

**CITY OF LAKE GENEVA
PLAN COMMISSION MEETING
MONDAY, DECEMBER 19, 2016 - 6:30 PM
COUNCIL CHAMBERS, CITY HALL**

Agenda

1. Meeting called to order by Mayor Kupsik.
2. Roll Call.
3. Approve Minutes of November 21, 2016 Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence. - None
6. Downtown Design Review.
 - A. Application by Eileen Marutzky, 619 Geneva Street, Lake Geneva, WI 53147 for exterior signage at 512 Broad Street, Tax Key No. ZDG 00005.
7. Public Hearing and recommendation on a Conditional Use Application and Downtown Design Review filed by Matthew Morgan, 212 W Hidden Trail, Elkhorn, WI 53121, to open a Commercial Indoor Entertainment facility (Magic Theater) with signage at 231 Cook Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00253.
8. Public Hearing and recommendation on a Site Plan Amendment Application filed by Mick and Joanne Wright, 682 Wells Street, Lake Geneva, WI 53147 for modifications to an existing site plan to construct two single unit cabins instead of one duplex cabin at 682 Wells Street, Tax Key No. ZOP 00410A.
9. Public Hearing and recommendation on a Conditional Use Application filed by T-Mobile, 15660 Midwest Road, Ste 140, Oakbrook, IL 60181 to collocate a wireless antenna facility on the roof top of the Harbor Shores building at 300 Wrigley Drive, Lake Geneva, WI 53147, Tax Key No. ZHC 00100 thru 00523.
10. Presentation of a Conceptual Plan for a Planned Development for a Senior Living Development by Golden Years, 270 Ridge Road, Walworth, WI 53184 at an existing site of the former Southland Farms, on Bloomfield Road.
11. Adjournment

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate accommodations.

Posted 12/13/16

**CITY OF LAKE GENEVA
PLAN COMMISSION MEETING**

MONDAY, NOVEMBER 21, 2016 - 6:30 PM
COUNCIL CHAMBERS, CITY HALL

Minutes

1. Meeting called to order by Mayor Kupsik at 6:30 pm.

2. Roll Call

Present: Mayor Kupsik, Doug Skates, John Gibbs, Sarah Hill, Tom Hartz, Ann Esarco, Tyler Frederick
Not Present: Planner Mike Slavney
Also Present: Atty. Dan Draper, City Administrator Oborn, Building Inspector Robers and City Clerk Waswo

3. Approve Minutes of October 17, 2016 Plan Commission meeting as distributed.

Hartz/Skates moved to approve the minutes of October 17, 2016 Plan Commission meeting as distributed. Unanimously carried.

4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes. - None

5. Acknowledgment of Correspondence. - None

6. Downtown Design Review.

A. Application by FYF, LLC., 43 South Water Street East, Fort Atkinson, WI 53538 for an exterior siding and fence railing design at 640 West Main Street, Tax Key No. ZOP00306.

Applicant withdrew application. No discussion and no action taken.

7. Public Hearing and Recommendation on a Conditional Use Application filed by Rodger Fisher, 946 Ceylon Court, Lake Geneva, WI 53147, to construct an addition using the SR-4 Zoning requirements in an ER-1 (Estate Residential) Zoning District located at 946 Ceylon Court, Lake Geneva, WI 53147, Tax Key No. ZA124000002.

DISCUSSION

Leslie Scherrer Pella with PSG, 448 Falcon Ridge Dr. Suite B, Burlington, gave an overview of the application details. A similar application was put forth and approved in February 2015 by the same property owner. They did not implement the addition at that time and the deadline expired. They are back with another application with a similar footprint to the first addition. The purpose is to utilize the SR-4 zoning requirements in an ER-1 zoning district. The property does not meet the existing ER-1 setback requirements. It seems more appropriate to use the SR-4 requirements. The addition is 342 square feet and would be 10 feet off the neighboring property line. The request is for a 6 foot setback as that is the minimum setback in SR-4.

Mr. Robers said they are basically doing the same design as previously approved. The standard for these lots is to go through the SR-4 zoning as the lots do not meet the ER-1 standards. The Conditional Use Permit is good for two years, but has to be started within a year. Building permits for additions and remodels are 2 years. The building permit needs to be renewed but they wouldn't have to come back for a conditional use because they have started the project. If they had not started the project, they would have up until one year to get the project started and two years to complete it.

It was confirmed the additional storage listed is closets. Commissioner Hartz questioned why the zoning is not changed since the majority of the lots do not meet the ER-1 requirements. Mr. Robers answered it allows the Council and Plan Commission some control over the lakefront development.

Hill/Frederick moved to close the public hearing. Unanimously carried.

MOTION

Hartz/Frederick motion to approve the recommendation on a Conditional Use Application filed by Rodger Fisher, 946 Ceylon Court, Lake Geneva, WI 53147, to construct an addition using the SR-4 Zoning requirements in an ER-1 (Estate Residential)

Zoning District located at 946 Ceylon Court, Lake Geneva, WI 53147, Tax Key No. ZA124000002 including all staff recommendations and findings of fact.

Roll Call: Al Kupsik, Doug Skates, John Gibbs, Sarah Hill, Tom Hartz, Ann Esarco, Tyler Frederick voting “yes.” Unanimously carried.

8. Public Hearing and recommendation on a Precise Implementation Plan (PIP) Amendment Application filed by Peter Jurgens for Oakfire Restaurant, 831 Wrigley Drive, Lake Geneva, WI 53147 for modifications to the Precise Implementation Plan (PIP) in the Central Business (CB) Zoning District at 831 Wrigley Drive, Tax Key No. ZOP 00340.

DISCUSSION

Peter Jurgens, 262 Center Street and David Scotney, owner of Oakfire, gave an overview of the application details. They received approval several months ago to remodel the building. However, the engineers stated the project design would not work. It was determined to be cheaper and faster to tear down the building and start over. By building new, they are sliding the front of the building back to create more space for outdoor dining. The dining is being raised by 12 inches and includes a fence. For cost reasons they made the building smaller and trimmed off square footage to open up a significant amount of space in the back. There will now be room for 3 to 4 dumpsters. The original architect stated the mezzanine was not included in the square footage, however, per the state it is included and would require an elevator. Because of this they eliminated the 3rd level and lowered the height of the building to 33 feet. Noncombustible building materials were explained and presented to the commission. They are proposing a start date of January 2 with completion by May 1.

PUBLIC SPEAKER #1 – David Quickel, 424 Country Club Drive, Lake Geneva

Mr. Quickel represented Popeye’s which is the neighboring business. He questioned the availability the alley and what would be happening in the front of the building during the 5 month timeframe. Mr. Robers replied the applicant would still have to meet all the requirements of the original PUD proposed. The back alley will have to be cut open to run the sprinkler and water lines. They are to notify all the surrounding property owners when the street will be blocked as well as the Police and Fire Departments. At the end of the working day both the street and the alley have to be passable.

Mr. Quickel asked if there is an estimate on how long the street will be closed. Mr. Jurgens replied they developed a plan for deliveries and also have a \$13,000 budget to block the meters. They are bagging the meters along the beach so that Wrigley Drive will always be open. They plan on utilizing the 4 parking stalls in front of their building and the 4 parking stalls in front of Barriquee. They tried negotiating with Popeye’s and offered to pay them so that they would not block any of the streets, but they were not willing to work with us.

Ald. Skates feels this build will be less intrusive and less restrictive on neighbors. Mayor Kupsik questioned how they would work around Winterfest in February. Mr. Jurgens explained the meters will not be affected on Friday afternoons, Saturdays and Sundays. The plan is to keep the crane entirely on the sidewalk area if possible. They also will have construction fencing.

Kupsik/Hill moved to close the public hearing. Unanimously carried.

MOTION

Kupsik/Hill motion to approve the recommendation on the Precise Implementation Plan (PIP) Amendment Application filed by Peter Jurgens for Oakfire Restaurant, 831 Wrigley Drive, Lake Geneva, WI 53147 for modifications to the Precise Implementation Plan (PIP) in the Central Business (CB) Zoning District at 831 Wrigley Drive, Tax Key No. ZOP 00340 including all staff recommendations, findings of fact, materials presented and all previous conditions to be followed.

Roll Call: Al Kupsik, Doug Skates, John Gibbs, Sarah Hill, Tom Hartz, Ann Esarco, Tyler Frederick voting “yes.” Unanimously carried.

9. Public Hearing and recommendation on Precise Implementation Plan (PIP) Application filed by Lake Geneva 50120, LLC c/o GMX Real Estate Group, LLC, 3000 Dundee Rd, Northbrook, IL 60062 for two new commercial buildings in the Planned Business Zoning District at 281 N Edwards Blvd., Tax Key No. ZA297300001.

DISCUSSION

Andrew Goodman, GMX Real Estate Group, LLC, 3000 Dundee Rd, Northbrook, IL, gave an overview of the application. He was here this summer for the GDP Amendment and received a favorable recommendation to move forward. Between last summer and today, they have 2 tenants with leases; however 2 tenants have since dropped out. This caused them to rework the

development scheme. Currently they are showing 5 prospective tenants. They are hoping to break ground in the spring and to have the spaces ready later in 2017.

Mr. Goodman explained a reference to an operations and easement agreement. It is a private internal agreement that governs the operations between the 2 buildings on the lot. It covers permissible building areas, acceptable uses, sharing of utility lines, easements and such. It's a self imposed document that will be a benefit to the city. Commissioner Hartz stated they are looking for a break on parking. Neighboring them is the single biggest parking lot in the city. It seems a no brainer that people will park there. Mr. Goodman replied as a practical matter they found over the years, it's very hard to enforce. But from a legal matter they have to look at their lot as a standalone lot.

Mr. Robers commented nothing has changed from the original GDP, it's the same conditions. This details the building, colors and materials. Two items were brought up from staff. The sprinkler connections on the back of the building (north side) exceed our distances from the hydrant to the building. The Fire Department asked they include 2 sprinkler connections on the side of the building that faces the parking lot. The second is some minor issues with landscaping. Due to big trees at the entrance, they are worried they won't make the corner. They will have the same amount of trees, but will be moved so they are not taken out when driving in.

Commissioner Esarco questioned the bike racks and wondered if a bike path can be done at this point. Ald. Skates stated it wouldn't be feasible to do a bike path due to the grade and corner. There will be east and west bicycle lanes on the new road. State regulations only allow bike paths crossing on one side of the intersection. If a sidewalk and path to Highway 50 was added there would be no where for them to go.

Commissioner Hill commented on big box national retailers verses small independent businesses and where to draw the line. Mr. Goodman noted the stores are not necessarily all national, some may be regional. An intersection like this tends to draw retailers. The amount of retail density is what they are attracted to, which is a different clientele. It was noted a lot was taken on by the developer for the esthetics of the property. The parking will not be seen from the road.

Mr. Robers added their plan shows 2 sampling manholes to allow the Water Department to take samples. He has talked with the engineer and they are removing the 2 manholes and adding 1 in the parking lot.

Hill/Gibbs moved to close the public hearing. Unanimously carried.

MOTION

Hartz/Skates motion to recommend approval of the Precise Implementation Plan (PIP) Application filed by Lake Geneva 50120, LLC c/o GMX Real Estate Group, LLC, 3000 Dundee Rd, Northbrook, IL 60062 for two new commercial buildings in the Planned Business Zoning District at 281 N Edwards Blvd., Tax Key No. ZA297300001 including all staff recommendations, findings of fact, City Engineer comments from letter dated November 2, 2016, and materials as presented.

Roll Call: Al Kupsik, Doug Skates, John Gibbs, Sarah Hill, Tom Hartz, Ann Esarco, Tyler Frederick voting "yes." Unanimously carried.

10. Adjournment

MOTION

Hill/Skates moved to adjourn the meeting at 7:32 pm. Unanimously carried.

/s/Sabrina Waswo, City Clerk

THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE PLAN COMMISSION

STAFF REPORT
To Lake Geneva Plan Commission

Meeting Date: December 16, 2016

Agenda Item #6

Applicant:

Eileen Marutzky

619 Geneva Street

Lake Geneva, WI 53147

Request:

Downtown Design review for an exterior sign at

512 Broad Street, Tax Key #ZGD 00005

Description:

The applicant would like to install a sign on her business at 512 Broad Street.

Staff Recommendation:

Staff has no objections to the sign as it meets the Downtown Design standards and the Zoning Code.

Agenda Item #7

Applicant:

Matthew Morgan

212 W Hidden Trail

Elkhorn, WI 53121

Request:

Applying a Conditional Use to open a Commercial Indoor Entertainment Facility (Magic Theater) at 231 Cook Street

Tax Key No ZOP 00253 including Downtown Design.

Description:

The applicant would like to open a Magic Theater in an existing downtown location and install exterior signage at the location

Staff Recommendation:

Staff has no problem with granting the Conditional Use permit and is looking for Plan Commission guidance on the proposed signage.

Action by the Plan Commission:

As part of the consideration of a requested Conditional Use Permit, the Plan Commission needs to make findings per the requirements of the Zoning Ordinance, and then make a recommendation to the city Council.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #8

Applicant:

Mick & Joanne Wright

682 Wells Street

Lake Geneva, WI 53147

Request:

Amendment to a previously approved Site Plan

at 682 Wells Street, Tax Key No. ZOP 00410A.

Description:

The applicant proposes to build two single room cabins instead of the previously approved duplex cabin.

Staff Recommendation:

Staff recommends approval of the Site Plan amendment as the site already includes other single and duplex cabins and does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist.

Agenda Item #9

Applicant:

T-Mobile

15660 Midwest Road, Suite 140

Oakbrook, IL 60181

Request:

Conditional Use Permit to collate a wireless antenna

facility on the roof top at 300 Wrigley Drive,

Tax Key ZHC 00100 thru 00523

Description:

The applicant proposes to collocate a new wireless antenna facility on the roof top of an existing building.

Staff Recommendation:

Staff recommends approval of the Conditional Use as the applicant has documentation that the proposed facility will put no undue stress on the existing roof top and there is already an existing antenna facility at the location.

Action by the Plan Commission:

As part of the consideration of a requested Conditional Use Permit, the Plan Commission needs to make findings per the requirements of the Zoning Ordinance, and then make a recommendation to the city Council.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff may provide additional comment on the above items and will comment on remaining agenda items at the meeting.

Kenneth Robers
Zoning Administrator



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

512 Broad St.
Lake Geneva, WI 53147

Name & Address of Current Building Owner:

Jane Wagner
576 Briody St
Burlington, WI 53105

Telephone Number of Current Building Owner: 262-763-5207

Name & Address of Applicant:

Eileen Marutzky
619 Geneva St
Lake Geneva, WI 53147

Telephone Number of Applicant: 312-925-4607

Proposed Design Change:

Add sign 3x6

Zoning District: _____

Names & Address of Architect, Engineer, and/or Contractor of Project:

Sharon Mayer
Sugar Creek Sign (262) 758-9401
N 3534 Petrie Rd
Lake Geneva, WI 53147

Description of Project:

See attached

Date: 11-4-16

Signature of Applicant: Eileen Marutzky

Chatty Kathy's
Accessories!

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484
483



Owned by
Matthew & Liliana Morgan

The Little MAGIC Theatre at
231 Cook St, in Lake Geneva, WI
is the venue for several magic and variety shows for
the public, and is available for private functions and
parties. Its monthly magic and variety show, “**The
Little MAGIC Theatre,**” is a family-friendly production
of up to 60 minutes featuring storytellers, jugglers,
and magicians.



Thank you for being willing to listen to our story and how we became a successful business. I'm excited to be part of the growing recognition of Lake Geneva as a successful place to visit and live.

I have been a magician for most of my life, and a professional one for over 20 years. I've traveled the world and performed in countless countries. I also currently serve as the president of the World Society for Deaf Magicians, and the U.S. Society of Deaf Magicians. In fact, I met my stage assistant, who is also my wife, during a performance in Moscow, Russia.

One of the most common questions we get asked is when we will have a permanent place that people can travel to watch performances at. I'm happy to say that we have now made that dream a reality by establishing the Little MAGIC Theater right here in Lake Geneva. I grew up at the Wisconsin School for the Deaf, not too far away from here in Delavan, and have always loved the Lake Geneva community.

Our theater will seat (60-70) people, and will be open year-round. The theater will feature many types of performances, not just my magic show; it will also feature jugglers, actors and theatrical plays, mimes, puppets, and many others — all designed to entertain the whole family at reasonable prices. There will also be an onsite interpreter year-round on a full-time basis. The theater will be open seven days a week throughout the summer, and then during the off-season, on weekends and the occasional weekday for special events.

It is our goal to keep the costs as affordable as possible, especially for families who are traveling to Lake Geneva. Currently, our projected ticket prices will be between \$24.99 and \$25.99 per seat.

We intend for our theater to be as inclusive as possible. What we mean by this is that we will ensure that the facility is accessible to all people, regardless of age, disability, or needs. As mentioned, there will be a sign language interpreter on site at all times the theater is open, even if I am not in the building.

Other uses for the facility will be to provide American Sign Language classes for parents who have deaf children, perhaps in partnership with the Wisconsin School for the Deaf, and also to community workers like the police, fire, and medical personnel. We also intend to open our theater space for workshops and community events as appropriate.

We've worked very hard to make this dream a reality, and are so excited to see it happening. Thank you so much for your support and any assistance you provide.

Contents

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- Application for conditional use
- Rack Card
- Lake Geneva, WI - Map
- Newport West Shoppes - Map
- The Little MAGIC Theatre - Map
- Theatre Equipment

Introduction

Introduction

We've traveled the world performing magic for 20 years, but we've always wanted to return to our roots and establish a MAGIC Theater in beautiful Lake Geneva, Wisconsin. As Deaf people, we believe we can do anything, and we want to show that through our truly inspirational magic show designed for all people. Our shows are visual, energetic, and family-friendly. We also have two children who often join us on stage because our family is passionate about entertaining people of all ages. We also often feature international visual artists and magicians guest stars, and many of our shows are interpreted for those not fluent in American Sign Language.

A few years ago, we realized that we had come full circle. I first learned magic tricks as a very young child in Wisconsin from my grandfather. I began performing for friends and at birthday parties during my school days. That turned into libraries, and then festivals, performing arts centers and international competitions. In fact, my wife and I met when I performed in Russia.

One question we repeatedly get from patrons when we travel is why we don't have a permanent theatrical space. We have long wanted to find a space — but the time was never quite right until now. Our goal is always to inspire our audience to believe and dream...especially those who have disabilities, or know someone with disabilities.

Here's our plan. We are ready to lease a space in Lake Geneva, a place popular with tourists. It's our goal to eventually purchase this space. The best part is that since we've been performing for so long, we already have the basic supplies, including props, live trained animals, costumes, backdrops and show music. For us to make the transition from being on the road to a permanent theater, we must invest in remodeling the leased space into a formal and accessible theatre space with comfortable seating, advanced sound and light systems, a small ticket and retail area, and so much more.

It is our goal to open the theater by Winter/Early Spring of 2017, and perform two full shows seven days a week throughout the summer season. In the fall and winter, we will transition to weekend performances and continue booking road shows. We will open up our theater for weekday bookings by other artists. We would also like to use a portion of our funds to bring in guest artists to the theatre for specialty shows. Magic and comedy have touched the lives of millions, and to share that wonder right here in Lake Geneva will be a dream come true.

People often ask if we plan to perform until we retire. Our answer is always, "Absolutely not. We plan to do magic until we leave this earth!" Performing has been our joy, our passion and our family's livelihood our whole lives. That's why we want to bring it home, and share our passion with our greater community. Barriers are made to be broken and we are living proof of it.

We are very excited to be this close to our launch. We have full confidence our dream Little Magic Theatre will soon be able to make charitable contributions to causes near and dear to us: the Deaf community, advocates for Deaf children, KODA (kids of Deaf adults) groups, state associations for Deaf people, interpreter organizations, and aspiring young magicians or others artists with disabilities.

Application for conditional use

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

231 Cook St, Lake Geneva, WI

NAME AND ADDRESS OF CURRENT OWNER:

Commercial Property Associates Inc

1000 N Water St Suite 160, Milwaukee, WI 53202

TELEPHONE NUMBER OF CURRENT OWNER: **414.271.1111**

NAME AND ADDRESS OF APPLICANT:

Matthew Morgan

212 W Hidden Trail, Elkhorn, WI 53121

TELEPHONE NUMBER OF APPLICANT: **920.376.9390 - matt@magicmorgan.com**

PROPOSED CONDITIONAL USE:

Commercial Indoor Entertainment

ZONING DISTRICT IN WHICH LAND IS LOCATED:

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Family-Friendly Shows

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

November 23, 2016

DATE


SIGNATURE OF APPLICANT

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I.RECORDATION OF ADMINISTRATIVE PROCEDURES

___ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

___ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

___ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II.APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ *by:* _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ *by:* _____

↓

___ (a) **A map of the proposed conditional use:**

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**



5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes, my business should benefit Lake Geneva and have no adverse impacts.

IV.FINAL APPLICATION PACKET INFORMATION

- ____ **Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:** **Date:** _____ **by:** _____
- ____ **Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** **Date:** _____ **by:** _____
- ____ **Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:** **Date:** _____ **by:** _____
- ____ **Class 2 Legal Notice sent to official newspaper by City Clerk:** **Date:** _____ **by:** _____
- ____ **Class 2 Legal Notice published on _____ and _____** **by:** _____
- ____ **Conditional Use recorded with the County Register of Deeds Office:** **Date:** _____ **by:** _____

___ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

___ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";

___ Exterior building and fencing materials (Sections 98-718 and 98-720);

___ Possible future expansion and related implications for points above;

___ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

___ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

___ (c) **A Property Site Plan drawing which includes:**

___ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;

___ The date of the original plan and the latest date of revision to the plan;

___ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);

___ A reduction of the drawing at 11" x 17";

___ A legal description of the subject property;

___ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

___ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

___ All required building setback lines;

___ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

___ The location and dimension (cross-section and entry throat) of all access points onto public streets;

___ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

___ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;

___ The location of all outdoor storage areas and the design of all screening devices;

___ The location, type, height, size and lighting of all signage on the subject property;

___ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;

___ The location and type of any permanently protected green space areas;

___ The location of existing and proposed drainage facilities;

___ In the legend, data for the subject property on:

___ Lot Area;

Rack Card



Comedian Magicians - Magic Morgan & Liliانا will amaze and astound you, make you laugh and make you think. This show is a theatrical event for the entire family, full of moments that will take your breath away. Objects seem to appear from nowhere. The broken appears to be made whole. Objects defy gravity. All ages will enjoy their grand illusions, live animals, comedy and audience participation. Join us for a unique, magical journey with a powerful message that will create memories to treasure for a lifetime.

SHOWS YEAR ROUND!

Lake Geneva's best Family Magic Show, now appearing at The Little MAGIC Theatre! Located in the heart of beautiful downtown Lake Geneva.



Tickets Disappearing Quickly!

**The Little MAGIC Theatre
231 Cooks St., Lake Geneva, WI 53147**

For show times and ticket orders
visit www.magicmorgan.com

Lake Geneva, WI Map

Newport West
Shoppes
Map

COOK STREET

80' ROW

PROPOSED TREE (TYP.)

TRASH

(119') 18.30'

ALLEY

16.0'

61.0'

EXISTING BUILDING

PARKING LOT
35 STALLS

112.00'

UNIT N
800 SQ. FT.

UNIT M
180 SQ. FT.

UNIT L
180 SQ. FT.

UNIT K
180 SQ. FT.

UNIT J
2302 SQ. FT.

UNIT I
1559 SQ. FT.

UNIT H
1330.5 SQ. FT.

UNIT G
1330.5 SQ. FT.

UNIT F
1330.5 SQ. FT.

UNIT E
1364 SQ. FT.

UNIT D
1330.5 SQ. FT.

UNIT C
1330.5 SQ. FT.

UNIT B
1330.5 SQ. FT.

UNIT A
1649 SQ. FT.

PRINC

(60')

118.30'

59.00'

59.10'

61.00'

EXISTING TREE

MAIN STREET

100' ROW

112.00'

EXISTING BUILDING

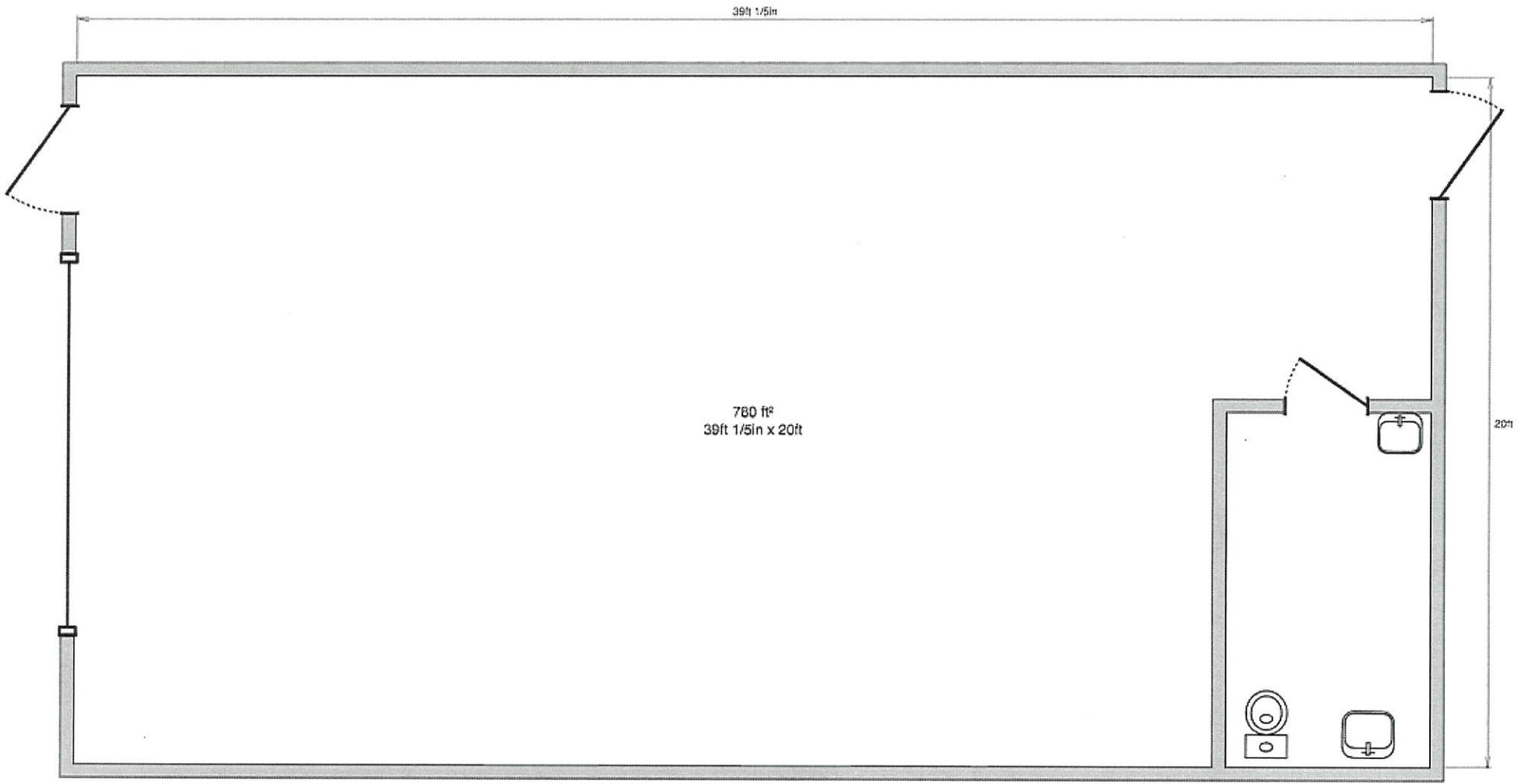


SITE PLAN

SCALE: 1" = 20'

18,004 SF.

Newport West
Developed By: Keefe & Associates, Inc.

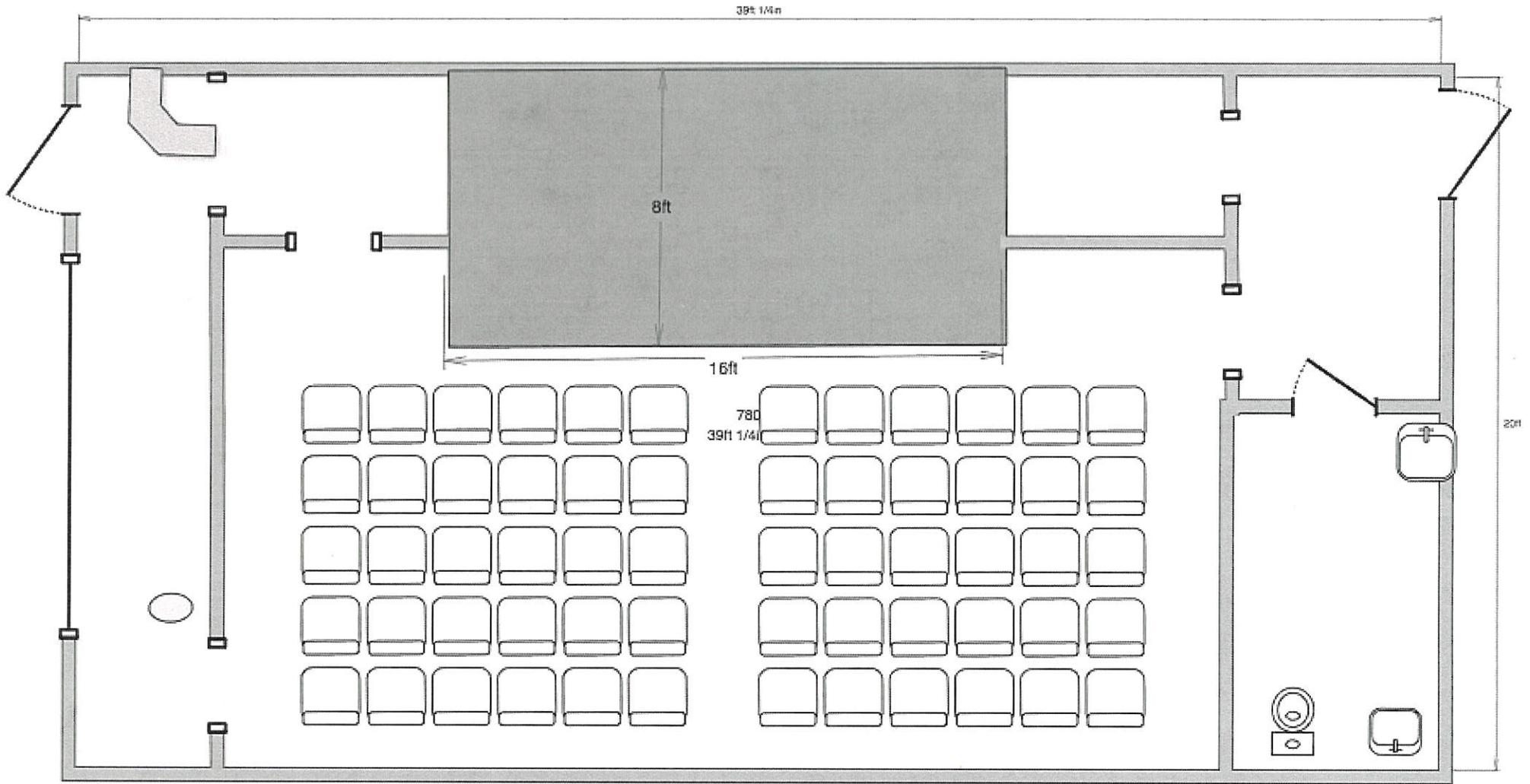


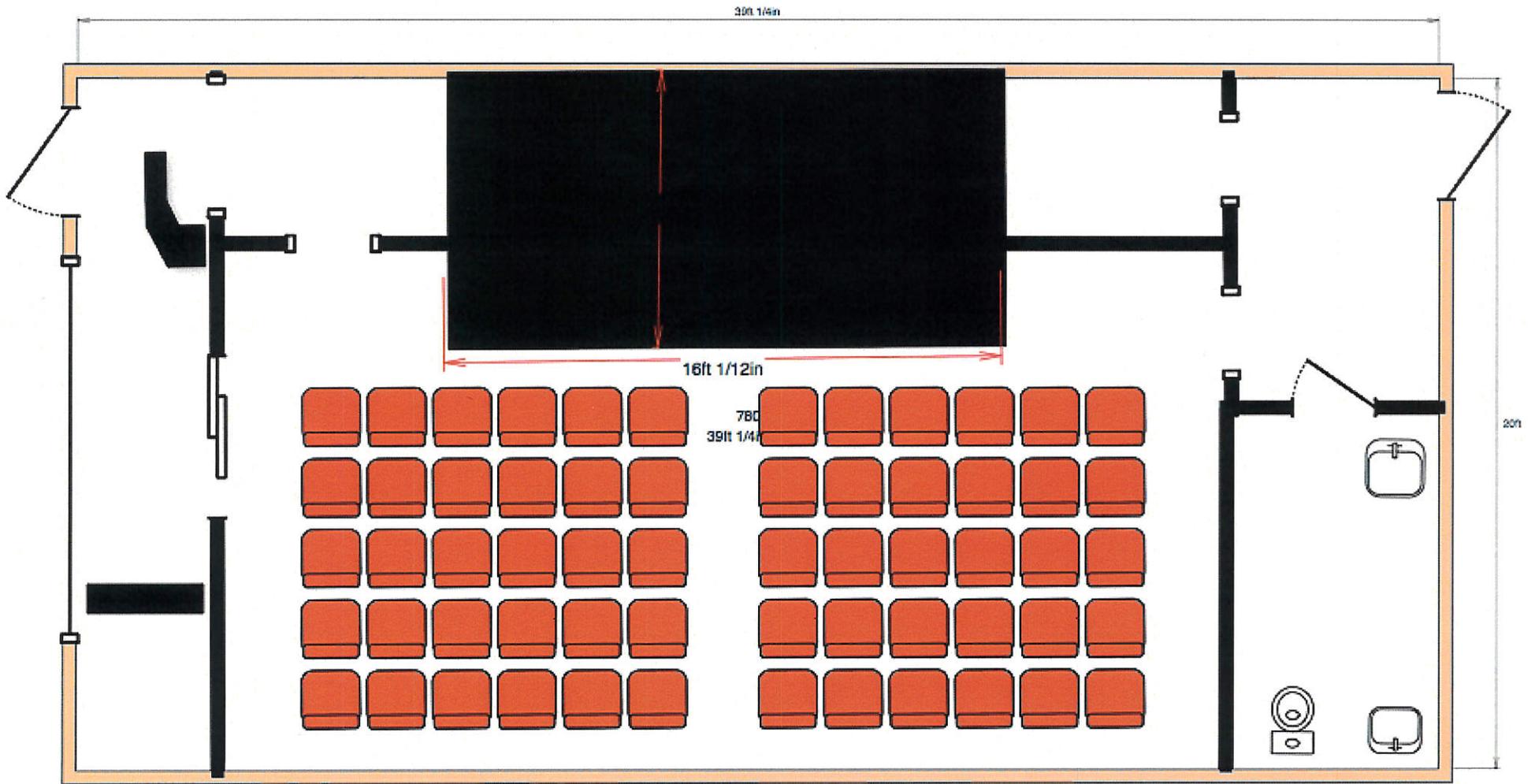
39ft 1/5in

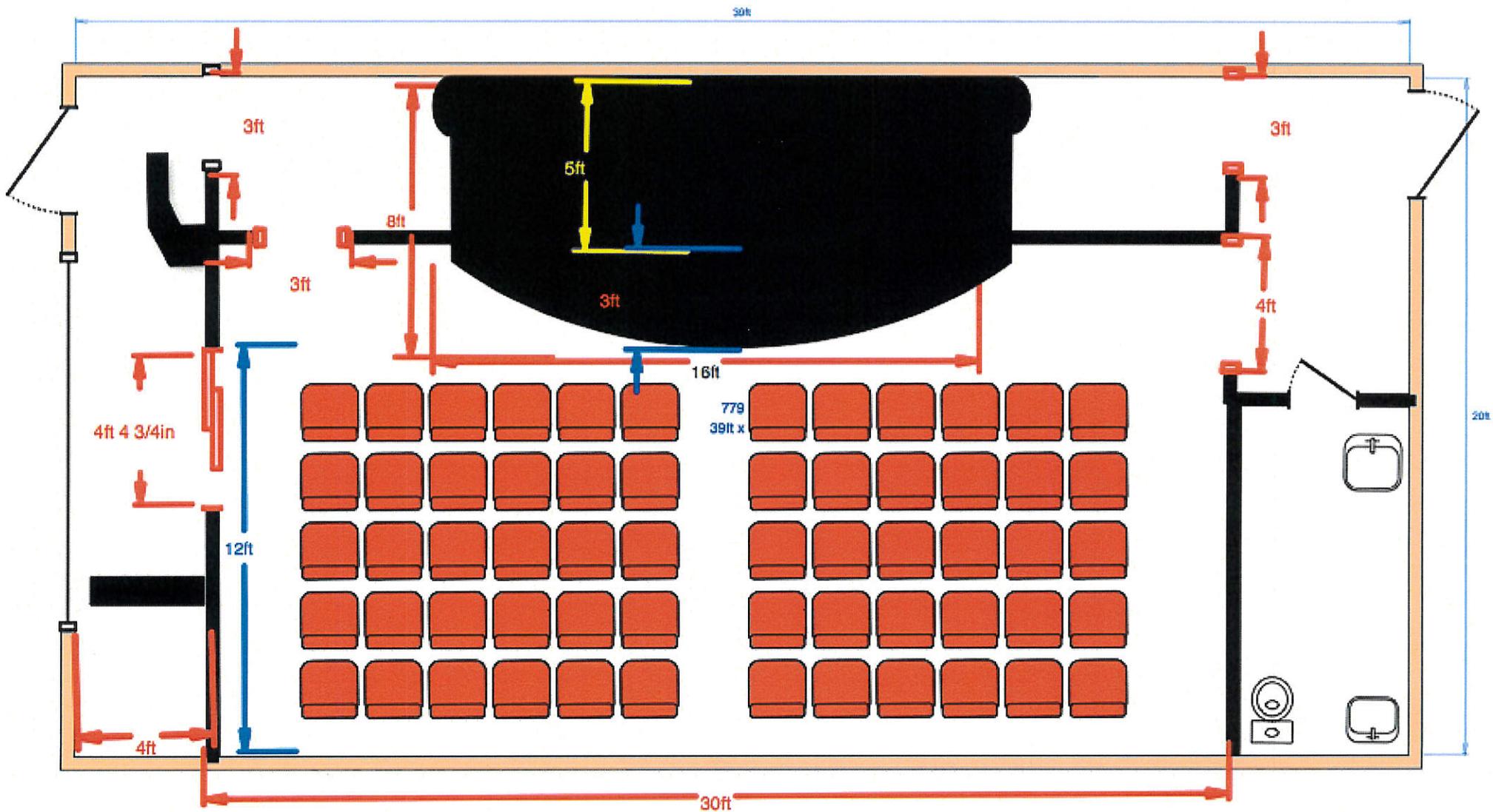
780 ft²
39ft 1/5in x 20ft

20ft

The Little
MAGIC Theatre
Map







The font type of the THE LITTLE MAGIC THEATRE (ALL CAP-
ON) is Trajan Pro Regular

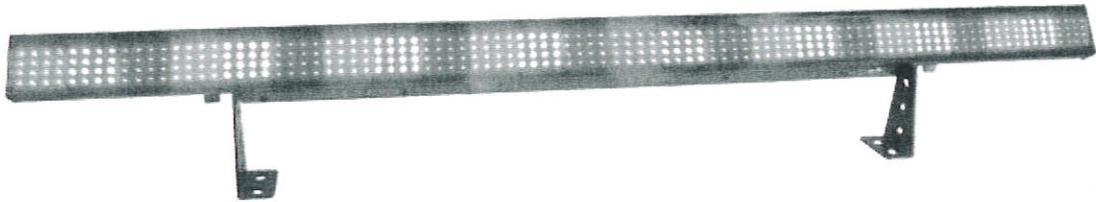
**THE
LITTLE MAGIC
THEATRE**

**THE LITTLE MAGIC
THEATRE**

Theatre Equipment

Chauvet DJ COLORstrip - 38" RGB LED Bar

**2 X Chauvet DJ COLORstrip 4-Channel LED
RGB Color Strip Linear Wash (for Stage)**



SKU: COLORstrip-RS \$ \$329.99 each
Customer Service Phone: 1-877-275-4434
<http://www.hifisoundconnection.com/>

Features:

Chauvet COLORstrip 4-Channel LED RGB Color Strip Linear Wash

4-channel DMX-512 LED linear wash light

Blackout/static/dimmer/strobe

Static colors and RGB color mixing with or without DMX
controller

Built-in automated programs via master/slave or DMX

Built-in sound active programs via master/slave or DMX

Linkable with COLORbank LED, COLORbank LED 2,

COLORstrip Mini, DIAMONDstrip and DIAMONDstrip Mini

Additional power output: max 32 units @ 120V (see manual)

8 Ft. High x 5 Ft. Wide Premier Drape Panel
(For Pipe and Drape Displays and Backdrops)

Red & Black

Price: \$24.99 + \$10.50 shipping

<https://www.amazon.com/Premier-Drape-Panel-Displays-Backdrops/dp/B00FDBR3DS>



- 8 feet tall (sewn 2 inches shorter, to a finished height of 94 inches) x 60 inches wide drape with 4 inch pole pocket sewn into the top and bottom.
- Sewn 2 inches shorter to avoid dragging on the floor when used at an 8 foot height.
- 100% Polyester drape is Inherently Flame Retardant and passes NFPA 701 fire code.
- ***Listing is for (1) drape. Hardware parts (pipes and bases) sold separately.

HERCULES Series 18.5"W Black Fabric Church Chair with 4.25" Thick Seat, Book Rack - Silver Vein Frame

Regular Price: \$100.00

Sale Price: \$29.99 x 60 Chairs = \$1,799.40

item #: XU-CH-60096-BK-SV-BAS-GG

<http://www.churchchairs4less.com/xu-ch-60096-bk-sv-bas-gg.html>



About This Product:

The HERCULES Series Church Chair will add elegance and class to any Church, Hotel, Banquet Room or Conference setting. This chair was built to last featuring a sturdy 16 gauge frame and has been tested to hold a capacity of up to 800 lbs. The flexibility that you will have over pew seating is an advantage when wanting to create different seating configurations. The waterfall front seat edge removes pressure from the lower legs and improves circulation. This chair includes a convenient book pouch on the backs for hymn books and bibles. The included book rack allows congregants to store personal belongings during worship. You can create uniform, row seating with the included ganging brackets on either side of the chair. The plastic floor glides will keep your hard surface floors scratch free when moving around.

Features:

Multipurpose Church Chair

800 lb. Weight Capacity, Durable Black Fabric Upholstery
Book Pouch on Back, 4.25" Thick Waterfall Edge, Waterfall Seat promotes healthy blood flow, 16 Gauge Steel Frame, Silver Vein Frame Finish, Steel Book Rack, Book Rack Size: 13"W x 15.5"D x 9.75"H from floor; 3.5" Clearance, Ganging Clamps attaches several chairs together, Plastic Rocker Glides, CA117 Fire Retardant Foam, Limited Lifetime Warranty on Frame

SITE PLAN

APPLICATION FOR ~~PRECISE IMPLEMENTATION PLAN~~ AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

082 WELLS STREET, LAKE GENEVA
ZOP00410A 53147

Name and Address of Current Owner:

MICK & JOANNE WRIGHT (LILYPOTS LLC)
682 WELLS STREET, LAKE GENEVA.

Telephone No. of Current Owner including area code:

262 2484006

Name and Address of Applicant:

MICK & JOANNE WRIGHT
682 WELLS ST, LAKE GENEVA. 53147

Telephone No. of Applicant including area code:

262 2484006
2030412 (cell)

Proposed Use:

EXTENSION TO ~~R&R~~ Commercial
Indoor Lodging. Converting One Two Unit Building
into two separate structures

Zoning District in which land is located:

Planned Business

Names and Addresses of architect, professional engineer and contractor of project:

N/A.

Short statement describing activities to take place on site:

CONSTRUCTION BUILD 2
20 x 32 CABINS.

PIP Amendment fee \$400.00, payable upon filing application.


Signature of Applicant

CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR: PRECISE IMPLEMENTATION PLAN REVIEW AND APPROVAL - Requirements per Section 98-914(8)

This form should be used by the Applicant as a guide to submitting a complete application for precise implementation plan and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ Pre-submittal staff meeting scheduled:
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Follow-up pre-submittal staff meetings scheduled for:
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Application form filed with Zoning Administrator: Date: _____ by: _____
- ___ Application fee of \$ _____ received by Zoning Administrator Date: _____ by: _____
- ___ Reimburse professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet upon staff review and comments.

- ___ *Initial Packet (5 Copies to Zoning Administrator)* Date: _____ by: _____
- ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____
- ↓

- ___ ___ A map of the proposed precise implementation plan:
 - ___ Showing all lands for which the precise implementation plan is proposed;
 - ___ Showing all other lands within 300 feet of the boundaries of the subject property;
 - ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - ___ Clearly indicating the current zoning of the subject property and its environs, and The jurisdiction(s) which maintains that control;
 - ___ Map and all its parts are clearly reproducible with a photocopier;
 - ___ All lot dimensions of the subject property provided;
 - ___ Graphic scale and north arrow provided.

- _____ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:
- _____ (c) A written description of the proposed precise implementation plan describing the type of activities, building, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3) of the subject property as proposed for development OR if the proposed precise implementation plan is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed precise implementation plan:
 - _____ Indicating reasons why the Applicant believes the proposed precise implementation plan is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b) 1.-6. (*See below*)

III. JUSTIFICATION OF THE PROPOSED PRECISE IMPLEMENTATION PLAN

1. How is the proposed precise implementation plan (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Yes Converting a two unit building into two one unit buildings

2. How is the proposed precise implementation plan, in its specific location, in harmony with the proposed goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Yes

3. Does the proposed precise implementation plan, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

NO

4. How does the proposed precise implementation plan maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

No Utilities already exist / site already approved

5. Is the proposed precise implementation plan located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

No

6. Do the potential public benefits of the proposed precise implementation plan outweigh all potential adverse impacts of the proposed precise implementation (as identified in Subsections 98-905(4)(b) 1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full-scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

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___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

~~Initial Packet (5 Copies to Zoning Administrator)~~

Date: _____ by: _____

↓ ~~Draft Final Packet (1 Copy to Zoning Administrator)~~

Date: _____ by: _____

___ (a) **A written description of the intended use describing in reasonable detail the:**

- ___ Existing zoning district(s) (and proposed zoning district(s) if different);
- ___ Land use plan map designation(s);
- ___ Current land uses present on the subject property;
- ___ Proposed land uses for the subject property (per Section 98-206);
- ___ Projected number of residents, employees, and daily customers;
- ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

___ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

___ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";

___ Exterior building and fencing materials (Sections 98-718 and 98-720);

___ Possible future expansion and related implications for points above;

___ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

___ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

___ (c) A **Property Site Plan drawing which includes:**

___ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;

___ The date of the original plan and the latest date of revision to the plan;

___ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);

___ A reduction of the drawing at 11" x 17";

___ A legal description of the subject property;

___ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

___ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

___ All required building setback lines;

___ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

___ The location and dimension (cross-section and entry throat) of all access points onto public streets;

___ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

___ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;

___ The location of all outdoor storage areas and the design of all screening devices;

___ The location, type, height, size and lighting of all signage on the subject property;

___ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;

___ The location and type of any permanently protected green space areas;

___ The location of existing and proposed drainage facilities;

___ In the legend, data for the subject property on:

___ Lot Area;

___ Floor Area;

___ Floor Area Ratio (b/a);

___ Impervious Surface Area;

___ Impervious Surface Ratio (d/a);

___ Building Height.

___ (d) A **Detailed Landscaping Plan of the subject property:**

___ Scale same as main plan (> or equal to 1" equals 100')

___ Map reduction at 11" x 17"

- ___ Showing the location of all required bufferyard and landscaping areas
- ___ Showing existing and proposed Landscape Point fencing
- ___ Showing berm options for meeting said requirements
- ___ Demonstrating complete compliance with the requirements of Article VI
- ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

- ___ (e) **A Grading and Erosion Control Plan:**
 - ___ Same scale as the main plan (> or equal to 1" equals 100')
 - ___ Map reduction at 11" x 17"
 - ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

- ___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
 - ___ Showing finished exterior treatment;
 - ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
 - ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

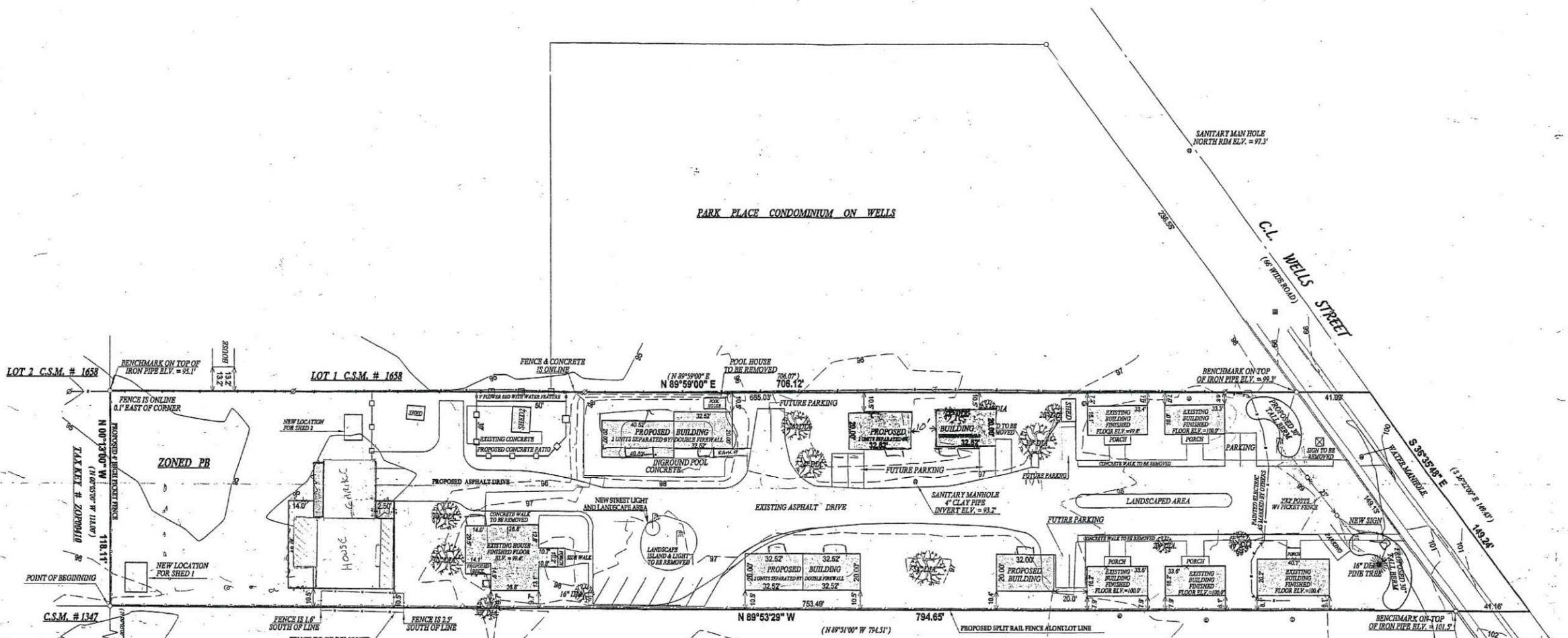
NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

- ___ Receipt of ¹ full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ___ Receipt of ¹⁷ reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

SITE PLAN

A PART OF THE SOUTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID SECTION 36 AND CENTERLINE OF WILLOW STREET; THENCE N 00°00' WEST, 504.58 FEET ALONG SAID CENTERLINE; THENCE S 89°51' EAST, 365.20 FEET; THENCE N 00°00' W, 165.00 FEET TO THE PLACE OF BEGINNING; THENCE CONTINUE N 00°00' WEST, 118.00 FEET; THENCE N 89°59' EAST, 706.07 FEET TO THE CENTERLINE OF LOGAN AVENUE; THENCE S 14°12' EAST, 149.43 FEET ALONG SAID CENTERLINE; THENCE N 89°51' WEST, 794.51 FEET TO THE POINT OF BEGINNING. SAID PARCEL LOCATED IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

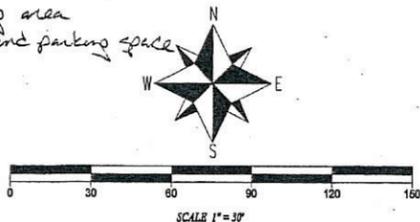


AREA EXCLUDING RIGHT OF WAY
 1.94 ACRES 84316.6 SQ FT
 TOTAL AREA OF ASPHALT IS 22457.1 SQ FT MORE OR LESS
 TOTAL AREA OF CONCRETE IS 1843.5 SQ FT MORE OR LESS
 TOTAL AREA OF PROPOSED BUILDINGS IS 7349.9 SQ FT MORE OR LESS
 TOTAL AREA OF EXISTING BUILDINGS IS 4853.8 SQ FT MORE OR LESS
 TOTAL GREEN SPACE IS 47617.3 SQ FT MORE OR LESS

photometric plan 1/2 footcandle at property line
 & minimum for traffic speedation areas

No:
 Ash 5' pavement setback
 Honeysuckle 18 1/2 x 9
 Norway Maple 22' 2-way aisle
 11' 1-way aisle - ✓ with 6" dept
 45' backing area behind parking space

- LEGEND**
- POWER POLE
 - CABLE PEDISTAL
 - OVERHEAD UTILITIES
 - () recorded as
 - found iron bar
 - found iron pipe
 - set iron pipe
 - set iron bar
 - PROPOSED 4" TALL PICKET FENCE
 - PROPOSED 6" TALL STOCODE FENCE
 - PROPOSED SPLIT RAIL FENCE
- JOB # 06-322



COMPARE LEGAL DESCRIPTION ABOVE AND DRAWING WITH DEED, FOR BUILDING RESTRICTIONS AND EASEMENTS NOT SHOWN REFER TO DEED, ABSTRACT SOURCE AND LOCAL MUNICIPAL CODES. NOTIFY THE SURVEYOR IMMEDIATELY OF ANY DISCREPANCY.

"I hereby certify that I have surveyed the above described property and that the above map, to the best of my knowledge and belief, is a true representation thereof and shows the size and location of all visible structures, apparent easements and encroachments, if any."

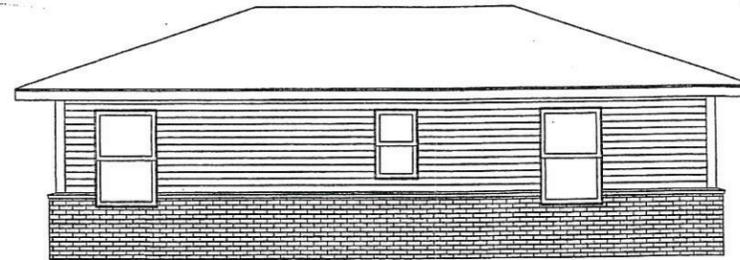
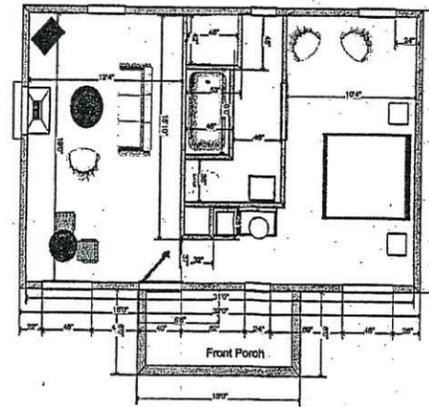
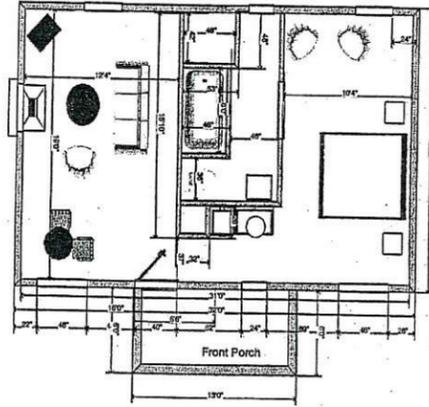
"This survey is made for the present owners of the property, and those who purchase, mortgage, or otherwise take title therein, within one year from the date hereof."



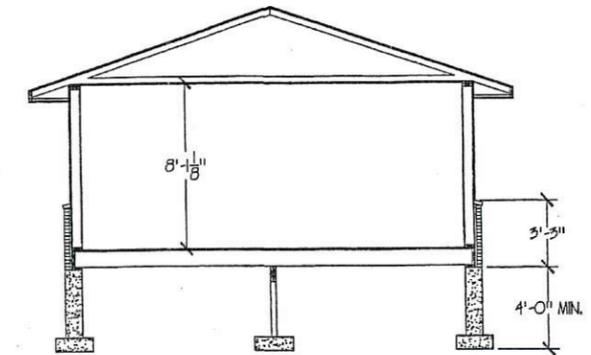
JOHN KROTZ S-2268
 Wisconsin Registered Land Surveyor
 (original if signed in red)

DATED THIS THE 300 DAY OF JUNE 2008.

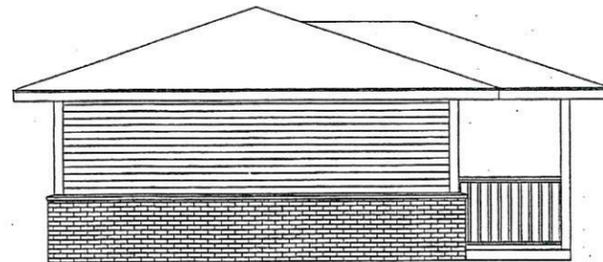
EARLY INCORPORATED OF VILAGE FOR CITY



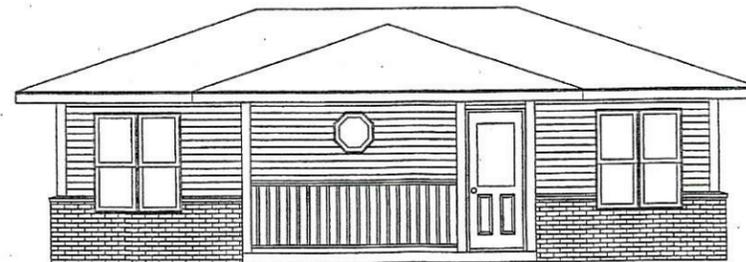
REAR ELEVATION



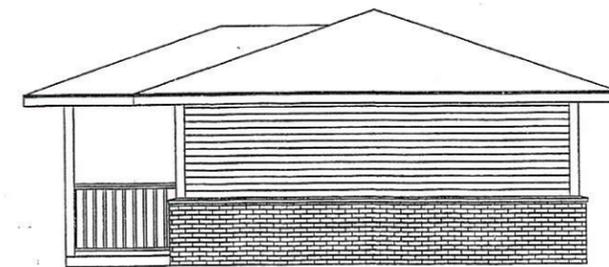
SECTION VIEW



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

NEW 20X 32 CABIN

JORDT/FAHEY CABIN PLANS	
DATE 08/17/06	NEW 20X 32 CABIN PLAN
PREP BY E.R.C.	
SCALE 1/4"=1'-0"	SHEET 1 OF 1

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED:

300 Wrigley Drive

PIN: 300345

NAME AND ADDRESS OF CURRENT OWNER:

Harbor Shores Condominium Association

300 Wrigley Drive

Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER:

Tammie Carstensen

262-248-9181

PROPOSED CONDITIONAL USE:

Collocate a T-Mobile owned wireless antenna facility on the rooftop of the Harbor Shores Condominium.

ZONING DISTRICT IN WHICH LAND IS LOCATED:

GB. General Business

NAME AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Hristo Naoumov

Project Manager

Concordia Wireless

A division of Concordia Group, Ltd.

Engineers, Surveyors & Constructors

361 Randy Road, Suite 101

Carol Stream, IL 60188

Cell: 224-545-3870

Office: 847-708-7500

hnaoumov@concordiawireless.com

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

T-Mobile signed a lease with the Harbor Shores Condominium Association to collocate a wireless antenna facility on their roof to improve T-Mobile's wireless coverage and maintain a seamless network in Lake Geneva. US Cellular leases a similar facility on this rooftop.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATION UNDER SEC. 98-407 (3)]:

11/21/16
DATE


SIGNATURE OF APPLICANT

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as propose for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:

Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6 (*See below*)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed conditional use conforms to the applicable regulations of the GB Zoning District. T-Mobile engineers have determined this area must have a new site to maintain a seamless wireless network. Wireless technology affords vital communications in emergency situations and will commonly be used by residents and emergency personnel to protect the general public's health, safety and welfare. Indeed, the proposed conditional use is consistent with the intent of the City of Lake Geneva Zoning Code to minimize the proliferation of cell towers by collocating on existing structures. US Cellular has an existing facility on this building, so the City has supported this type of application in the past.

2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Collocation is strongly encouraged by the Village for these types of facilities. Using an existing building which already has a similar approved wireless facility is in harmony with the Village's intent for the

placement of Wireless Antenna facilities. Quality wireless technology including voice and data networks is integral to virtually every local business, citizen, resident and visitor to Lake Geneva. Enhanced wireless communication will have a positive influence on the economic development of this area. Businesses, employees and customers would benefit from improved T-Mobile service that will increase productivity, convenience and access to information. The availability of current and future cutting edge wireless technology will continue to make Lake Geneva a pleasant place to live, visit and a desirable place to invest and conduct business. Indeed, quality wireless networks within your community assure that businesses remain connected with their customers, vendors and employees. This is one of the factors that will encourage existing businesses to remain and expand and may help attract new businesses or private investment in Lake Geneva.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

The establishment, maintenance and operation of the proposed facility will be wholly contained on the 10' x 20' lease area located on the roof. Wireless communication technology does not interfere with any other form of communication or utility, whether public or private. Due to the fact that T-Mobile has been sensitive in selecting a site that will minimize the impact on the surrounding property, its facility will be compatible with the existing environment for the purposes already permitted and will not be injurious to the use and enjoyment of the other property in the community. Indeed, a wireless facility is unstaffed, and accordingly, there will be no impact to the existing traffic patterns nor will there be any traffic hazards or nuisances generated. Maintenance personnel will visit this site on the average of once or twice a month, and thus, the safety and efficiency of public streets will be maintained.

Wireless technology does not have an adverse effect on matters affecting the public health, safety and general welfare. To the contrary, wireless technology affords vital communications in emergency personnel to protect the general public's health safety and welfare. These emergency services, previously mentioned, include 911 service, the ability to transmit vital data, and a backup system to landline phone communication, to name just a few.

Collocation is strongly encouraged by the Village zoning code for the placement of wireless antenna facilities in order to avoid the need for new towers. This application is in harmony with the intent of the Village code.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property:

Wireless technology provides convenient, reliable, every day communications to its users in your neighborhood or community and does not interfere with any other form of communication, whether public or private. Importantly, wireless technology affords vital communications in emergency situations and will commonly be used by local residents and emergency personnel to protect the general public's health, safety and welfare.

Further, wireless telephone technology provides many benefits that contribute to the general welfare of the communities it serves. These services include, but are not limited to, the following:

911 program allowing motorists to summon aid and report dangerous situations.

Support for emergency services by providing wireless communications to paramedics, firefighters, and law enforcement agencies.

The ability to transmit data allowing for immediate access to vital information.

A backup system to the landline system in the event of a natural or man-made disaster.

Immediate access to national hazardous material data bases from the site of a hazardous material spill.

Immediate communication capabilities outside of the home, enhancing the safety of residents by allowing immediate access to emergency assistance.

Support for the busy lives of people in the city reducing stress and increasing productivity.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The wireless facility will be unstaffed. The only utilities required are fiber and electricity and both are available on site. No drainage, sanitation, refuse removal, parks, library, or school services will be necessary for this facility. This site is entirely self-monitored and connects directly to a central office where sophisticated computers alert personnel to any equipment malfunction or breach of security. Existing police and fire protection are more than adequate to provide security for this facility. wireless facility is unstaffed, and accordingly, there will be no impact to the existing traffic patterns nor will there be any traffic hazards or nuisances generated. This site will be visited on the average of once or twice a month by maintenance personnel, and thus, the safety and efficiency of public streets will be maintained. Access will be provided via an existing driveway.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905 (4)(b)1.-5), after

taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

The conditional use shall comply with the objectives and applicable regulations of the zoning code and will, in fact, improve quality of life for reasons herein stated with this application. This Enhanced wireless communication will have a positive influence on the development of this area.

Quality wireless technology including voice and data networks is integral to virtually every local business, citizen, resident and visitor to Lake Geneva. Enhanced wireless communication will have a positive influence on the economic development of this area. Businesses, employees and customers would benefit from improved T-Mobile service that will increase productivity, convenience and access to information. The availability of current and future cutting edge wireless technology will continue to make Beach Park a pleasant place to live and desirable place to invest and conduct business. Indeed, quality wireless networks within your community assure that businesses remain connected with their customers, vendors and employees. This is one of the factors that will encourage existing businesses to remain and expand and may help attract new businesses or private investment in Lake Geneva.

The proposed facility is designed to fill a coverage gap in the Applicant's network. The network operates on a "grid" system, whereby overlapping "cells" (geographic wireless coverage areas) mesh to form a continuous wireless network. In order to provide wireless coverage within the geographic confines of each cell, a wireless facility ("cell site") must be located somewhere near the center of that cell. If the wireless facility is not located within or near the center or the height of the antennas is inadequate, then coverage gaps exist. Coverage gaps result in a weak wireless signal which to the end user means a dropped call or inability to make or receive a call. Therefore, it is deemed necessary for the public convenience at that location.

IV. FINAL APPLICATION PACKET INFORMATION

- Receipt of 5 full scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- Receipt of 17 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- Class 2 Legal Notice published on _____ and _____ by: _____
- Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

VILLAGE OF LAKE GENEVA WIRELESS ANTENNA FACILITY

PROJECT SUMMARY

Petitioner

T-Mobile is a leading national wireless phone carrier and offers one of the finest wireless networks in the nation. T-Mobile entered a lease agreement with the Harbor Shores Condominium Association, the owner of the subject property located 300 Wrigley Drive, Lake Geneva, Wisconsin, to collocate a wireless antenna facility on their rooftop. The Installation will be very similar to the US Cellular site that is currently installed on the property.

Collocation

Collocation is the placement of wireless antenna on existing towers or structures such as buildings. Utilizing such structures offers your community improved wireless service while minimizing the proliferation of towers.

The wireless industry is enjoying explosive growth, both domestically and internationally. Industry sources anticipate that the number of antenna sites in the United States will continue to grow. Without collocation, the number of telecommunications towers could increase 600 percent or more.

Cellular and other wireless phones have become widely used and accepted form of business, personal and other communications. In addition to traditional voice service, people are using them to access the Internet, text messaging, email, video streaming and other data transfer. In addition to the many well-known business and personal uses of wireless communications, wireless phone networks have become a critical part of the nation's emergency communications infrastructure. Recent studies indicate that over 65 million "911" and distress calls were placed on wireless phones in the United States annually. Hence, wireless networks not only provide a means for everyday business and personal communications, but have also become an essential part of the nation's emergency communications infrastructure.

Property Description

T-Mobile has entered a lease agreement with property owner to place its wireless antenna facility on the 300 Wrigley Drive rooftop. The subject property lies within the GB (General Business) Zoning District. The proposed facility will include a 10' x 20' area on the roof for T-Mobile's related radio equipment cabinets as well as panel antennas.

Nature of Request/Zoning Analysis

T-Mobile seeks a Conditional Use Permit and any other authorizations to allow the installation of its wireless antenna facility. T-Mobile is proposing a collocation on this existing structure, which is strongly preferred within the Lake Geneva ordinance and the community.

Components and Operations

The proposed facility will be un-staffed and, upon completion, will require only infrequent maintenance visits (approximately one or two times a month) by a service technician. Hence the facility will not have any material impact on traffic, parking or storm water control.

The proposed facility is entirely self-monitored by sophisticated computers which connect directly to a central office and which alert personnel to equipment malfunction or breach of security. Moreover, no material noise, glare, smoke, debris, traffic flow or any other nuisance will be generated by the proposed facility.

The proposed facility will be designed and constructed to meet applicable governmental and industry safety standards. Specifically, T-Mobile will comply with FCC and FAA rules governing construction requirements, technical standards, interference protection, power and height limitations and radio frequency standards.

Requested Action

T-Mobile respectfully requests a Conditional Use Permit and any other relief necessary to accommodate the installation of a wireless antenna facility as proposed in this zoning application.

T-Mobile expressly reserves all its rights, including those available to it under the Village of Lake Geneva zoning code or any other state, local or federal law.

OPINION OF RADIO FREQUENCY ENGINEER

My name is ROSENDO PINEDA, and I am currently employed by T-Mobile Central, LLC (d/b/a "T-Mobile") as a Radio Frequency ("RF") Engineer. In the course of my employment with T-Mobile, my responsibilities have included RF design, operations, and maintenance. I have college degrees (BS/MS in electrical engineering) and other training in engineering and have been employed as a radio frequency engineer for over five years. A copy of my curriculum vitae is available upon your request.

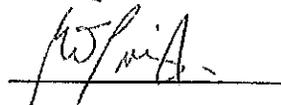
In the course of my employment with T-Mobile as an RF Engineer, I am familiar with T-Mobile's proposed collocation of a wireless communications facility (the "Proposed Facility") on the rooftop located at 300 Wrigley Drive in Lake Geneva, WI (the "Site"). This opinion is delivered to clarify the zoning record for the Proposed Facility. Please allow me to confirm the following:

1. The Proposed Facility is necessary in order to provide Personal Communications Service ("PCS") within Lake Geneva. Like traditional cellular phone systems, PCS operates on a "grid" system, whereby overlapping "cells" (geographic areas of coverage) mesh to form a wireless network. In order to provide PCS coverage within the geographic confines of each cell, a wireless communications facility such as the Proposed Facility must be situated approximately in the center of that cell. The Proposed Facility is intended to remedy a coverage gap (also known as a coverage "hole"). If the wireless communications facility is located outside that limited "search area," then gaps in coverage (*i.e.*, areas in which wireless communications cannot be adequately received, sent or maintained) and impermissible overlapping coverage (resulting in audio clutter and poor call quality) will likely remain in certain areas of the cell. In addition, each wireless communications facility must be of a certain height so as to be able to broadcast reliable PCS coverage throughout the cell area. Hence, the technical criteria for establishing cell sites are very exacting as to both the height and location of the Proposed Facility.
2. The absence of the Proposed Facility from T-Mobile's network currently results in gaps in coverage and in an inability by T-Mobile's nearby existing wireless communications facilities to hand-off wireless calls in a consistent and reliable fashion. The Proposed Facility is designed to provide seamless wireless coverage within the target area.
3. The location of the Proposed Facility on the Site was selected because this rooftop met the necessary RF engineering requirements. We considered (a) Site location and height, (b) structural strength, (c) proximity to existing base stations that must be able to hand-off calls with this site, (d) proximity to T-Mobile's customer base and (e) other limiting conditions such as character of the area, zoning requirements and the willingness of landowners in our search area to lease to us.

4. T-Mobile has provided, among other things, propagation maps that provide clear evidence of the need for the Proposed Facility. Please note that propagation models are based upon radio frequency engineering design principles, assumptions and existing data that can only properly be interpreted by or with the assistance of RF engineers who are expert in RF engineering.
5. The Proposed Facility is needed in response to growing demand from the community for wireless communications services, such as mobile phone and data services. According to industry sources, there were more than 190 million U.S. wireless subscribers as of June 2005, and more than 200,000 "911" emergency calls are placed on mobile phones each day (approximately half of all "911" calls). Modern, up-to-date wireless infrastructure allows wireless carriers to provide this critical public safety service.
6. The Proposed Facility will be designed and constructed to comply with all FCC and FAA rules governing construction and operating requirements. RF emissions are regulated by the FCC, and our equipment operates at emissions levels well below FCC maximum permissible limits.
7. The design of the Proposed Facility has been reviewed and approved by a licensed structural engineer.
8. The design and construction of the Proposed Facility does not create any substantial adverse effect on public safety. The antennas of the Proposed Facility will not create any noise and the base station equipment, will not create any noise beyond that produced by a typical residential air conditioning unit. The Proposed Facility will not generate any smoke, debris or other nuisances or drainage issues. The Proposed Facility, once constructed, will only require infrequent maintenance visits (approximately once or twice per month).

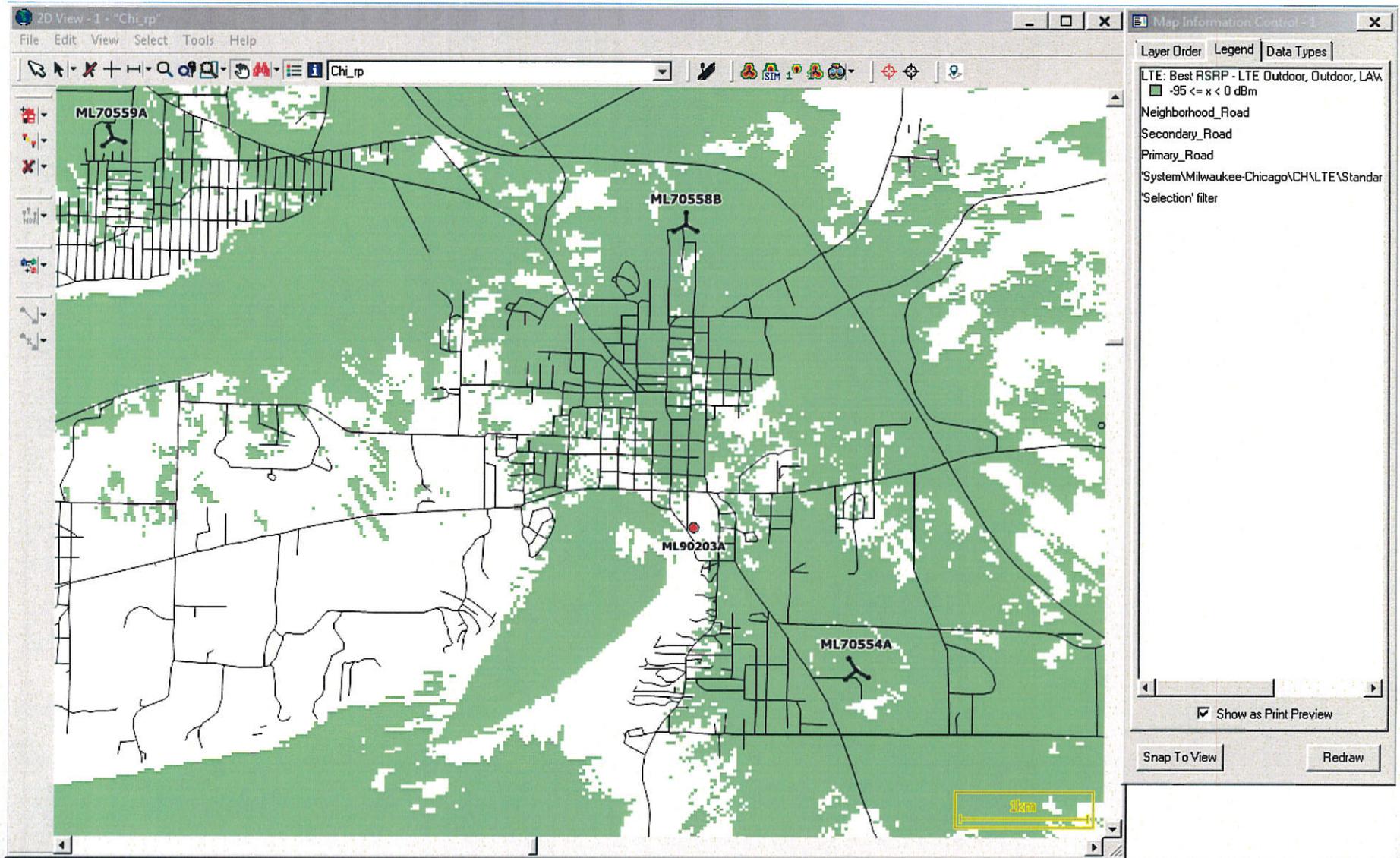
In conclusion, T-Mobile has thoroughly investigated the search area and concluded that the location of the Proposed Facility upon the Site provides a feasible location within the search area for RF engineering and other technical reasons.

RADIO FREQUENCY ENGINEER:

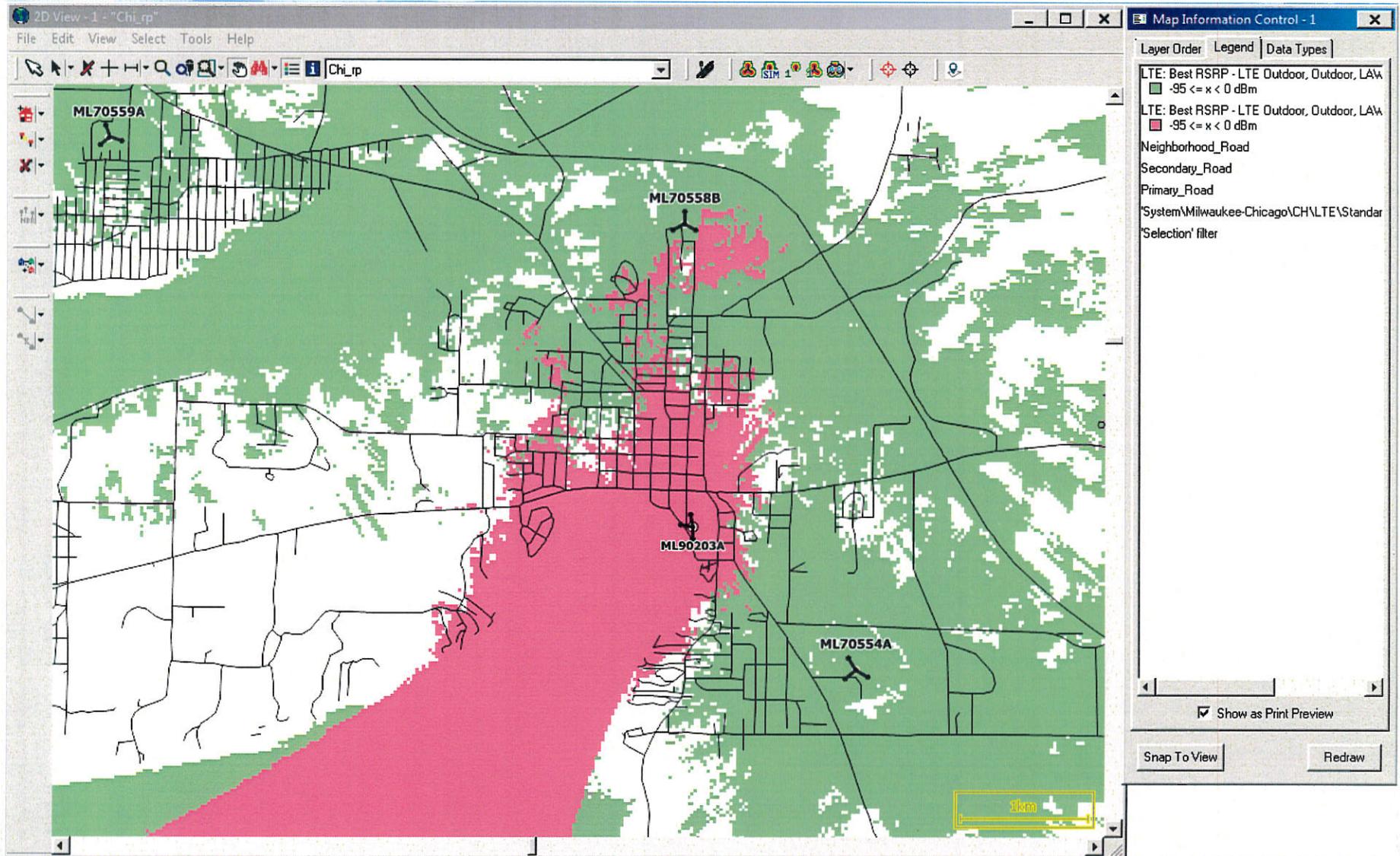
By: 

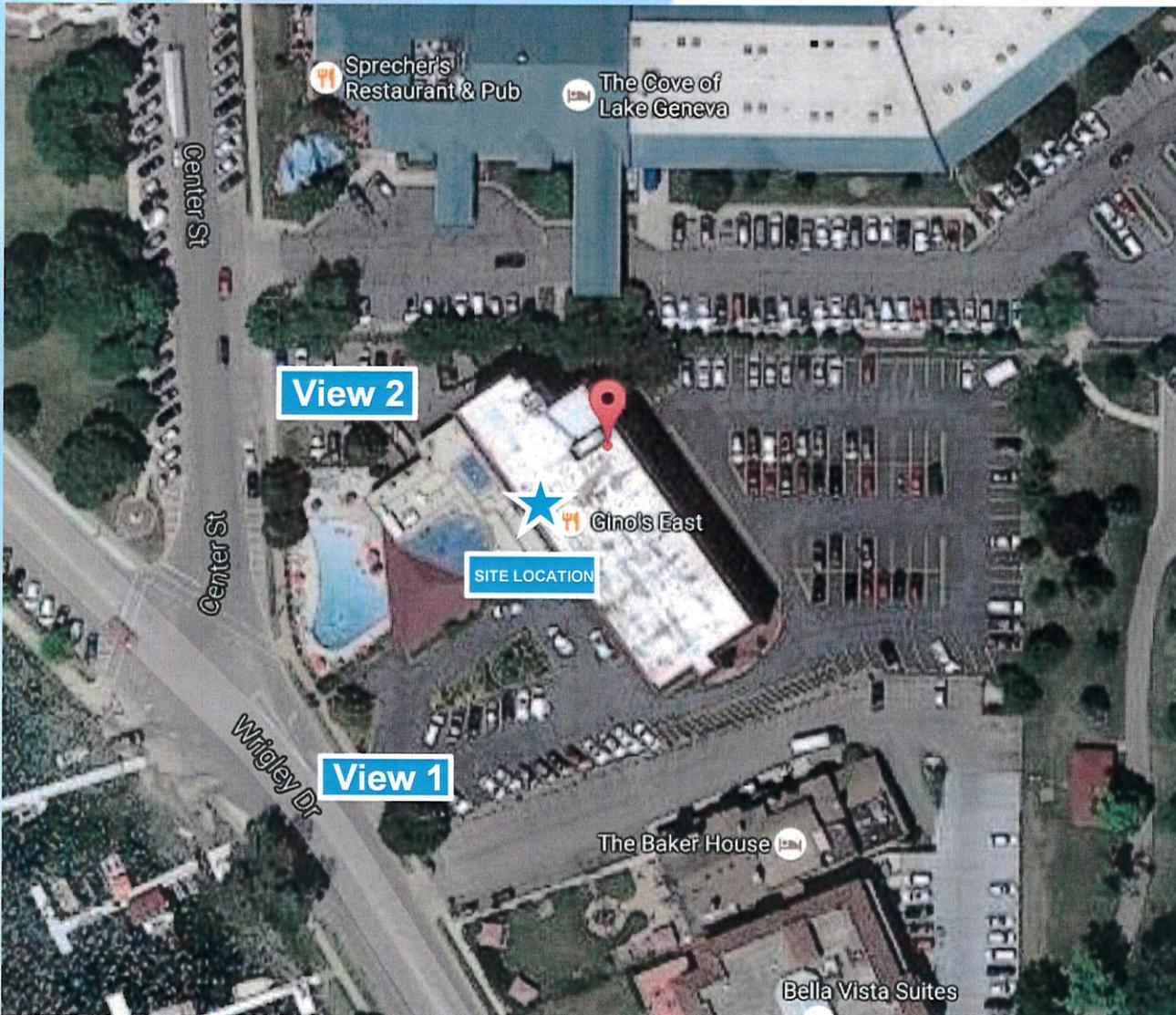
Name: ROSENDO PINEDA

Indoor Coverage without NSD Site (ML93203A)



Indoor Coverage with ML90203A @ 53'





SITE NUMBER: ML90203A
SITE NAME: HARBOR SHORES RT
SITE TYPE: ROOFTOP
SITE ADDRESS: 300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

COORDINATES:
N 42° 35' 21.00" , W 88° 25' 58.60"

VIEW#1: LOOKING FROM SOUTH WEST

VIEW #2: LOOKING FROM WEST



ConcordiaWireless.Com

• • **T** • • Mobile •

VIEW #1 BEFORE



Concordia Wireless, Inc.

ConcordiaWireless.Com

• • **T** • • Mobile •

VIEW #1 AFTER



• • **T** • • Mobile •

ENLARGED VIEW
#1 AFTER



Concordia Wireless, Inc.

ConcordiaWireless.Com

• • **T** • • Mobile •

VIEW #2 BEFORE



Concordia Wireless, Inc.

ConcordiaWireless.Com

• • **T** • • Mobile •

VIEW #2 AFTER



Concordia Wireless, Inc.

ConcordiaWireless.Com

SHEET INDEX

NO.	SHEET DESCRIPTION
T-1	TITLE SHEET
SP-1	SITE NOTES
SP-2	GENERAL NOTES AND SPECIFICATIONS
A-0	OVERALL SITE PLAN
A-1	ROOF PLAN
A-1A	EQUIPMENT LAYOUT
A-2	SITE ELEVATION
A-2A	NEW ANTENNA DETAILS
A-3	CABLE SCHEDULE AND ANTENNA DETAILS
A-3A	RFDS
A-3B	NSN CONFIGURATION DIAGRAM
A-4	EQUIPMENT DETAILS
A-4A	EQUIPMENT SPECIFICATIONS
A-4B	SSC & BATTERY CABINET SPECIFICATIONS
A-4C	CUBE SPECIFICATIONS
S-1	STRUCTURAL STEEL NOTES AND ROOF PLAN
S-1A	STRUCTURAL LAYOUTS & FRAMING PLAN
S-2	PLATFORM FRAMING DETAILS
S-2A	PLATFORM FRAMING DETAILS
S-3	ANTENNA MOUNTING DETAILS
S-3A	ANTENNA MOUNTING SPECIFICATIONS
S-3B	NEW ANTENNA SLED MOUNT DETAILS
E-1	UTILITY SITE PLAN AND DETAILS
E-1A	NEW UTILITY ROUTING
E-1B	NEW UTILITY ROUTING
E-2	UTILITY RISER DIAGRAM
E-2A	UTILITY DETAILS
E-3	UTILITY DETAILS
E-3A	UTILITY ROUTING DETAILS
EG-1	SITE GROUNDING PLAN
EG-1A	GROUNDING RISER DIAGRAM
EG-2	GROUNDING DETAILS
EG-3	GROUNDING DETAILS
MISC-1	MANDATORY SIGNAGE & POSTING

DRIVING DIRECTIONS

**DRIVING DIRECTIONS FROM T-MOBILE OFFICE AT:
8550 W BRYN MAWR AVE, CHICAGO IL 60631**

1. HEAD SOUTH TOWARDS W BRYN MAWR AVE. 250 FT
2. TURN LEFT ONTO W BRYN MAWR AVE. 0.3 MI
3. USE THE LEFT 2 LANES TO TURN LEFT ONTO N CUMBERLAND AVE. 0.4 MI
4. USE THE RIGHT LANE TO MERGE ONTO I-90 W VIA THE RAMP TO ROCKFORD/294. 0.2 MI
5. MERGE ONTO I-90 W. 0.6 MI
6. KEEP LEFT TO STAY ON I-90 W TOLL ROAD. 0.9 MI
7. TAKE THE EXIT ONTO I-284/N TRI-STATE TOLLWAY TOWARDS MILWAUKEE. 12.7 MI
8. MERGE ONTO I-94W/ TRI-STATE TOLLWAY. 19.0 MI
9. KEEP LEFT AT THE FORK TO STAY ON I-94 W PARTIAL TOLL ROAD ENTERING WISCONSIN. 9.9 MI
10. TAKE EXIT 344 FOR WI-50 W. 0.3 MI
11. TURN LEFT ONTO WI-50 W 75TH ST CONTINUE TO FOLLOW WI-50 W. 26.2 MI
12. TURN LEFT ONTO CENTER ST. 0.2 MI
13. TURN LEFT. 184 FT

DESTINATION WILL BE ON THE RIGHT

TOTAL TRAVEL ESTIMATE: 70.6 MILES, ABOUT 1 HOUR 16 MINUTES.

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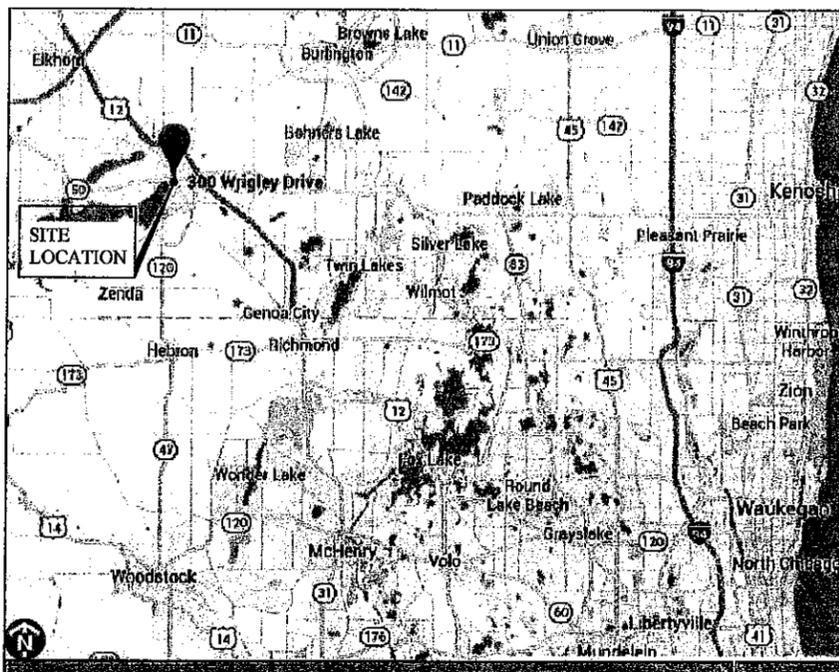
PROFESSIONAL LICENSURE

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF THE GOVERNING LOCAL BUILDING CODE.

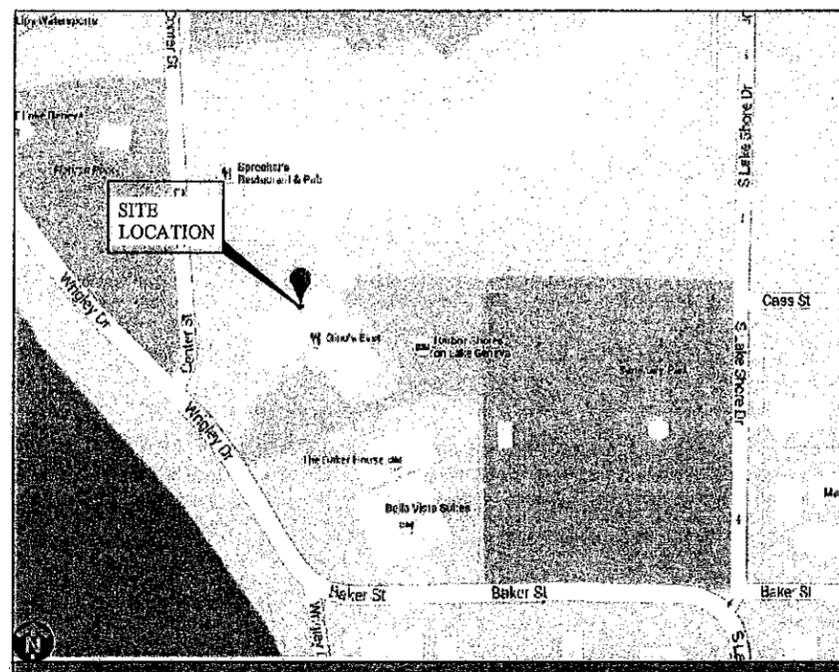
GHAZWAN M. SADAT
49204
PROFESSIONAL ENGINEER
ARLINGTON HEIGHTS, ILLINOIS

LICENSED PROFESSIONAL - STATE OF WISCONSIN
EXPIRES: 07/31/18
SIGNED: 11/15/16

REGIONAL MAP



VICINITY MAP



CONTRACTOR SHALL HAVE THE SITE MANNED WITH A SUPERVISOR AND CREW FOR EVERY DAY OF THE BUILD.
GC SHALL CONTACT THE A&E FIRM PRIOR TO BIDWALK AND CONSTRUCTION START TO CONFIRM THAT DRAWINGS ARE THE MOST RECENT SET.

Scope of Work

THE SCOPE OF WORK CONSISTS OF INSTALLATION OF NEW WIRELESS EQUIPMENT:

1. INSTALLATION OF (6) NEW ANTENNAS
2. INSTALLATION OF (1) GPS ANTENNA
3. INSTALLATION OF (1) MICROWAVE DISH ANTENNA
4. INSTALLATION OF (2) SYSTEM MODULES
5. INSTALLATION OF (6) RF MODULES
6. INSTALLATION OF (2) COVP'S
7. INSTALLATION OF (1) HYBRID CABLE & (1) MICROWAVE CABLE
8. INSTALLATION OF (1) NEW HP LARGE SSC
9. INSTALLATION OF (1) NEW BATTERY CABINET
10. INSTALLATION OF (1) NEW STEEL CUBE

T-Mobile
stick together[®]

NSD PROJECT

Site Number
ML90203A (ROOFTOP)
Site Name
HARBOR SHORES RT
Site Address
**300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147**



Know what's below.
Call before you dig.

CALL DIGGERS HOTLINE
FOR UNDERGROUND UTILITIES PRIOR TO DIGGING
1-800-242-8511 OR 811

APPROVALS

T-MOBILE OPS _____
R.F. OPS _____
R.F. ENGINEER _____
SITE ACQUISITION _____
CONSTRUCTION _____
SITE OWNER _____

PROJECT INFORMATION

LATITUDE: N 42° 35' 21.00" (NAD83)
LONGITUDE: W 88° 25' 58.60" (NAD83)
GROUND ELEVATION: 877.98' (AMSL)
FAA INFORMATION OBTAINED FROM 1A LETTER PREPARED BY CONCORDIA WIRELESS, INC DATED: 10/20/16

SITE TYPE: ROOFTOP
JURISDICTION: LAKE GENEVA
COUNTY: WALWORTH

UTILITIES:
POWER: WE ENERGIES
PHONE: (800) 242-9137
FIBER: AT&T
PHONE: (866) 620-6900

APPLICANT: T-MOBILE
8550 W BRYN MAWR AVE,
SUITE 100
CHICAGO IL 60631
PHONE: (773) 444-5400

SITE ACQUISITION: CONTACT: TOM JEMILLO
PHONE: (708) 638-1479

ENGINEERING CONTACT: CONCORDIA WIRELESS, INC.
CONTACT: GM SADAT, PE
PHONE: (847) 981-0801
FAX: (847) 689-0643

- CODES:**
1. INTERNATIONAL BUILDING CODE 2012
 2. NATIONAL ELECTRIC CODE (NEC)
 3. AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION
 5. TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL TOWER AND ANTENNA SUPPORTING STRUCTURES
 6. TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS

T-Mobile

T-MOBILE
8550 WEST BRYN MAWR AVE.
SUITE 100
CHICAGO, IL 60631
MAIN: (773) 444-5400

CONCORDIA, LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 3323-011- D.B.A.

CONCORDIA WIRELESS, INC.
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

DRAWN BY: VG CHECKED BY: GMS
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No.	Revision/Issue	Date	Initial
A	LEASE EXHIBIT	09/22/16	VG
B	90% REVIEW	07/29/16	JC
C	REVISED 90% REVIEW	10/20/16	VG/JC
D	FINAL	11/15/16	MS

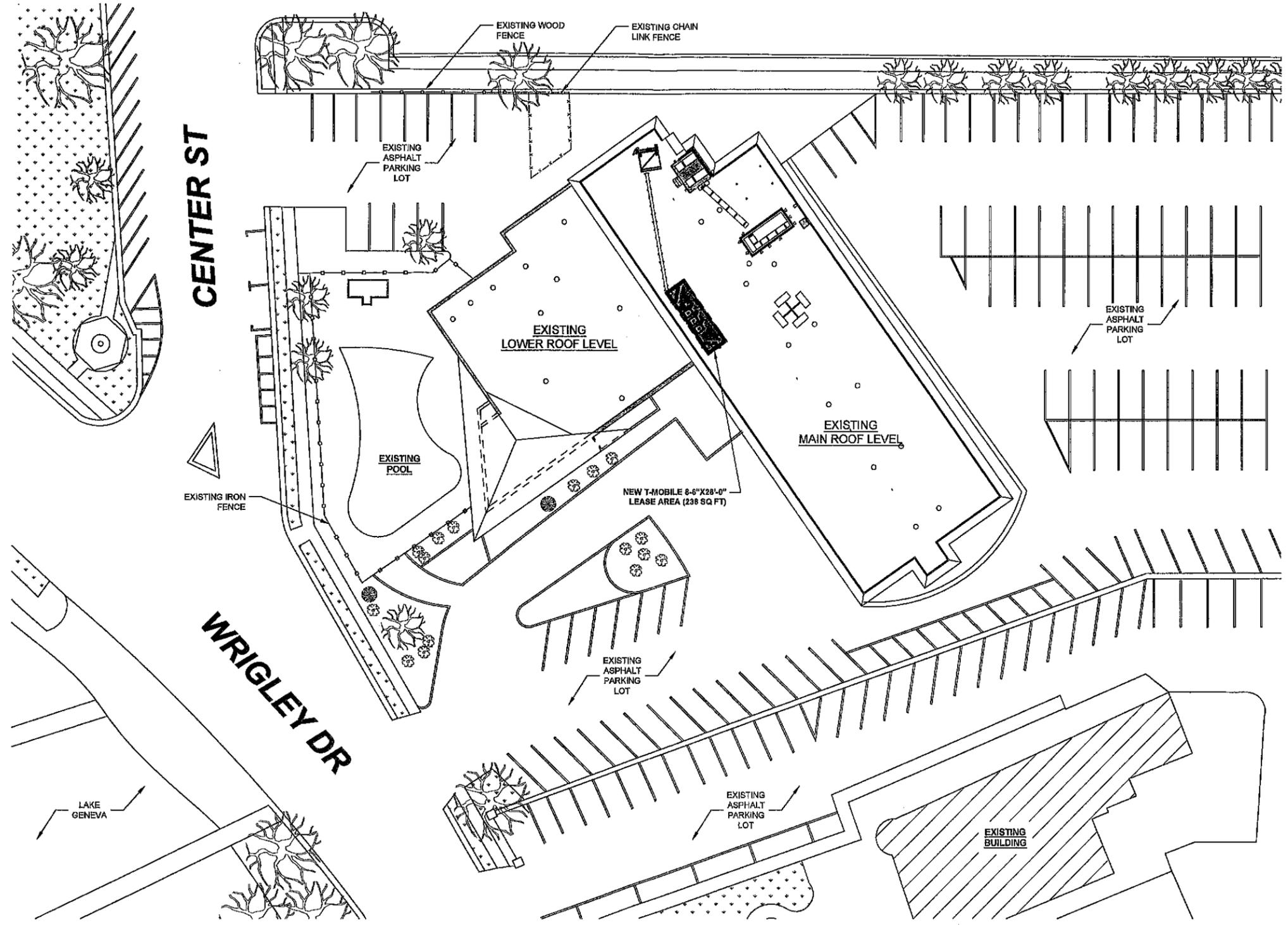
ML90203A
HARBOR SHORES RT
300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

TITLE SHEET

T-1

LEGEND & SYMBOLS

- UTILITY POLE
- SIGN
- TELECO PEDESTAL
- FIRE HYDRANT
- LIGHT STANDARD
- INLET
- CATCH BASIN
- MANHOLE
- TRAFFIC SIGNAL
- ROW MARKER
- IRON PIPE SET
- IRON PIPE FOUND
- BUFFALO BOX
- GROUNDING TEST WELL
- VALVE BOX
- HORIZONTAL CONTROL POINT
- GENERATOR RECEPTACLE
- HANDICAPPED PARKING SPACE
- DT100
- DECIDUOUS TREE W/SIZE
- CT100
- CONIFEROUS TREE W/SIZE
- BRUSH
- TREE LINE
- 666
- CONTOUR W/ELEVATION
- EXISTING GUARDRAIL
- CHAIN LINK FENCE
- IRON FENCE
- WOOD FENCE
- OE/OT
- OVERHEAD WIRES
- LEASE AREA LINE
- UTILITY EASEMENT LINE
- UE
- UNDERGROUND ELECTRIC LINE
- FO
- UNDERGROUND FIBER LINE
- G
- UNDERGROUND GAS LINE
- T
- UNDERGROUND TELECOMM. LINE
- SS/SA
- UNDERGROUND STORM/SANITARY SEWER LINE
- W
- UNDERGROUND WATER LINE
- COM
- UNDERGROUND COMMUNICATION/ MONITORING LINE
- CONCRETE
- ASPHALT
- GRAVEL
- X X
- CULTIVATED FIELD
- Grass Area



T-Mobile

T-MOBILE
8550 WEST BRYN MAWR AVE.
SUITE 100
CHICAGO, IL 60631
MAIN: (773) 444-5400

CONCORDIA, LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 8323-011- D.B.A.

CONCORDIA WIRELESS, INC.
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

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G. M. Sadat

ML90203A
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300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

OVERALL SITE PLAN

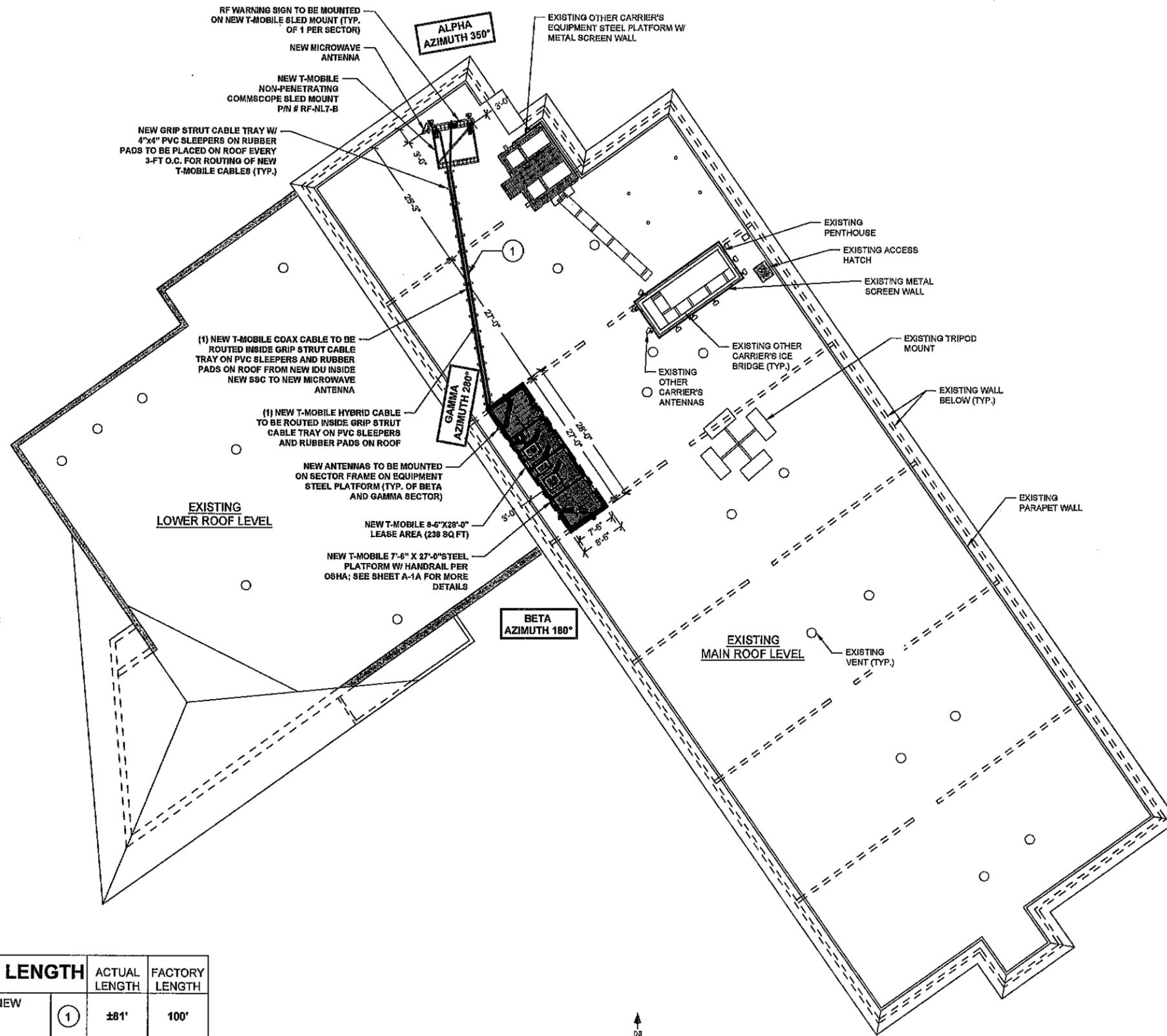
A-0

1 OVERALL SITE PLAN
SCALE: 3/64"=1'-0" (3/64"=2'-0" IF 11X17 SHEET SIZE)



LEGEND & SYMBOLS

- UTILITY POLE
- SIGN
- TELCO PEDESTAL
- FIRE HYDRANT
- LIGHT STANDARD
- INLET
- CATCH BASIN
- MANHOLE
- TRAFFIC SIGNAL
- ROW MARKER
- IRON PIPE SET
- IRON PIPE FOUND
- BUFFALO BOX
- VALVE BOX
- HORIZONTAL CONTROL POINT
- HANDICAPPED PARKING SPACE
- DT100 DECIDUOUS TREE W/SIZE
- CT100 CONIFEROUS TREE W/SIZE
- BRUSH
- TREE LINE
- CONTOUR W/ELEVATION
- EXISTING GUARDRAIL
- CHAIN LINK FENCE
- IRON FENCE
- WOOD FENCE
- OVERHEAD WIRES
- LOT LINE
- PROPERTY LINE
- LEASE AREA LINE
- UTILITY EASEMENT LINE
- CENTER LINE
- UE UNDERGROUND ELECTRIC LINE
- UG UNDERGROUND GAS LINE
- FO UNDERGROUND FIBER LINE
- UT UNDERGROUND TELCO LINE
- SS/SA UNDERGROUND STORM/SANITARY SEWER LINE
- W UNDERGROUND WATER LINE
- COM UNDERGROUND COMMUNICATION MONITORING LINE
- CONCRETE
- ASPHALT
- GRAVEL
- CULTIVATED FIELD
- GRASS AREA
- ICE BRIDGE
- STEEL PLATFORM

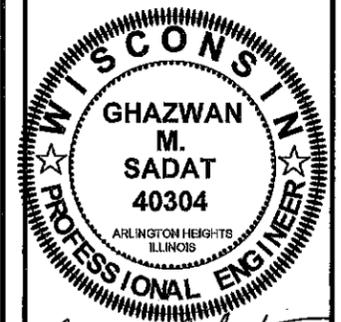


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300 WRIGLEY DRIVE
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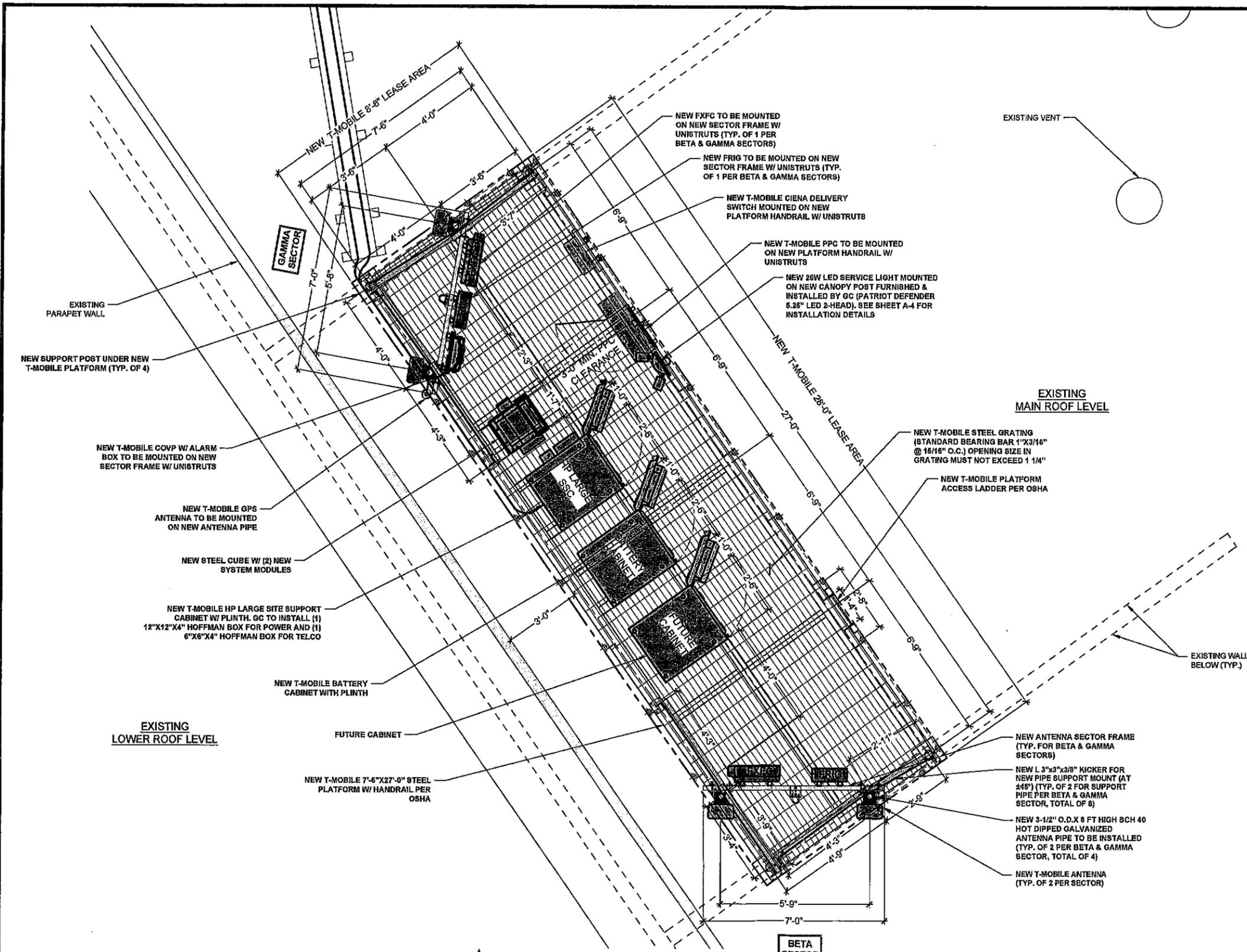
ROOF PLAN

A-1

NEW HYBRID CABLE LENGTH		
	ACTUAL LENGTH	FACTORY LENGTH
FROM MAIN COVP LOCATED ON NEW T-MOBILE STEEL PLATFORM TO ALPHA SECTOR COVP	1 ±81'	100'

1 ROOF PLAN
SCALE: 3/32"=1'-0" (3/32"=2'-0" IF 11 X 17 SHEET SIZE)





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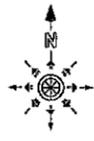


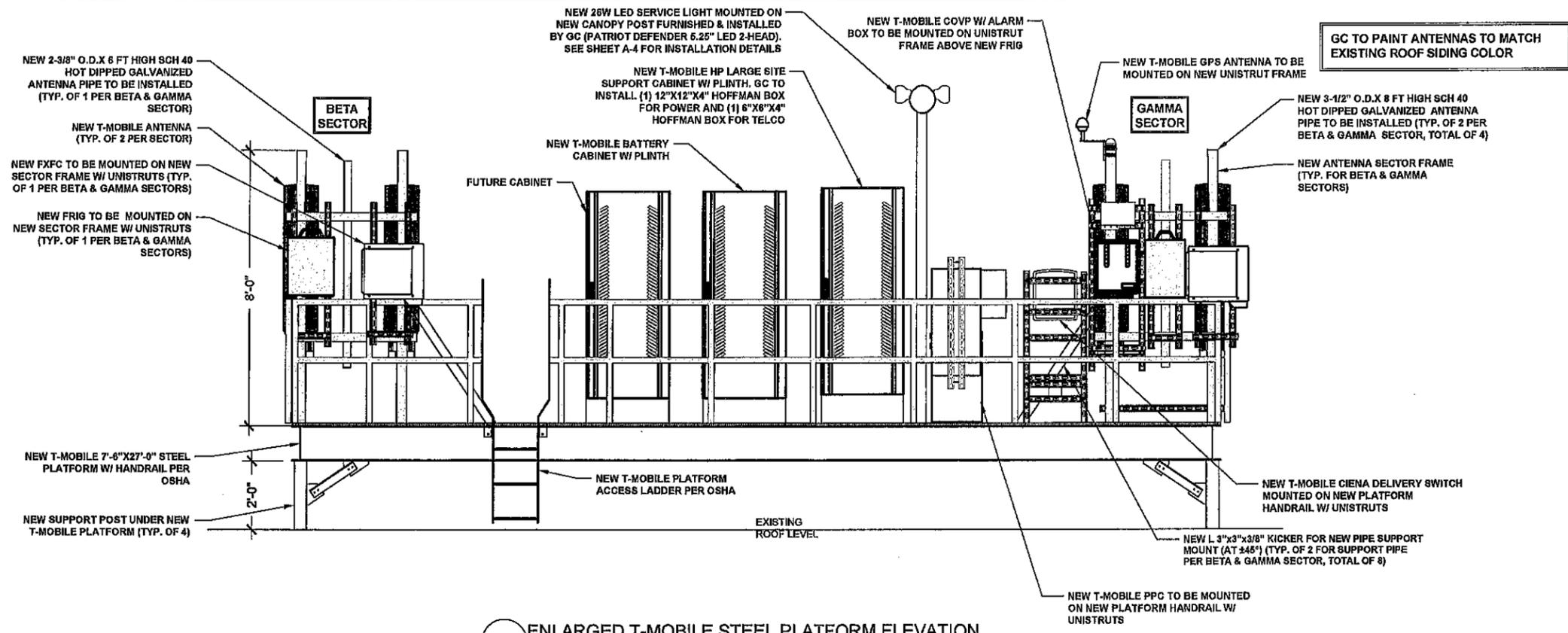
ML90203A
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300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

EQUIPMENT LAYOUT

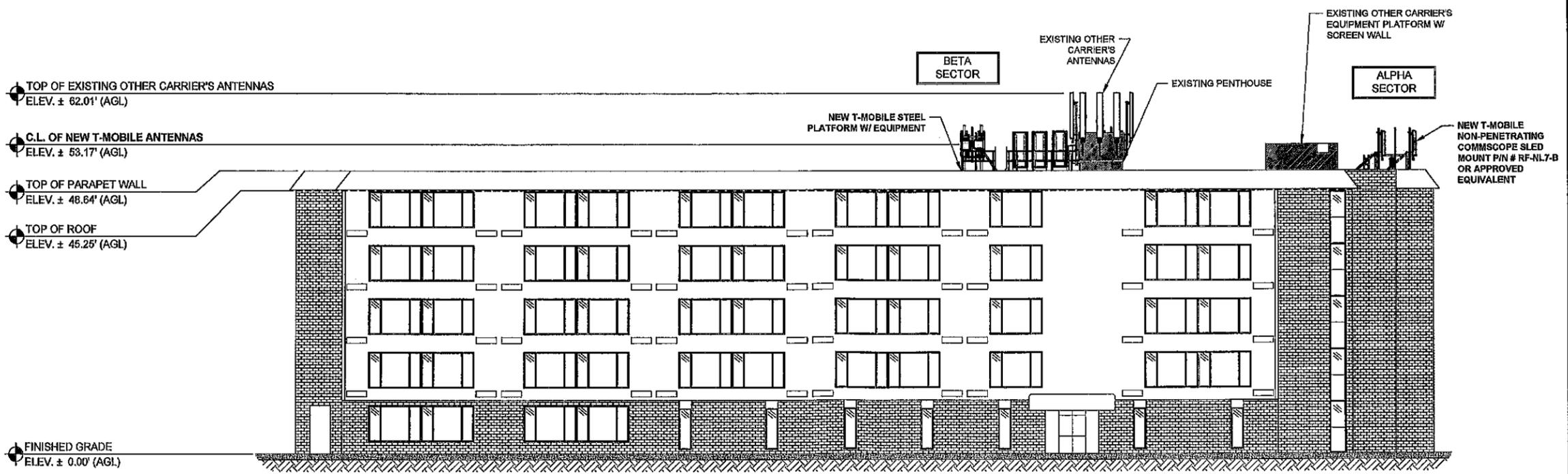
A-1A

1 EQUIPMENT LAYOUT
SCALE: 1/2"=1'-0" (1/2"=2'-0" IF 11 X 17 SHEET SIZE)





1 ENLARGED T-MOBILE STEEL PLATFORM ELEVATION
 SCALE: 1/2"=1'-0" (1/2"=2'-0" IF 11 X 17 SHEET SIZE)



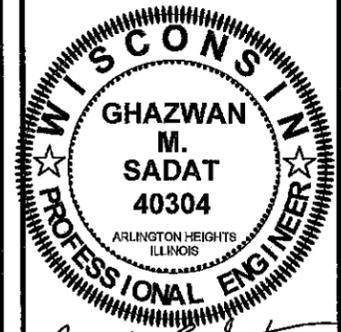
2 BUILDING NORTH EAST ELEVATION
 SCALE: 3/32"=1'-0" (3/32"=2'-0" IF 11 X 17 SHEET SIZE)

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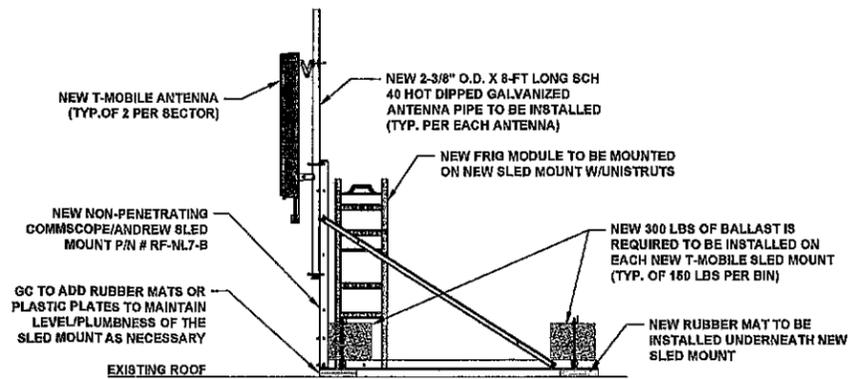
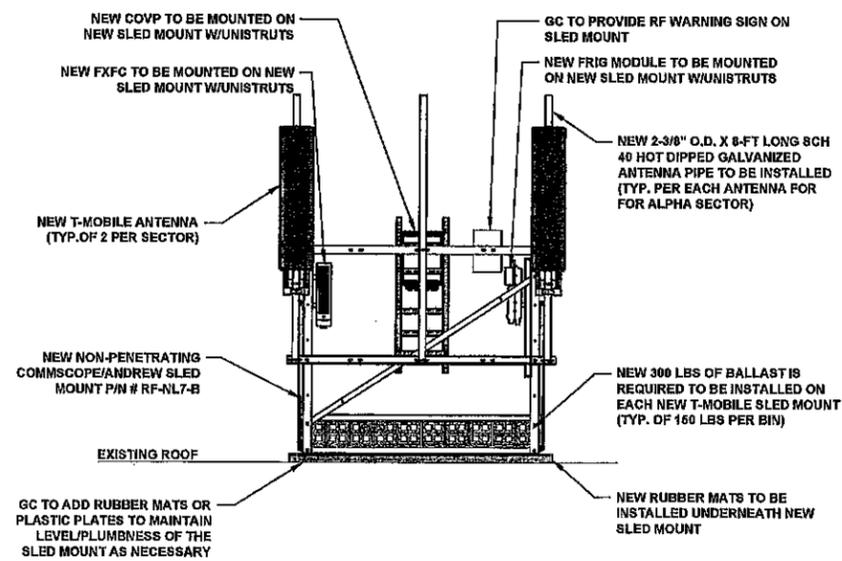
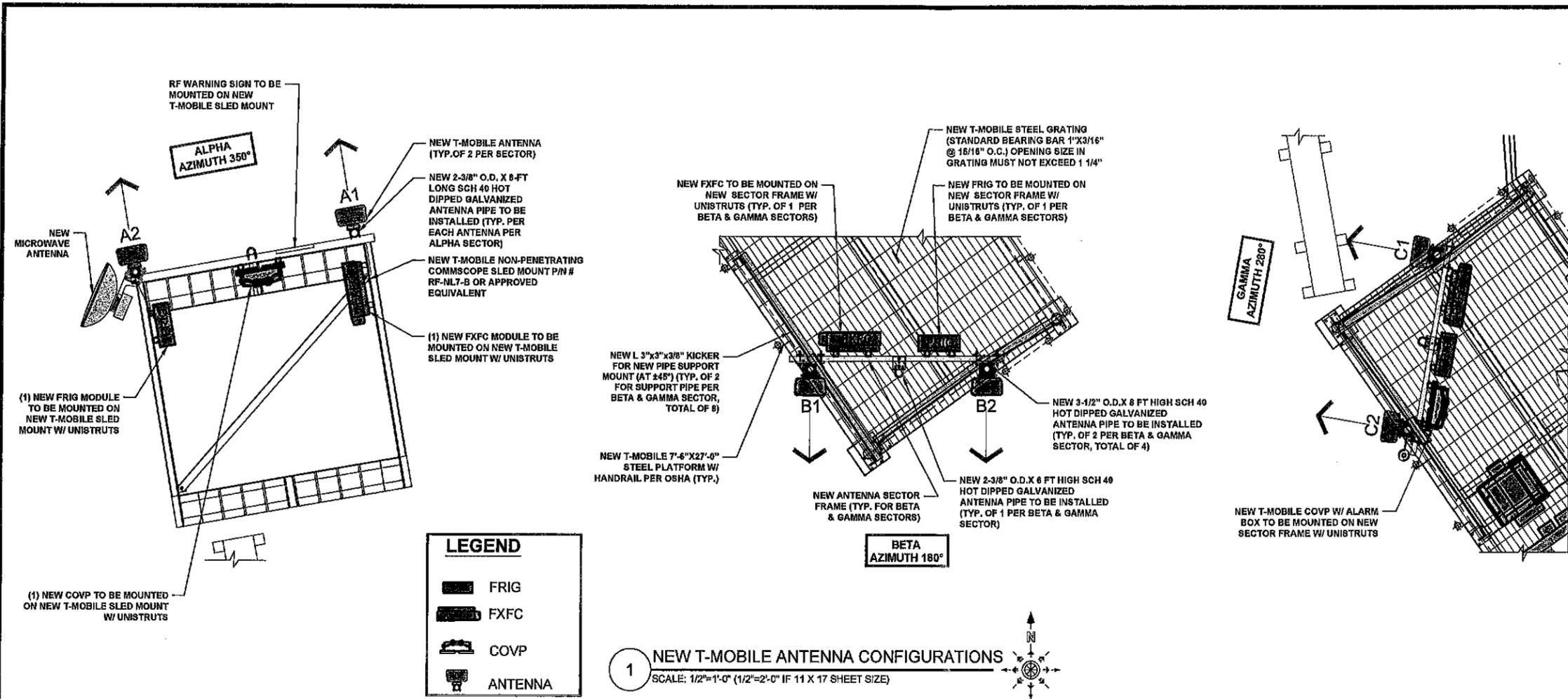
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 HARBOR SHORES RT
 300 WRIGLEY DRIVE
 LAKE GENEVA, WI 53147

SITE ELEVATION

A-2



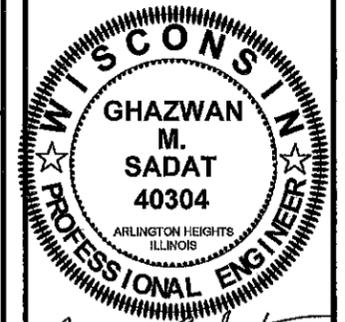
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LAKE GENEVA, WI 53147

NEW ANTENNA DETAILS

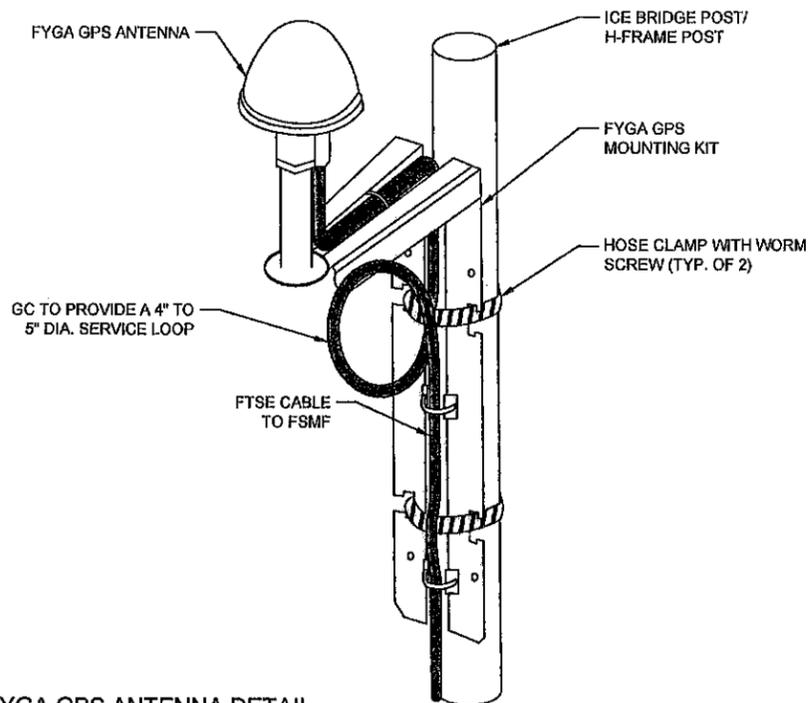
A-2A

NOTES:

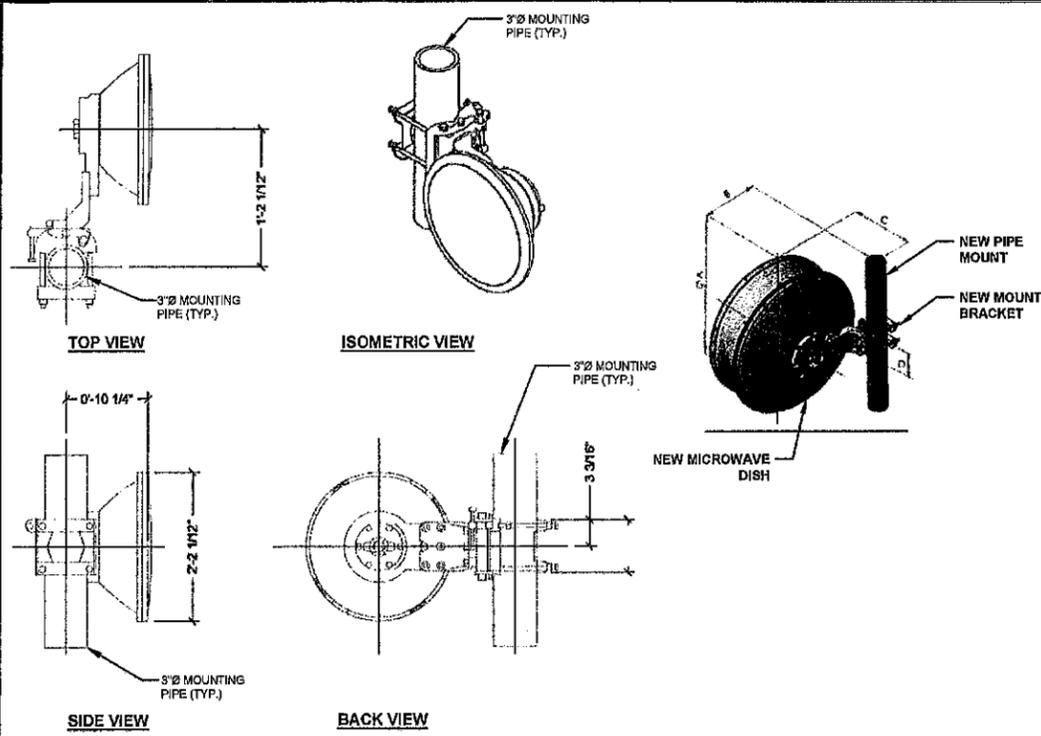
1. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/4" DIA. SCH. 40 GALVANIZED OR STAINLESS STEEL PIPE. THE PIPE MUST BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE CUT TO THE REQUIRED LENGTH (MIN. OF 18") USING A WAND OR ROTARY PIPE CUTTER TO ASSURE A SMOOTH PERPENDICULAR CUT. THE CUT PIPE END SHALL BE DEBURRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNAS MOUNT.

2. THE MOUNTING PLATE SHALL BE FABRICATED AS SHOWN AND ATTACHED TO THE APPROPRIATE SUPPORT STRUCTURE USING U-BOLTS. THE SUPPORT PIPE FOR THE GPS SHALL BE MOUNTED USING OVERSIZED U-BOLTS TO ALLOW ADJUSTMENT. IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED WITHIN 2" OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2" LEVEL.

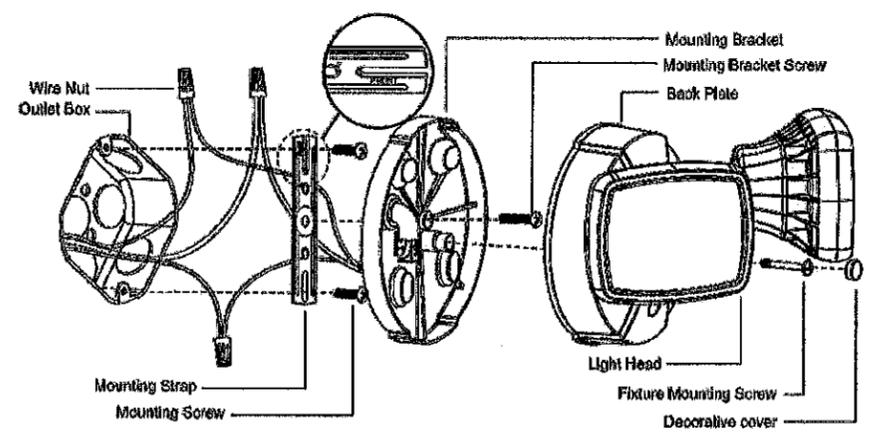
3. INSTALL GPS ANTENNA AS SPECIFIED ON SITE PLAN. IF INSTALLING ON ICE/CABLE BRIDGE ENSURE THAT GPS IS A MINIMUM OF 10' ABOVE GRADE, ON THE FURTHEST POST FROM THE TOWER TO ATTAIN MAXIMUM COVERAGE.



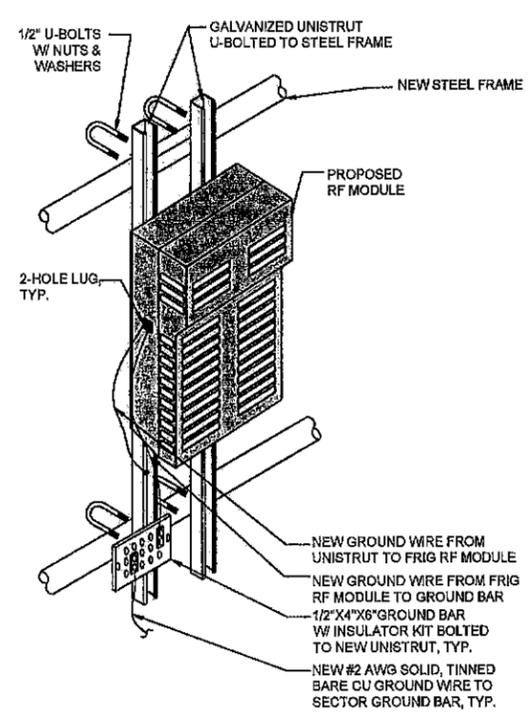
1 **FYGA GPS ANTENNA DETAIL**
SCALE: N.T.S.



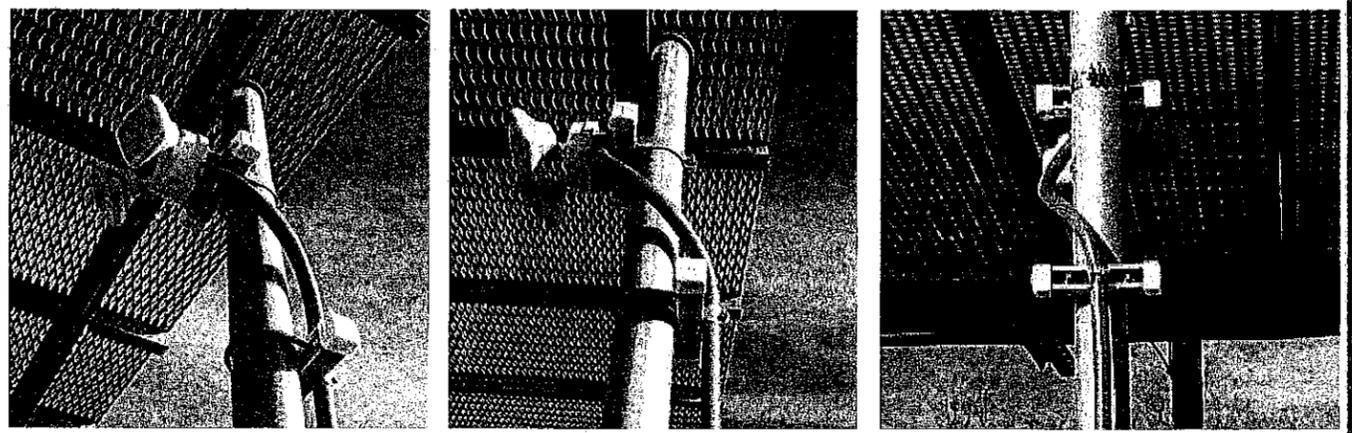
3 **TYPICAL MICROWAVE DISH MOUNTING DETAIL**
SCALE: N.T.S.



2 **LIGHT INSTALLATION DETIAL (PATRIOT DEFENDER 5.25\"/>**



4 **TYPICAL RF UNIT MOUNTING DETAIL**
SCALE: N.T.S.



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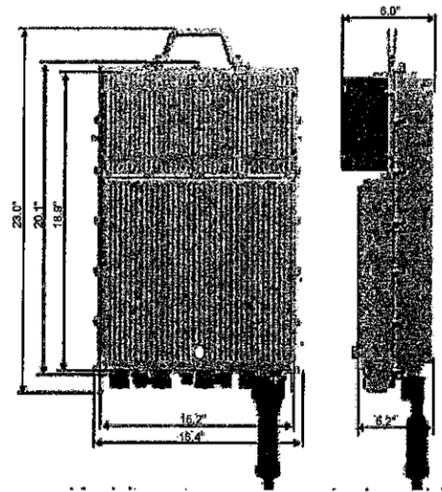
ML90203A
HARBOR SHORES RT
300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

EQUIPMENT DETAILS

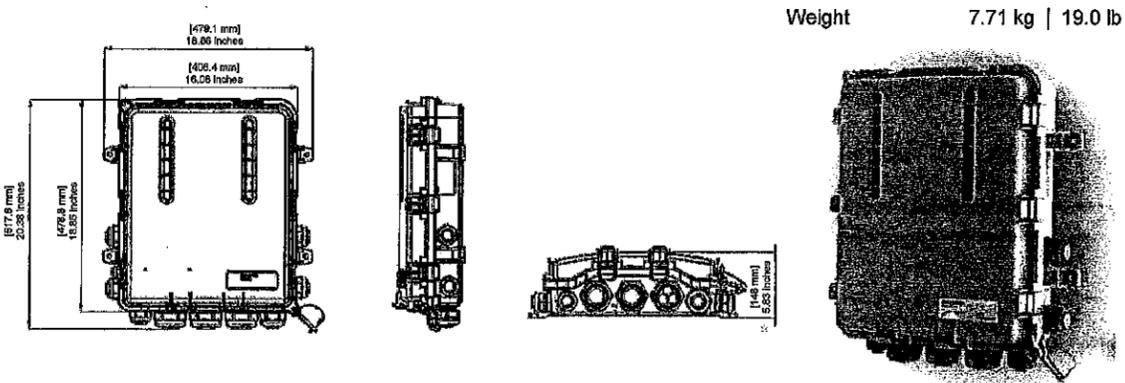
Sub-section	Width (mm)		Height (mm)			Depth (mm)			Qty	Volume (L)
	Filter	PA	Filter	PA	Total	Filter	PA	Qty		
Overall w/o bossés (3-way)	307	324.5	165	479.6	132.9	161.85	1	26		

Note:
1. All the dimensions do not include Flange, Screw Boss & Connectors. Stepping fin height was used separately for Volume calculate.

- 26 liters
- 26 Kg
- IP65
- -35 to +55 °C*
- 4*30W or 2*60W

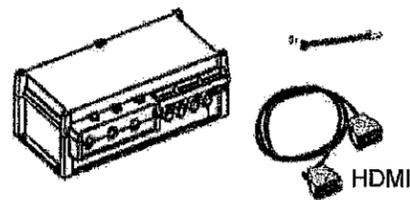


PROPOSED FRIG
SCALE: N.T.S.



Weight 7.71 kg | 19.0 lb

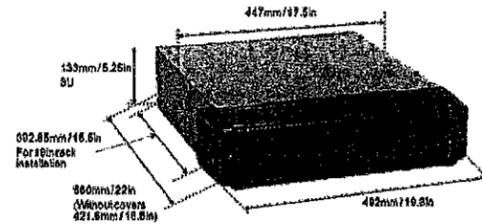
LARGE COVP (RAYCAP ASU9338TYP01)
SCALE: N.T.S.



FSEB (ALARM BOX)
SCALE: N.T.S.

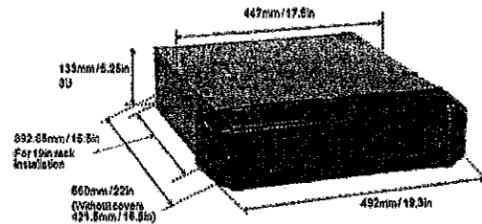
Flexi Multiradio BTS System Module FSMF

- < 15 liters
- < 15 kg
- 3 height units
- IP65
- -35 to +55 °C



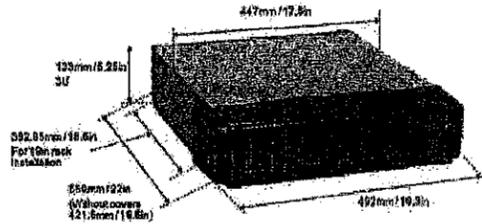
Flexi Multiradio BTS System Module ESMB

- < 15 liters
- < 15 kg
- 3 height units
- IP65
- -35 to +55 °C



Flexi Multiradio BTS System Module FXFC

- < 25 liters
- < 25 kg
- 3 height units
- IP65
- -35 to +55 °C



PROPOSED SYSTEM MODULE FSMF, ESMB & FXFC
SCALE: N.T.S.

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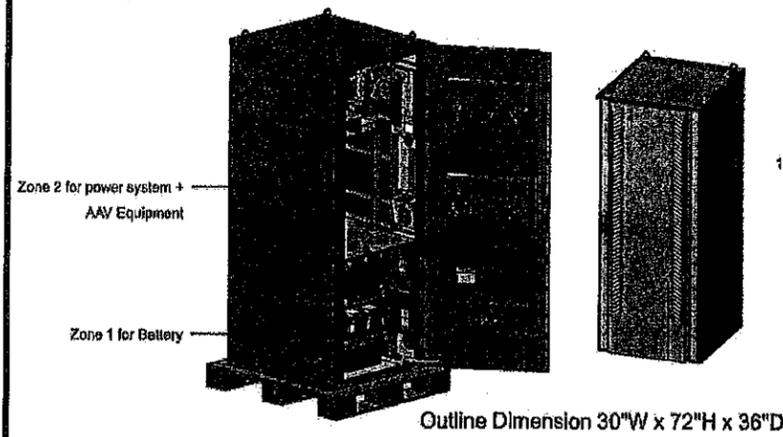
ML90203A
HARBOR SHORES RT
300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

EQUIPMENT
SPECIFICATIONS

A-4A



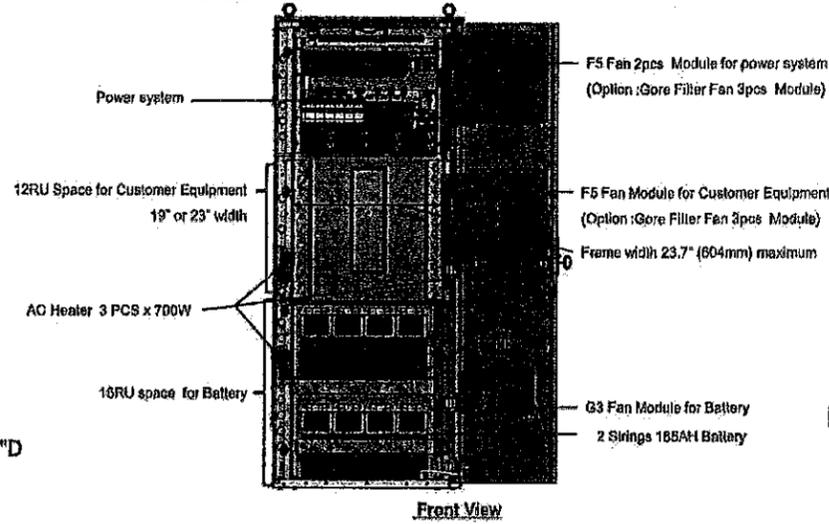
HP (High Power) Large SS



Outline Dimension 30"W x 72"H x 36"D



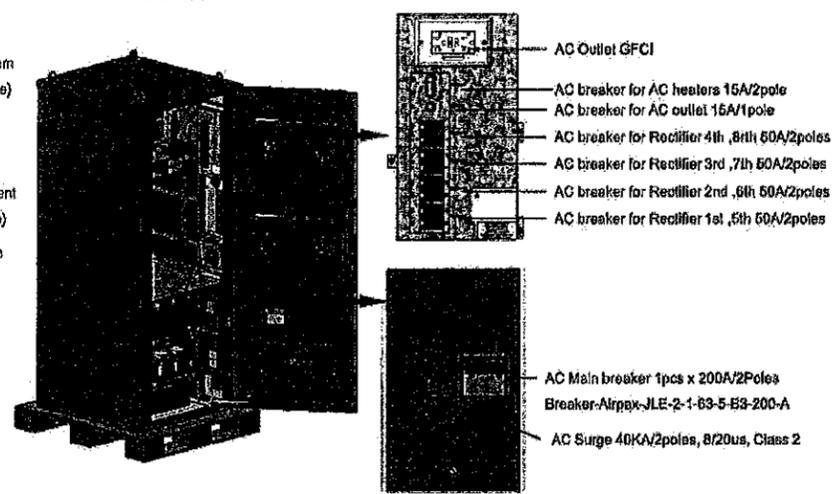
Cabinet Configuration



Front View

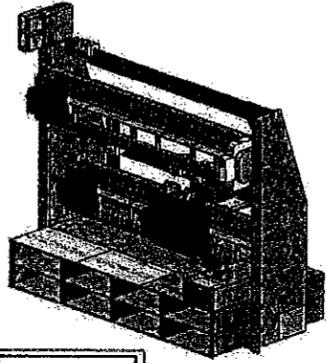


AC Configuration



23" PDU Configuration

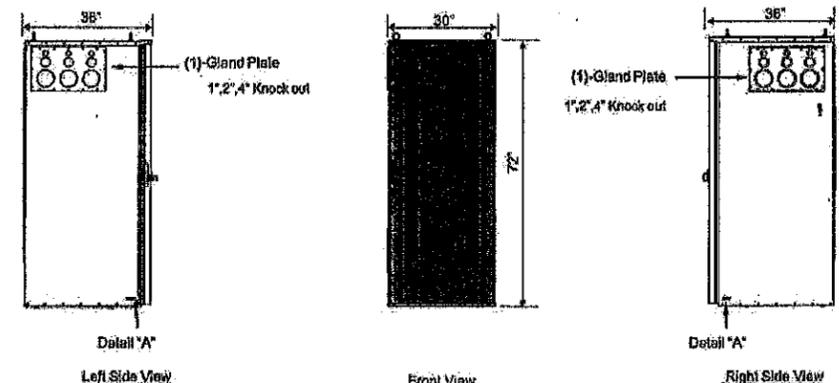
- 23" 10.5RU Power System
- (8) rectifier slots for 480A/48V
- CSU502 controller (CAN bus controller for power system)
- IP controller (Web-access for power system)
- DIN-style circuit breaker Load max. 52 Positions with DC SPD
- Single-pole up to 63A breaker (Wire sizes between #14 and #6 AWG)
- Triple-pole 150A breakers (Wire sizes between #4 and 2/0 AWG)
- Breakers higher than 63A need to be installed on 2nd rail
- DIN-style circuit breaker Battery Max. 16 Positions
- 4-pole 200A breakers for 2 or 4 strings
- 3-pole 150A breakers for 3 or 4 strings (1 or 2 in external battery cabinet)
- 2-pole 100A breakers for 5 to 7 strings (3 to 5 in external battery cabinet)
- Wire sizes between #4 and 2/0 AWG
- Generator Connector: Anderson SB-350 Gray



Load Breaker																	Load Breaker																	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35
150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	150A	
300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	300A	



Cable Access Ports



Detail "A"

Left Side View

Front View

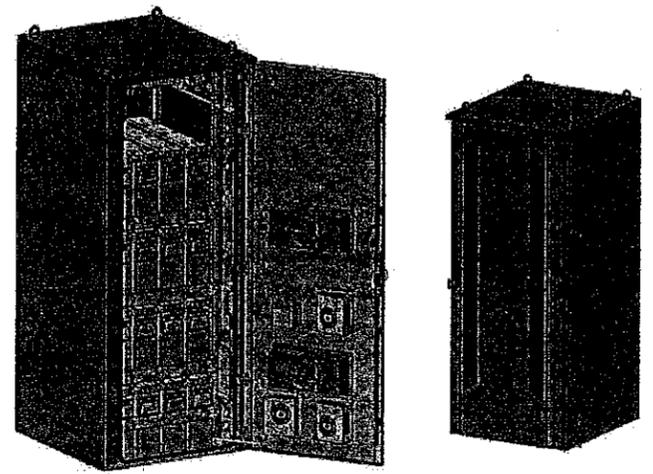
Detail "A"

Right Side View

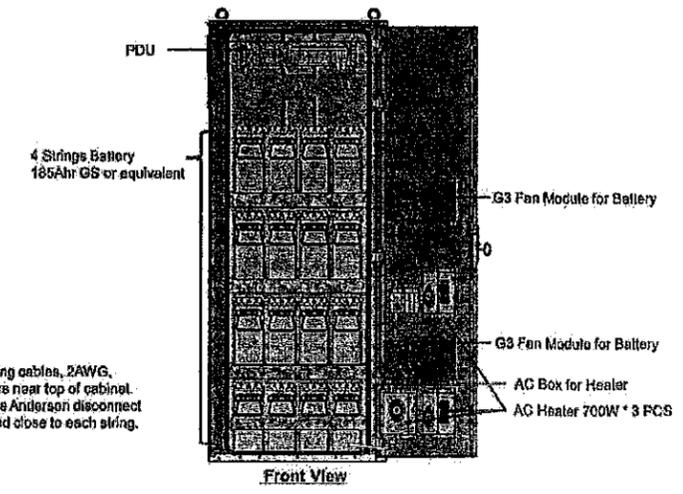
1 DELTA HIGH POWER LARGE SS CABINET
N.T.S.



Battery Cabinet



Battery Cabinet Configuration



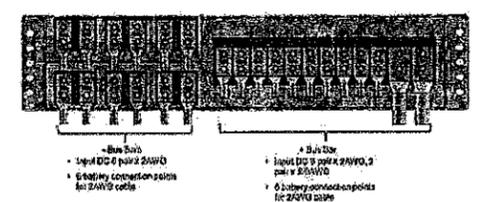
Front View

Includes 4 battery string cables, 2AWG, terminated on bus bars near top of cabinet. Each cable will include Anderson disconnect (SB 120) to be secured close to each string.

2 DELTA BATTERY CABINET
N.T.S.

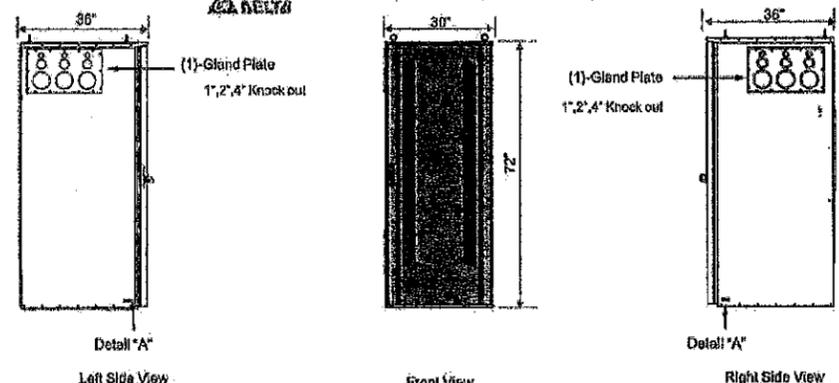


Battery Cabinet Configuration



- Bus Bar
- Liquid SPD 3 pole x 250V
- Battery connection points for 2AWG cable
- Bus Bar
- Liquid SPD 3 pole x 250V, 2 pole x 250V
- Battery connection points for 2AWG cable

Outline Dimension 30"W x 72"H x 36"D



Detail "A"

Left Side View

Front View

Detail "A"

Right Side View

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SSC & BATTERY CABINET
SPECIFICATIONS

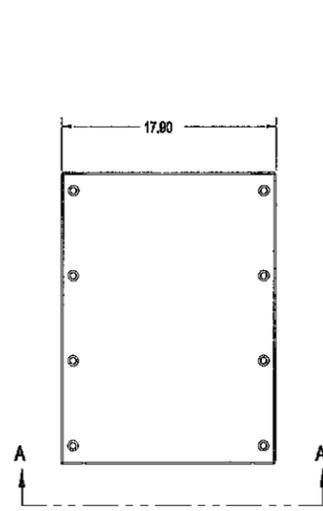
A-4B

T-Mobile

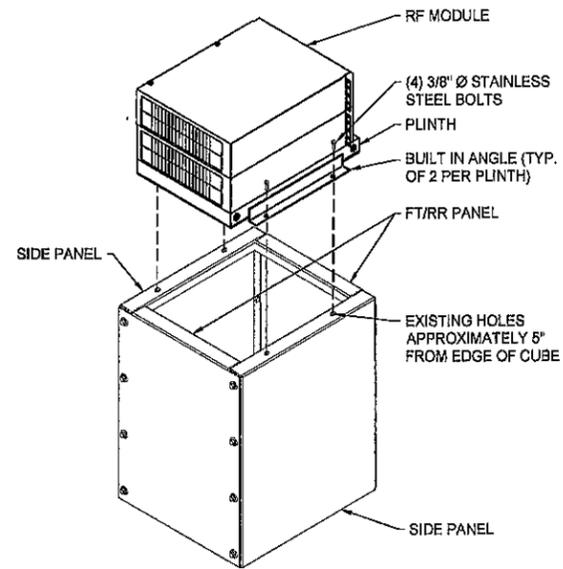
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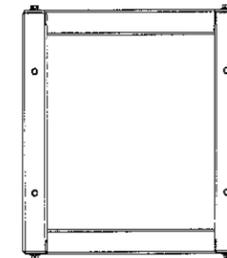
DRAWN BY: VG	CHECKED BY: GMS
CHECKED BY: RH	APPROVED BY: GMS



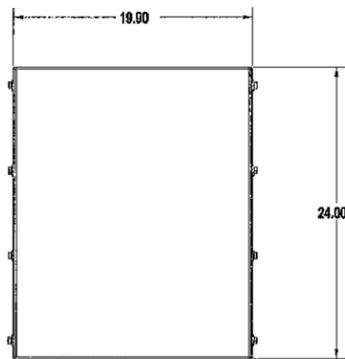
FRONT VIEW
SCALE: N.T.S.



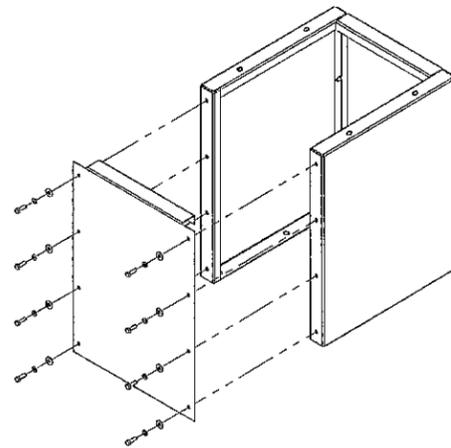
**ISOMETRIC
(MODULE PLINTH MOUNTING DETAIL TO CUBE)**
SCALE: N.T.S.



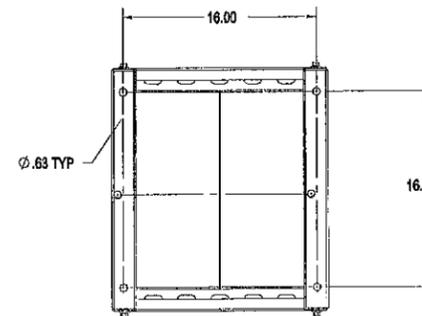
TOP VIEW
SCALE: N.T.S.



SIDE VIEW
SCALE: N.T.S.



BOLT LAYOUT ISOMETRIC
SCALE: N.T.S.



**SECTION A-A
BOTTOM VIEW**
SCALE: N.T.S.

1 CUBE SPECIFICATIONS
SCALE: N.T.S.



G. M. Sadat

ML90203A
HARBOR SHORES RT
300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

CUBE SPECIFICATIONS

A-4C

STRUCTURAL GENERAL NOTES

1.0 GENERAL NOTES

- DESIGN AND CONSTRUCTION OF WORK SHALL CONFORM WITH APPLICABLE CODES LISTED ON SHEET T-1.
- 1.1 STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS OF ALL DRAWINGS INTO THEIR SHOP DRAWINGS AND WORK. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW.
- 1.2 NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
- 1.3 THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR SHALL FURNISH ALL TEMPORARY BRACING AND/OR SUPPORTS REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.
- 1.4 DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS.
- 1.5 THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE ENGINEER'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ENGINEER OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE ENGINEER HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- 1.5.1 IT IS THE EXPRESS INTENT OF THE PARTIES INVOLVED IN THIS PROJECT THAT THE CONTRACTOR OR SUBCONTRACTOR OR INDEPENDENT CONTRACTOR OR THEIR RESPECTIVE EMPLOYEES SHALL EXCULPATE THE ARCHITECT, THE ENGINEER, THE CONSTRUCTION MANAGER, THE OWNER AND THEIR AGENTS, FROM ANY LIABILITY WHATSOEVER AND HOLD THEM HARMLESS AGAINST LOSS, DAMAGES, LIABILITY OR ANY EXPENSE ARISING IN ANY MATTER FROM THE WRONGFUL OR NEGLIGENT ACT, OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, OR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FAILURE TO CONFORM TO THE STATE SCAFFOLDING ACT IN CONNECTION WITH THE WORK.
- 1.6 ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS AND AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. PLANS AND/OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ENGINEER BEFORE THE AFFECTED WORK PROCEEDS.

2.0 DESIGN LOAD

- 2.01 DEAD LOAD OF BAR GRATE 10 PSF
- 2.1 WIND PRESSURE
WIND PRESSURE ON ANTENNAS & MOUNTING MEMBERS ASCE 7-05
WIND PRESSURE ON BUILDING & PLATFORM
- 2.2 PLATFORM LIVE LOAD 100 PSF
- 2.3 ROOF SNOW LOAD (FOR BUILDING) 26 PSF
- 2.4 EQUIPMENT LOADS
SITE SUPPORT CABINET WITH MODULES 1850 LBS
BATTERY CABINET 2685 LBS
STEEL CUBE 500 LBS
PPC 50 LBS

3.0 STRUCTURAL STEEL NOTES

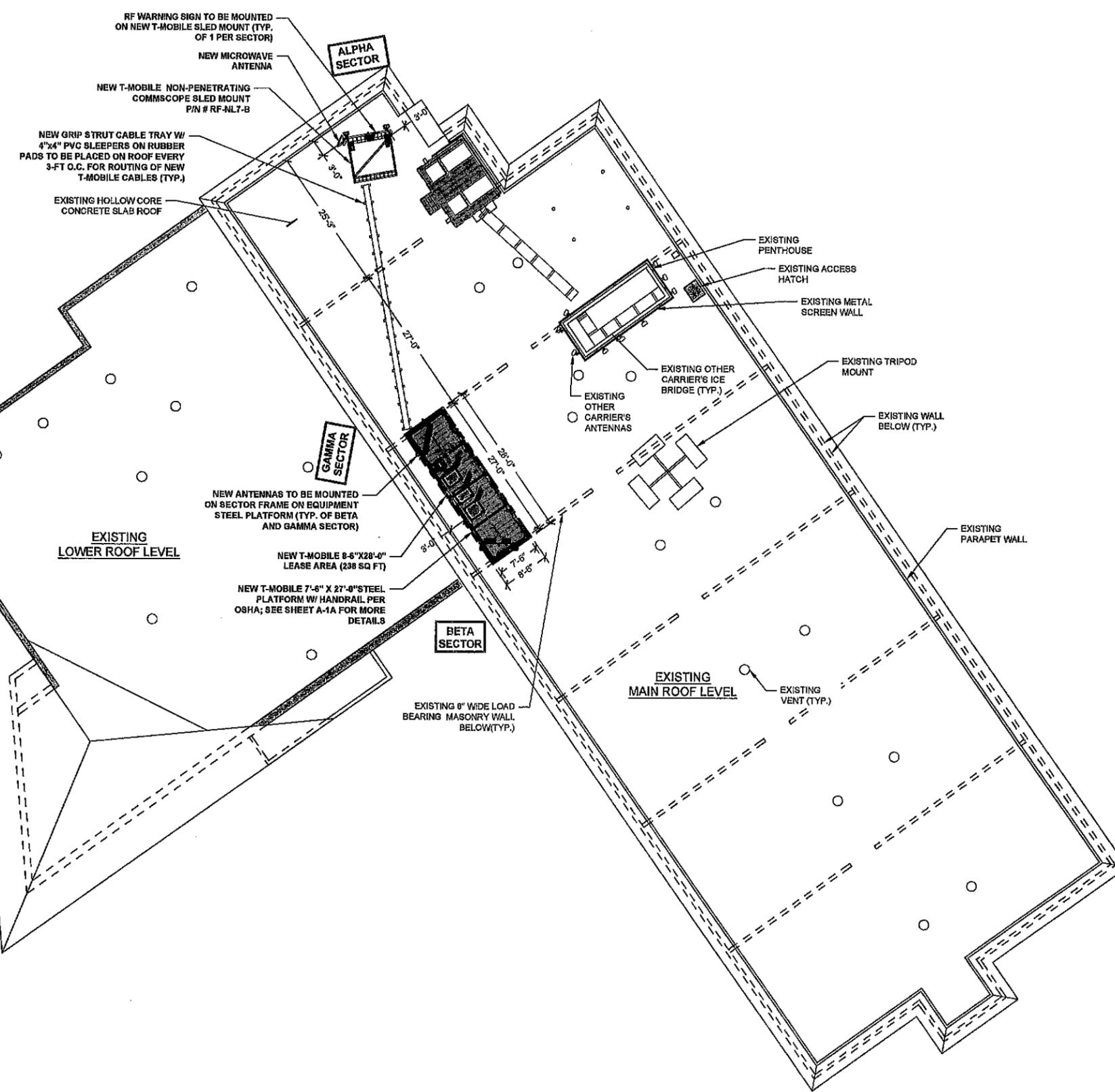
- 3.1 ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION, THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION.
- 3.2 ALL STRUCTURAL STEEL PLATES, SHAPES AND BARS SHALL CONFORM TO ASTM A36, UNLESS NOTED OTHERWISE. COLD FORMED TUBING SHALL CONFORM TO ASTM A600 GRADE B. PIPES SHALL CONFORM TO ASTM A53 GRADE B. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 OR ASTM A308.
- 3.3 ALL BOLTS (OTHER THAN ANCHOR BOLTS), NUTS AND WASHERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A325. ALL BOLTS SHALL BE 3/4 INCH DIAMETER, MINIMUM. BOLTS USED IN LATERAL LOAD RESISTING CONNECTIONS SHALL BE FRICTION TYPE, DESIGNED FOR INDICATED FORCES WITHOUT STRESS INCREASES.
- 3.4 ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO LAWS D1.1 "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.
- 3.5 ALL BEAMS SHALL BE FABRICATED WITH THE NATURAL GAMBER UP.
- 3.6 THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
- 3.7 STEEL BAR GRATING SHALL BE STANDARD BEARING BAR GRATE TYPE GW-125 WITH 1 1/4"x3/16" @ 1 3/16" O.C. BEARING BARS AS MANUFACTURED BY HENRICHS (1-200-237-3520) OR EQUAL. USE STANDARD J-BOLTS AND CLIPS FOR ATTACHMENT. GRATING SADDLE CLIP FASTENERS SHALL BE ASTM A670 GRADE 36 WITH MIN. THICKNESS OF 14 GA. SELF TAPPING GRATING FASTENERS BOLTS MIN. THICKNESS OF 14 GA. SELF TAPPING GRATING FASTENERS BOLTS SHALL BE STAINLESS STEEL PER ASTM A240, TYPE 410.
- 3.8 ALL STEEL SHALL BE HOT DIPPED GALVANIZED. FIELD TOUCH UP ALL DISTURBED SURFACES WITH ZINC REACH PAINT. GRIND ALL WELDS ON HANDRAILS TO A SMOOTH FINISH.
- 3.9 MINIMUM SHEAR CAPACITIES: PROVIDE AT LEAST ONE HALF OF THE UNIFORM LOAD CARRYING CAPACITY OF THE BEAM WITH THE ASSUMPTION OF FULLY BRACED COMPRESSION FLANGE.
- 3.11 THE DEPTH OF A SIMPLE SHEAR CONNECTION SHALL NOT BE LESS THAN ONE HALF OF THE NOMINAL DEPTH OF THE BEAM. THE MINIMUM NUMBER OF BOLTS PER CONNECTION SHALL BE TWO (2).
- 3.12 STAIR TREADS SHALL BE ABLE TO SAFELY SUSTAIN 100 PSF LIVE LOAD OR A CONCENTRATED LOAD OF 300 LBS, APPLIED ON A 4 SQUARE INCHES AREA, WHICHEVER PRODUCES THE GREATER STRESSES.

4.0 SHOP DRAWINGS

- 4.1 SHOP DRAWINGS, UNLESS OTHERWISE NOTED, SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATIONS.
- 4.2 PRIOR TO SUBMITTAL, THE CONTRACTOR SHALL REVIEW THE SHOP DRAWINGS AND MAKE ANY CORRECTIONS REQUIRED. THE CONTRACTOR SHALL STAMP AND SIGN THE DRAWINGS THAT HE HAS REVIEWED THEM.

NOTES:

1. ALL EXISTING DIMENSIONS AND CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION
2. USE MASONRY BITS FOR DRILLING & NO CUTTING/DAMAGING OF REBARS IS ALLOWED
3. ATTACH CABINETS DIRECTLY TO STRUCTURAL STEEL PER MANUFACTURER RECOMMENDATIONS BUT NOT LESS THAN ONE 1/2" BOLT AT EACH CORNER.



1 ROOF PLAN
SCALE: 3/32"=1'-0" (3/32"=2'-0" IF 11X17 SHEET SIZE)

T-Mobile

T-MOBILE
8550 WEST BRYN MAWR AVE.
SUITE 100
CHICAGO, IL 60631
MAIN: (773) 444-5400

CONCORDIA, LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 3323-011-D.B.A.

CONCORDIA WIRELESS, INC.

361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60168
MAIN: (847) 981-0801

DRAWN BY: VG	CHECKED BY: GMS
CHECKED BY: RH	APPROVED BY: GMS

WISCONSIN

GHAZWAN
M.
SADAT
40304

ARLINGTON HEIGHTS
ILLINOIS

PROFESSIONAL ENGINEER

G. Y. Sadat.

ML90203A
HARBOR SHORES RT
300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

**STRUCTURAL STEEL
NOTES AND ROOF PLAN**

S-1

T-Mobile

T-MOBILE
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SUITE 100
CHICAGO, IL 60631
MAIN: (773) 444-5400

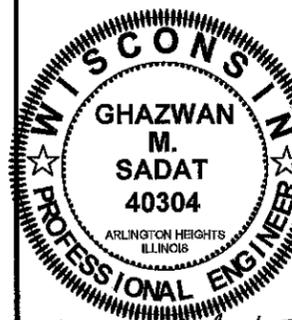
CONCORDIA LTD
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361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
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DRAWN BY: VG CHECKED BY: GMS

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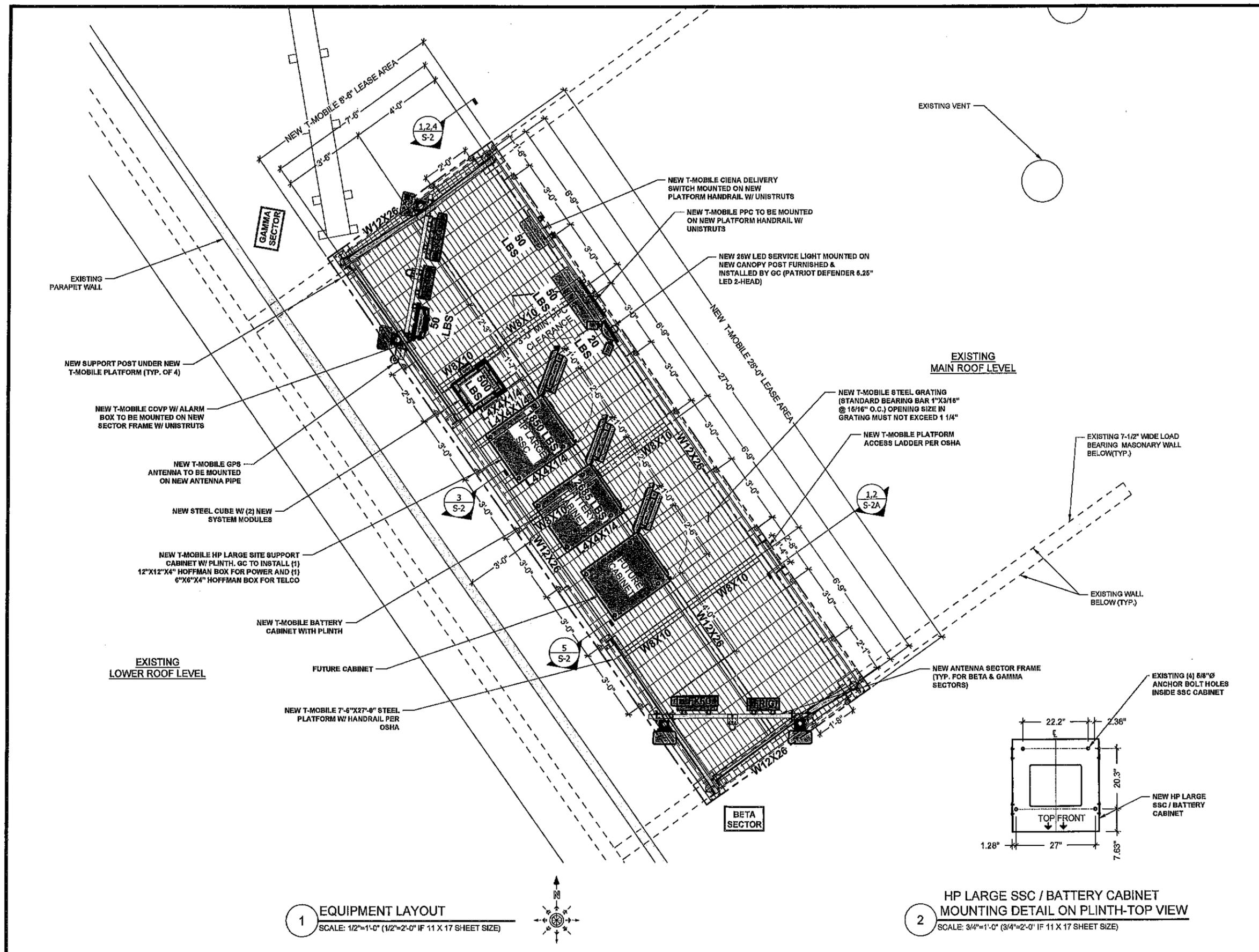


G. M. Sadat

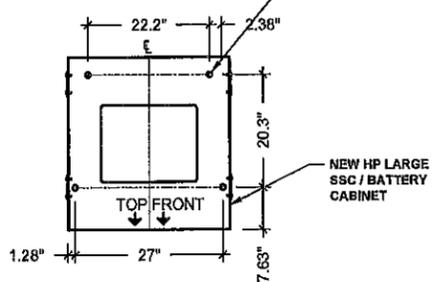
ML90203A
HARBOR SHORES RT
300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

STRUCTURAL LAYOUTS
& FRAMING PLAN

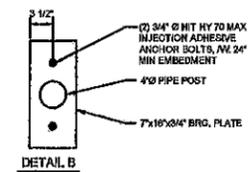
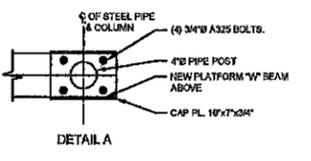
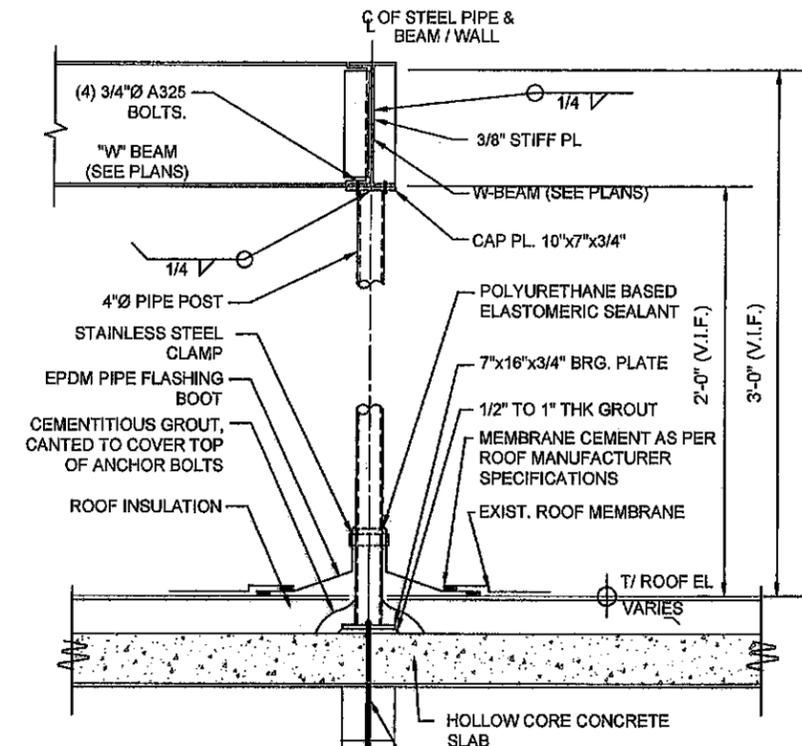
S-1A



1 EQUIPMENT LAYOUT
SCALE: 1/2"=1'-0" (1/2"=2'-0" IF 11 X 17 SHEET SIZE)



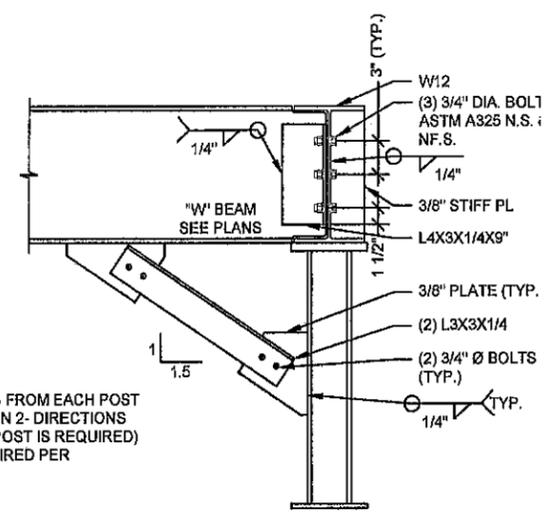
2 HP LARGE SSC / BATTERY CABINET MOUNTING DETAIL ON PLINTH-TOP VIEW
SCALE: 3/4"=1'-0" (3/4"=2'-0" IF 11 X 17 SHEET SIZE)



NOTE:
 1. CONTRACTOR TO FIELD MEASURE THE ROOF SLOPE AND VERIFY DIMENSIONS BEFORE PLATFORM FABRICATION.
 2. GC TO ADD THIS DETAIL AT ALL PLATFORM/ROOF CONNECTIONS.
 3. GC TO UTILIZE LANDLORD ROOFING CONTRACTOR OF CHOICE TO PRESERVE ANY WARRANTY ON THE ROOF

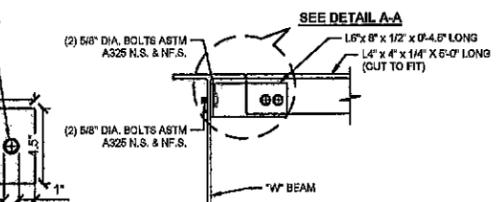
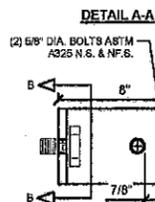
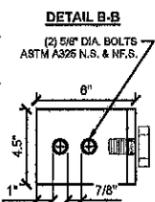
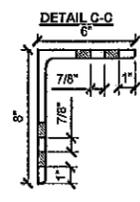
(2) 3/4" Ø HIT HY 70 MAX INJECTION ADHESIVE ANCHOR BOLTS, W/ 24" MIN EMBEDMENT
 EXISTING BUILDING 8" BRICK WALL; GC TO VERIFY IN FIELD EXACT LOCATION PRIOR TO STEEL PLATFORM FABRICATION AND INSTALLATION

1 PLATFORM POST CONNECTION
 S-2 SCALE N.T.S.

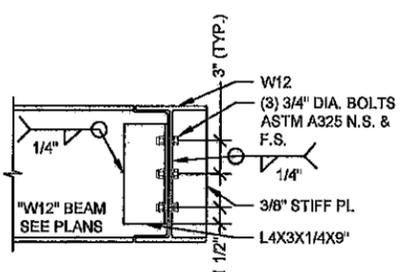


PROVIDE BRACING FROM EACH POST TO EACH W BEAM IN 2- DIRECTIONS (TOTAL OF 2 PER POST IS REQUIRED) (TOTAL OF 8 REQUIRED PER PLATFORM)

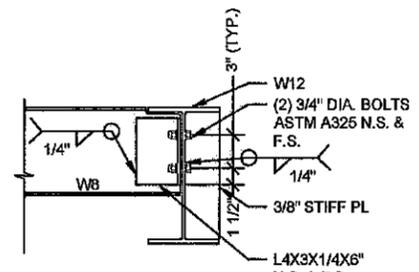
2 BEAM TO BEAM CONNECTION AND TYP. BRACING DETAILS
 S-2 SCALE N.T.S.



3 BEAM TO ANGLE CONNECTION
 S-2 SCALE N.T.S.



4 BEAM TO BEAM CONNECTION
 S-2 SCALE N.T.S.



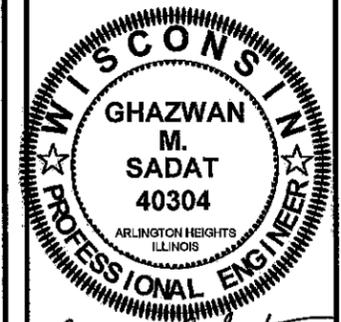
5 BEAM TO BEAM CONNECTION
 S-2 SCALE N.T.S.

T-Mobile

T-MOBILE
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 SUITE 100
 CHICAGO, IL 60631
 MAIN: (773) 444-5400

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 LICENSE # 3323-011-D.B.A.
CONCORDIA WIRELESS, INC.
 361 RANDY ROAD
 UNIT 101
 CAROL STREAM, IL 60188
 MAIN: (647) 981-0801

DRAWN BY: VG	CHECKED BY: GMS
CHECKED BY: RH	APPROVED BY: GMS



G. M. Sadat

ML90203A
 HARBOR SHORES RT
 300 WRIGLEY DRIVE
 LAKE GENEVA, WI 53147

PLATFORM FRAMING
 DETAILS

T-Mobile

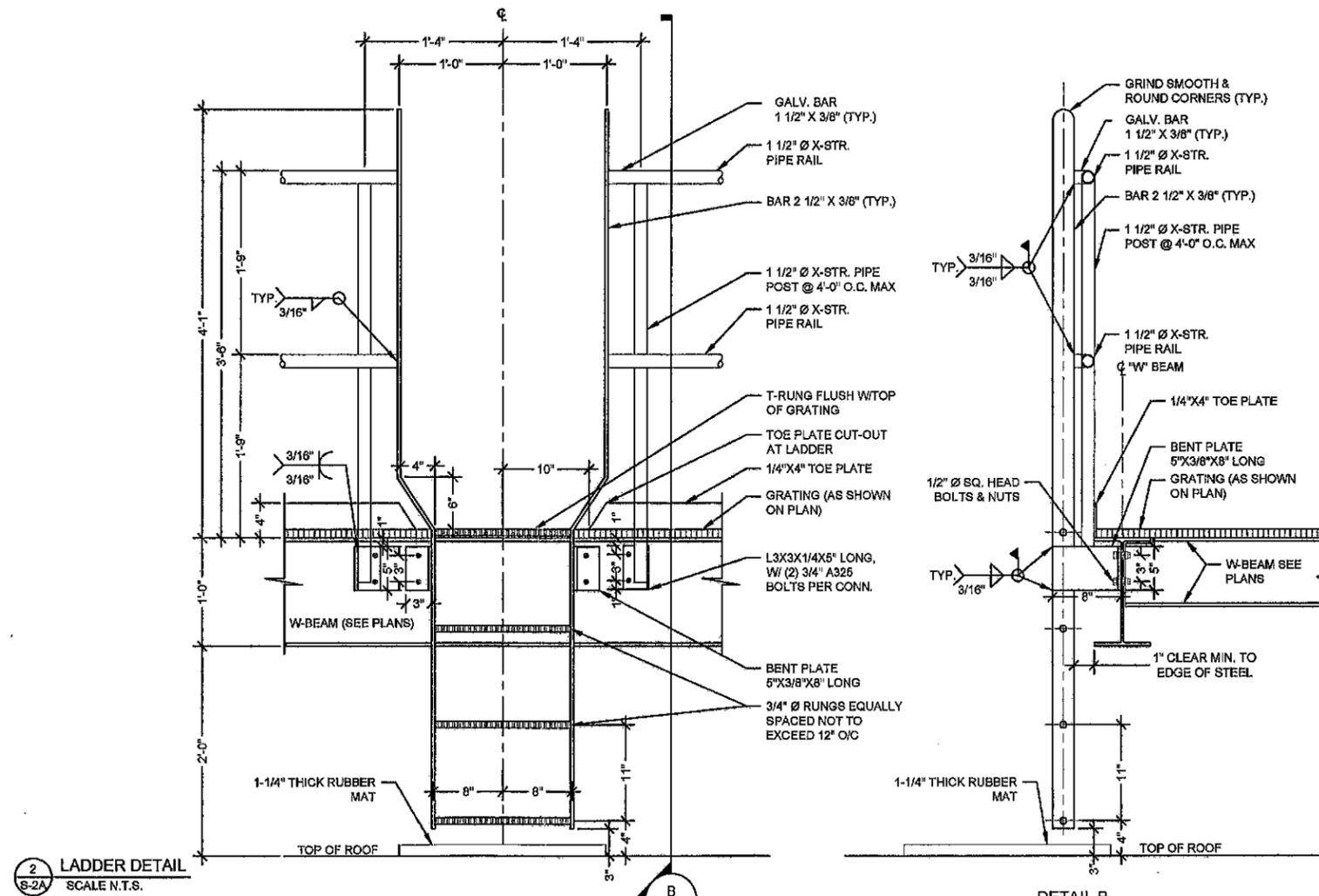
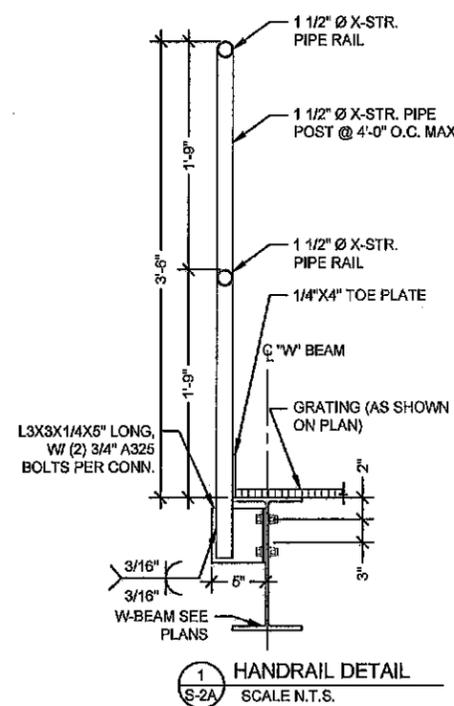
T-MOBILE
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SUITE 100
CHICAGO, IL 60631
MAIN: (773) 444-5400

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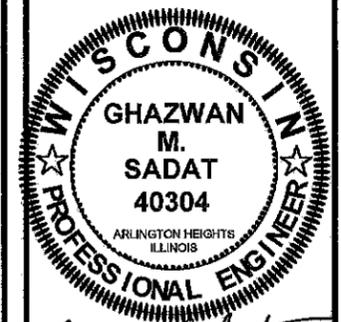
CONCORDIA WIRELESS, INC.

361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (647) 981-0801

DRAWN BY: VG	CHECKED BY: GMS
CHECKED BY: RH	APPROVED BY: GMS



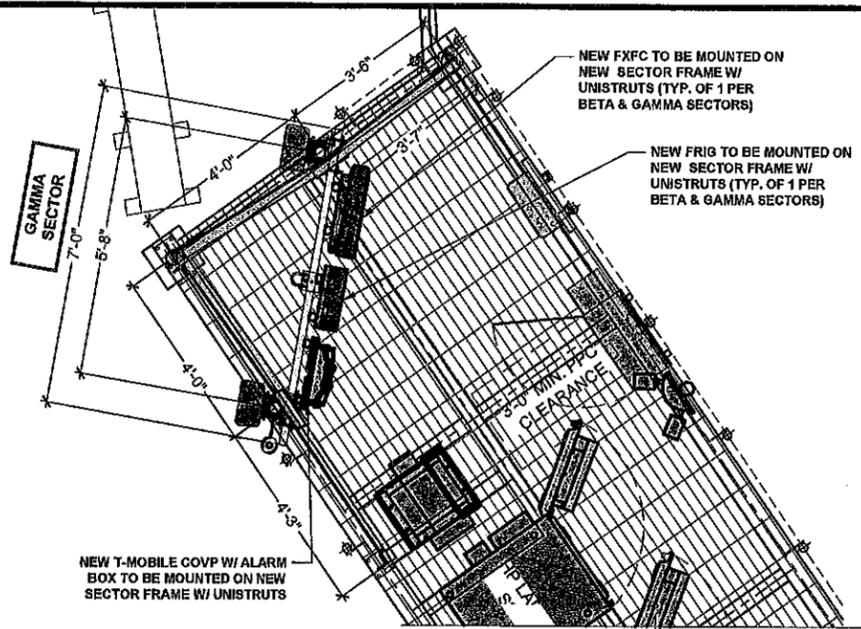
IMPORTANT NOTE:
ALL WELDING TO BE
PERFORMED OFF SITE.



ML90203A
HARBOR SHORES RT
300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

PLATFORM FRAMING
DETAILS

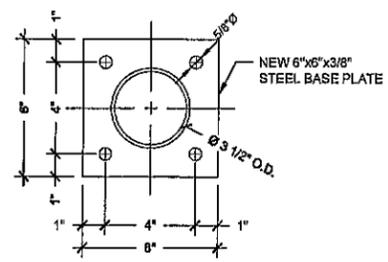
S-2A



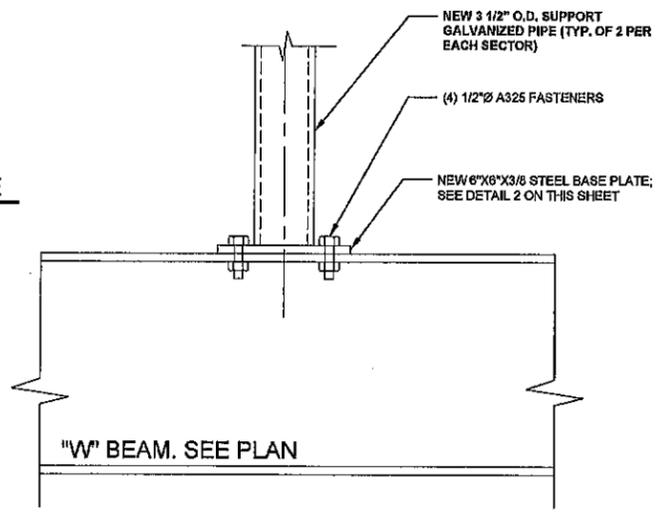
LEGEND

	FRIG
	FXFC
	COVP
	ANTENNA

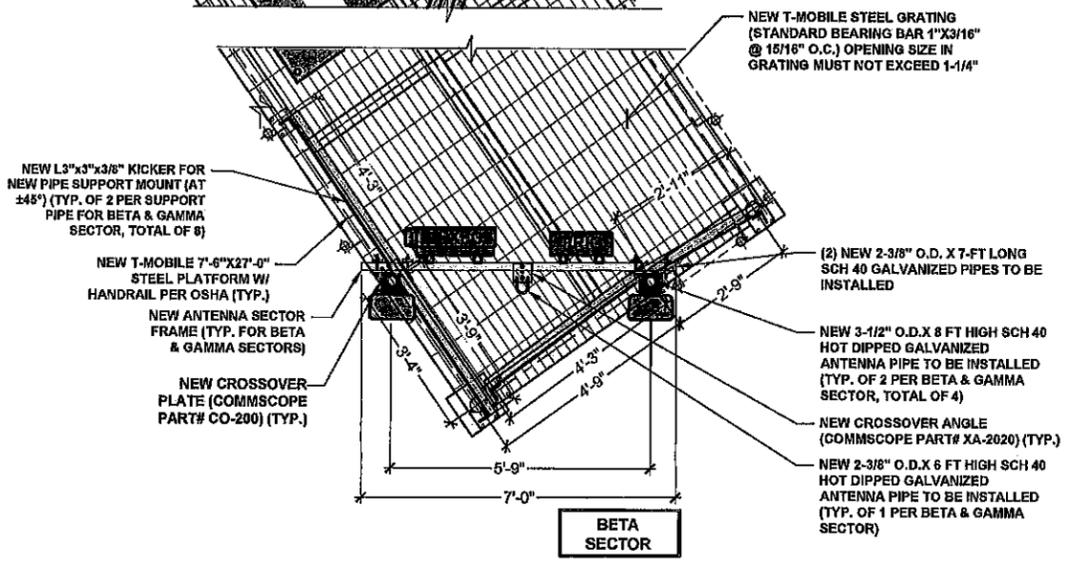
2 ANTENNA FRAME BASE PLATE
SCALE: N.T.S.



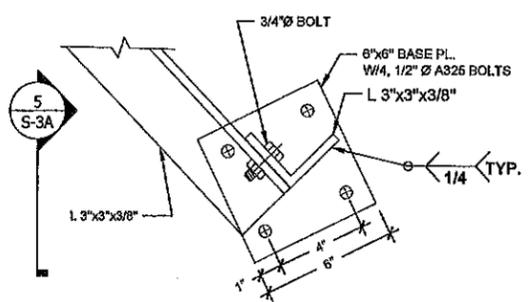
NOTE:
CONTRACTOR TO VERIFY IN FIELD ALL DIMENSIONS PRIOR TO ANTENNA FRAME INSTALLATION.



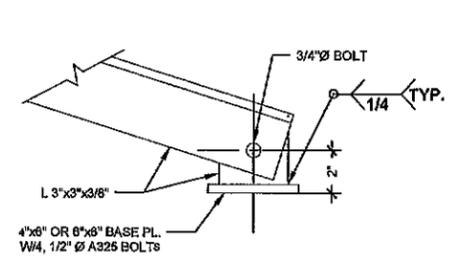
3 ANTENNA FRAME MOUNT CONNECTION
SCALE: N.T.S.



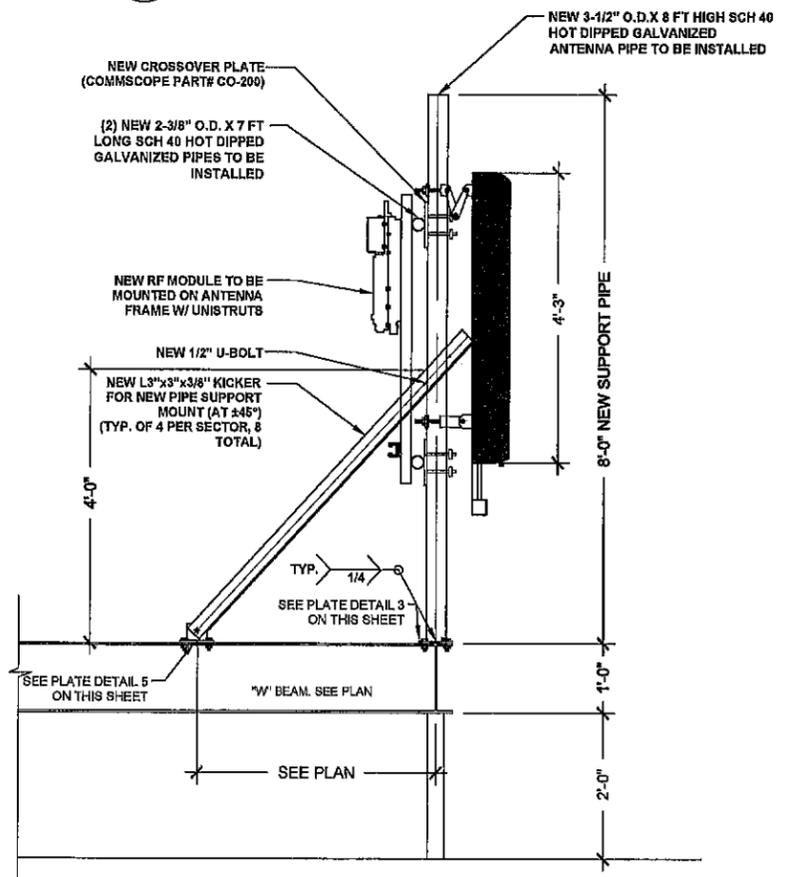
1 NEW T-MOBILE ANTENNA CONFIGURATIONS (BETA & GAMMA SECTOR)
SCALE: 1/2"=1'-0" (1/2"=2'-0" IF 11 X 17 SHEET SIZE)



4 CONNECTION DETAIL
SCALE: N.T.S.



5 CONNECTION DETAIL
SCALE: N.T.S.



6 ANTENNA MOUNTING DETAILS (TYP. FOR BETA & GAMMA SECTORS)
SCALE: 3/4"=1'-0" (3/4"=2'-0" IF 11X17 SHEET SIZE)

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MAIN: (847) 981-0801

DRAWN BY: VG CHECKED BY: GMS
CHECKED BY: RH APPROVED BY: GMS



G. M. Sadat

ML90203A
HARBOR SHORES RT
300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

ANTENNA MOUNTING
DETAILS

S-3

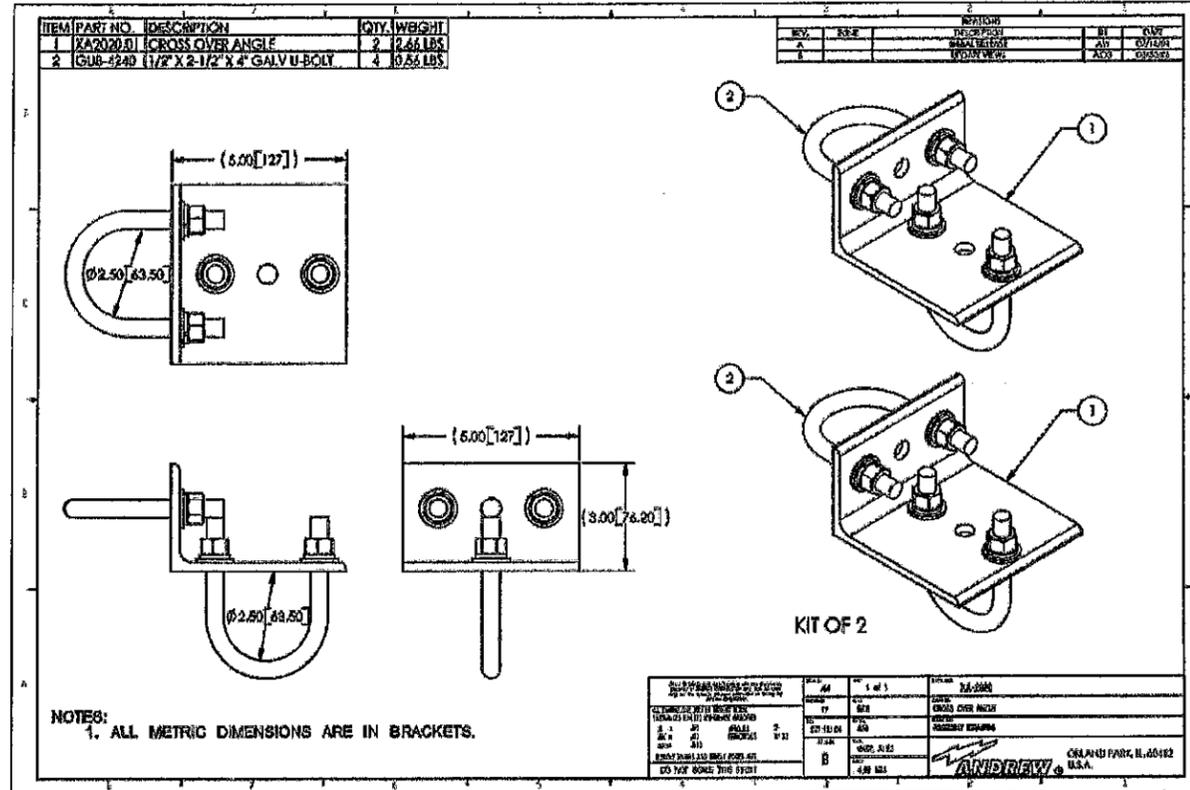


XA-2020
Crossover Angle, 2-3/8 in to 2-3/8 in OD

Dimensions

Mounting Diameter, maximum	60.3 mm		2 3/8 in
Mounting Diameter, minimum	60.3 mm		2 3/8 in
Height	152.4 mm		6.0 in
Length	152.4 mm		6.0 in
Weight	1.6 kg		4.0 lb
Width	152.4 mm		6.0 in

2 CROSSOVER ANGLE (COMMSCOPE PART# XA-2020)
SCALE: N.T.S.

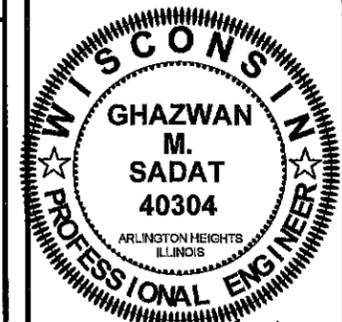


T-Mobile

T-MOBILE
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SUITE 100
CHICAGO, IL 60631
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LICENSE # 3323-011-D.B.A.
CONCORDIA WIRELESS, INC.
381 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 981-0801

DRAWN BY: VG CHECKED BY: GMS
CHECKED BY: RH APPROVED BY: GMS

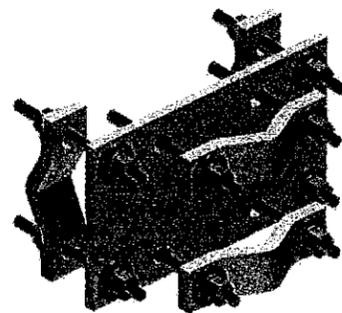


Gy Sadat

ML90203A
HARBOR SHORES RT
300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

ANTENNA MOUNTING
SPECIFICATIONS

S-3A

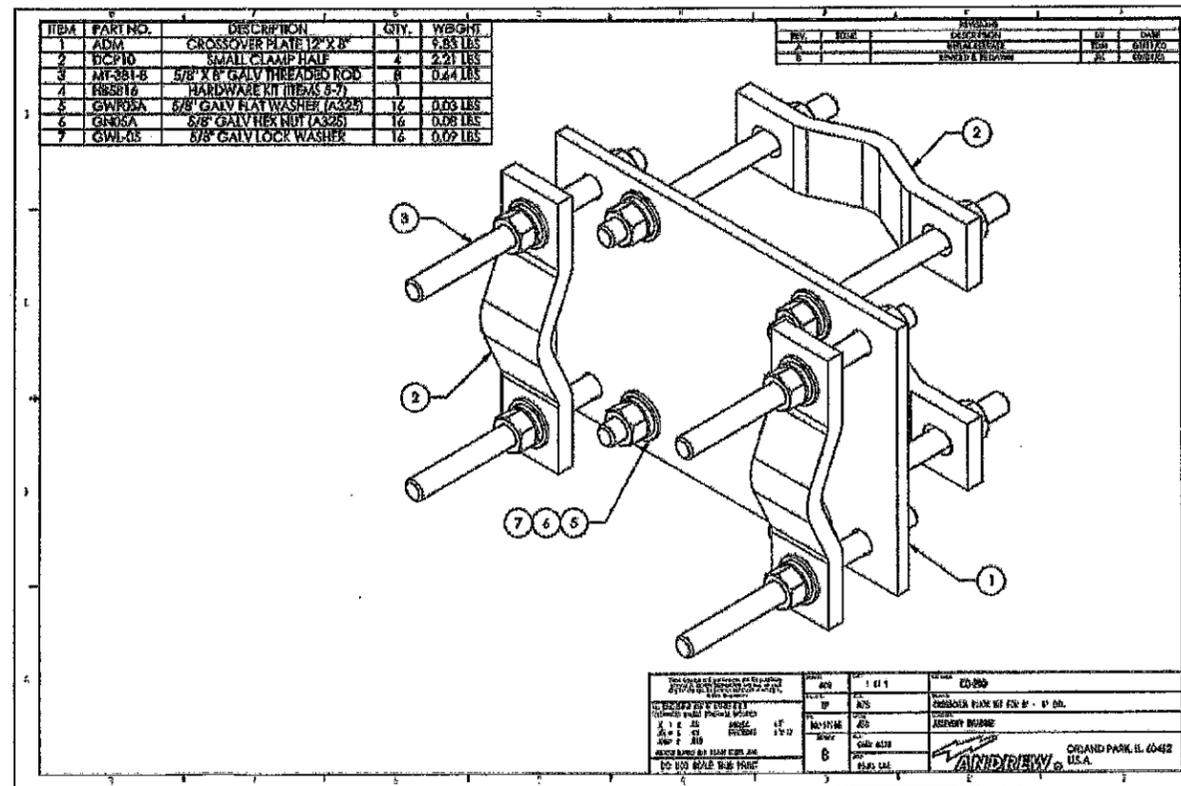


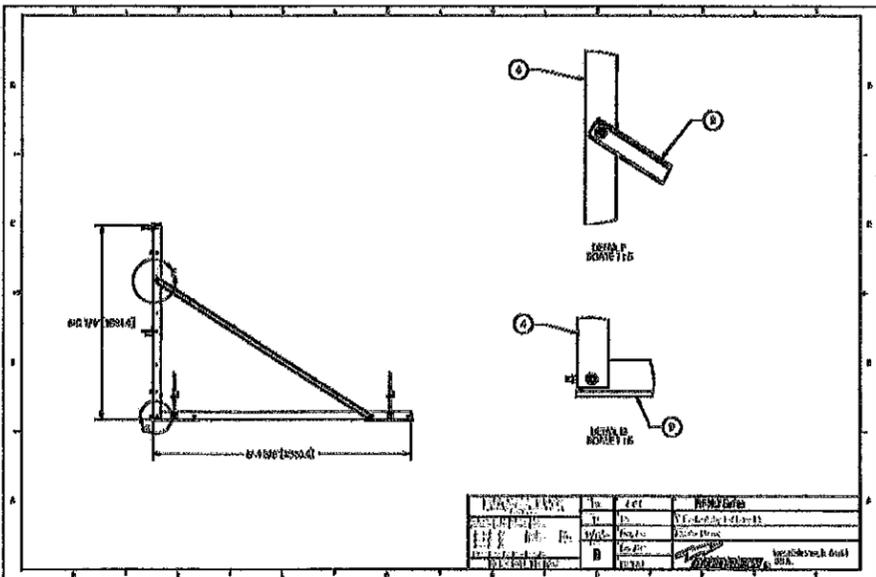
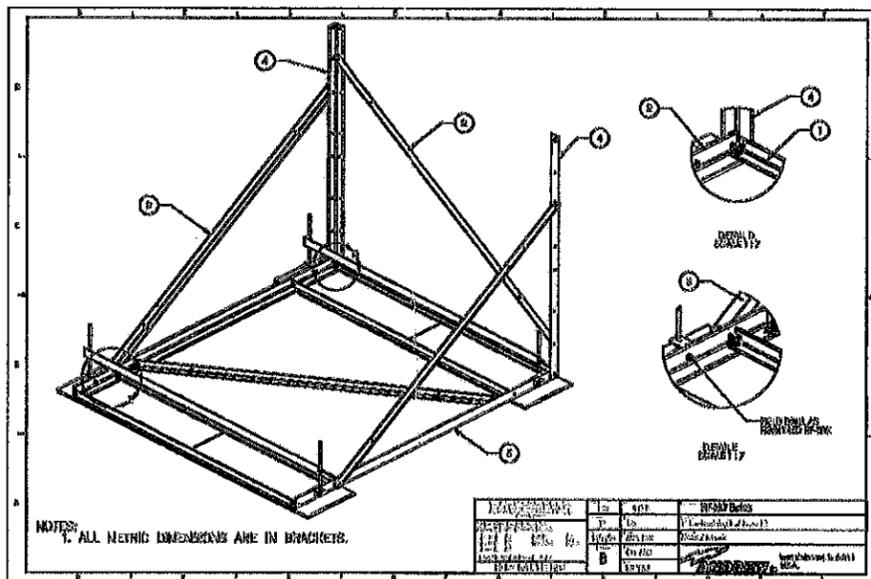
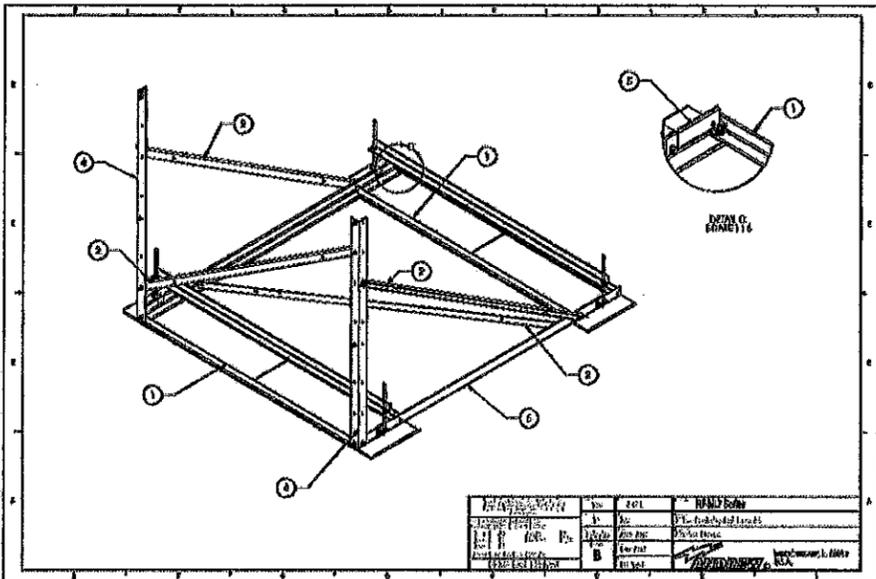
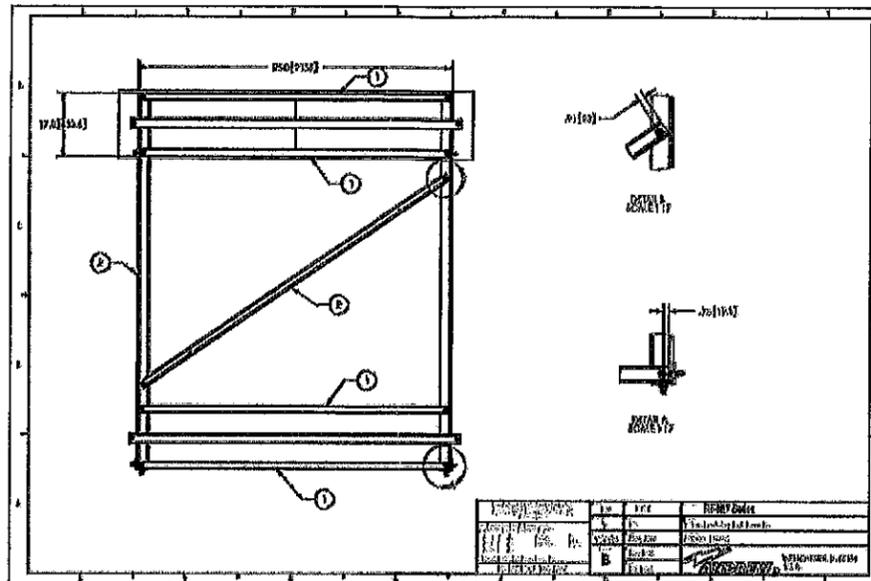
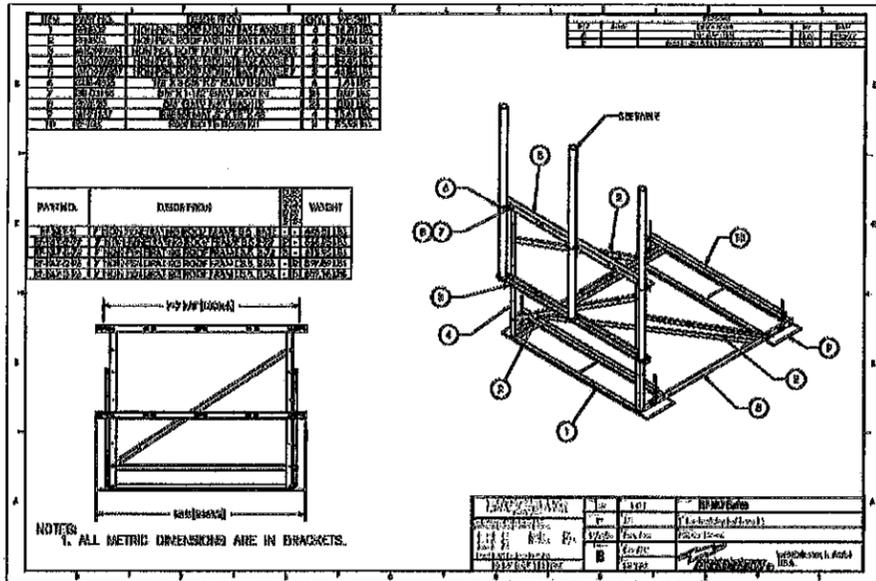
CO-200
Crossover Plate, joins 2 in to 5 in OD round members

Dimensions

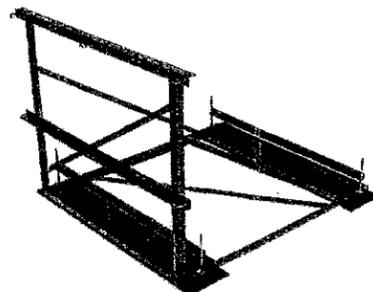
Mounting Diameter, maximum	127.0 mm		5 in
Mounting Diameter, minimum	50.8 mm		2 in
Height	254.0 mm		10.0 in
Length	203.2 mm		8.0 in
Weight	13.2 kg		29.0 lb
Width	304.8 mm		12.0 in

3 CROSSOVER PLATE FOR 2"-5" OD (COMMSCOPE PART# CO-200)
SCALE: N.T.S.





RF-NL7-B
Non-Penetrating Roof Frame, 7 ft face, pipe not included



Dimensions

Face Width	2.1 m 7.0 ft
Height	1905.0 mm 75.0 in
Length	2540.0 mm 100.0 in
Pipe Outer Diameter	88.9 mm 3 1/2 in
Width	2133.6 mm 84.0 in
Weight	217.0 kg 478.4 lb

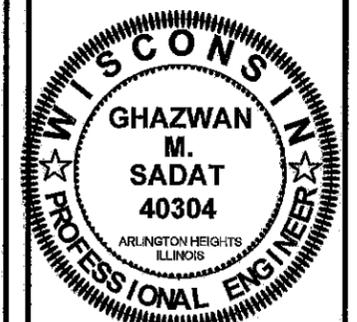
1 NEW SLED MOUNT DETAILS (PART#RF-NL7-B BY COMMSCOPE)
SCALE: NTS

T-Mobile

T-MOBILE
8550 WEST BRYN MAWR AVE.
SUITE 100
CHICAGO, IL 60631
MAIN: (773) 444-5400

CONCORDIA, LTD
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LICENSE # 3323-011-D.B.A.
CONCORDIA WIRELESS, INC.
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (647) 981-0901

DRAWN BY: VG CHECKED BY: GMS
CHECKED BY: RH APPROVED BY: GMS



G. Sadat

ML90203A
HARBOR SHORES RT
300 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

NEW ANTENNA SLED
MOUNT DETAILS

S-3B

APPLICATION TO INITIATE PLANNED DEVELOPMENT PROCESS

Name of Applicant: HOFFMAN PLANNING, DESIGN + CONSTRUCTION, INC

Address of Applicant: ATTN: KEVIN MADALINSKI
122 E. COLLEGE AVE, SUITE 16
APPLETON, WI 54912

Telephone No. (920) 380-2196

Fax and/or email: (920) 380-9196 or kmadalinski@hoffman.net

Name of Owner: GOLDEN YEARS

Address of Owner: ATTN: JON STANKEVITZ
270 RIDGE ROAD
WALWORTH, WI 53184

Telephone No. (262) 275-6103

Fax and/or email: (262) 275-6106 or jstankovitz@goldenyearsofwalworth.com

Subject property address and/or complete legal description (use attached sheet if necessary):

SEE ATTACHED PLAT - LOT 74 + 85

Current Zoning District: PLANNED DEVELOPMENT

12-12-16
Date


Signature of Applicant

Overview of:
**SOUTHLAND FARMS
 SUBDIVISION**

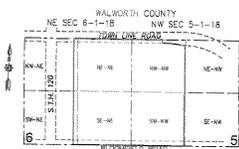
All of CSM 1027 and part of the Northwest 1/4 of the Northeast 1/4, Northeast 1/4 of the Northeast 1/4, Southeast 1/4 of the Northeast 1/4, and Southwest 1/4 of the Northeast 1/4 of Section 6, and part of the Northwest 1/4 of the Northwest 1/4, and the Southwest 1/4 of the Northwest 1/4 of Section 5, all in Town 1 North, Range 18 East, City of Lake Geneva, Walworth County, State of Wisconsin. Containing 169.879 acres, more or less.

NORTH 1/4 CORNER SECTION 6, TOWNSHIP 1 NORTH, RANGE 18 EAST (CONCRETE MONUMENT WITH BRASS CAP)

SOUTHEAST CORNER SECTION 5, TOWNSHIP 2 NORTH, RANGE 18 EAST (CONCRETE MONUMENT WITH BRASS CAP)

NORTHEAST CORNER SECTION 6, TOWNSHIP 1 NORTH, RANGE 18 EAST (CONCRETE MONUMENT WITH BRASS CAP)

SOUTH 1/4 CORNER SECTION 5, TOWNSHIP 2 NORTH, RANGE 18 EAST (CONCRETE MONUMENT WITH ALUMINUM D.O.T. CAP)



LOCATION SKETCH
 NOT TO SCALE

LAND OWNER/LAND DIVIDER:
 SOUTHLAND FARMS, LLC,
 875 TOWNLINE ROAD
 LAKE GENEVA, WI. 53147

SURVEYOR:
 GARY R. SPLINTER,
 KAPUR & ASSOCIATES
 6025 S. PINE STREET
 BURLINGTON, WI. 53105



CENTER OF SECTION 6, TOWNSHIP 1 NORTH, RANGE 18 EAST (CONCRETE MONUMENT WITH BRASS CAP)

CENTER OF SECTION 5, TOWNSHIP 1 NORTH, RANGE 18 EAST (CONCRETE MONUMENT WITH BRASS CAP)

EAST 1/4 CORNER OF SECTION 6, TOWNSHIP 1 NORTH, RANGE 18 EAST (CONCRETE MONUMENT WITH BRASS CAP)

OCTOBER 1, 2007 (REVISED 6/19/08)





GOLDEN · YEARS

Continuing to Care · Privileged to Serve

December 9, 2016

Dear Plan Commission Members,

We are excited to present to you the following conceptual plans for a future senior living development in Lake Geneva.

The Golden Years has been owned and operated by the Austin family in Walworth, Wisconsin for over 47 years. Over the years our campus has grown through a multi-phased building process from our original 26-bed intermediate care facility to our current 115-unit campus that offers a range of senior living options including independent apartments, assisted living, and skilled nursing services.

Our focus 47 years ago was to offer our seniors the best care and services that we could, and while much has changed since those early years, our focus has not. We are personally involved on a daily basis and take great joy in getting to know our residents and their families. Alongside our exceptional staff, our commitment remains to continue to provide the best service that we can to the seniors and the families that have trusted us with their care.

We recognize the growing need for quality senior care services in Walworth County, and our vision is to help meet those needs by expanding our services through a new campus in Lake Geneva. Our desire is to become a valued part of the Lake Geneva community and carefully grow this new campus over the coming years through an intentional, phased approach as we successfully have in Walworth.

We appreciate the opportunity to share our conceptual plans, and look forward to working with you.

Sincerely,

Richard T. Austin

Jeffrey B. Austin

Jonathan A. Stankevitz

Golden Years

Lake Geneva Development for Senior Living

Project Narrative

A. (1) Owner History, Vision, and Project Location

Golden Years began as an idea created by Mr. Vic Carbrey. In 1960, at the age of 80, he began building his nursing home in Walworth, Wisconsin where older folks could live, be cared for and respected. Upon completion in November 1965, the first residents were welcomed and Mr. Carbrey's dream became reality. On June 1, 1969, having completed his goal, Vic, at the age of 89, decided to retire and sold the Golden Years Nursing Home to Eugene and Margaret Anne Austin. Their son, Richard, began with them and on January 1, 1980, he and his wife, Linda, purchased the facility from Rich's parents. Under the second generation of Austin ownership, Golden Years continues to be operated as a privately-owned family business. Looking to the future, the third generation of Austin leadership is in place to carry on the quality standards known and expected at Golden Years.

Golden Years of Walworth offers three distinct levels of care on a five-acre campus that together provides the most comprehensive and highest quality senior living options in the area. The existing Golden Years campus includes a 60-unit senior apartment complex, a 27 bed CBRF licensed Assisted Living Residence, and a 28 bed Medicare certified skilled nursing Health Care Center. Designed and licensed to provide a continuum of care for seniors distinguishes the family-owned and operated Golden Years from other facilities in the area.

Understanding the growing demand for quality, senior care needs in Walworth County, Golden Years' goal is to expand services by providing an additional campus to meet these needs. In June 2016, Golden Years obtained additional skilled nursing bed licenses from a closing skilled nursing facility and placed the bed licenses in restricted use. As regulated by the Wisconsin Department of Health, the bed licenses can only be in restricted use for an 18-month period. This is the primary driver for the project to achieve occupancy by December 2017.

After analysis of several properties, Golden Years has entered final negotiations with Fairwyn Development to purchase approximately 11.5 acres in the redevelopment efforts at the former Lake Geneva Raceway. The project is to create a new senior living campus in Lake Geneva offering a continuum of care including: rehabilitation services, independent living, assisted living options, and long term care. The project will be implemented in multiple phases and estimated to be completely developed in the next 10-15 years. The project will create over 100 full time jobs in the Lake Geneva community and significantly impact the tax base value for the property.

Location Maps



The parcel under consideration was previously submitted, by a different developer, and approved by the City Council for a Precise Implementation Plan of a senior living campus, similar to the proposed project. This previous approval has since expired, but the current concept plan is similar in size and services as the previously approved project.

Project Goals

1. Provide a state-of-the-art senior living campus to serve the Lake Geneva community
2. Maintain a similar business model to the Walworth, Wisconsin campus that has been owned and operated successfully for over 47 years by Golden Years
3. Repurpose the currently vacant property.
4. To grow the Golden Years business and reinforce the Golden Years reputation as a good neighbor and business partner in Walworth County

A. (2) Project Description

Project Themes and Images

This project has been carefully planned to compliment the positive characteristics of the proposed surrounding neighborhood and the architecture of the community. The character will be a blend of “Prairie” design style and “Agrarian” design found throughout Lake Geneva and southeastern Wisconsin. In addition, a porte-cochere is designed at the key entrances into the building for protection for

residents and guests. The site design goal is to provide a peaceful setting with several amenities, such as: walking paths, planting features, and outdoor seating areas.

General Mix of Dwelling Unit Types and Land Uses

The envisioned project will create a new state-of-the-art senior living campus. The campus will provide various levels of care to meet all needs for seniors in the community. Levels of care include:

- Independent Living Apartments (55-70 units)
- Assisted Living Apartments (30-36 units)
- Memory Care (Alzheimer's / Dementia) Assisted Living Apartments (15-20 units)
- Rehabilitation Services
- Skilled Nursing Care (30-45 beds)
- TOTAL UNITS: 171 units

Residential Densities and Intensities

All zoning requirements, standards, and bulk regulation calculations and comparisons are based on a proposed Planned Development with a base zoning of Planned Office (PO). The Planned Office district best fits the Institutional Residential Use that is proposed.

The projects approximate square footage will be all new construction per the following:

- Independent Living (70,000 square feet) and will be three stories tall.
 - Under Building Parking / Basement (28,000 square feet)
- Assisted Living (36,000 square feet) and will be two story
- Memory Care Assisted Living (20,000 square feet) and will be one story
- Skilled Nursing (45,000 square feet) and will be one story
- Maintenance building (3,000 square feet) and will be one story
- Total: 202,000 square feet

Project Data (all data shown is for total buildout as shown on the Concept Plan)

Site Area: 11.5 acres

Building Data

Total # of Units Proposed:	171 maximum
Dwelling Unit Density:	14.9 du/acre maximum
Building Floor Area:	202,000 sf
Floor Area Ratio:	0.40
Impervious Surface Area Ratio:	0.40

Treatment of Natural Features

The property has a natural grade change from east to west (high to low) that is consistent with the rolling prairies of southern Wisconsin. The project design will utilize this grade change to step the buildings down the slope to keep the overall building height low and flowing with the grade.

There are approximately a dozen existing hardwood trees that create a presence on the southeast corner of the parcel due to their size and character. A project goal is to keep these trees as a natural feature and cornerstone for the development as it is located on the main boulevard entrance of North Bloomfield Road and Harmony Drive.

Zoning Standards Comparison (based on Planned Office underlying zoning)

Regulations Applicable to Planned Residential Zoning District with Institutional Residential Uses:

Residential Density and Intensity Requirements:

- a. Minimum Zoning District Area:
 - a. Required: 40,000 square feet
 - b. Proposed: 500,828 square feet
- b. Maximum Gross Density (MGD):
 - a. Required: up to 50.00 per limits of the conditional use permit
 - b. Proposed: 14.9 units per acre
- c. Minimum Landscape Surface Ratio (LSR):
 - a. Required: 50%
 - b. Proposed: 60%
- d. Maximum Building Coverage:
 - a. Required: 40%
 - b. Proposed: 20%
- e. Maximum Accessory Building Coverage: 10%
 - a. Required: 10%
 - b. Proposed: 1% maximum

Residential Bulk Requirements:

- a. Minimum Lot Area:
 - a. Required: 20,000 square feet
 - b. Proposed: 500,828 square feet
- b. Minimum Lot Width:
 - a. Required: 100 feet
 - b. Proposed: 653± feet
- c. Minimum Street Frontage:
 - a. Required: 50 feet
 - b. Proposed: 515± feet
- d. Minimum Setbacks:
 - a. Front or Street Lot Line to Building:
 - i. Required: 25 feet, 40 feet for a lot adjacent to a street with an Officially Mapped right-of-way equal to or exceeding 100 feet
 - ii. Proposed: 90 feet

- b.** Front or Street Lot Line to Garage:
 - i.** Required: 25 feet, 40 feet for a lot adjacent to a street with an Officially Mapped right-of-way equal to or exceeding 100 feet
 - ii.** Proposed: 300
- c.** Side Lot Line to Building or Garage:
 - i.** Required: 10 feet
 - ii.** Proposed: 50 feet
- d.** Total of Both Sides, Lot Lines to Building/Garage:
 - i.** Required: 20 feet
 - ii.** Proposed: 150 feet
- e.** Rear Lot Line to Building or Garage:
 - i.** Required: 30 feet
 - ii.** Proposed: 50 feet
- f.** Side Lot Line to Accessory Structure:
 - i.** Required: 3 feet from property line
 - ii.** Proposed: 50 feet
- g.** Rear Lot Line to Accessory Structure:
 - i.** Required: 3 feet from property line
 - ii.** Proposed: 50 feet
- h.** Peripheral Setback: to be calculated with GDP/PIP submittal
- i.** Minimum Paved Surface Setback:
 - i.** Required: 5 feet from side or rear; 10 feet from street
 - ii.** Proposed: 20 feet from side or rear; 30 feet from street
- j.** Minimum Dwelling Unit Separation: NA
- e.** Maximum Height of Building:
 - a.** Required: 35 feet, greater with conditional use permit
 - b.** Proposed: 42 feet, 54 feet to basement garage floor (Exemption Required – See Potential Exemption Section)
- f.** Maximum Height of Accessory Structure:
 - a.** Required: 15 feet
 - b.** Proposed: 20 feet (Exemption Required – See Potential Exemption Section)
- g.** Minimum Number of Off-Street Parking Spaces Required on the Lot:
 - a.** Required: 169 stalls
 - i.** Independent Living Bedrooms: 94 bedrooms @ 1 stall per 1 bedroom = 94 stalls
 - ii.** Assisted Living Bedrooms: 40 bedrooms @ 1 stall per 3 bedrooms = 14 stalls
 - iii.** Skilled Nursing / Memory Care Units: 65 units @ 1 stall per 6 units = 11 stalls
 - iv.** Staffing: 50 maximum employees at one time @ 1 stall per employee = 50 stalls
 - v.** Total: 169 stalls
 - b.** Proposed: 170 stalls
 - i.** Underbuilding parking structure: 50 stalls
 - ii.** Surface parking: 120 stalls

- h. Minimum Dwelling Core Dimensions:**
 - a.** Required: 20' x 40'
 - b.** Proposed: 35' x 70' (Maintenance Building)
- i. Minimum Roof Pitch:**
 - a.** Required: 3:12
 - b.** Proposed: The building will have mainly sloped roofs with some small areas that will not meet the required minimum of 3:12. These areas will be minimized and hidden from view as much as possible.
- j. Minimum Eave Width:**
 - a.** Required: 18 inches
 - b.** Proposed: 18 inches

Potential Exemptions

- 1.** Land Use Exemptions – None
- 2.** Density and Intensity Exemptions – None
- 3.** Bulk Requirement Exemptions
 - a.** Maximum Height of Building – the required maximum building height is 35 feet, but can be greater with a conditional use permit approval. The proposed project is a Planned Development with a base zoning of Planned Office and an Institutional Residential use. The Institutional Residential use is a Conditional Use and, therefore, an increased building height can be approved. The main building will vary in height from one to three stories with a parking level proposed under the 3-story independent living on the west end. Although most of the building will be less than 35 feet in height, the far west end with the entrances to the lower level parking will be a maximum of 54 feet. The building is designed to fit the existing elevation change on the site. A preliminary building elevation exhibit is included with this submittal to show the proposed building mass, as well as conceptual roof design and architectural character.
 - b.** Maximum Height of Accessory Structure – the required maximum accessory structure height is 15 feet. The proposed project includes a separate maintenance/garage building that is proposed to be a maximum of 20 feet and therefore an exemption will be required. The increased height will allow for Golden Years to park a small bus in the building. The bus will be necessary to provide transportation for residents of the facility.
- 4.** Landscape Exemptions – None
- 5.** Parking and Loading Requirement Exemptions - None

Project Schedule

The project will be developed in multiple phases over an anticipated 10 to 15 year period. The milestone schedule below outlines the implementation of Phase 1 – Long term care and Rehabilitation skilled nursing beds.

1. Design and Approvals

The project is currently in the design phase. The primary driver for the project is the approval timeframe for the placement of skilled nursing bed license placed in restrictive use. The bed license will need to be active in December 2017. The project has been in review with the City staff for the Pre-Application meeting. The sequence for design is as follows:

- December 2016
 - Concept Plan Review with the Plan Commission
- January 2017
 - Concept Plan Review with the City Council
 - Completion of Schematic Design
 - General Development Plan approval from Plan Commission and City Council
- March 2017
 - Completion of Design Development
 - Phase 1 - Precise Implementation Plan approval from Plan Commission and city Council
- April 2017
 - Completion of Construction Documents – Site and Foundations
 - Early Start Approval from Wisconsin Department of Health Services and City of Lake Geneva
- May 2017
 - Completion of Construction Documents – Building
 - Life Safety approval from Wisconsin Department of Health Services
 - Building Permit from the City of Lake Geneva

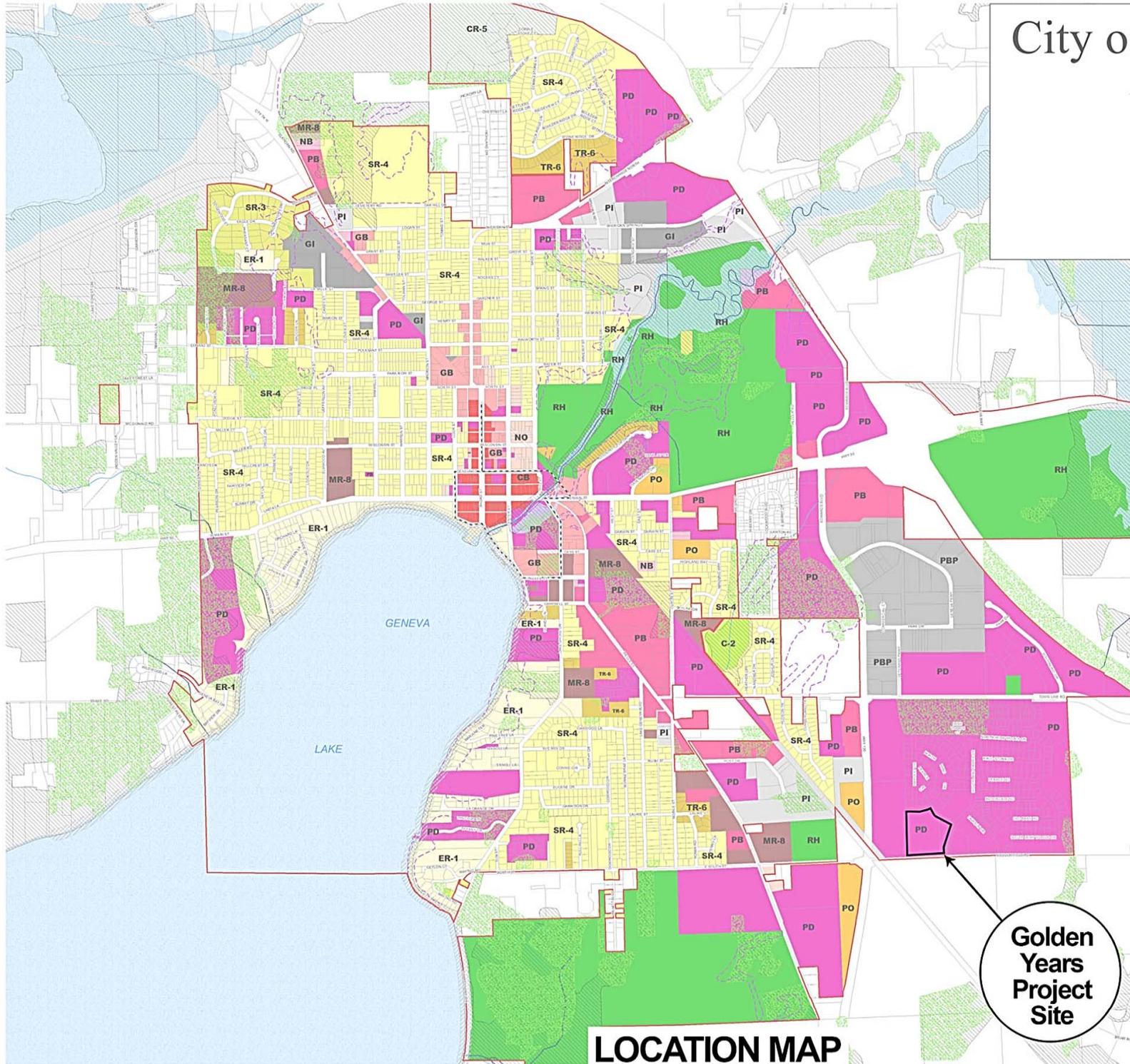
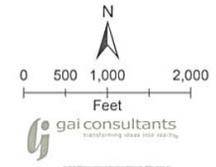
2. Construction

The proposed construction schedule will be to start activities as soon as possible in the spring of 2017. Activities will be

- April 2017
 - Site and Foundation construction start
- May 2017
 - Building Structure start
- September 2017
 - Building Enclosure completion
- November 2017
 - Sitework completion
 - Building finishes completion
- December 2017
 - Certificate of Occupancy approval
 - Life Safety approval
 - Furniture and equipment installation
 - Resident occupancy

City of Lake Geneva Zoning Map

March 19, 2015



RH	Rural Holding Areas for agricultural uses; agricultural support businesses; schools, parks, churches or very low-density single-family residential at a density of less than one dwelling unit per 35 acres.
CR-5	Countywide Residential - SAC Areas for very low density single-family development at maximum densities of one dwelling unit for every five gross acres, and support institutional uses such as schools, parks, and churches.
ER-1	Estate Residential-1 Areas for low density single-family development at maximum densities of one dwelling unit per acre, and support institutional uses such as schools, parks, and churches.
SR-3	Single-family Residential-3 Areas for moderate density single-family development at maximum densities of three dwelling units per acre, and support institutional uses such as schools, parks, and churches.
SR-4	Single-family Residential-4 Areas for moderate density single-family development at maximum densities of four dwelling units per acre, and support institutional uses such as schools, parks, and churches.
PD	Planned Development Areas approved for planned development zoning unique to the subject property.
TR-6	Two-family Residential-6 Areas for single-family detached and two-family residential development at densities up to six dwelling units per acre, and support institutional uses such as schools, parks, and churches.
MR-8	Two-family Residential-8 Areas for mixed single-family detached and two-family, and multi-family residential development at densities up to eight dwelling units per acre and support institutional uses.
C-2	Resource Conservation Areas for fishing, floodwater overflow and storage; pedestrian trails; preservation of scenic, historic and scientific areas; soil and water conservation; stream bank and lakeshore protection; water retention ponds and wildlife areas.
NO	Neighborhood Office Areas for high-quality office and office-support commercial uses in older, transitioning residential areas of the community. Residential qualities set an attractive, high quality character.
PO	Planned Office Areas for office and office-support commercial and service uses. Generous landscaping and limited signage set an attractive, high quality character.
NB	Neighborhood Business Areas for small scale, neighborhood-oriented service and retail uses, which shall not spread into adjacent residential areas. (generous landscaping and limited signage)
PB	Planned Business Newly developing areas for a full complement of commercial, office, and institutional uses. (Generous landscaping and limited signage)
GB	General Business Existing areas for a full complement of commercial, office, and institutional uses (moderate amounts of landscaping and signage)
CB	Central Business Areas for a full complement of downtown and high density neighborhood character commercial, office, and institutional uses. (Pedestrian - oriented landscaping and signage)
PI	Planned Industrial Areas for a full complement of indoor office, manufacturing, assembly and storage uses. Generous landscaping and limited signage set an attractive, high-quality character.
GI	General Industrial Areas for a full complement of indoor light and heavy industrial land uses, and carefully controlled outdoor storage uses. Moderate amounts of landscaping and signage set an attractive character.
HI	Heavy Industrial Areas for primarily outdoor and/or heavy industrial production, storage, extraction and disposal uses.
PBP	Planned Business Park Areas approved for planned development zoning unique to the subject property.

	Primary Environmental Corridor		City Boundary
	Woodlands Overlay		Downtown Design Review
	Lakeshore Overlay		Drainage Way
			Slopes (12% or greater)
			Shorelines, Ponds and Streams
			FEMA Floodplain Overlay

Golden Years Project Site

LOCATION MAP

Site Aerial

Townline Rd

Townline Rd

US

Edwards Blvd

HWY 120

North Rd

Golden Years
Project
Site

Primary Entrance

Secondary Entrance

N Bloomfield Rd

E Bloomfield Rd

700'

640'

Hoffm





