

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING
MONDAY JANUARY 15, 2018 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Agenda

1. Meeting called to order by Mayor Kupsik.
2. Roll Call.
3. Approve Minutes of the December 18th Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review: Application by Tom Konopacki for “CR Goodfinds”, 2819 Weaver Ln., Batavia, IL 60510 to install an awning structure and sign at 731 W Main Street, Tax Key No. ZOP000274.
7. Public Hearing and Recommendation of a Conditional Use Permit filed by Reeds Construction LLC, W3199 S Lake Shore Drive, Lake Geneva, WI 53147, to construct a new boat slip for Lynette M. Heimann Trust located at 620 S. Lake Shore Drive, Tax Key No. ZA315600001.
8. Public Hearing and Recommendation of a Conditional Use Permit filed by Reeds Construction LLC, W3199 S Lake Shore Drive, Lake Geneva, WI 53147, to construct a new boat slip for Pete & Holly Krug located at 870 Maytag Road, Tax Key No. ZCE00011.
9. Public Hearing and Recommendation of the Precise Implementation Plan (PIP), filed by Steve Bieda, Mau & Associates, LLP, 400 Security Blvd, Green Bay, WI 54313, on behalf of Himansu Dhyani/Northern Management, to construct (4) four (8) eight unit multi-family buildings at 1150 Wells Street, Tax Key No. ZYUP00142B.

10. Public Hearing and recommendation to amend the existing General Development Plan (GDP), Application filed by Southwind Prairie IV, LLC, 751 Geneva Parkway, to allow for the alteration of Building Locations, Building Exteriors, and site Design, located at 755 Southwind Drive, Lake Geneva Tax Key No. ZPRW00054A.
11. Public Hearing and recommendation to amend the existing Precise Implementation Plan (PIP) Application filed by Southwind Prairie IV, LLC, 751 Geneva Parkway, to allow for the alteration of Building Locations, Building Exteriors, and site Design, located at 755 Southwind Drive, Lake Geneva, Tax Key No. ZPRW00054A.
12. Public Hearing and Recommendation of a Condition Use Permit request filed by Neal Gill W3323 Lake Forest Lane, Lake Geneva WI 53147 to establish an In-Vehicle Sales or Services commercial land use at 190 E. Main Street, Lake Geneva, WI 53147 Tax Key No. ZA370600001.
13. Conceptual Review to establish a gas station, convenience store, Dunkin Donut with detached carwash located at 190 E. Main Street, Lake Geneva, WI 53147 Tax Key No. ZA370600001.
14. Adjournment

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

Posted 1/11/2018

**PLAN COMMISSION MEETING
MONDAY, DECEMBER 18, 2017 – 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Mayor Kupsik called the meeting to order at 6:04 p.m.

Roll Call. Present: Mayor Kupsik, Alderman Doug Skates, John Gibbs, Sarah Hill, Ted Horne, Ann Esarco. Absent (Excused) Tyler Frederick, City Administrator Oborn. Also Present: City Attorney Draper, City Planner Slavney, Building and Zoning Administrator Walling, Building & Zoning Administrative Assistant Follensbee.

Approve Minutes of the November 20th Plan Commission meeting as distributed.

Skates/Gibbs motion to approve. Motion carried 6 to 0.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will to be limited to 5 minutes.

Acknowledgement of Correspondence.

We received correspondence from Larry Austin, president & CEO of Plasti-coil, in favor of the lot development south of Wal-mart at 753 Geneva Parkway.

Downtown Design Review

6. Application by Judy Lew, N2425 Laura Street, Delavan, to add a new sign above the door at 706 W Main Street, “All About the Gown”, Tax Key No. ZOP 00307.

Judy Lew, N2425 Laura Street, Delavan, presented her request. Zoning Administrator Walling verified the sign meets the Downtown Design requirements.

Hill/Horne motion to approve and include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco voting “yes.” Motion carried 5 to 0.

7. Application by Thomas George, 3389 S Shore Drive, Delavan, for exterior painting at 741 W Main Street, “E Street Denim”, Tax Key No. ZOP 00272.

Thomas George, 3389 S Shore Drive, Delavan, presented his request. Zoning Administrator Walling verified the awning will not be replaced at this time. Mr. George stated they plan to submit a separate application for the awning.

Kupsik/Horne motion to approve and include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco voting “yes.” Motion carried 5 to 0.

8. Review and Recommendation of an Extraterritorial Jurisdiction (ETJ) CSM for Lots on Longwood Drive in the Town of Geneva filed by Martin Arenson, 23442 N. Wildwood Lane, Deerfield, IL 60015, filed by Lowell Management Services, PO Box 926, Lake Geneva, WI 53147, adjusting lot lines for lots 1, 2, & 3, Tax Key Nos. JLW 00001, JLW 00002, JLW 00003, JLW 00004, JLW 00008, JLA471100001.

Todd Cauffman, Lowell Management Services, on behalf of the Arenson's, presented their request.

Skates/Horne motion to approve Extraterritorial Jurisdiction CSM with staff recommendations.

Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco voting “yes.” Motion carried 5 to 0.

9. Public Hearing and Recommendation to amendment the existing Conditional Use Permit (CUP) filed by Lake Geneva 50120, LLC., 3000 Dundee Rd. Suite 408, Northbrook, IL, 60062 for 281 N Edwards Blvd. to allow the proposed exterior façade changes at Tax Key No. ZA297300001.

Michael Colombo, JTS Architects, 450 E Higgins Road, Elk Grove Village, IL, representing the GMX Group & Andy Goodman, presented their revised application. Zoning Administrator Walling verified the change. Planner Slavney stated the change adds visual interest to the proposed building.

Gibbs/Hill motion to close the public hearing. Motion carried 5 to 0.

Hill/Horne motion to approve the amendment to the existing Conditional Use Permit to include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco voting “yes. Motion carried 5 to 0.

10. A. Review and Recommendation of a Petition for Annexation of 1.95 acres for Tax Key JG2500014A filed by Mark Larkin, 500 Stone Ridge Drive, Lake Geneva, WI 53147.

Zoning Administrator Walling explained the applicant is waiting on his submittal until he can get a CSM for the property so there is a clear definition of the parcel and possible land uses when the annexation takes place.

Kupsik/Skates motion to continue this item to the next Plan Commission Meeting.

Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco voting “yes. Motion carried 5 to 0.

10. B. Review and Recommendation of a Request for Zoning Change filed by Mark Larkin, 500 Stone Ridge Drive, Lake Geneva, WI, to change A-3 County zoning to TR6 zoning for the northern part and PB zoning for the southern part. Tax Key JG2500014A.

Kupsik/Skates motion to continue this item to the next Plan Commission Meeting.

Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco voting “yes. Motion carried 5 to 0.

11. A. Public Hearing and Recommendation to amend the existing General Development Plan (GDP), application filed by Core Commercial Inc., for the property located at 753 Geneva Parkway, to allow for the construction of two commercial buildings approximately 22,000 square feet and 15,000 square feet Tax Key Nos. ZGBC 0001A & ZLGBP 00002.

Zoning Administrator Walling stated the application in not complete since it is lacking the engineering information for the site. City staff and our city engineers, Kapur and Associates, have contacted Cardinal Engineering regarding these items.

Steve Schulver, Sketchworks Architecture, presented the application request and verified Cardinal Engineering is working on this request. Planner Slavney believes the cross-connection with Wal-mart & relocating the existing intersection farther east of Edwards Blvd will help with better site flow. Slavney also liked the proposed relocations of the landscaping to screen the back portions of the buildings. Kim Pischke, Core Commercial Inc., and Sandy Galdon, CB Richard Ellis, 777 E Wisconsin, Milwaukee, also shared information pertaining to the request. Alderman Skates asked about traffic studies which addressed the new access point to Ross off from Geneva Parkway which would impact those using this entrance and Geneva Parkway. Skates also referenced on earlier plan with access only from Edwards Blvd and Wal-mart. Commissioner Esarco stated the entrance to Keefe from Geneva Parkway is tight as well as the parking lot and could not support this access point for Ross.

Speaker #1: Andy Dammair, LGEDC Executive Director, 908 Wells St, Lake Geneva, passed out letters sent out late this afternoon, on behalf of the board, opposing this present plan which is different from the original plan. This location is the gateway to the business park which has certain standards. The LGEDGC is not opposed to the concept and would like to work with Core Commercial.

Speaker #2: Charlene Klein, 817 Wisconsin Street, opposes this project.

Speaker #3: Cindy Flower, 533 Haskins Street, believes office buildings should be separate from retail buildings and recommends not having cross-connectivity between Keefe & Ross. Flower also pointed out the two access points from Wal-mart and referenced the Gateway Ordinance. Planner Slavney verified this location is on a gateway route from the south.

Speaker #4: Roger Wolff, 751 Geneva Parkway Blvd., land owner, presented the original plan to the board in 2016 to see what could be done on property.

Speaker #5: John Swanson, 1150 Park Drive, believes there will be an increase of traffic going through the Keefe parking lot if the plan goes through.

Kupsik/Hill motion to close the public hearing. Motion carried 5 to 0.

Kupsik/Skates motion to reconsider the public hearing for item 11 A. Motion carried 5 to 0.

Kupsik/Horne motion to continue the public hearing to the next Plan Commission meeting. Motion carried 5 to 0.

**11. B. Public Hearing and Recommendation on a Precise Implementation Plan (PIP), application filed by Core Commercial Inc., for the property located at 753 Geneva Parkway, to allow for the construction of two commercial buildings approximately 22,000 square feet and 15,000 square feet
Tax Key Nos. ZGBC 0001A & ZLGBP 00002.**

Kupsik/Horne motion to continue the public hearing on item 11. B. to the next Plan Commission meeting.
Motion carried 5 to 0.

12. A. Public Hearing and Recommendation to amend the Existing General Development Plan (GDP), application filed by Fairwyn SB, Inc., 875 Townline Road, Lake Geneva, to allow for the relocation of the proposed Duplex Housing for the Symphony Bay Development, near Cadence Circle & Soprano Drive.

Brian Pollard, 875 Townline Road, with Rick Zirk, on behalf of Symphony Bay, presented their request. Planner Slavney clarified the placement of porches or living spaces with alignment to the garages.

Hill/Skates motion to close the public hearing. Motion carried 5 to 0.

Esarco/Skates motion to accept the amendment to the existing GDP to include all staff recommendations and fact finding.
Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco voting “yes. Motion carried 5 to 0.

12. B. Public Hearing and Recommendation on a Precise Implementation Plan (PIP), application filed by Fairwyn SB, Inc., 875 Townline Road, Lake Geneva, to allow for the relocation of the proposed Duplex Housing for The Symphony Bay Development, near Cadence Circle & Soprano Drive.

Hill/Skates motion to close the public hearing. Motion carried 5 to 0.

Kupsik/Horne motion to approve the recommendation of the PIP to include all staff recommendations and fact finding.
Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco voting “yes. Motion carried 5 to 0.

**13. A. Public Hearing and Recommendation to amend the existing General Development Plan (GDP), application filed by Southwind Prairie IV, LLC, 751 Geneva Parkway, Lake Geneva, to allow for the alteration of Building Exteriors and Design, Storage Structure, and Sign installations at 755 Southwind Drive,
Tax Key No. ZPRW 00054A.**

Roger Wolff, 751 Geneva Parkway Blvd, on behalf of the applicant, presented the request. Commissioner Esarco asked for clarification of the sign.

- Speaker #1:** Lydia Shartre, Hush Blackwell, 20800 Swenson Drive, Waukesha, representing Prairiewind Condominiums, who have concerns about these apartment buildings and want to be separated by a gate from this project. Other concerns: property values, being tied into an apartment complex, the need of a 2nd access road to Townline Road, and maintenance of property – mowing and weed control.
- Speaker #2:** John Swanson, 1150 Park Drive, #701, concerned about the through street, maintenance of property and losing parking spots if not separated by the gate.
- Speaker #3:** Jim Fuss, 1150 Park Drive, #1106, concerned about trucks being parked on the road, property maintenance and unsafe conditions.
- Speaker #4:** Doug Bartz, 1150 Park Drive, #1104, wants separation from apartment complex as well as separate roads for this property.
- Speaker #5:** Joanna Sedonas, 1150 Park Drive, #801, concerned about traffic and asks for a breakaway gate.
- Speaker #6:** Carol Nevin, 1150 Park Drive, #1102, concerned about fencing along the property and placement dumpster for the construction.

Planner Slavney likes the idea of physical separation between the two developments. Slavney suggested changing the orientation of the most northern building, sharing the parking lot with the building to the south and continue the separation of property by evergreens on the common property line. Roger Wolff asked for a continuation of this application in the January Plan Commission meeting. Alderman Skates asks that Zoning Administrator Walling and Dennis Detkowski get involved with this project.

Kupsik/Horne motion to continue the public hearing for item 13.A. to January Plan Commission meeting. Motion carried 5 to 0.

13. B. Public Hearing and Recommendation on a Precise Implementation Plan (PIP), application filed by Southwind Prairie IV, LLC, 751 Geneva Parkway, Lake Geneva, to allow for the alteration of Building Exteriors and Design, Storage Structure, and Sign installations at 755 Southwind Drive, Tax Key No. ZPRW 00054A.

Kupsik/Horne motion to continue the public hearing January Plan Commission meeting. Motion carried 5 to 0.

Adjournment. Hill/Horne motion to adjourn at 8:23 pm. Motion carried 5 to 0.

/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: January 15, 2018

Agenda Item #6

Applicant:

Tom Konopacki
2819 Weaver Ln
Batavia, IL 60510

Request:

731 Main Street, Lake Geneva, WI 53147
Downtown Design Review of Signage and
Awning

Description:

The applicant is submitting an application for Downtown Design Review for an on building sign and an awning structure for a building at 731 Main Street. The City reviews all signs in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

The applicant proposes an approximately 16-square-foot wall sign, would be constructed of wood. Proposed sign colors include, "Needlepoint Navy," and "Classical Yellow." The sign size is within the maximum permitted area and the allowed colors as identified above.

A projecting awning is also proposed, similar in color to the proposed wall sign. The proposed awning meets the allowed elevation above sidewalk for building projections in the CB zoning district.

Staff Recommendations:

The colors submitted have been reviewed and comply with the Historic Colors of the Sherwin Williams color palette. The proposed wall sign & Awning meets the requirements of the Downtown Design Overlay Zoning district as proposed.

Staff recommends *approval* of the two requests of a proposed sign and awning as submitted.



731 Main

City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

731 Main St.
ZOP00274

Name & Address of Current Building Owner:

David Favaro
4308 W. Judson Dr.
New River, AZ 85087

Telephone Number of Current Building Owner:

262-248-1833

Name & Address of Applicant:

Tom Konopacki DBA - CR Goodfinds
2819 Weaver Ln
Batavia, IL 60510

Telephone Number of Applicant:

630-308-2501

Proposed Design Change:

change facade to square columns and aluminum awning

Zoning District:

Central Bus District - Downtown

Names & Address of Architect, Engineer, and/or Contractor of Project:

Handyman Dan DBA Daniel Fischer
114 Sage St.
16. W 53147

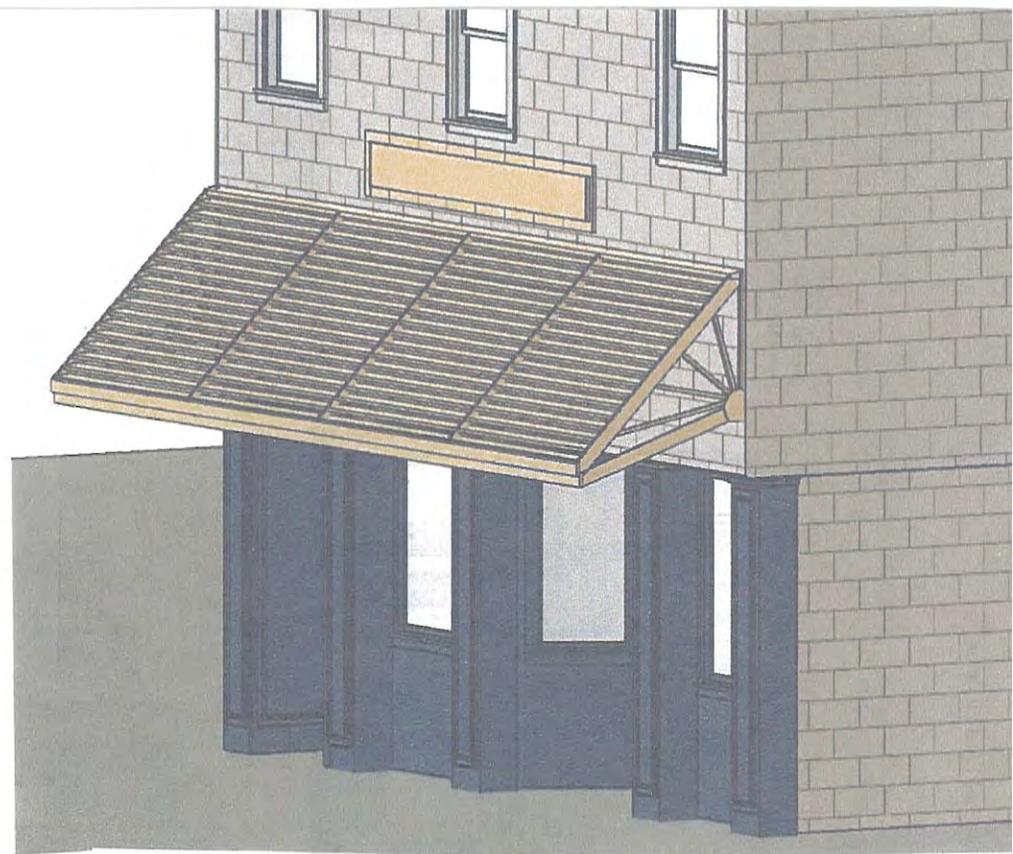
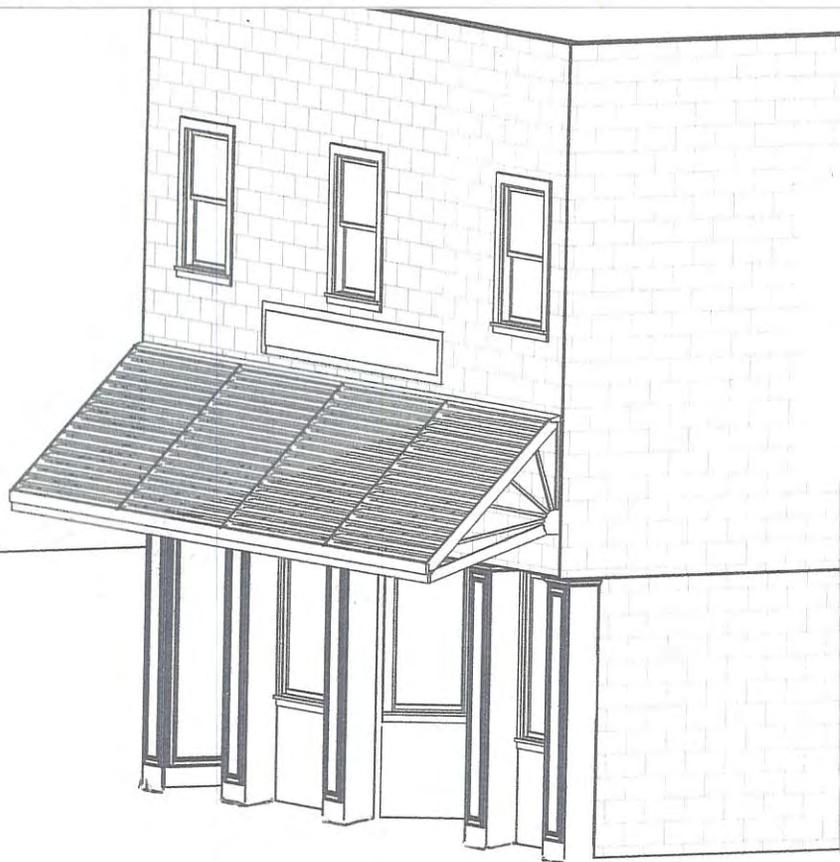
Description of Project:

Use wood to square round columns.
and replaceawning and paint lower section.
and sig

Date:

1-3-18

Signature of Applicant:



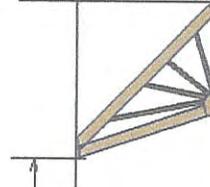
731 Main St. Final Overview



Sherwyn Williams:
Classical Yellow
Needlepoint Navy

53" PROJECTION

4'-4 7/8"



7'-6"



Shelwyn Williams:
Classical Yellow
Needlepoint Navy

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: January 15, 2018

Agenda Item #7

Applicant:

Reeds Construction LLC
W3199 S Lake Shore Drive
Lake Geneva, WI 53147

Request:

Lynette M. Heimann Trust
2429 Ridgewood Ct.
Aurora, IL 60502

620 S. Lake Shore Dr., Lake Geneva, WI 53147
Proposed Conditional Use Permit for a Boat Slip

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a new boat slip at 620 S. Lake Shore Drive. The slips would involve a wood pier with eleven wood cribs filled with rock. Detailed crib and decking designs are included in the submittal. The slips are proposed to be 4 x 40 feet and 4 x 40 feet would be connected to the existing main pier by a 4 x 36.5-foot catwalk. The boat slip would be parallel to the main pier and would be used for private boat docking and summer boat storage.

The City conditions all Conditional Use Permits for boat slips and piers on approval from the DNR. A copy of the Wisconsin DNR Water Resources permit application is included in the submittal.

As proposed, the new boat slip meets the 100-foot maximum length for piers (per Section 90-142 of the Lake Geneva Municipal Code). The pier meets the 12.5-foot setback from the adjacent riparian zone boundary (Section 90-143(e)). The pier does not seem to create an unlawful obstruction, although this will be confirmed by the required review by Wisconsin DNR.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Municipal Ordinance.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other

plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached.
 - a. Conditional Use Permit approval is contingent on review and approval of the proposed slip by the Wisconsin DNR.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

620 S. Lake Shore Drive, Lake Geneva, WI 53147

NAME AND ADDRESS OF CURRENT OWNER:

Lynette M. Heimann Trust (Jim and Lynette Heimann)

2429 Ridgewood Court, Aurora, IL 60502

TELEPHONE NUMBER OF CURRENT OWNER: _____

NAME AND ADDRESS OF APPLICANT:

Reed's Construction, LLC - Jeff Reed

W3199 S. Lake Shore Drive, Lake Geneva, WI 53147

TELEPHONE NUMBER OF APPLICANT: B 262-248-2934 cell 262-949-5064

PROPOSED CONDITIONAL USE:

Build a new pier with 2 slips and canopies. Main pier will be 8' wide x 100' long with a 10' x 11' L

There will be 2 slips that are 4' wide x 40' long with a 4' x 36' 5 1/2" catwalk

There will be 2 canopies that are 14' wide x 40' long

ZONING DISTRICT IN WHICH LAND IS LOCATED: _____

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Reed's Construction, LLC

W3199 S. Lake Shore Drive

Lake Geneva, WI 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Install 11 cribs on the lake bed and fill with rock, then building of Jacks, stringers and decking at shop then haul it to lake and put it together

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

DATE

SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Reed's Construction, LLC, as applicant/petitioner for:

Name: Jeff Reed
Address: W3199 S. Lake Shore Drive
Lake Geneva, WI 53147
Phone: Office 262-248-2934 Cell 262-949-5064

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this _____ day of _____, 201__.

Jeff Reed
Printed name of Applicant/Petitioner

Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I.RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ **Pre-submittal staff meeting scheduled:**
- Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ **Follow-up pre-submittal staff meetings scheduled for:**
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ **Application form filed with Zoning Administrator:** Date: _____ by: _____
- ___ **Application fee of \$ _____ received by Zoning Administrator:** Date: _____ by: _____
- ___ **Reimbursement of professional consultant costs agreement executed:** Date: _____ by: _____

II.APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
 ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____
 ↓

- ___ (a) **A map of the proposed conditional use:**
 - ___ Showing all lands for which the conditional use is proposed;
 - ___ Showing all other lands within 300 feet of the boundaries of the subject property;
 - ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
 - ___ Map and all its parts are clearly reproducible with a photocopier;
 - ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
 - ___ All lot dimensions of the subject property provided;
 - ___ Graphic scale and north arrow provided.
- ___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**



_____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

_____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

_____ (e) Written justification for the proposed conditional use:
_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Main Pier will be 8' wide x 100' long
Slip will be 4' wide x 40' long with a 4' x 36' 5 1/2" catwalk with canopy.
Will be 21' off the west lot line and 43' off the east lot line

2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Going to be used a private boat docking and summer housing for boat

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No, this is all on private property. It is a pier just like all the other piers on the lake

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Used for private boat dock

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

This is down on the water and the home owner is responsible for repair and up keep. It is made at a shop and hauled in to be installed. It is stored on private property when removed during the winter.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Public does not benefit. This is a private pier for private use only.

Will not cost the public anything.

IV.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

Waterway Individual Permit Application- General Information

PROJECT: Heimann, Jim & Lynette

Format Documents : If you submitted an application in hard copy with documents that are larger than 11x17, WDNR staff may request that you submit a copy of the document in electronic format, either as an email attachment, or on digital media, such as a CD

The information included in this checklist is necessary for a complete application. A complete submittal with detailed drawings will help us make a decision about your permit application. Any applicable statutory review times do not begin until the application is received by the Department and is determined to be complete.

Please recognize that you are responsible for obtaining all necessary local (e.g. city, town, village or county) and U.S. Army Corps of Engineer permits or approvals in addition to any applicable state permits prior to commencing any work at the project site.

To help us make a decision in the shortest amount of time possible, the following information must be submitted:

Piers, docks and wharves

1. Review the following links for more information: [Instructions](#)
2. Attach a copy of your deed or similar proof of ownership.
3. Attach a good photo that clearly shows the existing project area.
4. Attach a narrative description of your proposal.
5. Attach a site map based on the following format: [Blank Site Map](#).
6. Complete all displayed forms and fee sheets.
7. Pay fee online
8. Sign and Submit form.

Please review the following links for additional county and Corps of Engineering requirements:

Army Corps of Engineers: <https://mvp.usace.afpims.mil/Portals/57/docs/regulatory/PM%20County%20Assignments%20WI%20January%202013.pdf>

County Zoning: <http://dnr.wi.gov/topic/shorelandzoning/contacts/county.html>

Notice: Pursuant to chs. 30 and 31, Wis. Stats., ch. 281, Wis. Stats., and s. 283.33, Wis. Stats., this form is used to apply for coverage under the state construction site storm water runoff general permit, and to apply for a state or federal permit or certification for waterway and wetland projects or dam projects. This form and any required attachments constitute the permit application. Failure to complete and submit this application form may result in a fine and/or imprisonment or forfeiture under the provisions of applicable laws including s. 283.91, Wis. Stats. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Public Records Laws (ss. 19.31-19.39, Wis. Stats.). This form is required for U.S. Army Corps of Engineers (ACOE) regulatory purposes pursuant to 33 CF 325.

Read all instructions provided before completing

Section 1: Landowner Information

Organization, Entity or Name Lynette M. Heimann Trust	Authorized Representative (Last Name, First Name) Heimann , Jim		
Mailing Address 2429 Ridgewood Ct.	City Aurora	State IL	Zip Code 60502
Email jlheimann@comcast.net	Phone Number (incl. area code) 630-291-0390	Alternative Phone Number	

Section 2: Applicant/Information Select if same as landowner

Organization, Entity or Name Lynette M. Heimann Trust	Contact Person (Last Name, First Name) Heimann , Jim		
Mailing Address 2429 Ridgewood Ct.	City Aurora	State IL	Zip Code 60502
Email jlheimann@comcast.net	Phone Number (incl. area code) 630-291-0390	Alternative Phone Number	

Section 3: Primary Project Contact Select if same as landowner

Consultant or Plan Preparer Contractor Agent Other - specify: _____

Name (Organization or Entity) Reeds Construction, LLC	Contact Person (Last Name, First Name) Reed , Jeff		
Mailing Address W3199 S. Lake Shore Drive	City Lake Geneva	State WI	Zip Code 53147
Email michele@reedsconstructionllc.com	Phone Number (incl. area code) 262-248-2934	Alternative Phone Number	

Section 4: Project or Site Location:

Project Name Heimann, Jim & Lynette	County Walworth	<input checked="" type="radio"/> City <input type="radio"/> Township <input type="radio"/> Village of LAKE GENEVA;C
--	--------------------	--

Location Address / Description
620 S. Lake Shore Drive, Lake Geneva, WI 53147

Public Land Survey System (PLSS) – Provide the section, range, township information and latitude and longitude in decimal degrees, if available.

SE $\frac{1}{4}$ of $\frac{1}{4}$ of Section 36 Township 02 N Range 17 E W Latitude Longitude

If this site is not wholly contained in the quarter-quarter section, more description:

Contained on quarter-quarter section

Waterways: Provide the name(s) of closest water bodies

Geneva Lake

Section 5: Wetlands

If a wetland is present at a project site and permit approvals are sought through the waterway and wetland program, storm water program, or concentrated animal feeding operations (CAFO) program, the department requires that a wetland delineation that accurately shows the location of a wetland is submitted with an application. A wetland delineation needs to be verified/concurred with before the application can be submitted or be considered a complete application. See the department "[Wetland screening and delineation procedures](http://dnr.wi.gov/topic/waterways/construction/wetlands.html)" at <http://dnr.wi.gov/topic/waterways/construction/wetlands.html> for more information for more information.

Is a wetland present in the project area? Yes No

If yes, select all sources of information used and attach supporting report or documentation

- a. A copy of your wetland delineation and a [Wetland Confirmation Service](#) concurrence letter (wetland boundary verification service offered for a fee from the department)
- b. An [assured delineator's](#) wetland delineation report
- c. A copy of your wetland delineation and an Army Corps of Engineers concurrence letter
- d. A copy of your correspondence with a [WDNR Office of Energy Water Management Specialist](#) or [WDNR Transportation Liaison](#) regarding your wetland review/ concurrence.

If no, please select one of the following items showing that a wetland is not present within the project boundaries:

- a. A copy of your wetland determination and a letter from the department's [Wetland Identification Program](#) stating wetlands are not present or the activity proposed in the wetland is exempt under NR 103.06(4)
- b. A letter from an assured delineator stating wetlands are not present
- c. Documentation showing that each of these resources were reviewed for wetland absence on the [Surface Water Data Viewer](#):
- i. Surface Water Data Viewer- Wisconsin Wetland Inventory
 - ii. Surface Water Data Viewer- Wisconsin Indicator layer
 - iii. Surface Water Data Viewer- Digital Topographic map layer or aerial photo indicating if waterways, drainage ways, ditches, depressions, or standing water are within project boundary
- d. Show that the project limits are entirely in existing paved, graveled, or concrete areas
- e. A copy of your correspondence with a [WDNR Office of Energy Water Management Specialist](#) or [WDR Transportation Liaison](#) regarding your wetland review/concurrence

(Please note that if the information provided is incorrect or incomplete, the overall permit application may be considered incomplete and may be returned to the applicant.)

Section 6: Endangered or Threatened Resources

Has the presence of endangered or threatened resources been evaluated according to protocols developed by the DNR Bureau of National Heritage Conservation (BNHC) <http://dnr.wi.gov/topic/ERReview> Yes No

If Yes, select how the evaluation was completed and attach supporting report or documentation:

- a. Endangered Resources Preliminary Assessment from the Public Portal
- b. Certified ER Review Letter - specify: ERR- (example ERR-15-123)
- c. Broad Incidental Take Permit /Authorization -specify (e.g. No / Low Impact Activities, Grassland & Savanna Management, etc.):
- d. Other:

Section 7: Project Information (Attach additional sheets as necessary)

Anticipated Project Start Date: 6/4/2018 <input type="text"/>	Projected Project End Date: 12/31/2019 <input type="text"/>
Photos: Provide photographs of the "before" condition.	Date of Photographs: <input type="text"/>

Narrative of the Project:

Provide a one to two paragraph description of the proposed project, including land and water alterations and intended use(s) of the project. Include this in the attachment section.

Section 8: Certification and Permissions

of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or imprisonment or forfeiture under the provisions of applicable laws.

Permission: I hereby give the Department permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Signed Electronically

Signature of Landowner / Authorized Representative – For **Stormwater applications, signature of landowner is required. Authorized representative is not sufficient.**

Date Signed

Payment Confirmation

<u>Fee Type</u>	<u>Number of Activities</u>	<u>Subtotal</u>
Waterway Permit	<input type="text" value="1"/>	\$603.00
Wetland Permit	<input type="text" value="0"/>	\$0.00
Boathouse Certification	<input type="text" value="0"/>	\$0.00
New Dam Construction	<input type="text" value="0"/>	\$0.00
Expedited Decision (# of counties)	<input type="text" value="0"/>	\$0.00
WDNR publishes all required class 1 public notices <input type="checkbox"/>		<input type="text" value="\$0.00"/>

After-the-fact application for permits or approvals submitted after work has been commenced or completed. Fee is twice the usual fee.

Total Paid

US Bank Transaction Number WS2WT1002058302

WDNR Invoice Number WP-00009710

Questions about fees ? [Click Here](#)

Your total payment should be the SUM of ALL application fees and supplemental fees for EACH permitted activity for which you are applying.

For example, if you are applying for individual permits and a) your project involves a wetland fill that requires a wetland Individual permit; and b) involves the installation of a culvert in a waterway along with some dredging in a waterway; then your fee would be calculated as follows:

Wetland IP = (1 activity or \$800)

Waterway IP (Culvert) = \$600

Waterway IP (Dredging) = \$600 (2 activities or \$1200)

A supplemental Fee is assessed for Waterway Permits (\$3 for each waterway activity) = \$6

Total Application Fees for project = \$2006 (ALL of these permit fees added together)

Electronic Signature

Terms and Conditions

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or imprisonment or forfeiture under the provisions of applicable laws.

Permission: I hereby give the Department permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

NOTE: For security purposes the email will be sent to the address you used when registering your WAMS ID. This may be a different email than that provided in the application. For information on your WAMS account click [HERE](#).

Authorized Signature

I accept the above terms and conditions.

Signed by : i:0#.f|wamsmembership|z48vppy1 on 2017-08-17T18:22:02

After providing the final authorized signature, the system will send an email to the authorized party and any agents. This email will include a copy to the final read only version of this application. Either party may cancel the signature process and make further updates.

Project Details:

Does the activity require a written waiver to exceed specified limits of a Nationwide Permit?

- Yes
- No
- Unknown

If yes, provide Nationwide Permit number and name, limit to be exceeded, and the rationale for each request waiver:

Will the activity Result in the loss of greater than 1/2 acre of aquatic resources (wetlands, ditches, streams, rivers, ponds or lakes)?

- Yes
- No
- Unknown

Is the project located on U.S. Army Corps of Engineers property or easement OR would the project affect a U.W. Army Corps of Engineers structure?

- Yes
- No
- Unknown

Is the project located on other Federal lands or on Tribal Lands?

- Yes
- No
- Unknown

Is the discharge of fill or dredged material for which Section 10/404 authorization is sought part of a larger plan of development?

- Yes
- No
- Unknown

Mitigation:

Provide a statement describing proposed mitigation to offset the avoidable losses and impacts to waters of the US.

- Indicate in acres and linear feet (where appropriate) the total quantity of aquatic resources proposed to be created, restored, enhanced ad/or preserved. Indicate water body type(wetland plant community, ephemeral, intermittent or perennial stream/river, pond/lake, etc.) and mitigation type (permittee-responsible on-site/off-site, mitigation bank., or in-lieu fee program), if permittee -responsible mitigation is proposed, provide justification for not utilizing a Corps- approved mitigation bank or in-lieu fee program. If the mitigation is purchase of credits from a mitigation bank, indicate the bank to be used, if known.
- If not mitigation is propose, provide explanation of why no mitigation would be necessary.

Threatened or Endangered Species:

Are any federal-listed (or proposed) threatened or endangered species or critical habitat (or proposed critical habitat) known to reside with the project area?

- Yes
- No
- Unknown

If yes, please list:

If species or critical habitat are known with the project area, have surveys been conducted?

- Yes
- No
- Unknown

If yes, summarize findings here and attach studies /reports in other attachment area on the attachment page:

Historical Properties and Cultural Resources:

Are any cultural resources of any type known to exist on-site?

- Yes
- No
- Unknown

Have any cultural resource records search or surveys / reports been conducted?

- Yes
- No
- Unknown

If yes, summarize findings here and attach studies /reports in other attachment area on the attachment page:

Costal Zone Management:

Is the project located within a Costal Zone of Lake Superior or Lake Michigan?

- Yes
- No
- Unknown



November 10, 2017

IP-SE-2017-65-02950

Lynette M. Heimann Trust
Jim Heimann
2429 Ridgewood Ct.
Aurora, IL 60502

Dear Mr. Heimann:

The Department of Natural Resources has completed its review of your application for a permit to place a pier (Pier 886) on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County. You will be pleased to know your application is approved.

I am attaching a copy of your permit, which lists the many important conditions that must be followed to protect water quality and habitat. A copy of the permit must be posted for reference at the project site. Please read your permit conditions carefully so that you are fully aware of what is expected of you.

Please note you are required to submit photographs of the completed project within 7 days after you've finished construction. This helps both of us to document the completion of the project and compliance with the permit conditions.

Your next step will be to notify me of the date on which you plan to start construction and again after your project is complete.

For project details, maps, and plans related to this decision, please see application number WP-IP-SE-2017-65-X08-17T18-22-02 on the Department's permit tracking website at <https://permits.dnr.wi.gov/water/SitePages/Permit%20Search.aspx>.

If you have any questions about your permit, please call me at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov.

Sincerely,

Elaine Johnson
Water Management Specialist

cc: Michele Batz, Reeds Construction
Rachel Nuetzel, U.S. Army Corps of Engineers
City of Lake Geneva
Walworth County

**STATE OF WISCONSIN Pier PERMIT
DEPARTMENT OF NATURAL RESOURCES**

IP-SE-2017-65-02950

Lynette M. Heimann Trust, c/o Jim Heimann, is hereby granted under Section 30.12(3m), Wisconsin Statutes, a permit to place a pier on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the SE1/4 of the SW1/4 of Section 36, Township 2 North, Range 17 East, subject to the following conditions:

PERMIT

1. You must notify Elaine Johnson at phone (262) 574-2136 or email Elaine.Johnson@wisconsin.gov before starting construction and again not more than 5 days after the project is complete.
2. You must complete the project as described on or before 11/10/2020. If you will not complete the project by this date, you must submit a written request for an extension prior to expiration of the initial time limit specified in the permit. Your request must identify the requested extension date. The Department shall extend the time limit for an individual permit or contract for no longer than an additional 5 years if you request the extension before the initial time limit expires. You may not begin or continue construction after the original permit expiration date unless the Department extends the permit in writing or grants a new permit.
3. This permit does not authorize any work other than what you specifically describe in your application and plans, and as modified by the conditions of this permit. If you wish to alter the project or permit conditions, you must first obtain written approval of the Department.
4. Before you start your project, you must first obtain any permit or approval that may be required for your project by local zoning ordinances and by the U.S. Army Corps of Engineers. You are responsible for contacting these local and federal authorities to determine if they require permits or approvals for your project. These local and federal authorities are responsible for determining if your project complies with their requirements.
5. Upon reasonable notice, you shall allow access to your project site during reasonable hours to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance.
6. The Department may modify or revoke this permit for good cause, including if the project is not completed according to the terms of the permit or if the Department determines the activity is detrimental to the public interest.
7. You must post a copy of this permit at a conspicuous location on the project site, visible from the waterway, for at least five days prior to construction, and remaining at least five days after construction. You must also have a copy of the permit and approved plan available at the project site at all times until the project is complete.
8. Your acceptance of this permit and efforts to begin work on this project signify that you have read, understood and agreed to follow all conditions of this permit.
9. You must submit a series of photographs to the Department, within one week of completing work on the site. The photographs must be taken from different vantage points and depict all work authorized by this permit.

10. You, your agent, and any involved contractors or consultants may be considered a party to the violation pursuant to Section 30.292, Wis. Stats., for any violations of Chapter 30, Wisconsin Statutes, or this permit.
11. Construction shall be accomplished in such a manner as to minimize erosion and siltation into surface waters. Erosion control measures (such as silt fence and straw bales) must meet or exceed the technical standards of ch. NR 151, Wis. Adm. Code. The technical standards are found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html .
12. All equipment used for the project including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps shall be de-contaminated for invasive and exotic viruses and species prior to use and after use.

The following steps must be taken every time you move your equipment to avoid transporting invasive and exotic viruses and species. To the extent practicable, equipment and gear used on infested waters shall not be used on other non-infested waters.

1. **Inspect and remove** aquatic plants, animals, and mud from your equipment.
2. **Drain all water** from your equipment that comes in contact with infested waters, including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps.
3. **Dispose** of aquatic plants, animals in the trash. Never release or transfer aquatic plants, animals or water from one waterbody to another.
4. **Wash your equipment** with hot (>140° F) and/or high pressure water,

- OR -

Allow your equipment to **dry thoroughly for 5 days**.

13. All canopies and boat shelters must comply with the standards in NR 326, Wisconsin Administrative Code. The boat shelter may have a roof, but may not have walls, sides or drops. The roof must be pitched not less than 1 foot nor more than 2.5 feet from peak to eaves. Any roof must cover the berth only, not the pier.
14. The pier must allow the free movement of water and must not entrap vegetation.
15. The pier must not enclose any portion of the navigable waterway.
16. This permit authorizes future maintenance to the piers; however, no change can be made to the type of materials, number of slips, lighting, or pier configuration without written approval from the Department or amendment of this permit.
17. This pier must not interfere with the rights of other riparians.
18. Electrical, fueling, and waste handling facilities must comply with applicable safety and environmental protection regulations.

19. If foam flotation is used, this material must be completely coated or contained to resist deterioration from the elements and gasoline. A written description of the proposed material must be submitted to the Department for approval prior to use.
20. This permit and plans must be encased in plastic and legibly displayed along the water's edge during construction and for 30 days after construction of this pier. The purpose of this condition is to allow Department staff and the public to monitor the project and to ensure compliance with the conditions of the project.

FINDINGS OF FACT

1. Lynette M. Heimann Trust, c/o Jim Heimann, has filed an application for a permit to place a pier on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the SE1/4 of the SW1/4 of Section 36, Township 2 North, Range 17 East.
2. The proposed project involves installation of a pier for two boat slips. The pier will have a main access walkway measuring eight feet wide by one hundred feet long. A ten foot wide by eleven foot long loading platform will extend off the south terminal end of the walkway. The two boat slips will be located on the north side of the pier and will be comprised of three catwalks. One catwalk will measure four feet wide by thirty-six and a half feet long, connecting to two catwalks measuring four feet wide by forty feet long at each boat slip. The pier will be supported by eleven fieldstone rock filled cribs (760 square feet total). See Exhibit A for reference.
3. The Department has completed an investigation of the project site and has evaluated the project as described in the application and plans.
4. Geneva Lake is a navigable water.
5. The proposed project, if constructed in accordance with this permit will not adversely affect water quality, will not increase water pollution in surface waters and will not cause environmental pollution as defined in s. 283.01(6m), Wis. Stats.
6. The proposed project will not impact wetlands if constructed in accordance with this permit.
7. The Department of Natural Resources has determined that the agency's review of the proposed project constitutes an integrated analysis action under s. NR 150.20(2), Wis. Adm. Code. The Department has considered the impacts on the human environment, alternatives to the proposed projects and has provided opportunities for public disclosure and comment. The Department has completed all procedural requirements of s. 1.11(2)(c), Wis. Stats., and NR 150, Wis. Adm. Code for this project.
8. The Department of Natural Resources has completed all procedural requirements and the project as permitted will comply with all applicable requirements of sections 30.12(3m), Wisconsin Statutes and Chapters NR 102, 103, & 326 of the Wisconsin Administrative Code.

The applicant was responsible for fulfilling the procedural requirements for publication of notices under s. 30.208(5)(c)1m., Stats., and was responsible for publication of the notice of pending application under s.30.208(3)(a), Stats. or the notice of public informational hearing under s.30.208(3)(c), Stats., or both. S. 30.208(3)(e), Stats., provides that if no public hearing

is held, the Department must issue its decision within 30 days of the 30-day public comment period, and if a public hearing is held, the Department must issue its decision within 20 days after the 10-day period for public comment after the public hearing. S. 30.208(5)(bm), Stats., requires the Department to consider the date on which the department publishes a notice on its web site as the date of notice.

9. The structure or deposit will not materially obstruct navigation because vessels will be able to navigate around the structure and the structure is consistent with the size and configuration of piers on Geneva Lake in this area.
10. The structure or deposit will not be detrimental to the public interest. The size of the structure is consistent with other piers on Geneva Lake and does not exceed reasonable use standards.

CONCLUSIONS OF LAW

1. The Department has authority under the above indicated Statutes and Administrative Codes, to issue a permit for the construction and maintenance of this project.

NOTICE OF APPEAL RIGHTS

If you believe that you have a right to challenge this decision, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions shall be filed. For judicial review of a decision pursuant to sections 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review shall name the Department of Natural Resources as the respondent.

To request a contested case hearing of any individual permit decision pursuant to section 30.209, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources, P.O. Box 7921, Madison, WI, 53707-7921. The petition shall be in writing, shall be dated and signed by the petitioner, and shall include as an attachment a copy of the decision for which administrative review is sought. If you are not the applicant, you must simultaneously provide a copy of the petition to the applicant. If you wish to request a stay of the project, you must provide information, as outlined below, to show that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment. If you are not the permit applicant, you must provide a copy of the petition to the permit applicant at the same time that you serve the petition on the Department.

The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30 day period for filing a petition for judicial review.

A request for contested case hearing must meet the requirements of section 30.209, Wis. Stats., and sections NR 2.03, 2.05, and 310.18, Wis. Admin. Code, and if the petitioner is not the applicant the petition must include the following information:

1. A description of the objection that is sufficiently specific to allow the department to determine which provisions of this section may be violated if the proposed permit or contract is allowed to proceed.
2. A description of the facts supporting the petition that is sufficiently specific to determine how the petitioner believes the project, as proposed, may result in a violation of Chapter 30, Wis. Stats;.
3. A commitment by the petitioner to appear at the administrative hearing and present information supporting the petitioner's objection.

If the petition contains a request for a stay of the project, the petition must also include information showing that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment.

Dated at Waukesha Service Center, Wisconsin on 11/10/2017.

STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES
For the Secretary

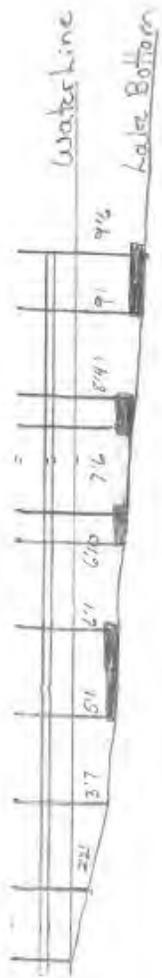


By

Elaine Johnson
Water Management Specialist

Exhibit A:

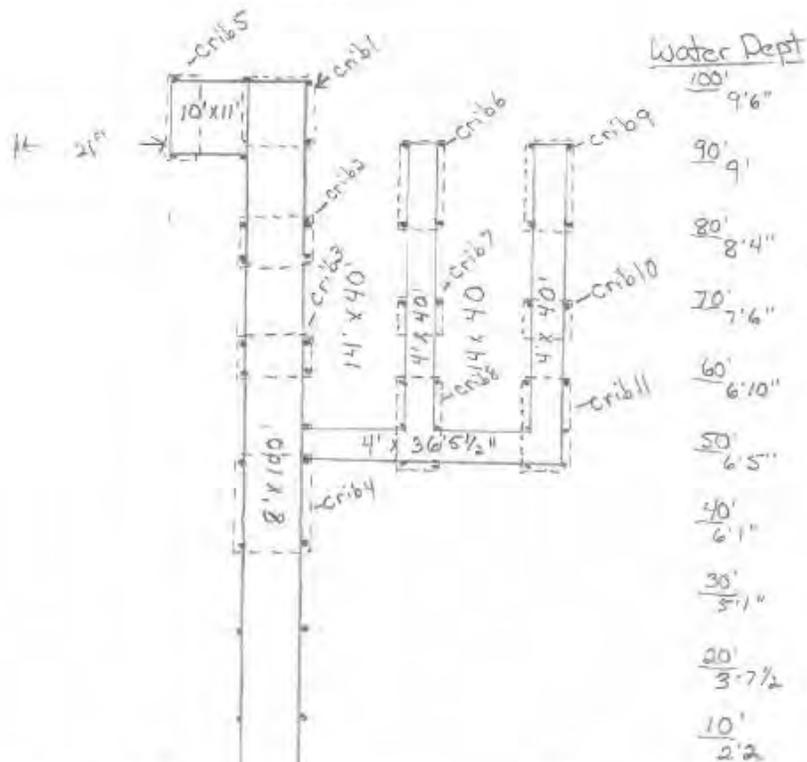
Cross Section



Scale
1" = 20'

N →

Top View



Total Sq Ft

Crib 1	10' x 10' = 100'
Crib 2	10' x 6' = 60'
Crib 3	10' x 6' = 60'
Crib 4	10' x 12' = 120'
Crib 5	6' x 12' = 72'
Crib 6	6' x 12' = 72'
Crib 7	6' x 5' = 30'
Crib 8	6' x 12' = 72'
Crib 9	6' x 12' = 72'
Crib 10	6' x 5' = 30'
Crib 11	6' x 12' = 72'
<hr/>	
	760'

Ed
McCarty

Lot Line

Jim + Lynette
Heimann

40' 20' 120'

Lot Line

Thomas
Kramer Sr.

67

NA

50

50

120

BB

BB

WILLIAMS

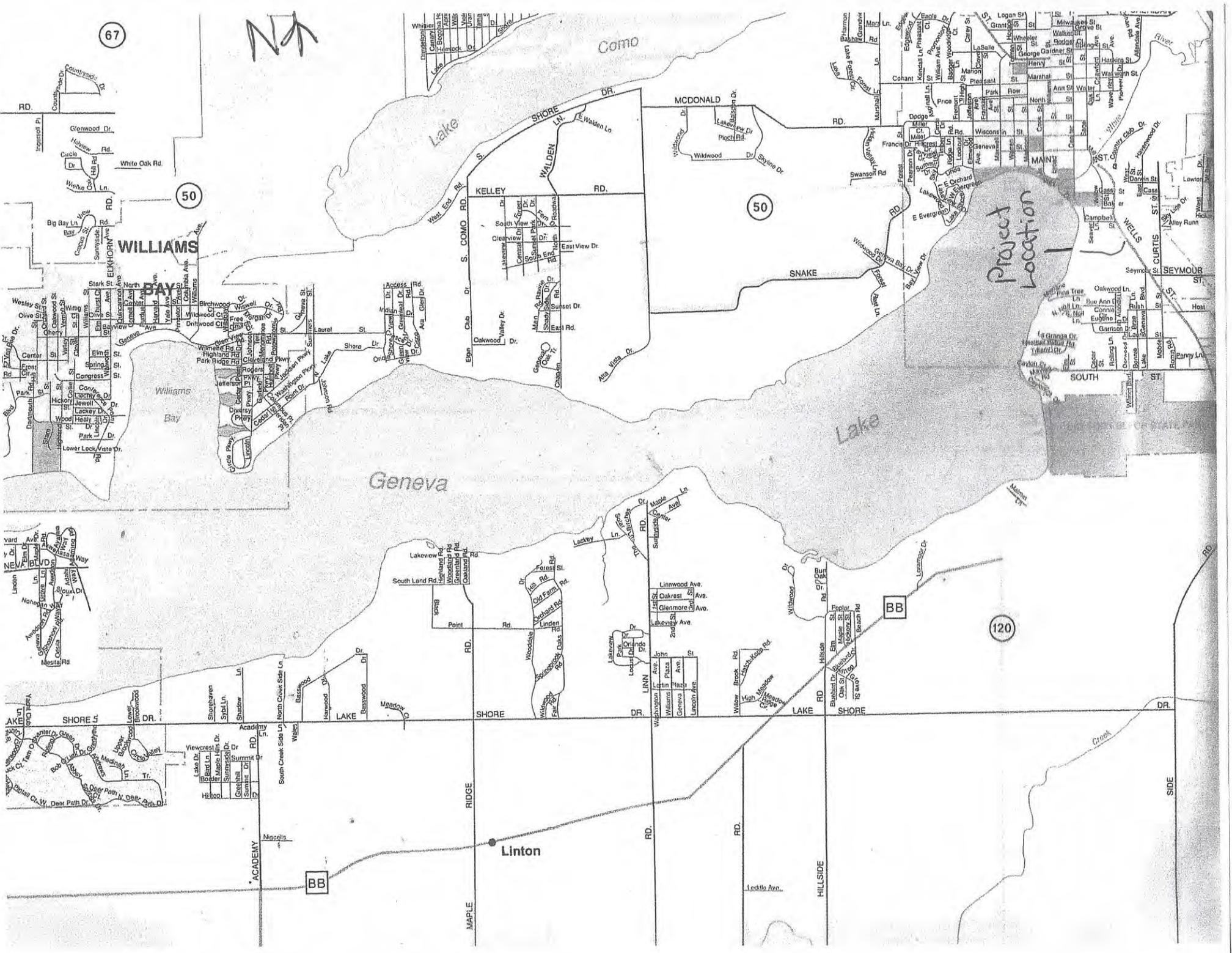
DAY

Geneva

Como

Project Location

Linton



COPY

Lake Geneva City Treasurer
626 Geneva St
Lake Geneva, WI 53147

WALWORTH COUNTY - STATE OF WISCONSIN
PROPERTY TAX BILL FOR 2016
REAL ESTATE

LYNETTE M HEIMANN TRUST



Parcel Number: ZA315600001
Bill Number: 257669

Important: Be sure this description covers your property. Note that this description is for tax bill only and may not be a full legal description. See reverse side for important information.

257669/ZA315600001 4134
LYNETTE M HEIMANN TRUST
2429 RIDGEWOOD CT
AURORA IL 60502

Location of Property/Legal Description
620 S LAKE SHORE DR

LOT 1 CERTIFIED SURVEY NO. 3156 AS RECORDED IN VOL 17 OF C.S. ON PAGE 178 WCR. LOCATED IN SE 1/4 SEC 36 T2N R17E. 94500 SQ FT CITY OF LAKE GENEVA OIMITS ZBB-4 & ZBB-5
2.170 ACRES

Please inform treasurer of address changes.

ASSESSED VALUE LAND	ASSESSED VALUE IMPROVEMENTS	TOTAL ASSESSED VALUE	AVERAGE ASSMT. RATIO	NET ASSESSED VALUE RATE	NET PROPERTY TAX
2,794,500	0	2,794,500	1.001471453	0.02128055 <small>(Does NOT reflect credits)</small>	59468.50
ESTIMATED FAIR MARKET VALUE LAND	ESTIMATED FAIR MARKET VALUE IMPROVEMENTS	TOTAL ESTIMATED FAIR MARKET VALUE	<input type="checkbox"/> A star in this box means unpaid prior year taxes.	School taxes also reduced by school levy tax credit	
2,790,400	0	2,790,400		5,985.53	
TAXING JURISDICTION	2015 EST. STATE AIDS ALLOCATED TAX DIST.	2016 EST. STATE AIDS ALLOCATED TAX DIST.	2015 NET TAX	2016 NET TAX	% TAX CHANGE
STATE OF WISCONSIN	0	0	407.36	474.36	16.4%
WALWORTH COUNTY	208,100	216,058	11,016.17	12,547.89	13.9%
City of Lake Geneva	874,696	772,856	14,050.67	16,656.20	18.5%
Sch Lake Geneva J I	4,090,652	4,195,047	14,537.73	16,668.87	14.7%
UHS LG-Genoa City	490,264	825,442	10,133.43	10,877.21	7.3%
Gateway Technical	1,178,829	1,379,130	1,908.04	2,243.97	17.6%
TOTAL	6,842,541	7,388,533	52,053.40	59,468.50	14.2%
FIRST DOLLAR CREDIT			0.00	0.00	0.0%
LOTTERY AND GAMING CREDIT			0.00	0.00	0.0%
NET PROPERTY TAX			52,053.40	59,468.50	14.2%

TOTAL DUE: \$59,468.50
FOR FULL PAYMENT, PAY TO LOCAL TREASURER BY: JANUARY 31, 2017
Warning: If not paid by due dates, installment option is lost and total tax is delinquent subject to interest and, if applicable, penalty.
Failure to pay on time. See reverse.

FOR INFORMATION PURPOSES ONLY - Voter Approved Temporary Tax Increases

Taxing Jurisdiction	Total Additional Taxes	Total Additional Taxes Applied to Property	Year Increase Ends	Taxing Jurisdiction	Total Additional Taxes	Total Additional Taxes Applied to Property	Year Increase Ends

PAY 2ND INSTALLMENT OF: \$29,734.25
BY JULY 31, 2017
AMOUNT ENCLOSED _____
MAKE CHECK PAYABLE AND MAIL TO:
WALWORTH COUNTY TREASURER
100 W WALWORTH PO BOX 1001
ELKHORN, WI 53121
PIN# ZA315600001
LYNETTE M HEIMANN TRUST
BILL NUMBER: 257669

PAY FULL AMOUNT OF: \$59,468.50
BY JANUARY 31, 2017
AMOUNT ENCLOSED _____
MAKE CHECK PAYABLE AND MAIL TO:
LAKE GENEVA CITY TREASURER
626 GENEVA ST
LAKE GENEVA, WI 53147
PIN# ZA315600001
LYNETTE M HEIMANN TRUST
BILL NUMBER: 257669



INCLUDE THIS STUB WITH YOUR PAYMENT

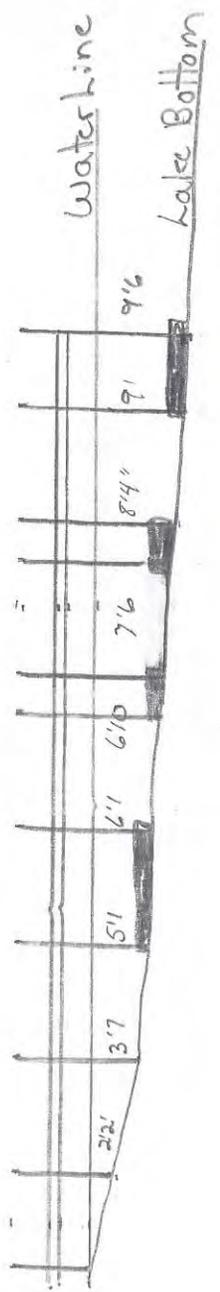


INCLUDE THIS STUB WITH YOUR PAYMENT

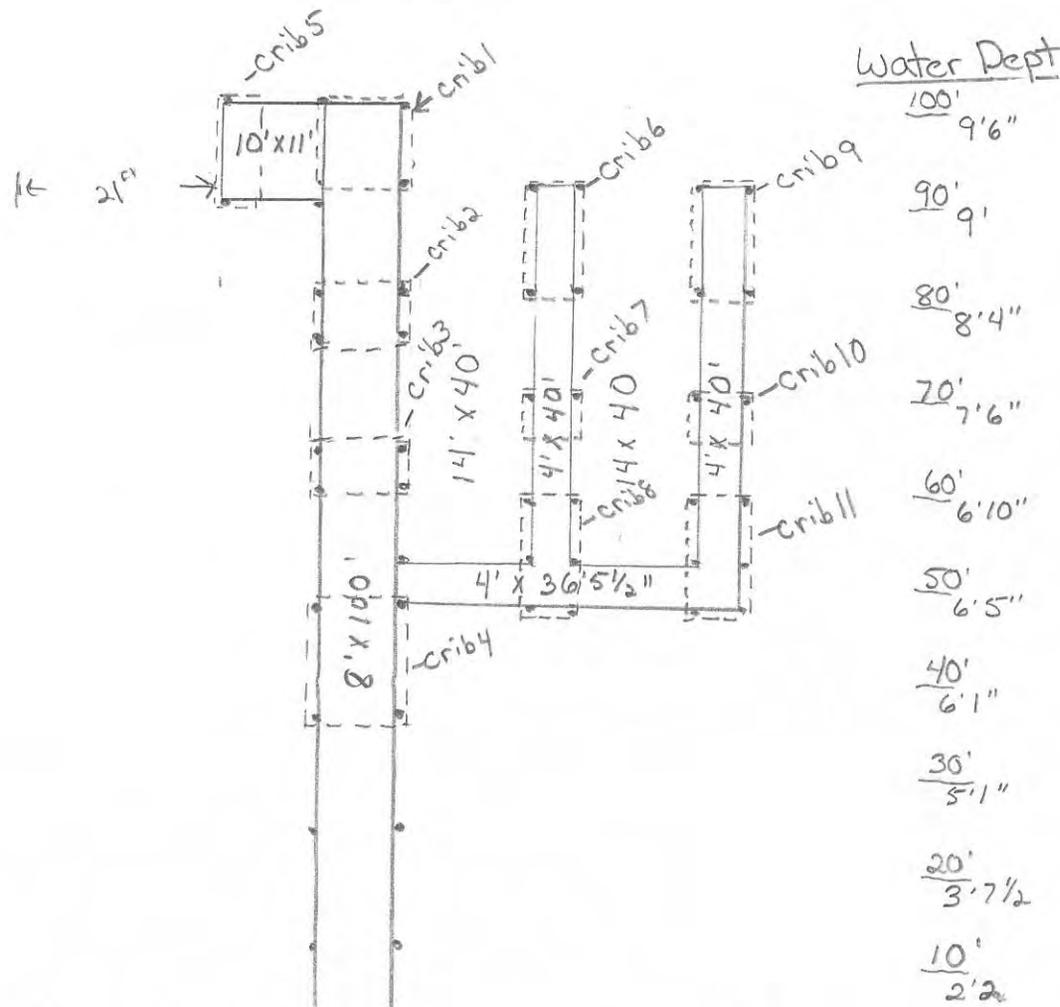
N →

Scale
1" = 20'

Cross Section



Top View



Total Sq Ft

Crib1	10' x 10' = 100'
Crib2	10' x 6' = 60'
Crib3	10' x 6' = 60'
Crib4	10' x 12' = 120'
Crib5	6' x 12' = 72'
Crib6	6' x 12' = 72'
Crib7	6' x 5' = 30'
Crib8	6' x 12' = 72'
Crib9	6' x 12' = 72'
Crib10	6' x 5' = 30'
Crib11	6' x 12' = 72'
<hr/>	
	760' FT

Ed
McCarty

lot line

40' →

Jim + Lynette
Heimann

80' →
120' →

lot line

Thomas
Kramer Sr.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: January 15, 2018

Agenda Item #8

Applicant:

Reeds Construction LLC
W3199 S Lake Shore Drive
Lake Geneva, WI 53147

Request:

Peter & Holly Krug
471 S. Columbia St.
Naperville, IL 60540

870 Maytag Rd., Lake Geneva, WI 53147
Proposed Conditional Use Permit for a Boat Slip

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a new boat slip at 870 Maytag Road. The slip would involve a wood pier with five wood cribs filled with rock. Detailed crib and decking designs are included in the submittal. The slip is proposed to be 3 x 33 feet and would be connected to the 78 foot long main pier by an 8 x 15.5-foot catwalk. The boat slip would be parallel to the main pier and would be used for private boat docking and summer boat storage.

The City conditions all Conditional Use Permits for boat slips and piers on approval from the DNR. A copy of the Wisconsin DNR Water Resources permit application is included in the submittal.

As proposed, the new boat slip meets the 100-foot maximum length for piers (per Section 90-142 of the Lake Geneva Municipal Code). The pier meets the 12.5-foot setback from the adjacent riparian zone boundary (Section 90-143(e)). The pier does not seem to create an unlawful obstruction, although this will be confirmed by the required review by Wisconsin DNR.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Municipal Ordinance.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other

plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached.
 - a. Conditional Use Permit approval is contingent on review and approval of the proposed slip by the Wisconsin DNR.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

870 Maytag Road, Lake Geneva, WI 53147, Lot 11 Ceylon Court Estates, 15134 Sq Feet.

NAME AND ADDRESS OF CURRENT OWNER:

Pete & Holly Krug

471 South Columbia St., Naperville, IL 60540

TELEPHONE NUMBER OF CURRENT OWNER: 630-546-5955

NAME AND ADDRESS OF APPLICANT:

Reed's Construction, LLC - Jeff Reed

W3199 S. Lake Shore Drive, Lake Geneva, WI 53147

TELEPHONE NUMBER OF APPLICANT: B 262-248-2934 cell 262-949-5064

PROPOSED CONDITIONAL USE:

Build a new pier with 1 slip and canopy. Main pier will be 8' wide x 78' long, then widening out to

~~10' wide x 22' long. There will be 1 slip that will be 8' wide x 15' 5 1/2' long with a 3' x 33' catwalk~~

10' wide x 22' long. There will be 1 Slip that will be 8' wide x 15' 5 1/2' catwalk with a 3' x 33' catwalk

ZONING DISTRICT IN WHICH LAND IS LOCATED: _____

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Reed's Construction, LLC

W3199 S. Lake Shore Drive

Lake Geneva, WI 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Install 5 cribs on the lake bed and fill with rock, then building of Jacks, stringers and decking at shop then haul it to lake and put it together

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

DATE

SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Reed's Construction, LLC, as applicant/petitioner for:

Name: Jeff Reed
Address: W3199 S. Lake Shore Drive
Lake Geneva, WI 53147
Phone: Office 262-248-2934 Cell 262-949-5064

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this _____ day of _____, 201__.

Jeff Reed
Printed name of Applicant/Petitioner

Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I.RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ **Pre-submittal staff meeting scheduled:**
- Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ **Follow-up pre-submittal staff meetings scheduled for:**
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ **Application form filed with Zoning Administrator:** Date: _____ by: _____
- ___ **Application fee of \$ _____ received by Zoning Administrator:** Date: _____ by: _____
- ___ **Reimbursement of professional consultant costs agreement executed:** Date: _____ by: _____

II.APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
 ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____
 ↓

- ___ (a) **A map of the proposed conditional use:**
 - ___ Showing all lands for which the conditional use is proposed;
 - ___ Showing all other lands within 300 feet of the boundaries of the subject property;
 - ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
 - ___ Map and all its parts are clearly reproducible with a photocopier;
 - ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
 - ___ All lot dimensions of the subject property provided;
 - ___ Graphic scale and north arrow provided.
- ___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**



- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Main Pier will be 8' wide x 78' then going to 10' wide x 22' long for a total length of 100'

Slip will be 68' wide x 15' 5 1/2" long with a 3' x 33' catwalk with canopy.

Will be 12' 6" off lot line on both sides using knitter method

2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Going to be used a private boat docking and summer housing for boat

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No, this is all on private property. It is a pier just like all the other piers on the lake

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Used for private boat dock

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

This is down on the water and the home owner is responsible for repair and up keep. It is made at a shop and hauled in to be installed. It is stored on private property when removed during the winter.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Public does not benefit. This is a private pier for private use only.

Will not cost the public anything.

IV.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

Notice: Pursuant to chs. 30 and 31, Wis. Stats., ch. 281, Wis. Stats., and s. 283.33, Wis. Stats., this form is used to apply for coverage under the state construction site storm water runoff general permit, and to apply for a state or federal permit or certification for waterway and wetland projects or dam projects. This form and any required attachments constitute the permit application. Failure to complete and submit this application form may result in a fine and/or imprisonment or forfeiture under the provisions of applicable laws including s. 283.91, Wis. Stats. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Public Records Laws (ss. 19.31-19.39, Wis. Stats.). This form is required for U.S. Army Corps of Engineers (ACOE) regulatory purposes pursuant to 33 CF 325.

Read all instructions provided before completing

Section 1: Landowner Information

Organization, Entity or Name Krug, Pete & Holly	Authorized Representative (Last Name, First Name) Krug , Pete		
Mailing Address 471 South Columbia St.	City Naperville	State IL	Zip Code 60540
Email krugs@sbcglobal.net	Phone Number (incl. area code) 630-546-5955	Alternative Phone Number	

Section 2: Applicant/Information Select if same as landowner

Organization, Entity or Name Krug, Pete & Holly	Contact Person (Last Name, First Name) Krug , Pete		
Mailing Address 471 South Columbia St.	City Naperville	State IL	Zip Code 60540
Email krugs@sbcglobal.net	Phone Number (incl. area code) 630-546-5955	Alternative Phone Number	

Section 3: Primary Project Contact Select if same as landowner

Consultant or Plan Preparer Contractor Agent Other - specify: _____

Name (Organization or Entity) reed's Construction, LLC	Contact Person (Last Name, First Name) Reed , Jeff		
Mailing Address W3199 S. Lake Shore Drive	City Lake Geneva	State WI	Zip Code 53147
Email michele@reedsconstructionllc.com	Phone Number (incl. area code) 262-248-2934	Alternative Phone Number	

Section 4: Project or Site Location:

Project Name Krug, Pete & Holly	County Walworth	<input checked="" type="radio"/> City <input type="radio"/> Township <input type="radio"/> Village of LAKE GENEVA,C
------------------------------------	--------------------	--

Location Address / Description
870 Maytag Road, Lake Geneva, WI 53147

Public Land Survey System (PLSS) – Provide the section, range, township information and latitude and longitude in decimal degrees, if available.

_____ of _____ of Section _____ Township _____ Range _____ E
 _____ ¼ _____ ¼ _____ N W Latitude _____ Longitude _____

If this site is not wholly contained in the quarter-quarter section, more description:

Lot 11 Ceylon Court Estates, 15134 SQ feet, City of Lake Geneva

Waterways: Provide the name(s) of closest water bodies

Geneva Lake

Section 5: Wetlands

If a wetland is present at a project site and permit approvals are sought through the waterway and wetland program, storm water program, or concentrated animal feeding operations (CAFO) program, the department requires that a wetland delineation that accurately shows the location of a wetland is submitted with an application. A wetland delineation needs to be verified/concurred with before the application can be submitted or be considered a complete application. See the department "[Wetland screening and delineation procedures](http://dnr.wi.gov/topic/waterways/construction/wetlands.html)" at <http://dnr.wi.gov/topic/waterways/construction/wetlands.html> for more information for more information.

Is a wetland present in the project area? Yes No

If yes, select all sources of information used and attach supporting report or documentation

- a. A copy of your wetland delineation and a [Wetland Confirmation Service](#) concurrence letter (wetland boundary verification service offered for a fee from the department)
- b. An [assured delineator's](#) wetland delineation report
- c. A copy of your wetland delineation and an Army Corps of Engineers concurrence letter
- d. A copy of your correspondence with a [WDNR Office of Energy Water Management Specialist](#) or [WDNR Transportation Liaison](#) regarding your wetland review/ concurrence.

If no, please select one of the following items showing that a wetland is not present within the project boundaries:

- a. A copy of your wetland determination and a letter from the department's [Wetland Identification Program](#) stating wetlands are not present or the activity proposed in the wetland is exempt under NR 103.06(4)
- b. A letter from an assured delineator stating wetlands are not present
- c. Documentation showing that each of these resources were reviewed for wetland absence on the [Surface Water Data Viewer](#):
 - i. Surface Water Data Viewer- Wisconsin Wetland Inventory
 - ii. Surface Water Data Viewer- Wisconsin Indicator layer
 - iii. Surface Water Data Viewer- Digital Topographic map layer or aerial photo indicating if waterways, drainage ways, ditches, depressions, or standing water are within project boundary
- d. Show that the project limits are entirely in existing paved, graveled, or concrete areas
- e. A copy of your correspondence with a [WDNR Office of Energy Water Management Specialist](#) or [WDR Transportation Liaison](#) regarding your wetland review/concurrence

(Please note that if the information provided is incorrect or incomplete, the overall permit application may be considered incomplete and may be returned to the applicant.)

Section 6: Endangered or Threatened Resources

Has the presence of endangered or threatened resources been evaluated according to protocols developed by the DNR Bureau of National Heritage Conservation (BNHC) <http://dnr.wi.gov/topic/ERReview> Yes No

If Yes, select how the evaluation was completed and attach supporting report or documentation:

- a. Endangered Resources Preliminary Assessment from the Public Portal
- b. Certified ER Review Letter - specify: ERR- (example ERR-15-123
- c. Broad Incidental Take Permit /Authorization -specify (e.g. No / Low Impact Activities, Grassland & Savanna Management, etc.):
- d. Other:

Section 7: Project Information (Attach additional sheets as necessary)

Anticipated Project Start Date: <input type="text" value="6/4/2018"/>	Projected Project End Date: <input type="text" value="12/31/2019"/>
Photos: Provide photographs of the "before" condition.	Date of Photographs: <input type="text"/>

Narrative of the Project:

Provide a one to two paragraph description of the proposed project, including land and water alterations and intended use(s) of the project. Include this in the attachment section.

Section 8: Certification and Permissions

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or imprisonment or forfeiture under the provisions of applicable laws.

Permission: I hereby give the Department permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Signed Electronically

Signature of Landowner / Authorized Representative – For **Stormwater applications**,
signature of landowner is required. Authorized representative is not sufficient.

Date Signed

Payment Confirmation

<u>Fee Type</u>	<u>Number of Activities</u>	<u>Subtotal</u>
Waterway Permit	<input type="text" value="1"/>	\$603.00
Wetland Permit	<input type="text" value="0"/>	\$0.00
Boathouse Certification	<input type="text" value="0"/>	\$0.00
New Dam Construction	<input type="text" value="0"/>	\$0.00
Expedited Decision (# of counties)	<input type="text" value="0"/>	\$0.00
WDNR publishes all required class 1 public notices <input type="checkbox"/>		<input type="text" value="\$0.00"/>

After-the-fact application for permits or approvals submitted after work has been commenced or completed. Fee is twice the usual fee.

Total Paid

US Bank Transaction Number WS2WT1002069519

WDNR Invoice Number WP-00009811

Questions about fees ? [Click Here](#)

Your total payment should be the SUM of ALL application fees and supplemental fees for EACH permitted activity for which you are applying.

For example, if you are applying for individual permits and a) your project involves a wetland fill that requires a wetland Individual permit; and b) involves the installation of a culvert in a waterway along with some dredging in a waterway; then your fee would be calculated as follows:

Wetland IP = (1 activity or \$800)

Waterway IP (Culvert) = \$600

Waterway IP (Dredging) = \$600 (2 activities or \$1200)

A supplemental Fee is assessed for Waterway Permits (\$3 for each waterway activity) = \$6

Total Application Fees for project = \$2006 (ALL of these permit fees added together)

Electronic Signature

Terms and Conditions

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or imprisonment or forfeiture under the provisions of applicable laws.

Permission: I hereby give the Department permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

NOTE: For security purposes the email will be sent to the address you used when registering your WAMS ID. This may be a different email than that provided in the application. For information on your WAMS account click [HERE](#).

Authorized Signature

I accept the above terms and conditions.

Signed by : i:0#.f|wamsmembership|z48vppy1 on 2017-08-24T15:57:23

After providing the final authorized signature, the system will send an email to the authorized party and any agents. This email will include a copy to the final read only version of this application. Either party may cancel the signature process and make further updates.



November 10, 2017

IP-SE-2017-65-03026

Pete & Holly Krug
471 South Columbia St.
Naperville, IL 60540

Dear Mr. & Ms. Krug:

The Department of Natural Resources has completed its review of your application for a permit to place a pier (Pier 840) on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County. You will be pleased to know your application is approved.

I am attaching a copy of your permit, which lists the many important conditions that must be followed to protect water quality and habitat. A copy of the permit must be posted for reference at the project site. Please read your permit conditions carefully so that you are fully aware of what is expected of you.

Please note you are required to submit photographs of the completed project within 7 days after you've finished construction. This helps both of us to document the completion of the project and compliance with the permit conditions.

Your next step will be to notify me of the date on which you plan to start construction and again after your project is complete.

For project details, maps, and plans related to this decision, please see application number WP-IP-SE-2017-65-X08-24T15-57-26 on the Department's permit tracking website at <https://permits.dnr.wi.gov/water/SitePages/Permit%20Search.aspx>.

If you have any questions about your permit, please call me at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov.

Sincerely,

Elaine Johnson
Water Management Specialist

cc: Michele Batz, Reeds Construction, LLC
Rachel Nuetzel, U.S. Army Corps of Engineers
Clerk, City of Lake Geneva

**STATE OF WISCONSIN Pier PERMIT
DEPARTMENT OF NATURAL RESOURCES**

IP-SE-2017-65-03026

Pete & Holly Krug are hereby granted under Section 30.12(3m), Wisconsin Statutes, a permit to place a pier on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the NE1/4 of the SW1/4 of Section 1, Township 1 North, Range 17 East, subject to the following conditions:

PERMIT

1. You must notify Elaine Johnson at phone (262) 574-2136 or email Elaine.Johnson@wisconsin.gov before starting construction and again not more than 5 days after the project is complete.
2. You must complete the project as described on or before 11/10/2020. If you will not complete the project by this date, you must submit a written request for an extension prior to expiration of the initial time limit specified in the permit. Your request must identify the requested extension date. The Department shall extend the time limit for an individual permit or contract for no longer than an additional 5 years if you request the extension before the initial time limit expires. You may not begin or continue construction after the original permit expiration date unless the Department extends the permit in writing or grants a new permit.
3. This permit does not authorize any work other than what you specifically describe in your application and plans, and as modified by the conditions of this permit. If you wish to alter the project or permit conditions, you must first obtain written approval of the Department.
4. Before you start your project, you must first obtain any permit or approval that may be required for your project by local zoning ordinances and by the U.S. Army Corps of Engineers. You are responsible for contacting these local and federal authorities to determine if they require permits or approvals for your project. These local and federal authorities are responsible for determining if your project complies with their requirements.
5. Upon reasonable notice, you shall allow access to your project site during reasonable hours to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance.
6. The Department may modify or revoke this permit for good cause, including if the project is not completed according to the terms of the permit or if the Department determines the activity is detrimental to the public interest.
7. You must post a copy of this permit at a conspicuous location on the project site, visible from the waterway, for at least five days prior to construction, and remaining at least five days after construction. You must also have a copy of the permit and approved plan available at the project site at all times until the project is complete.
8. Your acceptance of this permit and efforts to begin work on this project signify that you have read, understood and agreed to follow all conditions of this permit.
9. You must submit a series of photographs to the Department, within one week of completing work on the site. The photographs must be taken from different vantage points and depict all work authorized by this permit.

10. You, your agent, and any involved contractors or consultants may be considered a party to the violation pursuant to Section 30.292, Wis. Stats., for any violations of Chapter 30, Wisconsin Statutes, or this permit.
11. Construction shall be accomplished in such a manner as to minimize erosion and siltation into surface waters. Erosion control measures (such as silt fence and straw bales) must meet or exceed the technical standards of ch. NR 151, Wis. Adm. Code. The technical standards are found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html .
12. All equipment used for the project including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps shall be de-contaminated for invasive and exotic viruses and species prior to use and after use.

The following steps must be taken every time you move your equipment to avoid transporting invasive and exotic viruses and species. To the extent practicable, equipment and gear used on infested waters shall not be used on other non-infested waters.

1. **Inspect and remove** aquatic plants, animals, and mud from your equipment.
2. **Drain all water** from your equipment that comes in contact with infested waters, including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps.
3. **Dispose** of aquatic plants, animals in the trash. Never release or transfer aquatic plants, animals or water from one waterbody to another.
4. **Wash your equipment** with hot (>140° F) and/or high pressure water,

- OR -

Allow your equipment to **dry thoroughly for 5 days**.

13. All canopies and boat shelters must comply with the standards in NR 326, Wisconsin Administrative Code. The boat shelter may have a roof, but may not have walls, sides or drops. The roof must be pitched not less than 1 foot nor more than 2.5 feet from peak to eaves. Any roof must cover the berth only, not the pier.
14. The pier must allow the free movement of water and must not entrap vegetation.
15. The pier must not enclose any portion of the navigable waterway.
16. This permit authorizes future maintenance to the piers; however, no change can be made to the type of materials, number of slips, lighting, or pier configuration without written approval from the Department or amendment of this permit.
17. This pier must not interfere with the rights of other riparians.
18. Electrical, fueling, and waste handling facilities must comply with applicable safety and environmental protection regulations.

19. If foam flotation is used, this material must be completely coated or contained to resist deterioration from the elements and gasoline. A written description of the proposed material must be submitted to the Department for approval prior to use.
20. This permit and plans must be encased in plastic and legibly displayed along the water's edge during construction and for 30 days after construction of this pier. The purpose of this condition is to allow Department staff and the public to monitor the project and to ensure compliance with the conditions of the project.

FINDINGS OF FACT

1. Pete & Holly Krug have filed an application for a permit to place a pier/wharf on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the NE1/4 of the SW1/4 of Section 1, Township 1 North, Range 17 East.
2. The project involves installation of a pier for 1 boat slip. The pier will have a main access walkway that is 100 feet long; the first 78 feet of the walkway will measure 8 feet wide, with the last 22 feet measuring 10 feet wide. An L-shaped segment will be placed on the south side of the walkway to delineate the boat slip and will be comprised of a section measuring 8 feet wide by 15.5 feet long connecting to a segment measuring 3 feet wide by 33 feet long. The pier will be supported by 5 fieldstone rock filled cribs (414 square feet total). See Exhibit A for reference.
3. The Department has completed an investigation of the project site and has evaluated the project as described in the application and plans.
4. Geneva Lake is a navigable water.
5. The proposed project, if constructed in accordance with this permit will not adversely affect water quality, will not increase water pollution in surface waters and will not cause environmental pollution as defined in s. 283.01(6m), Wis. Stats.
6. The proposed project will not impact wetlands if constructed in accordance with this permit.
7. The Department of Natural Resources has determined that the agency's review of the proposed project constitutes an integrated analysis action under s. NR 150.20(2), Wis. Adm. Code. The Department has considered the impacts on the human environment, alternatives to the proposed projects and has provided opportunities for public disclosure and comment. The Department has completed all procedural requirements of s. 1.11(2)(c), Wis. Stats., and NR 150, Wis. Adm. Code for this project.
8. The Department of Natural Resources has completed all procedural requirements and the project as permitted will comply with all applicable requirements of sections 30.12(3m), Wisconsin Statutes and Chapters NR 102, 103, 326 of the Wisconsin Administrative Code.

The applicant was responsible for fulfilling the procedural requirements for publication of notices under s. 30.208(5)(c)1m., Stats., and was responsible for publication of the notice of pending application under s.30.208(3)(a), Stats. or the notice of public informational hearing under s.30.208(3)(c), Stats., or both. S. 30.208(3)(e), Stats., provides that if no public hearing is held, the Department must issue its decision within 30 days of the 30-day public comment

period, and if a public hearing is held, the Department must issue its decision within 20 days after the 10-day period for public comment after the public hearing. S. 30.208(5)(bm), Stats., requires the Department to consider the date on which the department publishes a notice on its web site as the date of notice.

9. The structure or deposit will not materially obstruct navigation because vessels will be able to navigate around the pier and the pier will be of similar size and length as piers in this area of Geneva Lake.
10. The structure or deposit will not be detrimental to the public interest. The pier will be of similar size, configuration and length as piers in this area of Geneva Lake.

CONCLUSIONS OF LAW

1. The Department has authority under the above indicated Statutes and Administrative Codes, to issue a permit for the construction and maintenance of this project.

NOTICE OF APPEAL RIGHTS

If you believe that you have a right to challenge this decision, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions shall be filed. For judicial review of a decision pursuant to sections 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review shall name the Department of Natural Resources as the respondent.

To request a contested case hearing of any individual permit decision pursuant to section 30.209, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources, P.O. Box 7921, Madison, WI, 53707-7921. The petition shall be in writing, shall be dated and signed by the petitioner, and shall include as an attachment a copy of the decision for which administrative review is sought. If you are not the applicant, you must simultaneously provide a copy of the petition to the applicant. If you wish to request a stay of the project, you must provide information, as outlined below, to show that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment. If you are not the permit applicant, you must provide a copy of the petition to the permit applicant at the same time that you serve the petition on the Department.

The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30 day period for filing a petition for judicial review.

A request for contested case hearing must meet the requirements of section 30.209, Wis. Stats., and sections NR 2.03, 2.05, and 310.18, Wis. Admin. Code, and if the petitioner is not the applicant the petition must include the following information:

1. A description of the objection that is sufficiently specific to allow the department to determine which provisions of this section may be violated if the proposed permit or contract is allowed to proceed.

2. A description of the facts supporting the petition that is sufficiently specific to determine how the petitioner believes the project, as proposed, may result in a violation of Chapter 30, Wis. Stats;.
3. A commitment by the petitioner to appear at the administrative hearing and present information supporting the petitioner's objection.

If the petition contains a request for a stay of the project, the petition must also include information showing that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment.

Dated at Waukesha Service Center, Wisconsin on 11/10/2017.

STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES
For the Secretary



By

Elaine Johnson
Water Management Specialist

[Return to search results](#)

[Property Summary](#)

Owner (s):

**KRUG, PETER VINCENT
KRUG, HOLLY THOMSEN**

Location:

Mailing Address:

**PETER VINCENT KRUG
HOLLY THOMSEN KRUG
471 S COLUMBIA ST
NAPERVILLE, IL 60540**

School District:

**2884 - LAKE GENEVA-GENOA CITY UHS SCHOOL DISTRICT
2885 - LAKE GENEVA J1 SCHOOL DISTRICT**

Tax Parcel ID Number:

ZCE 00011

Tax District:

246-City of Lake Geneva

Status:

Active

Acres:

0.3590

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):

LOT 11 CEYLON COURT ESTATES 15134 SQ FT CITY OF LAKE GENEVA

Site Address (es): (Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)

870 MAYTAG RD LAKE GENEVA, WI 53147

Select Detail --

<Select Detail>

Make Default Detail

Printer Friendly Page

View Interactive Map

Summary of Subject Details:

NOTE: Not all subject details are available at every county.

Assessments:

Assessment detail by year.

Taxes:

Tax history by year, links to tax payment history, and payoff calculator.

Zoning:

Rural zoning map for the selected parcel. Zoning is intended to be used as a reference only. Only rural zoning information is provided. For information about city or village zoning, please contact local officials.

Districts:

Special District information (Lake, Sanitary, TIF, BID).

Parcel History:

History of tax parcel changes. Parcel history is not available for changes made prior to June 2013. Changes made prior to this are available only by visiting the County.

Documents:

Documents related to selected tax parcel. There may be other documents related to this parcel that are not shown.

Survey History:

List of surveys performed on selected parcel or on parents of selected parcel. There may be surveys performed that are not available electronically through this portal.

Sales History:

List of all sales related to the selected parcel. There may be documents related to this parcel that are not shown.

Parcel Map:

Interactive map of the selected tax parcel. Maps are available for 'Active' parcels only.

Permits:

Listing of sanitary and/or land use permits associated with the parcel.



67

50

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BB

BB

WILLIAMS

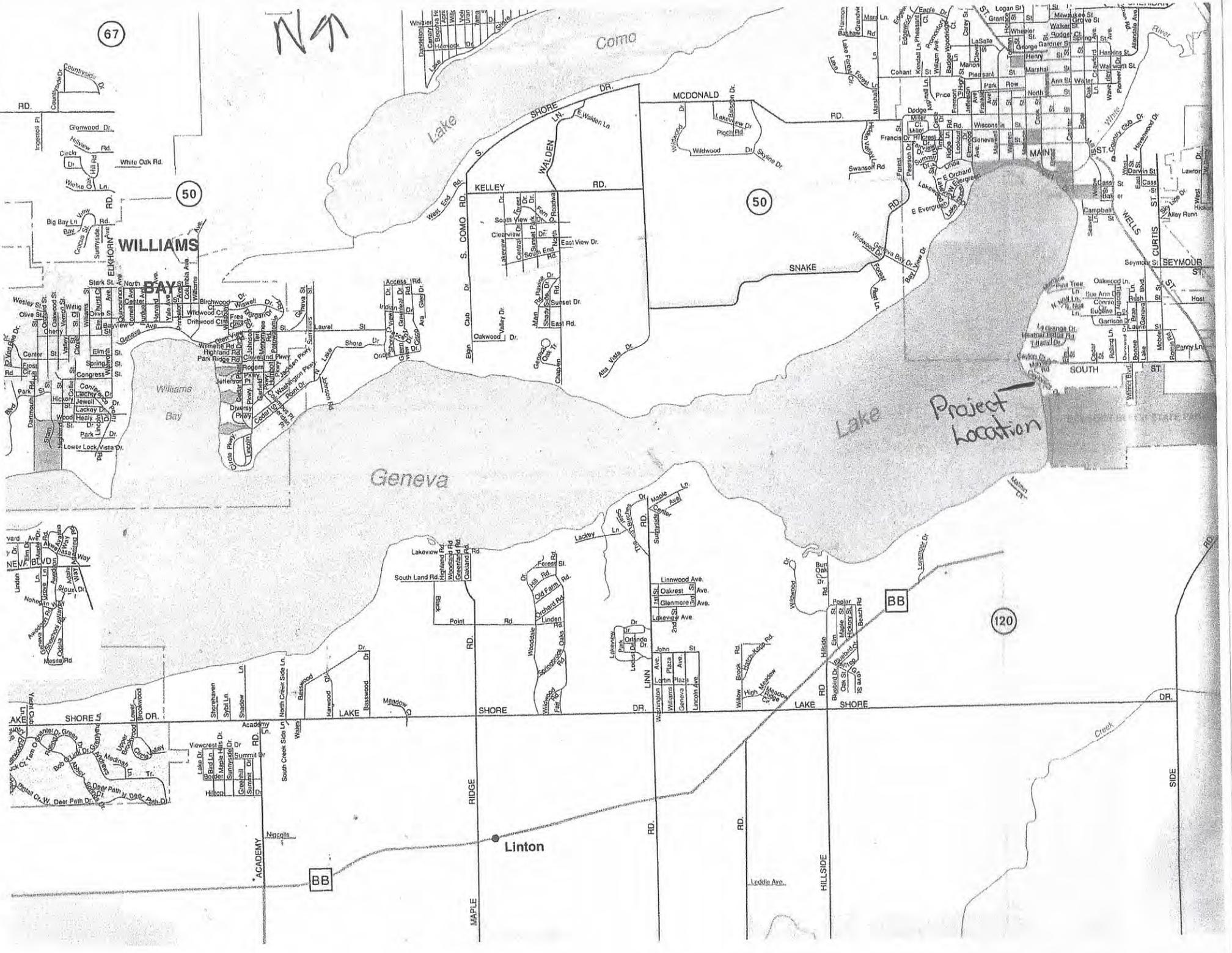
NEW BAY

Geneva

Como

Project Location

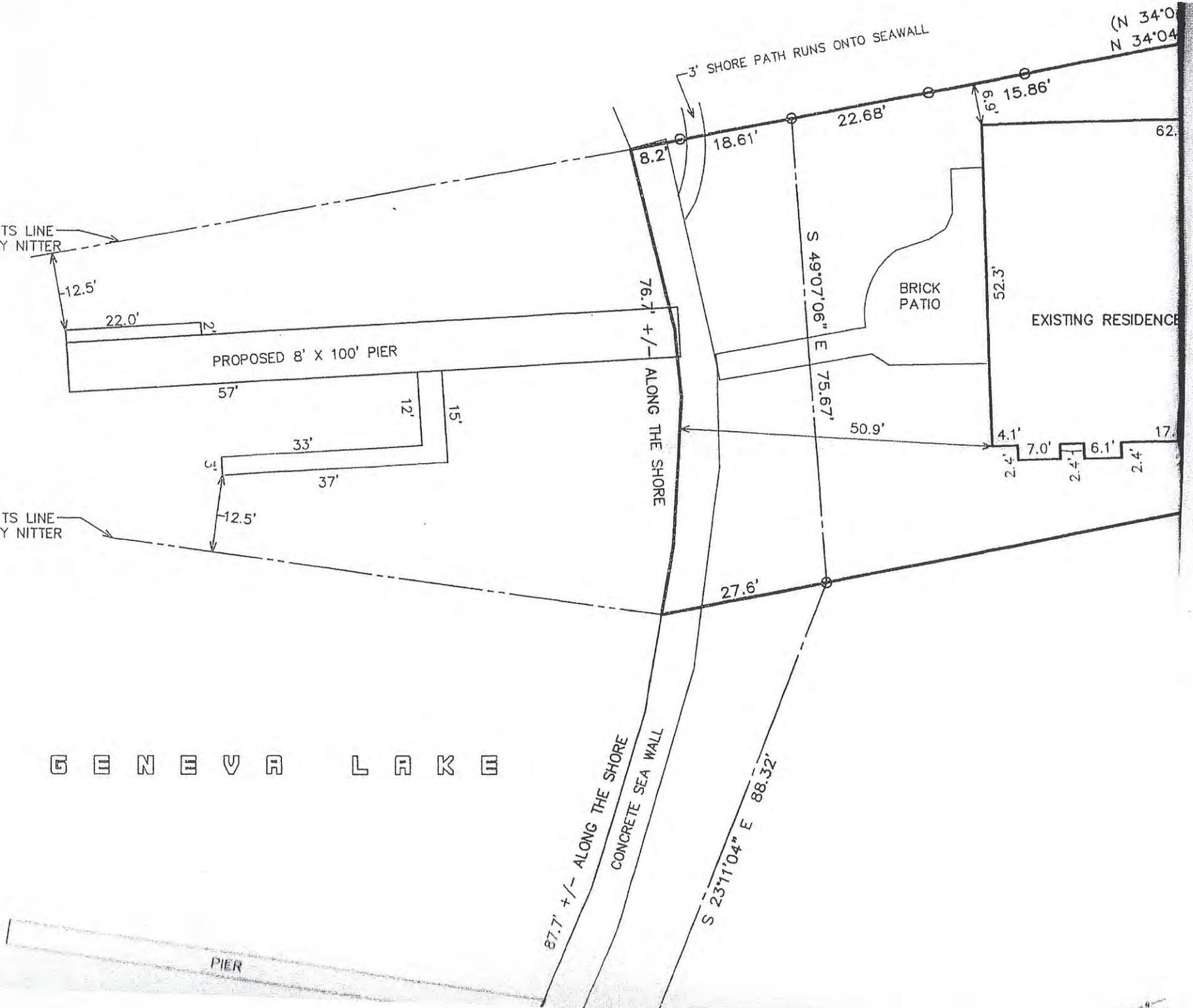
Linton

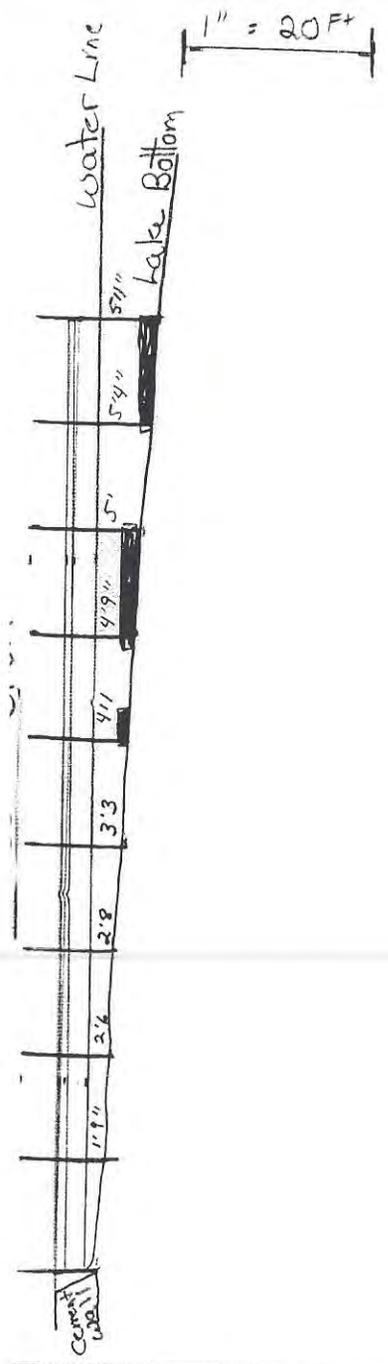


RIPARIAN RIGHTS LINE
DETERMINED BY NITTER
METHOD

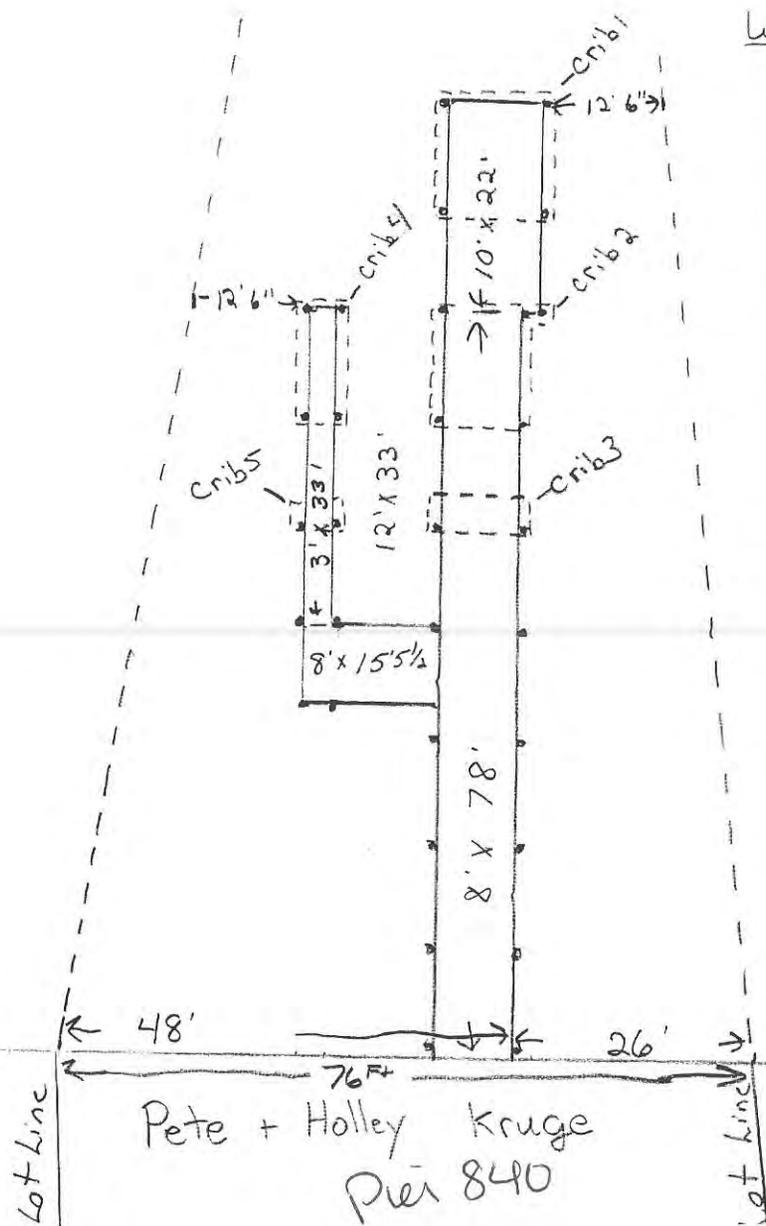
RIPARIAN RIGHTS LINE
DETERMINED BY NITTER
METHOD

G E N E V A L A K E





Top View



Water Depts

- 100' 5'11"
- 90' 5'4"
- 80' 5'
- 70' 4'9"
- 60' 4'5"
- 50' 4'1"
- 40' 3'3"
- 30' 2'8"
- 20' 2'6"
- 10' 1'9"

Total sq Ft
 crib 1 - 12' x 12' = 144'
 crib 2 - 10' x 12' = 120'
 crib 3 - 5' x 10' = 50'
 crib 4 - 5' x 12' = 60'
 crib 5 - 5' x 5' = 25'
399 sq Ft

Monty Enoch

Bob Wisdom

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: January 15, 2018

Agenda Item:9

Applicant:

Mau & Associates, LLP
Himansu Dhyani
400 Security Blvd.
Green Bay, WI 54313

Request: 1150 Wells Street

Proposed **Precise Implementation Plan (PIP)** to provide zoning flexibilities to Planned Development of four – 8 unit multi-family buildings (32 units) Tax Key ZYUP000142B

Description:

The applicant is submitting a Precise Implementation Plan (PIP) to create a Planned Development (PD) that will combine two existing lots located at 1150 Wells St. to develop four separate 8-unit apartment buildings with a total of 32 new units.

Currently the property located on the two existing parcels existing buildings will be razed to accommodate the new proposed development as submitted. The applicants have meet with staff to identify site requirements to allow for the flexibilities necessary to accommodate the buildings and to include storm water runoff and recommended building layouts to enhance views from the neighboring streets and properties.

This is a transitional site between Multi-Residential-8 (MR-8) south and north with single family to the west.

The subject property includes 4 - principal buildings all of which are 8-Unit apartment buildings creating 32 new apartment dwelling units.

The proposed requests required parking space has been met. The site currently provides parking in three locations for some units they are and provided within the garage area of the apartment buildings, ground parking, and two additional detached accessory buildings accommodating 8 additional indoor parking stalls.

This Planned Development is required to be granted flexibilities from the zoning ordinance. This involves review and approval of a Precise Implementation Plan (PIP). In addition, the proposed land use requires exceptions to the “maximum units per acre” which is minimal, albeit with the multi-family adjacent to both sides of the proposed development staff felt the PD was acceptable due to the minimal overage.

Essentially, the PIP creates a customized zoning district for a particular development. The PIP focuses primarily on the mix of uses, procedural requirements, and flexibilities from the development standards of the underlying zoning district, particularly density/intensity and bulk requirements. This report focuses on these issues.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including Precise Implementation Plan (PIP)) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the land use category for the subject property. This category allows for neighborhood-scale mixed use development. The proposed PIP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the Planned Development (PD), the current zoning of the property, provides that comparison zoning district. The project is requesting the following:

1. The applicant is requesting approval for (4) four 8-unit multi-family principal buildings that, each building containing a distinct Multi-family land use with a total of 32 dwelling units. The maximum units per acre request exceeds the allowable area as permitted.

As no other changes are proposed to the site that would change existing conditions, no other flexibilities are requested.

Approved Land Uses:

The PIP enables the following land uses as permitted:

- Planned Development (PD)

The PIP enables the following land uses *subject to PIP approval*:

- (4) four 8-unit multi-family buildings (32 units total)

Zoning Map Amendment / PIP - Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / PIP

As part of the consideration of a requested Planned Development / Precise Implementation Plan (PIP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to PIP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

Staff believes that this is a suitable location for a Multi-Family development land use due to the surrounding Multi-Family land uses and zoning. The site is currently zoned Planned Business, like other properties along Well Street and is planned for *Neighborhood Mixed Use* in the Comprehensive Plan, a category conducive to neighborhood-scale mixed use development.

Staff believes that the site as it is currently zoned is suitable for Multi-Family Residential, because there are abutting properties with the same land use. Granting the PIP establishes zoning

regulations for the subject property that would enable the consideration of Multi-Family Residential – 8 (MR-8) land uses for all buildings, contingent on PIP.

Required Plan Commission Findings on the PIP for Recommendation to Common Council:

A proposed PIP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed PIP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
 3. The proposed PIP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed PIP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed PIP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.

3. The proposed PIP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the Precise Implementation Plan (PIP):

1. Staff recommends that the Plan Commission recommend *approval* of the Precise Implementation Plan (PIP) as submitted, including the granting of all requested zoning ordinance flexibilities of the maximum units per acre, all other zoning requirements have been met.

**APPLICATION FOR ZONING MAP AMENDMENT FOR PLANNED DEVELOPMENT
ZONING INCLUDING GENERAL DEVELOPMENT PLAN APPROVAL (PD/GDP) AND
ONE PRECISE IMPLEMENTATION PLAN APPROVAL (PD/PIP)**

Name of Applicant: Mau & Associates, LLP

Address of Applicant: 400 Security Boulevard

Green Bay, WI 54313

Telephone No. (920) 434-9670

Fax and/or email: (920) 434-9672 sbieda@mau-associates.com

Name of Owner: Himansu Dhyani

Address of Owner: 1150 S Wells Street

Lake Geneva, WI

Telephone No. ()

Fax and/or email: ()

Subject property address and/or complete legal description (use attached sheet if necessary):

See attached.

Current Zoning District: PB (Planned Business)

Fee of \$750.00 payable upon filing application. *Copy'd August (?)*

10-23-17
Date


Signature of Applicant

**APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 3: GENERAL DEVELOPMENT PLAN (GDP)**

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

↓

LSF 541

_____ A. Provide Zoning Administrator with a draft GDP Submittal Packet for determination of completeness prior to placing the proposed PD on the Plan Commission agenda for GDP review. The submittal packet shall contain all of the following items:

 X (1) A **location map of the subject property** and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

 X (2) A **map of the subject property** for which the PD is proposed:

- X Showing all lands within 300 feet of the boundaries of the subject property;
- X Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- X Map and all its parts clearly reproducible with a photocopier;
- X Map size of 11" x 17" and map scale not less than one inch equals 800 feet;
- X All lot dimensions of the subject property provided;
- X Graphic scale and north arrow provided.

 X (3) A **general written description** of proposed PD including:

- X General project themes and images;
- X The general mix of dwelling unit types and/or land uses;
- X Approximate residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;
- X The general treatment of natural features;
- X The general relationship to nearby properties and public streets;
- X The general relationship of the project to the Master Plan,
- X A statement of Rationale as to why PD zoning is proposed. This shall identify barriers that the Applicant perceives in the form of requirements of standard zoning districts and opportunities for community betterment the Applicant suggests are available through the proposed PD zoning.

✓ A complete list of zoning standards which will not be met by the proposed PD and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PD and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

✓ A written description of potentially requested exemption from the requirements of the underlying zoning district, in the following order:

1. Land Use Exemptions;
2. Density and Intensity Exemptions;
3. Bulk Exemptions;
4. Landscaping Exceptions;
5. Parking and Loading Requirements Exceptions.

✓ (4) **A General Development Plan Drawing** at a minimum scale of 1"=100' (11" x 17" reduction shall also be provided by Applicant) of the proposed project showing at least the following information in sufficient detail to make an evaluation against criteria for approval:

✓ A conceptual plan drawing (at 11" x 17") of the general land use layout and the general location of major public streets and/or private drives. The Applicant may submit copies of a larger version of the plan in addition to the 11" x 17" reduction;

✓ Location of recreational and open space areas and facilities and specifically describing those that are to be reserved or dedicated for public acquisition and use;

✓ Statistical data on minimum lot sizes in the development, the approximate areas of large development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and

✓ Notations relating the written information provided in (3), above to specific areas on the GDP Drawing.

✓ (5) **General conceptual landscaping plan** for subject property, noting approximate locations of foundation, street, yard and paving, landscaping, and the compliance of development with all landscaping requirements of this Ordinance (except as noted in the listing of exceptions) and the use of extra landscaping and bufferyards;

✓ (6) **A general signage plan** for the project, including all:

✓ Project identification signs;

✓ Concepts for public fixtures and signs (street light fixtures and/or poles or street sign faces and/or poles) which are proposed to vary from City standards or common practices;

7
____ (7) **Written justification** for the proposed Planned Development. (See Section 98-905 for requirements of the conditional use procedure.)

FINAL APPLICATION PACKET INFORMATION
PD STEP 3: GENERAL DEVELOPMENT PLAN (GDP)

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/GDP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

- ____ **Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____
- ____ **Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____
- ____ **Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:** Date: _____ by: _____
- ____ **Class 2 Legal Notice sent to official newspaper by City Clerk:** Date: _____ by: _____
- ____ **Class 2 Legal Notice published on _____ and _____ by: _____**

APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- Initial Packet (5 Copies to Zoning Administrator)* Date: _____ by: _____
- ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____
- ↓

____ A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

- ____ (1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

Mau & Associates, LLP.

Land Surveying & Planning - Civil & Water Resource Engineering

400 Security Boulevard, Green Bay, WI 54313

Phone (920) 434-9670 – Fax (920)434-9672

Website: www.mau-associates.com

October 20, 2007

RE: 1150 South Wells Street Multi Family Planned Development

To Fred Walling – Zoning Administrator, City of Lake Geneva

Mau and Associates, on behalf of Northern Management, is initiating Step 3, General Development Plan for the application process of redeveloping two lots at 1150 South Wells Street. The development team, Northern Management, has already invested substantial resources into neighboring multi family properties at 311-318 E South Street and 1110-1122 S Wells Street recently. Northern Management seeks to continue redevelopment momentum into the neighborhood by transforming a near-blighted property at 1150 S Wells Street to a market rate 32 unit two story multi family development which can bring cohesive land use to the neighborhood.

The development team has a large portfolio of owning and operating apartment homes throughout Wisconsin. Northern Management offers top quality multi family apartment homes and properties and has shown commitment to invest in Lake Geneva. The team is looking to construct one of their newest apartment models which utilizes high quality materials and offers amenities and functions of which appeal to residents and neighbors alike. An example of the model which is proposed is located at Meadowland Villas in Sheboygan. Images of the building have been attached along with building plans from said project. The website address for this property is provided below:

<http://www.wisconsinapartments.biz/p-property.php?city=Sheyboygan&Sheyboygan=4>

Building Features Include

First floor unit private patios

Second floor cathedral ceilings and private balconies

All units have either 1 or 2 stall attached garage

In unit washer and dryer

Tile backsplashes

Deluxe vinyl plank flooring

High definition laminate countertops

Units Include:

1 Bed / 1 Bath / 1 Car Attached Garage

2 Bed / 2 Bath / 1 Car Attached Garage

2 Bed / 2 Bath / 2 Car Attached Garage

Approximate Residential Densities

Units / Acre 12.26 Units / Acre

Floor Area Ratio 52,360 SF / 113,964 SF = 0.46

Impervious Surface Ratio 59.5%

General treatment to the natural features

Site currently is one story motel building. Some matures have grown across the site, but generally a motel building with surface parking exists. Site generally flows from north to south with an approximate ten foot drop in elevation from north to south. The site is located within the urban fabric of the community and the layout is designed to complement this. A storm water management pond will be located near the southeastern corner of the property, the low point. A lower point does exist near the center of the west property line. This will be a challenge for engineers to steer storm water from this low point to the storm pond as grading will occur on the site to flatten the surfaces out without having storm water hindering neighboring properties. The site does have a number of mature trees. This is an asset for the property and community. The developers have made preservation of trees on the site a priority. As of the GDP, it would appear approximately 30 trees could have a good chance of being saved and used apart of the landscape plan.

General relationship to nearby properties and public streets

The property is located on South Wells Street and is bookended by multi family apartments along Wells. Those properties have been acquired by Northern Management in the recent past and has had substantial reinvestment into the properties. Lands across the street are a mix of industrial and multi family. To the west, single family residential and two unit residential mix.

General relationship of the project to the Master Plan

The western side of South Wells Street, north of South Street, calls for Planned Mixed Use north through Lake Geneva Road. One of the four components the of the mix of land uses is multi family residential.

Rationale to why PD zoning is proposed:

As far as a land use, multi family residential makes sense on this site and the surrounding neighbors. To make this product work, 32 units are a necessary component for the developer. Symmetrically, the layout of the buildings makes sense compared to the courtyard/patio facing fronts and parking loading rear of buildings. Two buildings along South Wells forms a street edge and allows for storm water management to be placed in its most natural state on the site. Two buildings facing along the north and south property lines complement existing developments while having an interior parking courtyard which is shielded from the much of the public. With the four units proposed, the development can fill a void in the block with new investment dollars and a design which focuses on placing the buildings and people into the front of the neighborhood and tucking cars and parking to the rear.

However, some of the zoning density standards cannot be met with a straight rezone. While densities remain lower than existing multi family surrounding the site, a planned development is needed to

address these numbers. This development projects 32 Units on 2.61 acres equaling 12.26 units / acre. This ratio is less than surrounding multi family development ratios; 14.49 units / acre to the south and 15.25 units / acre to north. However, the ratio gives a good balance to the rest of the established neighborhood insomuch that the scale is not underwhelmingly low in comparison on an urban county highway.

This site plan shows approximately 0.595 impervious surface ratio in its current configuration. Buildings have been placed within footprint to account for yard setbacks and allot enough land to construct a storm water management pond at the southeast corner of the parcel. The southeast corner makes sense for storm water location as it is the low point of the property and parcel lines are not aligning at 90 degree angles. The acute angle of the southeast lot corner makes building placement less than ideal. Storm water pond sizes have much more flexibility.

This site plan shows 96 parking stalls. Each building is designed to have 22 attached garage stalls. Each of the eight unit buildings will have (3) two stall garages and (5) one stall garages. Two four unit detached garages near the rear of the property is planned to accommodate residents who seek to have an additional garage stall. Site averages to 3.0 parking stalls / unit.

The team is seeking Planned Development status. We are seeking this status because we feel the product which is being proposed make the most sense for the neighborhood. The proposed apartment product has proven to be desirable to people of all ages. We feel the size and scope of the development would tie very well to the existing multi family homes. We acknowledge that two-family residential homes border the western edge of the property. This plan situates buildings to stay within a 30 foot rear yard setback as not to overwhelm the existing homes. Much of the rear property line has an existing tree line. To ensure further visual separation from vehicular lights, a planted dense screening line is proposed along the paved areas.

The site is currently zoned Planned Business (PB). This development is being submitted to be a Planned Development using the framework of Multi-family Residential (MR-8) standards. However, some land use exemptions and density/intensity exemptions are needed in order to meet this zoning district. Current zoning is PB. Multi family is not a permitted use in PB.

List of Zoning Standards which will not be met and written description of exemptions

Density and Intensity Exemptions

Table 98-304 City of Lake Geneva Residential Density Standards

Multi Family Residential

Max Gross Density Code 8.0

Request 12.26 Units/Acre

Minimum Lot Area 4,500 sf per du

Request 3,561 sf per du

Minimum Landscape Surface Ratio Code 50%

Request 40.5%

Minimum Zoning District Area 10 acres

Request 2.61 acres individually as a project. When combined with neighboring lots to north and south, district becomes over 10 acres. This lot is the missing middle.

FAR Ratio =0.275

Request 0.46 Floor area ratio is 52,360 SF / 113,964 SF = 0.46

Landscaping Exemptions

Landscaping plan is shown on general conceptual landscaping plan. City of Lake Geneva uses a point system to evaluate landscaping plans. These systems use foundations, developed lot, street frontage, and parking requirements to factor in point totals. Additionally, landscaping is required for bufferyards at areas where zoning standards are not shared. The western portion of the lot is against areas zoned SR4. This will require a 0.3 opacity value. In past discussions, a dense screening has been noted along the western property line. The general conceptual landscaping plan does note this. However, exact planting species and locations will be noted at PIP staging as engineering of the site will take place for this step and will dictate grading which will impact vegetation.

Steps which will be used to best satisfy buffer yard requirements will include the potential to use the following:

Existing Fence

Existing Vegetation/Trees

Future Fencing

Future Vegetation/Trees

Engineered Site Grading

The site does have a number of mature trees. This is an asset for the property and community. The developers have made preservation of trees on the site a priority. As of the GDP, it would appear approximately 30 trees could have a good chance of being saved and used apart of the landscape plan. Engineered grading will dictate if trees can be useful and will play a role in the preservation.

Landscaping Requirements for Paved Areas will require approximately 385 points because of the size of the paved lot. Requirements note this landscaping must occur within 10 feet of the paved area. However, obstacles occur as many of the areas in the project where pavement ends is against a building, limiting the area for landscaping. Additionally,

No foreseen Land Use Exemptions

No foreseen Bulk Exemptions

No foreseen Parking and Loading Exceptions

In closing,

We believe this planned development strengthens the Wells Street corridor and fills in a gap of underused property within the neighborhood. Northern Management has already made a firm commitment to neighboring properties which were in need of reinvestment. This proposal seeks to continue reinvestment along what would be approximately 1000 linear feet of South Wells Street.

Please to consider this development at the forthcoming November Plan Commission meeting

Kind Regards

Jonathon LeRoy

jleroy@mau-associates.com

CC:

Alan Kupsik - Mayor of the City of Lake Geneva

akupsik@cityoflakegeneva.com

Blaine Oborn – City Administrator

cityadmin@cityoflakegeneva.com

Richard Torhorst – Lake Geneva Development Corporation

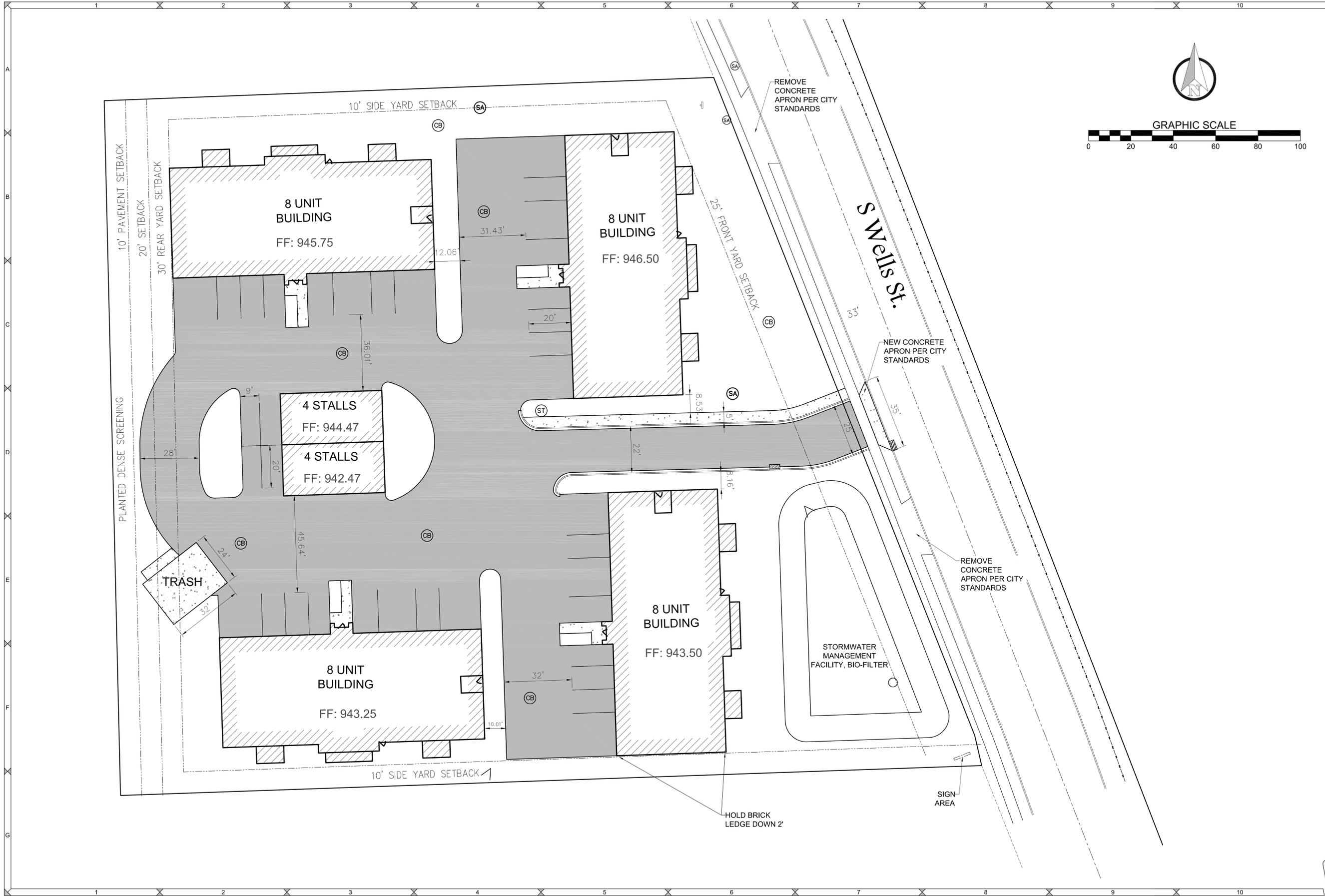
torhorstlaw@genevaonline.com

Sal Dimiceli Sr.

sal@sal21.com

Scott Hower

scott@wisconsinapartments.biz



DESIGNED BY
DJM

DATA FILE
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DATE
12-18-17

Number	Date	Comments

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

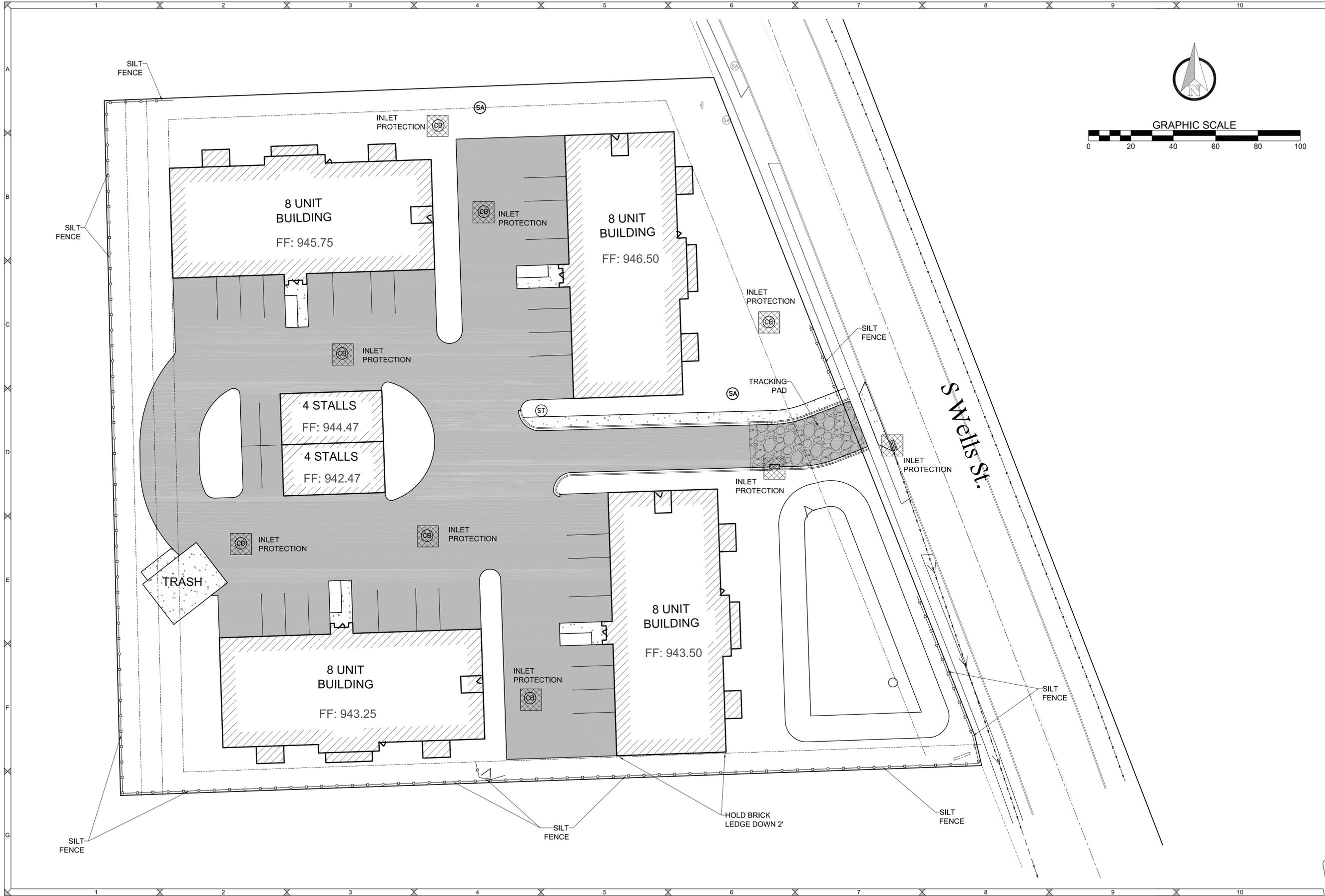
NORTHERN MANAGEMENT
SITE LAYOUT PLAN

PROJECT NO.
N-6517

SHEET NO.
C2.0

DRAWING NO.
S-2889

File: N-6517/Eng_121217.dwg



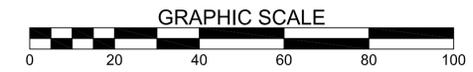
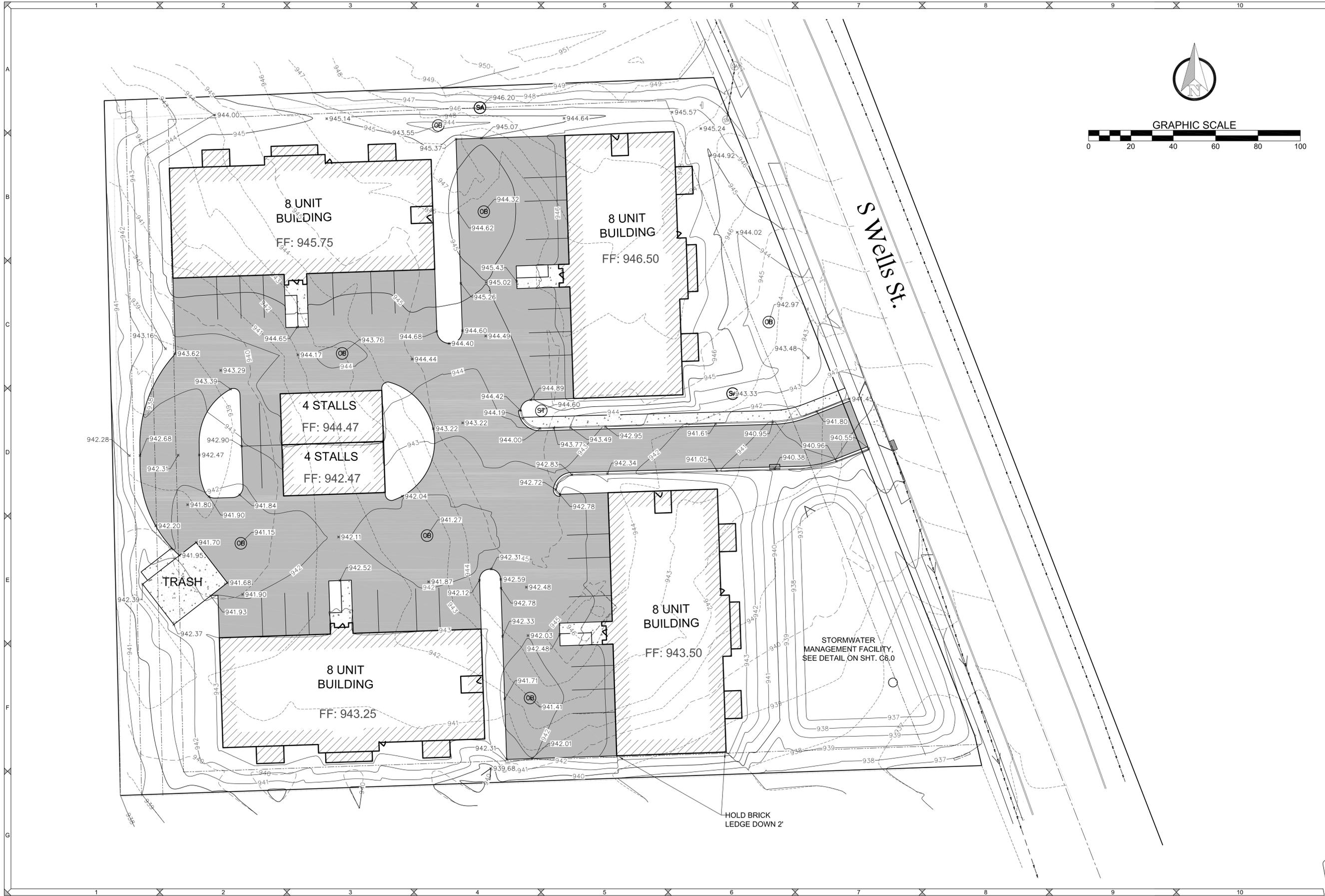
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DJM
DATA FILE
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DATE
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Number	Date	Comments

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CIVIL & WATER RESOURCE ENGINEERING
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NORTHERN MANAGEMENT
EROSION CONTROL PLAN
File: N-6517-Eng_121217.dwg

PROJECT NO.
N-6517
SHEET NO.
C3.0
DRAWING NO.
S-2889



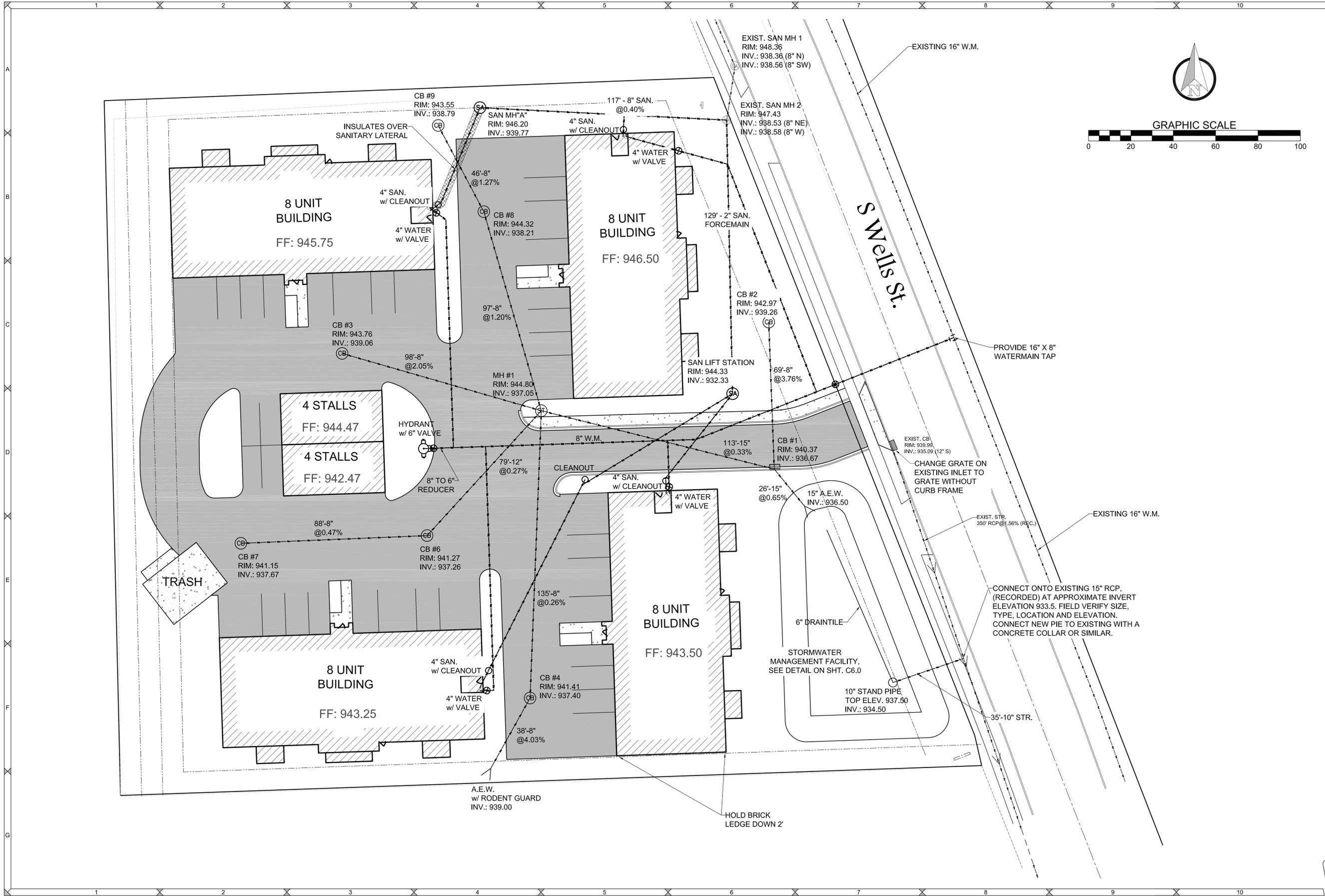
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DATE	12-18-17
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NORTHERN MANAGEMENT
GRADING PLAN

PROJECT NO.
N-6517
 SHEET NO.
C4.0
 DRAWING NO.
S-2889

File: N4517Eng 121217.dwg



DESIGNED BY
DJM

DATA FILE
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DATE
12-18-17

Number	Date	Comments

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NORTHERN MANAGEMENT
SITE UTILITY PLAN

PROJECT NO.
N-6517

SHEET NO.
C5.0

DRAWING NO.
S-2889

File: N6517Eng 121217.dwg

CONSTRUCTION SITE EROSION CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AND IF NO STANDARD EXISTS THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (CURRENT EDITION) SHALL BE REFERENCED. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO DISTURBING THE SITE. CONTRACTORS SHALL MINIMIZE THE DURATION AND SIZE OF DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. EROSION AND SEDIMENT CONTROL PRACTICES PROPOSED FOR THIS PROJECT ARE DESCRIBED AS FOLLOWS:

SEDIMENT TRACKING FROM CONSTRUCTION SITE:

- **STONE TRACKING PAD(S) - TECHNICAL STANDARD 1057**
STONE TRACKING PADS WILL BE INSTALLED AT ENTRANCES SHOWN ON THE SITE. TRACKING PADS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED BEFORE ENTERING WATERS OF THE STATE.
- **STREET SWEEPING/CLEANING**
SEDIMENT TRACKED FROM THE CONSTRUCTION SITE SHALL BE CLEANED UP AT THE END OF EACH WORK DAY UNLESS THE SEDIMENT PRESENTS A HAZARD. SEDIMENT PRESENTING A HAZARD MUST BE CLEANED UP IMMEDIATELY.

SEDIMENT CARRIED OFF-SITE BY OVERLAND FLOW OR RUNOFF:

- **SILT FENCE - TECHNICAL STANDARD 1056**
SILT FENCE WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS OF THE SITE. THE FENCE SHALL BE INSTALLED ALONG THE CONTOURS AND BE IN-PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
- **SEEDING - TECHNICAL STANDARD 1059; MULCHING - TECHNICAL STANDARD 1058**
DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED AS SOON AS THEY ARE BROUGHT TO FINISHED GRADE. IN ADDITION, ANY STOCK PILES IN PLACE FOR 7 DAYS OR MORE SHALL BE SEEDED AND MULCHED.
- **NON-CHANNEL EROSION MAT - TECHNICAL STANDARD 1052**
EROSION CONTROL MAT SHALL BE PLACED AS SHOWN ON THE PLANS, AND/OR AS DETERMINED IN THE FIELD, TO PROTECT THE DISTURBED SLOPES FROM EROSION. NON-CHANNEL EROSION MAT SHALL BE INSTALLED AS SOON AS THE SLOPE HAS BEEN BROUGHT TO FINISHED GRADE.
- **CONSTRUCTION SITE DIVERSION - TECHNICAL STANDARD 1066**
WHERE POSSIBLE, THE SITE WILL BE GRADED SUCH THE RUNOFF FROM UNDISTURBED AREAS IS ROUTED AROUND DISTURBED AREAS OF THE SITE.

SEDIMENT CARRIED OFF-SITE BY DEWATERING OPERATIONS:

- **DEWATERING - TECHNICAL STANDARD 1061**
DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF IT IS REQUIRED, DEWATERING SHALL BE IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD. ANY NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO DEWATERING OPERATIONS TAKE PLACE.

SEDIMENT ENTERING STORM DRAIN INLETS:

- **STORM DRAIN INLET PROTECTION - TECHNICAL STANDARD 1060**
ALL INLETS, PROPOSED AND EXISTING, ACCEPTING RUNOFF FROM DISTURBED AREAS OF THE SITE SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE AREA DISCHARGING TO THE INLET.

SEDIMENT BEING CARRIED OFF-SITE BY WIND:

- **DUST CONTROL - TECHNICAL STANDARD 1068**
WHEN REQUIRED, DUST CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT DUST FROM BLOWING OFF-SITE.

CONCRETE WASHOUT

- **CONCRETE WASHOUT SHALL BE COLLECTED AND RETAINED, BOTH WATER AND CONCRETE, IN LEAK PROOF CONTAINERS. WASHOUT CAN BE RECYCLED OR REUSED. SEE <http://water.epa.gov/polwaste/npdes/swbmp/upload/concretwashout.pdf> FOR DETAILS.**

INSPECTION AND MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS UNTIL THE CONSTRUCTION SITE IS PERMANENTLY STABILIZED WITH A DENSE GRASS COVER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. THE CONTRACTOR SHALL REPAIR DAMAGED STRUCTURES PRIOR TO THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE STRUCTURE WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE OR AS REQUIRED BY THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD (CURRENT EDITION).

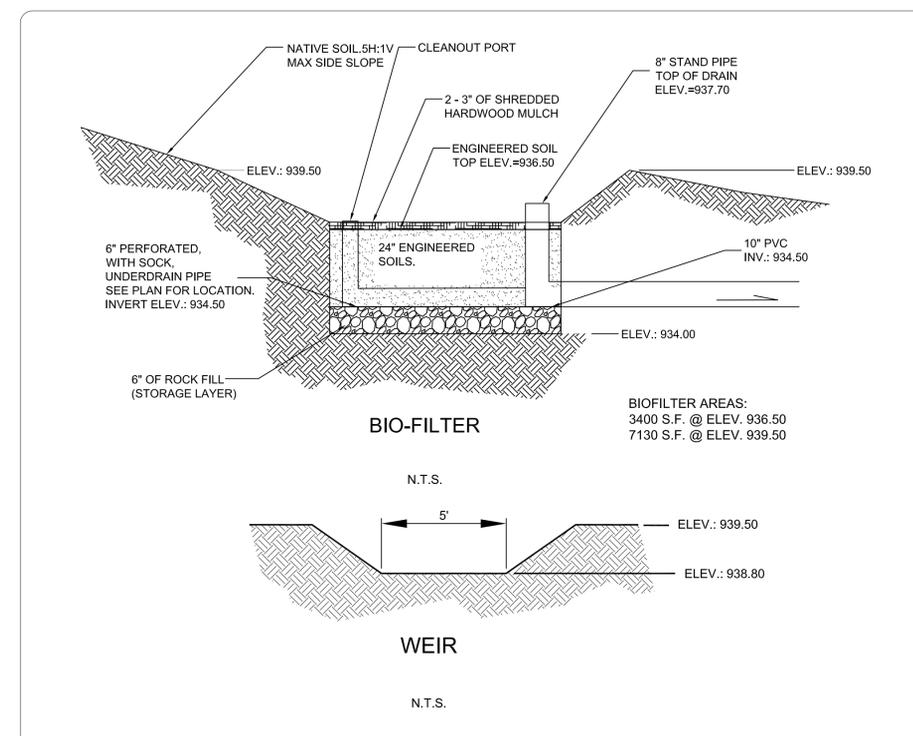
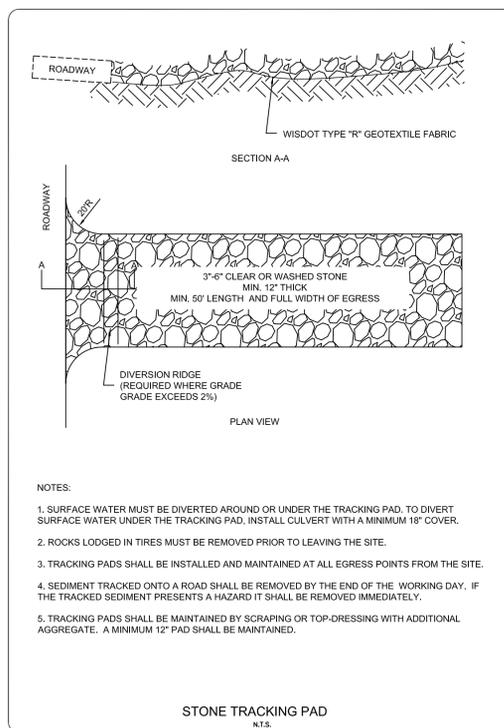
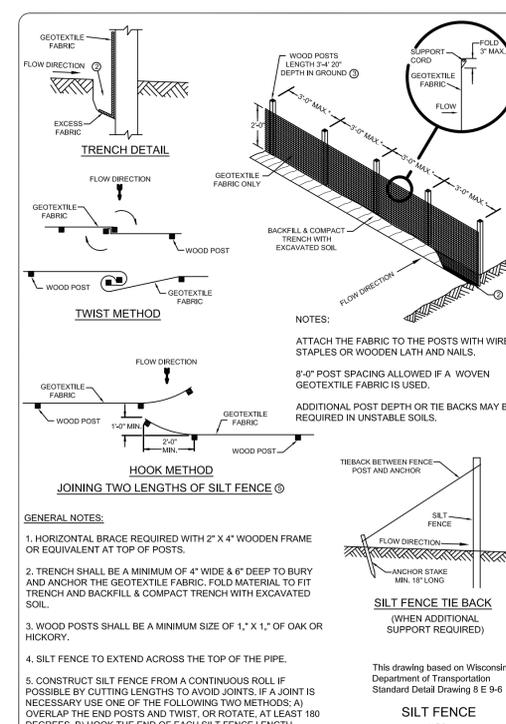
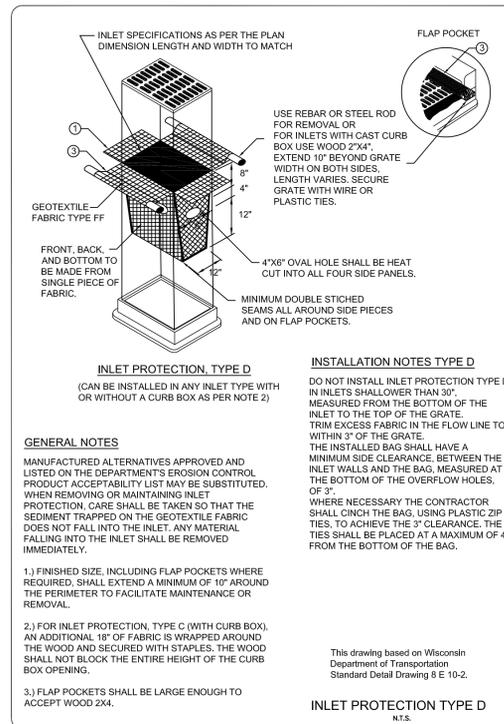
THE CONTRACTOR SHALL SUMMARIZE WEEKLY INSPECTION AND MAINTENANCE ACTIVITIES ON A WEEKLY INSPECTION REPORT THAT IS AVAILABLE THROUGH THE WDNR.

THE WEEKLY INSPECTION REPORT SHALL INCLUDE THE FOLLOWING MINIMUM INFORMATION:

- NAME OF INDIVIDUAL PERFORMING INSPECTION;
- DATE, TIME, AND PLACE OF INSPECTION;
- A DESCRIPTION OF THE CONSTRUCTION PHASE;
- A DESCRIPTION OF EROSION AND SEDIMENT CONTROL INSTALLATIONS;
- A DESCRIPTION OF EROSION AND SEDIMENT CONTROL MAINTENANCE ACTIVITIES;
- AND AN ASSESSMENT OF EROSION AND SEDIMENT CONTROL CONDITIONS.

THE CONTRACTOR SHALL PROMPTLY FURNISH THE ORIGINAL WEEKLY INSPECTION REPORTS TO THE OWNER, OWNER'S REPRESENTATIVE, OR WISCONSIN DEPARTMENT OF NATURAL RESOURCES WHEN REQUESTED. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED EROSION & SEDIMENT CONTROL PLAN, PERMITS, AND WEEKLY INSPECTION REPORTS ON-SITE AT ALL TIMES.

ALL WASTE FROM THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM, DRAINAGE SYSTEM, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS LOCATED WITHIN THE CONSTRUCTION SITE, INCLUDING GARNERS CREEK.



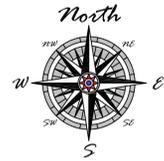
DESIGNED BY DJM	
DATA FILE XX.bt	
DATE 12-18-17	
Number	Comments

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NORTHERN MANAGEMENT
NOTES & DETAILS

PROJECT NO.
N-6517
SHEET NO.
C6.0
DRAWING NO.
S-2889

Landscaping Plan



SCALE
1"=20'

DRAWN BY
JEL

TAX PARCEL NO. ZYUP 00142B, ZN11970002

Landscaping
1150 S Wells

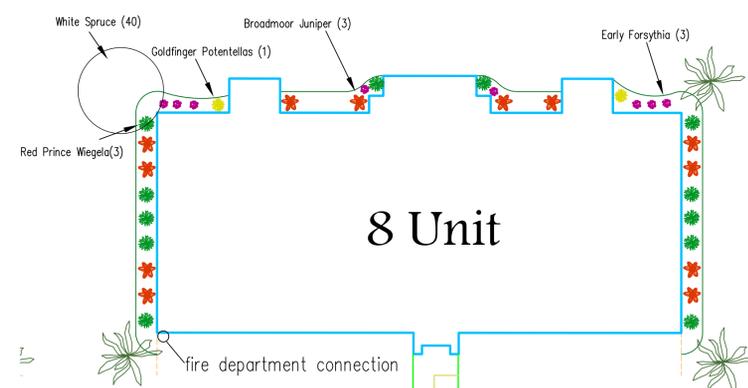
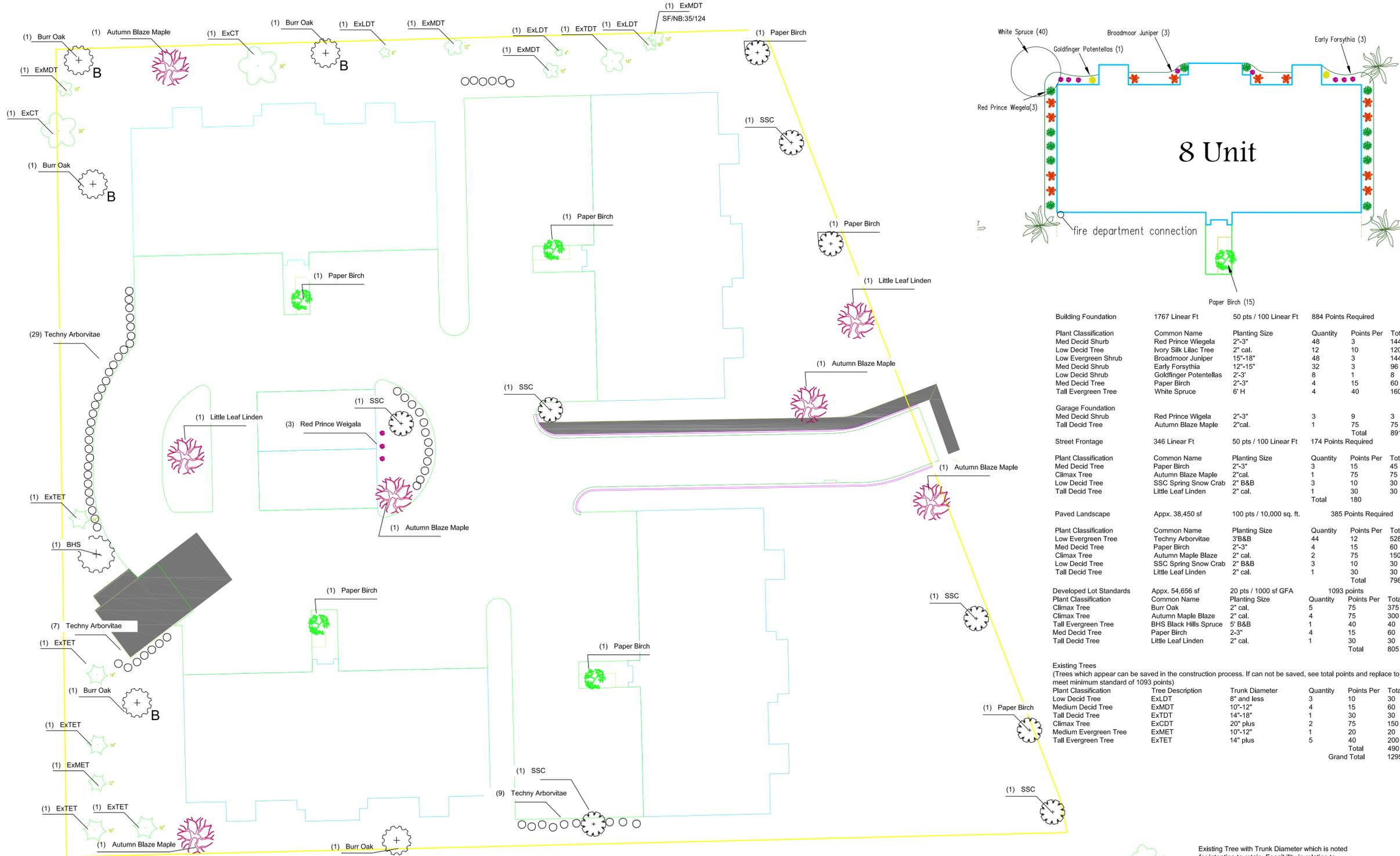
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400 Security Blvd, Green Bay, WI 54313

Northern Mangagement
Lake Geneva

PROJECT NO.
N-6517

SHEET NO.
1 of 1

DRAWING NO.
S-2891



Building Foundation	1767 Linear Ft	50 pts / 100 Linear Ft	884 Points Required
Plant Classification	Common Name	Planting Size	Quantity Points Per Total
Med Decid Shrub	Red Prince Wiegala	2"-3"	48 3 144
Low Decid Tree	Ivory Silk Lilac Tree	2" cal.	12 10 120
Low Evergreen Shrub	Broodmoor Juniper	15"-18"	48 3 144
Med Decid Shrub	Early Forsythia	12"-15"	32 3 96
Low Decid Shrub	Goldfinger Potentellas	2"-3"	8 1 8
Tall Decid Tree	Paper Birch	2"-3"	4 15 60
White Spruce	White Spruce	6' H	4 40 160

Garage Foundation	1767 Linear Ft	50 pts / 100 Linear Ft	884 Points Required
Med Decid Shrub	Red Prince Wigela	2"-3"	3 9 3
Tall Decid Tree	Autumn Blaze Maple	2" cal.	1 75 75
			Total 891

Street Frontage	346 Linear Ft	50 pts / 100 Linear Ft	174 Points Required
Plant Classification	Common Name	Planting Size	Quantity Points Per Total
Med Decid Tree	Paper Birch	2"-3"	3 15 45
Climax Tree	Autumn Blaze Maple	2" cal.	1 75 75
Low Decid Tree	SSC Spring Snow Crab	2" B&B	3 10 30
Tall Decid Tree	Little Leaf Linden	2" cal.	1 30 30
			Total 180

Paved Landscape	Appx. 38,450 sf	100 pts / 10,000 sq. ft.	385 Points Required
Plant Classification	Common Name	Planting Size	Quantity Points Per Total
Low Evergreen Tree	3'B&B	3"	4 12 528
Med Decid Tree	Paper Birch	2"-3"	4 15 60
Climax Tree	Autumn Maple Blaze	2" cal.	2 75 150
Low Decid Tree	SSC Spring Snow Crab	2" B&B	3 10 30
Tall Decid Tree	Little Leaf Linden	2" cal.	1 30 30
			Total 798

Developed Lot Standards	Appx. 54,656 sf	20 pts / 1000 sf GFA	1093 points
Plant Classification	Common Name	Planting Size	Quantity Points Per Total
Climax Tree	Burr Oak	2" cal.	5 75 375
Climax Tree	Autumn Maple Blaze	2" cal.	4 75 300
Tall Evergreen Tree	BHS Black Hills Spruce	5' B&B	1 40 40
Med Decid Tree	Paper Birch	2"-3"	4 15 60
Tall Decid Tree	Little Leaf Linden	2" cal.	1 30 30
			Total 805

Existing Trees	(Trees which appear can be saved in the construction process. If can not be saved, see total points and replace to meet minimum standard of 1093 points)				
Plant Classification	Tree Description	Trunk Diameter	Quantity	Points Per	Total
Low Decid Tree	ExLDT	8" and less	3	10	30
Medium Decid Tree	ExMDT	10"-12"	4	15	60
Tall Decid Tree	ExTDT	14"-18"	1	30	30
Climax Tree	ExCDT	20" plus	2	75	150
Medium Evergreen Tree	ExMET	10"-12"	1	20	20
Tall Evergreen Tree	ExTET	14" plus	5	40	200
				Total	490
				Grand Total	1295

Existing Tree with Trunk Diameter which is noted for intention to retain. Feasibility in relation to engineered grades will dictate future use.

BUILDING MATERIALS

High quality materials will be used in construction of project. The following is list of the materials to be used on the buildings.

Building Materials

Roof Shingle: Tamko Shingle-Natural timber

Vinyl Siding: Double 4 Siding Certaineed Main Street – Natural Clay

Shake: NorthwoodsCertaineed – Sable Brown

Garage Door Color: Clay

Entry Door Color: Sable

Brick: Acme Brick –Cardiff Grey-Western Queen

Materials for Exterior of Refuse Structure

Concrete Block Base, Height of total structure approximately 6 feet

Brick: Acme Brick- Cardiff Grey- Western Queen

Gate: Chain Link Gate with Khaki colored d composite façade facing front

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: January 15, 2018

Agenda Item: 10

Applicant:

Southwind Prairie IV, LLC.
751 Geneva Parkway
Lake Geneva, WI 53147

Request:

Amending General Development Plan (GDP)

Description:

The applicant is submitting a request to amend the existing General Development Plan (GDP) zoning request with the revised:

- Building layout, shape, and design

The original General Development Plan (GDP) was started with different ownership of the property and since has changed owners again with the current applicant owning the adjacent multi-family development. The applicant is requesting the review for the amendment request to reflect the unit construction that is currently developed on the Southwind Drive properties.

The applicants have met with staff to identify any possible issues and in finding none other than building design the review was fairly straight forward.

A full description of the project is contained within the Plan Commission Packet. The Subdivision layout is included that depicts the lot dimensions and plat boundaries.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including General Development Plan) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the Single-Family land use category for the subject property. The proposed GDP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. -None needed

All other zoning requirements of the current GDP remain.

Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / GDP:

As part of the consideration of a requested General Development Plan (GDP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to GDP;

- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed amendments to the existing GDP are minimal if none at all by changing the shape and exterior finishes of the buildings.

Required Plan Commission Findings on the GDP for Recommendation to Common Council:

A proposed GDP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed GDP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map. And;
 3. The proposed PIP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Or:

- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed GDP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.

3. The proposed GDP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the General Development Plan:

1. Staff recommends that the Plan Commission recommend *approval* of the General Development Plan (GDP) as submitted.
2. Staff recommends the affirmative set of findings provided above, noting that the proposal meets Factor 3.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: January 15, 2018

Agenda Item: 11

Applicant:
Southwind Prairie IV, LLC.
751 Geneva Parkway
Lake Geneva, WI 53147

Request:
Amending Precise Implementation Plan (PIP)

Description:

The applicant is submitting a request to amend the existing Precise Implementation Plan (PIP) zoning request with the revised:

- Building layout, shape, and design

The original Precise Implementation Plan was started with different ownership of the property and since has changed owners again with the current applicant owning the adjacent multi-family development. The applicant is requesting the review for the amendment request to reflect the unit construction that is currently developed on the Southwind Drive properties.

The applicants have met with staff to identify any possible issues and in finding none other than building design the review was fairly straight forward.

A full description of the project is contained within the Plan Commission Packet. The Subdivision layout is included that depicts the lot dimensions and plat boundaries.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including Precise Implementation Plan) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the Single-Family land use category for the subject property. The proposed PIP zoning is *consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. -None needed

All other zoning requirements of the current PIP remain.

Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / PIP:

As part of the consideration of a requested Precise Implementation Plan (PIP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to PIP;

- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed amendments to the existing PIP are minimal if none at all by changing the shape and exterior finishes of the buildings.

Required Plan Commission Findings on the PIP for Recommendation to Common Council:

A proposed PIP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed PIP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed PIP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map. And;
 3. The proposed PIP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Or:

- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed PIP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed PIP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.

3. The proposed PIP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the Precise Implementation Plan:

1. Staff recommends that the Plan Commission recommend *approval* of the Precise Implementation Plan as submitted.
2. Staff recommends the affirmative set of findings provided above, noting that the proposal meets Factor 3.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

755 Southwind Drive, Lake Geneva, WI 53147

Tax Parcel No. ZPRW 00054A; see legal description attached

Name and Address of Current Owner:

McMurr I, LLC, 351 West Hubbard Street, Suite 610, Chicago, IL 60654

Telephone No. of Current Owner including area code: 312-965-2807

Name and Address of Applicant:

Southwind Prairie IV, LLC, 751 Geneva Parkway North, Lake Geneva, WI 53147

Telephone No. of Applicant including area code: 262-903-3222 (Roger Wolff)

Proposed Use:

New multi-family residential apartment homes as described in Exhibit A.

Zoning District in which land is located: PD Planned Development

Names and Addresses of architect, professional engineer and contractor of project:

Farris, Hansen & Associates, Inc., 7 Ridgway Drive, Elkhorn, WI 53121

Short statement describing activities to take place on site:

See Exhibit A, including revised building shape and design

PIP Amendment fee \$400.00, payable upon filing application.

Southwind Prairie IV, LLC by Roger Wolff



Signature of Applicant

Nicholas A. Egert, Attorney-in-Fact

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Roger Wolff, as applicant/petitioner for:

Name: Southwind Prairie IV, LLC
Address: 751 Geneva Parkway North
Lake Geneva, WI 53147
Phone: 262-903-3222

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 8th day of January, 2018.

Southwind Prairie IV, LLC, by Roger Wolff

Printed name of Applicant/Petitioner

By: [Signature]
Signature of Applicant/Petitioner Nicholas A. Egert, Attorney-in-Fact

**SOUTHWIND PRAIRIE APARTMENT COMMUNITY II
PRAIRIE TOWNHOME CONDOMINIUM**

NARRATIVE

The property described in the attached Exhibit B and incorporated herein (“Prairie”) is zoned by the City of Lake Geneva (“City”) as PD, Planned Development Zoning District, to permit the development of a multifamily community of up to sixteen (16) residential structures. The PIP Site Plan for Prairie Wind is attached as Exhibit C and incorporated herein (“Site Plan”).

The area in question along with the surrounding built of structures are planned by the City for Multi-Family Residential future use under the City’s Comprehensive Plan, adopted August 30, 2011.

This Application provides for the build out of six (6) multifamily residential structures comprised of six (6) units in each structure. The design shape of the structures has changed over prior approval; however, the footprint and location within the site remains within the parameters of prior approvals. Please see Exhibit C is attached hereto and incorporated herein by this reference, hereinafter referred to as the “Plans”.

The Plans, supplemented by additional construction detail building plans, have been approved by the State of Wisconsin Department of Safety and Professional Services, Industry Services Division.

Density will remain within previously approved levels with less than 5 dwelling units per acre. Prairie Lane and traffic management plans will be implemented as per prior submissions.

Concurrently herewith, the Applicant is filing with the City the Plat and Declaration for the creation of Prairie Townhome Condominium, as per Exhibit D which is attached hereto and incorporated herein by this reference. The land submitted to condominium ownership was formerly part of the expansion area for Prairie Wind Condominium and now represents a distinct and separate condominium.

Likewise, a Landscape Plan completed by Hickory Landscaping and Maintenance on behalf of the Applicant is attached hereto as Exhibit E and incorporated herein by this reference.

A map of Prairie, showing all lands within three hundred (300) feet, and a list of the names and addresses of the owners of all lands on said map, will be provided by the Zoning Administrator and attached as Exhibit F and incorporated herein.

Except as modified by this Amendment to the PIP for Prairie Wind, the PIP remains unchanged. The landscaping, lighting, organizational structure, and the consistency of the PIP, as amended hereby, with the GDP, are not materially changed.

EXHIBIT A

Because virtually all of the public infrastructure improvements for Prairie Wind are installed, no proof of financing capability is needed. The Applicant will provide proof of financing capability, in the form of a letter of credit or other surety, for the construction of any additional public improvements as requested by the City.

The Applicant believes that this amendment to the PIP will allow Prairie to be a more viable and improved in-fill development for the City.

LEGAL DESCRIPTION

LEGAL DESCRIPTION DECLARED AREA PARCEL A

LANDS LOCATED IN PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663, RECORDED IN VOLUME 22 ON PAGE 10 AS DOCUMENT NO. 593854; LOCATED IN PART OF THE NORTHWEST 1/4, SOUTHWEST 1/4, AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 1 OF C.S.M. 3663 AT THE NORTHERLY RIGHT-OF-WAY OF TOWN LINE ROAD; THENCE S 89 DEGREES 54 MINUTES 50 SECONDS W, 198.99 FEET ALONG THE SAID NORTHERLY RIGHT-OF-WAY LINE TO AN IRON PIPE STAKE; THENCE CONTINUE, S 00 DEGREES 05 MINUTES 10 SECONDS E, 15.01 FEET; THENCE CONTINUE, S 89 DEGREES 54 MINUTES 50 SECONDS W, 218.94 FEET TO THE EAST LINE OF CERTIFIED SURVEY MAP NO. 1974 (C.S.M. 1974); THENCE ALONG SAID EAST LINE, N 00 DEGREES 05 MINUTES 10 SECONDS W, 318.00 FEET TO THE NORTHEAST CORNER OF SAID C.S.M. 1974 AND THE POINT OF BEGINNING; THENCE S 89 DEGREES 54 MINUTES 50 SECONDS W, 243.35 FEET TO THE NORTHWEST CORNER OF SAID C.S.M. 1974; THENCE N 00 DEGREES 05 MINUTES 10 SECONDS W, 122.25 FEET; THENCE N 89 DEGREES 54 MINUTES 50 SECONDS E, 70.00 FEET; THENCE N 44 DEGREES 54 MINUTES 50 SECONDS E, 137.95 FEET; THENCE S 56 DEGREES 07 MINUTES 23 SECONDS E, 37.21 FEET; THENCE 66.91 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 119.00 FEET AND A CHORD WHICH BEARS S 40 DEGREES 00 MINUTES 58 SECONDS E, 66.03 FEET; THENCE S 23 DEGREES 54 MINUTES 32 SECONDS E, 17.37 FEET; THENCE 125.23 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 244.00 FEET AND A CHORD WHICH BEARS S 09 DEGREES 12 MINUTES 19 SECONDS E, 123.86 FEET; THENCE S 05 DEGREES 29 MINUTES 54 SECONDS W, 10.23 FEET; THENCE S 89 DEGREES 54 MINUTES 50 SECONDS W, 23.09 FEET TO THE POINT OF BEGINNING. CONTAINING 42,313 SQUARE FEET (0.97 ACRES) OF LAND, MORE OR LESS.

LEGAL DESCRIPTION DECLARED AREA PARCEL B

LANDS LOCATED IN PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663, RECORDED IN VOLUME 22 ON PAGE 10 AS DOCUMENT NO. 593854; LOCATED IN PART OF THE NORTHWEST 1/4, SOUTHWEST 1/4, AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

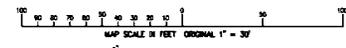
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1 OF C.S.M. 3663 AT THE NORTHERLY RIGHT-OF-WAY OF TOWN LINE ROAD; THENCE S 89 DEGREES 54 MINUTES 50 SECONDS W, 370.18 FEET; THENCE N 00 DEGREES 05 MINUTES 10 SECONDS W, 236.54 FEET; THENCE N 05 DEGREES 29 MINUTES 54 SECONDS E, 73.97 FEET; THENCE 141.14 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 275.00 FEET AND A CHORD WHICH BEARS N 09 DEGREES 12 MINUTES 19 SECONDS W, 139.60 FEET; THENCE N 23 DEGREES 54 MINUTES 32 SECONDS W, 17.37 FEET; THENCE 84.34 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 150.00 FEET AND A CHORD WHICH BEARS N 40 DEGREES 00 MINUTES 58 SECONDS W, 83.23 FEET; THENCE N 56 DEGREES 07 MINUTES 23 SECONDS W, 54.50 FEET; THENCE 57.79 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 300.00 FEET AND A CHORD WHICH BEARS N 50 DEGREES 36 MINUTES 17 SECONDS W, 57.70 FEET; THENCE N 45 DEGREES 05 MINUTES 10 SECONDS W, 23.42 FEET; THENCE N 38 DEGREES 39 MINUTES 48 SECONDS E, 178.55 FEET TO THE NORTHEASTERLY LINE OF SAID C.S.M. 3663; THENCE ALONG SAID NORTHEASTERLY LINE, S 48 DEGREES 38 MINUTES 27 SECONDS E, 280.59 FEET; THENCE CONTINUE, S 29 DEGREES 03 MINUTES 47 SECONDS E, 511.18 FEET; THENCE CONTINUE, S 08 DEGREES 33 MINUTES 06 SECONDS W, 119.09 FEET TO THE POINT OF BEGINNING. CONTAINING 200,513 SQUARE FEET (4.60 ACRES) OF LAND, MORE OR LESS.

EXHIBIT B

SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN

SOUTHWIND PRAIRIE APARTMENT COMMUNITY II

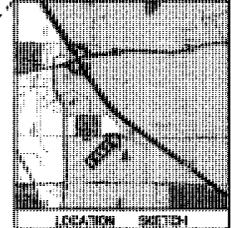
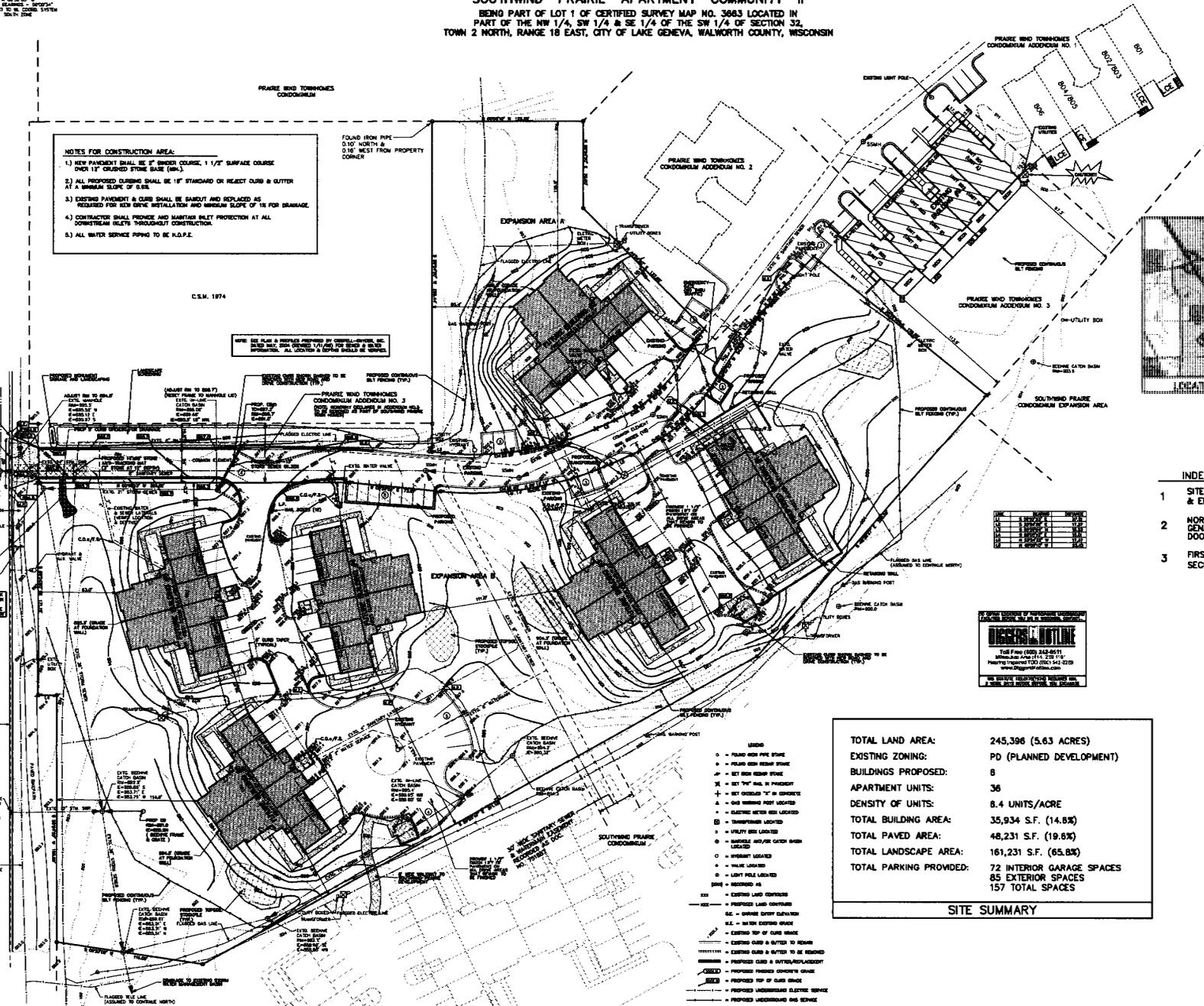
BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663 LOCATED IN PART OF THE NW 1/4, SW 1/4 & SE 1/4 OF THE SW 1/4 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



ADDRESS & USE OF CON-2013
RELATE TO THE CON-2013 SYSTEM
TO BE ADAPTED TO THE CON-2013 SYSTEM
S.O.P. 10/16

NOTES FOR CONSTRUCTION AREA:

- 1.) NEW PAVEMENT SHALL BE 4" BASE COURSE, 1 1/2" SURFACE COURSE OVER 1/2" CRUSHED STONE GRADE (S.M.)
- 2.) ALL PROPOSED CURBS SHALL BE 18" STANDARD OR SELECT CURB & GUTTER AT A MINIMUM SLOPE OF 0.5%.
- 3.) EXISTING PAVEMENT & CURB SHALL BE DEMOLISHED AND REPLACED AS REQUIRED FOR NEW CURB INSTALLATION AND MINIMUM SLOPE OF 1% FOR DRAINAGE.
- 4.) CONTRACTOR SHALL PROVIDE AND MAINTAIN RILEY PROTECTION AT ALL DOWNSTREAM RILEY THROUGHOUT CONSTRUCTION.
- 5.) ALL WATER SERVICE PIPING TO BE H.D.P.E.



INDEX of SHEETS

- 1 SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN
- 2 NORTH ELEVATION GENERAL SPECIFICATIONS DOOR SCHEDULE
- 3 FIRST FLOOR PLAN SECOND FLOOR PLAN

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/12/17
2	REVISION	10/12/17
3	REVISION	10/12/17
4	REVISION	10/12/17
5	REVISION	10/12/17
6	REVISION	10/12/17
7	REVISION	10/12/17
8	REVISION	10/12/17
9	REVISION	10/12/17
10	REVISION	10/12/17

DESIGN CENTER

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 Milwaukee (414) 228-1118
 Houston (281) 333-0211
 www.designcenter.com

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SITE SUMMARY	
TOTAL LAND AREA:	245,396 (5.63 ACRES)
EXISTING ZONING:	PD (PLANNED DEVELOPMENT)
BUILDINGS PROPOSED:	8
APARTMENT UNITS:	36
DENSITY OF UNITS:	8.4 UNITS/ACRE
TOTAL BUILDING AREA:	35,934 S.F. (14.8%)
TOTAL PAVED AREA:	48,231 S.F. (19.6%)
TOTAL LANDSCAPE AREA:	161,231 S.F. (65.6%)
TOTAL PARKING PROVIDED:	72 INTERIOR GARAGE SPACES 85 EXTERIOR SPACES 157 TOTAL SPACES

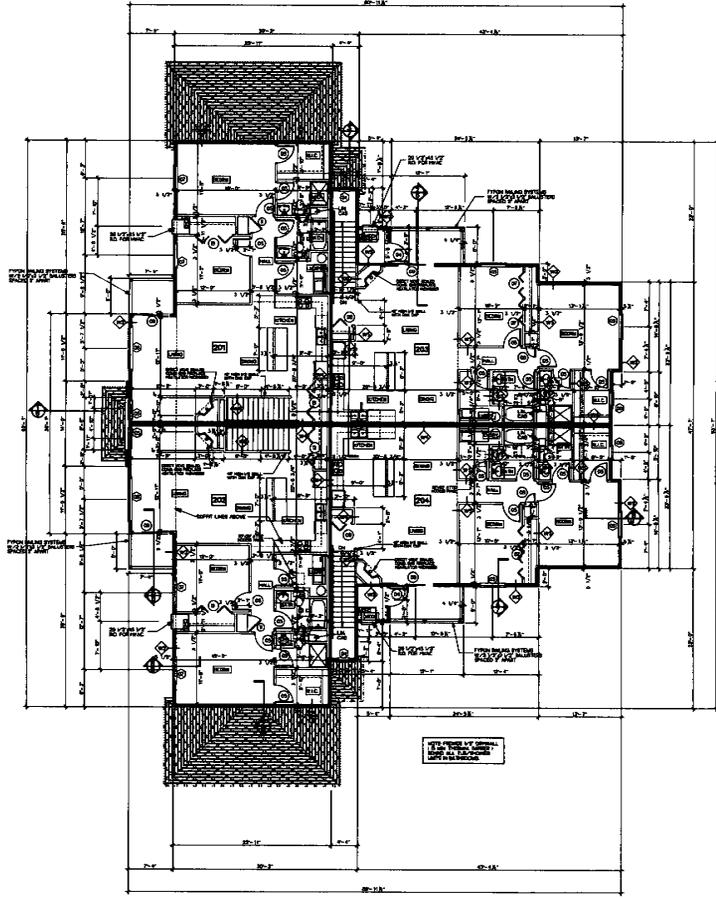
- LEGEND**
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 - FOUND IRON SERVICE
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EXHIBIT C

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
 7 HANSEN COURT - P.O. BOX 437
 LAKE GENEVA, WISCONSIN 53121
 OFFICE: (262) 733-3098 FAX: (262) 733-3099

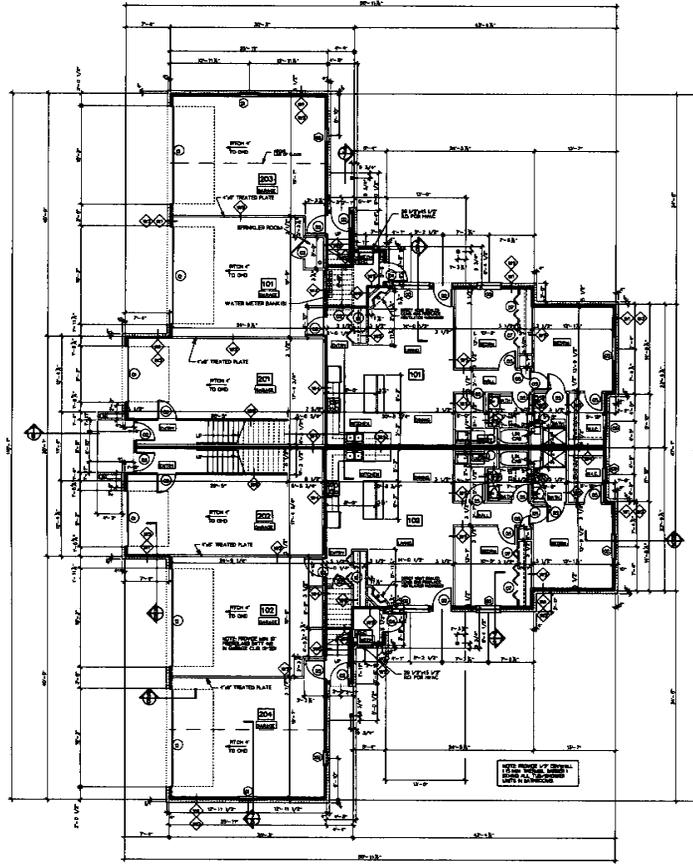
PROJECT NO: 6269.PW.17
 DATE: 10/12/17
 SHEET NO: 1 of 3

1:\Projects\8289PW\8289PW.dwg PLOT DATE: 12/12/17 11:45:10 AM PLOT BY: J. HANSEN



SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING ARCHITECTURE SURVEYING
8 UNIT - BUILDING
EAST SQUARE AVENUE
CITY OF LAKE GENEA, WILMOUTH CO., WISCONSIN

FIRST FLOOR PLAN
SECOND FLOOR PLAN

FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Niagara Court, P.O. Box 437
Genoa, Wisconsin 53025
Office: (262) 752-2008
Fax: (262) 752-2008

12/12/17

PROJECT NO:
8289PW.17

DATE:
12/12/17

SHEET NO:
3 of 3



REPRESENTATIVE DEPICTION
OF BUILDING COLORATION

PRAIRIE TOWNHOME CONDOMINIUM

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663
LOCATED IN PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF THE SW 1/4
OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA,
WALWORTH COUNTY, WISCONSIN

LEGAL DESCRIPTION DECLARED AREA PARCEL A

LANDS LOCATED IN PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663, RECORDED IN VOLUME 22 ON PAGE 10 AS DOCUMENT NO. 593854; LOCATED IN PART OF THE NORTHWEST 1/4, SOUTHWEST 1/4, AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 1 OF C.S.M. 3663 AT THE NORTHERLY RIGHT-OF-WAY OF TOWN LINE ROAD; THENCE S 89DEG 54MIN 50SEC W, 198.99 FEET ALONG THE SAID NORTHERLY RIGHT-OF-WAY LINE TO AN IRON PIPE STAKE; THENCE CONTINUE, S 00DEG 05MIN 10SEC E, 15.01 FEET; THENCE CONTINUE, S 89DEG 54MIN 50SEC W, 218.94 FEET TO THE EAST LINE OF CERTIFIED SURVEY MAP NO. 1974 (C.S.M. 1974); THENCE ALONG SAID EAST LINE, N 00DEG 05MIN 10SEC W, 318.00 FEET TO THE NORTHEAST CORNER OF SAID C.S.M. 1974 AND THE POINT OF BEGINNING; THENCE S 89DEG 54MIN 50 SEC W, 243.35 FEET TO THE NORTHWEST CORNER OF SAID C.S.M. 1974; THENCE N 00DEG 05MIN 10SEC W, 122.25 FEET; THENCE N 89DEG 54MIN 50SEC E, 70.00 FEET; THENCE N 44DEG 54MIN 50SEC E, 137.95 FEET; THENCE S 86DEG 07MIN 23SEC E, 37.21 FEET; THENCE 66.91 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 119.00 FEET AND A CHORD WHICH BEARS S 40DEG 00MIN 58SEC E, 66.03 FEET; THENCE S 23DEG 54MIN 32SEC E, 17.37 FEET; THENCE 125.23 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 244.00 FEET AND A CHORD WHICH BEARS S 09DEG 12MIN 19SEC E, 123.86 FEET; THENCE S 05DEG 29MIN 54SEC W, 10.23 FEET; THENCE S 89DEG 54MIN 50SEC W, 23.09 FEET TO THE POINT OF BEGINNING. CONTAINING 42,313 SQUARE FEET (0.97 ACRES) OF LAND, MORE OR LESS.

LEGAL DESCRIPTION DECLARED AREA PARCEL B

LANDS LOCATED IN PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663, RECORDED IN VOLUME 22 ON PAGE 10 AS DOCUMENT NO. 593854; LOCATED IN PART OF THE NORTHWEST 1/4, SOUTHWEST 1/4, AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1 OF C.S.M. 3663 AT THE NORTHERLY RIGHT-OF-WAY OF TOWN LINE ROAD; THENCE S 89DEG 54MIN 50SEC W, 370.18 FEET; THENCE N 00DEG 05MIN 10SEC W, 236.54 FEET; THENCE N 05DEG 29MIN 54SEC E, 73.97 FEET; THENCE 141.14 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 275.00 FEET AND A CHORD WHICH BEARS N 09DEG 12MIN 19SEC W, 139.60 FEET; THENCE N 23DEG 54MIN 32SEC W, 17.37 FEET; THENCE 84.34 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 150.00 FEET AND A CHORD WHICH BEARS N 40SEC 00MIN 58SEC W, 83.23 FEET; THENCE N 56DEG 07MIN 23SEC W, 54.50 FEET; THENCE 57.79 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 300.00 FEET AND A CHORD WHICH BEARS N 50DEG 36MIN 17SEC W, 57.70 FEET; THENCE N 45DEG 05MIN 10SEC W, 23.42 FEET; THENCE N 38DEG 39MIN 48SEC E, 178.55 FEET TO THE NORTHEASTERLY LINE OF SAID C.S.M. 3663; THENCE ALONG SAID NORTHEASTERLY LINE, S 48DEG 38MIN 27SEC E, 280.59 FEET; THENCE CONTINUE, S 29DEG 03MIN 47SEC E, 511.18 FEET; THENCE CONTINUE, S 08DEG 33MIN 06SEC W, 119.09 FEET TO THE POINT OF BEGINNING. CONTAINING 200,513 SQUARE FEET (4.60 ACRES) OF LAND, MORE OR LESS.

EXHIBIT D

"I, PETER S. GORDON, A WISCONSIN PROFESSIONAL LAND SURVEYOR, S-2101, DO HEREBY CERTIFY THAT THIS CONDOMINIUM PLAT IS A CORRECT REPRESENTATION OF THE CONDOMINIUM DESCRIBED AND THE IDENTIFICATION AND LOCATION OF EACH UNIT AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THIS PLAT."

DATED: SEPTEMBER 6, 2017

PETER S. GORDON P.L.S. 2101

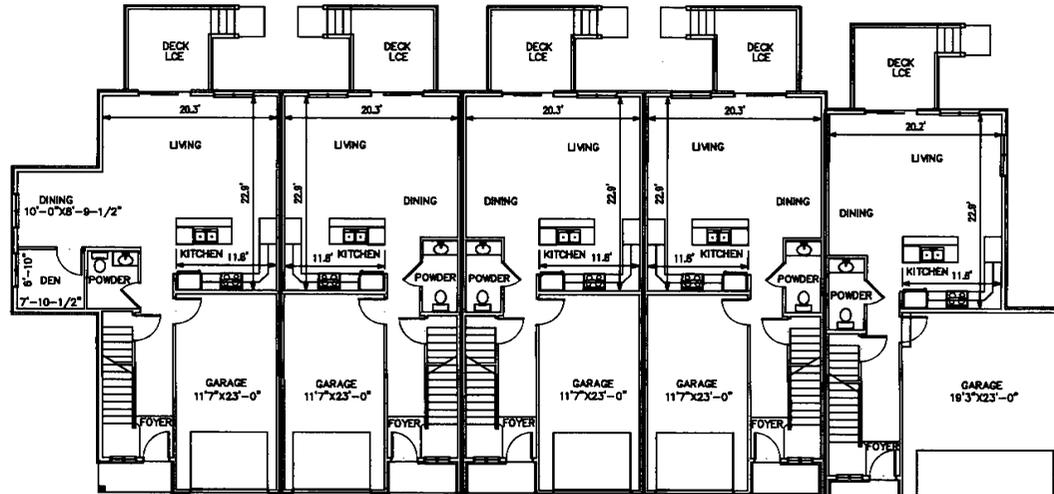
FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT, PO BOX 437
ELKHORN, WISCONSIN 53121
PHONE: (282) 723-2098
FAX: (282) 723-5886

PROJ. 6269.2013 | DATE: 09/06/2017 | SHEET 2 OF 8

PRAIRIE TOWNHOME CONDOMINIUM

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663
 LOCATED IN PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF THE SW 1/4
 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA,
 WALWORTH COUNTY, WISCONSIN

5 UNIT BUILDING - FIRST FLOOR PLAN



UNIT 101 UNIT 501	UNIT 102 UNIT 502	UNIT 103 UNIT 503	UNIT 104 UNIT 504	UNIT 105 UNIT 505
UNIT 205 - MIRROR	UNIT 204 - MIRROR	UNIT 203 - MIRROR	UNIT 202 - MIRROR	UNIT 201 - MIRROR
UNIT 305 - MIRROR	UNIT 304 - MIRROR	UNIT 303 - MIRROR	UNIT 302 - MIRROR	UNIT 301 - MIRROR
UNIT 605 - MIRROR	UNIT 604 - MIRROR	UNIT 603 - MIRROR	UNIT 602 - MIRROR	UNIT 601 - MIRROR

FIRST FLOOR AREA=848 R2 SECOND FLOOR AREA=1063 R2 TOTAL LIVING AREA=1,912 R2 GARAGE AREA=283 R2 TOTAL UNIT AREA=2,195 R2	FIRST FLOOR AREA=673 R2 SECOND FLOOR AREA=781 R2 TOTAL LIVING AREA=1,454 R2 GARAGE AREA=283 R2 TOTAL UNIT AREA=1,737 R2	FIRST FLOOR AREA=673 R2 SECOND FLOOR AREA=781 R2 TOTAL LIVING AREA=1,454 R2 GARAGE AREA=283 R2 TOTAL UNIT AREA=1,737 R2	FIRST FLOOR AREA=673 R2 SECOND FLOOR AREA=781 R2 TOTAL LIVING AREA=1,454 R2 GARAGE AREA=283 R2 TOTAL UNIT AREA=1,737 R2	FIRST FLOOR AREA=673 R2 SECOND FLOOR AREA=821 R2 TOTAL LIVING AREA=1,494 R2 GARAGE AREA=283 R2 TOTAL UNIT AREA=1,999 R2
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NOTE: THESE FLOOR PLANS HAVE BEEN PREPARED USING INFORMATION SHOWN ON THE ARCHITECTURAL PLANS FOR THIS BUILDING AND DO NOT REPRESENT MEASUREMENTS OF THE BUILDING IN PLACE. ANY PHYSICAL BOUNDARIES OF ANY UNIT OR COMMON ELEMENTS CONSTRUCTED OR RECONSTRUCTED IN SUBSTANTIAL CONFORMITY WITH THE CONDOMINIUM PLAT SHALL BE PRESUMED TO BE ITS BOUNDARIES, REGARDLESS OF THE SHIFTING, SETTLEMENT, OR LATERAL MOVEMENT OF ANY BUILDING AND REGARDLESS OF MINOR VARIATIONS BETWEEN THE PHYSICAL BOUNDARIES AS DESCRIBED IN THE DECLARATION OR SHOWN ON THE CONDOMINIUM PLAT AND THE ACTUAL PHYSICAL BOUNDARIES OF ANY SUCH UNIT OF COMMON ELEMENT AS FINALLY CONSTRUCTED.

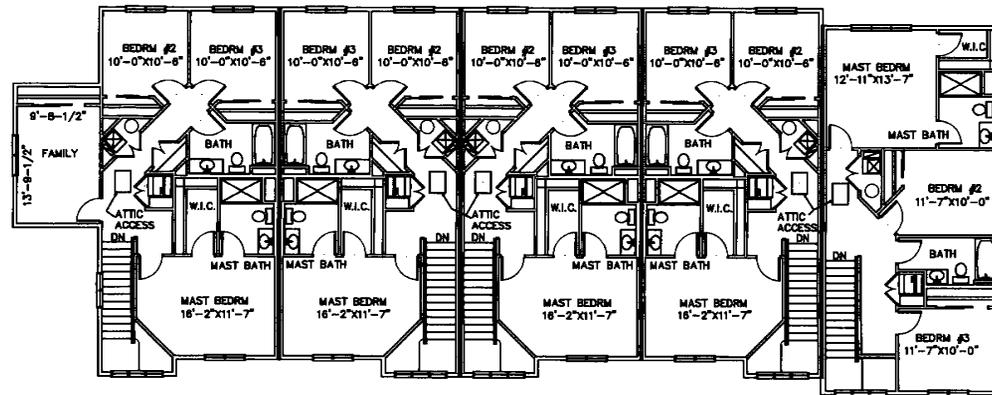
LCE = LIMITED COMMON ELEMENT

DIAGRAMATIC FLOOR PLANS
 SCALE: 1" = 10'

FARRIS, HANSEN & ASSOCIATES, INC.
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 7 RIDGWAY COURT, PO BOX 437
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 PHONE: (262) 723-2098
 FAX: (262) 723-5888
 PROJ: 6269.2013 | DATE: 09/06/2017 | SHEET 3 OF 8

PRAIRIE TOWNHOME CONDOMINIUM

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663
 LOCATED IN PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF THE SW 1/4
 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA,
 WALWORTH COUNTY, WISCONSIN



UNIT 101	UNIT 102	UNIT 103	UNIT 104	UNIT 105
UNIT 501	UNIT 502	UNIT 503	UNIT 504	UNIT 505
UNIT 205 - MIRROR	UNIT 204 - MIRROR	UNIT 203 - MIRROR	UNIT 202 - MIRROR	UNIT 201 - MIRROR
UNIT 305 - MIRROR	UNIT 304 - MIRROR	UNIT 303 - MIRROR	UNIT 302 - MIRROR	UNIT 301 - MIRROR
UNIT 605 - MIRROR	UNIT 604 - MIRROR	UNIT 603 - MIRROR	UNIT 602 - MIRROR	UNIT 601 - MIRROR

5 UNIT BUILDING - SECOND FLOOR PLAN

NOTE: THESE FLOOR PLANS HAVE BEEN PREPARED USING INFORMATION SHOWN ON THE ARCHITECTURAL PLANS FOR THIS BUILDING AND DO NOT REPRESENT MEASUREMENTS OF THE BUILDING IN PLACE. ANY PHYSICAL BOUNDARIES OF ANY UNIT OR COMMON ELEMENTS CONSTRUCTED OR RECONSTRUCTED IN SUBSTANTIAL CONFORMITY WITH THE CONDOMINIUM PLAT SHALL BE PRESUMED TO BE ITS BOUNDARIES, REGARDLESS OF THE SHIFTING, SETTLEMENT, OR LATERAL MOVEMENT OF ANY BUILDING AND REGARDLESS OF MINOR VARIATIONS BETWEEN THE PHYSICAL BOUNDARIES AS DESCRIBED IN THE DECLARATION OR SHOWN ON THE CONDOMINIUM PLAT AND THE ACTUAL PHYSICAL BOUNDARIES OF ANY SUCH UNIT OR COMMON ELEMENT AS FINALLY CONSTRUCTED.

LCE = LIMITED COMMON ELEMENT

DIAGRAMATIC FLOOR PLANS
 SCALE: 1" = 10'

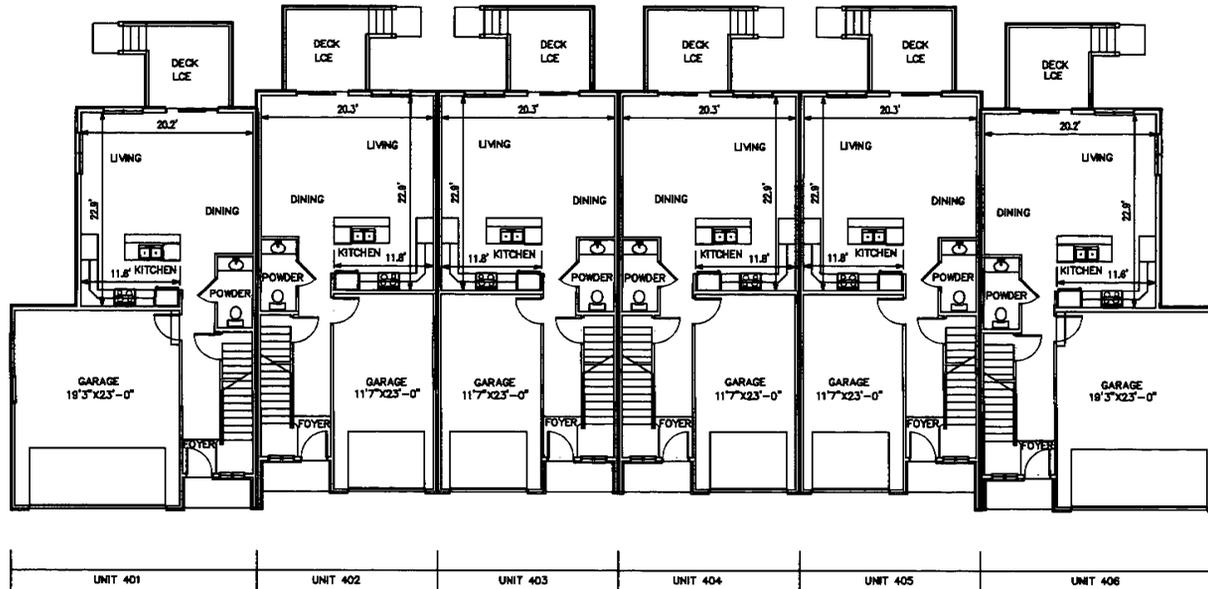
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 FAX: (262) 723-5888
 PROJ. 6269.2013 | DATE: 09/06/2017 | SHEET 4 OF 8

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PRAIRIE TOWNHOME CONDOMINIUM

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663
 LOCATED IN PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF THE SW 1/4
 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA,
 WALWORTH COUNTY, WISCONSIN

6 UNIT BUILDING - FIRST FLOOR PLAN



UNIT 401
 FIRST FLOOR AREA=673 R2
 SECOND FLOOR AREA=821 R2
 TOTAL LIVING AREA=1,494 R2
 GARAGE AREA=475 R2
 TOTAL UNIT AREA=1,969 R2

UNIT 402
 FIRST FLOOR AREA=673 R2
 SECOND FLOOR AREA=781 R2
 TOTAL LIVING AREA=1,454 R2
 GARAGE AREA=283 R2
 TOTAL UNIT AREA=1,737 R2

UNIT 403
 FIRST FLOOR AREA=673 R2
 SECOND FLOOR AREA=781 R2
 TOTAL LIVING AREA=1,454 R2
 GARAGE AREA=283 R2
 TOTAL UNIT AREA=1,737 R2

UNIT 404
 FIRST FLOOR AREA=673 R2
 SECOND FLOOR AREA=781 R2
 TOTAL LIVING AREA=1,454 R2
 GARAGE AREA=283 R2
 TOTAL UNIT AREA=1,737 R2

UNIT 405
 FIRST FLOOR AREA=673 R2
 SECOND FLOOR AREA=781 R2
 TOTAL LIVING AREA=1,454 R2
 GARAGE AREA=283 R2
 TOTAL UNIT AREA=1,737 R2

UNIT 406
 FIRST FLOOR AREA=673 R2
 SECOND FLOOR AREA=821 R2
 TOTAL LIVING AREA=1,494 R2
 GARAGE AREA=475 R2
 TOTAL UNIT AREA=1,969 R2

NOTE: THESE FLOOR PLANS HAVE BEEN PREPARED USING INFORMATION SHOWN ON THE ARCHITECTURAL PLANS FOR THIS BUILDING AND DO NOT REPRESENT MEASUREMENTS OF THE BUILDING IN PLACE. ANY PHYSICAL BOUNDARIES OF ANY UNIT OR COMMON ELEMENTS CONSTRUCTED OR RECONSTRUCTED IN SUBSTANTIAL CONFORMITY WITH THE CONDOMINIUM PLAT SHALL BE PRESUMED TO BE ITS BOUNDARIES, REGARDLESS OF THE SHIFTING, SETTLEMENT, OR LATERAL MOVEMENT OF ANY BUILDING AND REGARDLESS OF MINOR VARIATIONS BETWEEN THE PHYSICAL BOUNDARIES AS DESCRIBED IN THE DECLARATION OR SHOWN ON THE CONDOMINIUM PLAT AND THE ACTUAL PHYSICAL BOUNDARIES OF ANY SUCH UNIT OF COMMON ELEMENT AS FINALLY CONSTRUCTED.

LCE = LIMITED COMMON ELEMENT

DIAGRAMATIC FLOOR PLANS
 SCALE: 1" = 10'

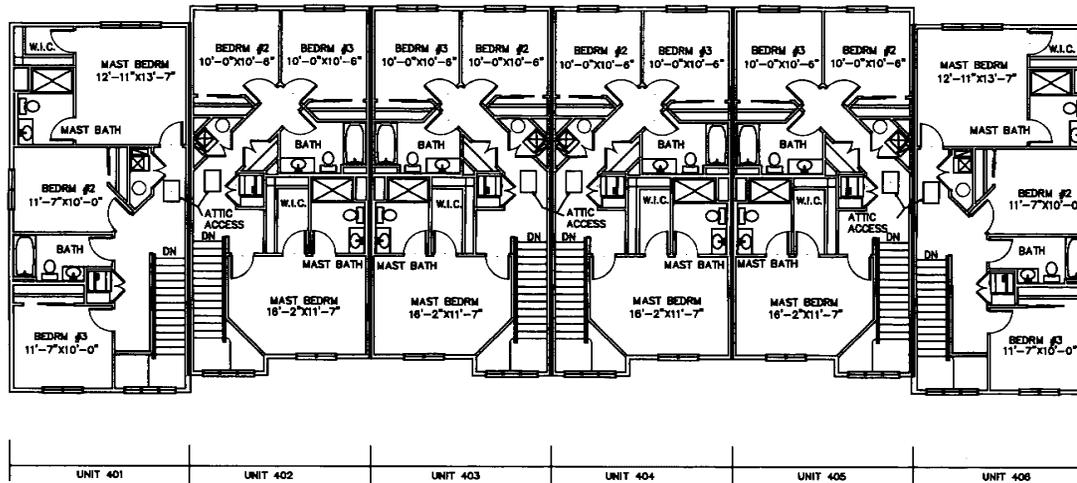
FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING

7 RIDGWAY COURT, PO BOX 437
 ELKHORN, WISCONSIN 53121
 PHONE: (262) 723-2088
 FAX: (262) 723-5888

PROJ. 6269.2013 | DATE: 09/06/2017 | SHEET 5 OF 6

PRAIRIE TOWNHOME CONDOMINIUM

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663
 LOCATED IN PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF THE SW 1/4
 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA,
 WALWORTH COUNTY, WISCONSIN



6 UNIT BUILDING - SECOND FLOOR PLAN

NOTE: THESE FLOOR PLANS HAVE BEEN PREPARED USING INFORMATION SHOWN ON THE ARCHITECTURAL PLANS FOR THIS BUILDING AND DO NOT REPRESENT MEASUREMENTS OF THE BUILDING IN PLACE. ANY PHYSICAL BOUNDARIES OF ANY UNIT OR COMMON ELEMENTS CONSTRUCTED OR RECONSTRUCTED IN SUBSTANTIAL CONFORMITY WITH THE CONDOMINIUM PLAT SHALL BE PRESUMED TO BE ITS BOUNDARIES, REGARDLESS OF THE SHIFTING, SETTLEMENT, OR LATERAL MOVEMENT OF ANY BUILDING AND REGARDLESS OF MINOR VARIATIONS BETWEEN THE PHYSICAL BOUNDARIES AS DESCRIBED IN THE DECLARATION OR SHOWN ON THE CONDOMINIUM PLAT AND THE ACTUAL PHYSICAL BOUNDARIES OF ANY SUCH UNIT OF COMMON ELEMENT AS FINALLY CONSTRUCTED.

LCE = LIMITED COMMON ELEMENT

DIAGRAMATIC FLOOR PLANS
 SCALE: 1" = 10'

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING

7 RIDGWAY COURT, PO BOX 437
 ELKHORN, WISCONSIN 53121
 PHONE: (282) 723-2088
 FAX: (282) 723-5886

PROJ 6289.2013 | DATE: 09/06/2017 | SHEET 6 OF 6

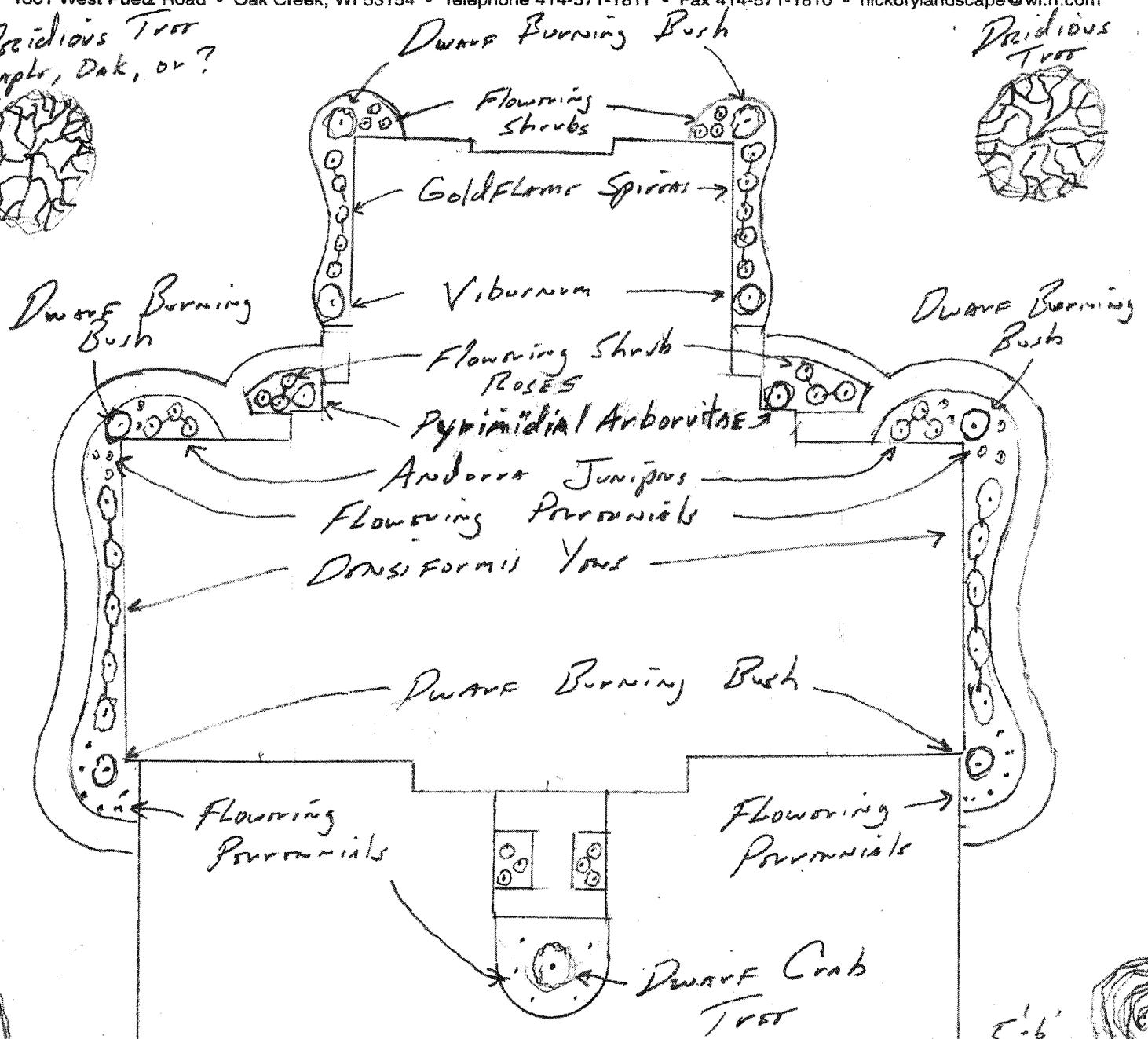
Southwind Prairie Apts, Community II
 Landscap Plan, 12, 12, 2017



1301 West Puetz Road • Oak Creek, WI 53154 • Telephone 414-571-1811 • Fax 414-571-1810 • hickorylandscape@wi.rr.com

Deciduous Tree
 Maple, Oak, or?

Deciduous Tree



5'-6' Tall Spruce

5'-6' Tall Spruce

All Beds Edged With Black Poly Edging,
 Fabric + Mississippi Stone in Beds

EXHIBIT E

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: January 15, 2018

Agenda Item #12

Applicant:

Neal Gill
W3323 Lake Forest Ln.
Lake Geneva, WI 53147

Request:

190 E. Main St., Lake Geneva, WI 53147
Proposed Conditional Use Permit for a Gas
Station and Convenience Store and Dunkin Donut

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a new Gas Station & Convenience Store with an attached Dunkin Donut shop and a detached carwash.

The application was review by staff and found the initial request for the Conditional Use Permit (CUP) was the incorrect request for their review.

This information was identified after the notice was sent to the paper for legal publication requirements.

Action by the Plan Commission:

Recommendation is to table the request.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: January 15, 2018

Agenda Item #13

Applicant:

Neal Gill
W3323 Lake Forest Ln.
Lake Geneva, WI 53147

Request:

190 E. Main St., Lake Geneva, WI 53147
Proposed Conceptual Review for a Gas Station
and Convenience Store, Dunkin Donut, and
detached carwash

Description of Proposed Conceptual design:

The applicant is submitting plans for a Conceptual Review of a propose Gas Station, Convenience Store, Dunkin Donut Shop, and detached Carwash.

The application was review by staff and found the initial request for the Conditional Use Permit (CUP) was the incorrect request for their review therefore the applicants would like to propose the Step 2 of the Planned Development process that is the conceptual review.

This will allow the Plan Commission members to familiarize themselves with the possible future submittal of a Planned Development request. The next step of the application should this move forward by the applicants will be the General Development Plan (GDP).

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

190 E. Main St., Lake Geneva, WI 53147

ZA370600001 Lot 1 CSM 3706

NAME AND ADDRESS OF CURRENT OWNER:

Christopher & Twyla Khayat

36938 Kimberwick Lane, Wadsworth, IL 60083

TELEPHONE NUMBER OF CURRENT OWNER:

NAME AND ADDRESS OF APPLICANT:

Neal Gill (by Attorney Richard W. Torhorst)

W3323 Lake Forest Lane, Lake Geneva, WI 53147

TELEPHONE NUMBER OF APPLICANT: 262-248-3333

PROPOSED CONDITIONAL USE:

Convenience store with fuel, Dunkin Donuts, and car wash

ZONING DISTRICT IN WHICH LAND IS LOCATED: P.B. Planned Business

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Joseph Kopecky, 236 State Road 50, Delavan, WI 53115

Warren Hansen, 7 Ridgway Ct., Elkhorn, WI 53121

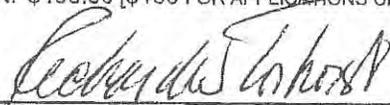
SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Convenience store, donut and sandwich shop, fueling, car wash and vacuum.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

12/8/17

DATE


SIGNATURE OF APPLICANT, Attorney for Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

⇓
___ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

⇓

___ (a) A map of the proposed conditional use:

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:



- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed use is in harmony with the purposes, goals, objectives, policies and standards of Comprehensive Plan and zoning as the use is a conditional use in the PB district and business use in the Comprehensive Plan.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The use is consistent with the properties on each side and along the Hwy 50 corridor east of Curtis Street. It will provide access to fuel for motorists on the south side of Hwy 50.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No adverse impacts to surrounding private property or public property are anticipated. The use is consistent with commercial properties to the east and west. The property to the south is not impacted due to the grade differential. Adequate public facilities are in place to serve the property and its use.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed project is of the same or similar intensity as the surrounding properties and is consistent with surrounding commercial uses.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Public utilities are adequate to service the project and support the intended uses.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes. The site is currently under utilized and becoming blighted. The project will revitalize and add value to the area and provide good and services for the residents and visitors to the community.

IV.FINAL APPLICATION PACKET INFORMATION

___ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

___ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

___ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

___ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

___ Class 2 Legal Notice published on _____ and _____ by: _____

___ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ (a) **A written description of the intended use describing in reasonable detail the:**

- ___ Existing zoning district(s) (and proposed zoning district(s) if different);
- ___ Land use plan map designation(s);
- ___ Current land uses present on the subject property;
- ___ Proposed land uses for the subject property (per Section 98-206);
- ___ Projected number of residents, employees, and daily customers;
- ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

___ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

___ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";

___ Exterior building and fencing materials (Sections 98-718 and 98-720);

___ Possible future expansion and related implications for points above;

___ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

___ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

___ (c) A **Property Site Plan** drawing which includes:

___ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;

___ The date of the original plan and the latest date of revision to the plan;

___ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);

___ A reduction of the drawing at 11" x 17";

___ A legal description of the subject property;

___ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

___ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

___ All required building setback lines;

___ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

___ The location and dimension (cross-section and entry throat) of all access points onto public streets;

___ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

___ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;

___ The location of all outdoor storage areas and the design of all screening devices;

___ The location, type, height, size and lighting of all signage on the subject property;

___ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;

___ The location and type of any permanently protected green space areas;

___ The location of existing and proposed drainage facilities;

___ In the legend, data for the subject property on:

___ Lot Area;

- ___ Floor Area;
- ___ Floor Area Ratio (b/a);
- ___ Impervious Surface Area;
- ___ Impervious Surface Ratio (d/a);
- ___ Building Height.

- ___ ___ (d) A **Detailed Landscaping Plan** of the subject property:
 - ___ Scale same as main plan (> or equal to 1" equals 100')
 - ___ Map reduction at 11" x 17"
 - ___ Showing the location of all required bufferyard and landscaping areas
 - ___ Showing existing and proposed Landscape Point fencing
 - ___ Showing berm options for meeting said requirements
 - ___ Demonstrating complete compliance with the requirements of Article VI
 - ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

- ___ ___ (e) A **Grading and Erosion Control Plan**:
 - ___ Same scale as the main plan (> or equal to 1" equals 100')
 - ___ Map reduction at 11" x 17"
 - ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

- ___ ___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings**:
 - ___ Showing finished exterior treatment;
 - ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
 - ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III. FINAL APPLICATION PACKET INFORMATION

- ___ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

- ___ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

LAKE GENEVA PLAZA
STATEMENT OF PROJECT AND INTENDED USE

The applicant, Neal Gill, or an entity formed for said project, intends to construct a convenience store with fuel and car wash including vacuums together with a Dunkin Donuts with drive up window at 190 E. Main Street, Lake Geneva, Wisconsin, 53147. The following sets forth the information related to the property, the proposed uses, operational plan, together with other information of significant interest.

Existing Zoning. The property is currently zoned Planned Business. There currently exists upon the premises an older residence which is currently used as a residence but was used as a professional office for Dr. Nicholas Veith's eye clinic for many years.

The property is served on the north by STH 50 a.k.a. Main Street. The properties to the east consists of Lake Geneva Lanes, which is also zoned Planned Business. The next property to the east is Comfort Suites hotel which is also zoned Planned Business. The properties to the west are Interstate Insurance Agency and A+ Graphics. Said properties are zoned Planned Office. The property immediately to the south is zoned SR4, with a residence along Curtis St. with the property adjoining the subject property being unimproved. The next property south is zoned Planned Development and consists of the condominium development known as the Twins on Curtis. A vacant parcel located to the east and south lies within the Town of Lyons and is zoned B-2 General Business.

Plan of Operation. The Lake Geneva Plaza is intended to offer Shell Oil products. The convenience store, fuel, and Dunkin Donuts will be open 24/7. It is anticipated that the total number of employees will be 40, for the convenience store and Dunkin Donuts to cover all three shifts on a seven-day, twenty-four-hour basis. It is anticipated that the location will serve on the average 230 customers per day of which eighty (80%) percent of the customers are shared customers between gas, convenience store and/or Dunkin Donuts. The peak activity of use will be between 7 a.m. and 9 a.m. and between 4 p.m. and 6 p.m. During peak periods the customer count is anticipated to be approximately 40 per hour. The average numbers will be approximately ten (10%) percent higher in months of June, July and August. The operation does not require significant water or sanitary sewer usage. It is not anticipated that the site will generate additional traffic, as most customers will already be using the STH 50 corridor and stopping at the facility for convenience purposes. It is anticipated that the project would not be considered a destination point, with the exception that there will be some customers that will specifically travel to the location for the Dunkin Donuts store. It should be noted that the other sites offering convenient store and food operations along STH 50 between Curtis Street and Highway 12 access STH 50 from the north. This project will allow customers to access its project from STH 50 on the south, which should relieve congestion at the Peller Road and STH 50 intersection. Due to the topography of the site requiring the construction of retaining walls, the impact of the operation upon properties to the west and south will be negligible. In most instances, the properties to the west and south will look over this site to parts further north and east. The site meets all parking, lighting, loading, access, traffic visibility, noise and other subjective standards. The operation will not create vibrations, air pollution, odors,

electromagnetic radiation, glare, heat, toxic, noxious or hazardous materials, excepting only fuel for which there is more than adequate protection to the public and the environment.

Other Information of Significant Interest. This project will add a side walk for the ultimate connection of the current city sidewalk system to the Edwards Boulevard retail area and to the Veterans Park recreational area. This project will provide the elimination of a blighted area along STH 50. The developer of the site has several other gas station convenience store operations in the area including Delevan, Williams Bay, Fontana, and Elkhorn. The site at Borg Road and STH 50 in Delavan is very similar to the proposed project here, however the Lake Geneva project will have fewer fueling stations. The landscaping points of the project approximately triple the required landscaping points. The project will add significant equalized value to the City compared to the existing equalized value of the property. The materials used in the project will be of high quality and the visual appearance of the project will be an appreciable benefit to the area. The project will provide new employment opportunities in addition to being a convenience to the neighborhood.



Lake Geneva Plaza

WALWORTH COUNTY, WISCONSIN

0 20 40 60 80
Feet

1 inch = 375 feet

Author: RWT
Map Produced on: 12/9/2017

Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27

Walworth County Information Technology Department
Land Information Division
1600 County Trunk
Eldon, Wisconsin 53121-4101

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PROVIDED AND IS NOT GUARANTEED. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY, COMPLETENESS, AND TIMELINESS OF THE INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

Tax Key #: ZYUP 00131
Owner: White River Holdings LLC
Address: 11 E. Madison St. Ste. L100
Chicago, IL 60602

Tax Key #: ZA1119100001
Owner: John Tyshenko
Address: 135 Main St.
Lake Geneva, WI 53147

Tax Key #: ZA 78900001
Owner: William H. Johnson Trust
Address: W3817 Palmer Road
Lake Geneva, WI 53147

Tax Key #: ZA 78900001A
Owner: Thomas Reed
Address: PO Box 370
Lake Geneva, WI 53147

Tax Key #: ZA 78900002
Owner: William H. Johnson Trust
Address: W3817 Palmer Road
Lake Geneva, WI 53147

Tax Key #: ZOP 00385
Owner: Catholic Church
Address: 148 Main St.
Lake Geneva, WI 53147

Tax Key #: ZYUP 00107
Owner: Franklin D. Guske Sr. Trust
Address: PO Box 46
Pell Lake, WI 53157

Tax Key #: ZPI 00001D
Owner: St. Francis De Sales Congregation
Address:

Tax Key #: ZA425900001
Owner: Richard Fritz & Susan Fritz
Address: 103 S Curtis St.
Lake Geneva, WI 53147

Tax Key #: ZA194200001
Owner: KNMG Hotels LLC
Address: 109 N. Spruce St.
Wooddale, IL 60191

Tax Key #: ZYUP 00108C
Owner: City of Lake Geneva
Address: 626 Geneva St.
Lake Geneva, WI 53147

Tax Key #: ZYUP 00109A
Owner: Mark & Jacqueline Kompanik
Address: W5560 Blackfoot Circle
Elkhorn, WI 53121

Tax Key #: ZYUP 00108A
Owner: Peggy Fraser & Michelle Nelson
Address: 137 S. Curtis St.
Lake Geneva, WI 53147

Tax Key #: NA 91700001
Owner: Franklin D. Guske Sr. Trust
Address: PO Box 46
Pell Lake, 53157

Tax Key #: ZTW 00001
Owner: Susan & Richard Fritz
Address: 103 S. Curtis St.
Lake Geneva, WI 53147

Tax Key #: ZTW 00002
Owner: Wendy A. Abbate
Address: PO Box 264
Lake Geneva, WI 53147

Tax Key #: ZTW 00003
Owner: Vera White
Address: 129 S. Curtis St.
Lake Geneva, WI 53147

Tax Key #: ZTW 00004
Owner: Patrick & Maria Kelly
Address: 129 S. Curtis St. Unit 212
Lake Geneva, WI 53147

Tax Key #: ZTW 00005
Owner: Mary E. Bartelson
Address: 129 S. Curtis St. Unit 311
Lake Geneva, WI 53147

Tax Key #: ZTW 00006
Owner: Julie Sarton Trust & H. Michael Sarton Trust
Address: W3276 Lake Forest Lane
Lake Geneva, WI 53147

Tax Key #: ZTW 00007
Owner: Sturges P. Taggart Jr. Trust & Judie M. Taggart Trust
Address: 129 Curtis St. Unit 411
Lake Geneva, WI 53147

Tax Key #: ZTW 00008
Owner: Sheryl Englebrecht
Address: 129 Curtis St. Unit 412
Lake Geneva, WI 53147

Tax Key #: ZTW 00009
Owner: Mary Beth Egert
Address: 1121 Harrogate Dr.
Knoxville, TN 37923

Tax Key #: ZTW 00010
Owner: Ursula M. Motsinger
Address: 129 S. Curtis St. Unit 512
Lake Geneva, WI 53147

Tax Key #: ZTW 00011
Owner: Churchill Trust
Address: 129 Curtis St. Unit A Bldg. 6
Lake Geneva, WI 53147

Tax Key #: ZTW1 00001
Owner: Betty Soizdrzal
Address: 129 S. Curtis St. Unit 101
Lake Geneva, WI 53147

Tax Key #: ZTW1 00002
Owner: Stonebeigh Holdings LLC
Address: PO Box 346
Boca Grande, FL 33391

Tax Key #: ZTW1 00003
Owner: Pamela B. Carper
Address: 129 S. Curtis St. Unit 1021
Lake Geneva, WI 53147

Tax Key #: ZTW1 00004
Owner: Jean M. Martzke
Address: 129 S. Curtis St. Unit 1022
Lake Geneva, WI 53147

Tax Key #: ZTW1 00005
Owner: Donald Tolar
Address: 129 S. Curtis St. Unit 1112
Lake Geneva, WI 53147

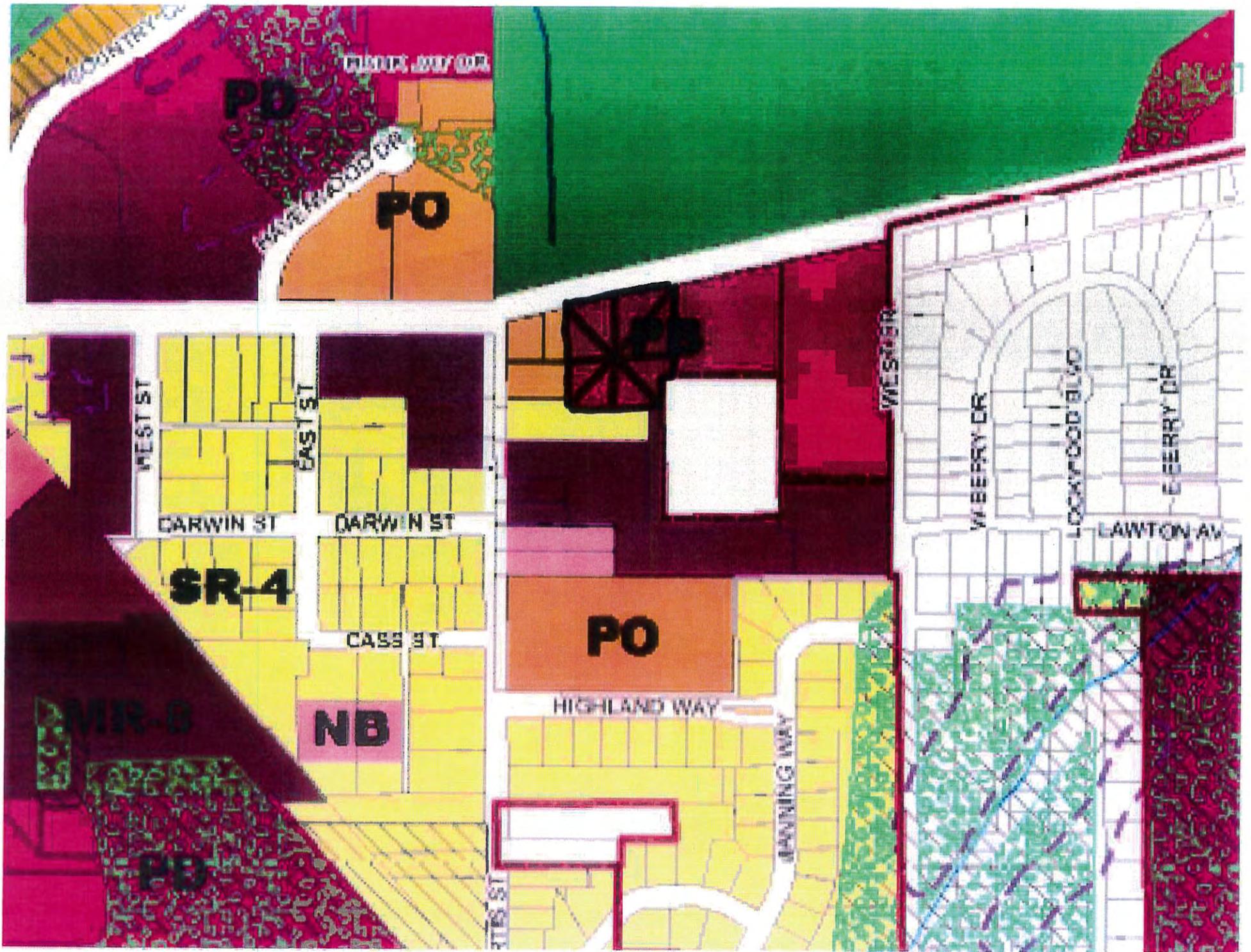
Tax Key #: ZTW1 00006
Owner: Maryon Connolly Trust
Address: 129 S. Curtis St. Unit 1111
Lake Geneva, WI 53147

Tax Key #: ZTW1 00007
Owner: Jeffrey G. Arbotante
Address: 5 Hartford Court
Algonquin, IL 60102

Tax Key #: ZTW1 00008
Owner: Daniel E. Getzen
Address: 500 S. Edwards Blvd. Unit 2
Lake Geneva, WI 53147

Tax Key #: ZTW1 00009
Owner: Rose Temple
Address: 1270 Wisconsin St. #105
Lake Geneva, WI 53147

Tax Key #: ZTW1 00010
Owner: Marilyn M. Cantalice Trust
Address: 129 S. Curtis St. Unit 1212
Lake Geneva, WI 53147

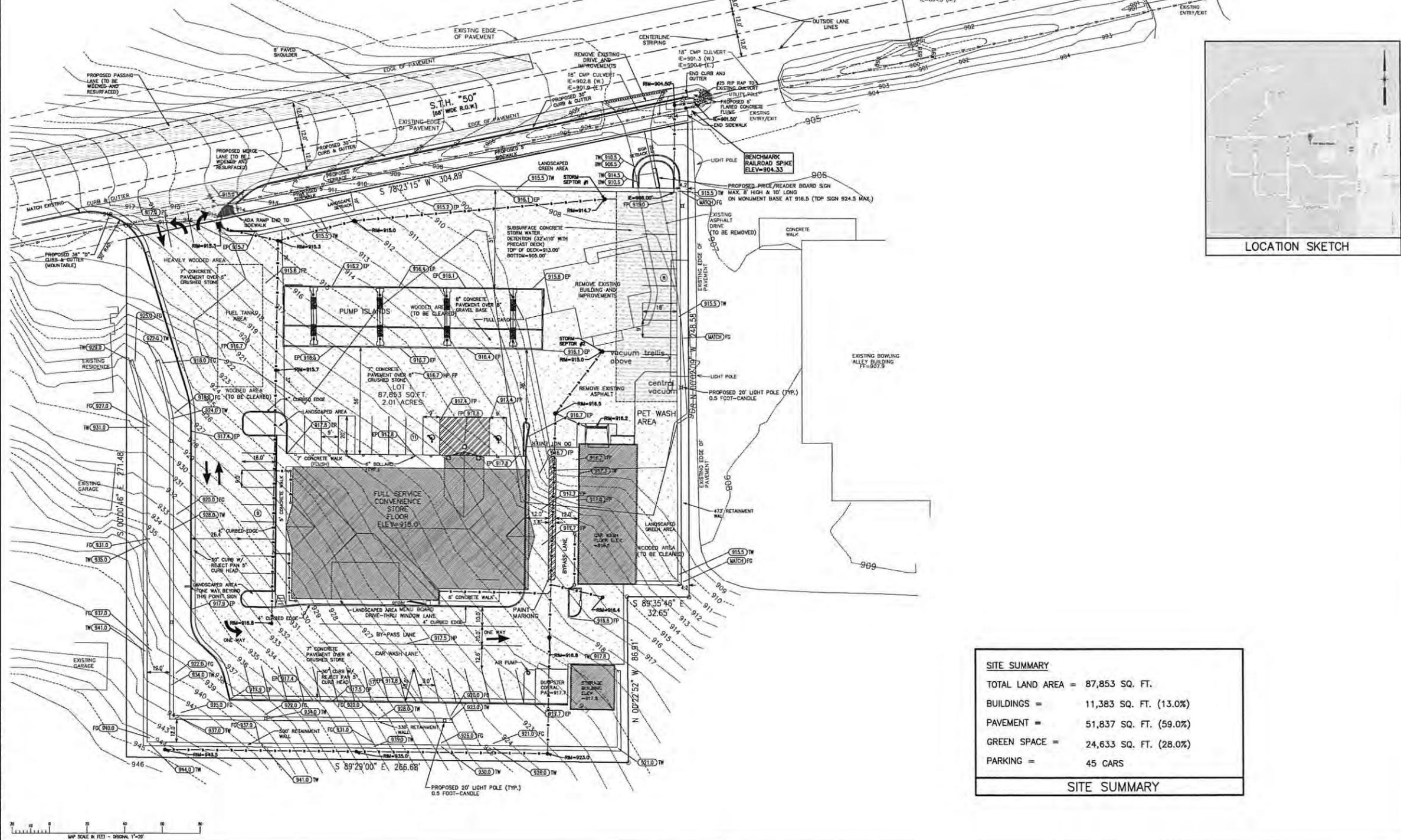


SITE GRADING, DRAINAGE AND EROSION CONTROL PLAN

LOT 1 OF CSM 3706

LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 31, TOWN 2 NORTH, RANGE 18 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

LEGEND	
PROPOSED	EXISTING
FOUND IRON PIPE STAKE	○
FOUND IRON REBAR STAKE	●
FOUND CONCRETE COUNTY MONUMENT	□
RECORDED AS	□
SET IRON REBAR STAKE	○
SANITARY MANHOLE	○
DRAINAGE MANHOLE	○
CATCH BASIN	○
WATER VALVE IN BOX	○
FIRE HYDRANT	○
WATER VALVE VAULT	○
WELL	○
UTILITY POLE	○
LIGHT POLE	○
DECIDUOUS TREE (DESCRIPTION AND SIZE)	○
CONIFEROUS TREE (DESCRIPTION AND SIZE)	○
TREELINE	—
SOILS BOUNDARY (COUNTY DATA)	—
WOOD STORAGE FENCE	—
WIRE FENCE	—
STORM SEWER	—
SANITARY SEWER	—
WATER MAIN	—
GAS MAIN	—
OVERHEAD WIRES	—
UNDERGROUND WIRES	—
TELEPHONE LINE	—
1' CONTOURS	—
SPOT ELEVATION	—
PAVEMENT	—
BUILDING BOX	—
TC	—
TOP OF CURB/CONCRETE	—
EP	—
EDGE OF PAVEMENT	—
SWITCH EXISTING	—
FFP	—
FINISHED FLOOR ELEVATION	—
FW	—
TOP OF WALL	—
SW	—
TOP OF WALK	—
FP	—
FINISH PAVEMENT	—
FG	—
FINISH GROUND	—
FDW	—
FLW DIRECTION	—
SILT FENCE	—
EROSION MAT OR EQUIVALENT	—



SITE SUMMARY	
TOTAL LAND AREA =	87,853 SQ. FT.
BUILDINGS =	11,383 SQ. FT. (13.0%)
PAVEMENT =	51,837 SQ. FT. (59.0%)
GREEN SPACE =	24,633 SQ. FT. (28.0%)
PARKING =	45 CARS

SITE SUMMARY



— WORK ORDERED BY —
NEIL GILL REST ROAD
LAKE GENEVA, WI 53147

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS	

PROJECT NO.	9812.17
DATE	11/16/2017
SHEET NO.	1 OF 1

REVISION/PLOT DATE:

**LAKE GENEVA PLAZA LANDSCAPING CALCULATIONS
(PLANNED BUSINESS = PB)**

- 1. (98-604) BUILDING FOUNDATIONS:
4,000 LF = 4 X 40 LANDSCAPE POINTS (LP) = **160 LP**
 - 2. (98-605) GROSS FLOOR AREA/DEVELOPED LOT:
11,383 SF = 11.4 X 10 = **114 LP**
 - 3. (98-606) STREET FRONTAGE
300 LF = 3 X 40 (50% Climax/30% Medium Trees) = **120 LP**
 - 4. (98-607) PAVED AREAS
51,837 SF = 5.2 X 80 = **+ 416 LP**
(Also 30% Climax Plus 40% Shrubs)
- Required 810 LP**

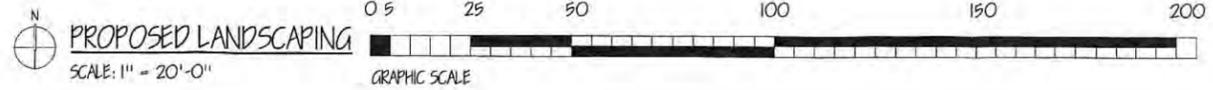
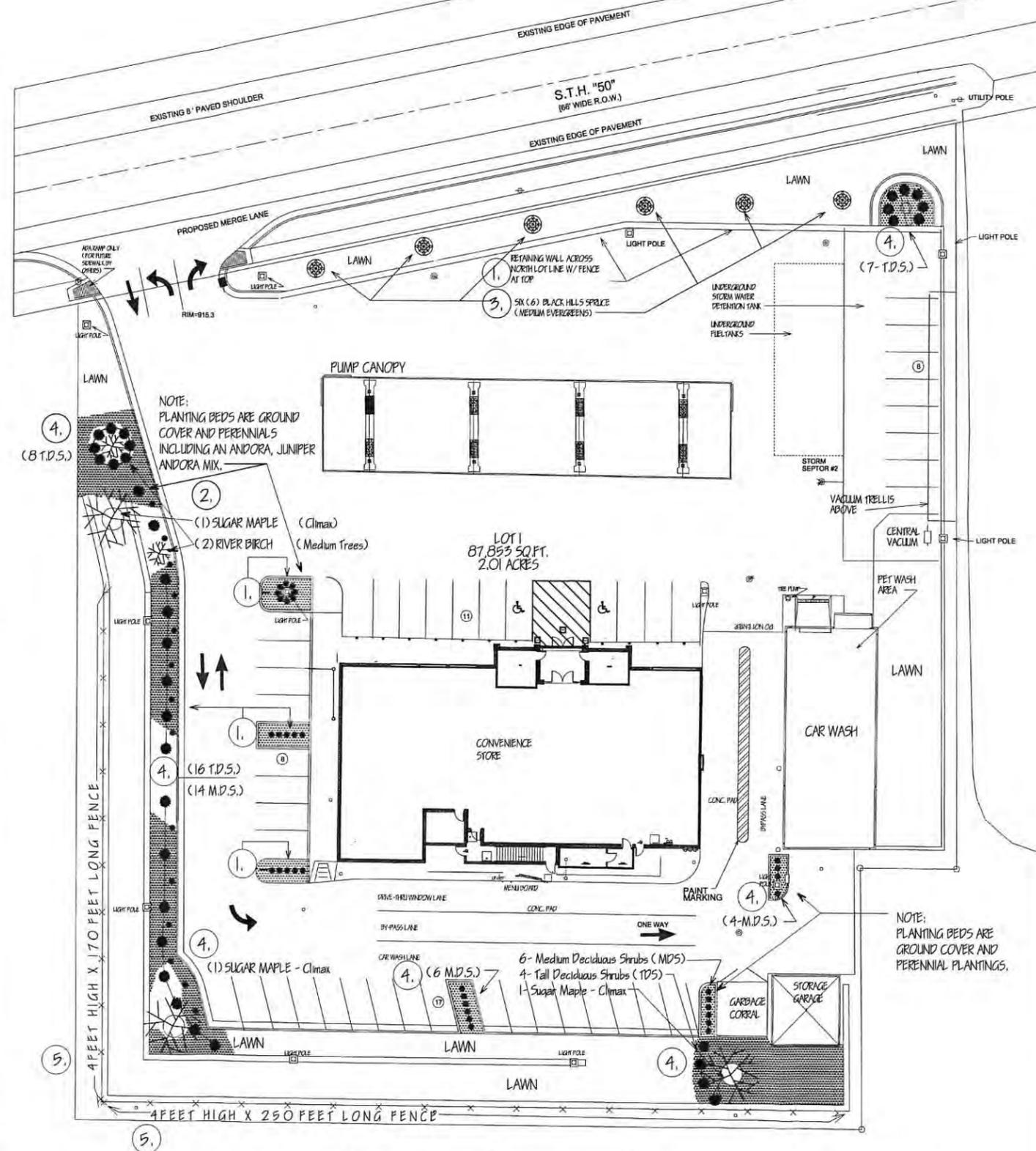
SOLUTIONS:

- 1. **FOUNDATION LANDSCAPING: (160 LP Required)**
Assuming multifamily Residential at Hillmoor Property - 200 ft retaining wall @ 133 LP/100 = **266 LP**.

(Foundation Landscaping is provided at the West Elevation of the Building at three locations, plus the planting beds adjacent to the west lower retaining wall. The Hwy 50 retaining wall will elevate the building pad as much as 8 feet plus safety rail above street level which will provide the 6 feet visual screen.)
- 2. **GROSS FLOOR AREA/DEVELOPED LOT: (114 LP Required)**
One 75 LP Climax Tree / 2 -20 LP Medium Trees = **115 LP**
- 3. **STREET FRONTAGE: (120 LP Required)**
Six (6) Medium Evergreen Trees = 6 x 20 = **120 LP**
- 4. **PAVED AREAS: (416 LP Required)**
2 Climax Trees (150 LP) / 35 Tall Deciduous Shrubs (175 LP) / 30 Medium Deciduous Shrubs (90 LP) = **415 LP**
- 5. **BUFFER REQUIREMENTS BETWEEN ZONING CLASSIFICATIONS:**
PLANNED BUSINESS VS PLANNED OFFICE (EAST BORDER) :
0.1 OPACITY REQUIREMENT OF 170 FT OF 4 FOOT WOOD FENCE SOLUTION @ 62 LP / 100 FT = **105 LP**

PLANNED BUSINESS VS RESIDENTIAL (SR-4) (SOUTH BORDER)
0.4 OPACITY REQUIREMENT 250 FT OF 4 FOOT WOOD FENCE SOLUTION @ 362 LP / 100 FT = **905 LP**

LANDSCAPE POINT RECAP : 1,926 LP Provided VS 810 Required



REVISIONS	BY

DRAWN BY JFK
CHECKED BY JFK
DATE 01-09-18
SCALE 1" = 20'-0"

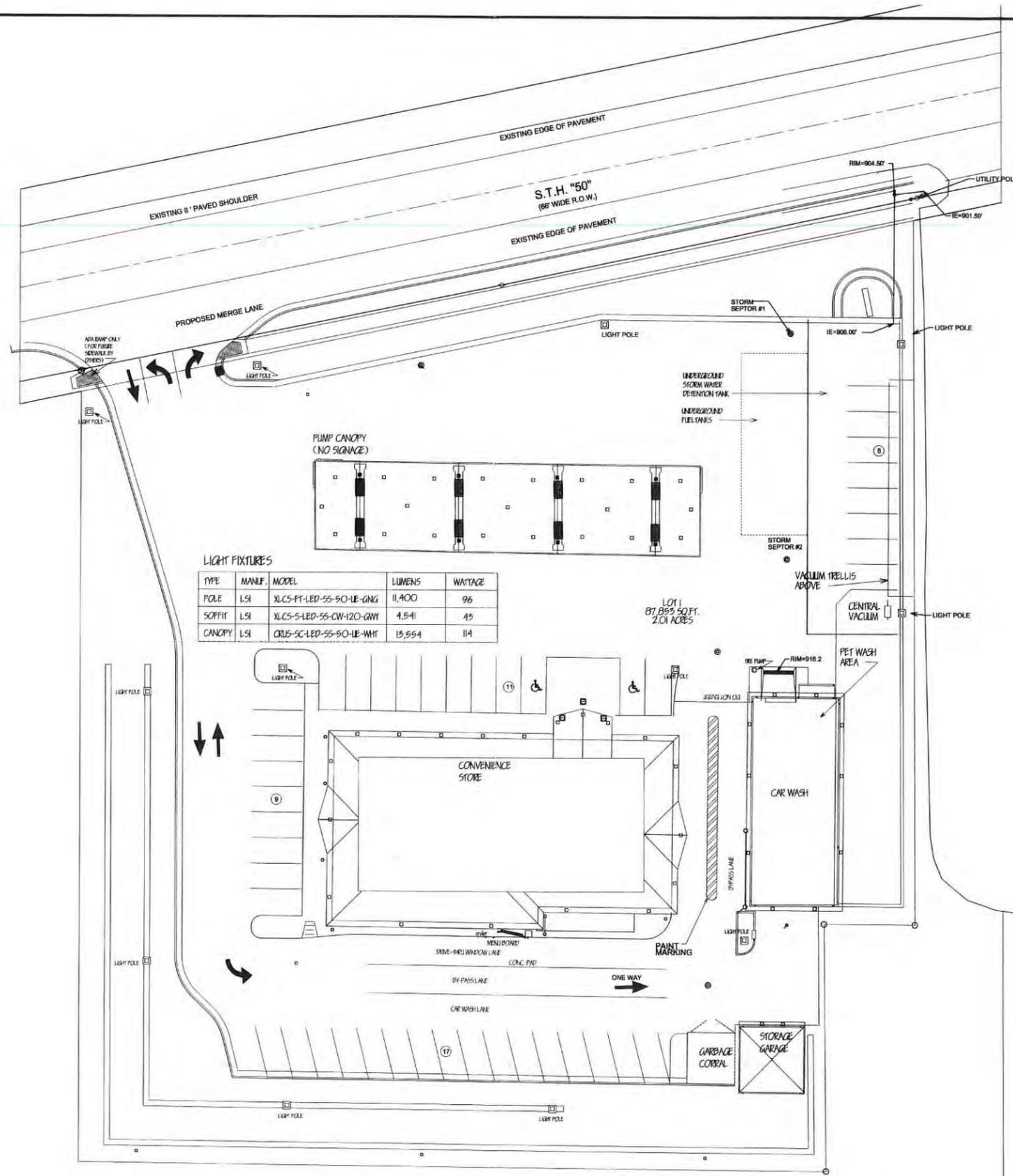
LAKE GENEVA PLAZA
190 EAST MAIN STREET (HIGHWAY 50)
CITY OF LAKE GENEVA, WISCONSIN 53147

Kopecky Architects + Associates
236 HWY 50 — Delavan, WI 53115
(262) 740-9175 Voice — (262) 740-9175 Fax

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PROJECT NO. 2017003
SHEET NO. LS-1 OF
PAGE NO. LS-1.01
FILE NO. F-2017003/M-0003

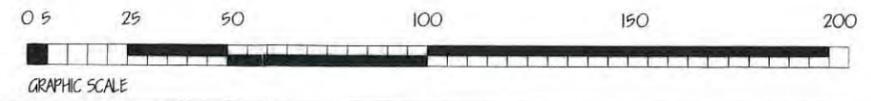
REVISION/PLOT DATE:



LIGHT FIXTURES

TYPE	MANUF.	MODEL	LUMENS	WATTAGE
POLE	L.S.I.	XLCS-PF-LED-55-50-UE-GNG	11,400	96
SOFFIT	L.S.I.	XLCS-S-LED-55-CW-120-GWT	4,541	45
CANOPY	L.S.I.	CRIS-SC-LED-55-50-UE-WHT	13,554	114

N
PROPOSED LIGHTING
 SCALE: 1" = 20'-0"



REVISIONS	BY

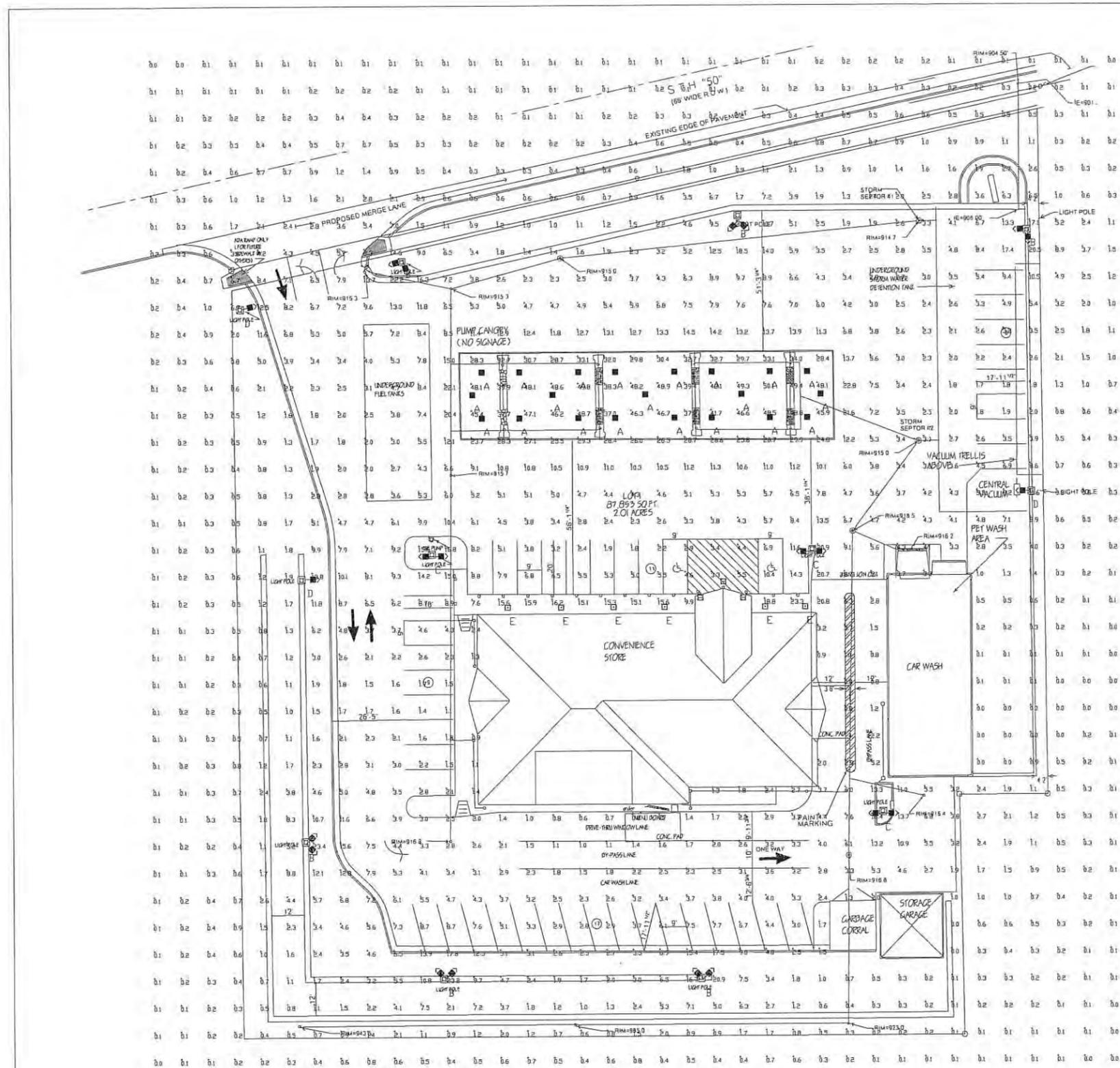
DRAWN BY
JFK
 CHECKED BY
JFK
 DATE
12-12-17
 SCALE
1" = 20'-0"

LAKE GENEVA PLAZA
 190 EAST MAIN STREET (HIGHWAY 50)
 CITY OF LAKE GENEVA, WISCONSIN 53147

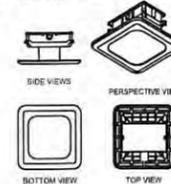
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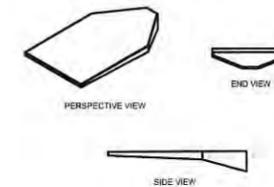
PROJECT NO.
2017003
 SHEET NO.
L1 OF
 PAGE NO.
L-1.01
 FILE NO.
F-2017003/M-0002



**CRUS-SC-LED
LED CANOPY LIGHT - LEGACY**



**XLCS
LED Area Light**



**XSL2-S-50
LED Soffit**



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS AT GRADE	Illuminance	Fc	4.68	50.1	0.0	N.A.	N.A.
CANDY SUMMARY	Illuminance	Fc	37.34	50.1	23.7	1.58	2.11
PARKING AND DRIVE SUMMARY	Illuminance	Fc	5.69	23.3	0.6	9.48	38.83

Drawing scaled or converted from PDF file or Google Maps image. Dimensions are approximate.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	LLF	Arr. Lum. Lunens	Arr. Watts
[Symbol]	21	A	SINGLE	CRUS-SC-LED-SS-50-15' MH	1.000	13674	97.9
[Symbol]	6	B	2 @ 90 DEGREES	XLCS-FT-LED-HO-CW-D90 DN 20' POLE + 2' BASE	1.000	31070	277.2
[Symbol]	3	C	D180°	XLCS-FT-LED-HO-CW-D180 DN 20' POLE + 2' BASE	1.000	31070	277.2
[Symbol]	3	D	SINGLE	XLCS-FT-LED-HO-CW-SINGLE DN 20' POLE + 2' BASE	1.000	15535	138.6
[Symbol]	6	E	SINGLE	XSL2-S-LED-50-SS-CW - 12' MH	1.000	6193	59.9

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

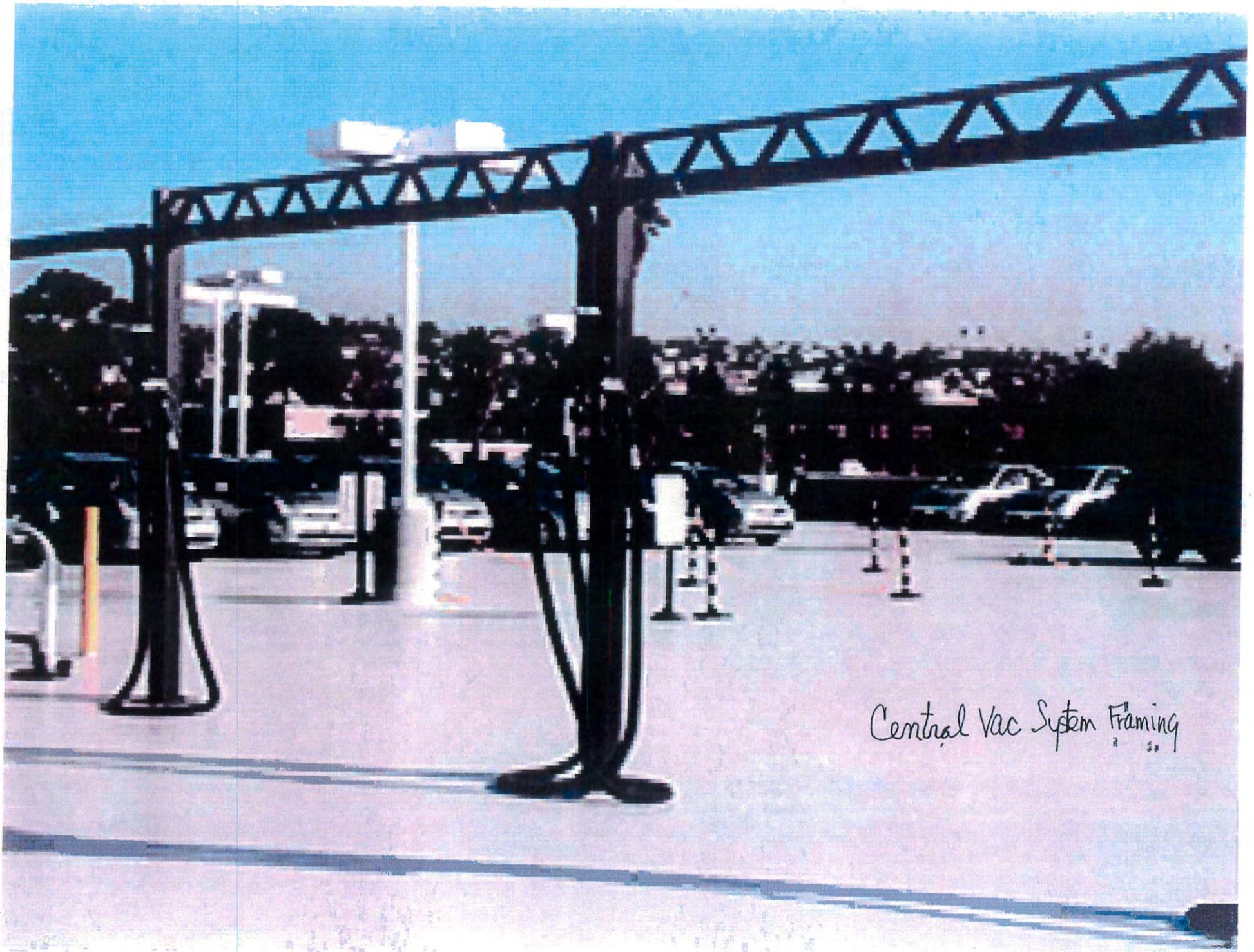
This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 3325/902

LIGHTING PROPOSAL LQ-140883
LAKE GENEVA PLAZA
190 E MAIN ST.
LAKE GENEVA, WI

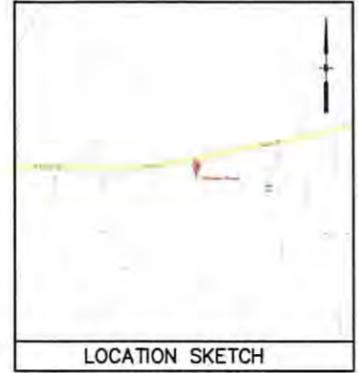
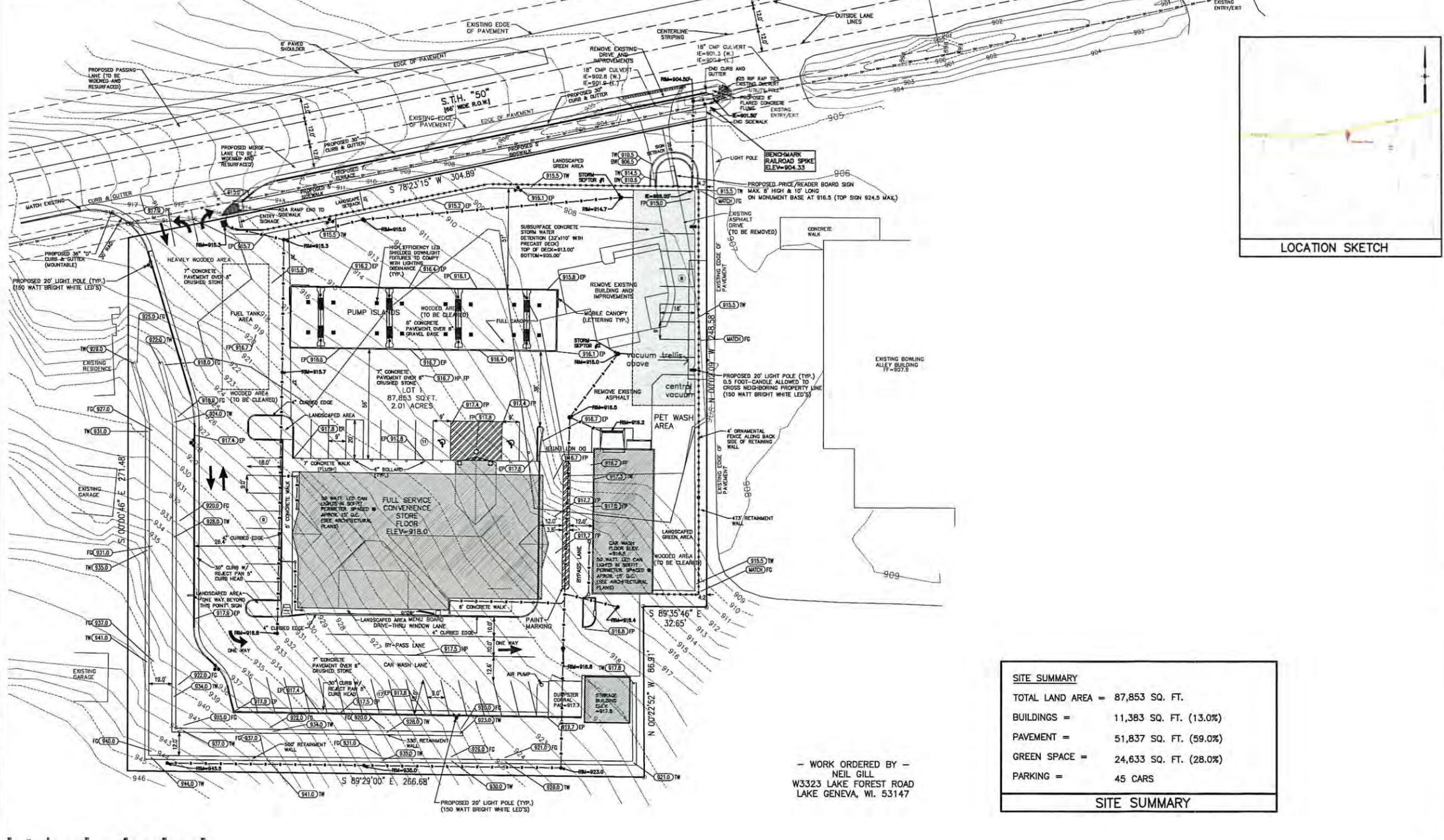
DATE: 02/14/17
SCALE: 1"=20'

SHEET 1 OF 1



Central Vac System Framing

PROPOSED	EXISTING	PROPOSED	EXISTING
FOUND IRON PIPE STAKE	○	WATER MAIN	—
FOUND IRON REBAR STAKE	●	GAS MAIN	—
FOUND CONCRETE COUNTY MONUMENT	□	OVERHEAD WIRES	—
RECORDED AS	—	UNDERGROUND WIRES	—
SET IRON REBAR STAKE	○	TELEPHONE LINE	—
SANITARY MANHOLE	○	1' CONTOURS	—
DRAINAGE MANHOLE	○	SPOT ELEVATION	—
CATCH BASIN	○	PAVEMENT	—
WATER VALVE IN BOX	○	BUILDING BOX	—
FIRE HYDRANT	○	TOP OF CURB/CONCRETE	—
WATER VALVE VAULT	○	EP	—
WELL	○	EP	—
UTILITY POLE	○	M.E.	—
LIGHT POLE	○	F/F	—
DECAIDUOUS TREE (DESCRIPTION AND SIZE)	○	TM	—
CONIFEROUS TREE (DESCRIPTION AND SIZE)	○	DN	—
TREELINE	—	FP	—
SOILS BOUNDARY (COUNTY DATA)	—	FD	—
WOOD STOCKADE FENCE	—	SILT FENCE	—
WIRE FENCE	—	EROSION MAT OR EQUIVALENT	—
STORM SEWER	—		
SANITARY SEWER	—		



SITE SUMMARY

TOTAL LAND AREA = 87,853 SQ. FT.

BUILDINGS = 11,383 SQ. FT. (13.0%)

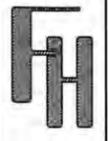
PAVEMENT = 51,837 SQ. FT. (59.0%)

GREEN SPACE = 24,633 SQ. FT. (28.0%)

PARKING = 45 CARS

SITE SUMMARY

— WORK ORDERED BY —
NEIL GILL
W3323 LAKE FOREST ROAD
LAKE GENEVA, WI. 53147



LAKE GENEVA PLAZA
CITY OF LAKE GENEVA, WALWORTH COUNTY WISCONSIN

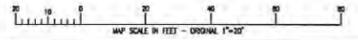
SITE GRADING DRAINAGE AND EROSION CONTROL PLAN
LOCATED IN THE SW 1/4 OF THE N/W 1/4 OF SECTION 31, SECTION 31, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY WISCONSIN

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGEWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-6886

12/17/2017 - 30
ADDED LIGHTING FIXTURES AND WELLS NOTES

PROJECT NO.
9812.17
DATE
11/16/2017
SHEET NO.
1 OF 1

K:\Projects\171717\171717.dwg 17:50:00 11/16/2017

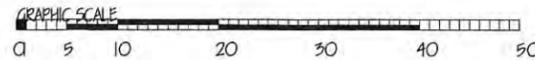
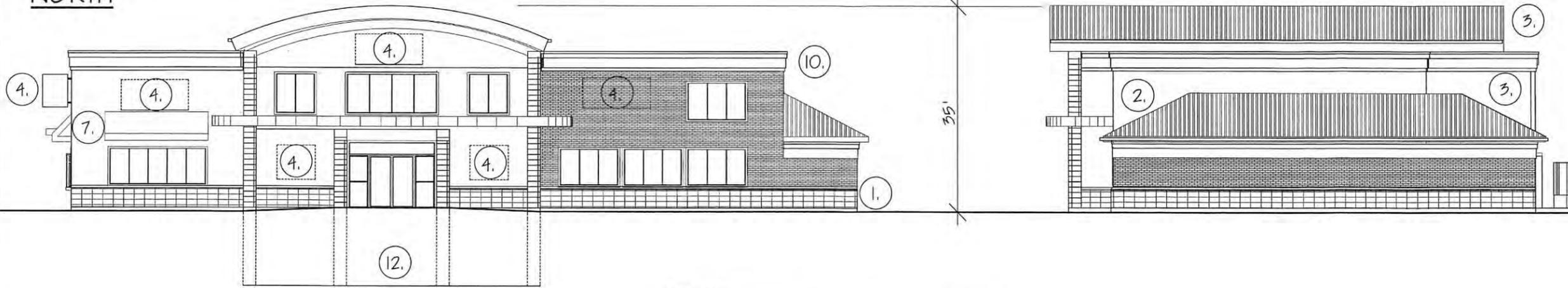


BUILDING ELEVATIONS

REVISION/PLOT DATE:

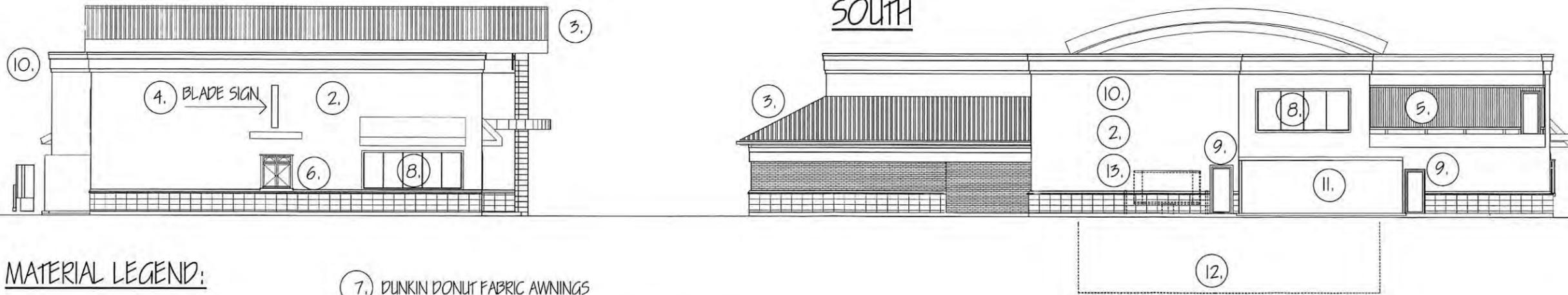
NORTH

WEST



EAST

SOUTH



MATERIAL LEGEND:

- ①. SPLIT-FACED MASONRY
- ②. BRICK MASONRY OR SYNTHETIC STUCCO
- ③. METAL ROOFING
- ④. SIGNAGE
- ⑤. ROOFTOP EQUIPMENT SCREEN
- ⑥. DRIVE-UP WINDOW
- ⑦. DUNKIN DONUT FABRIC AWNINGS
- ⑧. ALUMINUM FRAMED STOREFRONT GLAZING/ DOORS
- ⑨. PAINTED METAL DOORS
- ⑩. SYNTHETIC STUCCO FACIA BAND
- ⑪. WALK-IN COOLER AT REAR OF BUILDING
- ⑫. BASEMENT
- ⑬. DRIVE-UP MENU BOARD

REVISIONS	BY

DRAWN BY	JFK
CHECKED BY	JFK
DATE	01-10-18
SCALE	1/8" = 1'-0"

LAKE GENEVA PLAZA
 190 EAST MAIN STREET (HIGHWAY 50)
 CITY OF LAKE GENEVA, WISCONSIN 53147

KopecyArchitects + Associates
 236 HWY 50 -- Delavan, WI 53115 -- (262) 740-9175
 E-mail: kopecyarchitects@gmail.com

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PROJECT NO.	2017003
SHEET NO.	4 OF
PAGE NO.	A-4.01
FILE NO.	F-2017003/M-0004