320
	2Tennis Court		\$65,728
	7Outdoor Lights 41 LTS55'		\$115,752
	Dunn Field (8) TOTAL		\$726,648
9 Brunk Performance Pav.			
	10Street Lighting 12' Pole, 1 light		\$25,584
	1Dam & Structures		\$326,976
	1Dam Memorial Marker		\$1,664
	1Fountain - 3 Sisters		\$43,680
	1Railing Steel150		\$27,248
	1Statue, Andy Gump		\$16,432
	20Bench Wood		\$10,400
	2Electrical Panels		\$31,200
	Brunk Performance Pav. (9) TOTAL		\$483,184
10 Water Treatment Plant			
	13Drinking Fountains		\$53,456
	1Fencing, Chainlink1275		\$18,304
	1Flagpole & Lighting		\$5,408
	1Stone Wall		\$10,920
	1Underground Irrigation System		\$10,400
	614Fire Hydrant		\$615,888
	Water Treatment Plant (10) TOTAL		\$714,376
11 Wastewater Treatment Facility			
	1Fence - Sewer Fac & Seepage Cell3558		\$57,928
	4DumpsterSteel		\$2,392
	Wastewater Treatment Facility (11) TOTAL		\$60,320
13 Edgewood Lift and Sanitary Station			
	1Fence & Gate5000		\$20,800

PROPERTY IN THE OPEN

MUNICIPAL PROPERTY INSURANCE COMPANY

Site	Description	Quantity	New Cost of Replacement
	Edgewood Lift and Sanitary Station (13) TOTAL		\$20,800
14	<i>Dodge Street Booster Station</i>		
	1Antenna System for 2 above pieces (Dodge St Water Tower)		\$5,200
	1Antenna System for above piece(Center St Water Tower)		\$5,200
	1Back-Up Fire Repeater (Center St Water Tower)		\$12,480
	1Lake Geneva Police Voting Receiver(Dodge St Water Tower)		\$15,600
	1Main Fire Repeater (Dodge St Water Tower)		\$12,480
	3Outdoor Lights35' pole, 2 lights		\$18,512
	Dodge Street Booster Station (14) TOTAL		\$69,472
16	<i>830 Wrigley Drive - Riviera Beach</i>		
	15Benches Wood		\$7,800
	1Emergency Warning Siren - Library		\$10,504
	1Entryway Sign and Stone		\$26,000
	1Slips - 27' Walkway		\$326,976
	31Park Signs		\$6,136
	Retaining Wall		\$52,000
	830 Wrigley Drive - Riviera Beach (16) TOTAL		\$429,416
17	<i>1065 CAREY STREET</i>		
	1Emergency Warning Siren - Badger HS		\$10,504
	1Emergency Warning Siren - Edgewood Subdiv.		\$10,504
	1Emergency Warning Siren - Sheridan Springs Rd		\$10,504
	Above Ground Tanks & Fencing		\$62,400
	1065 CAREY STREET (17) TOTAL		\$93,912
18	<i>1070 Carey Street - Street Dept Buildings</i>		
	1Fencing		\$15,600
	1070 Carey Street - Street Dept Buildings (18) TOTAL		\$15,600
19	<i>1101 Cemetery Road - Oak Hill Cemetery</i>		
	1FencingChainlink6'20000		\$393,120
	1Play Equipment		\$10,920
	1101 Cemetery Road - Oak Hill Cemetery (19) TOTAL		\$404,040
20	<i>Veterans Park</i>		
	1Basketball Court 70x100		\$54,496
	1Lighting, Softball Field #2		\$65,416
	1Memorial		\$5,512
	1Play Equipment - Site 1		\$32,760
	1Play Equipment - Site 2		\$21,840
	1Scoreboard, Manual		\$1,144
	1Scoreboard, W/remote controls		\$21,840
	2Batting Cages		\$8,320
	3Lighting, Outdoor, N. End		\$43,680

PROPERTY IN THE OPEN

MUNICIPAL PROPERTY INSURANCE COMPANY

Site	Description	Quantity	New Cost of Replacement
	4Fencing, Chainlink - Softball Field		\$108,992
	4Scoreboard, W/wire controls		\$65,416
	1Fencing, Chainlink - BB Court	340	\$8,736
	6Backboard, Basketball Single		\$25,480
	6Picninc Tables		\$7,696
	1Fencing, Chainlink - Field		\$43,680
	1Fencing, Chainlink 4'80		\$2,392
	1Flagpole 30'		\$2,496
	1Helicopter (on base)		\$27,248
	1Light Pole / Lamp, Ornamental		\$3,744
	1Lighting, Hardball Field		\$108,992
	1Lighting, Softball Field #1		\$65,416
	Veterans Park (20) TOTAL		\$725,296
21	<i>Four Seasons Nature Preserve</i>		
	1Fencing		\$10,400
	Four Seasons Nature Preserve (21) TOTAL		\$10,400
22	<i>Maple Park - Tennis Courts</i>		
	2Tennis Court		\$65,728
	4Outdoor Lights 20'; 8 lts		\$40,976
	Flag Pole - 3		\$4,680
	Monument		\$6,240
	Maple Park - Tennis Courts (22) TOTAL		\$117,624
23	<i>Water Tower - Host Drive</i>		
	4Security Lights, Tank		\$21,840
	Antenna system for above equipment(Host St Water Tower)		\$10,400
	Lake Geneva Police Repeater(Host St Water Tower)		\$15,600
	Lake Geneva Police Voter(Host St Water Tower)		\$8,320
	Local Government repeater(Host St Water Tower)		\$15,600
	Point to Point Base(Host St Water Tower)		\$10,400
	Water Tower - Host Drive (23) TOTAL		\$82,160
24	<i>Rushwood Park</i>		
	1Backstop 10x20		\$6,448
	1Fencing Chainlink4'100'		\$1,352
	1Picnic TableWood? Metal?		\$832
	1Play Equipment Modular		\$27,248
	4Concrete Post w/Park Lights		\$8,736
	Rushwood Park (24) TOTAL		\$44,616
25	<i>Donian Park</i>		
	2Picnic TablesWood? Metal?		\$1,664
	Donian Park (25) TOTAL		\$1,664
26	<i>Pioneer Cemetery</i>		

PROPERTY IN THE OPEN

MUNICIPAL PROPERTY INSURANCE COMPANY

Site	Description	Quantity	New Cost of Replacement
	1FencingChainlink4'2400		\$31,512
	Pioneer Cemetery (26) TOTAL		\$31,512
27	<i>Miller Court Tot Lot</i>		
	1Chain Climber		\$728
	1Emergency Warning Siren		\$10,504
	1Locomotive Play Structure		\$624
	1Seesaw		\$936
	1Slide		\$2,392
	1Swing, Belt - 6		\$3,224
	2Spring Animals		\$1,456
	Miller Court Tot Lot (27) TOTAL		\$19,864
28	<i>Lake Geneva Boat Launch</i>		
	1Pier480 SF		\$19,968
	Lake Geneva Boat Launch (28) TOTAL		\$19,968
29	<i>Lake Geneva Beach</i>		
	2Lifeguard Towers		\$5,200
	2Swim Piers480 SF ea		\$39,936
	Lake Geneva Beach (29) TOTAL		\$45,136
30	<i>Utility Park</i>		
	1Concrete Seat Wall		\$5,200
	1Trash Container		\$624
	1Water Feature with Float Device		\$14,352
	1Zingle Pier		\$13,104
	2Gage Piers, Outside Piers		\$544,960
	3Pots		\$2,808
	4Benches		\$4,160
	1East Pier		\$381,472
	1Gage Pier, Walkway		\$32,760
	1Gage Piers, Maim Pier		\$299,728
	1Lagoon Pier, Slips/Walk		\$27,248
	1Riviera Fountain - Bronze Statue		\$32,760
	1Riviera Fountain - Curb, Plumbing		\$54,496
	1Stonewall 25' & Sail Boat Sails		\$52,000
	1Street Light		\$3,328
	Utility Park (30) TOTAL		\$1,469,000
31	<i>Wrigley Drive</i>		
	10Trash Receptacles		\$5,928
	1Traffic Signal (Sheridan Springs/Interchange N)		\$104,000
	1Traffic Signal - Hwy 120 & Geneva Sqr		\$121,264
	1Traffic Signal - Hwy 50E/Edwr		\$75,816
	1Traffic Signals (Hwy 50/US 12 Ramp)		\$78,000
	20Planters		\$54,496
	24Bench Cast Iron w/ Wood		\$59,904

PROPERTY IN THE OPEN

MUNICIPAL PROPERTY INSURANCE COMPANY

Site	Description	Quantity	New Cost of Replacement
	24Downtown Signs		\$18,616
	24Picnic TablesAluminum		\$12,064
	280Retaining Wall - Stone & Masonry		\$12,272
	29Street Light - 30' Pole		\$123,968
	11Banner Poles		\$25,168
	300Railing, Steel		\$23,920
	30Information Signs w/Steel Poles		\$59,696
	32Street Light - 32' Pole		\$143,000
	3600Concrete Pad w/Ramp		\$33,176
	40Granite Tree Markers		\$8,736
	4Street Lights, Main & Cook		\$41,184
	4Traffic Signal - Main & Broad		\$41,184
	4Traffic Signal - Main & Cntr		\$41,184
	5000FencingChainlink		\$217,984
	60Lighting, Downtown, Ornamental		\$196,248
	1200Fence/Gate Wrought Iron		\$86,216
	66Parking Kiosks		\$755,040
	6Bleacher - VeteransAluminum		\$18,720
	820Guard Rails		\$19,656
	PLAYGROUND		\$62,400
	12Traffic Signs		\$84,032
	14Traffic Signal - Main & Wells		\$143,832
	15Fountains		\$20,280
	16Bench, Park		\$16,640
	18Bench, ParkWood		\$9,360
	18Trash Receptacles		\$10,712
	Wrigley Drive (31) TOTAL		\$2,724,696
46	Manning Park		
	Playground Equipment		\$45,131
	Manning Park (46) TOTAL		\$45,131
PROPERTY IN THE OPEN TOTAL			\$9,425,099

CONTRACTOR'S EQUIPMENT

MUNICIPAL PROPERTY INSURANCE COMPANY

Description	RCN Subject
2008 Carry On Trailer, SN#4YMUL12138M004405	\$1,350
Barber Beach Cleaner	\$40,000
Bobcat Uni-Loader	\$30,000
Bobcat V723 Serial #B4C317023	\$56,056
Case Backhoe	\$54,630
Case End Loader	\$163,522
Caterpillar Backhoe	\$94,000
CDMA Modems	\$32,911
CH2E Trash Pump Port	\$12,485
Clark Mosquito Sprayer	\$12,444
Combee Air Boat	\$40,506
Dinkmar Leaf Machine #1	\$53,627
Dinkmar Leaf Machine #2	\$55,617
Dive Gear	\$43,631
DJI Inspire / FLIR VUE Drone	\$9,500
Electric Gate Valve	\$15,555
Elgin Street Sweeper	\$165,000
Elgin Street Sweeper, P Series	\$120,292
Envision Ware - RFID Conversion	\$108,261
Ford Tractor	\$25,777
Gas Boy Gas Pump System	\$54,528
Generac Genset, Backup - Edgewood	\$30,000
Generator	\$15,555
Generator	\$62,000
Honda WT30X Trash Pump 240cc	\$1,730
Hotsy Steam Cleaner	\$4,000
Hyster Forklift	\$26,677
International Tractor #1	\$28,095
Jacobsen Riding Mower	\$44,487
Jacobsen Riding Mower	\$63,000
John Deer Mower	\$13,267
John Deere Tractor	\$35,000
John Deere Tractor	\$62,437
John Deere Wheel Loader	\$148,670
K Forklift	\$25,000
Kohler Genset, Back-Up - LaGrange	\$36,995
Magnum Products 3060-MHLight Tower (Trailer Mounted)	\$7,200
Magnum Products Light Tower (Trailer Mounted)	\$7,200
Miller DC Welding Generator	\$10,629
Mower - GM5900	\$75,495
Onan Generator, Back-Up - Bigfoot	\$41,480
Rhino Flexwing Mower (13.5 cut)	\$12,133
Scag Riding Mower	\$10,000
Scag Riding Mower	\$11,200
Sno Go Snowblower	\$75,226
Toro Grandstand Mower (52 cut)	\$6,140
Toro Grandstand Mower (52 cut)	\$6,140
Toro Sand Pro Groomer	\$15,036
Toro Sweeper, Turf	\$11,824
Vermeer 852 Stumper	\$47,250
Vermeer Chipper 2013	\$42,500

CONTRACTOR'S EQUIPMENT MUNICIPAL PROPERTY INSURANCE COMPANY

Description	RCN Subject
Wachs Hydraulic Gate Valve Operator	\$14,048
Waukesha Standby Portable Generator	\$41,988
CONTRACTOR'S EQUIPMENT TOTAL	\$1,999,658

Chubb Cyber Enterprise Risk Management Policy

Quote Number: 14419267

Quote Date: 08/21/2019

Account: City Of Lake Geneva

Agent: R & R INSURANCE SERVICES, INC.

Producer Code: W25334

Writing Company: ACE American Insurance Company

Effective Date: 10/01/2019 - 10/01/2020

Cyber Enterprise Risk Management Premium (Option 1)	\$2,475.00
Terrorism	\$0
Total Quoted Premium	\$2,475.00

Forms / subjectivities displayed are for option 1; if a different option is selected, the forms / subjectivities may change.

Chubb Cyber Enterprise Risk Management

Applicant Address: 626 Geneva St, Lake Geneva, WI 53147

Option	Maximum Single Limit / Policy Aggregate Limit of Insurance	Optional Extended Reporting Period	Description of Taxes / Surcharges	Taxes / Surcharges	Premium
1	\$1,000,000 / \$1,000,000	12 Months for 100% of Last Annual Premium		\$0	\$2475

Subjectivities

- Completed, signed and dated Chubb Cyber ERM New Business Application and all materials requested thereon

Underwriting Notes

There are no underwriting notes for this quote.

Terrorism Risk Insurance Act

Coverage for acts of terrorism is included in your policy. The portion of your annual premium that is attributable to coverage for acts of terrorism is \$0 and does not include any changes for the portion of losses covered by the United States government under the Act.

Important Note About Multiple Chubb Quotes or Policies

This quote is void ab initio if the prospective insured already has any form of cyber or technology E&O insurance through ACE American Insurance Company or any of its affiliates.

OPTION 1

First Party Insuring Agreements

Coverages Selected*	Insuring Agreement	Limit of Insurance Each Incident / Aggregate	Retention / Waiting Period Each Incident	Cyber Incident Response Coach Retention
<input checked="" type="checkbox"/>	Cyber Incident Response Fund			
	Standard Cyber Incident Response Team	\$1,000,000 / \$1,000,000	\$5,000	\$0
	Non-Panel Response Provider	\$500,000 / \$500,000	\$5,000	\$5,000
<input checked="" type="checkbox"/>	Business Interruption Loss and Extra Expenses	\$1,000,000 / \$1,000,000	\$5,000 / 8Hours	N/A
<input checked="" type="checkbox"/>	Contingent Business Interruption Loss and Extra Expenses	\$150,000 / \$150,000		
	Unscheduled Providers	\$150,000 / \$150,000	\$5,000 / 8Hours	N/A
	Scheduled Providers			
<input checked="" type="checkbox"/>	Digital Data Recovery	\$1,000,000 / \$1,000,000	\$5,000	N/A
<input checked="" type="checkbox"/>	Network Extortion	\$1,000,000 / \$1,000,000	\$5,000	N/A

Third Party Liability Insuring Agreements

Coverages Selected*	Insuring Agreement	Limit of Insurance Each Claim / Aggregate	Retention Each Claim	Retroactive Date	Pending or Prior Proceedings Date
<input type="checkbox"/>	Cyber, Privacy, and Network Security Liability				
	Payment Card Loss				
	Regulatory Proceedings				
<input type="checkbox"/>	Electronic, Social, and Printed Media Liability				

Cyber Crime Insuring Agreements

Coverages Selected*	Insuring Agreement	Limit of Insurance Each Incident / Aggregate	Retention / Waiting Period Each Incident
<input type="checkbox"/>	Computer Fraud		
<input type="checkbox"/>	Funds Transfer Fraud		
<input type="checkbox"/>	Social Engineering Fraud		

*Coverages checked are ones in which you have selected. If you'd like to include any additional coverages, please reach out to your agent.

Insured Name: City of Lake Geneva

Paul Lessila/ Karlie Davis

Effective: 10/1/2019-10/1/2020

Premium Comparison

Company Year Coverages	Prior Year	Current Year - By Companies Quoting		
	<u>LWMMI</u> 2018	<u>LWMMI</u> 2019	Difference	
General Liability	\$33,338.00	\$33,338.00	\$0.00	0.0%
Police Prof Liability	\$21,266.00	\$20,670.00	-\$596.00	-2.8%
Public Officials Liability	\$17,498.00	\$17,498.00	\$0.00	0.0%
No Fault Sewer	\$13,692.00	\$13,813.00	\$121.00	0.9%
Auto Liability	\$20,759.00	\$20,241.00	-\$518.00	-2.5%
APD	\$24,605.00	\$26,281.00	\$1,676.00	6.8%
Package Total	\$131,158.00	\$131,841.00	\$683.00	0.5%
Property	\$46,003.00 <i>MPIC</i>	\$51,086.00 <i>MPIC</i>	\$5,083.00	11.0%
Equipment Breakdown	\$3,795.00 <i>MPIC</i>	\$3,947.00 <i>MPIC</i>	\$152.00	4.0%
Crime	\$1,496.00 <i>Hanover</i>	\$1,496.00 <i>Hanover</i>	\$0.00	0.0%
Other Coverages Subtotal	\$51,294.00	\$56,529.00	\$5,235.00	10.2%
Workers Compensation	\$148,930.00	\$132,470.00	-\$16,460.00	-11.1%
Estimated Premium	\$331,382.00	\$320,840.00	-\$10,542.00	-3.2%

Exposure changes

	<u>2018</u>	<u>2019</u>	<u>Difference</u>	
Package Changes				
Number of Vehicle	80	78	-2	-2.5%
Total Vehicle Values	\$5,378,181	\$5,910,562	532,381	9.9%
Police Officers (FTE)	26.75	26	-1	-2.8%

Property (See Additional Page)

Work Comp (See additional page)

City of Lake Geneva
 Paul Lessila/ Karlie Davis
 10/1/2019-10/1/2020

Workers' Compensation Comparison

Code	Classification	2018	2018	2018	2019	2019	2019	Exposure	Rate	% Rate	Premium
		Payroll Exposure	Rate	Premium	Payroll Exposure	Rate	Premium	Difference	Difference	Difference	Difference
7520	Waterworks Operation	487,100	4.18	20,361	501,700	3.76	18,864	14,600	-0.42	-10.0%	(1,497)
7709	Fire Department - Volunteer <i>Flat Charge based on Population</i>	9,144		5,427	9,586		5,127				(300)
7720	Police Officers	1,599,200	3.02	48,296	1,758,400	2.85	50,114	159,200	-0.17	-5.6%	1,818
8810	Clerical Office	1,606,300	0.20	3,213	1,654,500	0.19	3,144	48,200	-0.01	-5.0%	(69)
9412	Municipal Operations-City	1,167,400	4.26	49,731	1,202,400	3.78	45,451	35,000	-0.48	-11.3%	(4,280)
Totals		4,869,144		127,028	5,126,586		122,700	257,000			(4,328)
Experience Mod			1.28	35,568		1.18	22,086		-0.10		(13,482)
Premium Discount			8.50%	(13,886)		8.50%	(12,266)		0.00%		1,620
Expense Constant				220			220				0
Terrorism Coverage			0.00	0		0.00	0				0
Total Premium				\$148,930			\$132,740				-\$16,190

City of Lake Geneva
 Paul Lessila/ Karlie Davis
 10/1/2019-10/1/2020

Property Comparison

	Prior Year MPIC 2018	Current Year MPIC 2019	Difference	
Building, BPP, PITO				
Premium	<u>\$42,942.00</u>	<u>\$48,025.00</u>	<u>\$5,083.00</u>	<u>12%</u>
Coverage Limit	<u>70,281,495</u>	<u>73,092,755</u>	<u>\$2,811,260.00</u>	<u>4%</u>
Rate	<u>\$0.0611</u>	<u>\$0.0657</u>	<u>\$0.00</u>	<u>8%</u>
Deductible	<u>\$5,000.00</u>	<u>\$5,000.00</u>	<u>\$0.00</u>	<u>0%</u>
Contractor's Equipment				
Premium	<u>\$3,645.00</u>	<u>\$3,645.00</u>	<u>\$0.00</u>	<u>0%</u>
Coverage Limit	<u>1,999,658</u>	<u>1,999,658</u>	<u>\$0.00</u>	<u>0%</u>
Rate	<u>\$0.1823</u>	<u>\$0.1823</u>	<u>\$0.00</u>	<u>0%</u>
Deductible	<u>\$2,500.00</u>	<u>\$2,500.00</u>	<u>\$0.00</u>	<u>0%</u>
Equipment Breakdown				
Premium	<u>\$3,795.00</u>	<u>\$3,947.00</u>	<u>\$152.00</u>	<u>4%</u>
Coverage Limit	<u>70,281,495</u>	<u>73,092,755</u>	<u>\$2,811,260.00</u>	<u>4%</u>
Rate	<u>\$0.0054</u>	<u>\$0.0054</u>	<u>\$0.00</u>	<u>0%</u>
Deductible	<u>\$5,000.00</u>	<u>\$5,000.00</u>	<u>\$0.00</u>	<u>0%</u>
Deductible Create - Concrete in Wastewater Treatment				
Premium	<u>-\$584.00</u>	<u>-\$584.00</u>	<u>\$0.00</u>	<u>0%</u>
Deductible	<u>\$10,000.00</u>	<u>\$10,000.00</u>	<u>\$0.00</u>	<u>0%</u>
Property Total	\$49,798.00	\$55,033.00	\$5,235.00	11%
Optional: Pier & Wharf Replacement Coverage				
Limit: \$2,128,818				
Deductible: \$5,000/15%				
Premium \$12,581				

Chubb Cyber Enterprise Risk Management Policy

Quote Number: 14419267

Quote Date: 08/21/2019

Account: City Of Lake Geneva

Agent: R & R INSURANCE SERVICES, INC.

Producer Code: W25334

Writing Company: ACE American Insurance Company

Effective Date: 10/01/2019 - 10/01/2020

Cyber Enterprise Risk Management Premium (Option 1)	\$2,475.00
Terrorism	\$0
Total Quoted Premium	\$2,475.00

Forms / subjectivities displayed are for option 1; if a different option is selected, the forms / subjectivities may change.

Chubb Cyber Enterprise Risk Management

Applicant Address: 626 Geneva St, Lake Geneva, WI 53147

Option	Maximum Single Limit / Policy Aggregate Limit of Insurance	Optional Extended Reporting Period	Description of Taxes / Surcharges	Taxes / Surcharges	Premium
1	\$1,000,000 / \$1,000,000	12 Months for 100% of Last Annual Premium		\$0	\$2475

Subjectivities

- Completed, signed and dated Chubb Cyber ERM New Business Application and all materials requested thereon

Underwriting Notes

There are no underwriting notes for this quote.

Terrorism Risk Insurance Act

Coverage for acts of terrorism is included in your policy. The portion of your annual premium that is attributable to coverage for acts of terrorism is \$0 and does not include any changes for the portion of losses covered by the United States government under the Act.

Important Note About Multiple Chubb Quotes or Policies

This quote is void ab initio if the prospective insured already has any form of cyber or technology E&O insurance through ACE American Insurance Company or any of its affiliates.

SECTION 1

First Party Insuring Agreements

Coverages Selected*	Insuring Agreement	Limit of Insurance Each Incident / Aggregate	Retention / Waiting Period Each Incident	Cyber Incident Response Coach Retention
<input checked="" type="checkbox"/>	Cyber Incident Response Fund			
	Standard Cyber Incident Response Team	\$1,000,000 / \$1,000,000	\$5,000	\$0
	Non-Panel Response Provider	\$500,000 / \$500,000	\$5,000	\$5,000
<input checked="" type="checkbox"/>	Business Interruption Loss and Extra Expenses	\$1,000,000 / \$1,000,000	\$5,000 / 8Hours	N/A
<input checked="" type="checkbox"/>	Contingent Business Interruption Loss and Extra Expenses	\$150,000 / \$150,000		
	Unscheduled Providers	\$150,000 / \$150,000	\$5,000 / 8Hours	N/A
	Scheduled Providers			
<input checked="" type="checkbox"/>	Digital Data Recovery	\$1,000,000 / \$1,000,000	\$5,000	N/A
<input checked="" type="checkbox"/>	Network Extortion	\$1,000,000 / \$1,000,000	\$5,000	N/A

Third Party Liability Insuring Agreements

Coverages Selected*	Insuring Agreement	Limit of Insurance Each Claim / Aggregate	Retention Each Claim	Retroactive Date	Pending or Prior Proceedings Date
<input type="checkbox"/>	Cyber, Privacy, and Network Security Liability				
	Payment Card Loss				
	Regulatory Proceedings				
<input type="checkbox"/>	Electronic, Social, and Printed Media Liability				

Cyber Crime Insuring Agreements

Coverages Selected*	Insuring Agreement	Limit of Insurance Each Incident / Aggregate	Retention / Waiting Period Each Incident
<input type="checkbox"/>	Computer Fraud		
<input type="checkbox"/>	Funds Transfer Fraud		
<input type="checkbox"/>	Social Engineering Fraud		

*Coverages checked are ones in which you have selected. If you'd like to include any additional coverages, please reach out to your agent.

City of Lake Geneva- Event Permit Policy and Application



The purpose of this policy and event permit application is to guide organizations that are non-profit, not-for-profit, private, or for profit to plan and execute a successful event here in beautiful Lake Geneva. This policy and application will outline the requirements and possible fees associated with hosting an event in the City based on the estimated attendance.

For profit, private, non-profit and not-for profit groups will be able to plan their experience here in the City based on the following four tiers:

Public Assembly Permit – **Non-profit or Not-for-Profit (No Charge), For Profit \$25 \$60 per day* (Meet one or more criteria) Single day event use of City of Lake Geneva facilities with NO street, parking or intersection closures, attendance under 1,000 500, NO serving of alcohol in public space.

Block Parties or use of Gazebo for 1 Hour Photo Ops: \$75.00
Small event limited to one street with 4 barricades in a neighborhood or gazebo in Flat Iron Park.

Tier 1 Events: **Non-profit or Not-for-Profit (No Charge), For Profit \$250 for an event up to seven days, additional \$50 per day thereafter*
(Meet one or more criteria) Rolling closure of streets, public walkway, limited parking stalls or intersection closures that do not impact public use, attendance of 1,000 501 to 3,000, four (4) hours or less of alcohol sales or serving, majority use of a city park(s), or other municipal facility.

Tier 2 Events: **Non-profit or Not-for-Profit (No Charge), For Profit \$500 for an event up to seven days, additional \$100 per day thereafter*
(Meets one or more criteria) Non-profit or not-for-profit organization offering multiple-day events, attendance of more than 3,000 1+, more than four (4) hours of alcohol sales or serving, and/or exclusive use of City park(s), street(s), limited parking stalls, or other municipal facility.

Note: Seminary Park (includes the use of the Shelter) and Flat Iron Park (includes the use of Brunk Pavilion) have 3 available picnic tables and 10 benches which you can select as part of your event permit. Any additional picnic tables, benches, or barricades needed should be directed to a rental company. This event permit does not apply to the rental or use of the Riviera Ballroom.

Event permit application fees are not refundable whether wholly or partially. Any group using any municipal facility, park or property will be required to place a credit card number on file with the City of Lake Geneva's Clerk Office for any incidentals. Any charges will be fully explained and outlined to the applicant prior to any charge.

All non-profits and not-for-profit groups will be required to provide a current tax form with EIN# to prove their organization's status.

City of Lake Geneva- Event Permit Policy and Application



All event dates are granted on a first come first served basis, although non-profit groups located within the City of Lake Geneva will be given preferential treatment when considered. For events that occur annually you will have the option to place a hold on future dates for no more than three years after the current event being applied for.

All applicants will be required to sign an indemnification agreement for organizations below a tier 1 and all tier 1 and tier 2 event applications will be required to include a copy of their Certificate of Liability insurance with this application.

Any non-profit or not-for-profit organization that is wishing to sell alcohol as part of their event with need to complete a Temporary Class "B"/ "Class B" Retailer's License and pay a separate application fee. This event permit application does not grant the right or privilege to any group to sell alcohol of any kind.

All events under a level tier 2 will only be considered by City Staff prior to approval. Tier 2 events will require approval of City Staff, the Finance, License, & Regulation Committee and the Common Council.

AGREEMENT

Curbside Collection of Solid Waste and Recyclables

This contract made and entered into this ____ day of _____, 2019 by and between **Johns Disposal Service, Inc.**, hereinafter referred to as the “Contractor” and the **City of Lake Geneva** Wisconsin, hereinafter referred to as the “City”.

The Contractor shall be responsible for the collection and proper disposal of all refuse and recyclables from one to four unit residential buildings and condominium associations pursuant to this agreement. The Contractor shall provide and furnish all of the labor, materials, necessary tools, expendable equipment and supplies, vehicles, transportation services, permits, and landfill space required to perform and complete the collection from all units and disposal of refuse; and arrangements with processors required to perform and complete the collection from all units and marketing of recyclables.

A. INCLUDED MATERIALS:

1. General household trash and refuse.
2. All items required to be recycled by Wisconsin statutes, including glass, metal cans, plastic containers, aluminum, mixed paper, magazines, junk mail and corrugated cardboard.
3. Automotive batteries with the bulk items collection (See Section C (4)).
4. Furniture and appliances with the bulk items collection (See Section C (4)).
5. Motor oil if properly contained and tightly capped with the bulk items collection (See Section C (4)).
6. Tires – no more than 2 per month, 8 per year, with the bulk items collection (See Section C (4)).

B. ITEMS NOT INCLUDED:

1. Earth, rocks, concrete, loose construction and demolition materials, trees or parts thereof. See section C (4) for bulk items collection.
2. Yard waste is not included in the regular weekly, biweekly or monthly bulk items collections.
3. Hazardous, toxic or infectious materials, including any items recognized as special waste by the State of Wisconsin.
4. Electronic devices banned from landfills in 2009 Wisconsin Act 50. Banned items include TV's, computers, peripherals, VCR's, and many other devices. Electronics will be included in the scheduled electronics drop off.

C. SERVICE DETAILS:

1. Collection of NON-RECYCLABLE TRASH will be made weekly, with all suitable materials for collection being placed by residents at the curb of their homes by 6:00 a.m. on the day of collection. All NON-RECYCABLE TRASH shall be placed by residents in a 96-gallon BROWN CART which is provided by the Contractor.
2. Collection of RECYCABLES will be made every other week, with all suitable materials for collection being placed by residents at the curb of their homes by 6:00 a.m. on the day of collection. Recyclables shall be commingled. All RECYCLABLES shall be placed by residents in a 96-gallon GREEN CART which is provided by the Contractor.
3. The Contractor shall make collections with as little noise and disturbance to City residents as possible. Permitted collection hours are to be between 6:00 a.m. and 6:00 p.m. Pickup will be on Mondays and Wednesdays of each week.
4. Collection of BULK ITEMS. Bulk items will be collected on the 2nd Monday and 2nd Wednesday of each month. There is no need for residents to call to have bulk items removed. Items collected with the bulk items pick-up include:
 - Furniture
 - Appliances (including microwaves and items containing CFC's such as refrigerators)
 - Automotive tires, truck tires and tractor tires, provided that tires over 42" in diameter are quartered (2 per week, 8 per year)
 - Drain oil in one (1) gallon or larger containers with secure lids that are labeled as 'drain oil'
 - Automotive batteries
 - Earth, rocks, concrete, loose construction and demolition materials are included with the bulk items collection if contained in 32-gallon cans that weigh less than 60 pounds (no limit on the number of cans).
5. Electronics Dumpster. The Contractor will provide one 30-yard roll-off container for residential electronics each year. Household electronics including TV's (tube, projection, and flat screen), monitors (both CRT and flat screen), computer towers, keyboards and other small home electronics are included. Commercial copy machines, x-ray machines, dental chairs, and other commercial or industrial electronics will NOT be included.
6. HOLIDAY'S. When the collection day is interrupted by a holiday, pickup will be the following day.
7. NO HAZARDOUS, toxic or infectious waste will be accepted, except for specific items listed in this contract such as appliances containing CFC's and automotive batteries.
8. LITTER. All refuse shall be collected and transported in such a manner as to prevent falling or spilling of material. When spilling does occur, the material shall be picked up as soon as possible and the area properly cleaned.

9. REFUSE and RECYCLING CARTS. The Contractor initially provided each residential unit with one cart for refuse and a second cart for recycling. The Contractor will deliver the carts to new units after notification of occupancy by the City. All carts are the property of the City and will be maintained by the Contractor. The homeowner is responsible for keeping the carts clean. The homeowner is responsible for damage, other than normal wear, such as melting from hot ashes, cuts from a saw, or other avoidable damage. In the event the homeowner is responsible for the damaged cart(s), the replacement cost of \$60 will be billed directly to the homeowner by the Contractor. The Contractor is responsible for normal wear to the cart, wheels or lid and will repair or replace the cart in a timely manner after the homeowner informs the Contractor of the problem. The Contractor is responsible for damage caused from snowplows or passing vehicles. At the termination of the Contract, the carts will become the property of the Contractor and will be removed by the Contractor within thirty (30) days. The removal of carts will be at the cost of the Contractor.

10. DISABLED RESIDENTS as identified by the City shall receive doorway service at no extra cost.

11. CITY OWNED PROPERTIES: The Contractor agrees to provide the City with a special service to meet all the needs for garbage and recycling removal from the City-owned locations, including parks, tennis courts, the swimming beach, the Public Safety Building, the Public Library, the City Garage, the Water Plant, and all other properties and facilities owned and maintained by the City at no additional cost. This does not include sludge from the Waste Water Treatment Plant. Trash containers in the business district and at designated locations, which are owned by the City, shall also be emptied weekly.

D. TERM and COST:

1. ANNUAL COST. The City agrees to pay the Contractor the following fees in conjunction with the services rendered pursuant to this Contract:

Garbage Collection	\$9.30	
Recycling Collection	\$5.10	
Total	\$14.40	(per unit, per month)

The City agrees to pay a minimum of 3134 units including single family, multi family up to 4 units and for condominium units. Condominium complexes will receive weekly refuse and biweekly recycling service and my use dumpsters. Dumpsters will not be provided by the contractor. Dumpsters may be owned or rented by the Condominium association.

The unit count will be increased to account for new or annexed homes and may be lowered to account for razed or condemned units. All units that are able to be occupied will be included in the count once an occupancy permit is issued.

2. TERM. This Contract shall be in effect for the period, January 1, 2020 through December 31, 2024. The Contractor may increase the fees charged for 2021, 2022, 2023 and 2024 by notifying the City of the fee increase not later than October 1st preceding the year in which the fee increase will be effective. The Fee increase shall be in an amount not to exceed the cost of living percentage (CPI-U-Midwest, The Consumer Price Index for All Urban Consumers-Midwest Region.) as calculated annually and published by the Bureau of Labor Standards in August of each year after adjusting for new homes added. The City may terminate the agreement at the end of each year if the contractor requests increases greater than the CPI-U after adjusting for new homes added. In no event shall the Contractor increase the fees during the current year of an agreement.

Payments of contract service fees shall be made within 30-days of the end of each month and shall be based upon full-month occupied residential units, calculated at the end of each month.

3. The City may terminate this Agreement for unsatisfactory service upon sixty (60) days written notice. Unsatisfactory service shall include, but not be limited to, consistent or recurring failure to provide timely collection, omission of collections, failure to leave the collection sites in good order, delivery of recyclables to landfills, unless those recyclables were comingled with solid waste by the residents or commercial units, and failure to provide a regular and accurate accounting for disposal of refuse, recyclables, or similar deviations from the contract requirements. Termination under this subsection shall not become effective if the Contractor remedies or cures the unsatisfactory service to the City's satisfaction within thirty (30) days of mailing of notice and termination. Notice and termination under this subsection shall include recitation of the Contractor's right to cure a claim of unsatisfactory service. All notices shall be mailed via registered U.S. Mail to the City and the Contractor.
5. DUMPING FEES. Any and all "dumping fees" (broadly defined to include all fees and taxes imposed by Walworth County, the State of Wisconsin and the Federal Government, or any division or agency thereof related to the execution of this contract) that are required to be paid by law, including but not limited to fees required per Section 289.63, 289.64, 289.67, 289.64 (2) Wisconsin Statutes, including any revisions that may be made thereto during the term of this Contract, along with any other fee or tax must be paid for by the Contractor in order for this contract to be performed in compliance with law, shall be paid fully and timely by the Contractor; and the compensation paid to the Contractor pursuant to Section D(1) of this contract shall be deemed to include any portion of such fees or taxes. Any government imposed or increased landfill taxes or fees instituted after August 22, 2019 are not included and will be the responsibility of the City.

E. SPECIAL PROVISIONS:

1. RECYCLING RECORDS. The Contractor shall keep a record of total weights of both solid waste and of each category of recyclables collected from the City and report those totals to the City on a quarterly basis.

2. DATA AND RECORD COLLECTION. The Contractor shall collect data and provide the City with a quarterly status report on the recycling collection containing the following information:

Total weight of each recyclable material commodity collected that quarter, segregated so the City has the information it needs to complete reports required by the Wisconsin Department of Natural Resources.

3. CONTRACTOR OFFICE. The Contractor shall maintain an office which it may be contacted directly, where service may be applied for, where the public and the City personnel may call or send inquiries and complaints, and where the public and the city personnel may send and receive instructions. The office shall be equipped with sufficient telephones and shall have a responsible person in charge during collection hours. These services shall be operated between the hours of at least 8:00 a.m. and 4:30 p.m., Monday through Friday, except during holidays. The City will publicize the customer service telephone number(s) of the Contractor.
4. INSURANCE. The Contractor shall maintain such insurance as will protect the Contractor from claims under workers' compensation acts, and from any other claims for property damage, bodily injury or personal injury, including death, which may arise from operations under this contract, whether such operations by the Contractor, or by any subcontractor or anyone directly or indirectly employed by either of them. Certificates of Insurance and required City endorsements, naming the city as co-insured, shall be filed with the City prior to the start of the Contractor's services for the City. Proof of such insurance shall be provided to the City Clerk annually.

The Contractor shall carry at its own costs, the following minimum insurance coverage:

- a. Workers' compensation and employers liability.
 - i. Workers' compensation: statutory in Wisconsin.
 - ii. Employer's liability at a level of not less than \$1,000,000.
 - b. General liability insurance (each accident/occurrence).
 - i. Bodily injury at a level of not less than \$1,000,000/\$1,000,000.
 - ii. Property damage at a level of not less than \$1,000,000/\$1,000,000.
 - iii. Personal injury at a level of not less than \$1,000,000/\$1,000,000.
 - c. Auto liability insurance (each accident/occurrence).
 - i. Bodily injury at a level of not less than \$1,000,000/\$1,000,000.
 - ii. Coverage shall extend to all owned, leased or hired vehicles.
 - d. Umbrella liability coverage of \$5,000,000 for each occurrence, \$5,000,000 aggregate.
5. PROCESSING, RECYCLING and DISPOSAL. The Contractor agrees to dispose of refuse in compliance with all City, County, and State of Wisconsin and Federal Government ordinances, codes, statutes, and rules, including, but not limited to, all applicable recycling laws, environmental laws and waste disposal laws.

6. **MARKETING of RECYCLABLES.** The Contractor agrees to market all recyclables. The Contractor shall retain the proceeds from the sale of materials and shall be responsible for the cost of recycling materials with a negative value such as tires and glass.
7. **EDUCATION and PROMOTION.** The City and the Contractor shall coordinate their efforts to publicize and promote the recycling program and educate the citizens regarding recycling. The City and the Contractor will review and approve promotional activities jointly.

GENERAL PROVISIONS

1. **INDEMNITY.** The contractor shall indemnify, defend, save, and hold harmless the City, its officers and employees from any and all liability, losses, costs, expenses, demands, taxes, claims, damages, lawsuits, proceedings, or causes of action, including workers' compensation claims, of any kind or nature whatsoever, including reasonable attorney's fees and costs of defense, that the City may suffer, incur, sustain, or become liable for, on account of any injury to or death of its employees, or injury or death to any other person, or damage to or injury to any property, in any way resulting from, arising out of, in connection with or pursuant to this Agreement caused by the Contractor, its agents, retailers, employees, or any subcontractors in performance of the services to be conducted, including ownership, maintenance, use, operation, or control of any vehicle owned, operated, maintained, or controlled by the Contractor or subcontractor.

The Contractor shall not be liable for any claims of liability resulting solely from the negligence or willful misconduct of the City, its agents, or employees.

2. **ASSIGNABILITY of AGREEMENT.** This Contract is not assignable by the Contractor of record, without the express written consent of the City, and in the event of bankruptcy, assignment for the benefit of creditors, or a petition for receivership relative to the Contractor of record, the City may, without notice, declare this contract at an end, at its option.
3. **SUBCONTRACTING.** The Contractor shall not subcontract any work to be performed or any materials to be furnished in the performance of this Contract without the written consent of the City. The Contractor shall be fully responsible for any acts or omissions of its subcontractor as it is for the acts and omissions of persons directly employed by itself.
4. **INDEPENDENT CONTRACTOR.** The contractor shall be deemed an independent contractor, solely responsible for control and payment of its employees and compliance with all applicable Federal, State and local laws.
5. **DAMAGES.** The Contractor shall take all necessary precautions for the protection of property. The Contractor shall be responsible for damages to property resulting from the operation of vehicles or the handling of any receptacle. All property which suffers damage caused by the Contractor shall be repaired or replaced as soon as possible to equivalent quality at the time of damage at no cost to the property owner or to the City. If the Contractor fails to repair or replace damaged property, the City may, after giving the Contractor notice in writing and 30 days to repair or replace, repair or replace such property

as may be deemed necessary at the Contractor's expense. The cost of such repair or replacement shall be deducted from the Contractor's monthly bill.

6. EMPLOYEES AND CONDUCT. The Contractor shall undertake to perform all collection and disposal services in a neat, orderly, and efficient manner; to use care and diligence in the performance of this agreement; to provide neat, orderly, and courteous personnel on its collection crews; and to provide courteous and knowledgeable personnel in its customer service function.

The Contractor shall conduct itself both in relations with the City and City residents in a personable, professional manner. The Contractor should also act in an ethical manner throughout the term of this agreement.

All Employees of the Contractor shall be dressed in a neat, professional like manner and shall carry official company identification. All drivers shall carry a valid Wisconsin state driver's license for the class of vehicle operated.

7. REFUSE REQUIREMENTS. Throughout the term of this agreement, the Contractor shall own, co-own, rent, lease, control, or otherwise have access at its cost to a properly-licensed and permitted landfill of sufficient capacity for the disposal of refuse.

Upon request of the City, the Contractor shall provide proof that such facilities comply with all laws and regulations. This shall not preclude the Contractor from changing the disposal location to a reasonable alternate site, but the Contractor shall notify the City in advance of any changes. Upon request of the City, the Contractor shall furnish evidence of arrangements assuring availability of adequate landfill capacity for disposal of refuse collected under this agreement.

8. RECYCLING REQUIREMENTS. Throughout the term of this Agreement, the Contractor shall own, co-own, rent, lease, or otherwise control, or have access at its cost to a suitable storage/processing facility for the purpose of sorting and/or preparing the collected recyclable material collected to either a processor(s) or broker(s) experienced in processing and marketing recyclables or to a market itself. The Contractor shall be responsible for all collection and transportation costs necessary to bring recyclables to the storage/processing facility. The Contractor shall be responsible for payment of all necessary processing costs for recyclables.

9. FORCE MAJEURE. In no event shall the Contractor be responsible or liable for any failure or delay in the performance of its obligations hereunder arising out of or caused by, directly or indirectly, forces beyond its control, including, without limitation, strikes, work stoppages, accidents, acts of war or terrorism, civil or military disturbances, nuclear or natural catastrophes or acts of God, and interruptions, loss or malfunctions of utilities, communications services; it being understood that the Contractor shall use reasonable efforts which are consistent with accepted practices in the refuse industry to resume performance as soon as practicable under the circumstances.

10. VEHICLES. All vehicles shall be kept in good working order and appearance at all times during the term of this agreement. All vehicles shall display the name of the Contractor, a local phone number and a vehicle identification number that is clearly visible on both sides.

All vehicles shall be fully enclosed and leak proof. They shall be operated in a way that no refuse or recyclables blow off the vehicle. Should refuse or recyclables blow off a vehicle, it shall be immediately cleaned.

11. TITLE TO REFUSE AND RECYCLABLES. Titles to all refuse and recyclables shall pass to the Contractor when materials are placed into the collection vehicle.

12. NOTIFICATIONS. Official notifications to the City, whenever required for any purpose under this agreement, shall be made in writing and address as follows:

City of Lake Geneva
City Administrator
626 Geneva Street
Lake Geneva WI 53147

Official notifications to the Contractor, whenever required for any purpose under this agreement, shall be made in writing and address as follows:

Johns Disposal Service, Inc.
Nate Austin, Municipal Account Manager
P.O. Box 329
Whitewater, WI 53190-0329

13. LEGAL INTERPRETATION. The performance and interpretation of this agreement shall be according to the laws of the State of Wisconsin

14. SEVERABILITY. Each provision of this agreement is severable, and should any court or other governmental body of competent jurisdiction declare any provision of this agreement invalid or unenforceable by reason of any rule of law or public policy, all other provisions hereof shall remain in full force and effect.

15. LAWFULL AGREEMENT. The Contractor in executing this agreement acknowledges that it has not been induced to enter into this Agreement by any understanding or promise or other statement, whether verbal or written, by or on behalf of the City concerning any matter not expressed herein. The Contractor acknowledges that the City has relied upon the proposal submitted by the Contractor and has awarded the Contract in reliance thereon.

16. ENTIRETY. This Agreement constitutes the entire Agreement between the parties. No modification, amendment, alteration, revision or waiver of this Agreement or any of its provisions shall be permitted by or binding upon the parties unless so agreed in writing.

JOHNS DISPOSAL SERVICE, INC.

Nate Austin, Municipal Account Manager

Date

THE CITY OF LAKE GENEVA

Tom Hartz, Mayor

Date

Lana Kropf, City Clerk

Date

MEMORANDUM TO THE CITY OF LAKE GENEVA

To: Tom Earle
From: Wyatt Ploetz
Date: September 4, 2019
Re: Pay Request #1 for Payne & Dolan, Inc.
2019 Street Improvement Program

A review of the Request for Payment No. 1 from Payne & Dolan, Inc. for the 2019 Street Improvement Program contract has been completed. This pay request includes all work completed and measured to date.

Payment in the amount of \$201,211.57 for this payment request has been recommended for approval by the Construction Manager on site.

The Contractor's documents are enclosed for the City's approval.

Payment amounts are broken up as follows:

2019 Street Improvement Program:

	<u>New Invoice Amount</u>	<u>Previously Invoiced</u>	<u>Total</u>
Invoiced	\$ 211,801.63	\$ 0.00	\$ 211,801.63
Retainage	(\$ 10,590.08)	(\$ 0.00)	(\$ 10,590.08)
Total Approved for Payment	\$ 201,211.57	\$ 0.00	\$ 201,211.57

Contract Base Bid: \$684,528.66

Please feel free to contact me if you have any questions.

Please send Payment to:

Payne & Dolan, Inc.
P.O. Box 781
Waukesha, WI 53187-0781

DATE APPROVED	11 Sept 2019
APPROVED BY	<i>[Signature]</i>
ACCOUNT #(S)	4332101201
DESCRIPTION	2019 streets
PO #	pg 1 of 6



Contractor's Application for Payment No. **01**

Application Period: to 08/29/2019		Application Date: 09/03/19
To (Owner): City of Lake Geneva	From (Contractor): Payne & Dolan Inc.	Via (Engineer): Kapur & Associates
Project: 2019 Streets	Contract:	
Owner's Contract No.:	Contractor's Project No.: 253251	Engineer's Project No.: 19.0122

Application For Payment
Change Order Summary

Approved Change Orders	1. ORIGINAL CONTRACT PRICE	\$ 700,000.00
Number	2. Net change by Change Orders	\$
Additions	3. Current Contract Price (Line 1 + 2)	\$ 700,000.00
Deductions	4. TOTAL COMPLETED AND STORED TO DATE (Column F total on Progress Estimates)	\$ 211,801.65
	5. RETAINAGE:	
	a. X 5% Work Completed	\$ 10,590.08
	b. X Stored Material	\$
	c. Total Retainage (Line 5.a + Line 5.b)	\$ 10,590.08
	6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5.c)	\$ 201,211.57
	7. LESS PREVIOUS PAYMENTS (Line 6 from prior Application)	\$
TOTALS	8. AMOUNT DUE THIS APPLICATION	\$ 201,211.57
NET CHANGE BY	9. BALANCE TO FINISH, PLUS RETAINAGE (Column G total on Progress Estimates + Line 5.c above)	\$ 498,788.43
CHANGE ORDERS		

Contractor's Certification

The undersigned Contractor certifies, to the best of its knowledge, the following:

(1) All previous progress payments received from Owner on account of Work done under the Contract have been applied as agreed to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment;

(2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner as time of payment due and clear of all liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such liens, security interest, or encumbrances); and

(3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor's Signature: *[Signature]* Date: 9/3/19

Payment of: \$ 201,211.57
(Line 8 or other - attach explanation of the other amount)

is recommended by: *[Signature]* 9/4/19
(Engineer) (Date)

Payment of: \$
(Line 8 or other - attach explanation of the other amount)

is approved by: *[Signature]* 11 Sept 2019
(Owner) (Date)

Approved by: _____
Funding or Financing Entity (if applicable) (Date)



KAPUR & ASSOCIATES, INC.

2019 STREET IMPROVEMENT PROGRAM
 City of Lake Geneva, Walworth County, Wisconsin
 Bid Opening: May 30, 2019 10:00 AM

PAYMENT TAB. DATED: 5/29/19

2019 STREET IMPROVEMENT PROGRAM, BASE BID:											
Item No.	Item Description	Unit	Bid Qty	Bid Unit \$	Bid Total \$	Quantity per Estimate				Qty to Date	\$ Paid to Date
						#1	#2	#3	#4		
204-0105	Removing Pavement (Concrete Driveway)	SY	5	\$ 40.00	\$ 200.00	86.30	-	-	-	86.30	\$ 3,452.00
204-0120	Removing Asphaltic Surface Milling (Partial Depth 2")	SY	34565	\$ 2.36	\$ 81,573.40	-	-	-	-	0.00	\$ -
204-0120	Removing Asphaltic Surface Milling (Partial Depth 3")	SY	2414	\$ 3.41	\$ 8,231.74	-	-	-	-	0.00	\$ -
207-0189	Removing Curb & Gutter (ADA Ramps)	LF	877	\$ 13.64	\$ 11,935.97	701.60	-	-	-	701.60	\$ 9,548.76
204-0189	Removing Curb & Gutter (Exhibit "A" Streets)	LF	1659	\$ 9.69	\$ 14,670.00	1,162.50	-	-	-	1,162.50	\$ 10,462.50
205-0100	Excavation Common	CY	100	\$ 31.90	\$ 3,190.00	-	-	-	-	0.00	\$ -
205-0155	Removing Concrete Sidewalk	SY	606	\$ 17.20	\$ 10,423.20	206.60	-	-	-	206.60	\$ 8,715.52
305-0120	Base Aggregate Dense 1 1/4-inch	ton	317	\$ 23.50	\$ 7,449.50	299.71	-	-	-	299.71	\$ 7,043.19
416-0160	Concrete Driveway 6-inch	SY	3	\$ 45.00	\$ 135.00	16.80	-	-	-	16.80	\$ 1,562.40
460-5224	HMA Pavement Type 4 1/2" 58-28 S (460-5224). Item also includes asphaltic material PG 58-28 (455-0220) and asphaltic material for tack coat (455-0605). Includes shouldering and restoration.	Ton	3943	\$ 66.49	\$ 262,170.07	-	-	-	-	0.00	\$ -
601-0119	Concrete Curb & Gutter 24-inch Type D (ADA Ramps)	LF	86	\$ 37.60	\$ 3,182.00	86.00	-	-	-	86.00	\$ 3,182.00
601-0119	Concrete Curb & Gutter 24-inch Type D (Exhibit "A" Streets)	LF	1120	\$ 37.60	\$ 41,440.00	593.10	-	-	-	593.10	\$ 21,944.70
601-0411	Concrete Curb & Gutter 30-inch Type D (ADA Ramps)	LF	791	\$ 37.60	\$ 29,267.00	592.60	-	-	-	592.60	\$ 21,904.00
601-0411	Concrete Curb & Gutter 30-inch Type D (Exhibit "A" Streets)	LF	630	\$ 37.60	\$ 23,710.00	593.00	-	-	-	593.00	\$ 21,941.00
602-0405	Concrete Sidewalk 4-inch	SF	5327	\$ 6.95	\$ 37,022.65	4,662.88	-	-	-	4,662.88	\$ 32,407.02
602-0505	Curb Ramp Detectable Warning Field Yellow	SF	500	\$ 40.00	\$ 20,000.00	432.00	-	-	-	432.00	\$ 25,920.00
611-8110	Adjusting Manholes Covers (Undistributed)	EACH	54	\$ 131.18	\$ 7,083.72	-	-	-	-	0.00	\$ -
611-8110	Adjusting Manholes Covers-Steel Rings (Undistributed)	EACH	20	\$ 207.70	\$ 4,154.00	-	-	-	-	0.00	\$ -
611-8115	Adjusting Inlet Covers	EACH	4	\$ 960.00	\$ 3,840.00	-	-	-	-	0.00	\$ -
628-7010	Inlet Protection Type B	EACH	5	\$ 45.00	\$ 225.00	-	-	-	-	0.00	\$ -
628-7015	Inlet Protection Type C	EACH	62	\$ 55.00	\$ 3,410.00	-	-	-	-	0.00	\$ -
646-0120	Marking Stop Line Epoxy 18-inch	LF	215	\$ 16.00	\$ 3,440.00	-	-	-	-	0.00	\$ -
646-7420	Marking Crosswalk Epoxy 6-inch	LF	840	\$ 13.00	\$ 10,920.00	-	-	-	-	0.00	\$ -
SPV-0060-01	Adjusting Valve Boxes (Undistributed)	EACH	30	\$ 32.80	\$ 984.00	-	-	-	-	0.00	\$ -
SPV-0105-01	Traffic Control	LS	1	\$ 41,950.37	\$ 41,950.37	0.50	-	-	-	0.50	\$ 20,975.19
SPV-0100-01	Restore Disturbed Areas - Includes Topsoil (625-0100), Fertilizer Type A (628-0205), Seeding Mix No. 40 (630-0100).	SY	200.0	\$ 30.45	\$ 6,090.00	-	-	-	-	0.00	\$ -
SUBTOTAL BASE BID					\$	646,387.62	Subtotal Base - Paid to Date				\$ 189,056.28

Park N Ride - MANDATORY ADDITIONAL BID #1:

Item No.	Item Description	Unit	Bid Qty	Bid Unit \$	Bid Total \$	Quantity per Estimate				Qty to Date	\$ Paid to Date
						#1	#2	#3	#4		
204.0130	Removing Curb & Gutter	LF	75	\$ 9.60	\$ 720.00	77.00	-	-	-	77.00	\$ 693.00
205.0100	Excavation Common	CY	25	\$ 31.90	\$ 797.50	-	-	-	-	0.00	\$ -
305.0120	Base Aggregate Dense 1 1/4-Inch	Ton	30	\$ 23.50	\$ 705.00	30.00	-	-	-	30.00	\$ 705.00
416.0160	Concrete Driveway 6-inch	SY	50	\$ 93.00	\$ 4,650.00	52.70	-	-	-	52.70	\$ 4,901.10
460.5224	HMA Pavement Type 4 I.I. 58-28 S (460.5224). Item also includes asphaltic material PG 58-28 (455.0220) and asphaltic material for tack coat (455.0605). Includes shouldering and restoration	Ton	5	\$ 429.08	\$ 2,145.40	-	-	-	-	0.00	\$ -
601.0407	Concrete Curb & Gutter 18-Inch Type D	LF	35	\$ 37.00	\$ 1,295.00	34.00	-	-	-	34.00	\$ 1,258.00
601.0411	Concrete Curb & Gutter 30-Inch Type D	LF	40	\$ 37.00	\$ 1,480.00	43.00	-	-	-	43.00	\$ 1,591.00
601.0600	Concrete Curb Pedestrian	LF	164	\$ 37.00	\$ 6,068.00	185.00	-	-	-	185.00	\$ 6,867.20
SPV.0105.01	Traffic Control	LS	1	\$ 809.98	\$ 809.98	0.50	-	-	-	0.50	\$ 404.99
SPV.0180.01	Restore Disturbed Areas - Includes Topsoil (625.0100), Fertilizer Type A (629.0205), Seeding Mix No. 40 (620.0140)	SY	20	\$ 30.45	\$ 609.00	-	-	-	-	0.00	\$ -
SUBTOTAL - ADDITIONAL BID #1					\$ 19,234.88	Subtotal, Add'l Bid #1 - Paid to Date				\$ 16,420.29	

Clover-Maxwell Alley - MANDATORY ADDITIONAL BID #2:

Item No.	Item Description	Unit	Bid Qty	Bid Unit \$	Bid Total \$	Quantity per Estimate				Qty to Date	\$ Paid to Date
						#1	#2	#3	#4		
204.0130	Removing Pavement (Concrete Driveway)	SY	25	\$ 40.90	\$ 1,022.50	52.90	-	-	-	52.90	\$ 1,516.00
204.0120	Removing Asphaltic Surface Milling (Partial Depth 3")	SY	720	\$ 4.79	\$ 3,448.80	-	-	-	-	0.00	\$ -
204.0150	Removing Curb & Gutter	LF	27	\$ 9.00	\$ 243.00	30.50	-	-	-	30.50	\$ 274.50
205.0100	Excavation Common	CY	30	\$ 31.90	\$ 957.00	-	-	-	-	0.00	\$ -
305.0120	Base Aggregate Dense 1 1/4-Inch	Ton	15	\$ 23.50	\$ 352.50	15.00	-	-	-	15.00	\$ 352.50
416.0160	Concrete Driveway 6-Inch	SY	20	\$ 93.00	\$ 1,860.00	32.00	-	-	-	32.00	\$ 2,976.00
460.5224	HMA Pavement Type 4 I.I. 58-28 S (460.5224). Item also includes asphaltic material PG 58-28 (455.0220) and asphaltic material for tack coat (455.0605). Includes shouldering and restoration	Ton	126	\$ 70.49	\$ 8,881.74	-	-	-	-	0.00	\$ -
601.0411	Concrete Curb & Gutter 30-inch Type D	LF	37	\$ 37.00	\$ 1,379.00	30.50	-	-	-	30.50	\$ 1,128.50
SPV.0105.01	Traffic Control	LS	1	\$ 553.12	\$ 553.12	0.50	-	-	-	0.50	\$ 277.56
SPV.0180.01	Restore Disturbed Areas - Includes Topsoil (625.0100), Fertilizer Type A (629.0205), Seeding Mix No. 40 (620.0140)	SY	20	\$ 30.45	\$ 609.00	-	-	-	-	0.00	\$ -
SUBTOTAL - ADDITIONAL BID #2					\$ 18,906.16	Subtotal, Add'l Bid #2 - Paid to Date				\$ 6,325.06	

Subtotal \$ per Estimate	\$ 211,801.63	\$ -	\$ -	\$ -
Retainage per Estimate	\$ (10,590.08)	\$ -	\$ -	\$ -
Total to be Paid per Estimate	\$ 201,211.55	\$ -	\$ -	\$ -

TOTAL BASE BID	\$ 684,528.66	TOTAL BASE BID - Paid to Date	\$ 211,801.63
		Less - Retainage	\$ (10,590.08)
		TOTAL - Paid to Date, Less Retainage	\$ 201,211.55



KAPUR & ASSOCIATES, INC.

2019 STREET IMPROVEMENT PROGRAM
 City of Lake Geneva, Walworth County, Wisconsin
 Bid Opening: May 30, 2019 10:00 AM

PAYMENT TAB DATED: 8/29/19

2019 STREET IMPROVEMENT PROGRAM, BASE BID:											
Item No.	Item Description	Unit	Bid Qty	Bid Unit \$	Bid Total \$	Quantity per Estimate				Qty to Date	\$ Paid to Date
						#1	#2	#3	#4		
204.0100	Removing Pavement (Concrete Driveway)	SY	5	\$ 40.00	\$ 200.00	86.30	-	-	-	86.30	\$ 3,452.99
204.0120	Removing Asphaltic Surface Milling (Partial Depth 2")	SY	34565	\$ 2.36	\$ 81,573.40	-	-	-	-	0.00	\$ -
204.0120	Removing Asphaltic Surface Milling (Partial Depth 3")	SY	2414	\$ 3.41	\$ 8,231.74	-	-	-	-	0.00	\$ -
204.0180	Removing Curb & Gutter (ADA Ramps)	LF	877	\$ 13.61	\$ 11,935.97	701.60	-	-	-	701.60	\$ 9,548.78
204.0180	Removing Curb & Gutter (Exhibit "A" Streets)	LF	1630	\$ 9.00	\$ 14,670.00	1,162.50	-	-	-	1,162.50	\$ 10,462.50
205.0100	Excavation Common	CY	100	\$ 31.90	\$ 3,190.00	-	-	-	-	0.00	\$ -
205.0185	Removing Concrete Sidewalk	SY	606	\$ 17.20	\$ 10,423.20	306.60	-	-	-	306.60	\$ 8,715.52
305.0120	Base Aggregate Dense 1 1/4-Inch	Ton	317	\$ 23.50	\$ 7,449.50	299.71	-	-	-	299.71	\$ 7,043.19
316.0160	Concrete Driveway 6-inch	SY	3	\$ 93.02	\$ 279.06	16.80	-	-	-	16.80	\$ 1,562.40
400.5224	HMA Pavement Type 4 1/2 58-28 S (460.5234). Item also includes asphaltic material PG 58-28 (455.0220) and asphaltic material for tack coat (455.0605). Includes shouldering and restoration.	Ton	3943	\$ 66.49	\$ 262,170.07	-	-	-	-	0.00	\$ -
601.0110	Concrete Curb & Gutter 24-inch Type D (ADA Ramps)	LF	86	\$ 37.00	\$ 3,182.00	86.00	-	-	-	86.00	\$ 3,182.00
601.0110	Concrete Curb & Gutter 24-inch Type D (Exhibit "A" Streets)	LF	1120	\$ 37.00	\$ 41,440.00	593.10	-	-	-	593.10	\$ 21,944.70
601.0411	Concrete Curb & Gutter 30-inch Type D (ADA Ramps)	LF	791	\$ 37.00	\$ 29,267.00	592.00	-	-	-	592.00	\$ 21,904.00
601.0411	Concrete Curb & Gutter 30-inch Type D (Exhibit "A" Streets)	LF	670	\$ 37.00	\$ 24,810.00	593.00	-	-	-	593.00	\$ 21,941.00
602.0405	Concrete Sidewalk 4-inch	SF	5327	\$ 6.95	\$ 37,022.65	4,662.88	-	-	-	4,662.88	\$ 32,407.02
602.0505	Curb Ramp Detectable Warning Field Yellow	SF	500	\$ 60.00	\$ 30,000.00	432.00	-	-	-	432.00	\$ 25,920.00
611.8110	Adjusting Manholes Covers (Undistributed)	EACH	54	\$ 131.18	\$ 7,083.72	-	-	-	-	0.00	\$ -
611.8110	Adjusting Manholes Covers-Steel Rings (Undistributed)	EACH	20	\$ 207.70	\$ 4,154.00	-	-	-	-	0.00	\$ -
611.8115	Adjusting Inlet Covers	EACH	4	\$ 900.00	\$ 3,600.00	-	-	-	-	0.00	\$ -
628.7010	Inlet Protection Type II	EACH	5	\$ 45.00	\$ 225.00	-	-	-	-	0.00	\$ -
628.7015	Inlet Protection Type I	EACH	62	\$ 55.00	\$ 3,410.00	-	-	-	-	0.00	\$ -
646.6120	Marking Stop Lane Epoxy 18-inch	LF	213	\$ 16.00	\$ 3,408.00	-	-	-	-	0.00	\$ -
646.7420	Marking Crosswalk Epoxy 6-inch	LF	840	\$ 13.00	\$ 10,920.00	-	-	-	-	0.00	\$ -
SPV 0060.01	Adjusting Valve Boxes (Undistributed)	EACH	30	\$ 32.80	\$ 984.00	-	-	-	-	0.00	\$ -
SPV 0115.01	Traffic Control	LS	1	\$ 41,950.37	\$ 41,950.37	0.50	-	-	-	0.50	\$ 20,975.19
SPV 0180.01	Restore Disturbed Areas - Includes Topsoil (625.0180), Fertilizer Type A (629.0205), Seeding Mix No. 40 (639.0140).	SY	200.0	\$ 30.45	\$ 6,090.00	-	-	-	-	0.00	\$ -
SUBTOTAL BASE BID				\$	646,357.62	Subtotal Base - Paid to Date				\$	189,056.28

Park N Ride - MANDATORY ADDITIONAL BID #1:											
Item No.	Item Description	Unit	Bid Qty	Bid Unit \$	Bid Total \$	Quantity per Estimate				Qty to Date	\$ Paid to Date
						#1	#2	#3	#4		
204.0150	Remove Curb & gutter	LF	75	\$ 9.50	\$ 712.50	77.00	-	-	-	77.00	\$ 693.00
205.0100	Excavation Common	CY	25	\$ 31.90	\$ 797.50	-	-	-	-	0.00	\$ -
305.0120	Base Aggregate Dense 1 1/4-inch	Ton	30	\$ 23.50	\$ 705.00	30.00	-	-	-	30.00	\$ 705.00
416.0160	Concrete Driveway 6-inch	SY	50	\$ 93.00	\$ 4,650.00	52.70	-	-	-	52.70	\$ 4,901.10
460.5224	HMA Pavement Type 4 1 1/8-28 S (460.5224). Item also includes asphaltic material PG 58-28 (455.0220) and asphaltic material for tack coat (455.0605). Includes shouldering and restoration	Ton	5	\$ 429.08	\$ 2,145.40	-	-	-	-	0.00	\$ -
601.0407	Concrete Curb & Gutter 18-inch Type D	LF	35	\$ 37.00	\$ 1,295.00	34.00	-	-	-	34.00	\$ 1,268.00
601.0411	Concrete Curb & Gutter 30-inch Type D	LF	40	\$ 37.00	\$ 1,480.00	43.00	-	-	-	43.00	\$ 1,591.00
601.0609	Concrete Curb Palisadian	LF	164	\$ 37.00	\$ 6,068.00	165.60	-	-	-	165.60	\$ 6,867.20
SPV.0105.01	Traffic Control	LS	1	\$ 809.98	\$ 809.98	0.50	-	-	-	0.50	\$ 404.99
SPV.0180.01	Restore Disturbed Areas - Includes Topsoil (625.0100), Fertilizer Type A (629.0205), Seeding Mix No. 40 (630.0140)	SY	20	\$ 30.45	\$ 609.00	-	-	-	-	0.00	\$ -
SUBTOTAL - ADDITIONAL BID #1					\$ 19,234.88	Subtotal, Add'l Bid #1 - Paid to Date				\$ 16,420.29	

Clover-Maxwell Alley - MANDATORY ADDITIONAL BID #2:											
Item No.	Item Description	Unit	Bid Qty	Bid Unit \$	Bid Total \$	Quantity per Estimate				Qty to Date	\$ Paid to Date
						#1	#2	#3	#4		
204.0100	Removing Pavement (Concrete Driveway)	SY	75	\$ 40.00	\$ 3,000.00	32.90	-	-	-	32.90	\$ 1,316.00
204.0120	Removing Asphaltic Surface Milling (Partial Depth 3")	SY	720	\$ 4.75	\$ 3,420.00	-	-	-	-	0.00	\$ -
204.0150	Removing Curb & gutter	LF	27	\$ 9.00	\$ 243.00	30.50	-	-	-	30.50	\$ 274.50
205.0100	Excavation Common	CY	30	\$ 31.90	\$ 957.00	-	-	-	-	0.00	\$ -
305.0120	Base Aggregate Dense 1 1/4-inch	Ton	15	\$ 23.50	\$ 352.50	15.00	-	-	-	15.00	\$ 352.50
416.0160	Concrete Driveway 6-inch	SY	20	\$ 93.00	\$ 1,860.00	52.00	-	-	-	52.00	\$ 2,976.00
460.5224	HMA Pavement Type 4 1 1/8-28 S (460.5224). Item also includes asphaltic material PG 58-28 (455.0220) and asphaltic material for tack coat (455.0605). Includes shouldering and restoration	Ton	126	\$ 70.49	\$ 8,883.74	-	-	-	-	0.00	\$ -
601.0411	Concrete Curb & Gutter 30-inch Type D	LF	27	\$ 37.00	\$ 999.00	30.50	-	-	-	30.50	\$ 1,128.50
SPV.0103.01	Traffic Control	LS	1	\$ 555.12	\$ 555.12	0.50	-	-	-	0.50	\$ 277.56
SPV.0180.01	Restore Disturbed Areas - Includes Topsoil (625.0100), Fertilizer Type A (629.0205), Seeding Mix No. 40 (630.0140)	SY	20	\$ 30.45	\$ 609.00	-	-	-	-	0.00	\$ -
SUBTOTAL - ADDITIONAL BID #2					\$ 18,906.16	Subtotal, Add'l Bid #2 - Paid to Date				\$ 6,325.06	
Subtotal \$ per Estimate					\$ 211,801.63	\$ -	\$ -	\$ -	\$ -		
Retainage per Estimate					\$ (10,590.08)	\$ -	\$ -	\$ -	\$ -		
Total to be Paid per Estimate					\$ 201,211.55	\$ -	\$ -	\$ -	\$ -		

TOTAL BASE BID					\$ 684,528.66	TOTAL BASE BID - Paid to Date				\$ 211,801.63
						Less - Retainage				\$ (10,590.08)
						TOTAL - Paid to Date, Less Retainage				\$ 201,211.55

TASK ORDER NUMBER #18 CIVIL ENGINEERING SERVICES

This task order is made as of September 10, 2019 under the terms and conditions established in the MASTER AGREEMENT FOR ENGINEERING SERVICES, (the Agreement), between the **City of Lake Geneva** (Owner) and **Kapur & Associates, Inc.** (Engineer). This Task Order is made for the following purpose:

Provide civil engineering services for the City of Lake Geneva to prepare a five-year capital improvement plan. An assessment and inventory of all streets, alleys, multi-use paths, parking lots crosswalks, and other possible safety improvements will be included in the five-year plan. It is not anticipated that detailed measurements, markings, or survey will be completed as part of the assessment. The cataloging and review will be visual in nature and be transferred to GIS for mapping to aid in future improvement planning. Additional items will be noted in the assessment review such as problematic drainage areas, gaps in sidewalks, or other major deficiencies.

Section A. – Scope of Services

Engineer shall perform the following Services:

Assessment Activities

1. The Lake Geneva road inventory ratings will be assessed and completed per the guidelines of the Wisconsin Department of Transportation WISLR program. Staff will assess all city pavement inventory and provide detailed information to the Highway Department for inclusion to the WISLR system. City GIS system will be updated to include pavement ratings and as well as provide City mapping. The City has just over 44 Miles of road it is anticipated that this task will be completed both using a vehicle (standard) and walking.
2. Alley Assessment: This work will be similar in nature to the Road inventory; however, alleys are not cataloged by WISLR. An inventory and condition review of all the alley's located within the city will be completed and the GIS updated to reflect the pavement ratings. For the purposes of the rating system the standard PASER rating system will be utilized. The city has over 3 miles of alleys.
3. Sidewalks, accessible ramps, and curb and gutter locations will be noted as part of the assessment, planning and mapping. The mapping will include locations, widths and any noted areas that need improvements or replacements. This work will include recommendations for a recurring sidewalk program and a basis for need. It is typical to have a sidewalk program to meet accessible standards for pedestrians.





4. Multi Use Paths – Provide a complete assessment of the city’s existing multiuse and pedestrian paths. The City of Lake Geneva Bicycle and Pedestrian Plan adopted March 26th, 2018 will be used a reference for existing paths within the city.
5. Municipal owned parking lots: The assessment will include the review of each public parking lot within the city for pavement condition, public access, and general condition assessment. The public parking lots will be included in the master capital improvement planning process.
6. Areas of possible pedestrian and vehicle safety improvements will be included as part of the capital improvement planning, these may include possible cross walk improvement recommendations, as well as items such as a median curb or barrier within the North Edwards Boulevard connection with Main Street.
7. Provide detailed maps utilizing GIS to inventory and rate the assessments, this will be provided in both a PDF and electronic format (compatible GIS and AutoCAD format). It is anticipated maps of the complete system will be provided, as well as a map for each of the 5-year capital improvement projects.
8. A budgetary planning spreadsheet will be prepared for the complete 5-year capital improvements plan outlining necessary road improvements, pedestrian improvements, safety improvements as wells as recommend maintenance treatments and costs for each year.

Section B. – Schedule

Engineer shall perform the Scope of Services once an executed agreement is provided: It is anticipated the work will take 80 to 100 hours to complete and be a continuous effort moving forward. Once the initial scope is complete it is anticipated a annual update to the capital improvement plan will be completed as required to received transportation aids. The recurring updates will be included in future task orders for the annual road improvements project.

Section C. – Compensation

In return for the performance of the foregoing obligations, Owner shall pay to Engineer an amount not-to-exceed Ten Thousand dollars (\$10,000.00) payable according to the following terms:

A not-to-exceed amount based on the rates as listed in Attachment A of the Agreement, plus direct expenses. Cost plus services are limited to an agreed maximum figure unless amended.





Engineer may request a change to the billing hours if scope changes, beyond the control of the Engineer, resulting in an extension of the schedule or necessitates a change in personnel.

Compensation for Additional Services (if any) shall be paid by Owner to Engineer according to the hourly billing rates shown in Attachment A of the Agreement.

IN WITNESS WHEREOF, the Owner and Engineer have executed the Task Order.

For: City of Lake Geneva

Engineer: Kapur & Associates, Inc.

By: _____

By: Gregory L Governatori

Signature: _____

Signature:  _____

Title: _____

Title: Associate

Date: _____

Date: 9-10-2019



Kapur Associates, Inc.
Summary of Staff Hours and Labor Costs
for the
City of Lake Geneva

TASK ORDER 18

Capital Improvement Planning Attachment A

CLASSIFICATION	ACT. Code	Project Manager		Senior Project Engineer		Project Engineer		Staff Engineer/Technician		GIS Technician		Total Labor	
		Hours	Dollars	Hours	Dollars	Hours	Dollars	Hours	Dollars	Hours	Dollars	Hours	Dollars
Average Hourly Wage			\$145.00		\$115.00		\$95.00		\$78.00		\$82.00		
WISLR Road Inventory (44 Miles)													
Pavement Inspection/Rating				4	\$460.00			8	\$624.00			12	\$1,084.00
Data Input to GIS										20	\$1,640.00	20	\$1,640.00
GIS/Mapping Updates										4	\$328.00	4	\$328.00
													Total \$3,052.00
Alley Assessment													
Field Reviews				4	\$460.00			4	\$312.00				\$772.00
GIS Data Entry										8	\$656.00		\$656.00
GIS Mapping										4	\$328.00		\$328.00
													Total \$1,756.00
Sidewalk/Curb Gutter/ADA Ramp													
Sidewalk Desktop Review								4	\$312.00			4	\$312.00
													\$312.00
Accesible Ramp/Desktop Review								4	\$312.00			4	\$312.00
													Total \$624.00
Bike Path Assessments													
Field Reviews													
GIS Data Entry										8	\$656.00	8	\$656.00
GIS Mapping										4	\$328.00	4	\$328.00
													Total \$984.00
Final Report/Recommendations													
5-Year CIP				24	\$2,760.00								\$2,760.00
TOTALS				32	\$3,680.00			20	\$1,560.00	48	\$3,936.00	56	\$9,488
												Expenses:	
												Project Total:	\$9,488

2019 CITY OF LAKE GENEVA STREET PROGRAM (ACTUAL)

Current Pavement Rating and Year	Surface		On Route	At Route	Toward Route	Toward Offset (Optional Field)	Section Length (FT)	Section Area (SY)	Maint. Unit Cost / SY	Maintenance Est. Cost	Accum. Maint. Estimated Cost	Recommended Treatment
	Year	Width	Name (Includes prefix, name, type, suffix and extension)	Name (Includes prefix, name, type, suffix and extension)	Name (Includes prefix, name, type, suffix and extension)							
10 (2019)	2000	12	Williams Ave	Conant St	Termini	0	422	563	\$ 20.50	\$ 11,535	\$ 11,534.67	2" Mill & OL
10 (2019)	1996	30	Peller Rd	East Dr / Main St / STH 50	Termini	0	390	1300	\$ 20.50	\$ 26,650	\$ 38,184.67	2" Mill & OL (C&G patching)
5 (2019)	1980	30	Carey St	Marion St	La Salle St	0	475	1583	\$ 20.50	\$ 32,458	\$ 70,643.00	2" Mill & OL (C&G patching)
5 (2019)	1990	24	Conant St	Kendall Ln	Platt Ave	0	585	1560	\$ 20.50	\$ 31,980	\$ 102,623.00	2" Mill & OL/ ADA Ramps/C&G patching
5 (2019)	1979	30	Crawford St	Haskins St	Spring St	0	422	1407	\$ 20.50	\$ 28,837	\$ 131,459.67	2" Mill & OL/ ADA Ramps/C&G patching
5 (2019)	1979	27	Crawford St	Spring St	Termini	0	264	792	\$ 20.50	\$ 16,236	\$ 147,695.67	2" Mill & OL/ ADA Ramps/C&G patching
5 (2019)	1997	30	Madison St	Grant St	Logan St	0	317	1057	\$ 20.50	\$ 21,662	\$ 169,357.33	2" Mill & OL/ ADA Ramps/C&G patching
5 (2019)	1997	30	Madison St	Logan St	Cemetery Rd / Oak Hill Dr	0	264	880	\$ 20.50	\$ 18,040	\$ 187,397.33	2" Mill & OL/ ADA Ramps/C&G patching
5 (2019)	1997	30	Madison St	Wisconsin St	Dodge St	0	475	1583	\$ 20.50	\$ 32,458	\$ 219,855.67	2" Mill & OL/ ADA Ramps/C&G patching
5 (2019)	1997	28	Walker St	Center St	CTH H	0	739	2299	\$ 20.50	\$ 47,132	\$ 266,987.44	3" Mill & OL (C&G patching)
5 (2019)	2007	30	Madison St	W Main St / STH 50	Geneva St	0	475	1583	\$ 20.50	\$ 32,458	\$ 299,445.78	2" Mill & OL/ ADA Ramps/C&G patching
5 (2019)	1980	28	Marion St	Clover St	Carey St	0	370	1151	\$ 20.50	\$ 23,598	\$ 323,043.56	2" Mill & OL (C&G patching)
5 (2019)	1996	16	Oak Ln	Sage St	Water St	0	581	1033	\$ 20.50	\$ 21,174	\$ 344,217.78	2" Mill & OL/ ADA Ramps
5 (2019)	1997	30	Pioneer Dr	Walworth St	Haskins St	0	687	2290	\$ 20.50	\$ 46,945	\$ 391,162.78	2" Mill & OL/ ADA Ramps/C&G patching
5 (2019)	1998	32	Walworth St	Crawford St	Sage St	0	475	1689	\$ 20.50	\$ 34,622	\$ 425,785.00	2" Mill & OL/ ADA Ramps/C&G patching
5 (2019)	1996	40	Walworth St	Pioneer Dr	Waverly St	0	211	938	\$ 20.50	\$ 19,224	\$ 445,009.44	2" Mill & OL/ ADA Ramps/C&G patching
5 (2019)	1999	30	Water St	Crawford St	Waverly St	0	475	1583	\$ 20.50	\$ 32,458	\$ 477,467.78	2" Mill & OL/ ADA Ramps/C&G patching
6 (2019)	2000	26	Dodge St	Fremont Ave	Elmwood Ave / Jefferson Ave	0	422	1219	\$ 20.50	\$ 24,992	\$ 502,459.56	2" Mill & OL/ ADA Ramps/C&G patching
6 (2019)	2013	30	Dodge St	Pond View Ln	Fremont Ave	0	1482	4940	\$ 20.50	\$ 101,270	\$ 603,729.56	2" Mill & OL/ ADA Ramps/C&G patching
6 (2019)	1997	32	Tomike St	Grant St	Oak Hill Dr	0	739	2628	\$ 20.50	\$ 53,865	\$ 657,594.44	2" Mill & OL/ ADA Ramps/C&G patching
6 (2019)	1998	40	Walworth St	Waverly St	Crawford St	0	475	2111	\$ 20.50	\$ 43,278	\$ 700,872.22	2" Mill & OL/ ADA Ramps/C&G patching
		16	Alley	Pleasant/Park Row	2019	0	390	693	\$ 30.00	\$ 20,800	\$ 721,672.22	3" Mill & OL
											\$ 721,672.22	Includes 7.5% Survey/Eng/CM

Note: If Previous Pavement Rating and Year column blank, previous submitted rating incompatible with surface type OR no rating data available.



VANDEWALLE & ASSOCIATES INC.

To: Mayor Hartz
From: Brian Munson and Jackie Mich
Date: Wednesday, August 28, 2019
Re: Hillmoor Property Concept Plan

Evaluating the future use of the Hillmoor Property represents a wide range of opportunities for the City of Lake Geneva. Vandewalle & Associates proposes the following tasks to help the City frame development options for the site to help inform future discussions on long term use of the site:

Work Element 1: Site Visit & Site Analysis

1.1) Site Visit/Kickoff Meeting: Vandewalle & Associates staff will undertake a one day site visit to investigate the on-site and surrounding conditions of the Hillmoor Property to develop a more thorough understanding of the site conditions and gather additional background information. This information will be used to build a better understanding of the historic and on-going discussions of development options for the site.

The design team will also meet with from City Staff and the City's Project Management Team (if using) during this trip to discuss project goals.

1.2) Preliminary Base Map Creation: Vandewalle & Associates will work with the City to develop base information regarding the site and adjoining properties for use in the creation of the concept plans.

1.3) Site Analysis: Vandewalle & Associates will undertake an initial site analysis of the target property using publicly available information. Items investigated may include, but are not limited to, the following items:

- 1.) Existing Conditions (topography, soils, wetlands, floodplains, water features, streams, lakes, woodlands, existing improvements)
- 2.) Adjoining Properties (uses, ownership patterns)
- 3.) Municipal regulations (adopted plans, zoning)

This work will be used to inform the concept plan designs, but no formal presentation or summary will be made of the findings.

Estimated Timing: Week 1-3

120 East Lakeside Street • Madison, Wisconsin 53715 • 608.255.3988 • 608.255.0814 Fax
247 Freshwater Way, Suite 530 • Milwaukee, Wisconsin 53204 • 414.988.8631

www.vandewalle.com

Shaping places, shaping change

Work Element 2: Concept Plan Development

- 2.1) **Concept Plan Alternatives:** Vandewalle & Associates will create three concept plan alternatives for the development of the target parcel, based upon program goals for the project and information gained during the site analysis phase. These will include land uses area bubbles, circulation patterns, and important bike/pedestrian connections. Text boxes and photos may be used to further describe potential future uses. Accompanying narrative description will address:
- 1.) Design principles and overall guidelines for the site
 - 2.) Natural resource preservation areas
 - 3.) Definitions and descriptions of the recommended future land use categories included in the concept plans, including development character and scale
 - 4.) Photo examples where applicable
 - 5.) Types of development that are not desirable (e.g., big box development)
- 2.2) **Working Session with Council and Plan Commission:** Vandewalle & Associates will lead a working session at a joint meeting of the Common Council and Plan Commission to present the concept plan alternatives and determine the desired design direction for the one preferred concept plan to be shared at the public open house.
- This is anticipated to be a special meeting in order to complete this scope of work within the City's desired timeline.
- 2.3) **Concept Plan Refinement (Draft 2):** Vandewalle & Associates will refine one concept plan alternative in response to input provided at the working session with Council and Plan Commission to take to public open house.
- 2.4) **Public Open House:** Vandewalle & Associates will organize a public open house for the community to review the draft concept plan and provide input. Vandewalle & Associates will provide a meeting flyer. The City will be responsible for distribution of the flyer and additional publicity.
- 2.5) **Final Concept Plan (Draft 3):** Vandewalle & Associates will prepare one final concept plan that reflects comments received. Vandewalle & Associates will incorporate the final concept plan into the Draft Comprehensive Plan by updating the Future Land Use Map as appropriate and providing a narrative description of the City's goals and objectives for the site.

Final Concept Plan to be completed in early November to allow for 30-day public review period prior to the December 9 Public Hearing. Vandewalle & Associates will provide all deliverables in digital format (PDF).

Estimated Timing: Week 4-7

Total Proposed Budget: \$29,500

Timeline: 2 Months

Work done beyond the scope of services will be incurred on a time and materials basis.

Preliminary Project Schedule

Work Element 1: Site Visit & Site Analysis		Timing
Task 1.1	Site Visit/Kickoff Meeting	Sept. 18-20
Task 1.2	Preliminary Base Map Creation	Sept. 1-18
Task 1.3	Site Analysis	Sept. 1-18
Work Element 2: Concept Plan		
Task 2.1	Concept Plan Alternatives (Draft 1 - for Council & PC Review)	Sept. 18-Oct.4
Task 2.2	Working Session with Council and Plan Commission	Oct. 7-11
Task 2.3	Concept Plan Refinement (Draft 2 - for Public Review)	Oct. 14-18
Task 2.4	Public Open House to Review Concept	Oct. 21-25
Task 2.5	Final Concept Plan (Draft 3 - for Public Hearing)	Oct. 31

Report Criteria:

Report type: Summary
 [Report].Check Issue Date = 09/06/2019,09/11/2019
 Check.Type = {<->} "Adjustment"
 Bank.Bank account = "043230"

Check Issue Date	Check Number	Vendor Number	Payee	Amount
09/06/2019	71524	2046	ALLIANT ENERGY	23,438.94
09/06/2019	71525	2547	GEE, SHANNON	105.00
09/06/2019	71526	2615	GREETHAM, AARON	45.00
09/06/2019	71527	5386	MCNEIL, KYLE	45.00
09/06/2019	71528	3038	NELSON, BRANDI	105.00
09/06/2019	71529	5326	STEPHANIE LYNN LAKE GENEVA LLC	5,332.00
09/06/2019	71530	4944	TRACTOR SUPPLY CREDIT PLAN	71.18
09/06/2019	71531	5443	WISNIEWSKI, JOSEPH	105.00
09/11/2019	71532	2046	ALLIANT ENERGY	563.02
09/11/2019	71533	5567	DERWINSKI, ANDREW	25.00
09/11/2019	71534	3198	QUILL CORPORATION	69.99
09/11/2019	71535	4918	TIME WARNER CABLE	209.99
Grand Totals:				30,115.12

Summary by General Ledger Account Number

GL Account	Debit	Credit	Proof
11-00-00-21100	.00	18,871.73-	18,871.73-
11-00-00-44120	25.00	.00	25.00
11-16-10-52220	4,365.53	.00	4,365.53
11-21-00-52210	209.99	.00	209.99
11-21-00-53100	69.99	.00	69.99
11-21-00-53310	405.00	.00	405.00
11-22-00-52220	1,594.40	.00	1,594.40
11-29-00-52220	78.58	.00	78.58
11-32-10-52220	491.16	.00	491.16
11-32-10-53410	31.28	.00	31.28
11-32-10-53510	39.90	.00	39.90
11-34-10-52220	364.86	.00	364.86
11-34-10-52230	8,395.22	.00	8,395.22
11-51-10-52220	1,196.48	.00	1,196.48
11-52-00-52220	767.08	.00	767.08
11-52-00-59220	91.57	.00	91.57
11-52-01-52220	745.69	.00	745.69
40-00-00-21100	.00	4,892.70-	4,892.70-
40-54-10-52220	684.87	.00	684.87
40-55-30-52220	4,207.83	.00	4,207.83
47-00-00-21100	.00	5,332.00-	5,332.00-
47-00-00-57210	2,666.00	.00	2,666.00
47-00-00-57212	2,666.00	.00	2,666.00
48-00-00-21100	.00	68.88-	68.88-
48-00-00-52220	68.88	.00	68.88
99-00-00-21100	.00	949.81-	949.81-

GL Account	Debit	Credit	Proof
99-00-00-52220	949.81	.00	949.81
Grand Totals:	30,115.12	30,115.12-	.00

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

Report Criteria:

Report type: Summary
 [Report].Check Issue Date = 09/06/2019,09/11/2019
 Check.Type = {<->} "Adjustment"
 Bank.Bank account = "043230"

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Only unpaid invoices included.

Invoice.Batch = "190917","190918"

Invoice.Detail.GL account (2 Characters) = {<>} "61"

Invoice.Detail.GL account (2 Characters) = {<>} "62"

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
11				
WALWORTH COUNTY TREASURER				
UNCLAIMED F	09/05/2019	UNCLAIMED FUNDS 2017-PRIO	11-00-00-24200 DUE TO WALWORTH COUNTY	1,184.25
Total WALWORTH COUNTY TREASURER:				1,184.25
TAPCO				
I646847	08/27/2019	INTCHG N/GENEVA SQ CTRL B	11-10-00-52450 EXPENSES SUBJECT TO INS CLAIM	17,110.00
Total TAPCO:				17,110.00
WISCONN VALLEY MEDIA GROUP				
15143-1	08/22/2019	LN-2/25/19 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	425.68
15159-1	08/22/2019	LN-3/11/19 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	170.00
15163-1	08/22/2019	LN-4/8/19 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	225.76
15164-1	08/22/2019	LN-7/22/19 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	233.92
15165-1	08/22/2016	LN-4/16/19 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	73.44
15172-1	08/22/2019	LN-5/13/19 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	207.40
178-1	08/22/2019	LN-5/28/19 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	367.20
15229-1	08/22/2019	LN-6/10/19 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	374.68
15251-1	08/22/2019	LN-6/24/19 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	308.04
15254-1	08/22/2019	LN-7/8/19 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	294.44
15345-1	08/22/2019	HARBORMASTER AD	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	78.00
15368-1	08/22/2019	LN-ORDINANCE 19-12	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	47.60
15373-1	08/22/2019	LN-ORDINANCE 19-11	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	84.32
16021-1	08/29/2019	LN-4/22/19 COUNCIL MINUTES	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	31.28
11141-1	08/08/2019	LN-832 GENEVA ST CUP	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	23.76
11142-1	08/08/2019	LN-950 MARIANE TER CUP	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	22.14
11228-1	08/08/2019	LN-1544 W MAIN ST CUP	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	23.76
11232-1	08/08/2019	LN-1550 LAKE SHORE DR CUP	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	24.30
11233-1	08/08/2019	LN-918 W MAIN ST CUP	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	24.84
11234-1	08/08/2019	LN-VISTAS OF LG GDP	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	26.46
16020-1	08/29/2019	LN-FAIRFIELD LIQ LIC	11-10-00-53150 PUBLICATION FEES REIMBURSABLE	20.40
Total WISCONN VALLEY MEDIA GROUP:				3,087.42
LASER WORKS UNLIMITED LLC				
1547	08/28/2019	PLAN COMM NP-STANCZAK	11-11-00-53990 COUNCIL MISCELLANEOUS EXPENSE	13.70
Total LASER WORKS UNLIMITED LLC:				13.70
WALWORTH COUNTY TREASURER				
INV 64-246 8/1	08/30/2019	COURT FINES-AUG 2019	11-12-00-24200 COURT FINES-COUNTY	1,542.23
Total WALWORTH COUNTY TREASURER:				1,542.23
STATE OF WISCONSIN				
INV 64-246 8/1	08/30/2019	COURT FINES-AUG 2019	11-12-00-24240 COURT FINES-STATE	4,975.44

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total STATE OF WISCONSIN:				4,975.44
KENOSHA CIRCUIT COURT				
WARRANT-JO	09/10/2019	WARRANT-JOHNSON #19TR372	11-12-00-24280 COURT FINES-OTHER	10.00
Total KENOSHA CIRCUIT COURT:				10.00
MT PLEASANT POLICE DEPARTMENT				
WARRANR-GU	09/10/2019	WARRANT-GUERRERO #19-745	11-12-00-24280 COURT FINES-OTHER	136.00
Total MT PLEASANT POLICE DEPARTMENT:				136.00
VILLAGE OF WILLIAMS BAY PD				
WARRANT-BU	09/10/2019	WARRANT-BUCHNER #18-0033	11-12-00-24280 COURT FINES-OTHER	147.00
Total VILLAGE OF WILLIAMS BAY PD:				147.00
WALENCIEJ, WOJCHIECH				
REFD BD0383	09/04/2019	PARTIAL BOND REFUND	11-12-00-45100 COURT PENALTIES & FINES	8.90
Total WALENCIEJ, WOJCHIECH:				8.90
GENEVA ONLINE INC				
1086835	09/01/2019	EMAIL SVC-SEP	11-12-00-52210 MUNICIPAL CT TELEPHONE	2.00
Total GENEVA ONLINE INC:				2.00
RHYME BUSINESS PRODUCTS				
AR326213	08/29/2019	M3550IDN-SEP	11-12-00-53610 EQUIPMENT MAINT SERVICE COSTS	24.00
Total RHYME BUSINESS PRODUCTS:				24.00
OFFICE DEPOT				
371508684001	08/30/2019	CHAIR MAT	11-14-30-53100 CITY CLERK OFFICE SUPPLIES	21.25
371508684001	08/30/2019	BINDERS,CHAIR MATS	11-15-10-53100 ACCTG OFFICE SUPPLIES	105.96
371527050001	08/30/2019	NOTEBOOK DIVIDERS	11-15-10-53100 ACCTG OFFICE SUPPLIES	19.11
Total OFFICE DEPOT:				146.32
CDW GOVERNMENT INC				
TQW9792	08/27/2019	DESKTOP COMPUTER RPLCMT	11-15-10-54500 COMPUTER IT SVC & EQUIPMENT	29.08
Total CDW GOVERNMENT INC:				29.08
JOHNSON CONTROLS				
86090660	08/13/2019	NAC FIRE PANEL-RPLC	11-16-10-52400 CITY HALL BUILDING REPAIRS	4,932.00
Total JOHNSON CONTROLS:				4,932.00
OFFICE DEPOT				
368276433001	08/23/2019	POCKET FILES,FILE FOLDERS	11-16-10-53100 CITY HALL OFFICE SUPPLIES	15.29
371508684001	08/30/2019	BINDER CLIPS,COMPRESSED	11-16-10-53100 CITY HALL OFFICE SUPPLIES	7.46
Total OFFICE DEPOT:				22.75

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
BADGER STATE INDUSTRIES				
306-180126	08/28/2019	PAPER TOWELS,TP,LINERS	11-16-10-53500 CITY HALL BLDG MAINT SUPPLIES	255.07
Total BADGER STATE INDUSTRIES:				255.07
RUNDLE SPENCE				
S2784342.001	08/23/2019	FAUCET SENSOR	11-16-10-53500 CITY HALL BLDG MAINT SUPPLIES	64.34
Total RUNDLE SPENCE:				64.34
ITU ABSORB TECH INC				
7314091	09/06/2019	MATS	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	81.22
Total ITU ABSORB TECH INC:				81.22
RHYME BUSINESS PRODUCTS				
AR326214	08/29/2019	SHARP-AUG B&W	11-16-10-55310 CH OFFICE EQUIPMENT CONTRACTS	27.86
AR326214	08/29/2019	SHARP-AUG COLOR	11-16-10-55310 CH OFFICE EQUIPMENT CONTRACTS	176.51
Total RHYME BUSINESS PRODUCTS:				204.37
GLASS, MICHAEL				
19-48995	08/26/2019	OVERPMT REFD-GLASS	11-22-00-46240 FIRE/EMS BILLING REVENUE	375.00
Total GLASS, MICHAEL:				375.00
BADGER STATE INDUSTRIES				
306-180126	08/28/2019	PAPER TOWELS,TP	11-22-00-53500 BLDG MAINT SUPPLIES-FIREHOUSE	60.18
Total BADGER STATE INDUSTRIES:				60.18
MKCELLULAR INC				
MKCLGIN1321	08/13/2019	PHONE PROTECTOR-WALLING	11-24-00-52620 TELEPHONE EXPENSE	44.99
Total MKCELLULAR INC:				44.99
LEAGUE OF WI MUNICIPALITIES				
CONF 11/6/19	09/02/2019	PLUMBING INSP INSTITUTE-WA	11-24-00-53310 BLDG INSP-MEALS & LODGING	155.00
Total LEAGUE OF WI MUNICIPALITIES:				155.00
SALAMANDER TECHNOLOGIES INC				
15204	08/06/2019	ID CARD SUBSCR RENEWAL	11-29-00-53400 EMER MGMT SUPPLIES	500.00
Total SALAMANDER TECHNOLOGIES INC:				500.00
BOUND TREE MEDICAL LLC				
83291191	07/31/2019	MRC SUPPLIES	11-29-00-54140 MEDICAL RESERVE CORPS	706.16
83294629	07/31/2019	MRC SUPPLIES	11-29-00-54140 MEDICAL RESERVE CORPS	53.99
83297778	08/02/2019	MRC SUPPLIES	11-29-00-54140 MEDICAL RESERVE CORPS	33.12
Total BOUND TREE MEDICAL LLC:				793.27
RC ELECTRONICS				
5568	08/30/2019	RADIO,INSTALL-SWEEPER	11-32-10-52620 ST DEPT COMM SYSTEM MAINT FEES	513.90

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total RC ELECTRONICS:				513.90
DUNN LUMBER & TRUE VALUE				
770008	09/03/2019	PLASTIC FUNNEL	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	2.29
770537	09/09/2019	RATCHET STRAP	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	11.99
Total DUNN LUMBER & TRUE VALUE:				14.28
OIL EQUIPMENT COMPANY				
0270619-IN	08/28/2019	FUEL SYSTEM KEYS (50)	11-32-10-53410 VEHICLE-FUEL & OIL	473.23
Total OIL EQUIPMENT COMPANY:				473.23
GAPPA SECURITY SOLUTIONS LLC				
19361	08/21/2019	KEY CORES (6),LOCKS (4)	11-32-10-53500 BLDG MAINT SUPPLIES-STR DEPT	383.50
Total GAPPA SECURITY SOLUTIONS LLC:				383.50
OFFICE PRO INC				
0358072-001	08/28/2019	PAPER TOWELS	11-32-10-53500 BLDG MAINT SUPPLIES-STR DEPT	73.13
Total OFFICE PRO INC:				73.13
BUMPER TO BUMPER AUTO PARTS				
2-414159	09/03/2019	OIL FILTER	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	14.69
2-414444	09/09/2019	MIRROR-TRK #26	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	18.39
Total BUMPER TO BUMPER AUTO PARTS:				33.08
DUNN LUMBER & TRUE VALUE				
765504	07/17/2019	QUICK LINKS (2)-MONSOON CH	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	18.58
769780	08/29/2019	NUTS,BOLTS	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	6.35
Total DUNN LUMBER & TRUE VALUE:				24.93
ELKHORN NAPA AUTO PARTS				
168687	08/29/2019	OIL FILTER	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	11.80
Total ELKHORN NAPA AUTO PARTS:				11.80
JERRY WILLKOMM INC				
390345	08/27/2019	WHEEL BEARING GREASE	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	75.12
Total JERRY WILLKOMM INC:				75.12
DUNN LUMBER & TRUE VALUE				
770538	09/09/2019	WOOD STAKES (50),MARKING	11-32-13-54300 TREE & BRUSH OPERATING SUPPLY	40.56
Total DUNN LUMBER & TRUE VALUE:				40.56
VERMEER WISCONSIN INC				
20222618	08/20/2019	BLADE-CHIPPER	11-32-13-54300 TREE & BRUSH OPERATING SUPPLY	151.74
Total VERMEER WISCONSIN INC:				151.74

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
HUMPHREY'S CONTRACTING				
8/28/19	08/28/2019	CONCRETE APRON-COMPOST	11-32-14-52200 COMPOSTING SERVICES	2,880.00
Total HUMPHREY'S CONTRACTING:				2,880.00
DUNN LUMBER & TRUE VALUE				
770219	09/04/2019	LIGHT BULBS (4)	11-34-10-52610 STREET LIGHTS REPAIRS	8.99
770585	09/09/2019	PHOTO EYE-STREET LIGHTS	11-34-10-52610 STREET LIGHTS REPAIRS	12.49
Total DUNN LUMBER & TRUE VALUE:				21.48
LANGE ENTERPRISES INC				
70019	08/23/2019	"KEEP RIGHT" SIGN	11-34-10-53750 TRAFFIC CONTROL STREET SIGNS	27.48
Total LANGE ENTERPRISES INC:				27.48
JOHNS DISPOSAL SERVICE INC				
336741	09/06/2019	SEP SVC	11-36-00-52940 SOLID WASTE-RESIDENTIAL	28,896.65
Total JOHNS DISPOSAL SERVICE INC:				28,896.65
ADVANCED DISPOSAL SERVICES				
A40000010576	08/31/2019	LANDFILL USE-BULK	11-36-00-52960 SOLID WASTE-STREET DEPT	1,095.79
Total ADVANCED DISPOSAL SERVICES:				1,095.79
HNS DISPOSAL SERVICE INC				
336741	09/06/2019	SEP SVC	11-36-00-52970 SOLID WASTE-RECYCLING	13,091.30
Total JOHNS DISPOSAL SERVICE INC:				13,091.30
BADGER STATE INDUSTRIES				
306-180126	08/28/2019	PAPER TOWELS	11-51-10-52400 MUSEUM-MAINTENANCE & REPAIRS	18.88
Total BADGER STATE INDUSTRIES:				18.88
DUNN LUMBER & TRUE VALUE				
766672	07/30/2019	EDGER RENTAL-PARK TREE RI	11-52-00-52500 EQUIPMENT REPAIR SERVICES	97.90
761472	06/10/2019	SPLIT RAILS-WEST END FENCE	11-52-00-53520 GROUNDS MAINT SUPPLIES	81.94
770206	09/04/2019	IRRIGATION SYS RPR-LIBRARY	11-52-00-53520 GROUNDS MAINT SUPPLIES	2.28
Total DUNN LUMBER & TRUE VALUE:				182.12
SHERWIN-WILLIAMS COMPANY				
5274-0	08/28/2019	PAINT-BENCHES	11-52-00-53520 GROUNDS MAINT SUPPLIES	54.91
Total SHERWIN-WILLIAMS COMPANY:				54.91
YMCA				
SEP/OCT PYM	09/01/2019	SEP/OCT PAYMENT	11-70-00-57600 YMCA-YOUTH ATHLETIC PROGRAM	9,180.00
Total YMCA:				9,180.00
Total 11:				93,148.41

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
SIGNATURE SIGNS LLC				
5391	09/04/2019	WEST END PIER SIGN	40-52-10-53990 BUOY/STALL MISC. EXPENSES	465.00
Total SIGNATURE SIGNS LLC:				465.00
AASEN EMBROIDERY				
13255	08/29/2019	T-SHIRTS,CAPS,SWEATSHIRTS	40-52-11-53990 LAUNCH RAMP MISCELLANEOUS	85.75
Total AASEN EMBROIDERY:				85.75
T2 SYSTEMS CANADA INC				
IRIS000005659	06/25/2019	IRIS FEES-JUL	40-54-10-53400 LUKE OPERATING AND CC EXP	119.25
IRIS000005953	08/28/2019	IRIS FEES-SEP	40-54-10-53400 LUKE OPERATING AND CC EXP	119.25
Total T2 SYSTEMS CANADA INC:				238.50
VILLAGE OF GENOA CITY				
64	08/27/2019	BEACH TESTING-JUL	40-54-10-53620 BEACH MAINTENANCE SERVICE COS	375.00
66	08/27/2019	BEACH TESTING-AUG	40-54-10-53620 BEACH MAINTENANCE SERVICE COS	225.00
Total VILLAGE OF GENOA CITY:				600.00
GENEVA LAKE ENVIRONMENTAL AGCY				
AUG 2019	09/01/2019	AUGUST PAYMENT	40-54-10-57300 GLAKE ENVIRONMENTAL AGENCY	5,000.00
Total GENEVA LAKE ENVIRONMENTAL AGCY:				5,000.00
GLAS EDUCATION				
REFD 5/30 6/2	09/06/2019	GLAS-SEC DEP 5/30,6/27,7/25,8/	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
REFD 8/30/19	09/06/2019	GLAS-SEC DEP 8/30/19	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
Total GLAS EDUCATION:				2,000.00
HOSTETLER, JOHN				
REFD 8/31/19	09/06/2019	HOSTETLER-SEC DEP 8/31/19	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
Total HOSTETLER, JOHN:				1,000.00
JARRETT, KENDRA				
REFD 8/22/19	09/10/2019	JARRETT-SEC DEP 8/22/19	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
Total JARRETT, KENDRA:				1,000.00
WILLIAMS, JAY				
REFD 9/1/19	09/06/2019	WILLIAMS-SEC DEP 9/1/19	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
Total WILLIAMS, JAY:				1,000.00
GLAS EDUCATION				
REFD 5/30 6/2	09/06/2019	GLAS-SEC GRD,SETUP-5/30,6/2	40-55-10-46740 UPPER RIVIERA REVENUE	440.50-
REFD 8/30/19	09/06/2019	GLAS-SEC GRD,SETUP-8/30/19	40-55-10-46740 UPPER RIVIERA REVENUE	122.00-
Total GLAS EDUCATION:				562.50-
STETLER, JOHN				
REFD 8/31/19	09/06/2019	HOSTETLER-SEC GRD,SETUP-	40-55-10-46740 UPPER RIVIERA REVENUE	334.00-

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total HOSTETLER, JOHN:				334.00-
JARRETT, KENDRA				
REFD 8/22/19	09/10/2019	JARRETT-SEC GRD,SETUP-8/2	40-55-10-46740 UPPER RIVIERA REVENUE	154.75-
Total JARRETT, KENDRA:				154.75-
WILLIAMS, JAY				
REFD 9/1/19	09/06/2019	WILLIAMS-SEC GRD,SETUP-9/1	40-55-10-46740 UPPER RIVIERA REVENUE	354.00-
Total WILLIAMS, JAY:				354.00-
OFFICE PRO INC				
0356129-001	08/29/2019	"WET FLOOR" SIGN	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	118.32
Total OFFICE PRO INC:				118.32
BATZNER PEST CONTROL				
2739775	08/30/2019	PEST CONTROL-AUG	40-55-20-53600 RIV MAINTENANCE SERVICE COSTS	119.00
Total BATZNER PEST CONTROL:				119.00
ITU ABSORB TECH INC				
7314093	09/06/2019	MATS,MOPS,FRAGRANCE	40-55-20-53600 RIV MAINTENANCE SERVICE COSTS	92.81
Total ITU ABSORB TECH INC:				92.81
Total 40:				10,314.13
42				
HE STARK AGENCY INC				
6089PARK-8/3	08/30/2019	COLLECTION FEES-AUG	42-34-50-52160 LUKE CC AND COLLECTION FEES	279.50
Total HE STARK AGENCY INC:				279.50
OFFICE DEPOT				
371508684001	08/30/2019	TIME CARDS (400)	42-34-50-53100 OFFICE SUPPLIES	47.92
Total OFFICE DEPOT:				47.92
FORD OF LAKE GENEVA				
69683	08/30/2019	METER TRK TRANSMISSION M	42-34-50-53510 VEHICLE/EQUIPMENT MAINT	310.98
Total FORD OF LAKE GENEVA:				310.98
DOUSMAN TRANSPORT CO				
45-001623	08/28/2019	SHUTTLE-ART IN THE PARK 8/1	42-34-50-53990 PARKING MISC EXPENSES	1,993.23
45-001623	08/28/2019	SHUTTLE-VENETIAN 8/17,8/18	42-34-50-53990 PARKING MISC EXPENSES	2,733.51
Total DOUSMAN TRANSPORT CO:				4,726.74
T2 SYSTEMS CANADA INC				
IRIS000005659	06/25/2019	IRIS FEES-JUL	42-34-50-54500 SUPPORT CONTRACTS	2,544.00
IS000005953	08/28/2019	IRIS FEES-SEP	42-34-50-54500 SUPPORT CONTRACTS	2,544.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total T2 SYSTEMS CANADA INC:				5,088.00
UNITED PUBLIC SAFETY INC				
OL0175619	09/01/2019	AUTO OWNER LOOKUPS-AUG	42-34-50-54500 SUPPORT CONTRACTS	570.00
Total UNITED PUBLIC SAFETY INC:				570.00
Total 42:				11,023.14
43				
PAYNE & DOLAN INC				
2019 PAY REQ	09/04/2019	DRAW #1-2019 STREET IMPRO	43-32-10-17010 2018/2019 STREET IMP PROGRAM	201,211.57
Total PAYNE & DOLAN INC:				201,211.57
OTTO JACOBS				
119503	08/31/2019	FENCE ANCHORS	43-32-10-17020 DPW CAPITAL PROJECTS	160.00
Total OTTO JACOBS:				160.00
Total 43:				201,371.57
45				
LAKE GENEVA UTILITY				
301 N STONE	07/18/2019	301 N STONE RIDGE DR	45-00-00-24520 WATER IMPACT FEES	1,865.00
1 N STONE	07/18/2019	301 N STONE RIDGE DR	45-00-00-24530 SEWER IMPACT FEES	1,690.00
Total LAKE GENEVA UTILITY:				3,555.00
Total 45:				3,555.00
47				
LAKE GENEVA CONVENTION				
3RD QTR 2019	09/01/2019	3RD QTR 2019 PAYMENT	47-00-00-57100 HOTEL/MOTEL ASSN-CHAM OF COMM	25,000.00
Total LAKE GENEVA CONVENTION:				25,000.00
GLAS EDUCATION				
MKTG GRANT	09/06/2019	ASTRONOMY/SCIENCE ED MKT	47-70-00-57150 PROMOTIONAL GRANT	4,696.20
Total GLAS EDUCATION:				4,696.20
SO CREATIVE				
MKTG GRANT	09/05/2019	DIGITAL/SOCIAL MARKETING-T	47-70-00-57150 PROMOTIONAL GRANT	2,285.50
Total SO CREATIVE:				2,285.50
Total 47:				31,981.70
48				
DUNN LUMBER & TRUE VALUE				
768161	08/13/2019	FOIL TAPE-DUCTWORK	48-00-00-53400 CEM OPERATING SUPPLIES	9.99
Total DUNN LUMBER & TRUE VALUE:				9.99

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
BUMPER TO BUMPER AUTO PARTS				
662-414131	09/03/2019	HD30 MOTOR OIL	48-00-00-53510 CEM VEHICLE MAINT/REPAIR	44.82
Total BUMPER TO BUMPER AUTO PARTS:				44.82
HUMPHREY'S CONTRACTING				
8/28/19-2	08/28/2019	GRAVESTONE REPAIRS	48-00-00-54200 CEM GRAVES/FOUNDATIONS	14,880.00
Total HUMPHREY'S CONTRACTING:				14,880.00
Total 48:				14,934.81
50				
LAKESIDE INTERNATIONAL LLC				
12427	08/23/2019	PLOW TRK ATTACHMENTS	50-32-00-58000 DPW EQUIPMENT PURCHASES	66,744.00
Total LAKESIDE INTERNATIONAL LLC:				66,744.00
Total 50:				66,744.00
Grand Totals:				433,072.76

Dated: _____

Mayor: _____

City Council: _____

Handwritten signatures in blue and black ink over the signature lines.

City Recorder: _____

Report Criteria:

- Detail report.
- Invoices with totals above \$0.00 included.
- Only unpaid invoices included.
- Invoice.Batch = "190917","190918"
- Invoice Detail.GL account (2 Characters) = {<>} "61"
- Invoice Detail.GL account (2 Characters) = {<>} "62"

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 16, 2019

Agenda Item: 5

Applicant:

Woodhill Farms Nursery, Inc.
N1445 STH 120
Lake Geneva, WI 53147

Request: ETZ Town of Bloomfield

Extraterritorial Zoning Plat review two lot
CSM to Tax Key No. IA462300001

Description:

This request is to approve an Extraterritorial Zoning Plat review for the request of a 2 lot CSM for Tax Key No. IA462300001 located in the Town of Bloomfield.

This request is to approve the proposed Certified Survey Map dated August 20, 2019 revised prepared Schmidt Engineering job number 190417 for the property located at N1445 STH 120.

The parcels newly created parcel will be 15.01 acres.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Extraterritorial Zoning request (ETZ)

As part of the consideration of the requested ETZ, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed ETZ review.

Staff Recommendation on the proposed

1. Staff recommends that the Plan Commission recommend *approval* of the Extraterritorial Zoning request (ETZ): as submitted, subject to approval Walworth County Land Use Zoning.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP or

SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

WOODHILL FARMS NURSERY, INC.

N 1445 STH 120

Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER:

(262) 248-9876

EMAIL ADDRESS: tjohnson@godfreylaw.com

PROJECT ADDRESS N 1445 STH 120

TAX KEY NUMBER: IA462300001

NAME AND ADDRESS OF APPLICANT:

Same as Owner

TELEPHONE NUMBER OF APPLICANT:

()

EMAIL ADDRESS: _____

NAME AND ADDRESS OF SURVEYOR:

Joseph Brahm, PLS of Schmitt Engineering

215 W. Calhoun Street

Woodstock, IL 60098

TELEPHONE NUMBER OF SURVEYOR:

(815) 337-7810 ext 104

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Owner applies under the city's extra-territorial platting authority for approval of a two-lot CSM

to create a 15.01-acre lot to permit a residence to be constructed thereon for the Owner.

The proposed CSM lot is zoned C-2, Upland Resource Conservation District, which

permits single-family residences, and is part of a larger lot, about 98.980 acres.

SUBMITTAL CHECKLIST

_____ LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.

_____ SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.

_____ CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.

_____ PROVIDE 5 FULL SETS AND 20 - 11" X 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.

_____ PROVIDE AN ELECTRONIC COPY OF THE FULL APPLICATION PACKET TO THE LAKE GENEVA BUILDING AND ZONING DEPARTMENT AT BZADMIN@CITYOFLAKEGENEVA.COM OR BZCLERK@CITYOFLAKEGENEVA.COM

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

WOODHILL FARMS NURSERY, INC.

August 30, 2019

DATE

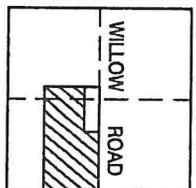
By: 

SIGNATURE OF APPLICANT Its sole shareholder

CERTIFIED SURVEY MAP NO.

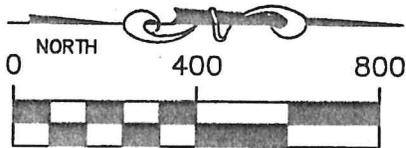
LOT 1 OF CERTIFIED SURVEY MAP NO. 4623, BEING PART OF THE NE 1/4 AND NW 1/4 AND PART OF THE SE 1/4 AND SE 1/4 OF THE SW 1/4, TOGETHER WITH PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF LINN, COUNTY OF WALWORTH, STATE OF WISCONSIN.

VICINITY MAP N.T.S.
HILLSIDE ROAD



STATE HIGHWAY 120
SECTION 14 T1N R17E

SCALE 1"=400'

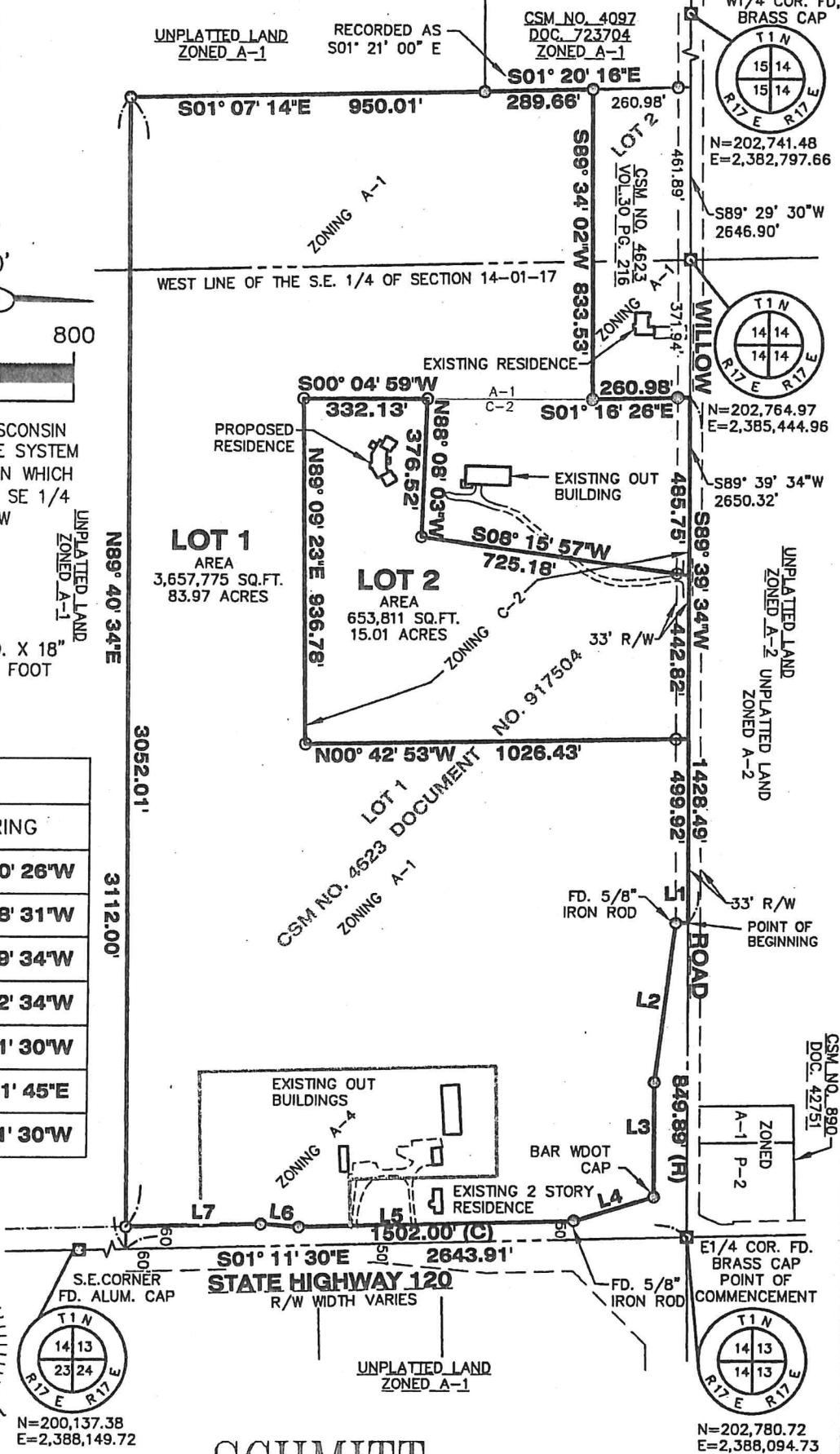
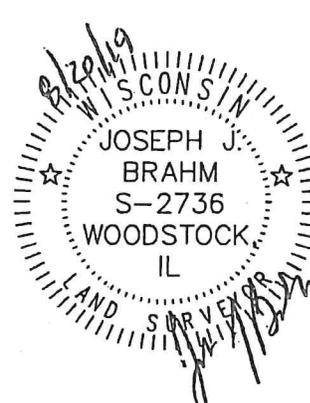


BEARINGS BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE (NAD 83), IN WHICH THE NORTH LINE OF THE SE 1/4 BEARS S89°39'34"W

LEGEND

- FOUND 1" IRON PIPE OR MONUMENT AS NOTED
- SET 1" IRON PIPE, 1.3"O.D. X 18" WT=1.68 LBS PER LINEAL FOOT
- (R) RECORD DISTANCE
- (C) CALCULATED DISTANCE

LINE TABLE		
LINE#	LENGTH	BEARING
L1	33.00'	N00° 20' 26"W
L2	433.58'	N82° 58' 31"W
L3	311.58'	S89° 39' 34"W
L4	222.81'	N16° 42' 34"W
L5	738.70'	N01° 11' 30"W
L6	100.32'	N04° 31' 45"E
L7	361.83'	N01° 11' 30"W



SCHMITT
ENGINEERING

SHEET 1 of 4 SHEETS
Job Number 190417

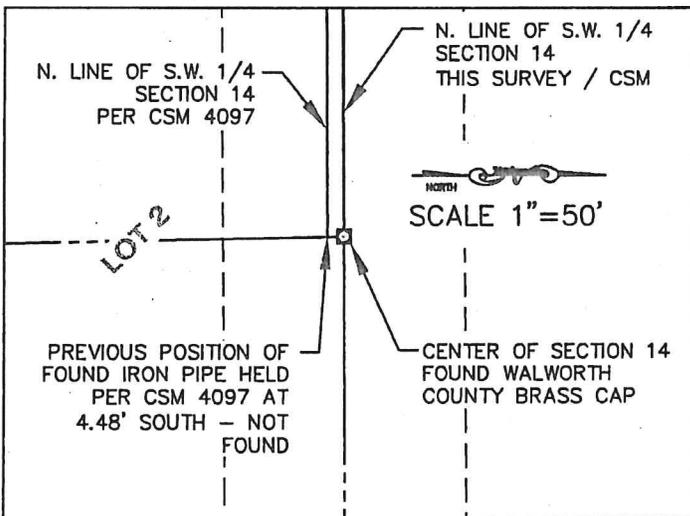
215 West Calhoun, Woodstock, IL 60098
Ph (815) 337-7810 Fx (815) 337-7812
www.alschmittengineering.com

PROPERTY OWNER:
WOODHILL FARMS NURSERY
N1445 STATE HIGHWAY 120 SO.
LAKE GENEVA, WI 53147

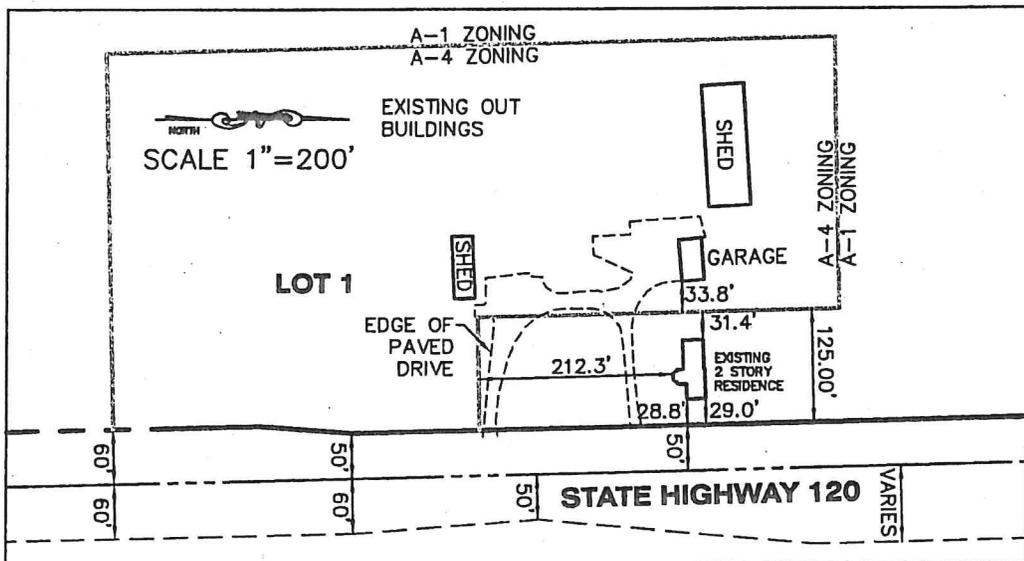
CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 4623, BEING PART OF THE NE 1/4 AND NW 1/4 AND PART OF THE SE 1/4 AND SE 1/4 OF THE SW 1/4, TOGETHER WITH PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF LINN, COUNTY OF WALWORTH, STATE OF WISCONSIN.

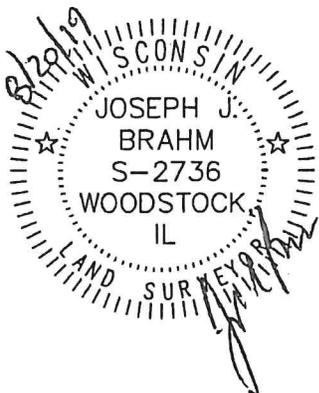
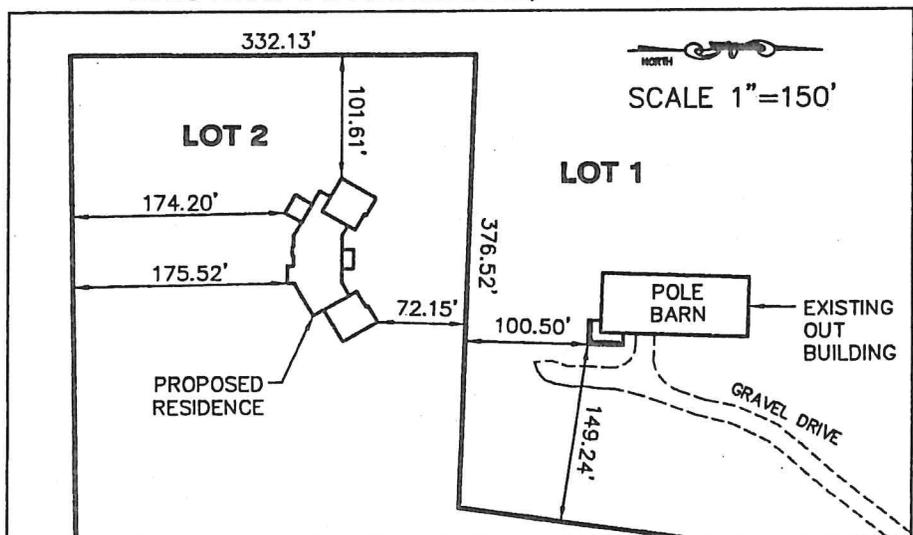
CENTER OF SECTION - CORNER DETAIL



EXISTING RESIDENCE, OUTBUILDINGS AND DRIVEWAY



EXISTING OUTBUILDING / PROPOSED HOUSE



SHEET 2 of 4 SHEETS
Job Number 190417

SCHMITT ENGINEERING
215 West Calhoun, Woodstock, IL 60098
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CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 4623, BEING PART OF THE NE 1/4 AND NW 1/4 AND PART OF THE SE 1/4 AND SE 1/4 OF THE SW 1/4, TOGETHER WITH PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF LINN, COUNTY OF WALWORTH, STATE OF WISCONSIN.

SURVEYORS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF McHENRY } SS

I, JOSEPH J. BRAHM, A PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY: THAT I HAVE SURVEYED, DIVIDED AND MAPPED LOT 1 OF CERTIFIED SURVEY MAP NO. 4623 RECORDED DECEMBER 21, 2015 AS DOCUMENT NO 917504 IN THE WALWORTH COUNTY RECORDER'S OFFICE, BEING PART OF THE NE 1/4 AND NW 1/4 AND PART OF THE SE 1/4 AND SW 1/4 OF THE SE 1/4, TOGETHER WITH PART OF THE NE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN THE TOWNSHIP OF LINN, COUNTY OF WALWORTH, STATE OF WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCE AT BRASS CAP MONUMENT MARKING THE EAST QUARTER CORNER OF SAID SECTION 14; RUN THENCE SOUTH 89° 39' 34" WEST 849.89 FEET ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID NORTH LINE, SOUTH 89° 39' 34" WEST, 1428.49 FEET TO THE NORTHEAST CORNER OF LOT 2 OF SAID CERTIFIED SURVEY MAP NO. 4623; THENCE ALONG THE EASTERLY LINE OF SAID LOT 2, SOUTH 01° 16' 26" EAST 260.98 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 89° 34' 02" WEST ALONG THE SOUTHERLY LINE OF SAID LOT 2, 833.53 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2 BEING ON THE EAST LINE OF CSM NO. 4097 RECORDED AS DOCUMENT NO. 723704; THENCE ALONG THE EAST LINE OF SAID CSM NO. 4097, SOUTH 01° 20' 16" EAST 289.66 FEET TO THE SOUTHEAST CORNER OF SAID CSM NO. 4097; THENCE SOUTH 01° 07' 14" EAST 950.01 FEET; THENCE NORTH 89° 40' 34" EAST 3052.01 FEET TO A POINT 60.00 FEET WEST OF THE EAST LINE OF SAID SOUTHEAST QUARTER OF SAID SECTION 14, SAID POINT BEING ON THE WEST RIGHT-OF-WAY LINE OF STATE HIGHWAY 120; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, NORTH 01° 11' 30" WEST 361.83 FEET; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, NORTH 04° 31' 45" EAST 100.32 FEET; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, NORTH 01° 11' 30" WEST 738.70 FEET; THENCE DEPARTING SAID WEST RIGHT-OF-WAY LINE, NORTH 16° 42' 34" WEST 222.81 FEET, TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF WILLOW ROAD; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89° 39' 34" WEST, 311.58 FEET; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, NORTH 82° 58' 31" WEST 433.58 FEET; THENCE NORTH 00° 20' 26" WEST 33.00 FEET TO THE POINT OF BEGINNING. CONTAINING 4,311,586 SQ. FEET OR 98.980 ACRES MORE OR LESS.

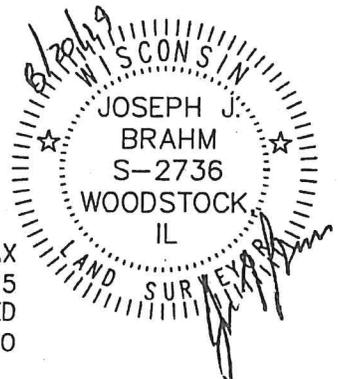
THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION OF THAT LAND. THAT I HAVE MADE SUCH SURVEY, DIVISION AND MAP BY THE DIRECTION OF WOODHILL FARMS NURSERY, INC. AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236.34 OF THE WISCONSIN STATUTES IN SURVEYING AND WITH THE SUBDIVISION CONTROL ORDINANCE FOR THE TOWNSHIP OF LINN, WALWORTH COUNTY, DIVIDING AND MAPPING THE SAME

GIVEN UNDER HIS HAND AND SEAL THIS ____ DAY OF _____, 20____, AT WOODSTOCK, ILLINOIS.

_____(SEAL)
JOSEPH J. BRAHM
PROFESSIONAL LAND SURVEYOR S-2736

WALWORTH COUNTY ZONING

THIS CERTIFIED SURVEY MAP HAS BEEN PREPARED TO DIVIDE AN EXISTING TAX PARCEL (1A462300001) INTO 2 LOTS, EACH OF WHICH IS GREATER THAN 15 ACRES IN SIZE. THIS LAND DIVISION HAS BEEN ADMINISTRATIVELY REVIEWED AND APPROVED PURSUANT TO WALWORTH COUNTY CODE 58-1.3(3); NO COUNTY ZONING AGENCY APPROVAL OF THIS MAP IS REQUIRED.



SCHMITT
ENGINEERING

SHEET 3 of 4 SHEETS
Job Number 190417

215 West Calhoun, Woodstock, IL 60098
Ph (815) 337-7810 Fx (815) 337-7812
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PROPERTY OWNER:
WOODHILL FARMS NURSERY
N1445 STATE HIGHWAY 120 SO.
LAKE GENEVA, WI 53147

CERTIFIED SURVEY MAP NO. ____

LOT 1 OF CERTIFIED SURVEY MAP NO. 4623, BEING PART OF THE NE 1/4 AND NW 1/4 AND PART OF THE SE 1/4 AND SE 1/4 OF THE SW 1/4, TOGETHER WITH PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF LINN, COUNTY OF WALWORTH, STATE OF WISCONSIN.

OWNERS CERTIFICATE

WOODHILL FARMS NURSERY, INC. A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY THE VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, CERTIFIES THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON SHEETS 1 AND 3 TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE ORDINANCES OF WALWORTH COUNTY, WISCONSIN.

WOODHILL FARMS NURSERY, INC. DOES FURTHER CERTIFY THAT THIS MAP IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR REJECTION: TOWNSHIP OF LINN, AND THE CITY OF LAKE GENEVA, WISCONSIN

IN WITNESS WHEREOF, WOODHILL FARMS NURSERY, INC. HAS CAUSED THESE PRESENTS TO BE SIGNED BY

_____, _____ THIS ____ DAY OF _____, 20____
NAME TITLE

WOODHILL FARMS NURSERY, INC.

STATE OF _____)
:SS
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 20____ THE ABOVE NAMED _____, FOR THE WOODHILL FARMS NURSERY KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICER, BY IT'S AUTHORITY.

_____(SEAL) _____NOTARY PUBLIC
NOTARY PUBLIC, STATE OF ILLINOIS

MY COMMISSION EXPIRES _____

TOWNSHIP OF LINN BOARD APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE TOWNSHIP OF LINN BOARD ON THIS, ____ DAY OF _____, 20____

JAMES WEISS
CHAIRMAN

ROSE MILLER
CLERK

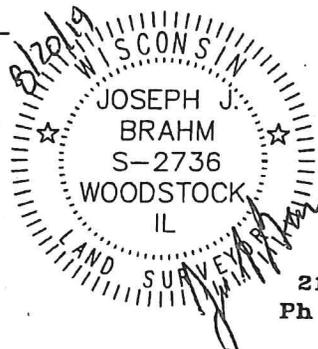
CITY OF LAKE GENEVA EXTRATERRITORIAL PLANNING COMMISSION APPROVAL

RESOLVED THAT THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE COMMON COUNCIL OF THE CITY OF LAKE GENEVA, WISCONSIN

BY: TOM HARTZ, MAYOR

I HEREBY CERTIFY THAT THE FOREGOING IS A COPY OF A RESOLUTION ADOPTED BY THE COMMON COUNCIL OF THE CITY OF LAKE GENEVA, WISCONSIN THIS ____ DAY OF _____, 2019.

BY: CITY CLERK



SCHMITT
ENGINEERING

215 West Calhoun, Woodstock, IL 60098
Ph (815) 337-7810 Fx (815) 337-7812
www.alschmittengineering.com

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 16, 2019

Agenda Item: 7

Applicant:
Lake Geneva Architects
201 Broad St
Lake Geneva, WI 53147

Request: 323 Broad St
Conditional Use Permit (CUP)
New Commercial Multi-Tenant Building
Tax Key No. ZA464600002

Description:

The applicant has submitted a request for a Conditional Use Permit (CUP) that would allow for the candidate to construct a 2 story Commercial Multi-Tenant Building at the property located at 323 Broad St.

The proposed occupancy for the 4 units will be Office / Retail on the first floor with 2 Residential Condominiums on the second floor. This property currently is located in a Planned Development (PD) zoning classification, in conjunction with the request is to include reverting to the underlying Business Central (BC) zoning district Tax Key No ZA464600002.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

A PARCEL OF LAND LOCATED IN THE N.E. 1/4 OF THE NW.
1/4 OF SECTION 36 IN TOWNSHIP 2 NORTH, RANGE 17 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN. 323 Broad Street

Name and Address of Current Owner:

TBD Lake Geneva Economic Development Corp
726 Wisconsin St, Lake Geneva, WI 5314

Telephone No. with area code & Email of Current Owner: TBD

Name and Address of Applicant:

LAKE GENEVA ARCHITECTS
201 BROAD STREET LAKE GENEVA, WI 53147

Telephone No. with area code & Email of Applicant: (262) 248 1400

JASON @ LAKEGENEVAARCHITECTS.COM

Proposed Conditional Use: 2 DWELLING UNITS (RESIDENTIAL)
ON SECOND FLOOR

Zoning District in which land is located: PD AMENDED TO CB

Names and Addresses of architect, professional engineer and contractor of project:

LAKE GENEVA ARCHITECTS
201 BROAD STREET LAKE GENEVA, WI 53147

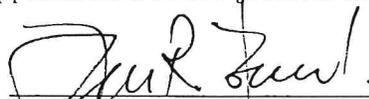
Short statement describing activities to take place on site:

2 DWELLING UNITS ABOVE, 2 COMMERCIAL
SPACES (SMALL RETAIL/ PROFESSIONAL OFFICES)
BELOW.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

8/9/2019

Date


Signature of Applicant



LAKE GENEVA
Architects

STUDIO OF JASON R. BERNARD

August 12th, 2019

City of Lake Geneva
Building and Community Development Department
323 Broad Street
Lake Geneva, WI 53147

Cover Letter

Dear City Plan Commission members:

Lake Geneva Architects is seeking to develop a new mixed-use project on 323 Broad Street. The project will include two commercial spaces on the first floor and two residential units above.

We are requesting a rezone of the lot from Plan Development to Central Business. We seek to develop (2) small retail/professional offices. We feel this in line with the character of the Broad Street. No parking is required for Central Business.

We are also requesting a Conditional Use Permit. This will allow us to develop two residential condo units above the commercial spaces below. We believe there is demand for residential space in the downtown area of Lake Geneva. We also believe that this development will suit the goals of the forward movement of the City of Lake Geneva. In terms of parking, zoning requires (1) stall per bed for residential development. We are providing (4) stalls as required.

In conclusion,
Lake Geneva Architects would like to develop a mixed use project on 323 Broad Street. In order to provide the commercial spaces below and the condo units above, we will be requesting both a rezone from Plan Development to Central Business and a Conditional Use Permit. We believe that there is demand for mixed-use development in Lake Geneva and we are excited about building a beautiful infill project on Broad Street.

We look forward to our staff meeting on August 19th, 2019.

Jason R. Bernard
Jason@LakeGenevaArchitects.com
262.248.1400 office/fx
262.215.1109 mobile

Memo to the City of Lake Geneva

To: Fred Walling, Zoning Administrator **Date:** September 10, 2019

From: Naomi Rauch, P.E.
262-758-6032

CC: Lake Geneva Architects
Dave Nord – City Administrator
Brenda Follensbee – Building and Zoning Administrative Assistant
Tom Earle – Director of Public Works
Josh Gajewski – Utility Director
Greg Governatori – Kapur & Associates, Inc.

Subject: 323 Broad Street – Mixed-Use Redevelopment

BACKGROUND AND REQUEST:

A conditional use permit application was submitted for the construction of a mixed-use development at 323 Broad Street. The proposed improvements include a two-story mixed-use building with office space on the first floor and residential use on the second floor. Construction includes parking lot access from the existing 16-ft alley, a 14 space parking lot and sidewalk improvements.

The following plans were submitted for review:

- OFFICE 323 BROAD STREET, Lake Geneva WI Sheets A1, A4, A7, A9, A11 - A14 prepared by Lake Geneva Architects dated September 4, 2019.

Comments:

1. The site plan submitted should show the existing and proposed grades throughout the development. Proposed spot elevations and slopes should be provided to define changes in grade, edge of pavement, curb, and areas that will match into existing grade.
2. Downspouts and rooftop drainage should be directed away from existing structures and not discharged directly on adjacent property.
3. Hard surfaces should be specified with details.
4. City specifications should be detailed and specified for sidewalk improvements and work within the City right-of-way.
5. Sanitary and water utility connections to the building are not shown.
6. The site plan does not include any soil erosion and sediment control measures. Silt fence should be installed at the downstream limits of construction. A stabilized construction entrance must be utilized to access the site to prevent mud or debris being tracked onto public roads. If tracking of construction



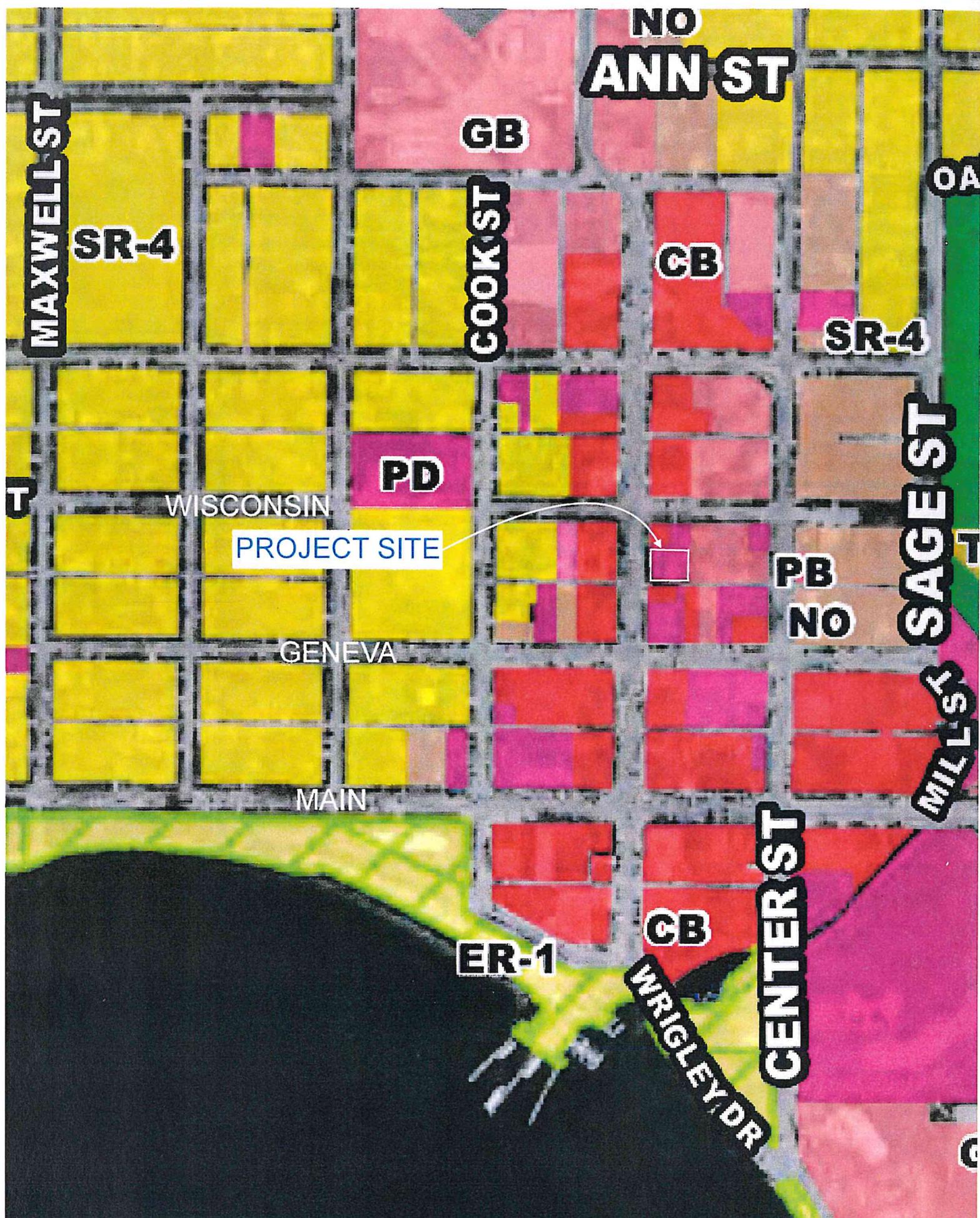


debris occurs, it shall be cleaned up at the end of each day. Land disturbance shall be kept to a minimum. Restoration of the property shall take place as soon as possible after final grading.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Lake Geneva policies. Although the material has been reviewed, the applicant is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.





MAXWELL ST

NO ANN ST

SR-4

GB

COOK ST

GB

SR-4

PD

WISCONSIN

PROJECT SITE

PB

NO

SAGE ST

GENEVA

MAIN

MILL ST

ER-1

GB

CENTER ST

WRIGLEY DR



DRAWING INDEX

- A1 - COVER, SHEET INDEX
- A4 - SITE PLAN
- A7 - FIRST FLOOR PLAN
- A9 - SECOND FLOOR PLAN
- A11 - WEST ELEVATION
- A12 - EAST ELEVATION
- A13 - NORTH ELEVATION
- A14 - SOUTH ELEVATION

LAKE GENEVA ARCHITECTS
 201 BROAD ST.
 LAKE GENEVA, WI 53147
 262.246.1400
 LakeGenevaArchitects.com

L A K E G E N E V A
Architects

STUDIO OF JASON R. BERNARD



OFFICE
 323 BROAD STREET
 Lake Geneva, WI

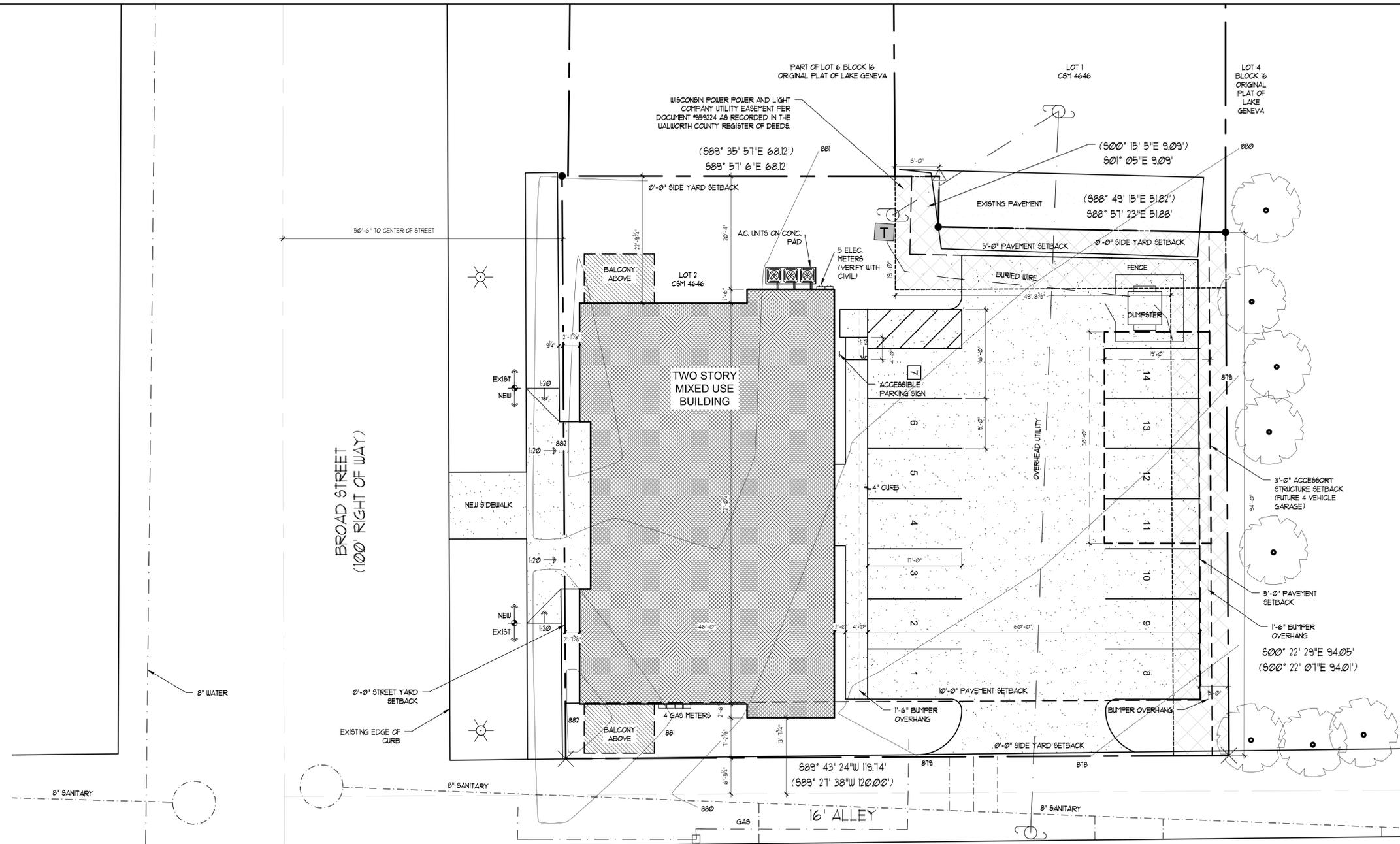
- DESIGN SET
- PERMIT SET
- CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: 9.4.19

A1



SITE LEGEND					
	NEW STRUCTURE		EXISTING GRADE		FOUND IRON PIPE
	DECKS, PATIOS, & TERRACES		ABANDONED GRADE		FOUND FK NAIL
	FUTURE CONSTRUCTION		NEW GRADE		SET FK NAIL
	EASEMENT		SILT FENCING		POWER POLE
	HARD SURFACE (PAVERS, CONCRETE, ASPHALT)		PROPERTY LINE		EXISTING LIGHT POLE
			SETBACK LINE		TRANSFORMER
			STREET CENTERLINE		
			UTILITIES		
			1/2\"/>		

TRUE NORTH
SITE PLAN
 SCALE: 1" = 10'-0"

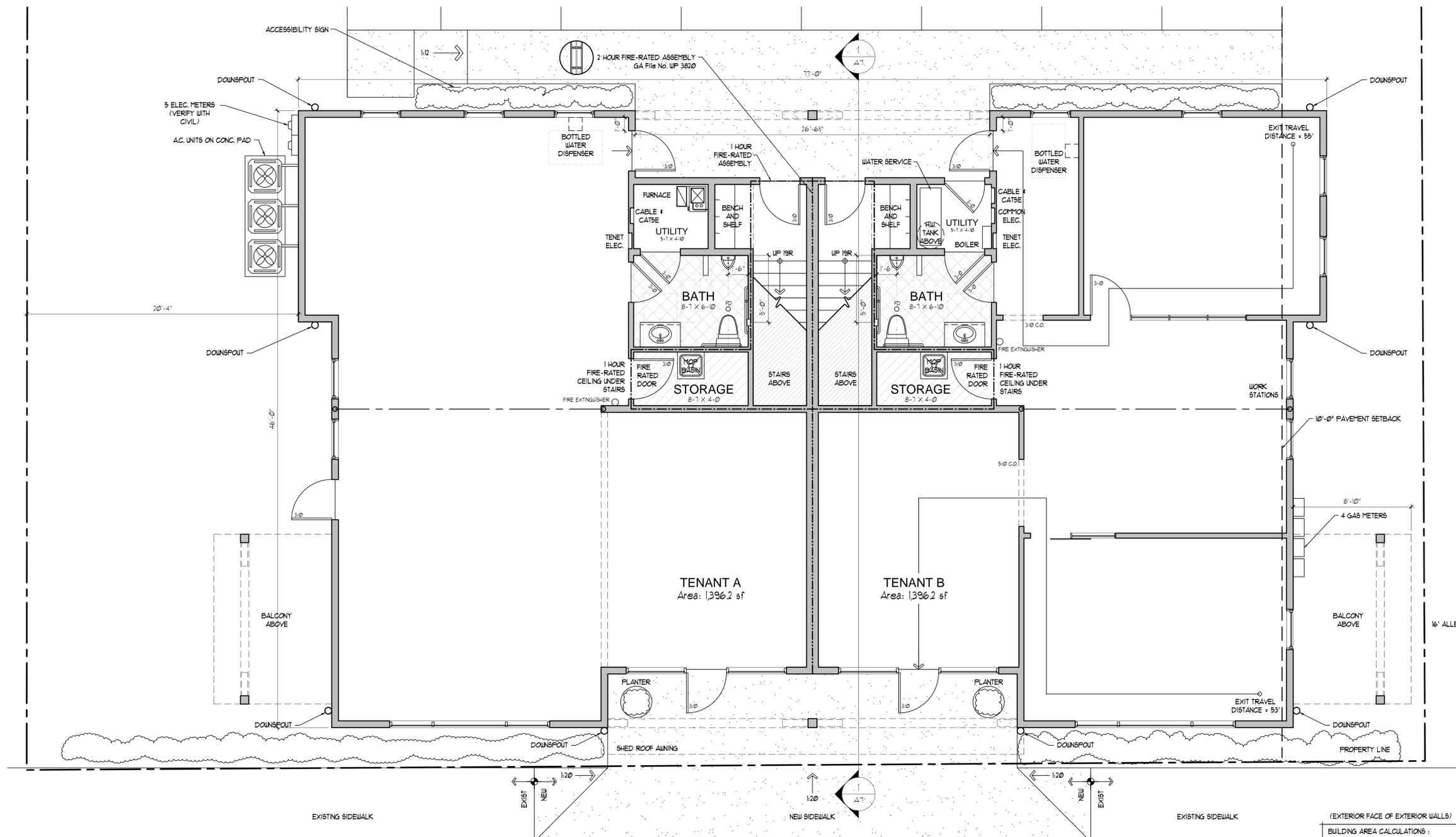


- DESIGN SET
- PERMIT SET
- CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: 9.4.19



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

(EXTERIOR FACE OF EXTERIOR WALLS)

BUILDING AREA CALCULATIONS :	
FIRST FLOOR AREA:	3,024.6 SF.
SECOND FLOOR:	3,301.9 SF.
TOTAL CONDITIONED SF:	6,326.5 SF.

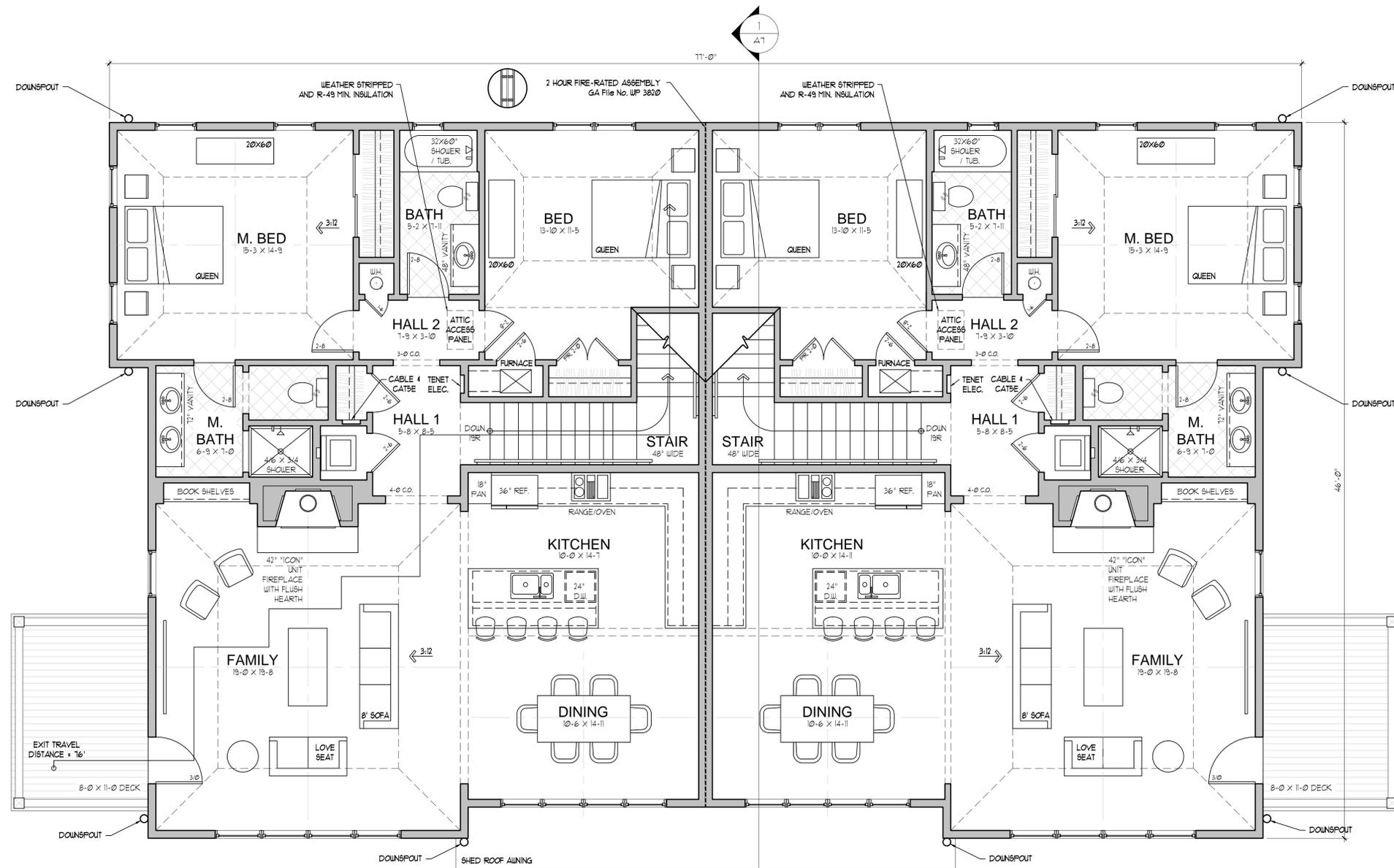


- DESIGN SET
- PERMIT SET
- CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: 9.4.19



TENANT A
Area: 1583.9 sf

TENANT B
Area: 1583.9 sf

SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



- DESIGN SET
- PERMIT SET
- CONSTRUCTION

REVISIONS:

1	
2	
3	
4	
5	

DATE: 9.4.19

BUILDING ENVELOPE AIR SEALING, LEAKAGE TESTS AND CONSTRUCTION SEQUENCE

1. IN ORDER TO ACHIEVE IMPROVED INDOOR OCCUPANT COMFORT, DURABLE AND LONG LASTING BUILDING ENVELOPE ASSEMBLIES THIS BUILDING IS TO HAVE A SUPERIOR PERFORMANCE BUILDING ENVELOPE.

2. ALL JOINTS AND PENETRATIONS IN COMBINATION WITH CONTINUOUS AIR BARRIER OF OTHER THAN MASONRY OR CONCRETE SHALL BE SEALED WITH PERMANENTLY FLEXIBLE AND STICKY TAPE (SEE GENERAL NOTES FLASHING AND SEALING TAPE) OR PREFORMED GASKETS. FIRE RATED SEALANTS SHALL BE ADDED WHERE REQUIRED IN FIRE RATED ASSEMBLIES.

THIS INCLUDES ALL OF THE FOLLOWING LOCATIONS:

- JOINTS AND SEAMS BETWEEN DISSIMILAR BUILDING ENVELOPE MATERIALS
- JOINTS AND SEAMS IN BUILDING ENVELOPE (FLOORS EXPOSED TO OUTDOORS, EXTERIOR WALLS, ROOFS) SHEATHING
- PLUMBING AND MECHANICAL PIPE AND ELECTRICAL CONDUIT PENETRATIONS
- ELECTRICAL WIRE PENETRATIONS
- DUCT AND FLUE PENETRATIONS

PENETRATIONS THROUGH MASONRY OR CONCRETE SHALL BE SEALED WITH PERMANENTLY FLEXIBLE AND STICKY SEALANT. PROVIDE BACKER RODS WHERE GAP EXCEEDS SEALANT SPAN WIDTH. PROVIDE FIRE RATED SEALANTS WHERE REQUIRED IN FIRE RATED ASSEMBLIES.

GAPS BETWEEN WINDOW/DOOR FRAMES AND WALL OPENINGS SHALL BE SEALED WITH PERMANENTLY FLEXIBLE AND STICKY TAPE OR SEALANTS (AND BACKER ROD) OR OTHER FIRE-APPROVED PRODUCTS.

3. IN ORDER TO INSURE THE BUILDING ENVELOPE AIR BARRIER IS WITHOUT COMPROMISE TO DURABILITY OF THE BUILDING ENVELOPE, PRESSURIZED AND/OR DEPRESSURIZED AIR LEAKAGE TEST(S) BEST OCCUR WHEN AIR BARRIER IS COMPLETE, BUT PRIOR TO COVERING. FOLLOWING COMPLETION OF:

- UNDER CONCRETE SLAB VAPOR RETARDING POLYETHYLENE SHEET PENETRATION TAPE SEALING
- FOUNDATION TO FRAMED WALL SHEATHING TAPE SEALING
- INSTALLATION OF ALL ROOF, WALL AND SLAB PENETRATIONS (PLUMBING, MECHANICAL AND ELECTRICAL)
- WALL SHEATHING JOINT, WALL OPENING AND WALL PENETRATION TAPE SEALING
- ROOF SHEATHING OR TOPMOST CEILING FINISH INSTALLATION AND SEALING
- INSTALLATION AND TAPE SEALING OF WINDOWS AND DOORS, AND
- INSTALLATION OF SPRAY POLYURETHANE FOAM INSULATION AT ROOF AND FLOOR FRAMING PERIMETER WHERE SHOWN ON DRAWINGS AND PRIOR TO INSTALLATION OF INSULATION OR INTERIOR WALL FINISHES

LAKE GENEVA ARCHITECTS RECOMMENDS HIRING A THIRD PARTY AGENCY TO CONDUCT A PRELIMINARY BUILDING ENVELOPE AIR LEAKAGE TEST AT NEGATIVE AND POSITIVE PRESSURE OF 50 PASCALS (1/2 W.G.).

LEAKAGE TEST SHALL NOT INCLUDE GARAGE OR OTHER AREAS OUTSIDE CONDITIONED (HEATED AND/OR COOLED). DURING TEST DOOR TO GARAGE, EXTERIOR DOORS AND WINDOWS, FIRE PLACE FLUE OR FIREBOX OPENING, CLOTHES DRYER VENTS, COMBUSTION APPLIANCE FLUES/INTAKES, TOILET ROOM AND/OR KITCHEN EXHAUST OPENINGS SHALL BE CLOSED/SEALED AND ALL INTERIOR DOORS (IF INSTALLED PRIOR TO TEST) SHALL BE OPEN. LEAKAGE RATE SHALL NOT BE MORE THAN 6 INTERIOR AIR VOLUME CHANGES PER HOUR (1 AIR CHANGE PER 10 MINUTES). IF LEAKAGE RATE IS HIGHER, LOCATE AND CORRECT LEAKAGE OPENINGS, AND RETEST UNTIL CRITERIA IS MET.

FOLLOWING INSTALLATION OF:

- INSULATION
 - INTERIOR WALL AND CEILING FINISHES
 - TRIM AROUND EXTERIOR WINDOWS AND DOORS
- AND PRIOR TO OCCUPANCY LAKE GENEVA ARCHITECTS RECOMMENDS THE SAME THIRD PARTY TO CONDUCT A FINAL BUILDING ENVELOPE AIR LEAKAGE TEST WITH SAME ITEMS CLOSED/SEALED AND SAME ITEMS OPEN AS IN PRELIMINARY TEST. LEAKAGE RATE SHALL NOT BE MORE THAN 4 INTERIOR AIR VOLUME CHANGES PER HOUR (1 AIR CHANGE PER 20 MINUTES).

ALTERNATIVE CRITERIA TO INTERIOR AIR VOLUME: 0.40 CUBIC FEET PER MINUTE (CFM) PER FT² OF BUILDING ENVELOPE SURFACE AREA (BOTTOM OF SLABS/FLOORS, EXTERIOR WALLS, WALLS BETWEEN GARAGES OR UNCONDITIONED SPACES AND CONDITIONED SPACES, UPPERMOST CEILING) IN SQUARE FEET TESTED AT 15 PASCALS (1/2 W.G.)

4. BECAUSE AIR BARRIER AND SEALING ESTABLISHMENT AND TESTING BEST OCCUR PRIOR TO COVERING OF BARRIERS WITH ASSEMBLIES (SUCH THAT LEAKS MAY BE FOUND AND CORRECTED) THE CONSTRUCTION SEQUENCING SHALL BE COORDINATED TO ALLOW ENVELOPE AIR LEAKAGE ESTABLISHMENT AND TESTING PRIOR TO COVERING OF AIR BARRIERS.

5. GENERAL AND SUB CONTRACTORS SHALL INCORPORATE TIME ALLOWANCES FOR THIRD PARTY AIR LEAKAGE TESTS AND ANY CORRECTIVE ACTION AND SUBSEQUENT TESTS INTO THE PROJECTS CONSTRUCTION SCHEDULE.

AS THE STATE OF WISCONSIN CODES APPLICABLE TO DETACHED 1-2 FAMILY DWELLINGS AND ALL OTHER BUILDING OCCUPANCY TYPES DO NOT YET MANDATE BUILDING ENVELOPE AIR LEAKAGE TESTING, HIRING A THIRD PARTY TESTING AGENCY IS NOT REQUIRED. AS TESTING IS THE ONLY PRACTICAL WAY TO FIND AND CORRECT LEAKS IT IS RECOMMENDED, AIR AND VAPOR MOVE TOGETHER SUCH THAT AIR MOVING THROUGH A BUILDING ENVELOPE ASSEMBLY LEAK WILL CYCLE THROUGH DEW POINT TEMPERATURE CAUSING VAPOR TO CONDENSE INTO WATER LEADING TO DEGRADATION OF ASSEMBLY MATERIALS. IF LEAKAGE TESTS ARE NOT CONDUCTED THIS LEAKS FOUND AND CORRECTED. THE BUILDING OWNER, CONTRACTORS AND OTHER PARTIES AGREE TO HOLD LAKE GENEVA ARCHITECTS HARMLESS FROM ANY CLAIMS RELATED TO BUILDING ENVELOPE ASSEMBLY DEGRADATION DUE TO AIR/VAPOR LEAKAGE THROUGH THE ASSEMBLIES.

RAILINGS / BALUSTERS

UNLESS NOTED OTHERWISE GRADE WITHIN 36" HORIZONTALLY FROM A WALKING SURFACE IS TO BE WITHIN A MAXIMUM OF 24" BELOW TOP OF WALKING SURFACE. REFER TO SITE GRADING PLAN FOR ADDITIONAL INFORMATION.

UNLESS NOTED OTHERWISE A FLIGHT OF STAIRS W/ MORE THAN 3 RISERS OR ELEVATED MORE THAN 24" ABOVE THE FLOOR OR EXTERIOR GRADE SHALL HAVE GUARDS ON ALL OPEN SIDES.

THE TOP OF ALL GUARD RAILINGS TO BE A MINIMUM OF 36" ABOVE FINISHED FLOOR/GRADE/STAIR NOSINGS. ALL OPEN RAILING BALUSTERS SHALL BE SPACED SO AS NOT TO ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE.

HANDRAILS AND GUARDS SHALL BE CONSTRUCTED TO WITHSTAND A 200 POUND CONCENTRATED LOAD APPLIED IN ANY DIRECTION.

HANDRAILS OR GUARD INFILL COMPONENTS, BALUSTERS AND PANEL FILLERS SHALL WITHSTAND A HORIZONTALLY APPLIED PERPENDICULAR LOAD OF 50 POUNDS ON ANY ONE FOOT SQUARE AREA.

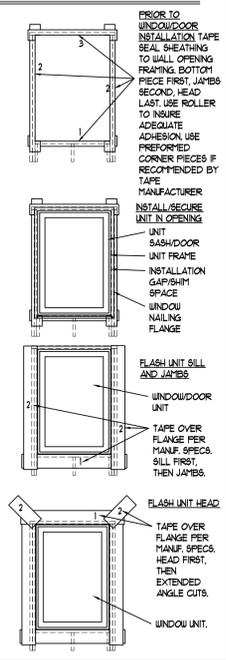
ROPE, CABLE OR SIMILAR RAILINGS SHALL HAVE MAXIMUM OPENINGS OF 3 1/2 INCHES WITH VERTICAL SUPPORTS AT A MAX. OF 4 FEET APART.

THE TRIANGULAR AREA BETWEEN STAIR TREADS/RISERS AND BOTTOM OF GUARDS SHALL BE CONSTRUCTED TO PREVENT THE PASSAGE OF A SPHERE OF 6" WHEN APPLYING A FORCE OF 4 POUNDS.

EXTERIOR HANDRAILS, GUARDS, POSTS, BALUSTERS, ETC. SHALL BE CONSTRUCTED OF METAL, DECAY RESISTANT OR PRESSURE TREATED WOOD, OR SHALL BE PROTECTED FROM THE WEATHER.

STAIRWAYS WITH PARTIALLY OR FULLY OPEN RISERS SHALL BE CONSTRUCTED TO PREVENT PASSAGE OF A 4" DIA. SPHERE BETWEEN BOTTOM OF TREAD AND PARTIAL RISER OR BETWEEN TWO ADJACENT TREADS.

WINDOW FLASHING NOTE (ZIP WALL SHEATHING):



WINDOWS / PATIO DOORS WISCONSIN

UNIT NUMBERS CORRESPOND WITH UNIT DIMENSIONS IN WIDTH X HEIGHT IN INCHES. (36"X48" = 36" WIDE X 48" HIGH)

GRILL PATTERNS / LITES TO MATCH ELEVATIONS.

ALL WINDOWS AND EXTERIOR DOORS SHALL BE EXTRUDED ALUMINUM CLAD WOOD FRAMES IN STANDARD FACTORY APPLIED COLOR AS SELECTED BY OWNER. UNITS TO BE LOW E, ARGON FILLED. INTERIOR WOOD FRAMES AND SASHES TO BE DOUGLAS FIR PRESTAINED OR PRIMED BY FACTORY. COLOR AS SELECTED BY OWNER. FULL SIMULATED DIVIDED LITES PER ELEVATION.

ALL WINDOWS SHALL COMPLY WITH SAFETY GLAZING REQUIREMENTS OF COMM 21.09(3) OF THE WISCONSIN UNIFORM DWELLING CODE.

SAFETY GLAZING SHALL MEET REQUIREMENTS OF ANSI Z97.1 WHEN INSTALLED IN ANY OF THE FOLLOWING LOCATIONS:

- IN ANY SIDELIGHT ADJACENT TO A DOOR WHERE THE NEAREST POINT IS WITHIN 2 FEET OF THE DOOR.
- IN A WALL THAT COMPRISES PART OF A TUB OR SHOWER ENCLOSURE WHERE THE GLAZING IS WITHIN 5 FEET VERTICALLY OF THE NEAREST DRAIN INLET AND WITHIN 3 FEET HORIZONTALLY OF THE NEAREST PART OF THE INNER RIM OF THE TUB.
- WITHIN 4 FEET VERTICALLY OF A TREAD OR LANDING IN A STAIRWAY AND WITHIN ON FOOT HORIZONTALLY OF THE NEAR EDGE OF THE TREAD OR LANDING.
- WITHIN 4 FEET VERTICALLY OF THE FLOOR AND 3 FEET HORIZONTALLY OF THE NOSING OF THE TOP OR BOTTOM TREAD OF A STAIR.
- SAFETY GLASS IS NOT REQUIRED WHERE THE SIZE OF AN INDIVIDUAL PANE OF GLASS IS 8 INCHES OR LESS IN THE LEAST DIMENSION.

WINDOW MANUFACTURERS

PER OWNER'S APPROVAL, WINDOW UNITS SHALL BE SELECTED FROM THE LIST BELOW:

GRILL PATTERNS / LITES TO MATCH ELEVATIONS.

1. "MARVIN" - CLAD ULTIMATES WITH SIMULATED DIVIDED LITES (S.D.L.'S) W/ SPACER BAR. LOW E2 GLASS W/ ARGON. CASEMENT U-0.32. DOUBLE HUNG U-0.34. DOORS U-0.35.

2. "KOLBE" - ULTRA SERIES WITH PERFORMANCE DIVIDED LITES (P.D.L.'S) W/ H-K GLASS W/ ARGON. CASEMENT U-0.32. DOUBLE HUNG U-0.34. DOORS U-0.35.

WINDOW OPTIONS

NOTE: WINDOWS WITH STONE SURROUND TO COME WITH FACTORY BRICK MOLDING. BRICK MOLDINGS NOT REQUIRED WITH PRECAST LIMESTONE JAMBES OR TRIMBER SURROUNDS.

ALL OPERABLE WINDOWS TO INCLUDE REMOVABLE INSECT SCREENS. SEE ELEVATIONS FOR LOCATIONS WHERE HIGH VISIBILITY SCREENS ARE REQUIRED.

EXTERIOR STAINING / PAINTING

1. ALL EXTERIOR WOOD SIDING AND TRIM, UNLESS NOTED OTHERWISE SHALL BE FACTORY FINISHED OR RECEIVE ONE (1) COAT STAIN ON ALL 6 SURFACES PRIOR TO INSTALLATION AND ONE (1) COAT OF EXTERIOR STAIN AFTER INSTALLATION. COLOR AS SELECTED BY OWNER. PAINTED EXTERIOR SIDING AND TRIM SHALL RECEIVE ONE (1) PRIME COAT OF EXTERIOR PRIMER ON ALL 6 SURFACES PRIOR TO INSTALLATION AND TWO (2) COATS OF EXTERIOR LATEX PAINT AFTER INSTALLATION. COLOR AS SELECTED BY OWNER. EXTERIOR STAIN SHALL BE "OLYMPIC" OR "CABOT" COLOR AS SELECTED BY OWNER.

2. NEW EXTERIOR CONCRETE FLOOR SLABS SHALL RECEIVE ONE (1) CLEAR CONCRETE CURE AND SEALER, "SONNEBORN" KURE-N-SEAL OR APPROVED, EQUAL.

INTERIOR PAINTING / STAINING

1. ALL PAINT SPECIFIED SHALL BE "PRATT & LAMBERT", "SHERWIN-WILLIAMS", "BENJAMIN MOORE" OR FIRE-APPROVED, EQUAL. COLOR AS SELECTED BY OWNER.

2. ALL PAINTED GYPSUM BOARD SHALL RECEIVE ONE (1) PRIME COAT AND ONE (1) FINISH COAT OF EXTERIOR PRIMER ON ALL 6 SURFACES PRIOR TO INSTALLATION AND TWO (2) COATS OF EXTERIOR LATEX PAINT AFTER INSTALLATION. COLOR AS SELECTED BY OWNER FOR DARKER FINISH COATS USE TINTED OR DARKER PRIMER.

3. ALL PAINTED WATER-RESISTANT GYPSUM BOARD SHALL RECEIVE ONE (1) PRIME COAT AND ONE (1) FINISH COAT SATIN FINISH LATEX ENAMEL. COLOR AS SELECTED BY OWNER.

4. ALL PAINTED INTERIOR WOOD TRIM SHALL RECEIVE ONE (1) PRIME COAT AND ONE (1) FINISH COAT OF SEMI-GLOSS LATEX ENAMEL. COLOR AS SELECTED BY OWNER.

5. ALL STAINED INTERIOR WOOD TRIM SHALL RECEIVE ONE (1) COAT OF STAIN. COLOR AS SELECTED BY OWNER, AND TWO (2) COATS OF SATIN FINISH POLYURETHANE.

6. ALL EXTERIOR AND INTERIOR STRUCTURAL OR DECORATIVE TRIM (STEEL LINTELS, METAL DOOR DOORS / FRAMES, PIPES, ANGLES, LOUVERS AND VENTS) SHALL BE PRIMED BY FACTORY OR FABRICATOR. (1) COAT OF METAL PRIMER (FACTORY OR FABRICATOR) AND TWO (2) FINISH COATS OF SEMI-GLOSS ALKTD ENAMEL.

7. ALL NEW WOOD FLOORING SHALL BE STAINED, SANDED AND FINISHED WITH "GLITSA" AS NOTED. COLOR AND FINISH AS SELECTED BY OWNER.



WEST ELEVATION
SCALE 1/4" = 1'-0"



DESIGN SET
PERMIT SET
CONSTRUCTION

REVISIONS:

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

DATE: 9.4.19



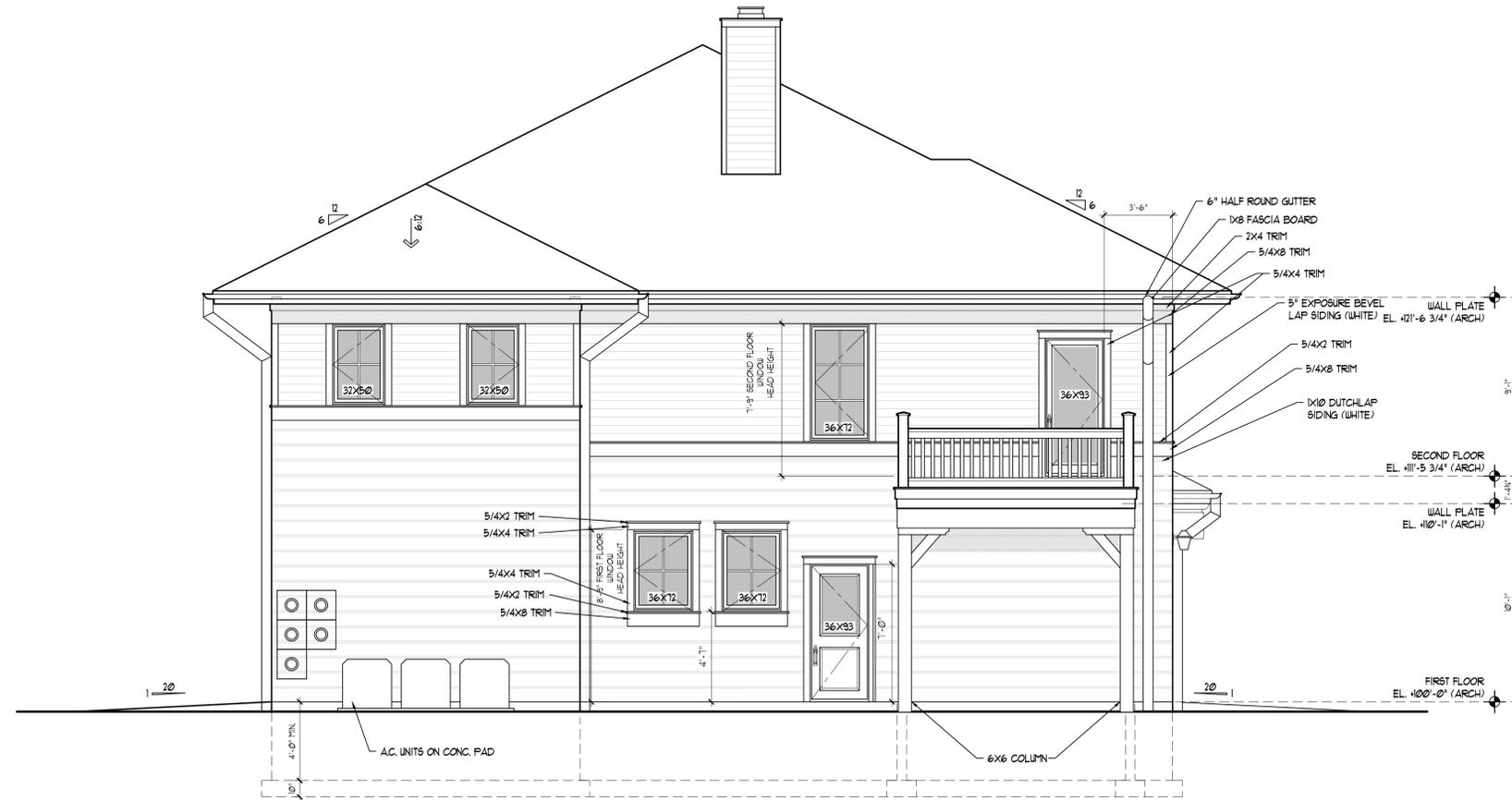
EAST ELEVATION
SCALE 1/4" = 1'-0"



- DESIGN SET
- PERMIT SET
- CONSTRUCTION

REVISIONS:

DATE: 9.4.19



NORTH ELEVATION
SCALE 1/4" = 1'-0"



- DESIGN SET
- PERMIT SET
- CONSTRUCTION

REVISIONS:	

DATE: 9.4.19

A13



LAKE GENEVA ARCHITECTS
 201 BROAD ST.
 LAKE GENEVA, WI 53147
 262.246.1400
 LakeGenevaArchitects.com

LAKE GENEVA
Architects
 STUDIO OF JASON R. BERNARD



OFFICE
 323 BROAD STREET
 Lake Geneva, WI

- DESIGN SET
- PERMIT SET
- CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: 9.4.19



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REVISIONS:

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- DESIGN SET
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- CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: 9.4.19

RESOLUTION OF THE COMMON COUNCIL

Resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by Robert Nabasny 311 S. Wells St Lake Geneva, for a request to construct a 2 story Residential Addition to the property located at 1544 W. Main St located in the Estate Residential - 1(ER-1) zoning district. Tax Key No. ZLM00070.

Committee:	Plan Commission approved September 16, 2019		
Fiscal Impact:	N/A		
File Number:	19-R66	Date:	September 23, 2019

WHEREAS, the City Plan Commission has considered the application of, Robert Nabasny, 311 Wells St. Lake Geneva for a request to allow for an alteration and addition to the single family dwelling located at 1544 W. Main St.

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on September 5, 2019.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to Robert Nabasny, 311 S. Wells St Lake Geneva, for a request to construct a 2 story Residential Alteration and Addition to the property located at 1544 W. Main St located in the Estate Residential - 1(ER-1) zoning district,

Tax Key No. ZLM00070

to include all affirmative findings of fact and note staff recommendations.

Granted by action of the Common Council of the City of Lake Geneva this 23rd day of September 2019.

Council Action: **Adopted** **Failed** **Vote** _____

Mayoral Action: **Accept** **Veto**

Thomas Hartz, Mayor

Date

Attest:

Lana Kropf, City Clerk

Date

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 16, 2019

Agenda Item: 6

Applicant:
Robert Nabasny
311 S. Wells St
Lake Geneva, WI 53147

Continuation Request: 1544 W. Main St
Conditional Use Permit (CUP)
Home Addition Tax Key No. ZLM00070

Description:

The applicant is submitting a request for a Conditional Use Permit (CUP) that would allow for the applicant to move forward on the proposed addition and expansion of the existing residence that is located in the Estate Residential – 1 (ER-1) zoning district, for the residence located at 1544 W. Main St.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

1544 West Main Street Lake Geneva, WI. 53147 Parcel # ZLM 00070 Lots 3 and 4, Block 31 of Lake Geneva

Manor, Tract Number 17, a subdivision of part of the E 1/2 of Sec 35, T2N, R17E of the 4th

Principal Meridian, in the City of Lake Geneva, Walworth County, WI. ■

Name and Address of Current Owner:

Robert J Nabasny

311 South Wells Street, Apt 2, Lake Geneva, WI. 53147

Telephone No. with area code & Email of Current Owner: (602) 697-4957

rnbasny@hotmail.com

Name and Address of Applicant:

Robert J Nabasny

311 South Wells Street, Apt 2, Lake Geneva, WI. 53147

Telephone No. with area code & Email of Applicant: (602) 697-4957

rnbasny@hotmail.com

Proposed Conditional Use: To allow the construction of an addition to an existing residence.

The addition will entail a second floor above existing residence, a breazeway, and an attached garage with storage room below.

Zoning District in which land is located: SR-4

Names and Addresses of architect, professional engineer and contractor of project:

Daniel Lesus, 1033 Holly Circle, Lake Zurich, IL. 60047, Robert A Krause, 311 Fox Lane, Woodstock IL. 60098,

Short statement describing activities to take place on site:

Rehab existing residence, update and open up the floor plan, and create a master suite. Add a second floor with deck. Construct a new covered entryway to the residence farther of the drive and street, to allow landscape area. add an attached garage with storage room below.

Remove and replace two drive entrances to main street and repair sidewalk. Eliminate existing concrete block fence, add landscape area along main street sidewalk.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

07/03/2019

Date


Signature of Applicant

Memo to the City of Lake Geneva

To: Fred Walling, Zoning Administrator **Date:** August 28, 2019

From: Naomi Rauch, P.E.
262-758-6032

CC: Robert Nabasny
Bob Krause
Dave Nord – City Administrator
Brenda Follensbee – Building and Zoning Administrative Assistant
Tom Earle – Director of Public Works
Josh Gajewski – Utility Director
Greg Governatori – Kapur & Associates, Inc.

Subject: 1544 Main Street – Conditional Use Plan Review

BACKGROUND AND REQUEST:

A site plan approval application was submitted for the construction of an addition to the existing residential structure at 1544 Main Street resulting in an increase of 2900 sq.ft. of impervious surface on the 13,096 sq.ft. totaling 43.9% impervious. The proposed improvements include a second story, breeze way, and attached garage. Construction includes a new driveway utilizing two existing entrances off Main Street, repair of existing sidewalk, and landscaping.

The following plans were submitted for review:

- Proposed Improvements for Robert Nabasny Site and Grading Plan, prepared by Robert A. Krause, P.E., LTD. Sheet C1 dated 07/03/2019.
- Home Addition/Remodel 1544 W. Main Street Lake Geneva WI 53147 architectural plans, prepared by Daniel Lesus Architects, P.C. , sheets A3.0-A3.3 dated July 5, 2019.
- Home Addition/Remodel 1544 W. Main Street Lake Geneva WI 53147, prepared by Daniel Lesus Architects, P.C. , sheets 1.0-6.0 dated July 3, 2019.

Comments:

1. The construction plans submitted do not include detailed elevations for the retaining wall on the west property line making it difficult to verify stormwater flow patterns in that area. The proposed construction must maintain existing drainage patterns and not direct rooftop drainage directly toward adjacent lots.

2. It appears that regrading of the existing west entrance from Main Street may direct water to the front of the proposed porch and into two (2) proposed yard inlets. These inlets and associated yard drain must be sized appropriately to accommodate stormwater drainage to this area and avoid damage to structure or property.





3. The proposed swale along the west side of the property will direct stormwater along the existing drainage pattern from north to south across the lot. The level spreader proposed at the outfall of the 6in underdrain will allow for a less concentrated flow of stormwater to discharge downstream decreasing velocities and promoting infiltration. A landscaped rain garden in this location could further reduce runoff volumes from the new impervious surface.
4. Silt fence location is provided on the site grading plan. The silt fence must be properly installed prior to land disturbance and maintained throughout. A stabilized construction entrance must be utilized to access the site to prevent mud or debris being tracked onto Main Street. If tracking of construction debris occurs, it shall be cleaned up at the end of each day. Inlet protection should be provided at inlet structures on Main Street that are located in front of the lot and directly downstream. Land disturbance shall be kept to a minimum. Restoration of the property shall take place as soon as possible after final grading and shall include erosion control mat on the proposed swale.

We recommend approval of the submitted site plan subject to the comments above. The plans have been reviewed for conformance with generally accepted engineering practices and City of Lake Geneva policies. Although the material has been reviewed, the applicant is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.



Memo to the City of Lake Geneva

To: Fred Walling, Zoning Administrator **Date:** September 16, 2019

From: Naomi Rauch, P.E.
262-758-6032

CC: Robert Nabasny
Bob Krause
Dave Nord – City Administrator
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The following plans were submitted for review:

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Comments:

We recommend approval of the revised plan set cited above.

The rain garden should be constructed in accordance with the WDNR Rain Garden Technical Standard 1009, dated September 2018 including recommended plantings. We recommend a rain garden size of 1275 sq.ft. (3-5 inches in depth). Runoff from the proposed improvements should be directed to the rain garden.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Lake Geneva policies. Although the material has been reviewed, the applicant is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.



PROPOSED IMPROVEMENTS FOR ROBERT NABASNY LAKE GENEVA, WI.

PROPERTY LOCATED AT:
1544 MAIN STREET, LAKE GENEVA, WI.

LEGAL DESCRIPTION

LOTS 3 AND 4, BLOCK 31 OF LAKE GENEVA MANOR, TRACT NUMBER 17, A SUBDIVISION OF PART OF THE EAST HALF OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 17 EAST OF THE 4TH PRINCIPAL MERIDIAN, IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY WISCONSIN.
PARCEL IDENTIFICATION NO : ZLM 00070

GENERAL NOTES:

6/28/2019
4/29/2019

3. DRAIN TILE SYSTEMS DISTURBED DURING DEVELOPMENT MUST BE RECONNECTED BY THOSE RESPONSIBLE FOR THEIR DISTURBANCE UNLESS THE APPROVED ENGINEERING PLANS INDICATE HOW THE DRAIN TILE SYSTEM IS TO BE CONNECTED TO THE PROPOSED STORM WATER MANAGEMENT SYSTEM. ALL ABANDONED DRAIN TILES SHALL BE REMOVED IN THEIR ENTIRETY.

CONTRACTOR NOTES:

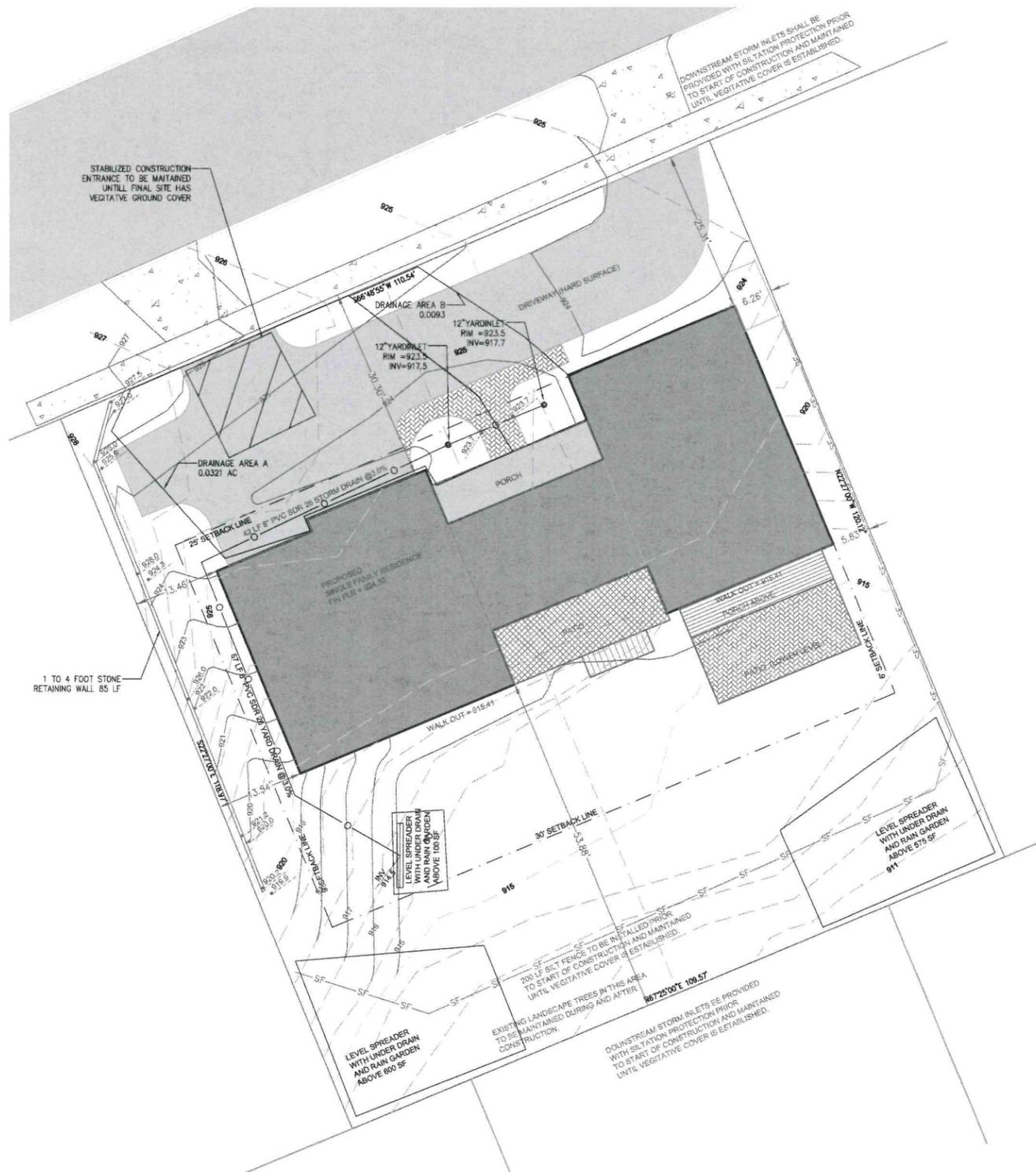
1. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
2. CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULING AND SEQUENCING OF THE WORK.
3. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
4. THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
5. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE, UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER OR OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
7. THE CONTRACTOR, UPON COMPLETION OF PROJECT, SHALL OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH THE OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS.
8. CONTRACTOR IS RESPONSIBLE FOR ALL SITE CUT & FILL TO ATTAIN FINISH GRADES AS INDICATED ON THESE DRAWINGS. GENERAL CONTRACTOR SHALL INCLUDE THE COST OF ANY TOPSOIL REQUIRED IN ADDITION TO THAT ON SITE.

EXISTING UTILITIES NOTE:

1. WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. THE CONTRACTOR SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.
2. CONTRACTOR IS RESPONSIBLE FOR CONTACTING J.U.L.I.E. AT 1-800-892-0123 AND MUST ACQUIRE A DIG NUMBER A MINIMUM OF 72 HOURS PRIOR TO ANY WORK BEING DONE.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. CONTROL MEASURES SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE WISCONSIN CONSTRUCTION CONTROL FIELD GUIDE UNLESS STATED OTHERWISE.
2. SOIL DISTURBANCE SHALL BE CONFINED IN SUCH A MANNER AS TO MINIMIZE EROSION. AREAS OF THE DEVELOPMENT SITE THAT ARE NOT TO BE DISTURBED SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC OR OTHER DISTURBANCE UNTIL FINAL STABILIZATION IS ACHIEVED.
3. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, DEVELOPMENT SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
4. STABILIZATION BY SEEDING SHALL INCLUDE TOPSOIL PLACEMENT AND FERTILIZATION, AS NECESSARY.
5. NATIVE SEED MIXTURES SHALL INCLUDE RAPID-GROWING ANNUAL GRASSES OR SMALL GRAINS TO PROVIDE INITIAL, TEMPORARY SOIL STABILIZATION.
6. OFFSITE PROPERTY SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT CONCENTRATED DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL, AS NECESSARY TO PREVENT EROSION.
7. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE DISTURBANCE OF TRIBUTARY AREAS.
8. STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT LATER THAN 14 CALENDAR DAYS FROM THE INITIATION OF STABILIZATION WORK IN AN AREA. EXCEPTIONS TO THESE TIME FRAMES ARE SPECIFIED BELOW.
- 8.1. WHERE THE INITIATION OF STABILIZATION MEASURES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE; AND
- 8.2. IN AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED AND WILL RESUME AFTER 14 DAYS, A TEMPORARY STABILIZATION METHOD MAY BE USED.
9. DISTURBANCE OF STEEP SLOPES SHALL BE MINIMIZED. AREAS OR EMBANKMENTS HAVING SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH STAKED IN PLACE SOIL, EROSION CONTROL BLANKET IN COMBINATION WITH SEEDING, OR AN EQUIVALENT CONTROL MEASURE.
10. PERIMETER CONTROL MEASURES SHALL BE PROVIDED DOWNSLOPE AND PERPENDICULAR TO THE FLOW OF RUNOFF FROM DISTURBED AREAS, WHERE THE TRIBUTARY AREA IS GREATER THAN 5,000 SQUARE FEET, AND WHERE RUNOFF WILL FLOW IN A SHEET FLOW MANNER, PERIMETER EROSION CONTROL SHALL ALSO BE PROVIDED AT THE BASE OF SOIL STOCKPILES.
11. THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION DOWNSLOPE FROM DISTURBED AREAS. INLET PROTECTION THAT REDUCES SEDIMENT LOADING, WHILE ALLOWING RUNOFF TO ENTER THE INLET SHALL BE REQUIRED FOR ALL STORM SEWERS, CHECK DAMS, OR AN EQUIVALENT CONTROL MEASURE. SHALL BE REQUIRED FOR ALL CHANNELS. FILTER FABRIC INLET PROTECTION AND STRAW BALE DITCH CHECKS ARE NOT ACCEPTABLE CONTROL MEASURES.
12. IF DEWATERING SERVICES ARE USED, DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G., SEDIMENT TRAP OR AN EQUIVALENT CONTROL MEASURE). THE ENFORCEMENT OFFICER SHALL BE NOTIFIED PRIOR TO THE COMMENCEMENT OF DEWATERING ACTIVITIES.
13. ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION OF THE DEVELOPMENT SITE IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NECESSARY. TRAPPED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
14. STOCKPILED SOIL AND MATERIALS SHALL BE REMOVED FROM FLOOD HAZARD AREAS AT THE END OF EACH WORK DAY. SOIL AND MATERIALS STOCKPILED IN IWMC OR BUFFER AREAS SHALL BE PLACED ON TIMBER MATS, OR AN EQUIVALENT CONTROL MEASURE.
15. EFFECTIVE CONTROL MEASURES SHALL BE UTILIZED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE DEVELOPMENT SITE. AT A MINIMUM, CONTROL MEASURES SHALL BE IMPLEMENTED IN ORDER TO:
 - 15.1. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATER; AND
 - 15.2. MINIMIZE THE EXPOSURE OF BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, VEHICLE FLUIDS, SANITARY WASTE, AND OTHER MATERIALS PRESENT ON THE DEVELOPMENT SITE TO PRECIPITATION AND TO STORMWATER.
16. ADEQUATE RECEPTACLES SHALL BE PROVIDED FOR THE DEPOSITING OF ALL CONSTRUCTION DEBRIS GENERATED DURING THE DEVELOPMENT PROCESS. THE DEVELOPMENT SITE SHALL BE MAINTAINED FREE OF CONSTRUCTION DEBRIS.
17. THE ENFORCEMENT OFFICER MAY REQUIRE ADDITIONAL OR ALTERNATE SOIL EROSION AND SEDIMENT CONTROL MEASURES, BASED ON DEVELOPMENT SITE SPECIFIC CONSIDERATIONS AND THE EFFECTIVENESS OF THE INSTALLED CONTROL MEASURES.



ZONING INFORMATION

DISTRICT : CONDITIONAL USE SR-4

FRONT YARD: 25 FT
SIDE YARD MINIMUM: 6 FT
SIDE YARD COMBINED: 15 FT
REAR YARD: 30 FT
MAX BUILDING HEIGHT: 35 FT

LOT AREA = 13,098 SF

PROP RESIDENCE = 2852 SF OR 21.8 %
TOTAL IMPERVIOUS = 5,752 SF OR 43.9 %



NOTE: CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY ARE THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR

SITE AND GRADING PLAN

ROBERT NABASNY RESIDENCE

**1544 MAIN STREET
LAKE GENEVA, WI.**

SITE AND GRADING PLAN

REVISIONS	NO.	DATE	DESCRIPTION
	1	9/14/2019	DRAINAGE AND EROSION CONTROL

PREPARED FOR :
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PREPARED BY :
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311 FOX LAKE STOCK IL 60098
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Designed By	RAK
Drawn By	RAK
Checked By	RAK
Date	07/03/2019
Job Number	19601
Sheet Number	C1



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