



# REGULAR CITY COUNCIL MEETING MONDAY, MARCH 25, 2019 – 6:00 PM COUNCIL CHAMBERS, CITY HALL

## Members:

Mayor Tom Hartz, Council President, Ken Howell, Council Vice President, John Halverson,  
Alderpersons: Selena Proksa, Doug Skates, Tim Dunn, Cindy Flower, Shari Straube, and Rich Hedlund

## AGENDA

1. Mayor Hartz calls the meeting to order
2. Pledge of Allegiance – Alderperson Skates
3. Roll Call
4. Awards, Presentations, Proclamations, and Announcements
5. Re-consider business from previous meeting
6. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes
7. Acknowledgement of Correspondence
8. Approve Regular City Council Meeting minutes of March 11, 2019, as prepared and distributed
9. **CONSENT AGENDA**– *Recommended by Finance, Licensing and Regulation on March 19, 2019*  
Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.
  - a. 2019-2020 Original & Renewal Operator License applications filed by various applicants as listed in packet
  - b. Event Permit Application filed by the Downtown Business Improvement District for the event of Mother’s Day Wine Walk to be held Sunday, May 12, 2019 from 1:00 p.m.to 4:00 p.m. at various businesses in the downtown (as listed in the packet)
  - c. Temporary Class “B”/ “Class B” Retailer’s License Application filed by Side by Side for the event of Mother’s Day Wine Walk to be held April 12, 2019 (1:00 p.m. to 4:00 p.m.) at various businesses in the downtown (as listed in the packet)
10. Items Removed from the Consent Agenda
11. **Finance, Licensing, and Regulation Committee Recommendations of March 19, 2019- Alderperson Howell**
  - a. Discussion/Action regarding **Resolution 19-R19** a resolution approving the assigned fund balance for the Police Department donations account as of 12/31/18
  - b. Discussion/Action regarding **Resolution 19-R20** a resolution approving the assigned fund balance for the Police Department State seizures account as of 12/31/18

- c. Discussion/Action regarding **Resolution 19-R21** a resolution approving the assigned fund balance for the Police Department uniform allowance account as of 12/31/18
- d. Discussion/Action regarding **Resolution 19-R22** a resolution approving the assigned fund balance for the Fire Department EMS-Act 102 account as of 12/31/18
- e. Discussion/Action regarding **Resolution 19-R23** a resolution approving the assigned fund balance for the Fire Department CPR account as of 12/31/18
- f. Discussion/Action regarding **Resolution 19-R24** a resolution approving the assigned fund balance for the Fire Department Donations account as of 12/31/18
- g. Discussion/Action regarding approval of the City of Lake Geneva Event Permit Policy and Application (*FLR approved March 5, 2019*)

## **12. Planning Commission Recommendations of March 18, 2019- Alderperson Skates**

- a. Discussion/Action of a Certified Survey Map (CSM) for Fairwyn SB, Inc., 875 Townline Road, Unit 103, Lake Geneva, WI 53147, for the duplex lot separation in the Planned Development zoning classification to create individual lots for units 101 & 103 Cadence Circle as identified on the certified survey dated 1/17/19 for Tax Key No. ZB00509-1 & ZB00509-2
- b. Discussion/Action on **Resolution 19-R26** for a Conditional Use Permit (CUP) filed by Geneva Properties, LLC, 612 Wells Street, Suite F, Lake Geneva, WI 53147, requesting to allow the addition of a mechanical room to the exterior of the multi-family structure located at 695 S. Lake Shore Drive, located in Two-Family Residential – 6 (TR-6) zoning district, Tax Key No. ZA134700001
- c. Discussion/Action on **Resolution 19-R27** for a Conditional Use Permit filed by CDS Investments, LLC, for the property located at 1550 Lake Shore Drive, to utilize the Single Family – 4 (SR-4) zoning in the Estate Residential – 1 (ER-1) zoning, to raze and rebuild a portion of the Single Family Residence, and small addition to the front entry Tax Key No. ZLM00048

## **13. Presentation of Accounts – Ald. Howell (Recommended by Finance, Licensing and Regulation Committee on March 19, 2019)**

- a. Prepaid Bills in the amount of \$36,472.12
- b. Regular Bills in the amount of \$262,455.85

## **14. Adjournment**

*Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk's office in advance so the appropriate accommodations can be made.*

**REGULAR CITY COUNCIL MEETING MINUTES**  
**MONDAY, MARCH 11, 2019 – 6:00 PM**  
**COUNCIL CHAMBERS, CITY HALL**

**Members:** Mayor Tom Hartz, Council President, Ken Howell, Council Vice President, John Halverson, Alderpersons: Selena Proksa, Doug Skates, Tim Dunn, Cindy Flower, Shari Straube, and Rich Hedlund

Mayor Hartz called the meeting to order at 6:00 p.m.

Alderperson Proksa led the Council in the Pledge of Allegiance.

**Roll Call**

Present: Proksa, Skates, Dunn, Flower, Straube, Halverson, Hedlund, and Howell

Absent: None

**Awards, Presentations, Proclamations, and Announcements**

April 2, 2019 Spring Election- In-Office Absentee Voting will begin March 13, 2019 at City Hall

Mayor Hartz announced that In-Office Absentee Voting for the April 2, 2019 election will commence on March 13, 2019 at City Hall.

Re-consider business from previous meeting

Motion by Halverson to reconsider the purchase of the parking kiosks, second by Howell. No discussion. Motion carried 7-1, with Dunn voting no.

Motion by Flower to refer the parking kiosk purchase that item to the Public Works Committee for further consideration, second by Skates. No discussion. Motion carried 8-0.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes

None

Acknowledgement of Correspondence

Clerk Kropf noted that there wasn't any correspondence to acknowledge at this time.

Approve Regular City Council Meeting minutes of February 25, 2019, as prepared and distributed

Motion by Hedlund to approve the Council Minutes of February 25, 2019, second by Proksa. No discussion. Motion carried 8-0.

CONSENT AGENDA– Recommended by Finance, License and Regulation on March 5, 2019

Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.

-2018-2019 Original & Renewal Operator License applications filed by various applicants as listed in packet

-Event Permit Application filed by RAM Racing for the event Big Foot Triathlon and Trail Run to be held June 22, 2019 (Trail Run) and June 23, 2019 (Triathlon) from 7:00 a.m. to Noon, located at Big Foot Beach

-Event Permit Application filed by Lakeland Community Church for the event of Lakeland Church Worship to be held June 30, 2019 from 7:00 a.m. to 1:00 p.m. in Flat Iron Park and Brunk Pavilion

Motion by Skates to approve the consent agenda, second by Flower. No discussion. Motion carried 8-0.

Items Removed from the Consent Agenda

None

## **Finance, License, and Regulation Committee Recommendations of March 5, 2019- Alderperson Howell**

Discussion/Recommendation regarding **Resolution 19-R16** a resolution authorizing the carryover of Police and Fire Equipment Replacement Funds from 2018 to 2019

Motion by Howell to approve, second by Hedlund. No discussion. Motion carried 8-0.

Discussion/Recommendation regarding **Resolution 19-R17** a resolution approving the assigned fund balance for the Avian Committee donations account as of December 31, 2018

Motion by Howell to approve, second by Flower. Howell noted that this is the donated money being placed in the proper account. Motion carried 8-0.

Discussion/Recommendation regarding **Resolution 19-R18** a resolution approving the assigned fund balance for the Historic Preservation Committee donations account as of December 21, 2018

Motion by Howell to approve, second by Hedlund. Howell noted that this is the same as the previous resolution Motion carried 8-0.

Discussion/Recommendation regarding payment request #2 to Mared Mechanical for City Hall Building Automation Control System Upgrade in an amount not to exceed \$37,766.00

Motion by Howell to approve, second by Hedlund. City Administrator Nord noted that this is the final pay request and the work has been completed to satisfaction. Motion carried 8-0.

Discussion/Recommendation regarding **Resolution 19-R25** updating the City of Lake Geneva Fee Schedule to change the Season Beach Pass Adult 13 and up from \$70.00 to \$80.00

Motion by Howell to approve, second by Skates. Finance Director Hall noted that this change is to keep the annual pass in line with the daily rate; in that the annual amount is always ten times the daily amount. Motion carried 8-0.

### **Presentation of Accounts – Ald. Howell (Recommended by Finance, License and Regulation Committee on March 5, 2019)**

Prepaid Bills in the amount of \$2,304,541.67

Motion by Howell to approve, second by Halverson. No discussion. Motion carried 8-0.

Regular Bills in the amount of \$355,731.36

Motion by Howell to approve, second by Skates. Mayor Hartz wondered if that is the parking handhelds would work with the new software. Finance Director Hall noted that she was under the impression that they would. Motion carried 8-0.

**Motion to go into Closed Session pursuant to Wis. Stat. 19.85(1)(e) for the purposes of deliberating or negotiating the purchase of public properties, the investing of public funds, or conducting other specified business whenever competitive or bargaining reasons require a closed session regarding: 2019 Police Union Contract Negotiations**

Motion by Howell to convene the Council into closed session, second by Skates. Motion carried on a roll call vote 8-0.

The Council convened into closed session at 6:20 p.m.

### **Motion to return to open session pursuant to Wisconsin Statutes 19.85 (2) and take action on any items discussed in closed session**

Motion by Hedlund to reconvene the Council into open session, second by Howell. Motion carried on a roll call vote 8-0. The Council reconvened into open session at 7:26 p.m.

Motion by Skates to direct staff to continue with Police Union negotiations as discussed in Closed Session, second by Proksa. No discussion. Motion carried 8-0.

### **Adjournment**

Motion by Dunn to adjourn the meeting of the Common Council, second by Flower. Motion carried 8-0. The Council adjourned at 7:27 p.m.

**Original Licenses**  
Joseph D'Acquisto  
John Crone  
Shane Tisa

**Renewal Operator:**

# CITY OF LAKE GENEVA EVENT PERMIT APPLICATION



Please fill in all blanks completely, as incomplete applications will be rejected.  
Applications must be submitted **AT LEAST 10 WEEKS** prior to the proposed event date(s).

## Section I - What type of Permit(s) will your event require?

- Parade Permit.** Required for any parade on public property.
  - Map or description of the requested route to be traveled.
- Public Assembly Permit.** Required for any public gathering on public property. No fee required.
- Street Use Permit.** Required for any event using a public street. Per Sec. 62-243 of the municipal code, this application must include the following attachments:
  - Certificate of Comprehensive General Liability Insurance with the City, its employees and agents as additional insured with coverage for contractual liability with minimum limits of \$500,000 per occurrence for bodily injury and property damage limits of \$250,000 per occurrence.
  - Petition signed by more than half of the residential dwelling units and/or commercial units residing along that portion of the street designated for the proposed use or whose property is denied access by virtue of the granting of the permit.
- Parking Stall Bag Request.** Required for reserving the use of any City parking stall in conjunction of with an event.
- Park Reservation Permit.** Required for reserving the use of a park facility or shelter.
  - Brunk Pavilion.** Requires rental of Flat Iron Park. Additional rental fees apply.
- Beach Reservation Permit.** Required for reserving the use of the beach.

## Section II - Applicant Information

1. Applicant Name: Bridget Leech Date of Application: 3/8/2019
2. Organization Name: Lake Geneva Business Improvement District
3. Organization Type:  For Profit  Non-Profit (501(c)\_\_\_\_) Tax ID: \_\_\_\_\_
4. Mailing Address: P.O. Box 863
5. City, State, Zip: Lake Geneva, WI 53147
6. Phone: (262) 395-8128 E-mail: bridget@streetsoflakegeneva.com
7. Applicant's Drivers License #: \_\_\_\_\_ State license issued: WI
8. Are you applying as a resident of the City of Lake Geneva?  Yes  No  
*If yes, proof of residency must be attached.*

## Section III - Event Information

1. Title of Event: Lake Geneva Wine Walk
2. Date(s) of Event: May 12th, 2019
3. Location(s) of Event: Various areas/businesses throughout downtown
4. Hours: 1pm - 4pm

5. Event Chair/Contact Person: Ashley Zittlow Phone: ██████████

6. Day of Event Contact Name: Ashley Zittlow Phone: ██████████

7. Is the event open to the public?  Yes  No

8. Will you charge an admission fee?  Yes  No

9. Estimated Attendance Number: 400 people

10. Basis for Estimate: Pre-sale of 350 tickets, and estimated 50 day of sales, based on other communities similar events

11. Will you be setting up a tent?  Yes  No  
*If yes, list the location, size, Rental Company, and proof of completion of locates.*

12. Will there be any animals?  Yes  No  
*If yes, what type and how many:* \_\_\_\_\_

13. Detailed description of proposed event with map of exact location of the event and/or route.  
Please See Attached Sheet for Info

14. Description of plan for handling refuse collection and after-event clean-up:  
There should not be any excess garbage. Stores will be responsible for the clean up of any waste in their area after the event.

15. Description of plan for providing event security (if applicable):  
Each store will police their individual location

16. Will there be fireworks or pyrotechnics at your event?  Yes  No  
*If yes, please attach a fireworks display permit or application.*

17. Will your event include the sale of beer and/or wine?  Yes  No  
*If yes, please attach a completed Temporary Alcohol License & Temporary Operator License Application.*

18. Will you or any other vendors be selling food or merchandise?  Yes  No  
*If yes, please attach list of proposed vendors, including business name and type of food/merchandise sold.*

**Section IV - Street Use**

Check if this section does not apply.

1. Description of the portion(s) of road(s) to be used:  
*Road closures must include rental of barricades.*

2. Will any parking stalls be used or blocked during the event?     Yes     No

Date(s) of use: \_\_\_\_\_

Total Number of Stalls Request: \_\_\_\_\_

Stall Number(s) and Location: \_\_\_\_\_

\_\_\_\_\_

Additional Information:

3. Description of signage to be used during event:  
*If requesting City banner poles, please include a Street Banner Display Application.*

**Anticipated Services**

Please indicate below any additional services you are requesting for your event. Estimated Fees or Deposits for these services may be required prior to issuance of permit(s).

- Electricity                      Explain: \_\_\_\_\_
- Water                              Explain: \_\_\_\_\_
- Traffic Control                  Explain: \_\_\_\_\_
- Police Services                  Explain: \_\_\_\_\_
- Fire/EMS Services              Explain: \_\_\_\_\_
- Other                                Explain: \_\_\_\_\_

**Section V- Fees**

Application and Permit Fees		Unit Fee			Applicable Fee
<b>Parade Permit</b>					
Application Fee		\$25.00			_____
<b>Street Use Permit</b>					
Application Fee		\$25.00			_____
Permit Fee - Events lasting 2 days or less		\$40.00			_____
Permit Fee - Events lasting more than 2 days		\$100.00			_____
<b>Parking Stall Bag Request</b>					
Administrative Fee		\$10.00			_____
Parking Stall Usage/Blockage Fee - Per Stall, Per Day			# of Stalls	# of Days	
March 1 - November 14	\$20.00	x	_____	x _____ =	_____
November 15 - February 29	\$10.00	x	_____	x _____ =	_____
<b>Park Reservation Permit</b>					
Application Fee		\$25.00			_____
<b>Security Deposit</b>					
<b>Non-Profit or Resident</b>					
49 Attendees or Less		\$50.00			_____
50-149 Attendees		\$100.00			_____
150 or more Attendees		<i>Determined by Park Board</i>			_____
<b>Non-Resident</b>					
49 Attendees or Less		\$100.00			_____
50-149 Attendees		\$150.00			_____
150 or more Attendees		<i>Determined by Park Board</i>			_____
<b>Park Reservation Fees - Per Location, Per Day</b>					
<b>Non-Profit or Resident</b>					
49 Attendees or Less	\$30.00	x	_____	x _____ =	_____
50-149 Attendees	\$55.00	x	_____	x _____ =	_____
150 or more Attendees	\$105.00	x	_____	x _____ =	_____
<b>Non-Resident</b>					
49 Attendees or Less	\$75.00	x	_____	x _____ =	_____
50-149 Attendees	\$125.00	x	_____	x _____ =	_____
150 or more Attendees	\$225.00	x	_____	x _____ =	_____
<b>Brunk Pavilion Rental Permit</b>					
<i>Must also include rental of Flat Iron Park to rent Pavilion</i>					
Non-Profit or Resident	\$250.00			x _____ =	_____
Non-Resident	\$500.00			x _____ =	_____
<b>Additional Park Amenities</b>					
Equipment (with delivery)	Rental Fee		# Requested	Sec. Dep.	Applicable Fee
Benches	\$5.00 each		x _____ +	\$50.00 =	_____
Picnic Tables	\$15.00 each		x _____ +	\$50.00 =	_____
Barricades	\$5.00 each		x _____ +	\$50.00 =	_____
Trash Receptacles	\$8.00 each		x _____ +	\$50.00 =	_____
Dumpster Delivery	\$50.00 each		x _____ +	\$0 =	_____
Dumpster Pick-up	\$50.00 plus additional landfill		_____		_____
Fencing - Snow	\$30.00 per 50 feet		_____		_____
<i>Requests for equipment are subject to availability.</i>					<b>Subtotal: \$</b> _____

Application and Permit Fees	Unit Fee	Applicable Fee
<b>Beach Reservation Permit</b>		
<i>Excludes Normal Beach Hours Memorial Day through Labor Day 9am-5pm</i>		
<i>Opening/Cleaning of Beach Bathrooms will be invoiced at an Hourly Rate</i>		
Application Fee	\$25.00	_____
Security Deposit		_____
Non-Profit or Resident		
49 Attendees or Less	\$50.00	_____
50-149 Attendees	\$100.00	_____
150 or more Attendees	<i>Determined by Piers, Harbors &amp; Lakefront</i>	_____
Non-Resident		
49 Attendees or Less	\$100.00	_____
50-149 Attendees	\$150.00	_____
150 or more Attendees	<i>Determined by Piers, Harbors &amp; Lakefront</i>	_____
Beach Reservation Fees - Per Day		
Non-Profit or Resident		
49 Attendees or Less	\$30.00	x _____ = _____
50-149 Attendees	\$55.00	x _____ = _____
150 or more Attendees	\$105.00	x _____ = _____
Non-Resident		
49 Attendees or Less	\$75.00	x _____ = _____
50-149 Attendees	\$125.00	x _____ = _____
150 or more Attendees	\$225.00	x _____ = _____
		Subtotal: \$ _____
		+ Subtotal from Page 4: \$ _____

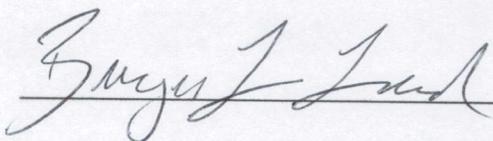
**Total PAID with Application: \$ \_\_\_\_\_**

*Accepted by cash, credit card or checks (payable to the City of Lake Geneva)*

**Section VI - Signature of Applicant**

"The information provided in this application is true and correct to the best of my knowledge and belief. I understand that cancellation of any event, for any reason, shall result in the forfeiture of permit fees. I understand that application fees are not refunded in the event the application is not approved. I understand that in addition to the schedule of fees, if any additional City services are requested or determined to be impacted, an additional fee will be charged for those services. I agree to comply with all applicable state, federal and municipal regulations and ordinances."

**APPLICANT SIGNATURE:**



DATE: 3/8/19

## **Mother's Day Wine Walk Permit Information**

Guests will enjoy sampling wines while they stroll the streets. Wine samples will be provided inside of participating businesses. This is a 21+ event and tickets are limited. At the start of the event, each person will be asked to show their ID in order to get a wristband. Attendees can pick up maps and get their wristband at any time during the event. Tickets for the event can be purchased ahead of time or at the door for an additional fee.

Tickets will be \$25 in advance of the event and \$30 day of. Designated driver tickets are available at \$15 each. Tickets can be purchased online at Eventbrite or at the Bottle Shop. Tickets for sale at the Bottle Shop can only be purchased with cash or check. Tickets include the following:

**4oz plastic stemless wine glass with sponsor logo**

**Samples at each location**

**Snacks along the way**

**A day full of fun and wine samples**

**Flowers for every Mom!**

**Designated Driver Tickets include:**

**Sprecher soda**

**Bottled Water**

**Snacks along the way**

**A day full of fun and wine samples**

**Flowers for every Mom!**

Participating business locations are being asked to provide a snack or partner with local food establishments to provide light bites along the way. The BID will provide businesses with a list of other businesses to partner with for food.

We have designated Side by Side as the official charity, who will be receiving a percentage of proceeds from the event. We have also asked downtown hotels to reserve a block of rooms for out of town attendees.

## **Lake Geneva Wine Walk**

In response to question 17 and 18 on the event permit

### **17. Will your event include the sale of beer and/or wine?**

Wine samples will be given away/included in ticket price at each participating business location. The only sales will be wine bottle sales done at the Bottle Shop. If someone loves the sample of wine they are given, they have the option to go back to the Bottle Shop at the end of the event and purchase a bottle.

### **18. Will you or any other vendors be selling food or merchandise?**

Every participating business will hold business as normal. Nothing will be sold on sidewalks. Businesses are being encouraged to partner with food vendors to offer food along the route. For example, someone may partner with Mama Ciminis and offer slices of pizza for sale within their business. Additionally, some businesses will simply provide snacks, free of charge, to the patrons (think along the lines of pretzels/snack mix etc.)

For Office Use Only

Date Filed with Clerk: \_\_\_\_\_ Payment with Application: \$ \_\_\_\_\_ Receipt: \_\_\_\_\_

\*Circulation required to the following Departments:

Department:	Date:	Circulated:
City Clerk/Administrator Notes: _____		<input type="checkbox"/>
Police Chief Notes: _____	<i>VJ</i>	<input type="checkbox"/> All stops must have their own server.
Fire Chief Notes: _____		<input type="checkbox"/>
Street Dept Notes: _____	<i>Neil Wilson</i>	<input type="checkbox"/>
Parking Dept Notes: _____		<input type="checkbox"/>
Piers, Harbors & Lakefront Notes: _____		<input type="checkbox"/>
FL&R: Meeting Date: _____		<input type="checkbox"/>
Council: Meeting Date: _____		<input type="checkbox"/>

## **Lake Geneva Wine Walk Participating Businesses**

Tres Belle Boutique

Edit Boutique

Avant Cycle Café

Geneva Theater

Thumbs Up

Twelfth & Brown

Denay CocoBay

Marigold

The Therapeutic Touch

Cornerstone Shop

The Hive

Delaney Street Mercantile

Re/Max Plaza

Strawberry Fields

Harbor Shores

Flemmings

Clear Water Outdoor

# Application for Temporary Class "B" / "Class B" Retailer's License

See Additional Information on reverse side. Contact the municipal clerk if you have questions.

FEE \$ 10.00

Application Date: 3/8/19

Town  Village  City of Lake Geneva

County of Walworth

The named organization applies for: (check appropriate box(es).)

A Temporary Class "B" license to sell fermented malt beverages at picnics or similar gatherings under s. 125.26(6), Wis. Stats.

A Temporary "Class B" license to sell wine at picnics or similar gatherings under s. 125.51(10), Wis. Stats.

at the premises described below during a special event beginning 1pm on 5/12/19 and ending 4pm on 5/12/19 and agrees to comply with all laws, resolutions, ordinances and regulations (state, federal or local) affecting the sale of fermented malt beverages and/or wine if the license is granted.

### 1. Organization (check appropriate box) →

Bona fide Club  Church  Lodge/Society

Chamber of Commerce or similar Civic or Trade Organization

Veteran's Organization  Fair Association

(a) Name Side by Side

(b) Address 715 Wisconsin Street Lake Geneva, WI 53147  
(Street)  Town  Village  City

(c) Date organized June 2012

(d) If corporation, give date of incorporation \_\_\_\_\_

(e) If the named organization is not required to hold a Wisconsin seller's permit pursuant to s. 77.54 (7m), Wis. Stats., check this box:

(f) Names and addresses of all officers:

President Diane Nopenz

Vice President Lisa Byrnes

Secretary Maureen Otten

Treasurer Jennifer Bartz

(g) Name and address of manager or person in charge of affair: \_\_\_\_\_

### 2. Location of Premises Where Beer and/or Wine Will Be Sold, Served, Consumed, or Stored, and Areas Where Alcohol Beverage Records Will be Stored:

(a) Street number Inside businesses throughout the Business Improvement District

(b) Lot \_\_\_\_\_ Block \_\_\_\_\_

(c) Do premises occupy all or part of building? \_\_\_\_\_

(d) If part of building, describe fully all premises covered under this application, which floor or floors, or room or rooms, license is to cover: \_\_\_\_\_

### 3. Name of Event

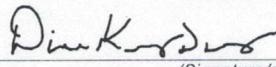
(a) List name of the event Lake Geneva Wine Walk

(b) Dates of event Sunday, 12, 2019

### DECLARATION

The Officer(s) of the organization, individually and together, declare under penalties of law that the information provided in this application is true and correct to the best of their knowledge and belief.

Side by Side, Inc.  
(Name of Organization)

Officer  03/12/19  
(Signature/date)

Officer \_\_\_\_\_  
(Signature/date)

Officer \_\_\_\_\_  
(Signature/date)

Officer \_\_\_\_\_  
(Signature/date)

Date Filed with Clerk \_\_\_\_\_

Date Reported to Council or Board \_\_\_\_\_

Date Granted by Council \_\_\_\_\_

License No. \_\_\_\_\_

Receipt # \_\_\_\_\_

**SUPPLEMENTAL APPLICATION FORM  
TEMPORARY CLASS "B" / "CLASS B" RETAILER'S LICENSE  
CITY OF LAKE GENEVA**

*This form needs to be submitted as an attachment to the Application for Temporary Class "B" / "Class B" Retailer's License Form (Form AT-315) and returned to the City Clerk.*

Applicant Organization: Side by Side

Name of Event: Lake Geneva Wine Walk

Date of Event: Sunday, May 12, 2019

Time of Event: 1:00 pm - 4:00pm  
(Beginning) (Ending)

Event Contact Person: Bridget Leech

Contact Phone: 262-395-8128

Contact Email: bridget@streetsoflakegeneva.com

**Will a Licensed Operator be serving or supervising the service of alcohol?  
\*This includes Temporary Operator's who have completed the  
Responsible Beverage Servers class.**

Yes

No

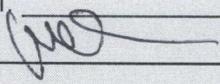
**PLEASE FILL ALL BLANKS COMPLETELY.  
THIS INFORMATION IS NEEDED TO COMPLETELY PROCESS YOUR  
TEMPORARY RETAILER'S LICENSE APPLICATION.**

*For Office Use Only*

Date Filed: \_\_\_\_\_ Receipt No: \_\_\_\_\_

Total Amount: \_\_\_\_\_

Forwarded to Police Chief: \_\_\_\_\_

Recommendation:  Approved Denied

Verification that not more than 2 temporary wine licenses have been issued to this applicant within the last 12 months: \_\_\_\_\_

FLR Approval: \_\_\_\_\_

License Issued: \_\_\_\_\_

Council Approval: \_\_\_\_\_

License Number: \_\_\_\_\_

License Expires: \_\_\_\_\_

MAILTO: \_\_\_\_\_ Organization

## Lake Geneva Wine Walk Participating Businesses

Tres Belle Boutique

Edit Boutique

Avant Cycle Café

Geneva Theater

Thumbs Up

Twelfth & Brown

Denay CocoBay

Marigold

The Therapeutic Touch

Cornerstone Shop

The Hive

Delaney Street Mercantile

Re/Max Plaza

Strawberry Fields

Harbor Shores

Flemmings

Clear Water Outdoor

Businesses highlighted will be allowed to participate in the event, but will not need to be licensed under the Temporary Application as they are currently licensed



Attest:

---

Lana Kropf, City Clerk

**RESOLUTION OF THE COMMON COUNCIL**

Resolution approving the assigned fund balance for the Police Department State seizures account as of 12/31/18.

Committee:	Police and Fire Commission considered on March 7, 2019 and Finance considered on March 19, 2019
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Fiscal Impact:	N/A
----------------	-----

File Number:	19-R20	Date:	March 25, 2019
--------------	--------	-------	----------------

**Whereas**, the Police Department received \$1,093.40 as a result of State seizures during 2018, and

**Whereas**, the Police Department had \$4,573.16 in the Assigned Fund Balance-PD State Seizures account as of 1/1/18, and

**Whereas**, the Police Department spent \$2,957.92 of their State seizure monies in 2018 which left 2018 unspent seizure monies of \$2,708.64 and therefore, the balance in the Assigned Fund Balance-PD State Seizures account as of 12/31/18 should be \$2,708.64, and

**Whereas**, the Police & Fire Commission approved this transfer at their meeting held on March 7, 2019,

**Now Therefore be it Resolved** by the Lake Geneva Common Council to adopt this resolution to adjust the 2018 Fund Balance accounts as follows:

Decrease Acct #11-00-00-34680, Assigned FB-PD State Seizures, by \$1,864.52  
Increase Acct #11-00-00-34800, Unassigned Fund Balance, by \$1,864.52

Granted by action of the Common Council of the City of Lake Geneva this 25<sup>th</sup> day of March, 2019.

**Council Action:**     **Adopted**         **Failed**        **Vote** \_\_\_\_\_

**Mayoral Action:**     **Accept**         **Veto**

\_\_\_\_\_  
Thomas Hartz, Mayor

\_\_\_\_\_  
Date

Attest:

---

Lana Kropf, City Clerk



Attest:

---

Lana Kropf, City Clerk

# City of Lake Geneva- Event Permit Policy and Application



The purpose of this policy and event permit application is to guide organizations that are non-profit, not-for-profit, private, or for profit to plan and execute a successful event here in beautiful Lake Geneva. This policy and application will outline the requirements and possible fees associated with hosting an event in the City based on the estimated attendance.

For profit, private, non-profit and not-for profit groups will be able to plan their experience here in the City based on the following four tiers:

**Public Assembly Permit** – *\*Non-profit or Not-for-Profit (No Charge), For Profit \$25 per day* (Meet one or more criteria) Single day event use of City of Lake Geneva facilities with NO street, parking or intersection closures, attendance under 1,000, NO serving of alcohol in public space.

**Block Parties or use of Gazebo for 1 Hour Photo Ops:** \$75.00  
Small event limited to one street with 4 barricades in a neighborhood or gazebo in Flat Iron Park.

**Tier 1 Events:** *\*Non-profit or Not-for-Profit (No Charge), For Profit \$250*  
(Meet one or more criteria) Rolling closure of streets, public walkway, limited parking stalls or intersection closures that do not impact public use, attendance of 1,000 to 3,000, four (4) hours or less of alcohol sales or serving, majority use of a city park(s), or other municipal facility.

**Tier 2 Events:** *\*Non-profit or Not-for-Profit (No Charge), For Profit \$500*  
(Meets one or more criteria) Non-profit or not-for-profit organization offering multiple-day events, attendance of more than 3,000+, more than four (4) hours of alcohol sales or serving, and/or exclusive use of City park(s), street(s), limited parking stalls, or other municipal facility.

**Note:** Seminary Park (includes the use of the Shelter) and Flat Iron Park (includes the use of Brunk Pavilion) have 3 available picnic tables and 10 benches which you can select as part of your event permit. Any additional picnic tables, benches, or barricades needed should be directed to a rental company.

Event permit application fees are not refundable whether wholly or partially. Any group using any municipal facility, park or property will be required to place a credit card number on file with the City of Lake Geneva's Clerk Office for any incidentals. Any charges will be fully explained and outlined to the applicant prior to any charge.

All non-profits and not-for-profit groups will be required to provide a current tax form with EIN# to prove their organization's status.

All event dates are granted on a first come first served basis, although non-profit groups located within the City of Lake Geneva will be given preferential treatment when considered. For events that

# City of Lake Geneva- Event Permit Policy and Application



occur annually you will have the option to place a hold on future dates for no more than three years after the current event being applied for.

All applicants will be required to sign an indemnification agreement for organizations below a tier 1 and all tier 1 and tier 2 event applications will be required to include a copy of their Certificate of Liability insurance with this application.

Any non-profit or not-for-profit organization that is wishing to sell alcohol as part of their event will need to complete a Temporary Class "B"/ "Class B" Retailer's License and pay a separate application fee. This event permit application does not grant the right or privilege to any group to sell alcohol of any kind. All applications for a temporary Class "B"/"Class B" Retailer's License will require approval from the Police Chief, the Finance, Licensing, & Regulation Committee, and the Common Council.

All Tier 2 events will require approval of City Staff, the Finance, Licensing, & Regulation Committee and the Common Council. The remaining Public Assembly, Block Parties & Gazebo Photo Op, and Tier 1 Events will only require internal staff approval.

## CITY OF LAKE GENEVA - EVENT PERMIT APPLICATION

Please fill in all blanks completely, as incomplete applications will be rejected.  
Applications must be submitted **AT LEAST 4 WEEKS** prior to the proposed event date(s).

### Section I. APPLICANT INFORMATION

NAME OF APPLICANT:

NAME OF EVENT ORGANIZER/PRODUCER:

PRODUCTION COMPANY/ORGANIZATION:

FEDERAL TAX ID:

STREET ADDRESS:

APT. UNIT OR SUITE #:

CITY:

STATE:

ZIP CODE:

E-MAIL ADDRESS:

DAYTIME PHONE:

CELL PHONE:

Are you a  **For Profit** or  **Non-profit Organization 501(c) \_\_\_** ?

EIN # (Tax Exempt Number): \_\_\_\_\_

\*ALL non-profits must present a copy of their current Tax ID - EIN #.

### Section II. EVENT INFORMATION

**Public Assembly Permit – \* Non-profit (No Charge), Otherwise FEE \$25 per day**

(Meet one or more criteria) Single day event use of City of Lake Geneva facilities with NO street, parking or intersection closures, attendance under 1,000, NO serving of alcohol in public space.

**Block Parties or use of Gazebo for 1 Hour Photo Ops: \* Non-profit (No Charge), Otherwise FEE \$75.00**

Small event limited to one street with 4 barricades in a neighborhood or gazebo in Flat Iron Park.

**Tier 1 Events: \* Non-profit (No Charge), Otherwise FEE \$250**

(Meet one or more criteria) Rolling closure of streets, public walkway, limited parking stalls or intersection closures that do not impact public use, attendance of 1,000 to 3,000, four (4) hours or less of alcohol sales or serving, majority use of a city park(s), or other municipal facility.

**Tier 2 Events: \* Non-profit (No Charge), Otherwise FEE \$500**

(Meets one or more criteria) Non-profit or not-for-profit organization offering multiple-day events, attendance of more than 3,000+, more than four (4) hours of alcohol sales or serving, and/or exclusive use of City park(s), street(s), limited parking stalls, or other municipal facility.

**Note:** Seminary (includes the use of the Shelter) and Flat Iron Park (includes the use of Brunk Pavilion) have 3 available picnic tables and 10 benches which you can select as part of your event permit. Any additional picnic tables, benches, or barricades needed should be directed to a rental company.

1. Title of Event: \_\_\_\_\_

2. Date(s) of Event: \_\_\_\_\_

3. Location(s) of Event: \_\_\_\_\_

4. Hours: \_\_\_\_\_

**Note:** Start Time & End Time

5. Event Chair/Contact Person: \_\_\_\_\_ Phone: \_\_\_\_\_

6. Day of Event Contact Name: \_\_\_\_\_ Phone: \_\_\_\_\_

7. Is the event open to the public?  Yes  No

8. Will you charge an admission fee?  Yes  No

9. Estimated Attendance Number: \_\_\_\_\_

10. Basis for estimate: \_\_\_\_\_

11. Will you be setting up a tent?  Yes  No

*If yes, list the location, size, Rental Company, and proof of completion of locates.*

\_\_\_\_\_

12. Will there be any animals?  Yes  No

*If yes, what type and how many:* \_\_\_\_\_

13. Attach a detailed description of proposed event with map of the exact location of the event and/or route.

14. Description of plan for handling refuse collection and after-event clean-up:

\_\_\_\_\_

15. Description of plan for providing event security (if applicable):

\_\_\_\_\_

16. Will there be fireworks or pyrotechnics at your event?  Yes  No

*If yes, please attach a fireworks display permit or application.*

17. Will your event include the sale of beer and/or wine?  Yes  No

*If yes, please attach a completed Temporary Alcohol License & Temporary Operator License Application.*

18. Will you or any other vendors be selling food or merchandise?  Yes  No

*If yes, please attach list of proposed vendors, including business name and type of food/merchandise sold.*

19. Do you intend to use the available picnic tables and benches in the location?  Yes  No

### **Section III. STREET USE**

Check if this section does not apply.

Required for any event using a public street. Per Sec. 62-243 of the municipal code, this application must include the following attachments:

- Certificate of Comprehensive General Liability Insurance with the City, its employees and agents as additional insured with coverage for contractual liability with minimum limits of \$500,000 per occurrence for bodily injury and property damage limits of \$250,000 per occurrence.
- Petition signed by more than half of the residential dwelling units and/or commercial units residing along that portion of the street designated for the proposed use or whose property is denied access by virtue of the granting of the permit.

1. Description of the portion(s) of road(s) to be used:  
*Road closures must include rental of barricades, please work with our Street Dept.*
2. Will any parking stalls be used or blocked during the event?  Yes  No

Date(s) of use: \_\_\_\_\_  
 Total Number of Parking Stalls Request: \_\_\_\_\_  
 Parking Stall Number(s) and Location: \_\_\_\_\_  
 \_\_\_\_\_

3. Description of signage to be used during event:

*If requesting City banner poles, please include a Street Banner Display Application.*

**Anticipated Services**

*Please indicate below any additional services you are requesting for your event. Estimated Fees or Deposits for these services may be required prior to issuance of permit(s).*

- Electricity Explain: \_\_\_\_\_
- Water Explain: \_\_\_\_\_
- Traffic Control Explain: \_\_\_\_\_
- Police Services Explain: \_\_\_\_\_
- Fire/EMS Services Explain: \_\_\_\_\_
- Other Explain: \_\_\_\_\_

**\*Please note:** The City of Lake Geneva, the Police Department and/or Fire Department have the right to cancel an event due to inclement weather or any safety risk.

**ALL PARKS & PUBLIC SPACES:** *must be left the way they were originally found. A credit card is required to be held should the park/public space incur damage or not be picked up.*

Credit Card # (Required): \_\_\_\_\_  
 Expiration Date: \_\_\_\_\_ CVV #: \_\_\_\_\_  
 Name on Credit Card: \_\_\_\_\_  
 Billing Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_

*The applicant for her/himself and for other persons, organizations, firms and corporations, if any listed in this application, being of sound mind and body, do hereby freely, voluntarily and knowingly, now and for all times, fully save and hold harmless and defend, the CITY OF LAKE GENEVA, a Wisconsin Municipal Corporation located in the Walworth County, and each and every of its elected and appointed officials, employees, representatives, agents, heirs, and assigns, jointly and severally from and against any and all claims, causes of action, actions, liabilities, demands, losses, damages, and/or expenses of whatsoever kind and nature including counsel or attorneys' fees, which I have or may, at any time, incur or sustain arising from, resulting from, incurred in consequence of, or pertaining to, any and all intentional and negligent acts, omissions, incidents, activities and transactions, of whatever kind and nature, direct or indirect, of mine own and those of or by the CITY OF LAKE GENEVA, and each and every of its elected and appointed officials, employees, representatives, and agents, regardless of when or where, occurring or arising from this event.*

**Applicant's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**For Office Use Only**

**Date Filed with Clerk:** \_\_\_\_\_ **Payment with Application: \$** \_\_\_\_\_ **Receipt:** \_\_\_\_\_

\*Circulation required to the following Departments:

<b>Department:</b>	<b>Date:</b>	<b>Circulated:</b>
City Clerk/Administrator <b>Notes:</b> _____		<input type="checkbox"/>
Police Chief <b>Notes:</b> _____		<input type="checkbox"/>
Fire Chief <b>Notes:</b> _____		<input type="checkbox"/>
Street Dept <b>Notes:</b> _____		<input type="checkbox"/>
Parking Dept <b>Notes:</b> _____		<input type="checkbox"/>
Piers, Harbors & Lakefront <b>Notes:</b> _____		<input type="checkbox"/>
FL&R: Meeting Date: _____		<input type="checkbox"/>
Council: Meeting Date: _____		<input type="checkbox"/>

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: March 18, 2019

Agenda Item: 7

Applicant:

Fairwyn SB, Inc.  
875 Townline Rd. unit 103  
Lake Geneva, WI. 53147

Request:

Create a 2 lot Certified Survey Map (CSM)  
101 & 103 Cadence Circle  
Tax Key No. ZB00509-1 & ZB00509-2

Description:

This request is to approve a proposed Certified Survey Map (CSM) to create a 2 lot CSM for a duplex structure in the Symphony Bay subdivision.

The result of this CSM will create two lots that have a zero lot line for a duplex building. Both of the units will have their own parcels which will comply with all of the minimum standards of the Planned Development (PD) zoning.

This request is to approve the proposed Certified Survey Map dated 1/25/2019 for the property located 101 & 103 Cadence Circle in the Symphony Bay subdivision.

Lot 1 = .207 AC.

Lot 2 = .184 AC.

Staff Review Comments:

The proposed CSM has been submitted by staff to the Public Works & Utilities for review for compliance or concerns and none were identified as needed to be addressed with this land division.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Certified Survey Map (CSM):

As part of the consideration of the requested CSM, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CSM.

Staff Recommendation on the proposed Certified Survey Map (CSM):

Staff recommends that the Plan Commission recommend *approval* of the CSM as submitted.

City of Lake Geneva

**APPLICATION FOR LAND DIVISION REVIEW**

CERTIFIED SURVEY MAP or

SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

FAIRWAY SB, INC.  
875 TOWNLINE RD, UNIT 103  
LAKE GENEVA, WI, 53147

TELEPHONE NUMBER OF CURRENT OWNER: (262) 248-5010

EMAIL ADDRESS: RICILZIRK@GMAIL.COM

PROJECT ADDRESS 1019103 GORDON CIRCLE TAX KEY NUMBER: 20800509

NAME AND ADDRESS OF APPLICANT:

SAME AS OWNER

TELEPHONE NUMBER OF APPLICANT: ( )

EMAIL ADDRESS: \_\_\_\_\_

NAME AND ADDRESS OF SURVEYOR:

VANDERSTADEN LAND SURVEYING, INC.  
1316 N MADISON ST  
WOODSTOCK, IL 60098

TELEPHONE NUMBER OF SURVEYOR: (815) 337-8310

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

CREATE INDIVIDUAL LOTS AND TAX KEY NUMBERS  
FOR EACH UNIT ON A DUPLEX LOT

SUBMITTAL CHECKLIST

X LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.

X SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.

X CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.

X PROVIDE 5 FULL SETS AND 20 - 11" X 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.

X PROVIDE AN ELECTRONIC COPY OF THE FULL APPLICATION PACKET TO THE LAKE GENEVA BUILDING AND ZONING DEPARTMENT AT [BZADMIN@CITYOFLAKEGENEVA.COM](mailto:BZADMIN@CITYOFLAKEGENEVA.COM) OR [BZCLERK@CITYOFLAKEGENEVA.COM](mailto:BZCLERK@CITYOFLAKEGENEVA.COM)

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

2-18-19

DATE



SIGNATURE OF APPLICANT

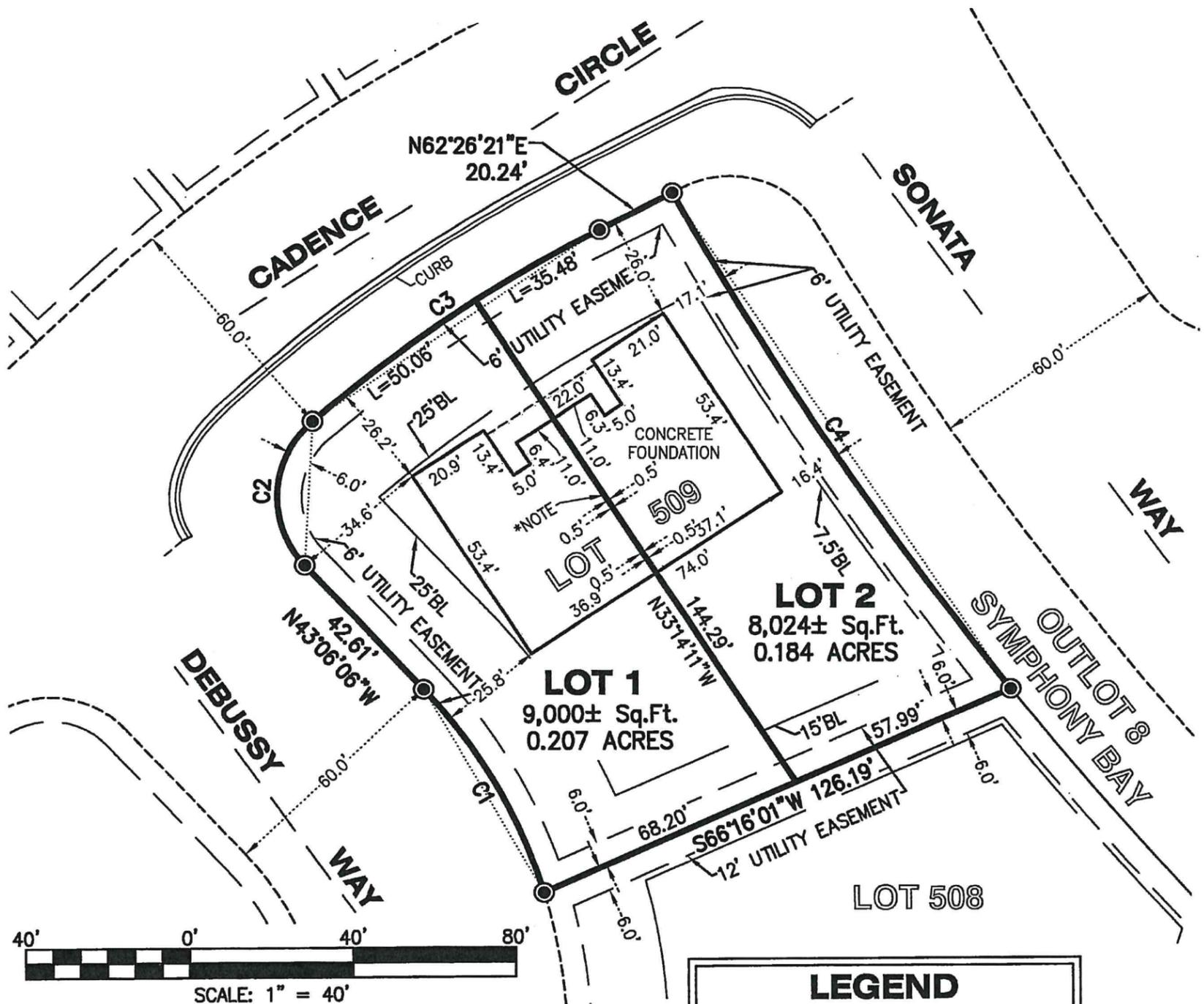
# CERTIFIED SURVEY

## MAP NO. \_\_\_\_\_

Lot 509 in Symphony Bay Duplex, being a Redivision of Lots 259 thru 297 of Symphony Bay Subdivision, located in the Northeast Quarter of the Northeast Quarter and the Southeast Quarter of the Northeast Quarter of Section 6, and the Northwest Quarter of the Northwest Quarter of Section 5, all in Township 1 North, Range 18, East, according to the Plat thereof recorded June 26, 2018 as Document No. 970193, in the City of Lake Geneva, Walworth County, State of Wisconsin.

*William J. Vanderstappen*

William J. Vanderstappen  
Wisconsin Registered Land Surveyor, No. S-1777



LEGEND	
○	FOUND IRON PIPE
⊠	FOUND 4" DISC IN CONCRETE MONUMENT
●	SET 24" x 5/8" IRON BAR (2.09lbs)
(D)	DEED
(R)	RECORD
(M)	MEASURE



\*NOTE: CENTER OF CONCRETE WALL

CLIENT: FAIRWYN DEVELOPMENT  
 DRAWN BY: SES CHECKED BY: WJV  
 SCALE: 1"=40 SEC. 6 T. 1 R. 18 E.  
 BASIS OF BEARING: PER SYMPHONY BAY DUPLEX  
 P.I.N.: ZSB 00509  
 JOB NO.: 180845.509-C I.D. CSM  
 FIELDWORK COMP.: 1/8/19 BK. PG.  
 ALL DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF CORRECTED TO 68° F. REF:

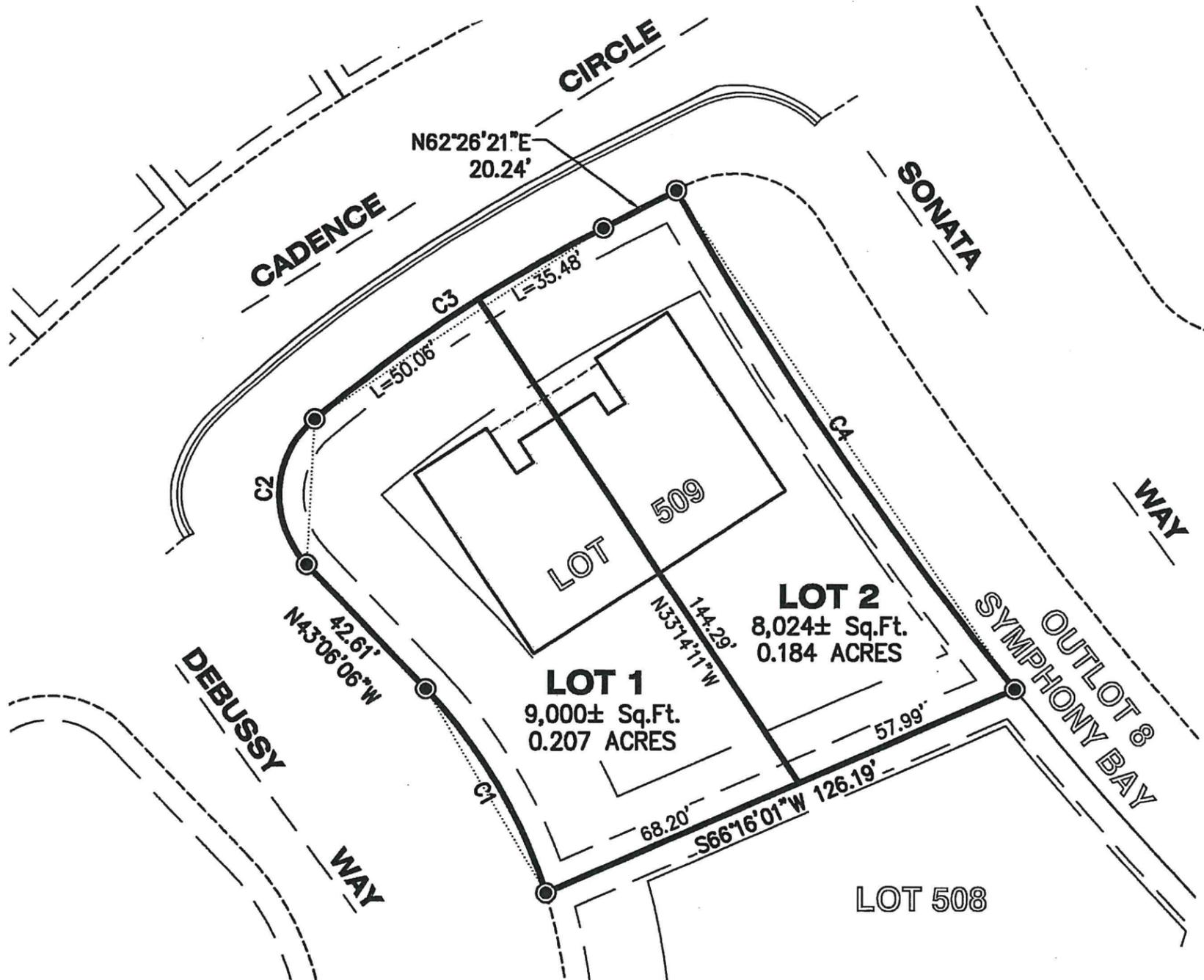
# CERTIFIED SURVEY

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Lot 509 in Symphony Bay Duplex, being a Redivision of Lots 259 thru 297 of Symphony Bay Subdivision, located in the Northeast Quarter of the Northeast Quarter and the Southeast Quarter of the Northeast Quarter of Section 6, and the Northwest Quarter of the Northwest Quarter of Section 5, all in Township 1 North, Range 18, East, according to the Plat thereof recorded June 26, 2018 as Document No. 970193, in the City of Lake Geneva, Walworth County, State of Wisconsin.

*William B. Vanderstappen*

William B. Vanderstappen  
Wisconsin Registered Land Surveyor, No. S-1777



**CURVE TABLE**

CURVE #	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT
1	130.00'	26°09'51"	59.36'	58.85	N30°01'11"W	N16°56'15"W	N43°06'06"W
2	25.00'	92°17'41"	40.27'	36.06'	N03°02'44"E	N43°06'06"W	N49°11'35"E
3	370.00'	13°14'46"	85.54'	85.35'	N55°48'58"E	N49°11'35"E	N62°26'21"E
4	957.00'	08°59'36"	150.21'	150.06'	S33°51'37"E	S29°21'49"E	S38°21'25"E

**CERTIFIED SURVEY**  
**MAP NO. \_\_\_\_\_**

Lot 509 in Symphony Bay Duplex, being a Redivision of Lots 259 thru 297 of Symphony Bay Subdivision, located in the Northeast Quarter of the Northeast Quarter and the Southeast Quarter of the Northeast Quarter of Section 6, and the Northwest Quarter of the Northwest Quarter of Section 5, all in Township 1 North, Range 18, East, according to the Plat thereof recorded June 26, 2018 as Document No. 970193, in the City of Lake Geneva, Walworth County, State of Wisconsin.

**OWNERS CERTIFICATE**

As owner I hereby certify the I have caused the above described land to be surveyed, divided and mapped as represented hereon.

\_\_\_\_\_  
Owner

Date: \_\_\_\_\_

**CITY APPROVAL**

Approved by the City of Lake Geneva this \_\_\_\_ day of

\_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Clerk

\_\_\_\_\_  
Mayor

**SURVEYOR'S CERTIFICATE**

I, William J. Vanderstappen, Registered Land Surveyor, hereby certify that in full compliance with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision Control Ordinance, City of Lake Geneva, Wisconsin, and under the direction of Fairwyn Development, owner of said land, I have surveyed and mapped this certified survey, that such plat represents all exterior boundaries and the division of the land surveyed, and that this land is located within the Northeast Quarter of Section 6, in Township 1 North, Range 18 East, in the City of Lake Geneva described as follows:

Lot 509 in Symphony Bay Duplex, being a redivision of Lots 259 thru 297 of Symphony Bay Subdivision, located in the Northeast Quarter of the Northeast Quarter and the Southeast Quarter of the Northeast Quarter of Section 6, and the Northwest Quarter of the Northwest Quarter of Section 5, all in Township 1 North, Range 18 East, according to the Plat thereof recorded June 26, 2018 as Document No. 970193, in the City of Lake Geneva, Walworth County, Wisconsin.

  
\_\_\_\_\_  
William J. Vanderstappen, S-1777  
Wisconsin Registered Land Surveyor

3/7/19 - REVISED PER CITY REVIEW - SES  
2/18/19 - REVISED CITY APPROVAL CERTIFICATE - SES

This survey and map are in accordance with the Land Division Ordinance of the City of Lake Geneva.

1/18/2019  
Date

180845.509  
Job Number

PREPARED BY:  
VANDERSTAPPEN LAND SURVEYING, INC.  
1316 N MADISON ST. WOODSTOCK, IL, 60098  
January 17, 2019



STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: March 18, 2019

Agenda Item: 8

Applicant:

Geneva Properties, LLC  
612 Wells St. Suite F  
Lake Geneva, WI 53147

Request: Conditional Use Permit (CUP)

Allow for the Mechanical Room addition to the  
Multi-Family Dwelling – 695 S. Lake Shore Dr.  
Tax Key No. ZA134700001

Description:

The applicant is submitting a request for a Conditional Use Permit (CUP) that would allow for the addition of a mechanical room to the multi-family structure located in the Two-Family – 6 (TR-6) zoning classification.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

2A134700001

**APPLICATION FOR CONDITIONAL USE**

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

695 Lakeshore Drive

See attached Property Report

NAME AND ADDRESS OF CURRENT OWNER:

Common Properties, LLC

612 Wills St; Suite F Lake Geneva, WI 53147

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER:

262-745-6603 matt@keystoneRES.net

NAME AND ADDRESS OF APPLICANT:

Same as above

TELEPHONE NUMBER & EMAIL OF APPLICANT:

PROPOSED CONDITIONAL USE:

Retain current use as a 7-unit residential building

ZONING DISTRICT IN WHICH LAND IS LOCATED:

TR-6 / Applying for MR-F

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Contractor Jim Streib  
417 Sandhurst Ct  
Milton, WI 53563

Architect Pete Wiseman  
1001 Madison Ave  
Fort Atkinson, WI 53538

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Renovate Apartments

Seeking to add boiler room

Upgrade Exterior

on the side of the building

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

DATE

SIGNATURE OF APPLICANT

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓  
Draft Final Packet (1 Copy to Zoning Administrator)

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓

\_\_\_ (a) A map of the proposed conditional use:

- \_\_\_ Showing all lands for which the conditional use is proposed;
- \_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;
- \_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- \_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- \_\_\_ Map and all its parts are clearly reproducible with a photocopier;
- \_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- \_\_\_ All lot dimensions of the subject property provided;
- \_\_\_ Graphic scale and north arrow provided.

\_\_\_ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:



- \_\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- \_\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- \_\_\_\_\_ (e) Written justification for the proposed conditional use:
  - \_\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

**III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE**

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

*The building has been a seven unit for many years.  
The zoning change will be more consistent with current use.*

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

*See No. 1 above*

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

*No. There will not be a significant change from the current use*

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

*See No. 1 above*

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

*Yes*

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

*Yes See No. 1 above*

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**IV. FINAL APPLICATION PACKET INFORMATION**

\_\_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Conditional Use recorded with the County Register of Deeds Office: Date: \_\_\_\_\_ by: \_\_\_\_\_

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓

\_\_\_ (a) **A written description of the intended use describing in reasonable detail the:**

- \_\_\_ Existing zoning district(s) (and proposed zoning district(s) if different);
- \_\_\_ Land use plan map designation(s);
- \_\_\_ Current land uses present on the subject property;
- \_\_\_ Proposed land uses for the subject property (per Section 98-206);
- \_\_\_ Projected number of residents, employees, and daily customers;
- \_\_\_ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- \_\_\_ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- \_\_\_ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- \_\_\_ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- \_\_\_ Exterior building and fencing materials (Sections 98-718 and 98-720);
- \_\_\_ Possible future expansion and related implications for points above;
- \_\_\_ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

\_\_\_ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

\_\_\_ (c) A **Property Site Plan** drawing which includes:

- \_\_\_ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- \_\_\_ The date of the original plan and the latest date of revision to the plan;
- \_\_\_ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- \_\_\_ A reduction of the drawing at 11" x 17";
- \_\_\_ A legal description of the subject property;
- \_\_\_ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- \_\_\_ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- \_\_\_ All required building setback lines;
- \_\_\_ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- \_\_\_ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- \_\_\_ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- \_\_\_ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- \_\_\_ The location of all outdoor storage areas and the design of all screening devices;
- \_\_\_ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- \_\_\_ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- \_\_\_ All engineering requirements for utilities, site designs, etc;
- \_\_\_ The location and type of any permanently protected green space areas;
- \_\_\_ The location of existing and proposed drainage facilities for storm water;

\_\_\_ In the legend, data for the subject property on:

- \_\_\_ Lot Area;
- \_\_\_ Floor Area;
- \_\_\_ Floor Area Ratio (b/a);
- \_\_\_ Impervious Surface Area;
- \_\_\_ Impervious Surface Ratio (d/a);
- \_\_\_ Building Height.

\_\_\_ \_\_\_ (d) **A Detailed Landscaping Plan of the subject property:**

- \_\_\_ Scale same as main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17"
- \_\_\_ Showing the location of all required buffer yard and landscaping areas
- \_\_\_ Showing existing and proposed Landscape Point fencing
- \_\_\_ Showing berm options for meeting said requirements
- \_\_\_ Demonstrating complete compliance with the requirements of Article VI
- \_\_\_ Providing individual plant locations and species, fencing types and heights, and berm heights;

\_\_\_ \_\_\_ (e) **A Grading and Erosion Control Plan:**

- \_\_\_ Same scale as the main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17"
- \_\_\_ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

\_\_\_ \_\_\_ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- \_\_\_ Showing finished exterior treatment;
- \_\_\_ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- \_\_\_ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE: Initiation of Land Use or Development Activity:** Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

**NOTE: Modification of an Approved Site Plan:** Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

### III.FINAL APPLICATION PACKET INFORMATION

\_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: \_\_\_\_\_ by: \_\_\_\_\_

**NARRATIVE**  
**CONDITIONAL USE PERMIT APPLICATION**  
**695 LAKESHORE DRIVE**

This property is a seven unit building that has always been used as a multifamily, likely going back before the current zoning map and master plan were adopted. It is currently zoned TR-6 (duplex). The property is grandfathered in as a multifamily and is a legal non-conforming use.

We are planning to complete a major renovation to upgrade the interior and exterior of the building, while retaining the current use of the property as a seven unit multifamily. As part of the renovation, we would like to add a new boiler/utility room on the outside of the property, which create a small change to the footprint of the building. The current boiler is located in a closet in the building that will need to be removed as part of the renovation plans. The building has a crawl space that would be very difficult to access to install a boiler. The other option would be the attic, which for safety and structural reasons, we do not view as a practical location for the boiler. After meeting with designers and engineers, the consensus was that the most practical location for the boiler would be add the new boiler room on the south side of the building.

This Conditional Use Permit Application is seeking approval to alter the footprint of the building to allow the boiler room to be included in the renovation plans.



**Walworth County, WI  
Land Information Division**

**Property Details**

Municipality: CITY OF LAKE GENEVA  
 Parcel Number: ZA134700001  
 School District: 2884-LAKE GENEVA-GENOA CITY U  
 Zoning District:

**Owner Information**

Owner Name: GENEVA PROPERTIES LLC  
 Owner Name 2:  
 Mailing Address: 503 CENTER ST  
 LAKE GENEVA WI, 53147

**2018 Valuation Information**

Land: \$50,900.00  
 Improvements: \$344,100.00  
 Total: \$395,000.00  
 Acres: 0.4600  
 Fair Market Value: \$403,600.00  
 Assessment Ratio: 0.9787828660  
 Mill Rate: 0.0197785430

**Tax Information**

First Dollar Credit: \$79.18  
 Special Assessment: \$0.00  
 Delinquent Utility Charge: \$0.00  
 Managed Forest Land Taxes: \$0.00  
 Total Billed: \$7,733.34  
 Net Tax \$7,733.34  
 School Credit: \$866.50  
 Lottery Credit: \$0.00  
 Special Charges: \$0.00  
 Private Forest Crop Taxes: \$0.00  
 Woodland Tax Law Taxes: \$0.00

**Tax Jurisdictions**

LAKE GENEVA-GENOA CITY UHS \$1405.79  
 LAKE GENEVA J1 SCHOOL DIST \$2302.96  
 WALWORTH COUNTY \$1582.88  
 STATE OF WISCONSIN \$0.00  
 GATEWAY TECHNICAL \$325.35  
 CITY OF LAKE GENEVA \$2195.54

**Elected Officials / Voting Districts**

Supervisory District: Nancy Russell (D11)  
 State Representative: Tyler August(R) (32nd District)  
 State Senator: Stephen Nass(R) (11th District)  
 US Representative: Paul Ryan(R) (1st District)  
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

**Soil Classification**

Soil Type	Soil Name	Acres
ScA	ST. CHARLES SILT LOAM, 0 TO 2 PERCENT SLOPES	0.4644

**Special Assessments / Charges**

**Property Address**

695 S LAKE SHORE DR LAKE GENEVA

**Legal Description**

LOT 1 CERT. SURVEY NO. 1347 RECORDED IN VOL 6 C.S PG 179 WCR. SW 1/4 SE 1/4 SEC 36 T2N R17E. CITY OF LAKE GENEVA OMITTS ZOP-411

**Disclaimer**

The information provided in this property information page is not official information. All official tax information is recorded in the Walworth County Treasurer's Office. To verify tax payment/payoff status, contact the Walworth County Treasurer's Office at 262-741-4251.

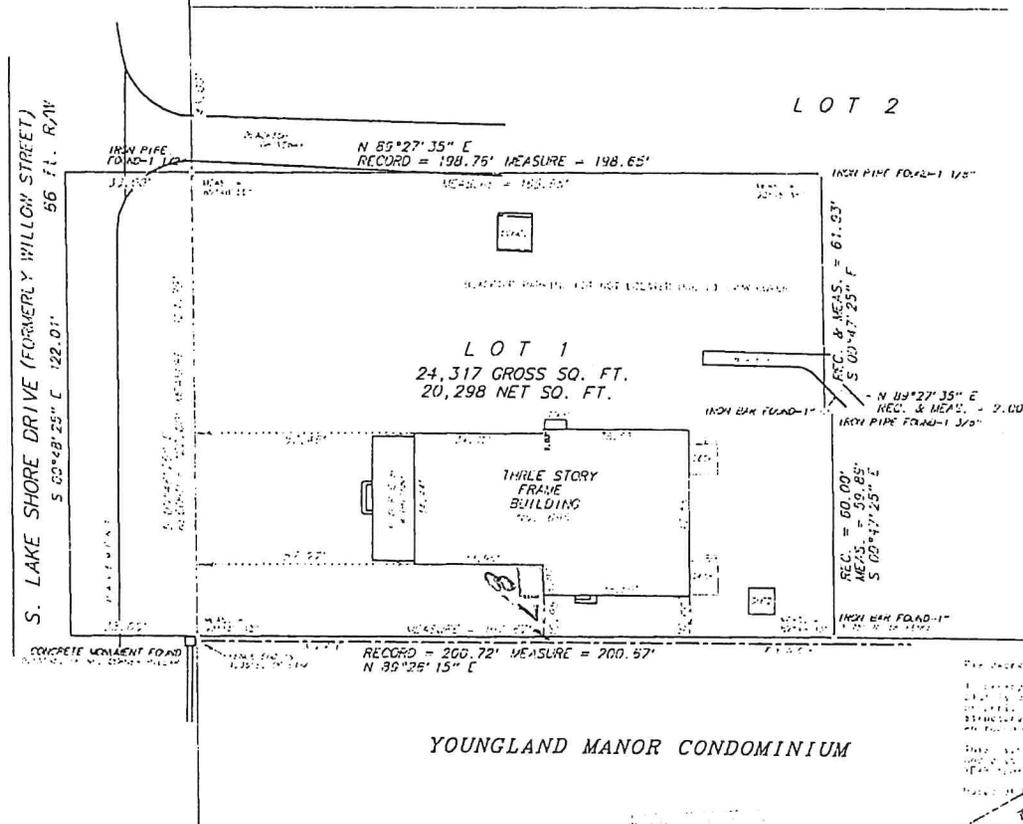
AMBIT LAND SURVEYING  
 8120-312th Avenue  
 Wauwatosa, WI 53105-8914  
 Licensed Professionals in  
 both Illinois & Wisconsin

# PLAT OF SURVEY OF

Lot 1 of WALWORTH COUNTY CERTIFIED SURVEY MAP NO. 1347, located in the Southeast Quarter of Section 36, Township 2 North, Range 17 East of the 4th Principal Meridian, City of Lake Geneva, Walworth County, Wisconsin and recorded on March 12, 1984 in Volume 6 of Certified Survey Maps, page 179, as Document 100384 in the office of the Walworth County Register of Deeds.

PHONE: 262-537-4874  
 FAX: 262-537-4221  
 EMAIL: ambit@tds.net

Parcel Identification Number: ZA 13470001



OFFICE COPY

This work completed on the date of certification is January 3, 2018  
 I hereby certify that I have surveyed the above property and the above plat is a true representation of the same and that the location of the structures, buildings, improvements, and other objects shown on the plat are in accordance with the field notes and records of my survey.

JUN 27 2018  
 SMC

Mark A. Bolender  
 Wisconsin Professional Land Surveyor - 1784

007-3467



SCALE: 1 inch = 30 feet  
 ORDERED BY: K. Lewis / Lewis & Associates  
 JOB NO.: 17276

ZA1347-1



ZOP 00410

ZOP 00410

CSM 1347

ZA134700002

LOT 2

ZA134700002

CSM 1347

ZA134700001

ZA134700001

LOT 1

Click on the map to identify a point. Hold down Shift to draw a rectangle.

YOUNGLAND MANOR  
CONDOMINIUM

S LAKE SHORE DR

698

691

693

695

ZYQ 00001

125.00'

43.00'

43.00'

122.01'

122.00'

165.76'

33.00'

272.27'

305.2'

61.93'

60.00'

2.69'

104.50'

164.89'

272.48'

4.86'

70'

8'  
16'  
7'

PRELIMINARY ONLY - NOT FOR CONSTRUCTION



FRONT ELEVATION



LEFT ELEVATION



REVISIONS:  
12-11-16 Preliminary  
12-29-16 Added City m

ADDITION/REMODEL FOR:  
699 LAKESHORE LAKE GENEVA, WI  
KENTONE GROUP

SCALE: 3/16"=1'-0"  
SHEET TITLE:  
DRAIN BY: STEFANIE STEB  
SHEET NUMBER:  
1 of 4  
DATE:  
12/20/16

REVISIONS:  
 10-26-17: Preliminary  
 12-20-18: Added UPW/IM



REAR ELEVATION

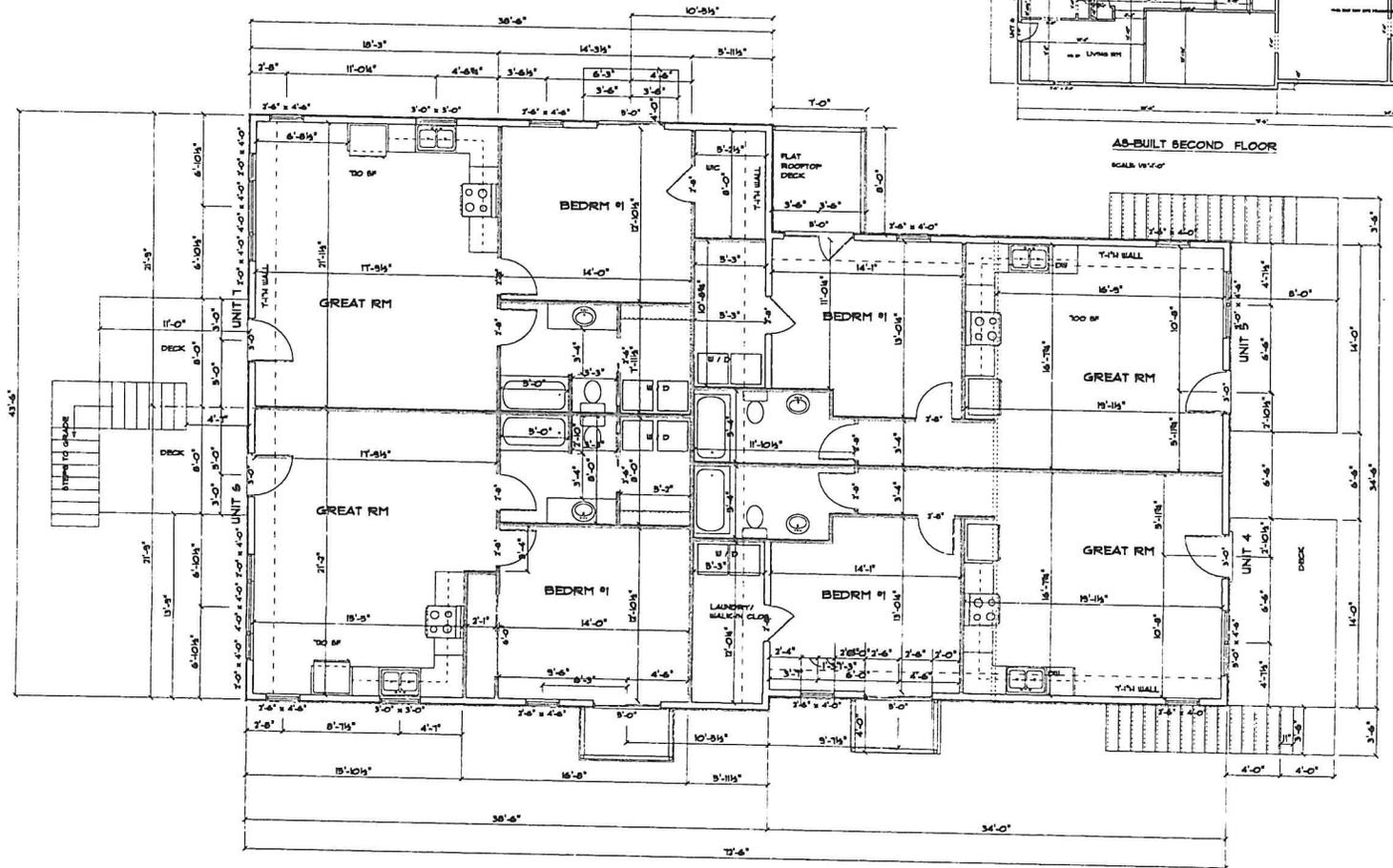
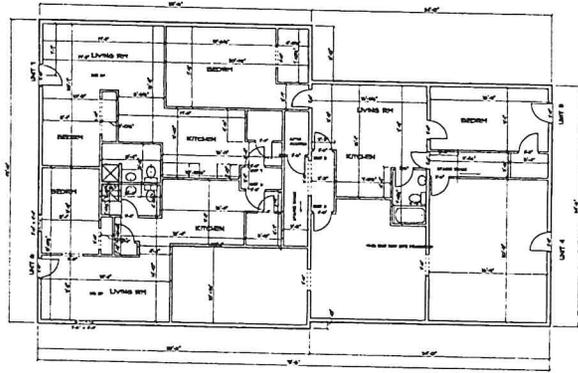


RIGHT ELEVATION

ADDITION/REMODEL FOR:  
 593 LAKESHORE, LAKE GENEVA, WI  
 KENTONE GROUP

SCALE: 1/4"=1'-0"  
 SHEET TITLE:  
 DRAWN BY: STEFANIE STIBBS  
 SHEET NUMBER  
 2 of 4  
 DATE  
 12/20/18





ROAD SIDE

**RESOLUTION OF THE COMMON COUNCIL**

Resolution authoring the issuance of a Conditional Use Permit (CUP) filed by CDS Investments, LLC, 1840 International Parkway, Woodridge, IL, 60517, to allow the renovations for the property located at 1550 Lake Shore Dr, located in the Estate Residential (ER-1) zoning district to utilize the Single-Family Residential – 4 (SR-4) zoning allowances, Tax Key No. ZLM00048.

Committee:	Plan Commission approved March 18, 2019		
Fiscal Impact:	N/A		
<b>File Number:</b>	19-R27	<b>Date:</b>	March 25, 2019

WHEREAS, the City Plan Commission has considered the application of CDS Investments, LLC, 1840 International Parkway, Woodridge, IL, 60517, for the remodeling of the Single Family Dwelling;

WHEREAS, The City Plan Commission held a Public Hearing thereon pursuant to proper notice given on March 18, 2019.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit , to allow the renovations for the property located at 1550 Lake Shore Dr, located in the Estate Residential (ER-1) zoning district to utilize the Single-Family Residential – 4 (SR-4) zoning allowances,

Tax Key No. ZLM00048

to include all affirmative findings of fact and note staff recommendations.

Granted by action of the Common Council of the City of Lake Geneva this 25<sup>th</sup> day of March 2019.

**Council Action:**     **Adopted**         **Failed**        **Vote** \_\_\_\_\_

**Mayoral Action:**     **Accept**         **Veto**

\_\_\_\_\_  
Thomas Hartz, Mayor

\_\_\_\_\_  
Date

Attest:

\_\_\_\_\_  
Lana Kropf, City Clerk

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: March 18, 2019

Agenda Item: 9

Applicant:

CDS Investments, LLC  
1840 International Parkway,  
Woodridge, IL 60517

Request:

1550 Lake Shore Dr.  
Conditional Use Permit  
SR-4 Setbacks in ER-1 Zoning District  
Tax Key No. ZLM00048

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) for a remodel to the existing lake side footprint of the dwelling and an addition to street side of the residence. The project would begin with a complete removal of the existing greenhouse of the residence and rebuilding on the exact foundation of the existing greenhouse.

The roof height & design will not be altered; the only expansion of the existing dwelling will be the construction of a front entry which will be located street side and behind the existing garage street setback.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed conditional use includes modest increases in the setbacks provided on all four sides of the proposed home.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  - e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above, noting that the proposal is a fully consistent with the setback requirements of the SR-4 zoning district, and results in compliance to the setbacks on all four sides of the building over the current home.

**APPLICATION FOR CONDITIONAL USE**

*City of Lake Geneva*

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

1550 Lake Shore Dr, Lake Geneva, WI 53147; Parcel No. ZLM 00048;  
LOT 3 BLK 19 LAKE GENEVA MANOR (TRACT #17) CITY OF LAKE GENEVA

Name and Address of Current Owner:

CDS Investments, LLC  
1840 International Parkway, Woodridge, IL 60517

Telephone No. with area code & Email of Current Owner: (630) 755-4232

tom@champakinc.com

Name and Address of Applicant:

Lowell Custom Homes  
401 Geneva National Avenue S, Lake Geneva, WI 53147

Telephone No. with area code & Email of Applicant: (262) 245-9030

tcauffman@lowellcustomhomes.com

Proposed Conditional Use: SR-4 use in ER-1 Zoning District

Zoning District in which land is located: ER-1

Names and Addresses of architect, professional engineer and contractor of project:

Lowell Custom Homes, 401 Geneva Nat'l Ave S, Lake Geneva, WI 53147  
Todd Cauffman, Architect

Short statement describing activities to take place on site:

Addition & renovation to existing home. Main home structure to  
remain. New main floor entry porch & foyer. Expand out over  
footprint of existing sun space on LL for additional main floor  
space. Add/modify details/materials on existing home.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

2/8/2019

Date

  
Signature of Applicant

Lowell Custom Homes 1550 Lake Shore Drive Cost Recovery #

Petitioner Name Project Address

OFFICE USE ONLY Description of Request

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City’s review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City’s consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). An advanced deposit shall be required for the application related to Extraterritorial matters. Surplus deposits shall be returned to the Applicant at the conclusion of the project.

Lowell Custom Homes, as applicant/petitioner for

Project: Remodel of Single Family Residence

Project Address: 1550 Lake Shore Drive

Parcel No. ZLM 00048

Name: CDS Investments, LLC

Address: 1840 International Parkway
Woodridge, IL 60517

Cell Phone: ( ) - - Phone: (630) - 755 - 4232

Email: tom@champakinc.com

Dated this 8th Day of February, 20 19

Rich Kinter (Agent/Lowell Custom Homes)

Printed Name of Applicant / Petitioner

[Handwritten Signature]

Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ **Pre-submittal staff meeting scheduled:**

**Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

**Follow-up pre-submittal staff meetings scheduled for:**

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Application form filed with Zoning Administrator:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Application fee of \$ \_\_\_ received by Zoning Administrator:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Reimbursement of professional consultant costs agreement executed:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

*Date:* \_\_\_\_\_ *by:* \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

*Date:* \_\_\_\_\_ *by:* \_\_\_\_\_



\_\_\_ (a) **A map of the proposed conditional use:**

- \_\_\_ Showing all lands for which the conditional use is proposed;
- \_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;
- \_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- \_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- \_\_\_ Map and all its parts are clearly reproducible with a photocopier;
- \_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- \_\_\_ All lot dimensions of the subject property provided;
- \_\_\_ Graphic scale and north arrow provided.

\_\_\_ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

- \_\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- \_\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- \_\_\_\_\_ (e) Written justification for the proposed conditional use:
  - \_\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

### III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed structure is non-conforming in the ER-1 Zoning District but conforms more closely to SR-4 Zoning under the Lake Geneva Zoning Ordinance, with Lot: 7,868 SF (Req'd: 9,000 SF); Landscape Ratio: 61:05% (Req'd: 50%); Side Setbacks: 7.5' & 7.5' (Req'd: 15' combined)

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed structure more closely conforms to SR-4 Zoning under the Lake Geneva Zoning Ordinance.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No negative impacts of renovation/addition. Will follow current zoning & architectural requirements. No change in lot size, lakeside setback, public property, or rights-of-way.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Lot size is currently non-conforming for ER-1 Zoning District. Lot: 7,868 SF (Req'd for ER-1: 40,000 SF). Per policies & standards of the City of Lake Geneva Comprehensive Plan, proposed structure more closely conforms as an SR-4 Zoning Lot: 7,868 SF (Req'd for SR-4: 9,000 SF); Side Setbacks: 7.5' & 7.5' (Req'd for SR-4: 15' combined).

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The improvements, facilities, utilities and services provided by public agencies serving the subject property will remain unchanged. The renovation and addition of the subject property will result in a similar footprint to the existing single-family residence.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

The proposed structure is an improvement on the current structure and thus improves the look of the neighborhood. There are no known adverse impacts of the proposed conditional use.

#### IV. FINAL APPLICATION PACKET INFORMATION

\_\_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.      Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Conditional Use recorded with the County Register of Deeds Office:      Date: \_\_\_\_\_ by: \_\_\_\_\_

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

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\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

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\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

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Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_



\_\_\_ (a) **A written description of the intended use describing in reasonable detail the:**

- \_\_\_ Existing zoning district(s) (and proposed zoning district(s) if different);
- \_\_\_ Land use plan map designation(s);
- \_\_\_ Current land uses present on the subject property;
- \_\_\_ Proposed land uses for the subject property (per Section 98-206);
- \_\_\_ Projected number of residents, employees, and daily customers;
- \_\_\_ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- \_\_\_ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- \_\_\_ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- \_\_\_ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- \_\_\_ Exterior building and fencing materials (Sections 98-718 and 98-720);
- \_\_\_ Possible future expansion and related implications for points above;
- \_\_\_ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

\_\_\_ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

\_\_\_ (c) **A Property Site Plan drawing which includes:**

- \_\_\_ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- \_\_\_ The date of the original plan and the latest date of revision to the plan;
- \_\_\_ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- \_\_\_ A reduction of the drawing at 11" x 17";
- \_\_\_ A legal description of the subject property;
- \_\_\_ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- \_\_\_ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- \_\_\_ All required building setback lines;
- \_\_\_ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- \_\_\_ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- \_\_\_ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- \_\_\_ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- \_\_\_ The location of all outdoor storage areas and the design of all screening devices;
- \_\_\_ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- \_\_\_ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- \_\_\_ All engineering requirements for utilities, site designs, etc;
- \_\_\_ The location and type of any permanently protected green space areas;
- \_\_\_ The location of existing and proposed drainage facilities for storm water;

\_\_\_ In the legend, data for the subject property on:

- \_\_\_ Lot Area;
- \_\_\_ Floor Area;
- \_\_\_ Floor Area Ratio (b/a);
- \_\_\_ Impervious Surface Area;
- \_\_\_ Impervious Surface Ratio (d/a);
- \_\_\_ Building Height.

\_\_\_ \_\_\_ (d) **A Detailed Landscaping Plan of the subject property:**

- \_\_\_ Scale same as main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17"
- \_\_\_ Showing the location of all required buffer yard and landscaping areas
- \_\_\_ Showing existing and proposed Landscape Point fencing
- \_\_\_ Showing berm options for meeting said requirements
- \_\_\_ Demonstrating complete compliance with the requirements of Article VI
- \_\_\_ Providing individual plant locations and species, fencing types and heights, and berm heights;

\_\_\_ \_\_\_ (e) **A Grading and Erosion Control Plan:**

- \_\_\_ Same scale as the main plan (> or equal to 1" equals 100')
- \_\_\_ Map reduction at 11" x 17"
- \_\_\_ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

\_\_\_ \_\_\_ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- \_\_\_ Showing finished exterior treatment;
- \_\_\_ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- \_\_\_ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE: Initiation of Land Use or Development Activity:** Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

**NOTE: Modification of an Approved Site Plan:** Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

**III.FINAL APPLICATION PACKET INFORMATION**

\_\_\_ **Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:** Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ **Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ **A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.** Date: \_\_\_\_\_ by: \_\_\_\_\_

**1550 Lake Shore Drive –**

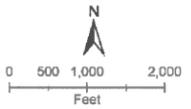
**Surrounding Neighbors within 300' of the Subject Property –**

ZA134100001	Summer Wind VII LLC c/o Tom Ryan 763 N Mayflower Rd Lake Forest, IL 60045-2311
ZLM 00025	Michael G Culhane Sally A Culhane 166 Liberty Pl Princeton, NJ 08540
ZLM 00026	Thomas W Schwartz Katherine G Schwartz 1550 Evergreen Ln Lake Geneva, WI 53147
ZLM 00027	Joseph F Piscioti Cheryl A Piscioti 6554 W Archer Ave Chicago, IL 60638
ZLM 00028	Jacquelyn E Getzen Trust 15 Lakeview Dr Lake Geneva, WI 53147
ZLM 00029	JLB Maintenance LLC 14040 Boxwood Lane Orland Park, IL 60462
ZLM 00030	Reuter Family Trust 1002 Ingraham Ave #3 Delray Beach, FL 33483
ZLM 00031	Jay H Kleiman Georgianna M Kleiman 60 E Monroe St #3101 Chicago, IL 60603
ZLM 00032	James M Wojcik Sharon L Wojcik 12 Debbie Ln Streamwood, IL 60107
ZLM 00033	Bruce Gold Sarah Gold 2901 Kingston Dr Buffalo Grove, IL 60089
ZLM 00046	Roy Kaiser 51 Warwick Rd Winnetka, IL 60093
ZLM 00047	Douglas Powell Trust 1014 W Altgeld St Chicago, IL 60614

ZLM 00049	1554 Lake Shore LLC 6006 Hazelwood Dr Crystal Lake, IL 60012
ZLM 00050	Megan McNerney Richard M Longnecker 1562 Lake Shore Dr Lake Geneva, WI 53147
ZLM 00051	Gregory M Licht 3517 Majestic Oaks Dr St Charles, IL 60174
ZLM 00087	Lake Geneva Manor Association c/o Catherine Green 1615 Lakeshore Dr Lake Geneva, WI 53147
ZLM 00088	Paul N Sepe Susan Y Sepe 16 Lakeview Dr Lake Geneva, WI 53147
ZLM 00089	Marya F Gibbons Trust 211 S Sunnyside Elmhurst, IL 60126
ZLM 00089A	Catherine T Green 1615 Lake Shore Dr Lake Geneva, WI 53147
ZYUP 00094J	James W Owens Jr Trust 497 S Arlington Ave Elmhurst, IL 60126

# City of Lake Geneva Zoning Map

December 10, 2008



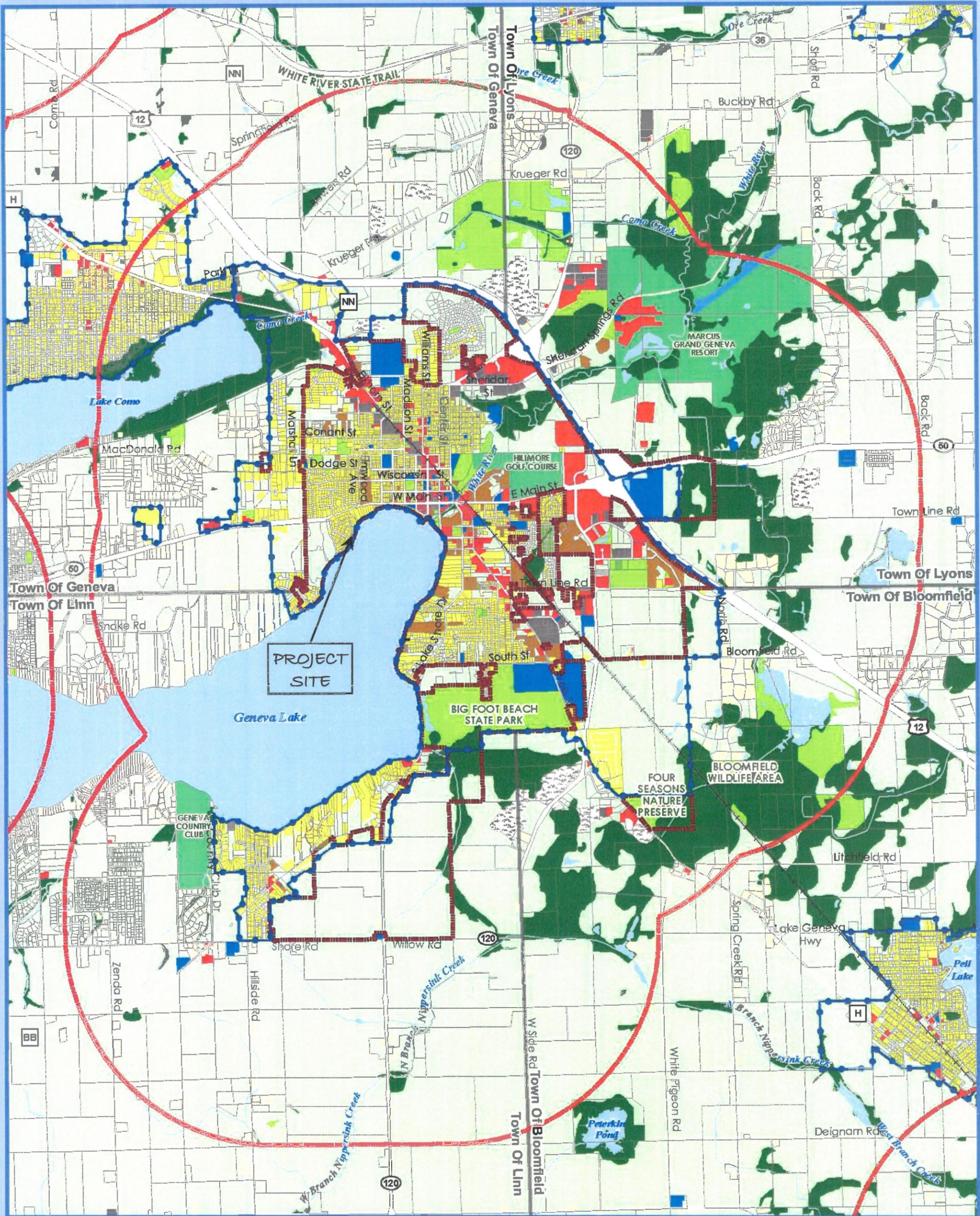
**CRISPELL-SNYDER, INC.**  
PROFESSIONAL CONSULTANTS

PROJECT SITE  
ER-1 ZONING

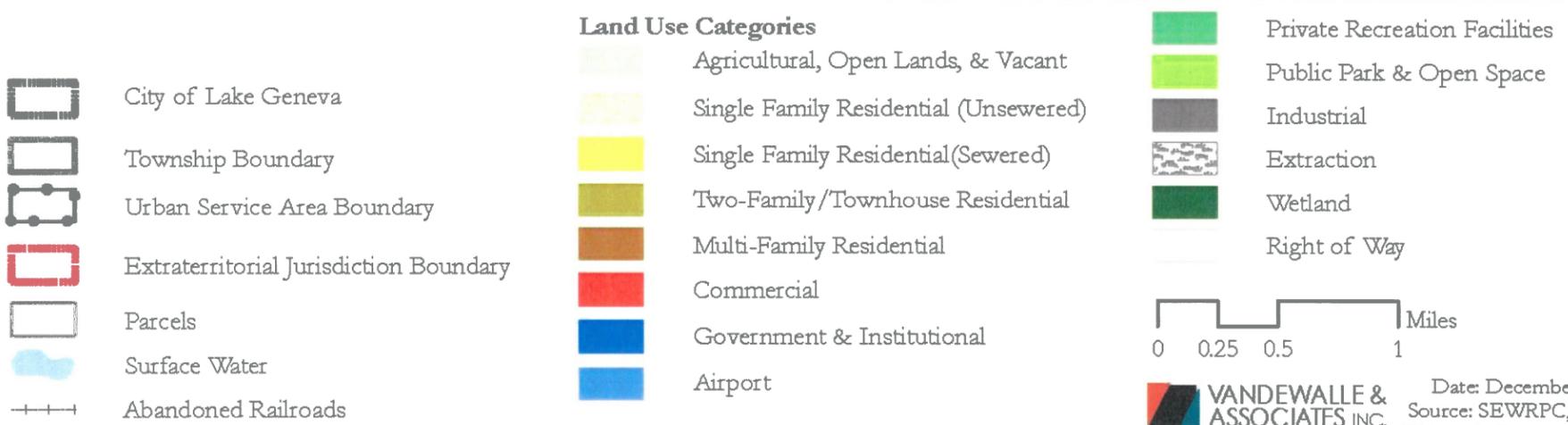
<b>RH</b>	<b>Rural Holding</b> Areas for agricultural uses, agricultural support businesses, schools, parks, churches or very low-density single-family residential at a density of less than one dwelling unit per 35 acres.
<b>CR-5</b>	<b>Country Club Residential - 50%</b> Areas for very low density single-family development at maximum densities of one dwelling unit for every five gross acres, and support institutional uses such as schools, parks, and churches.
<b>ER-1</b>	<b>ER-1 Residential-1</b> Areas for low density single-family development at maximum densities of one dwelling unit per acre, and support institutional uses such as schools, parks, and churches.
<b>SR-3</b>	<b>Single-Family Residential-3</b> Areas for moderate density single-family development at maximum densities of three dwelling units per acre, and support institutional uses such as schools, parks, and churches.
<b>SR-4</b>	<b>Single-Family Residential-4</b> Areas for moderate density single-family development at maximum densities of four dwelling units per acre, and support institutional uses such as schools, parks, and churches.
<b>PD</b>	<b>Planned Development</b> Areas approved for planned development zoning unique to the subject property.
<b>TR-6</b>	<b>Two-Family Residential-6</b> Areas for single-family detached and two-family residential development at densities up to six dwelling units per acre, and support institutional uses such as schools, parks, and churches.
<b>MR-8</b>	<b>Two-Family Residential-8</b> Areas for mixed single-family detached and two-family residential development at densities up to eight dwelling units per acre and support institutional uses.
<b>C-2</b>	<b>Resource Conservation</b> Areas for fishing, boater overflow and storage, pedestrian trail, preservation of scenic, historic and scientific areas, soil and water conservation, stream bank and shoreline protection, water retention ponds, and wildlife areas.
<b>NO</b>	<b>Neighborhood Office</b> Areas for high-quality office and office-support commercial uses in older, transitioning residential areas of the community. Residential qualities set an sensitive, high quality character.
<b>PO</b>	<b>Planned Office</b> Areas for office and office-support commercial and service uses. Generous landscaping and limited signage set an attractive, high quality character.
<b>NB</b>	<b>Neighborhood Business</b> Areas for small scale, neighborhood-oriented service and retail uses, which will not spread into adjacent residential areas. (Generous landscaping and limited signage)
<b>PB</b>	<b>Planned Business</b> Newly developing areas for a full complement of commercial, office, and institutional uses. (Generous landscaping and limited signage)
<b>GB</b>	<b>General Business</b> Existing areas for a full complement of commercial, office, and institutional uses. (Moderate amounts of landscaping and signage)
<b>CB</b>	<b>Central Business</b> Areas for a full complement of downtown and high density neighborhood character commercial, office, and institutional uses. (Moderate - limited landscaping and signage)
<b>PI</b>	<b>Special Industrial</b> Areas for a full complement of light office, manufacturing, assembly and storage uses. Clean over landscaping and limited signage set an attractive, high-quality character.
<b>GI</b>	<b>General Industrial</b> Areas for a full complement of light and heavy industrial land uses, and carefully controlled outdoor storage uses. Moderate amounts of landscaping and signage set an attractive character.
<b>HI</b>	<b>Heavy Industrial</b> Areas for primarily outdoor and/or heavy industrial production, storage, extraction and disposal uses.
<b>PBP</b>	<b>Planned Business Park</b> Areas approved for planned development zoning unique to the subject property.

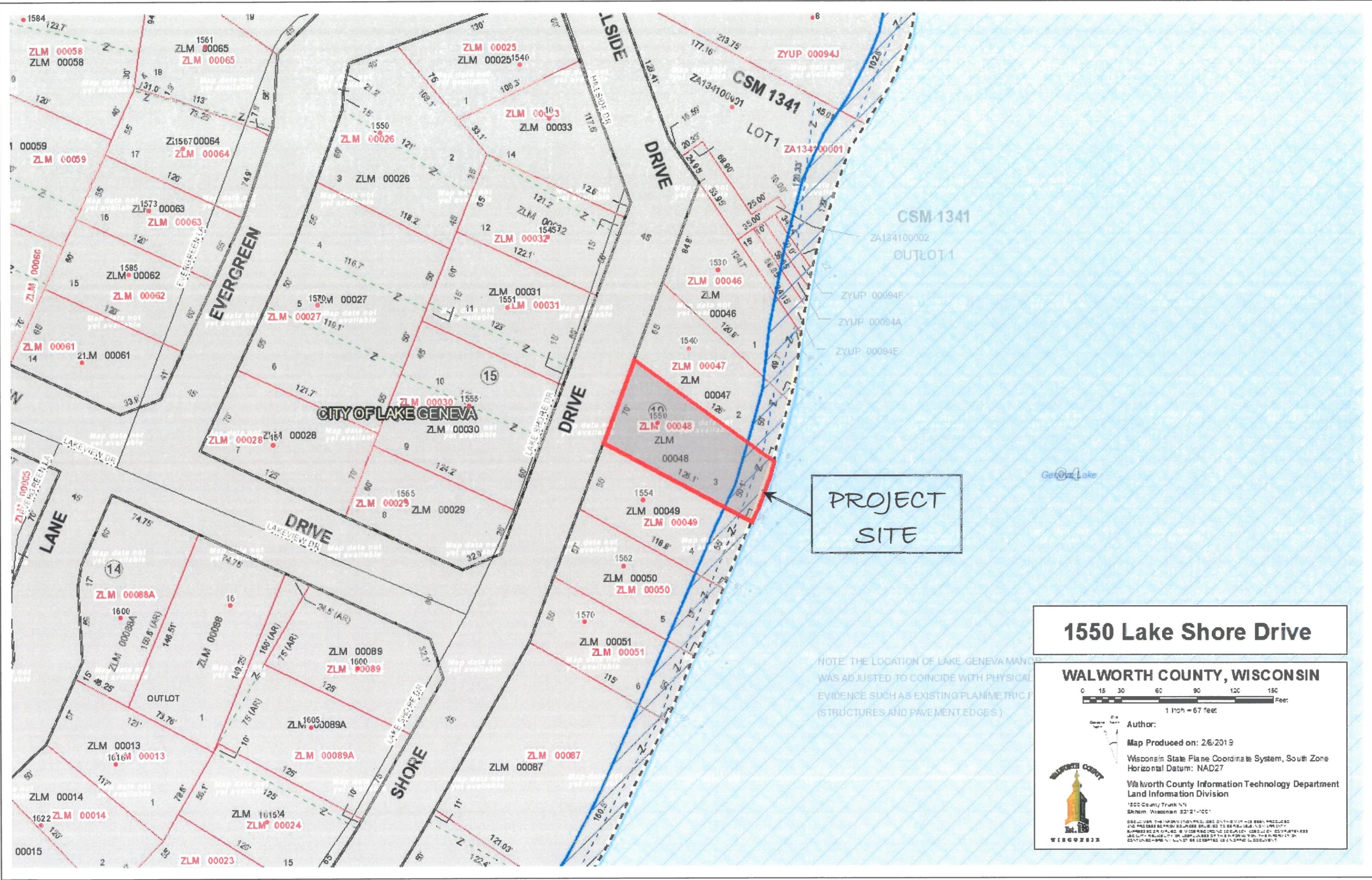
  

	Primary Environmental Corridor		City Boundary
	Woodlands Overlay		Downtown Design Review
	Lakeshore Overlay		Drainage Way
			Slopes (12% or greater)
			Shorelines, Ponds and Streams



**Map 4: Existing Land Use - City of Lake Geneva Comprehensive Plan**





PROJECT SITE

# 1550 Lake Shore Drive

**WALWORTH COUNTY, WISCONSIN**

0 15 30 60 90 120 150 Feet  
1 inch = 67 feet

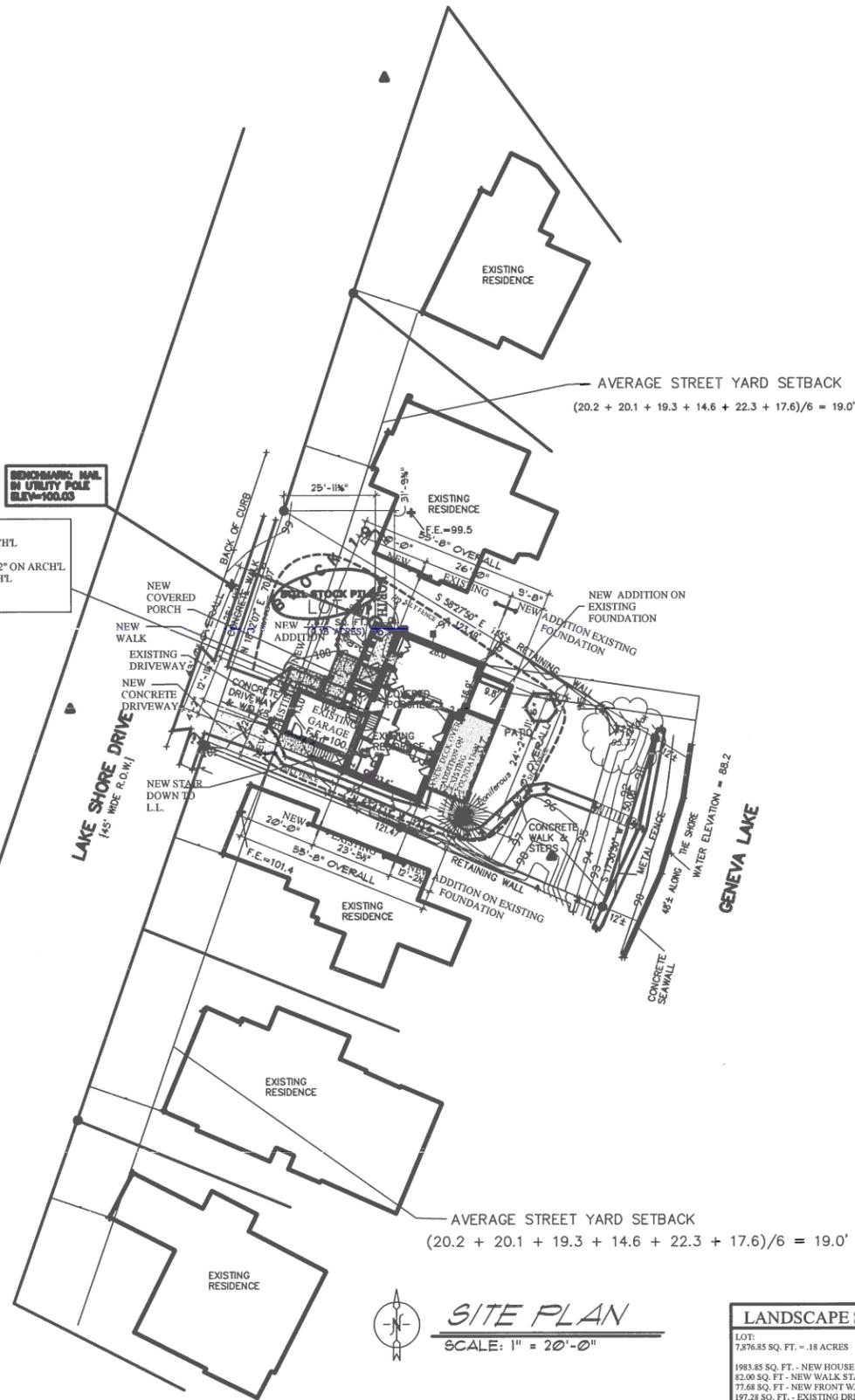
Author:  
Map Produced on: 2/6/2019  
Wisconsin State Plane Coordinate System, South Zone  
Horizontal Datum: NAD27  
Walworth County Information Technology Department  
Land Information Division  
1500 County Trunk N N  
Skaneateles, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROVIDED AS PROVIDED AND SHOULD BE USED AS A GENERAL REFERENCE ONLY. WALWORTH COUNTY DOES NOT WARRANT THE ACCURACY, RELIABILITY, OR USEFULNESS OF THE INFORMATION. THE USER'S SOLE RESPONSIBILITY IS TO VERIFY THE INFORMATION FOR ACCURACY AND USE AS APPROPRIATE.

NOTE: THE LOCATION OF LAKE GENEVA MANOR WAS ADJUSTED TO COINCIDE WITH PHYSICAL EVIDENCE SUCH AS EXISTING PLANIMETRIC (STRUCTURES AND PAVEMENT EDGES.)

**PROPOSED FLOOR LEVELS:**  
 EXISTING FIRST FLOOR: 105.175' = 100'-0" ON ARCH'L  
 T/ FOUNDATION @ : 103.821' = 98'-7 3/4"  
 EXISTING GARAGE FLOOR @ DR: 100.3' = 95'-1 1/2" ON ARCH'L  
 EXISTING LOWER LEVEL: 95.175' = 90'-0" ON ARCH'L  
 NEW FRONT PORCH: 104.595' = 99'-5"  
 NEW REAR DECK: 105.008' = 99'-10"

**BENCHMARKS MARK IN UTILITY POLE**  
 ELEV = 100.03



- LEGEND**
- FOUND IRON REBAR STAKE
  - ⊗ FOUND CONCRETE COUNTY MONUMENT W/IRREAS CAP
  - ⊕ LOCATED HP. GA8
  - ⊕ 12" X 3/4" SOLID STEEL PIN SET
  - RECORDED AS
  - HYD = PROPOSED HYDRANT 1/2" ALX. VALVE & BOX
  - G.V. = PROPOSED 8" GATE VALVE & BOX
  - C.V. = PROPOSED CURB VALVE
  - C.A. = PROPOSED CLEAN OUT WITH FROST BLEEVE
  - F.F. = PROPOSED FIRST FLOOR ELEVATION
  - G.E. = PROPOSED GARAGE ENTRY ELEVATION
  - W.O. = PROPOSED WALK OUT ELEVATION
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - ⊗ EXISTING TREE TO BE REMOVED
  - \* PROPOSED POST LIGHT

NOTE: ALL EARTHWORK SHALL BE IN GENERAL ACCORDANCE WITH THE STATE OF WI. STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND SITE

NOTE: ALL SANITARY SEWER, STORM SEWER AND WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

NOTE: UNLESS OTHERWISE NOTED ON THE PLAN, ALL SANITARY SEWER, STORM SEWER, WATER MAINS, ELECTRIC SERVICES, MANHOLES, CATCH BASINS, ETC. REPRESENT PROPOSED CONSTRUCTION.

NOTE: A DOUBLE RING OF 81T FENCE SHALL BE INSTALLED AROUND ALL MANHOLES AND CATCH BASIN INLETS.

NOTE: ALL STORM SEWER TO BE ADS N-12 GASKETED PIPE, ALL WATER MAIN TO BE C-90P PVC, AND SANITARY SEWER TO BE SDR-35 PVC. ALL WATER SERVICES SHALL BE 1/2" TYPE 'K' COPPER, 4/16" SANITARY SEWER LATERALS AS NOTED (TYP.)

NOTE: ALL PAVED SURFACES SHALL CONSIST OF 8" COMPACTED CRUSHED AGGREGATE BASE MATERIAL IN TWO LIFTS, WITH 3" OF BITUMINOUS CONCRETE PAVEMENT PLACED IN TWO LIFTS 1 3/4" BINDER, 1 1/4" SURFACE.

NOTE: TOPSOIL STOCK PILES WILL BE DETERMINED BY THE ENGINEER AT TIME OF CONSTRUCTION.

TOP CURB = 4" THAN CL

**GENERAL NOTES:**

- DO NOT SCALE PLANS.
- CONTRACTORS AND TRADES SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS ON THE JOB AS THEY RELATE TO INFORMATION SHOWN ON THE DRAWINGS, AND SHALL IMMEDIATELY NOTIFY G.C. OF ANY ERRORS OR DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR SHALL BE RESPONSIBLE FOR SAME.
- ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES AND ORDINANCES AND REGULATIONS.
- EXTERIOR DIMENSIONS SHOWN ON PLANS ARE REFERENCED TO THE EXTERIOR FACE OF FOUNDATIONS, EXTERIOR FACE OF MASONRY, AND EXTERIOR FACE OF STUDS AT THE FRAME WALLS. NOTE THAT WALL SHEATHING AT FRAME WALLS WILL EXTEND BEYOND THE EXTERIOR FACE OF FOUNDATION. REFER TO WALL SECTIONS.

THE PROJECT IS BEING BUILT WITHIN AN ESTABLISHED NEIGHBORHOOD, WITH NEIGHBORS LIVING ON ONE OR MORE ADJACENT SIDES. AS SUCH THE FOLLOWING REQUIREMENTS MUST BE ADHERED TO BY THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS.

- NO DRIVING THROUGH ROADWAY DITCH ALLOWED.
- NO PARKING OR STORAGE OF MATERIALS ON NEIGHBORS PROPERTY
- NO ON-STREET PARKING IN FRONT OF NEIGHBORS HOMES ALLOWED
- JOB SITE MUST BE KEPT CLEAN
- ALL TRASH AND DEBRIS MUST BE CONTAINED IN DUMPSTERS
- NO USE OF NEIGHBORS WATER OR ELECTRICITY ALLOWED

THE SITE PLAN CONTAINED IN THIS SET OF DRAWINGS SHALL BE CONSIDERED SCHEMATIC ONLY, AND WILL IN FACT BE USED TO COMMENCE THE ARCHITECTURAL APPROVAL AND SITE ENGINEERING PHASES OF THE WORK ONLY.

REFER TO THE SITE ENGINEERING DRAWING AS PREPARED FOR THE OWNER BY A LICENSED ENGINEER FOR MORE EXACT INFORMATION CONCERNING:

- PRECISE BUILDING LOCATION
- TOP OF FOUNDATION ELEVATIONS AND BENCHMARKS
- NORMAL AND HIGH WATER LEVELS
- FINISH GRADING AND CONTOURS
- EROSION CONTROL PROVISIONS
- SEWER AND WATER CONNECTIONS

THE SITE ENGINEERING DRAWING SHALL CONSTITUTE THE OFFICIAL SITE PLAN FOR THIS PROJECT IN THE EYES OF THE MUNICIPALITY HAVING JURISDICTION AND SHALL CONTROL ALL CONDITIONS LISTED ABOVE.

**UTILITY NOTE:**  
 THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY NOTIFICATION LOCATING SERVICE (DIGGERS HOT-LINE) AT LEAST 48 HOURS BEFORE COMMENCING ANY DIGGING WORK IN AREAS WITH UNDERGROUND UTILITY FACILITIES SO THAT ALL NECESSARY ON-SITE STAKING OR MARKINGS CAN BE ACCOMPLISHED.

**SITE PLAN INFORMATION:**  
 THE SITE PLAN PRESENTS A COMBINATION OF INFORMATION WITH ALL SITE RELATED INFORMATION COMING FROM THE SITE AND GRADING PLAN PREPARED BY FABRIS, HANSEN AND ASSOCIATES, INC. AND DATED 11-25-18 WITH ALL HOUSE RELATED INFORMATION BEING SUPERIMPOSED UPON IT BY LOWELL MANAGEMENT.

COMPARE ALL SURVEY POINTS WITH ONE ANOTHER BEFORE CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY.

DISTANCES SHOWN HEREIN ARE IN FEET AND DECIMAL PARTS THEREOF AND NO DISTANCES OR ANGLES SHOWN HEREIN MAY BE ASSUMED BY SCALING.

INFORMATION CONTAINED HEREIN HAS BEEN OBTAINED FROM THE OWNER OF THE PROPERTY OR FROM OTHER SOURCES THAT WE DEEM RELIABLE. WE HAVE NO REASON TO DOUBT ITS ACCURACY, BUT WE DO NOT GUARANTEE IT.

**SITE NOTES:**

- ALL TREES AND SHRUBBERY OUTSIDE OF 10' (TEN) PERIMETER OF THE BUILDING STRUCTURE SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES, UNLESS OTHERWISE DIRECTED. WITHIN THE CROWN LINE OF ANY TREES TO REMAIN, DO NOT STORE ANY MATERIALS, STOCKPILE SOIL, PARK OR DRIVE VEHICLES OR EQUIPMENT, CHANGE EXISTING GRADE, WATER LEVEL OR DRAINAGE PATTERNS, UNLESS SPECIFICALLY PERMITTED TO DO SO BY LOWELL MANAGEMENT. DAMAGED TREES SHALL BE REPLACED BY NEGLIGENT PARTY WITH STOCK OF EQUAL SIZE OR VALUE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS. VERIFY GRADES AND RELATIVE FLOOR LEVELS IN FIELD PRIOR TO EXCAVATION AND MAKE ADJUSTMENTS AS REQUIRED TO ENSURE PROPER DRAINAGE.

**SURVEY INFORMATION:**  
 AFTER THE FOUNDATION HAS BEEN POURED THE LOCATION TO BE LOCATED AND DRAWN BY A LICENSED WISCONSIN LAND SURVEYOR

**SHEET INDEX**

NO.	DESCRIPTION
0-1	OVERALL SITE PLAN BUILDING SITE/ NOTES & LEGENDS
AB-1	AS-BUILT PLANS
AB-2	AS-BUILT ELEVATIONS
AB-3	AS-BUILT ELECTRICAL PLANS
D-1	DEMOS PLANS
A-1	FOUNDATION PLAN/ NOTES
A-2	LOWER LEVEL PLAN/ NOTES/ 1ST FLOOR FRAMING/ FIRST FLOOR PLAN/ CEILING & 2ND FLOOR FRAMING/ NOTES/ LEGENDS
A-3	SECOND FLOOR PLAN/ NOTES/ LEGENDS
A-4	ROOF PLAN/ FRAMING/ 1800 BRACING PLAN/ NOTES/ LEGENDS
A-5	ELEVATION
A-6	WALL DETAILS
ME-1	LOWER LEVEL, FIRST & SECOND FLOOR ELECTRICAL PLAN/ ELEC. & PLUMBING NOTES & LEGENDS

**LANDSCAPE SURFACE RATIO**

LOT:	7,876.85 SQ. FT. = .18 ACRES
1983.85 SQ. FT. - NEW HOUSE WITH GARAGE, REAR DECK, FRONT PORCH	
82.00 SQ. FT. - NEW WALK STAIR BY GARAGE	
77.68 SQ. FT. - NEW FRONT WALKWAY	
197.23 SQ. FT. - EXISTING DRIVEWAY	
228.88 SQ. FT. - NEW DRIVEWAY	
345.88 SQ. FT. - WALK AND STAIR TO LAKE	
52.21 SQ. FT. - PATIO	
100.5 SQ. FT. - EXISTING SHORELINE PATH	
TOTAL RATIO 3068.28 / 7,876.85 = .3895	
MINIMUM LANDSCAPE SURFACE RATIO (LSR) BEYOND 50%	
PROPOSED LANDSCAPE RATIO (LSR) 61.05% (GREENSPACE)	

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**SITE PLAN**  
 SCALE: 1" = 20'-0"

**LOWELL MANAGEMENT, INC.**  
 CUSTOM HOMES - ARCHITECTURAL SERVICES - LAND DEVELOPMENT  
 P.O. BOX 926 LAKE GENEVA, WI 53147  
 PH - (262) 245-9030 FAX - (262) 245-0868  
 WWW.LOWELLMANAGEMENT.COM



**the PECORA RESIDENCE**  
 1550 LAKE SHORE DRIVE  
 GENEVA MANOR LAKE GENEVA, WI 53147

APPROVAL SET	02-08-19
PROJECT NUMBER	0000
DATE	02-08-19
<b>S-1</b>	



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**NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"

**the PECORA RESIDENCE**  
 1550 LAKE SHORE DRIVE  
 GENEVA MANOR LAKE GENEVA, WI 53147

APPROVAL SET 02/08/19
PROJECT NUMBER 0000
DATE 02-08-19
<b>AB-2</b>

**STRUCTURAL STEEL NOTES:**

1. THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, LATEST EDITION FOR A-36 STEEL.

2. ALL STEEL SHALL BE SHOP PRIMED WITH RUST-INHIBITIVE PAINT.

**CONCRETE REINFORCING STEEL:**

1. REINFORCING STEEL FOR POURED-IN-PLACE CONCRETE SHALL BE ASTM A601 GRADE 40 FOR #5 AND #4 BARS, AND GRADE 60 FOR #5 BARS AND LARGER.

2. ALL WELDED WIRE REINFORCING MESH SHALL BE ASTM A-95.

3. REINFORCING STEEL SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH THE A.C.I. MANUAL OF STANDARD PRACTICE UNLESS OTHERWISE NOTED.

4. LAP ALL SPLICES 30 DIAMETERS. LAP WELDED WIRE MESH 6".

5. PROVIDE 3'-0" X 3'-0" CORNER BARS OF THE SAME SIZE AND NUMBER AS THE EXISTING HORIZONTAL WALL REINFORCING UNLESS OTHERWISE DETAILED.

6. PROVIDE FOR EACH LAYER OF WALL OR SLAB STEEL, TWO (2) #5 BARS DIAGONALLY AT ALL CORNERS UNLESS OTHERWISE SPECIFIED.

7. WHEREVER AN APPROVED PIPE OR CONDUIT EXTENDS THROUGH A BEAM, PROVIDE ONE ADDITIONAL #10W#1P ON EACH SIDE OF THE OPENING.

8. CONCRETE PROTECTION FOR REINFORCING BARS TO BE AS FOLLOWS:

FOOTINGS 3"  
SLABS 1 BARS 3/4"

**STEEL BEAMS AND COLUMNS:**

1. FABRICATION AND ERECTION OF STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO THE AISC CODE OF STANDARD PRACTICE UNLESS OTHERWISE DETAILED.

2. ALL WELDING SHALL COMPLY WITH THE AISC STRUCTURAL WELDING CODE. ALL FIELD WELDING TO BE DONE BY AISC FIRE QUALIFIED WELDERS, CERTIFIED FOR WELDS MADE.

3. COLUMN BASE PLATES WITH OVERSIZE HOLES SHALL HAVE PLATE WELDERS PROVIDED WITH ANCHOR BOLTS.

4. UNLESS OTHERWISE DETAILED, BEAMS SHALL RUN CONTINUOUSLY OVER PIPE COLUMNS.

5. BOLTED CONNECTIONS SHALL BE MADE WITH A-325 HIGH STRENGTH BOLTS. CONNECTIONS SHALL SUPPORT, AS A MINIMUM, ONE-HALF THE TOTAL UNIFORM CAPACITY SHOWN IN THE AISC TABLES OF UNIFORM LOAD CONSTANTS FOR THE GIVEN BEAM SPAN AND STEEL SPECIFICATION UNLESS OTHERWISE DETAILED. BEAM-TO-BEAM AND BEAM-TO-COLUMN FRAMING CONNECTIONS SHALL BE MADE WITH DOUBLE ANGLES UNLESS OTHERWISE DETAILED.

6. WHERE JOISTS ARE WELDED TO SUPPORTING BEAMS, THE MINIMUM WELD SHALL BE 3/8" X 2" EACH SIDE.

7. WHERE BEAMS SUPPORT JOISTS FROM ONLY ONE SIDE, JOIST SEAT SHALL EXTEND ONE (1) INCH (1") BEYOND BEAM CENTERLINE.

**CONCRETE FOUNDATION NOTE:**

1. ALL FOUNDATION WALL THICKNESSES PER PLAN. SEE DETAILS FOR TYP. REINFORCING.

2. ALL FOOTINGS ARE INDICATED BY DASHED LINES. UNLESS NOTED OTHERWISE, ALL FOOTING DEPTHS SHALL MATCH THICKNESS OF FOUNDATION WALL ABOVE, AND SHALL BE TWICE THE WIDTH OF THE FOUNDATION WALL ABOVE. SEE DETAILS FOR SIZE AND TYP. REINFORCING.

T#1 = TOP OF WALL ELEVATION  
B#1 = BRICK LEDGE ELEVATION  
S#1 = STORE LEDGE ELEVATION  
T#0 = TOP OF SLAB ELEVATION

**PLUMBING NOTE:**

PLUMBER TO PROVIDE DOUBLE SHUT-OFF @ MAIN WATER LINE FOR AN APRIL-AIRE CONNECTION BETWEEN SHUT-OFFS.

**TYP. STEEL COLUMN:**

STEEL BEAMS TO BE SUPPORTED BY 3/4" DIA. STEEL COLUMN W/ STL. CAP AND BASE PLATE ON CONC. FOOTING (SEE PLAN FOR SIZE) W/ NO. REIN. AT 8" O.C. EACH WAY, UNO.

REFER TO STEEL COLUMN DETAILS FOR ADDITIONAL INFORMATION.

**INSULATION NOTE (2021):**

- BASEMENT WALL MUST HAVE CONTINUOUS INSULATION (R-19 MIN.) + R-20 MIN. FRAMING CAVITIES.

- HEATED BASEMENT SLAB TO FIN R-19 INSULATION BELOW FINISH SLAB.

- WHEN WHOLE BOTTOM OF LAB IS LOWER THAN FIN. ADJACENT GRADE, SLAB EDGE INSULATION SHALL EXTEND DOWNWARD FROM THE TOP OF THE SLAB FOR A MINIMUM OF 48" OR AT LEAST TO THE BOTTOM OF SLAB + HORIZONTALLY TO THE INTERIOR FOR A MINIMUM OF 48".

**PLUMBING NOTE - RADON REDEMPTION:**

PROVIDE RADON REDEMPTION SYSTEM FROM BELOW CONCRETE SLAB TO VENT THROUGH ROOF.

**CONCRETE AND EARTHWORK:**

1. ASSUMED SOIL BEARING CAPACITY = 3000 PSF - SOIL TYPES GW AND GP (SANDY GRAVEL AND/OR GRAVEL). IF ACTUAL CONDITIONS ARE DIFFERENT (SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL) - TYPES SU, SP, SC, ST, SC, SL, CL, CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT TYPES CL, ML, PH, CH WITH LOWER BEARING CAPACITIES, NOTIFY ARCHITECT IMMEDIATELY.

2. ALL CONCRETE USED FOR FOOTINGS, FOUNDATION WALLS AND SLABS SHALL BE 3000 PSI MIN. AT 28 DAYS.

3. FOOTINGS SHALL BE CAST ON UNDISTURBED SUBSOIL. ALL FOOTINGS SHALL EXTEND A MIN. OF 6" BEYOND THE WALL SUPPORTED ON BOTH SIDES UNLESS NOTED OTHERWISE. IF DESIGN CAPACITY IS NOT ENCOUNTERED AT THE ELEVATIONS SHOWN, FOOTINGS MUST BE LOADED. CONSULT ARCHITECT BEFORE PROCEEDING.

4. NO HOLES, TRENCHES OR DISTURBANCES OF THE SOIL SHALL BE ALLOWED WITHIN THE VOLUME DESCRIBED BY 45 DEGREE LINES SLOPING FROM THE BOTTOM EDGE OF THE FOOTING. IF SUCH ARE REQUIRED, FOOTINGS MUST BE LOADED.

5. TOPSOIL OR UNSUITABLE FILL BELOW SLABS ON GRADE SHALL BE REMOVED. BACK FILL UNDER SLABS AND AGAINST WALLS SHALL BE BANK-RUN GRAVEL. COMPACTED IN 6" LAYERS. SLABS ON GRADE SHALL BE CAST ON AT LEAST 6" OF COMPACTED GRAVEL.

6. SLABS ON GRADE SHALL BE CAST ALLOWING A SUFFICIENT NUMBER OF JOISTS TO ADEQUATELY CONTROL SHRINKAGE CRACKING. SAW CUTTING SHALL BE DONE AS SOON AS SAW CUT WILL NOT TRAVEL CONCRETE OR WITHIN 16 HOURS MAXIMUM OF INITIAL POURING OPERATION. MAXIMUM SIZE OF PANELS 12' X 12'.

7. SLABS ON GRADE SHALL BE THICKNESS AS NOTED ON DRAWINGS AND REINFORCED WITH #4 X 6" X 48" WELDED WIRE MESH OR TIEER MESH, UNLESS OTHERWISE NOTED.

8. ALLOW AT LEAST 24 HOURS BEFORE POURING ADJACENT WALL SECTIONS BETWEEN CONSTRUCTION JOISTS. MAXIMUM LENGTH OF POUR TO BE 40 FEET, UNLESS CRACK INDUCERS ARE USED.

9. DO NOT BACK FILL AGAINST WALLS UNTIL THE STRUCTURAL FLOOR SLAB IS IN PLACE AND WALL IS CURED AT LEAST SEVEN (7) DAYS OR UNTIL THE WALL IS ADEQUATELY BRACED.

10. CONTRACTOR SHALL NOTIFY THE ARCHITECT AT LEAST 24 HOURS PRIOR TO PLACING CONCRETE.

11. DO NOT PLACE OR CUT HOLES IN CONCRETE SLABS, BEAMS, COLUMNS OR WALLS WITHOUT PRIOR APPROVAL OF THE ARCHITECT.

12. EXTERIOR EXPOSED CONCRETE SHALL BE AIR-ENTRAINED. MINIMUM CONTENT SHALL BE SIX PERCENT (6%).

13. PIPES AND CONDUITS EMBEDDED IN OR PASSING THROUGH STRUCTURAL MEMBERS MUST BE APPROVED BY THE ARCHITECT. PIPE AND CONDUITS EMBEDDED IN CONCRETE SHALL NOT BE LARGER IN OUTSIDE DIAMETER AT ITS WIDEST POINT OR FITTING THAN 2" NOR 1/3 OF THE THICKNESS OF THE SLAB, BEAM OR WALL.

14. ELECTRICAL CONDUIT OR PIPES EMBEDDED IN OR PASSING THROUGH FLOORS, WALLS OR BEAMS SHALL BE LOCATED AND PLACED AS FOLLOWS:

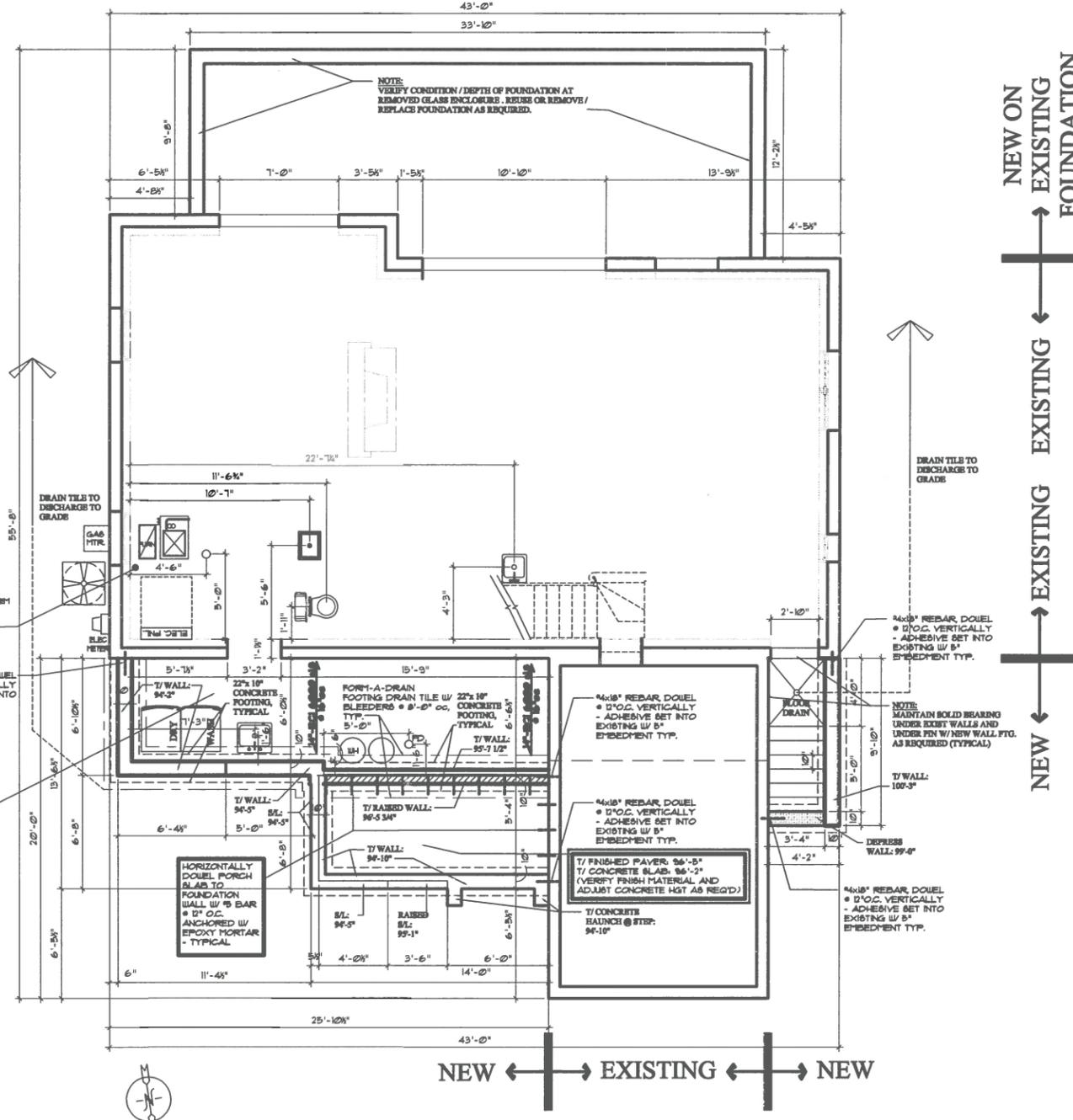
- A. THEY ARE NOT CLOSER THAN 3 DIAMETERS ON CENTER.
- B. THE CONCRETE COVER IS NOT LESS THAN 1".
- C. THEY RUN BETWEEN REINFORCING + DO NOT DISPLACE IT.

**ELECTRIC GROUNDING NOTE:**

BUILDING TO BE GROUNDED BY THE FOLLOWING MEANS OR EQUAL AS PER CODE - NEC 250.52

- AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE, LOCATED WITHIN AND NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20' OF ONE OR MORE BARS OR ZINC COATED REINFORCING BARS OR RODS OF NOT LESS THAN 1/2" DIA. OR CONSISTING OF AT LEAST 20' OF BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG.

REINFORCING BARS SHALL BE PERMITTED TO BE BONDED TOGETHER BY THE USUAL STEEL WIRES OR OTHER EFFECTIVE MEANS.





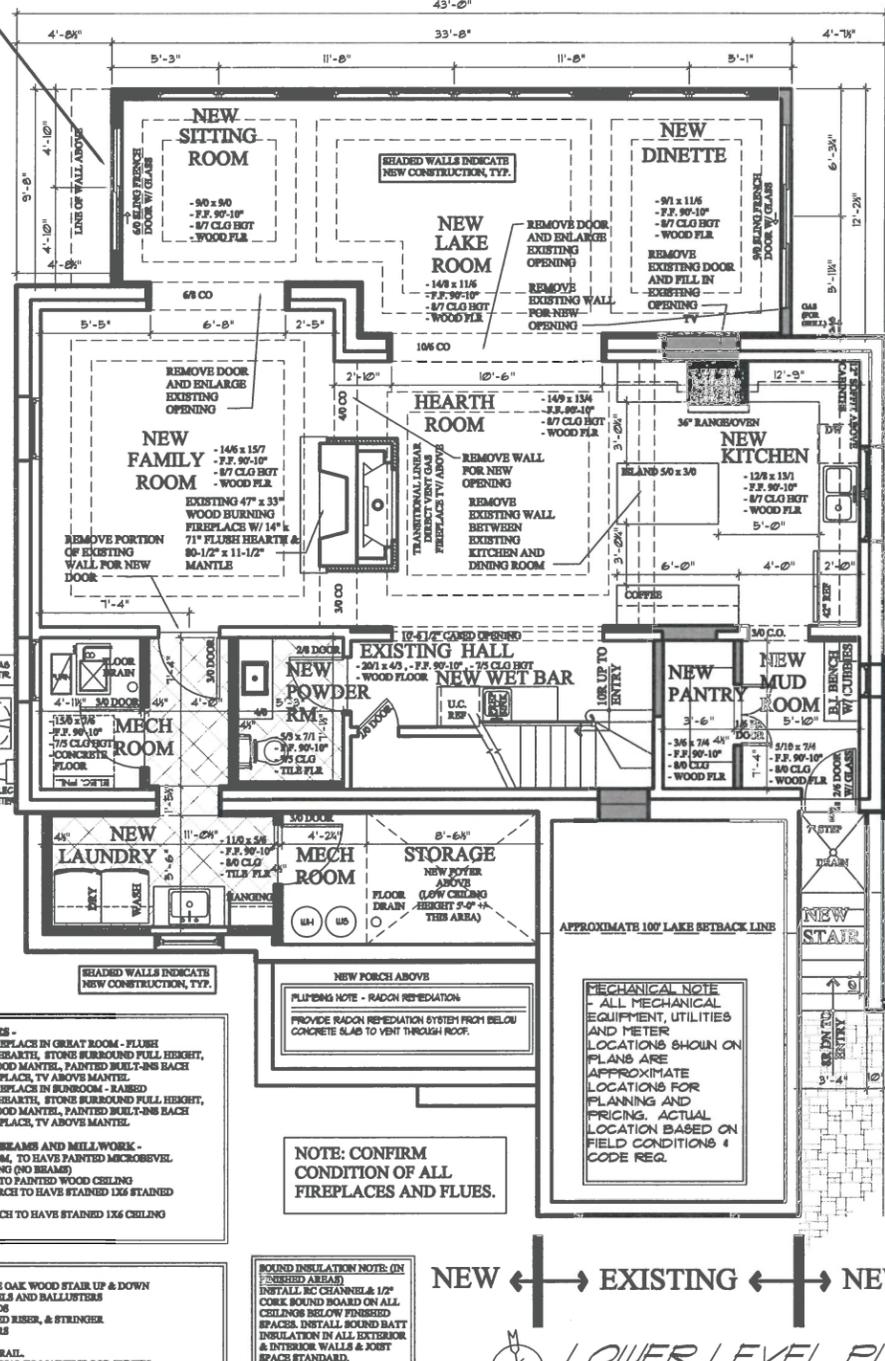
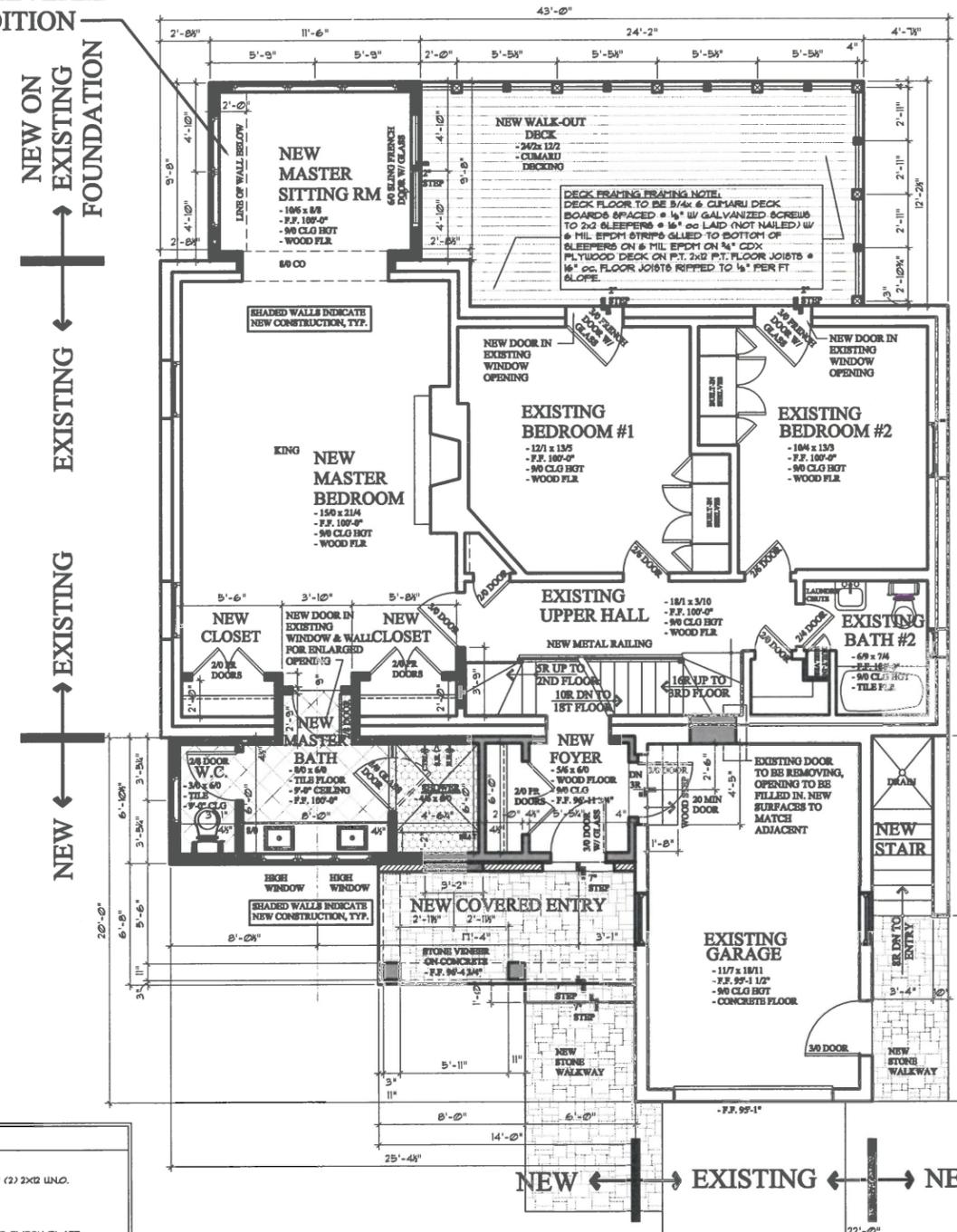
NEW 2'-0"  
CANTILEVERED  
ADDITION

NEW 2'-0"  
CANTILEVERED  
ADDITION  
ABOVE

NEW ON EXISTING FOUNDATION  
 EXISTING FOUNDATION  
 NEW ON EXISTING FOUNDATION

NEW ON EXISTING FOUNDATION  
 EXISTING FOUNDATION  
 NEW ON EXISTING FOUNDATION

NEW ON EXISTING FOUNDATION  
 EXISTING FOUNDATION  
 NEW ON EXISTING FOUNDATION



**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**LOWER LEVEL PLAN**  
 SCALE: 1/4" = 1'-0"

**FRAMING LEGEND**

**BEAMS**

ALL HEADERS TO BE A MIN. OF (2) 2X12 UNDO.

B-1 2 - 2x8  
 B-2 2 - 2x10  
 B-3 2 - 2x12  
 B-4 2 - 2x12 w/ 1/2" PLYWOOD FLITCH PLATE  
 B-5 2 - 2x12 w/ 1/2" STEEL FLITCH PLATE THRU-BOLTED 24" O.C. STAGGERED  
 B-6 3 - 2x12  
 M-1 2 - 1 3/4" x 3 1/2" MICROLAM LVL  
 M-2 3 - 1 3/4" x 3 1/2" MICROLAM LVL  
 M-3 2 - 1 3/4" x 11 7/8" MICROLAM LVL  
 M-4 3 - 1 3/4" x 11 7/8" MICROLAM LVL  
 M-5 2 - 1 3/4" x 14" MICROLAM LVL  
 M-6 3 - 1 3/4" x 14" MICROLAM LVL  
 M-7 4 - 1 3/4" x 14" MICROLAM LVL

**LINTELS**

ALL MASONRY LINTELS FOR SPANS UP TO 6'-0" SHALL CONSIST OF ONE 4"x14"x14" ANGLE BEARING A MIN. OF 6" ON ADJACENT MASONRY UNDO. SEE PLAN FOR SPAN OVER 6'-0", OR CONSULT ARCHITECT.

L-1 4x4x14" STEEL ANGLE LOOSE LINTEL  
 L-2 6x4x14" STEEL ANGLE LOOSE LINTEL (LLV)  
 L-3 6x4x36" STEEL ANGLE LOOSE LINTEL (LLV)

**COLUMNS / POINT LOADS**

■ 3 - 2x4 COLUMN UNLESS NOTED OTHERWISE  
 ■ 3 - 2x6 COLUMN UNDO, EXTERIOR WALL  
 □ POINT LOAD FROM ABOVE. SEE PLAN.  
 □ POINT LOAD FROM ABOVE. SEE PLAN.

**TYPICAL PLAN NOTE:**

- SEE SHEET B1 FOR GENERAL PLAN NOTES
- SEE SHEET ME-1 FOR ELECTRICAL LEGEND, ELECTRICAL SCHEDULE, AND NOTES.
- SEE SHEET A2 FOR FRAMING NOTES & LEGEND.
- TYPICAL INTERIOR PARTITION - 2x4 STUDS w/ 1/2" GYP BD EACH SIDE EXCEPT AT NEW BATHROOM WALLS WHERE 1/2" WATER RESISTANT GYP BD IS TO BE USED. OTHER STUD WALLS AS DIMENSIONED.
- TYPICAL EXTERIOR PARTITION - 2x6 STUDS w/ 1/2" GYP BD INTERIOR SIDE w/ 1/4" SHEATHING PER DETAILS. EXTERIOR FINISH PER ELEV'S & DETAILS.
- ALL DIMENSIONS ARE TO EXTERIOR FACE OF MASONRY, SHEATHING, OR CONC FDN WALL, UNDO.
- PROVIDE SOUND BATT INSULATION AT ALL FLOORS, WALLS AND CEILING OF LIVING SPACES.

**PLUMBING NOTE:**  
 PLUMBING FIXTURES TO BE POLISHED CHROME HIGH LEVEL KOHLER (TYPICAL)  
 POLISHED CHROME HARDWARE  
 POLISHED CHROME FIXTURES

**TOILETS:** TOTO, WHITE

**CABINETS AND COUNTERS NOTE:**  
 - FINAL CABINETS, FINISHES AND COUNTERS PER GCC PLANS  
 - PAINTED CABINETS THROUGH-OUT  
 - KITCHEN CABINETS, PAINTED WHITE WITH INSET DOORS  
 - SOFT CLOSE HARDWARE  
 - FULL-OVER HOLDING DRAWERS  
 - POLISHED CHROME HARDWARE IN KITCHEN  
 - CROWN TO MATCH CABINETS  
 - TILE BACKSPLASH IN KITCHEN  
 - QUARTZ COUNTERTOPS THROUGH-OUT

**INTERIOR DOOR NOTE:**  
 - ALL INTERIOR DOORS 1 3/4" THICK DOORS, 2 PANEL PAINTED DOORS, ALL FLOORS  
 - 80 DOORS ON FIRST FLOOR  
 - 70 DOORS ON 2ND FLOOR, AND LOWER LEVEL  
 - ALL DOORS & CASED OPENINGS TO BE 80 ON FIRST FLOOR AND 70 ON 2ND FLOOR AND LL, PAINTED JAMBES  
 - MTSE HARDWARE, OGD ENDS

**SQUARE FOOTAGE TABULATION**

LOWER LEVEL:	1254 SF EXISTING	+ 150 SF = 1404 SF
FIRST FLOOR:	967 SF EXISTING	+ 297 SF = 1264 S.F.
SECOND FLOOR:	666 SF EXISTING	+ 42 SF = 708 ST
<b>TOTAL:</b>	<b>2,887 SF EXISTING</b>	<b>+ 489 SF = 3,376 TOTAL</b>

**FIREPLACES -**  
 - 42" MFG FIREPLACE IN GREAT ROOM - FLUKE LIMESTONE HEARTH, STONE SURROUND FULL HEIGHT, STAINED WOOD MANTLE, PAINTED BUILT-IN EACH SIDE OF FIREPLACE, TV ABOVE MANTLE.  
 - 42" MFG FIREPLACE IN BUNROOM - RAISED LIMESTONE HEARTH, STONE SURROUND FULL HEIGHT, STAINED WOOD MANTLE, PAINTED BUILT-IN EACH SIDE OF FIREPLACE, TV ABOVE MANTLE.

**CEILING, BEAMS AND MILL WORK -**  
 - GREAT ROOM, TO HAVE PAINTED MICROSEVEL WOOD CEILING (NO BEAMS)  
 - BUNROOM, TO PAINTED WOOD CEILING  
 - SCREEN PORCHES TO HAVE STAINED 1X6 STAINED CEILING  
 - ENTRY PORCH TO HAVE STAINED 1X6 CEILING

**STAIR NOTE:**  
 STAIRS - STAINED WHITE OAK WOOD STAIR UP & DOWN PAINTED NEWELS AND BALLUSTERS STAINED TREADS PAINTED CLOSED RISER, & STRINGER STAINED HANDRAIL STAINED MATERIAL TO MATCH FLOOR SPECIES.

**BOUND INSULATION NOTE: (ON FINISHED AREAS)**  
 - INSTALL R13 CEILING & 1/2" CORK SOUND BOARD ON ALL CEILING BELOW FINISHED SPACES. INSTALL SOUND BATT INSULATION IN ALL EXTERIOR & INTERIOR WALLS & JOIST SPACES STANDARD.

**APPLIANCE NOTE:**  
 KITCHEN: BUBBERZ / WOLF PACKAGE  
 36" RANGE BOOD  
 36" REFRIGERATOR DREWASER MICROWAVE  
 LAUNDRY: FULL SIZE W/D ON MAIN FLOOR

**MECHANICAL NOTE**  
 - ALL MECHANICAL EQUIPMENT, UTILITIES AND METER LOCATIONS SHOWN ON PLANS ARE APPROXIMATE LOCATIONS FOR PLANNING AND PRICING. ACTUAL LOCATION BASED ON FIELD CONDITIONS & CODE REQ.

**NOTE: CONFIRM CONDITION OF ALL FIREPLACES AND FLUES.**

**FLUING NOTE - RADON REDEMATION:**  
 PROVIDE RADON REDEMATION SYSTEM FROM BELOW CONCRETE SLAB TO VENT THROUGH ROOF.

**SQUARE FOOTAGE NOTE:**  
 1512 SQUARE FEET OF BUILDING BETWEEN THE 100' LAKE SETBACK LINE TO THE LINE OF THE EXISTING HOUSE, LAKESIDE

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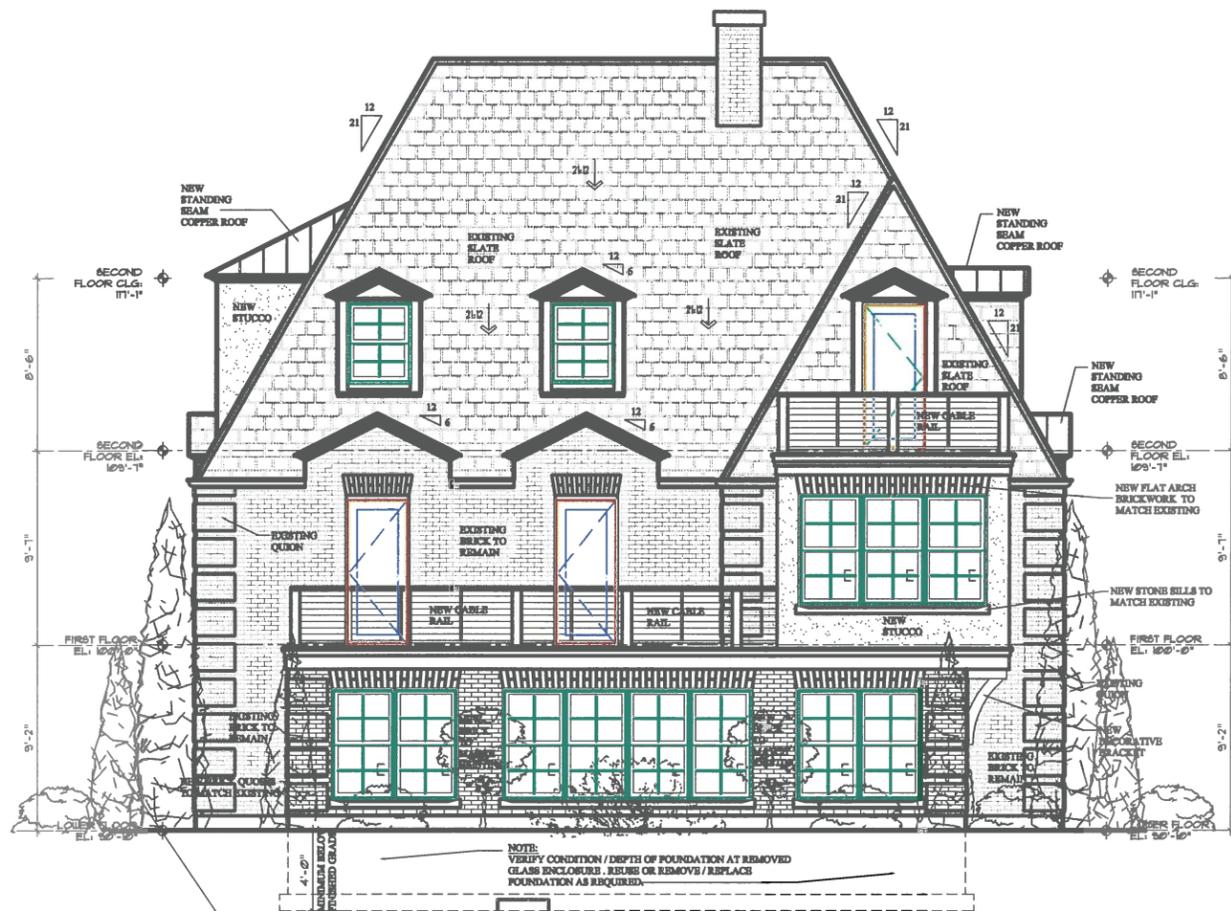
**EXTERIOR WINDOW & DOOR NOTE:**  
ALL WINDOWS AND FRENCH DOORS SHALL BE PELLA WINDOW AND DOOR COMPANY OR MARVIN INTEGRITY WOOD ULTREX CASSEMENT WINDOWS, AND SLIDING AND HINGED FRENCH DOORS TO BE ALUMINUM CLAD, 1/2" LOW E INSULATING GLASS, ARGON FILLED, 3/4" SNAP-IN GRILLES, PER PLAN. STANDARD HARDWARE & FINISH TO BE SELECTED BY OWNER, UNLESS OTHERWISE NOTED. SCREENS TO BE FULL SIZE BLACK VINYL COATED MESH FIBERGLASS CLOTH IN PAINTED ALUMINUM FRAMES. STANDARD COLOR TO BE SELECTED.

ALL GLAZING IN WINDOW AND DOOR UNITS SHALL COMPLY WITH CPSC 16 CFR 1201 "SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS", AND OTHER CODES AS APPLICABLE. PROVIDE TEMPERED GLASS WHERE SO REQUIRED.

**WINDOW FRAMING NOTE:**  
TOP OF WINDOW R.O. TO MATCH TOP OF EXTERIOR FRENCH DOOR R.O.  
- 6'-10 1/4" OR 8'-0 1/4"  
VERIFY W/ DOOR & WINDOW MANUFACTURER

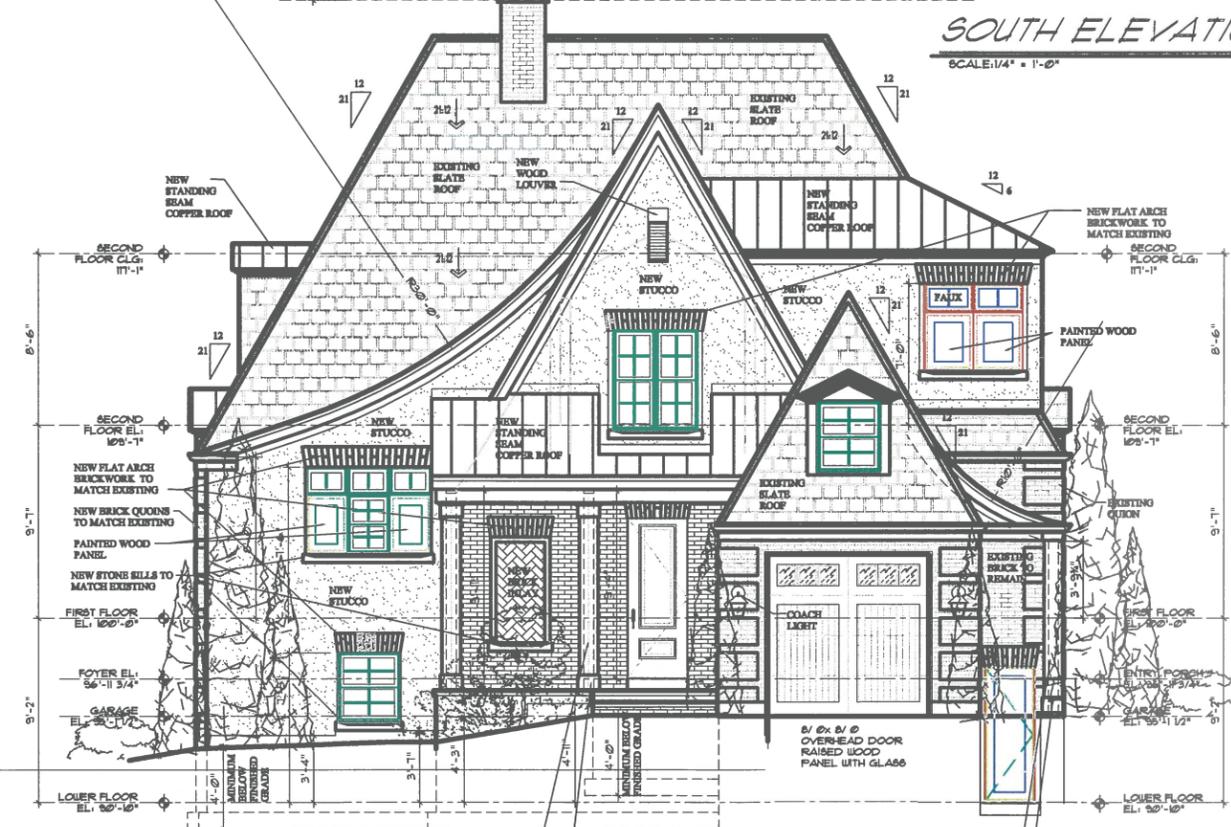
**EXTERIOR FINISH NOTE:**  
- WINDOWS & DOORS & SIDING  
- WINDOW CASING: BRICK TO MATCH EXISTING, BRICK LINTELS TO MATCH EXISTING.  
- STUCCO PER PLAN, W/ DECORATIVE BRICK BANDS PER PLAN  
- LIMESTONE SILLS & BRICK LINTELS, MATCH EXISTING  
- STAINED FRONT ENTRY DOOR  
- TRIM 5/4x6 WINDSORNE FRIEZE TRIM & GABLES, 5/4x6 WINDSORNE FRIEZE BOARD & TOP OF WALL UNDER BOFFIT, 1/2 ON 1/2 WINDSORNE FASCIA, 3/4" PLYWOOD BOFFIT W/ CONT. VENT  
- STAINED 1/2" TAG WOOD CEILING & FRONT ENTRY & REAR SCREENED PORCH  
- 1" WOOD WRAPPED POSTS  
- ROOF: SLATE ROOF MATCH EXISTING, PREFINISHED STANDING BEAM COPPER AS SHOWN ON PLANS.  
- GUTTERS: NEW COPPER GUTTERS AND DOWNSPOUTS TO MATCH EXISTING.

**EXTERIOR NOTE:**  
ALL EXTERIOR DETAIL, ROOF PITCH, OVERHANGS, SIDING, TRIM, FINISH MATERIAL, ETC. TO MATCH EXISTING HOUSE, U.N.O.



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

**LOWELL MANAGEMENT, INC.**  
CUSTOM HOMES - ARCHITECTURAL SERVICES - LAND DEVELOPMENT  
P.O. BOX 928 LAKE GENEVA, WI 53147  
PH - (262) 245-9030 FAX - (262) 245-0866  
WWW.LOWELLMANAGEMENT.COM



**the PECORA RESIDENCE**  
1550 LAKE SHORE DRIVE  
GENEVA MANOR LAKE GENEVA, WI 53147

APPROVAL BST 02/06/19
PROJECT NUMBER 0000
DATE 02-08-19
A-4



**City of Lake Geneva  
Finance, License, & Regulation Committee  
March 19, 2019**

**Prepaid Checks**

**3/4/19 - 3/15/19**

**Total:**

**\$36,472.12**

**Checks over \$5,000:**

\$	16,673.35	Alliant Energy
\$	5,335.67	Chase Card Services

## Report Criteria:

Report type: Summary

[Report].Check Issue Date = 03/06/2019,03/13/2019,03/08/2019

Check.Type = {&lt;&gt;} "Adjustment"

Check Issue Date	Check Number	Vendor Number	Payee	Amount
03/06/2019	5539	3495	CITY OF LAKE GENEVA	30.00
03/06/2019	5540	5428	CITY OF LAKE GENEVA POLICE DEPT	178.16
03/06/2019	69955	2046	ALLIANT ENERGY	16,673.35
03/06/2019	69956	2215	BRODART CO	4,254.76
03/06/2019	69957	2273	CHASE CARD SERVICES	5,335.67
03/06/2019	69958	2547	GEE, SHANNON	24.00
03/06/2019	69959	2670	HOME DEPOT CREDIT	94.09
03/06/2019	69960	5326	STEPHANIE LYNN LAKE GENEVA LLC	2,666.00
03/06/2019	69961	4915	TIETZ, KATIE	24.00
03/06/2019	69962	2372	TOM DEBAERE	3.43
03/06/2019	69963	4975	US CELLULAR	543.26
03/06/2019	69964	5027	WAHPC	40.00
03/06/2019	69965	5239	WALMART COMMUNITY	136.66
03/06/2019	69966	5061	WAY, BRIDGETT	24.00
03/13/2019	70062	2046	ALLIANT ENERGY	1,638.72
03/13/2019	70063	2977	MIDWEST TAPE	83.21
03/13/2019	70064	1317	PLAQUEMAKER	130.00
03/13/2019	70065	241	REGISTRATION FEE TRUST	4.00
03/13/2019	70066	1019	SCHILLER LAWN & LANDSCAPE	630.00
03/13/2019	70067	3001	SECURIAN FINANCIAL GROUP	2,148.34
03/13/2019	70068	5326	STEPHANIE LYNN LAKE GENEVA LLC	1,107.00
03/13/2019	70069	5376	SWANSON, SARA	20.88
03/13/2019	70070	4940	TRITECH FORENSICS INC	306.63
03/13/2019	70071	5336	WT COX INFORMATION SERVICES	375.96
Grand Totals:				36,472.12

## Summary by General Ledger Account Number

GL Account	Debit	Credit	Proof
11-00-00-21100	.00	21,557.96-	21,557.96-
11-00-00-21340	1,022.43	.00	1,022.43
11-10-00-51330	146.19	.00	146.19
11-10-00-53990	95.00	.00	95.00
11-12-00-51340	17.74	.00	17.74
11-13-00-51340	34.58	.00	34.58
11-14-20-51340	47.77	.00	47.77
11-14-20-53240	125.00	.00	125.00
11-14-30-51340	12.39	.00	12.39
11-15-10-51340	59.65	.00	59.65
11-15-10-53100	100.68	.00	100.68
11-15-10-54500	300.17	.00	300.17
11-16-10-51340	25.76	.00	25.76
11-16-10-52210	299.61	.00	299.61
11-16-10-52220	2,582.51	.00	2,582.51

GL Account	Debit	Credit	Proof
11-16-10-53500	3.43	.00	3.43
11-21-00-51340	268.06	.00	268.06
11-21-00-53310	72.00	.00	72.00
11-21-00-53800	306.63	.00	306.63
11-22-00-51330	72.18	.00	72.18
11-22-00-52220	1,269.12	.00	1,269.12
11-22-00-53400	414.80	.00	414.80
11-22-00-53600	629.11	.00	629.11
11-22-00-54120	100.00	.00	100.00
11-22-00-58000	136.66	.00	136.66
11-24-00-51340	33.65	.00	33.65
11-24-00-52620	22.39	.00	22.39
11-24-00-53100	1,196.83	.00	1,196.83
11-29-00-52220	50.05	.00	50.05
11-32-10-51340	157.16	.00	157.16
11-32-10-52210	78.93	.00	78.93
11-32-10-53300	100.00	.00	100.00
11-32-10-53400	4.00	.00	4.00
11-32-10-53990	293.29	.00	293.29
11-32-13-54100	448.00	.00	448.00
11-34-10-52220	285.27	.00	285.27
11-34-10-52230	8,560.03	.00	8,560.03
11-51-10-52220	680.90	.00	680.90
11-52-00-52220	491.42	.00	491.42
11-52-00-59220	369.52	.00	369.52
11-52-01-52220	475.05	.00	475.05
11-70-00-57200	170.00	.00	170.00
40-00-00-21100	.00	2,731.43-	2,731.43-
40-54-10-52210	11.68	.00	11.68
40-55-10-51340	4.51	.00	4.51
40-55-10-52210	11.68	.00	11.68
40-55-10-53500	94.09	.00	94.09
40-55-30-52220	2,609.47	.00	2,609.47
42-00-00-21100	.00	158.42-	158.42-
42-34-50-51340	47.13	.00	47.13
42-34-50-52210	107.29	.00	107.29
42-34-50-52500	4.00	.00	4.00
43-00-00-21100	85.44	1,087.32-	1,001.88-
43-40-00-17010	1,087.32	85.44-	1,001.88
47-00-00-21100	.00	3,773.00-	3,773.00-
47-70-00-57155	3,773.00	.00	3,773.00
48-00-00-21100	.00	335.32-	335.32-
48-00-00-51340	29.26	.00	29.26
48-00-00-52210	11.68	.00	11.68
48-00-00-52220	294.38	.00	294.38
61-00-00-21100	.00	47.47-	47.47-
61-00-00-92630	47.47	.00	47.47
62-00-00-21100	.00	87.22-	87.22-
62-00-00-92630	87.22	.00	87.22
89-00-00-21100	.00	208.16-	208.16-
89-00-00-24350	208.16	.00	208.16
99-00-00-21100	.00	6,571.26-	6,571.26-
99-00-00-51340	35.19	.00	35.19

GL Account	Debit	Credit	Proof
99-00-00-52220	644.35	.00	644.35
99-00-00-53120	79.61	.00	79.61
99-00-00-53320	148.88	.00	148.88
99-00-00-53600	630.00	.00	630.00
99-00-00-54100	2,793.31	.00	2,793.31
99-00-00-54110	1,267.10	.00	1,267.10
99-00-00-54120	375.96	.00	375.96
99-00-00-54140	366.51	.00	366.51
99-00-00-54150	100.00	.00	100.00
99-00-00-54155	74.18	.00	74.18
99-00-00-55140	1.17	.00	1.17
99-00-00-55150	55.00	.00	55.00
Grand Totals:	36,643.00	36,643.00-	.00

Dated: \_\_\_\_\_

Mayor: \_\_\_\_\_

City Council: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

City Recorder: \_\_\_\_\_

Report Criteria:

Report type: Summary

[Report].Check Issue Date = 03/06/2019,03/13/2019,03/08/2019

Check.Type = {<>} "Adjustment"

**CITY OF LAKE GENEVA  
ACCOUNTS PAYABLE UNPAID ITEMS OVER \$5,000**

**FINANCE, LICENSE, & REGULATION COMMITTEE  
3/19/2019**

**TOTAL UNPAID ACCOUNTS PAYABLE** \$ **262,455.85**

**ITEMS > \$5,000**

R&R Insurance - Workers Comp, General Liability Insurance	\$ 140,044.00
Geneva Lake Law Enforcement Agency (GLLEA) - 2019 Contribution	\$ 46,000.00
Johns Disposal Service - March Refuse & Recycling Service	\$ 41,711.80
All Out Trucking - Snow Removal 2/13/19, 2/14/19, 2/19/19	\$ 5,324.00
	\$ -

Balance of Other Items \$ 29,376.05

**City of Lake Geneva  
Finance, License, & Regulation Committee  
March 19, 2019**

**Accounts Payable**

	<u>Fund #</u>	
1. General Fund	11	\$ 206,658.30
2. Debt Service	20	\$ -
3. TID #4	34	\$ -
4. Lakefront	40	\$ 53,155.63
5. Capital Projects	43,52	\$ -
6. Parking	42	\$ 2,150.63
7. Cemetery	48,49	\$ 88.13
8. Equipment Replacement	50	\$ -
9. Library Fund	99	\$ 53.16
10. Impact Fees	45	\$ -
11. Tourism Commission	47	\$ 350.00
12. Use of Building Funds-Library	98	\$ -
<b>Total All Funds</b>		<b><u><u>\$262,455.85</u></u></b>

## Report Criteria:

Detail report.  
Invoices with totals above \$0.00 included.  
Only unpaid invoices included.  
Invoice.Batch = "190325","190326"

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
<b>ALL OUT TRUCKING LLC</b>				
INV1165	02/23/2019	SNOW REMOVAL-2/13,14,19	11-32-12-52200 CONTRACT HAULING SERVICES	5,324.00
Total ALL OUT TRUCKING LLC:				5,324.00
<b>AMY'S SHIPPING EMPORIUM</b>				
27356	03/07/2019	UPS-UNITED PUBLIC SAFETY E	42-34-50-53400 OPERATING SUPPLIES-ENFORCEMEN	13.75
Total AMY'S SHIPPING EMPORIUM:				13.75
<b>ARBON EQUIPMENT CORPORATION</b>				
2076352	02/28/2019	LOADING DOCK INSPECTION	11-32-10-53600 ST DEPT BLDG MAINT SERV COSTS	336.00
Total ARBON EQUIPMENT CORPORATION:				336.00
<b>ARROW PEST CONTROL INC</b>				
77889	03/01/2019	PEST CONTROL-MAR	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	55.00
Total ARROW PEST CONTROL INC:				55.00
<b>AURORA MEDICAL GROUP</b>				
362	03/12/2019	EMP CLINIC-FEB	11-10-20-51330 HEALTH AND DENTAL CLAIMS	2,700.00
Total AURORA MEDICAL GROUP:				2,700.00
<b>BATZNER PEST CONTROL</b>				
2630080	02/27/2019	PEST CONTROL RIV-FEB	40-55-20-53600 RIV MAINTENANCE SERVICE COSTS	114.00
Total BATZNER PEST CONTROL:				114.00
<b>BEARINGS INC SOUTH</b>				
62944	03/05/2019	BUSHINGS-SWEEPER #32	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	44.70
62948	03/05/2019	LINK-SNOW BLOWER	11-32-12-53510 EQUIP MAINT SUPPL-SNOW & ICE	16.38
Total BEARINGS INC SOUTH:				61.08
<b>BILLER PRESS</b>				
19-19656	03/06/2019	TRAILER PERMITS	40-52-11-53520 LAUNCH RAMP MAINT SUPPLIES	127.00
19-19656	03/06/2019	MIRROR HANGERS	40-52-11-53520 LAUNCH RAMP MAINT SUPPLIES	469.00
19-19656	03/06/2019	COMM LAUNCH HANGERS	40-52-11-53520 LAUNCH RAMP MAINT SUPPLIES	39.00
BP-7737	03/01/2019	LAUNCH ENVELOPES	40-52-11-53520 LAUNCH RAMP MAINT SUPPLIES	226.00
Total BILLER PRESS:				861.00
<b>BUMPER TO BUMPER AUTO PARTS</b>				
662-403033	02/05/2019	LAMP,BACKUP ALARM-DODGE	48-00-00-53510 CEM VEHICLE MAINT/REPAIR	45.64
662-403847	03/06/2019	ANTENNA,TAILPIPE EXT-LOAD	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	13.98
662-404298	02/28/2019	PWR CORD-PARK TRK	42-34-50-53510 VEHICLE/EQUIPMENT MAINT	12.49
662-404581	03/06/2019	OIL CLEANER	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	14.98
662-404900	03/13/2019	PAINT,PRIMER-TRK #17	11-32-13-54200 TREE & BRUSH-REPAIR	26.37

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total BUMPER TO BUMPER AUTO PARTS:				113.46
<b>CDW GOVERNMENT INC</b>				
RFW9957	02/22/2019	DRUM UNIT-NORD PRINTER	11-15-10-54500 COMPUTER IT SVC & EQUIPMENT	78.91
RFZ6651	02/25/2019	LAPTOP-MEETING ROOMS	11-15-10-54500 COMPUTER IT SVC & EQUIPMENT	537.68
Total CDW GOVERNMENT INC:				616.59
<b>CINTAS CORP</b>				
5013197353	03/08/2019	FIRST AID KIT SUPPLIES	11-32-10-53900 FIRST AID AND SAFETY SUPPLIES	81.63
Total CINTAS CORP:				81.63
<b>CONSERV FS INC</b>				
65070866	02/26/2019	ICE MELT-98 BAGS	11-32-12-53400 OPERATING SUPPLIES-SNOW & ICE	655.62
Total CONSERV FS INC:				655.62
<b>DUNN LUMBER &amp; TRUE VALUE</b>				
749269	01/31/2019	PROPANE TANK EXC,HOSE CL	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	27.95
749274	01/13/2019	PROPANE TANK EXC,CAULK G	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	26.77
750900	02/20/2019	CLEANING SUPPLIES	48-00-00-53500 CEM BLDG MAINT SUPPLIES	6.49
751615	02/28/2019	NUTS,BOLTS-SWEEPER #32	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	4.56
751642	02/28/2019	OIL RECOVERY PUMP PARTS	11-32-10-53410 VEHICLE-FUEL & OIL	42.46
751983	03/05/2019	STUCCO,FASTENERS-CEILING	40-55-20-52400 LOWER RIVIERA REPAIRS	48.94
751990	03/05/2019	NUTS,BOLTS,BRACKETS-BLUE	11-32-10-53500 BLDG MAINT SUPPLIES-STR DEPT	9.78
752003	03/05/2019	SIDE BOARDS-TRK #125	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	37.98
752004	03/05/2019	OXI CLEAN	11-32-10-53990 ST DEPT MISCELLANEOUS EXP	9.99
752004	03/05/2019	TRUCK SIDEBOARD PAINT	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	79.75
752013	03/05/2019	DRYWALL,CEILING PAINT	40-55-20-52400 LOWER RIVIERA REPAIRS	48.47
752029	03/05/2019	THREAD SEAL,LIGHTER	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	14.57
752030	03/05/2019	BLACK TAPE	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	3.99
752033	03/05/2019	YELLOW GAS TAPE	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	2.99
752033	03/05/2019	CREDIT COMPRESSION ELBO	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	7.59
752033	03/05/2019	FLARE ELBOW	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	4.79
752035	03/05/2019	SANDPAPER,PAINT ROLLERS	11-52-00-53520 GROUNDS MAINT SUPPLIES	14.97
752036	03/05/2019	TRUCK BED PAINT	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	59.08
752042	03/05/2019	NUTS,BOLTS,FITTINGS,PIPES	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	18.09
752070	03/06/2019	PRIMER,PAINT COVER	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	46.97
752077	03/06/2019	EXTENSION CORD,FASTENER	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	41.46
752112	03/06/2019	COUPLINGS,CONNECTORS-EL	11-52-01-53500 BLDG MAINT & REPAIR	8.68
752132	03/06/2019	TRUCK BED PAINTING SUPPLI	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	10.86
752145	03/06/2019	GFCI OUTLET	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	31.98
752259	03/07/2019	RATCHET TIE DOWN	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	25.99
752298	03/08/2019	BATTERIES	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	15.48
752628	03/12/2019	PAINT-RESTROOM FLOORS	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	46.98
752686	03/13/2019	PAINT ADDITIVE,BLEACH,AJAX	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	15.47
752720	03/13/2019	GLOVES-NITRILE,VINYL	11-34-10-53700 MARKING PAINT	24.96
Total DUNN LUMBER & TRUE VALUE:				722.86
<b>ELKHORN CHEMICAL CO INC</b>				
608011	02/26/2019	FLOOR SCRUBBER RENTAL	40-55-10-52400 UPPER RIVIERA REPAIRS	220.94
608228	02/26/2019	WET VAC RENTAL	40-55-10-52400 UPPER RIVIERA REPAIRS	100.00
608230	02/25/2019	GASKET-FLOOR MACH	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	25.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total ELKHORN CHEMICAL CO INC:				345.94
<b>ELKHORN NAPA AUTO PARTS</b>				
146493	02/20/2019	RETURN HYD FLUID	11-32-10-53410 VEHICLE-FUEL & OIL	120.96-
147037	02/26/2019	VICE-1055 CAREY	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	109.99
147205	02/27/2019	OIL,FUEL FILTERS;ANTIFREEZ	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	179.01
147324	02/28/2019	BATTERIES-SCISSOR LIFT	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	481.96
147810	03/05/2019	OIL,AIR FILTERS	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	35.31
147811	03/05/2019	OIL,FUEL FILTERS	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	95.62
147815	03/05/2019	HEX BIT-TRK #32	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	22.00
147944	03/05/2019	AIR,FUEL FILTERS	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	90.80
148115	03/07/2019	LAMP-TRK #16	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	36.32
148138	03/07/2019	FUEL FILTER	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	44.57
148433	03/11/2019	WORK LIGHT-SHOP	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	179.98
Total ELKHORN NAPA AUTO PARTS:				1,154.60
<b>FASTENAL COMPANY</b>				
WIELK151135	02/22/2019	CABLE,SLEEVES-BIRD HOUSE	11-70-00-57800 AVIAN COMMITTEE EXPENSES	28.94
Total FASTENAL COMPANY:				28.94
<b>FERRELLGAS</b>				
RNT7724796	02/22/2019	PROPANE TANK RENTAL	48-00-00-53400 CEM OPERATING SUPPLIES	36.00
Total FERRELLGAS:				36.00
<b>FIRST SUPPLY LLC</b>				
1841260-00	03/04/2019	TOILET PARTS	40-55-20-52400 LOWER RIVIERA REPAIRS	601.80
18825466-00	01/25/2019	FLUSH BUTTON CARTRIDGE	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	221.60
Total FIRST SUPPLY LLC:				823.40
<b>FLOWER, JIM</b>				
MILEAGE-2/19	03/01/2019	199 MILES-C/E	11-24-00-53300 BLDG INSPECTOR TRAVEL-MILEAGE	108.46
REIMB-2/27/19	03/01/2019	REIMB-CODE SEMINAR REGIST	11-24-00-53320 CONFERENCES & SCHOOL	95.00
Total FLOWER, JIM:				203.46
<b>GAGE MARINE CORP</b>				
162878	03/11/2019	FISHING PIER REPAIR	40-52-10-52640 BUOYS & BOAT STALLS-REPAIRS	1,048.07
162879	03/11/2019	BOAT LAUNCH PIER REPAIR	40-52-10-52640 BUOYS & BOAT STALLS-REPAIRS	1,307.38
162880	03/11/2019	SWIM PIER REPAIR	40-52-10-52640 BUOYS & BOAT STALLS-REPAIRS	122.00
Total GAGE MARINE CORP:				2,477.45
<b>GENERAL CODE LLC</b>				
GC00106646	03/01/2019	ECODE360 ANNUAL MAINT FEE	11-14-30-52180 MUNICIPAL CODIFICATION	495.00
Total GENERAL CODE LLC:				495.00
<b>GENEVA LAKE LAW ENFORCEMENT</b>				
55	03/05/2019	2019 CONTRIBUTION	40-54-10-57210 GLAKE LAW ENFORCEMENT AGENCY	46,000.00
Total GENEVA LAKE LAW ENFORCEMENT:				46,000.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
<b>GENEVA ONLINE INC</b>				
1078428	03/01/2019	EMAIL SVC-MAR	11-12-00-52210 MUNICIPAL CT TELEPHONE	2.00
Total GENEVA ONLINE INC:				2.00
<b>HE STARK AGENCY INC</b>				
6089 PARK-2/1	02/28/2019	COLLECTION FEES-FEB	42-34-50-52160 LUKE CC AND COLLECTION FEES	2,093.88
6089CRTPRK-	02/28/2019	COLLECTION FEES-FEB	11-12-00-52140 COLLECTION FEES	6.25
Total HE STARK AGENCY INC:				2,100.13
<b>HEIN ELECTRIC SUPPLY CO</b>				
566044-00	02/26/2019	CORDLESS SAW	11-52-01-53400 VETS PARK OPERATING SUPPLIES	155.00
Total HEIN ELECTRIC SUPPLY CO:				155.00
<b>ITU ABSORB TECH INC</b>				
7198885	03/08/2019	MATS	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	98.52
7198888	03/08/2019	MATS,RAGS,COVERALLS	11-32-10-53600 ST DEPT BLDG MAINT SERV COSTS	82.82
Total ITU ABSORB TECH INC:				181.34
<b>JERRY WILLKOMM INC</b>				
245619	12/12/2018	KEROSENE	11-32-10-53410 VEHICLE-FUEL & OIL	125.50
245758	02/21/2019	1603 GALS GAS	11-32-10-53410 VEHICLE-FUEL & OIL	3,589.12
386327	03/04/2019	OIL-LOADERS #29,#35	11-32-10-53410 VEHICLE-FUEL & OIL	567.05
Total JERRY WILLKOMM INC:				4,281.67
<b>JJ KELLER &amp; ASSOCIATES</b>				
9103780588	02/28/2019	FEDERAL,STATE POSTERS	11-16-10-53100 CITY HALL OFFICE SUPPLIES	11.95
9103782541	02/28/2019	FEDERAL,STATE POSTERS	11-16-10-53100 CITY HALL OFFICE SUPPLIES	53.17
9103782541	02/28/2019	FEDERAL,STATE POSTERS	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	53.16
9103782541	02/28/2019	FEDERAL,STATE POSTERS	11-21-00-53100 PD OFFICE SUPPLIES	53.16
9103782541	02/28/2019	FEDERAL,STATE POSTERS	99-00-00-53100 LIBRARY OFFICE SUPPLIES	53.16
9103782541	02/28/2019	FEDERAL,STATE POSTERS	61-00-00-53100 OFFICE SUPPLIES EXPENSE	26.58
9103782541	02/28/2019	FEDERAL,STATE POSTERS	62-00-00-92100 OFFICE SUPPLIES & EXPENSE	26.58
9103782541	02/28/2019	FEDERAL,STATE POSTERS	11-22-00-53100 OFFICE SUPPLIES	53.16
Total JJ KELLER & ASSOCIATES:				330.92
<b>JOHNS DISPOSAL SERVICE INC</b>				
264531	03/05/2019	MAR SVC	11-36-00-52940 SOLID WASTE-RESIDENTIAL	28,706.60
264531	03/05/2019	MAR SVC	11-36-00-52970 SOLID WASTE-RECYCLING	13,005.20
Total JOHNS DISPOSAL SERVICE INC:				41,711.80
<b>KH WATER SPECIALISTS INC</b>				
EI-25163	03/01/2019	WATER SOFTENER	11-16-10-52400 CITY HALL BUILDING REPAIRS	3,400.00
Total KH WATER SPECIALISTS INC:				3,400.00
<b>LEAGUE OF WI MUNICIPALITIES</b>				
79782	03/04/2019	LOCAL GOV CONF-NORD	11-14-20-53320 CITY ADMIN CONFR/SCHOOLS	90.00
Total LEAGUE OF WI MUNICIPALITIES:				90.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
<b>MONROE TRUCK EQUIPMENT</b>				
5399273	03/01/2019	FENDER BRACKET-TRK #125	11-32-10-52500 ST DEPT EQUIPMENT REPAIRS	20.97
Total MONROE TRUCK EQUIPMENT:				20.97
<b>OFFICE DEPOT</b>				
275293149001	02/18/2019	ENVELOPES,HP INK	11-12-00-53100 MUNICIPAL CT OFFICE SUPPLIES	86.58
275302037001	02/18/2019	FILE INDEX CARDS	11-12-00-53100 MUNICIPAL CT OFFICE SUPPLIES	41.96
277062552001	02/20/2019	LYSOL,CORRECTION TAPE	11-15-10-53100 ACCTG OFFICE SUPPLIES	28.45
277062552001	02/20/2019	USB DRIVES	11-14-20-53100 CITY ADMIN OFFICE SUPPLIES	13.16
278339024001	02/22/2019	TONER	11-14-20-53100 CITY ADMIN OFFICE SUPPLIES	64.17
278339024001	02/22/2019	COPY PAPER	11-14-30-53100 CITY CLERK OFFICE SUPPLIES	61.02
278339024001	02/22/2019	COPY PAPER	11-24-00-53100 BLDG INSPECTOR OFFICE SUPPLIES	30.51
278339024001	02/22/2019	COPY PAPER	42-34-50-53100 OFFICE SUPPLIES	30.51
278339024001	02/22/2019	COPY PAPER,ADD MACH ROLL	11-15-10-53100 ACCTG OFFICE SUPPLIES	72.91
278339024002	02/27/2019	"PAST DUE" STAMP	11-15-10-53100 ACCTG OFFICE SUPPLIES	12.29
280467757001	02/27/2019	TONER	11-14-20-53100 CITY ADMIN OFFICE SUPPLIES	64.17
280467757001	02/27/2019	YELLOW CARDSTOCK	11-24-00-53100 BLDG INSPECTOR OFFICE SUPPLIES	7.21
280468097001	02/27/2019	STAPLE REMOVER	11-24-00-53100 BLDG INSPECTOR OFFICE SUPPLIES	14.09
Total OFFICE DEPOT:				527.03
<b>OGLESBY HARDWOOD FLOORING INC</b>				
2/27/19	02/27/2019	RESURFACE WOOD FLOORS	40-55-20-53600 RIV MAINTENANCE SERVICE COSTS	2,312.00
Total OGLESBY HARDWOOD FLOORING INC:				2,312.00
<b>OTTER SALES &amp; SERVICE INC</b>				
1016332	02/28/2019	OIL RECOVERY PUMP PARTS	11-32-10-53410 VEHICLE-FUEL & OIL	71.02
Total OTTER SALES & SERVICE INC:				71.02
<b>POWER TECH LLC</b>				
9067	03/04/2019	COMM ELEC INSP-JAN-FEB	11-24-00-52190 CONTRACT BUILDING INSPECTOR	1,120.00
Total POWER TECH LLC:				1,120.00
<b>PULSE DESIGN INC</b>				
121418	12/14/2018	AVIAN COMMITTEE SIGNAGE	11-70-00-57800 AVIAN COMMITTEE EXPENSES	450.00
Total PULSE DESIGN INC:				450.00
<b>QUILL CORPORATION</b>				
5263183	02/21/2019	PRINTER INK	11-32-10-53990 ST DEPT MISCELLANEOUS EXP	43.35
5281196	02/21/2019	"COPY" STAMP,PENS,PAPER	11-32-10-53990 ST DEPT MISCELLANEOUS EXP	132.40
5335813	02/25/2019	MAGNETIC CLIPS	11-32-10-53990 ST DEPT MISCELLANEOUS EXP	11.10
Total QUILL CORPORATION:				186.85
<b>R&amp;R INSURANCE SERVICES INC</b>				
2019696	03/04/2019	WORKERS COMP INS	11-10-10-55160 WORKERS COMPENSATION	74,465.00
2019697	03/04/2019	LIABILITY INS	11-10-10-55120 GENERAL LIABILITY INSURANCE	65,579.00
Total R&R INSURANCE SERVICES INC:				140,044.00
<b>RHYME BUSINESS PRODUCTS</b>				
24365109	03/01/2019	TASKALFA 3011I-MAR	11-24-00-53100 BLDG INSPECTOR OFFICE SUPPLIES	157.89

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
AR284923	02/27/2019	M3550IDN-MAR	11-12-00-53610 EQUIPMENT MAINT SERVICE COSTS	22.00
AR284924	02/27/2019	SHARP-FEB COLOR	11-16-10-55310 CH OFFICE EQUIPMENT CONTRACTS	113.98
AR284924	02/27/2019	SHARP-FEB B&W	11-16-10-55310 CH OFFICE EQUIPMENT CONTRACTS	24.05
Total RHYME BUSINESS PRODUCTS:				317.92
<b>RICKABAUGH, SHEYLA</b>				
OVRPMT 3/19	03/07/2019	OVRPMT #29743	11-12-00-45130 PARKING CITATION COLLECTIONS	25.00
Total RICKABAUGH, SHEYLA:				25.00
<b>ROTE OIL COMPANY</b>				
1905700407	02/26/2019	162.5 GALS DYED DIESEL	11-32-10-53410 VEHICLE-FUEL & OIL	373.59
1906000002	03/01/2019	88.6 GALS DYED DIESEL	11-32-10-53410 VEHICLE-FUEL & OIL	203.69
1906000003	03/01/2019	120.7 GALS CLEAR DIESEL	11-32-10-53410 VEHICLE-FUEL & OIL	314.91
7905700406	02/26/2019	125.3 GALS CLEAR DIESEL	11-32-10-53410 VEHICLE-FUEL & OIL	326.92
Total ROTE OIL COMPANY:				1,219.11
<b>SANDERS, LEAH</b>				
RESTITUTION	03/12/2019	RESTITUTION #CN70GHS290	11-12-00-45100 COURT PENALTIES & FINES	100.00
Total SANDERS, LEAH:				100.00
<b>SHERWIN-WILLIAMS COMPANY</b>				
8021-2	03/06/2019	PAINT-GARBAGE CANS	11-52-00-53520 GROUNDS MAINT SUPPLIES	49.98
Total SHERWIN-WILLIAMS COMPANY:				49.98
<b>STEP IT UP RENTAL LLC</b>				
247	02/21/2019	AV SVCS-RIV PHOTOSHOOT	47-70-00-57155 TOURISM MUNICIPAL DEVELOPMENT	350.00
Total STEP IT UP RENTAL LLC:				350.00
<b>TIM'S TAP LINE CLEANING INC</b>				
18280	03/07/2019	SANITIZE TAP LINE	40-55-20-53600 RIV MAINTENANCE SERVICE COSTS	30.00
Total TIM'S TAP LINE CLEANING INC:				30.00
<b>TNT ACE HARDWARE</b>				
112014	02/25/2019	SOCKETS,BITS	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	62.49
Total TNT ACE HARDWARE:				62.49
<b>WALWORTH COUNTY SHERIFF</b>				
FEB 2019	02/06/2019	PRISONER CONFINES-FEB	11-12-00-52900 CARE OF PRISONERS	150.00
Total WALWORTH COUNTY SHERIFF:				150.00
Grand Totals:				262,509.01

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Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
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Dated: \_\_\_\_\_

Mayor: \_\_\_\_\_

City Council: \_\_\_\_\_

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City Recorder: \_\_\_\_\_

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Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Only unpaid invoices included.

Invoice.Batch = "190325","190326"

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