

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING
MONDAY MAY 21, 2018 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Amended Agenda - B

1. Meeting called to order by Tom Hartz.
2. Roll Call.
3. Approve Minutes of the April 16th Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. **Downtown Design Review:**
 - a. **Application by Oakfire Properties LLC, for the Oakfire Restaurant, a request to change the front façade and install a roll up ½-wall with windows, located at 831 Wrigley Dr., Tax Key No. ZOP00340.**
7. Continued Review and Recommendation of a Land Division, for a Condominium Plat, to create two condominium lots for an existing duplex building currently located on South Stone Ridge Drive at 530 & 532 South Stone Ridge Drive situated in the Two-Family Residential – 6 (TR-6) zoning, filed by Judith E. Castleman, 530 South Stone Ridge Drive, Lake Geneva, WI 53147 Tax Key Nos. ZSR00066.
8. Public Hearing and Recommendation on an application for a Conditional Use Permit filed by Ryan Finley, 805 Cumberland Trail, Lake Geneva, WI 53147 to install a 48” fence along the property line abutting Townline Road. The property zoned SR-4 and allows for a maximum street side fence height of 36” & 60% opaqueness. Tax Key No. ZTT00041.
9. Public Hearing and Recommendation on an application for a Conditional Use Permit filed by Renee T. Wu, 527 Forest Glen Dr, Fontana, WI 53125 to operate a restaurant located at 239 Cook Street, Lake Geneva, WI 53147 located in the Central Business (CB) zoning, Tax Key No. ZOP00253.

<p>Added Item #6 – Downtown Design Added Item #15 – CSM Review</p>
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10. Public Hearing and Recommendation on an application for a Conditional Use Permit filed by William and Carol Dick, 723B Geneva Street, Lake Geneva WI, 53147 to operate a Commercial Indoor Lodging at 723 Geneva Street, located in the Central Business (CB) zoning, Tax Key No. ZOP000158.
11. Public Hearing and Recommendation on an application for a Conditional Use Permit filed by Lake Geneva Plaza LLC, W3323 Lake Forest Drive, Lake Geneva, WI 53147, to allow for the construction on a Convenience Store, Fueling Station, Dunkin Donuts, Restaurant, and Car Wash at 190 E. Main Street, Lake Geneva, WI 53147 located in the Planned Business (PB) zoning district with an In-vehicle Sale or Services zoning land use, Tax Key No. ZA370600001.
12. Public Hearing and Recommendation on an application for a General Development Plan for the Hampton Inn located at 1111 N. Edwards Blvd, filed by 1111 N. Edwards Blvd LLC, to construct a 5 story, 92 unit, Hampton Inn hotel at the South East corner of the Sheridan Springs Rd and North Edwards Blvd intersection adjacent to the Highway 12 corridor. Located in the Planned Industrial (PI) zoning district, Tax Key Nos. ZA468000003 & ZA468000004.
13. Public Hearing and Recommendation of an amendment to the Precise Implementation Plan (PIP) for property located in the Summerhaven of Lake Geneva Condominiums located on Lake Geneva Blvd, filed by McMurr II LLC. The request is to amend the existing PIP to complete Phase 1 of the development. Overlapping Multiple Tax Key Nos. ZSUM00101 – ZSUM00247.
14. Conceptual Plan for the proposed subdivision of 17.14 acres of land to be called The Vista of Lake Geneva, located south of LaSalle Street and west of Woodridge Ct, by Omega Homes, 210 O'Connor Dr., Elkhorn, WI 53121. The request is to develop the property into a higher density single family development than currently permitted, using Planned Development zoning. Tax Key No. ZA424700001.
15. Review and Recommendation for a Certified Survey Map (CSM) Land Division for the applicant Dodge Street Properties LLC, 500 Stone Ridge Drive, Lake Geneva, WI 53147, to divide the property zoned SR-4 for, 2 lots as .98 acres and 1 parcel at 1.09 acres located to the north of Dodge Street, and west of Freemont Ave located in the SR-4 zoning district. Tax Key No. ZYUP00053.
16. Discussion regarding fence installation at property known as the Downtowner located at 640 West Main Street, Lake Geneva, WI 53147. Tax Key No. ZOP00306.
17. Discussion/Action regarding opening the annual plan amendment process and review of draft public participation plan to amend the City of Lake Geneva's Comprehensive Plan.
18. Adjournment

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

Posted 5/18/2018

**PLAN COMMISSION MEETING
MONDAY, APRIL 16, 2018 – 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Mayor Kupsik called the meeting to order at 6:03 p.m.

Roll Call. Present: Mayor Kupsik, Alderman Doug Skates, Sarah Hill, Ted Horne, Tyler Frederick. Absent (Excused): John Gibbs, Ann Esarco, and Building and Zoning Administrator Walling. Also Present: City Planner Slavney, City Attorney Draper, City Administrator Oborn, Utility Director Gajewski, Building & Zoning Administrative Assistant Follensbee.

Approve Minutes of the March 19th Plan Commission meeting as distributed.

Horne/Skates motion to approve. Motion carried unanimously.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will to be limited to 5 minutes.

None.

Acknowledgement of Correspondence.

Correspondence was received from Charlene Klein, 817 Wisconsin Street, in favor of the Conditional Use Permit for Horticultural Hall which was distributed to the Plan Commission.

Downtown Design Review

6.A. Application by Harbor Shores Resort, to replace the existing balcony railings with a change to the existing color at 300 Wrigley Drive. Tax Key Nos. ZHC00101 – ZHC00526.

Clint Walsh, Corporate Contractors, on behalf of Harbor Shores, presented the request to change the railing from steel to aluminum with a bronze finish.

Kupsik/ Frederick motion to approve and include all staff recommendations and fact finding.
Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

6.B. Application by Tara Pippin, 33601 Franklin Street, Burlington, WI, to recover an awning frame above the entrance of the business, The Hive, located in the lower level, at 755 W Main Street. Tax Key No. ZOP00269.

Diane Koen, on behalf of Tara Pippin, presented their request.

Horne/Kupsik motion to approve and include all staff recommendations and fact finding.
Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

6.C. Application by Michael Cohen, 214 Broadway, Wisconsin Dells, WI, to change an awning store front for the T-Shirt Center at 756 W Main Street. Tax Key No. ZOP00320.

Linda Stevenson, Northrop Awning Co, presented the request. Commissioner Hill asked for clarification for black and white colors for Downtown Design. Planner Slavney confirmed that the color black is acceptable.

Skates/Horne motion to approve and include all staff recommendations and fact finding.
Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

7. Review and Recommendation on a Condominium Plat, for a Land Division to create two condominium lots at an existing duplex building currently located at 530 & 532 South Stone Ridge Drive, situated in the Two-Family Residential – 6 (TR-6) zoning, filed by Judith E. Castleman, 530 South Stone Ridge Drive, Lake Geneva, WI 53147. Tax Key No. ZSR00066.

Ted Johnson, Godfrey Law Offices, presented the request. City Administrator Oborn stated two separate water services are needed for the two condo units. Utility Director Gajewski verified the separate services are needed for ownership and maintenance should the units become two separate parcels.

Skates/ Horne motion to continue item #7 to amend the documents and separate the existing water services for each condo unit to the satisfaction of the Utilities Director.

Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

8. Review and Recommendation of a Certified Survey Map (CSM) for a Land Division for Kim Pischke of Core Commercial Inc. on the property located at 751 Geneva Parkway, to create three Lots that are 1.54, 1.51 acres and 2.54 acres, respectively with required easements on Tax Key Nos. ZGBC00001, ZGBC00001A, ZGBC00002.

Ryan Cardinal, Cardinal Engineering, on behalf of Core Commercial Inc, presented the CSM for Land Division. Administrator Oborn shared the concern regarding the separation and designating the water line as public on an amended CSM provided tonight at this meeting. The agreement has language which needs to be corrected regarding some access easements. Oborn said there are concerns for the Economic Development Corporation. Planner Slavney stated this CSM is linked to the site plans on the next 3 agenda items. Slavney suggested the CSM approval should be contingent upon on the approval of the 3 site plans.

Alderman Skates addressed the property’s access to Geneva Parkway. Skates reiterated the city staff’s recommendation to limit or cut off access through Keefe’s parking lot to Geneva Parkway. The Fire Department stated the driveway on the east side of the property and the Wal-mart entrance is all that is required. Administrator Oborn said the city staff shared their concerns of the driveway through Keefe’s parking lot and the applicant chose to keep their proposal as shown. Kim Pischke, of Core Commercial Inc, had a traffic study done on the area surrounding this site & introduced Traffic Engineer, John Bieberitz, of Traffic Analysis Design, who presented his findings. Oborn said Public Works had concerns with the island on Geneva Parkway being close to the driveway entering Keefe’s property. Skates also asked if the study considered the Symphony Bay subdivision being developed south of this property as well as apartments which have been approved the last 2 months. Bieberitz said another traffic study was done for the use of only the eastern driveway as an access point and confirmed the eastern driveway option was sufficient from a traffic operations standpoint.

Kupsik/Horne motion to approve the CSM contingent upon the language change, agreement with the Utility Department and approval of agenda items 9, 10, 11.

Skates/Frederick made an amendment to the original motion of the CSM, limiting access to the existing office building parking lot, by using the southern line of the driveway coming from the east shown on the current site plan drawing C-2, as a cut-off point.

Roll Call for amendment: Kupsik, Skates, Frederick voting “yes.” Hill and Horne voting “no.” Motion carried.

Roll Call for original motion including the amendment: Kupsik, Skates, Frederick voting “yes.” Hill and Horne voting “no.” Motion carried.

9. Review and Recommendation on a site plan review for Lot 1 that is 1.54 acres with required easements on a Certified Survey Map (CSM) proposed by Kim Pischke of Core Commercial Inc. on the property located at 751 Geneva Parkway, Tax Key Nos. ZGBC00001, ZGBC00001A, ZGBC00002.

Ryan Cardinal, Cardinal Engineering, on behalf of Core Commercial Inc, presented the site plan for Lot 1. Administrator Oborn recommended amending the CSM so the driveway to the north of Keefe’s parking lot is on the other lot. Planner Slavney said the staff report was written based on the current site plan. Slavney suggested a recommendation for the site plan to be modified to create a landscaped boundary at the north end of parking lot in Lot 1. Oborn recommended it be contingent upon the CSM in item 8. Draper clarified the CSM is approved by the City Council and the Site Plan is approved by the Plan Commission only.

Skates/Kupsik motion to approve the site plan for Lot 1 with required easements on the CSM to include modified landscaping to create a buffer on the north side of the parking lot, contingent upon consistency with the CSM on item #8 and include all staff recommendation and fact finding.

Roll Call: Kupsik, Skates, Frederick voting “yes.” Hill voting “no.” Horne abstained. Motion carried.

10. Review and Recommendation on a site plan review for Lot 2 that is 1.51 acres with required easements on a Certified Survey Map (CSM) proposed by Kim Pischke of Core Commercial Inc. on the property located at 751 Geneva Parkway, Tax Key Nos. ZGBC00001, ZGBC00001A, ZGBC00002.

Ryan Cardinal, Cardinal Engineering, on behalf of Core Commercial Inc, presented the site plan for Lot 2 which meets all setback, parking and landscaping requirements. Administrator Oborn stated Lot 2 is for one tenant at this time, but if another tenant is added, a Conditional Use Permit would be required. Planner Slavney recommended 3 requirements for the 2nd retail building: (a.) The lowest point in a parapet must be as high as the highest rooftop mechanical; (b.) Metal panels need concealed fasteners; (c.) If two or more tenants occupy the 2nd retail building, a Conditional Use Permit is required.

Skates/Kupsik motion to approve the site plan for Lot 2 with required easements on the CSM, contingent upon consistency with the CSM on item #8, (a.) The lowest point in a parapet must be as high as the highest rooftop mechanical; (b.) Metal panels need concealed fasteners; (c.) Retail Building #2 is limited to a single business. If two or more tenants occupy Retail Building #2, a Conditional Use Permit is required, and to include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

11. Review and Recommendation on a site plan review for Lot 3 that is 2.54 acres with required easements on a Certified Survey Map (CSM) proposed by Kim Pischke of Core Commercial Inc. on the property located at 751 Geneva Parkway, Tax Key Nos. ZGBC00001, ZGBC00001A, ZGBC00002.

Steve Schulfer, Sketchworks Architecture, on behalf of Core Commercial Inc, presented the site plan for Lot 3. Planner Slavney shared concern for 3 trees located on the east side of lot, suggesting an alternative location and stated the parapet will be required around the entire Ross building.

Kupsik/Skates motion to approve the site plan for Lot 3 with required easements on the CSM, contingent upon consistency with the CSM on item #8, (a.) The lowest point in a parapet must be as high as the highest rooftop mechanical with the parapet being required around the entire Ross Building; (b.) Relocate 3 trees from the east side of the lot to somewhere between the front of the building and Edwards Blvd, and requiring a revised landscaping plan; (c.) Metal panels need concealed fasteners, and to include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

12. Review and Recommendation of a Certified Survey Map (CSM) for Serendipity and Sunsets LLC, PO Box 649, Cary, IL 60013, c/o R.W. Torhorst to make a lot line adjustment for the property located at 962 Mariane Terrace. Tax Key No. ZSY00016.

Richard Torhorst, attorney for the applicant, presented the request which would include a 6 foot easement on the southern portion of the parcel. Staff discussed the need to note the private easement on the CSM.

Kupsik/Skates motion to approve CSM to make a lot line adjustment, to include a note on the survey acknowledging the existence of a possible easement and include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

13. Public Hearing and Recommendation on a Conditional Use Permit filed by Serendipity and Sunsets LLC. PO Box 649, Cary, IL, 60013, c/o R.W. Torhorst, for the demolition and new construction of a single family residence located at 962 Mariane Terrace. Property is located within the Estate Residential – 1 (ER-1) zoning district and applicant requests to utilize the Single Family–4 (SR-4) zoning. Tax Key No. ZSY00016.

Scott Lowell, Lowell Custom Homes, on behalf of Serendipity and Sunsets LLC, presented the request.

Speaker#1 Walter Bell, 938 Mariane Terrace, shared concern of the unresolved drainage issue at the present time and asks that the current drainage issue not be made worse with this project.

Hill/Frederick motion to close the public hearing. Motion carried unanimously.

Hill/Horne motion to approve Conditional Use Permit and include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

14. Public Hearing and Recommendation to amend the existing Precise Implementation Plan filed by Geneva Theater, 244 Broad Street, Lake Geneva, WI, 53147, to allow for the installation of an exterior walkup concessions and ticket sales, hanging sign, & sandwich board sidewalk sign located in the Central Business (CB) zoning district. Tax Key No. ZOP00246, ZOP000247, & ZOP000248.

Shad Branen, Lake Geneva Theatre at 244 Broad Street, presented his request which included a wall sign to display movie titles, but not mentioned on the agenda. Slavney stated a hanging sign is permitted by Public Works ordinance since it is in the ROW. However the sandwich board is not allowed per the municipal code but our zoning code does allow a sign with variable messages on the front wall of the building.

Hill/Horne motion to close the public hearing. Motion carried unanimously.

Hill/Skates motion to amend the PIP for an exterior walkup concessions and ticket sales window, a hanging sign and an affixed wall sign, and include all staff recommendations and fact finding. This amendment does not allow a sandwich board sign.

Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

15. Public Hearing and Recommendation on a Conditional Use Permit filed by Austin Pier Services Inc., applicant Darrell Frederick, for the owner Peggy Roth Trust 837 Bayview Drive located in the Estate Residential (ER-1) zoning, Lake Geneva, WI 53147, to construct a new Pier for George & Peggy Roth located at 837 Bayview Drive. Tax Key No. ZGR00007.

Tyler Frederick recused himself from this agenda item. Planner Slavney presented the request, noting the Plan Commission reviews pier requests in addition to the DNR review. The proposed facilities meet our pier and setback requirements. Slavney recommends approval of the CUP contingent on the DNR approval.

Kupsik/Hill motion to close the public hearing. Motion carried unanimously.

Kupsik/Skates motion to approve the Conditional Use Permit and include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Horne voting “yes.” Frederick abstained. Motion carried.

16. Public Hearing and Recommendation on a Conditional Use Permit amending an existing site plan for the Farmers Market for the Horticultural Hall located at 330 Broad Street, applicant Sean Payne, 127 Summer Street, Genoa City, WI 53128. The proposed site plan to include the use of the public alley located in the Central Business (CB) zoning from April to October every Thursday and allow for the sales of homemade, home grown products: cheese vegetables, bread, fruit, flowers, hummus, oils, crapes, empanadas, sauces, desserts, popcorn, seafood, coffee, and crafts. Tax Key No. ZOP000163.

Sean Payne, 127 Sumner, Genoa City, presented the request. Payne clarified the Farmers Market takes place from April through October, not to October. Administrator Oborn stated this permit has gone through the Public Works Committee due to the ROW and alley which concluded with all staff in agreement.

Hill/Horne motion to close the public hearing. Motion carried unanimously.

Hill/Skates motion to approve Conditional Use Permit to include the use of the public alley and include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

17. Public Hearing and Recommendation on a Zoning Map Amendment for the property located at 100 North Edward Blvd. for TC Productions LLC. The request is to change the current zoning from Planned Development (PD) to Planned Business (PB). Tax Key No. ZA196100004.

Peter Juergens, 2689 Sunset Blvd, on behalf of TC Productions LLC, present the request. Planner Slavney stated this request meets requirements of the Planned Business zoning and is consistent with other business zoning along Edwards Blvd. and the Comprehensive Plan.

Kupsik/ Horne motion to close the public hearing. Motion carried unanimously.

Kupsik/Horne motion to approve the Zoning Map Amendment and include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

18. Public Hearing and Recommendation on a Conditional Use Permit by TC Productions LLC for the property located at 100 North Edwards Blvd., to construct a new commercial building to be used as a Commercial Indoor Entertainment (Magic Theater) land use classification section 98-206(4)(h). Tax Key No. ZA196100004.

Pete Juergens, 2689 Sunset Blvd, on behalf of TC Productions LLC, presented the request. Juergens explained the exterior building materials to be used including stone work and horizontal lap siding. The applicant requested a change in the building material, from vertical corrugated steel to lap siding, since the ordinance prohibits exposed fasteners, which was needed for the corrugated steel installation.

Speaker #1: John Koons, 7243 Lawton Avenue, property owner west of the project location, was concerned about privacy and was interested in what will be done with the west side of the site and phase 2 of this project.

Speaker #2: Gary Dunham, 614 Sage Street, also working with applicant, said the future limitations on this site states much of the parking lot is necessary for the Magic Theatre and the future tenant size will be limited as well.

Kupsik/Hill motion to close the public hearing. Motion carried unanimously.

Hill/Skates motion to approve Conditional Use Permit and include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

19. Public Hearing and Recommendation of a proposed Ordinance Regulating Tourist Rooming Houses / Residential Short Term Rentals.

Planner Slavney summarized the proposed Tourist Rooming House/ Residential Short Term Rentals Ordinance. Slavney reiterated the Common Council will set the fees for this Ordinance.

Speaker #1: Doug Wheaton, 1516 N Country Club Pkwy, Elkhorn, on behalf of the Board of Directors of the Lakes Area Realtors Association, shared support of City regulation but asks the fees to be reasonable. Wheaton also requested specific regulations based on other municipalities.

Kupsik/Horne motion to close the public hearing. Motion carried unanimously.

Kupsik/Horne motion to approve the proposed ordinance regulating Tourist Rooming Houses/Residential Short Term Rentals and include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting “yes.” Motion carried unanimously.

Adjournment. Hill/Kupsik motion to adjourn at 8:48 pm. Motion carried unanimously.

/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 21, 2018

Agenda Item #6

Applicant:
Oakfire Properties LLC.
831 Wrigley Dr.
Lake Geneva, WI53147

Request:
831 Wrigley Dr.
Downtown Design Review for exterior façade
change to install a rollup ½-wall windows
Tax Key No. ZOP00340

Description:
The applicant is submitting an application for Downtown Design Review for the request to change the exterior façade and install a ½-wall with identical window that are currently on the front building located at 831 Wrigley Drive Street Tax Key No. ZOP00340. The City reviews all exterior alteration in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

Staff Recommendations:
The colors submitted have been reviewed and comply with the Historic Colors of the Sherwin Williams color palette. The proposed renovation meets the requirements of the Downtown Design Overlay Zoning district as proposed.

Staff recommends *approval* of the item as submitted.



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

831 Wrigley Drive

Name & Address of Current Building Owner:

David Scotney
1551 Orchard Lane
Lake Geneva WI

Telephone Number of Current Building Owner: 312 451 1494

Email Address:

Name & Address of Applicant:

David Scotney
1551 Orchard Lane
Lake Geneva WI 53147

Telephone Number of Applicant:

Email Address:

Proposed Design Change:

Replacing 3 sets of windows with
identical windows that raise up.

Zoning District:

Names & Address of Architect, Engineer, and/or Contractor of Project:

Pete Juvancus
414-588 2904

Description of Project:

Replacing 3 sets of windows
with identical windows that raise up.

Date:

5/17/18

Signature of Applicant:



These three columns
open up.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 21, 2018

Agenda Item:6

Applicant:

Judith E. Castleman
530 Stone Ridge Drive
Lake Geneva, WI 53147

Request:

Condominium Plat land division
review 530 & 532 Stone Ridge
Drive Tax Key No. ZSR00066

Description:

This request is for a land division of an existing duplex property with an existing duplex building currently located at the above addresses of 530 & 532 Stone Ridge Dr. The applicant is looking at the future sale of the property as condominium use sale.

The parcel included in this Condominium Plat request is:
Tax Key No. ZSR00066

The result of this land division will create 2 individual lots consisting with a properly built -0- lot-line constructed buildings.

Site Plans Prepared by: Farris, Hansen, & Associates

Project: 6041.66

Dated: 03/07/2018

Project Details from Condominium Plat Submittal dated March 19, 2018:

The proposed land division drawing is provided identifying the 2 lots located on Stone Ridge Drive Lane which will divide the parcel equally with adequate street frontage.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Condominium Plat Application:

As part of the consideration of the requested Condominium Plat the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CSM.

Staff Recommendation on the proposed Certified Survey Map (CSM):

1. Staff recommends that the Plan Commission recommend *approval* of the CSM as submitted.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

Condominium Plat (2 units)
 CERTIFIED SURVEY MAP or SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Judith E. Castleman

530 S. Stone Ridge Drive

Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: () *contact Attorney Ted Johnson listed below

EMAIL ADDRESS: * email Attorney Ted Johnson listed below

PROJECT ADDRESS 530 and 532 S. Stone Ridge TAX KEY NUMBER: ZSR 00066

NAME AND ADDRESS OF APPLICANT:

Attorney Theodore N. Johnson - Godfrey, Leibsle, Blackburn & Howarth, S.C.

354 Seymour Court

Elkhorn, WI 53121

TELEPHONE NUMBER OF APPLICANT: (262) 741-1540

EMAIL ADDRESS: tjohnson@godfreylaw.com

NAME AND ADDRESS OF SURVEYOR:

Brian M. Carlson- Farris, Hansen and Associates

7 Ridgeway Court

Elkhorn, WI 53121

TELEPHONE NUMBER OF SURVEYOR: (262) 723-2098

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Divide existing duplex into a two unit condominium so Owner can sell one of the units.

Similar as to the other condominium lots located on both sides of this parcel.

See enclosed Condominium Plat and Condominium Declaration.

CONDOMINIUM DECLARATION OF CONDITIONS,
COVENANTS, RESTRICTIONS, AND EASEMENTS FOR
530-532 SOUTH STONE RIDGE CONDOMINIUM

Document Number

Document Name

THIS CONDOMINIUM DECLARATION OF CONDITIONS, COVENANTS, RESTRICTIONS, AND EASEMENTS FOR 530-532 SOUTH STONE RIDGE CONDOMINIUM ("Declaration") is made pursuant to the Condominium Ownership Act of the State of Wisconsin, Wis. Stat. ch. 703 ("Act"), this ____ day of _____, 2018, by JUDITH E. CASTLEMAN, a widow ("Declarant").

1. **Statement of Declaration.** This Declaration submits the lands hereinafter described and the improvements constructed thereon to the condominium form of ownership in the manner provided by law and by this Declaration. Declarant hereby declare that she is the sole owner of the real property described in this Declaration, together with all buildings and improvements thereon, which are hereby submitted to the condominium form of use and ownership as provided in the Act and in this Declaration. The property, building, and improvements shall be a "Small Condominium," as that term is defined in the Act. Declarant elect to have the following provisions of Wis. Stat. § 703.365 apply to this Small Residential Condominium:

- A. The condominium declaration provisions specified in Wis. Stat. § 703.365(2);
- B. The condominium bylaw requirements specified in Wis. Stat. § 703.365(3);
- C. The condominium plat requirements specified in Wis. Stat. § 703.365(4);
- D. The condominium association requirements specified in Wis. Stat. § 703.365(5);
- E. The prohibition upon expansion of the condominium specified in Wis. Stat. § 703.365(7); and
- F. The condominium disclosure requirements specified in Wis. Stat. § 703.365(8);

Recording Area

Name and Return Address

James P. Howe
GODFREY, LEIBSLE, BLACKBOURN &
HOWARTH, S.C.
354 Seymour Court
Elkhorn, Wisconsin 53121

ZSR 00066

Parcel Identification Number (PIN)

2. **Legal Description.** The following described real estate is subjected to the provisions of this Declaration:

Lot 66 of Stone Ridge, a subdivision located in part of the SE 1/4 of the SW 1/4 & SW 1/4 and SE 1/4 of the SE 1/4 of Section 24 and in part of the NE 1/4 and NW 1/4 of the NW 1/4 & NE 1/4, NW 1/4, SW 1/4, and SE 1/4 of the NE 1/4 of Section 25, all in Town 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin, as recorded in Cabinet D, Slides 24 through 28, both inclusive, in the office of the Walworth County Register of Deeds, on August 31, 2005, as Document No. 651991. (End of legal description.) (“Property”)

3. **Name.** The Property, and the building and improvements thereon, shall be known as “530-532 South Stone Ridge Condominium.”

4. **Description and Location of Buildings.** There is one main building (“Building”) on the Property, a one-story residential duplex, containing two (2) residential condominium units. The Building is one (1) story in height, with two (2) walkout lower levels and two (2) attached garages, and is constructed principally of wood frame sided with cultured stone veneer and pre-stained “smart” siding, aluminum fascia, soffit and gutters, with a roof of thirty (30) year Class A shingles. The Building is situated on the Property as indicated on the Condominium Plat attached hereto as Exhibit A and incorporated herein (“Plat”).

5. **Description of Units.**

A. Unit 2 has a post office address of 530 S. Stone Ridge Drive, Lake Geneva, Wisconsin 53147. It is the east one-half of the Building, and includes an attached garage. Unit 2 is more particularly depicted on the Plat.

B. Unit 1 has a post office address of 532 S. Stone Ridge Drive, Lake Geneva, Wisconsin 53147. It is the west one-half of the Building, and includes an attached garage. Unit 1 is more particularly depicted on the Plat.

6. **Description of Common Elements.** The common elements consist of (i) the roof covering both units, (ii) the common wall dividing both units (“Common Wall”), (iii) the frame and the covering of the exterior walls, such as the cultured stone veneer and pre-stained “smart” siding, aluminum fascia, soffit and gutters, and other exterior decorations, (iv) the shared municipal water and sanitary sewer service laterals extending from the mains therefor to the point that each enters the unit that it serves (collectively, “Laterals”), and (v) any pipes, wires, conduits, public utility lines, or other structural components running through one (1) unit and serving more than one (1) unit (collectively, “Components”), regardless of whether the Components are located in the floors, ceilings, or perimeter or interior walls of a unit. No major repair or replacement of a common element (except as noted below) shall be made without the agreement of both unit owners; provided, however, that minor repairs not affecting the appearance of the roof or exterior walls shall be made by the owner of the unit whose roof or wall areas require such repairs. The exterior

of the Building shall be maintained, decorated, and repaired so as to retain a uniform appearance of both units.

The Common Wall, the Laterals and the Components are to be used by the unit owners in common, each unit owner to bear equally with the other the cost of keeping the Common Wall, any Laterals and any Components in good order and repair; provided, however, that damage to the Common Wall, any Laterals, or any Component within one unit not affecting the other unit shall be repaired by the owner of the unit in which the damage has occurred.

Should the owners of Unit 1 and Unit 2 be unable to agree upon the necessity of a repair or the cost of a proposed repair to the common elements, either unit owner may seek a determination as to the necessity of the repair or the reasonableness of the proposed repair expense in an arbitration proceeding under Wis. Stat. ch. 788, as amended. Acceptance of a conveyance of a unit in 530-532 South Stone Ridge Condominium shall constitute agreement by the unit owner to submit such disputes to arbitration as provided herein.

Any dispute submitted for arbitration shall be decided by a panel of three (3) arbitrators who shall be selected as follows: Each unit owner shall appoint one (1) arbitrator. The two (2) arbitrators chosen by the unit owners shall then select a third arbitrator who shall serve as chairperson of the arbitration panel.

All arbitration proceedings shall be held in Walworth County, Wisconsin. Except as provided for herein, the arbitration shall be governed by the commercial rules of the American Arbitration Association.

The expense of the arbitration shall be shared equally by the unit owners. The award of the arbitrators shall be final and binding upon the parties and may be entered as a judgment in any state or federal court.

7. **Limited Common Elements and Facilities.** The limited common elements for each unit shall consist of the concrete driveway in front of each garage leading to each unit, the walk leading from the driveway to the South Stone Ridge Drive entrance to each unit, the stoop in front of each unit, the brick patio adjacent to the rear of each unit, the brick patio adjacent to rear of the garage of each unit, and the yard of each unit, which is determined by the imaginary extension of the common wall dividing the unit extended to the north and south property lines of the Property, all as more particularly depicted and described on Exhibit A. Use of the limited common elements is restricted to use by the owner of the unit to which said limited common elements are so designated herein and on Exhibit A.

8. **Maintenance and Utilities.** Each unit owner shall be responsible for the repair, maintenance, or replacement of his or her individual unit and the limited common elements of such unit. Said unit shall be repaired at the cost of such unit's owner. Each unit owner shall keep his or her unit in good repair, subject only to normal wear and tear. Each

unit owner shall pay such unit owner's natural gas, electricity, sanitary sewer, municipal water, and any other utilities, each of which shall be separately metered to each unit owner.

9. **Destruction and Reconstruction.** In the event of the total destruction of the Building, it shall be determined by agreement of both unit owners whether to rebuild, repair, restore, or sell the Property. If damage is only to one unit, and such damage does not affect the other unit, then the damaged unit shall be repaired by the owner of the damaged unit.

10. **Residential Purposes.** The Building and units therein contained are intended for, and restricted exclusively to, residential use.

11. **Easements.** Easements are hereby declared and granted for utility purposes, as said easements may exist and appear of record, including, without limitation, to inspect, maintain, repair and replace the Laterals. Easements for the provision of sanitary sewer and municipal water service are also reserved over, upon, and across both units.

12. **Binding Effect.** All easements and rights described in this Declaration are easements appurtenant to and running with the land. All easements and rights described in this Declaration are granted and reserved to, and shall inure to the benefit of and be binding upon, Declarant, her respective heirs, successors, and assigns, and on all unit owners, purchasers, and mortgagees, their heirs, executors, administrators, successors, and assigns. Acceptance of a deed by a unit owner shall constitute an acceptance of the provisions of this Declaration, the Bylaws, and other rules and regulations adopted pursuant thereto.

13. **Insurance.** The unit owners, through the Association (as hereinafter defined), shall provide insurance coverage for loss by fire and extended coverage in an amount sufficient to protect their interest in the common elements and the limited common elements, and in their individual unit. Such insurance shall be obtained in the name of the unit owner and such unit owner's mortgagee, as their interests may appear. Premiums for such insurance coverage shall be allocated to each unit based upon its insured value, as determined by the insurance carrier.

14. **Percentage of Interest.** The undivided percentage interest in the common elements, limited common elements, and facilities appurtenant to each unit shall be allocated as follows: fifty (50) percent shall be appurtenant to Unit 1 and fifty (50) percent shall be appurtenant to Unit 2.

15. **Association.** The condominium association shall be named "530-532 South Stone Ridge Condominium Association, U.A.", an unincorporated, not-for-profit association ("Association"). Each unit shall have one vote at meetings of the Association, and there shall be only one class of voting membership.

16. **Action by the Association.** All actions to be taken by the Association require the unanimous consent of the board of directors.

17. **Amendments to Declaration, Bylaws, and Rules.** This Declaration may only be amended by the unanimous consent of the owners of both units; the Bylaws and administrative rules of the condominium, if any, shall likewise be amended only by the unanimous consent of the owners of both units. The unit owners, by unanimous consent, may terminate this condominium in accordance with Wis. Stat. § 703.28, subject to the consent of the mortgagee of each unit, if any.

18. **Service of Process.** Judith E. Castleman, whose address is 530 S. Stone Ridge Drive, Lake Geneva, Wisconsin 53147, shall be the person authorized to receive service of process on behalf of the Association. Upon conveyance of both Units by the Declarant, the Association shall designate a successor to Judith E. Castleman for purposes of receiving service of process. The person so designated shall be chosen by unanimous consent of the board of directors. Future successors shall be likewise designated by unanimous consent of the board of directors.

19. **Number and Gender.** Whenever used herein, unless the context shall otherwise provide, the singular number shall include the plural, the plural shall include the singular, and the use of any gender shall include all genders.

20. **Captions.** The captions and section headings herein are inserted only as matters of convenience and for reference, and in no way define nor limit the scope or intent of the various provisions hereof.

21. **Severability.** The provisions of this Declaration shall be deemed independent and severable, and the invalidity or partial invalidity or unenforceability of any one provision or portion thereof shall not affect the validity or enforceability of the remaining portion of said provision or of any other provision hereof.

22. **Homestead.** This is homestead property.

(Signature page follows)

EXHIBIT A
CONDOMINIUM PLAT

See attached.

K:\PROJECTS\6041\WORK\LOTS\LOT_66\WALCO\6041_66_WALCO_STONE RIDGE CONDOMINIUM NO. 6.DWG



530-532 SOUTH STONE RIDGE CONDOMINIUM

LOT 66 OF STONE RIDGE, A SUBDIVISION LOCATED IN PART OF THE SE 1/4 OF THE SW 1/4 & SW 1/4 AND SE 1/4 OF THE SE 1/4 OF SECTION 24 AND IN PART OF THE NE 1/4 AND NW 1/4 OF THE NW 1/4 & NE 1/4, NW 1/4, SW 1/4, AND SE 1/4 OF THE NE 1/4 OF SECTION 25, ALL IN TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, AS RECORDED IN CABINET D., SLIDES 24 THROUGH 28, BOTH INCLUSIVE, IN THE OFFICE OF WALWORTH COUNTY REGISTER OF DEEDS, ON AUGUST 31, 2005, AS DOCUMENT NO. 651991.

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND ITS EXTERIOR BOUNDARIES. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATED: _____

BRIAN M. CARLSON P.L.S. 2039

OWNER'S CERTIFICATE

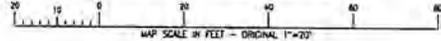
I, JUDITH E. CASTLEMAN, OWNER, HEREBY CERTIFY THAT I HAVE CAUSED THE LAND DESCRIBED HEREON TO BE SURVEYED AND PLATTED AS SHOWN HEREON.

JUDITH E. CASTLEMAN

DATED: _____

NOTE: EXTERIOR CONSISTS OF WOOD FRAME SIDED WITH CULTURED STONE VENEER AND PRE-STAINED "SMART" SIDING, ALUMINUM FASCIA, SOFFIT AND GUTTERS, WITH A ROOF OF THIRTY(30) YEAR CLASS A SHINGLES.

NOTE: THE COMMON ELEMENTS CONSIST OF THE ROOF COVERING BOTH UNITS, THE COMMON WALL DIVIDING BOTH UNITS AND THE EXTERIOR COVERING OF THE WALLS, SUCH AS THE CULTURED STONE VENEER AND PRE-STAINED "SMART" SIDING, ALUMINUM FASCIA, SOFFIT AND GUTTERS, AND OTHER EXTERIOR DECORATIONS.



FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
 7 RIDGWAY COURT, PO BOX 437
 ELKHORN, WISCONSIN 53121
 PHONE: (262) 723-2098
 FAX: (262) 723-5886
 PROJ. NO.: 6041.66 DATE: 03/07/2018 SHEET 1 OF 1

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 21, 2018

Agenda Item: 7

Applicant:

Ryan Finley
805 Cumberland Trail
Lake Geneva, WI 53147

Request:

805 Cumberland Trail
Conditional Use Permit
Fence Installation in the SR-4 Zoning District
Tax Key No. ZTT00041

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) for a new fence installation in the SR-4 Zoning district. The project is requesting to exceed the allowable heights for a fence installation on a street side property. The applicants have carefully designed the proposed fence to increase size to 48” whereas the maximum allowable fence height of 36” and 60% opaque.

Project Details from CUP Submittal

The proposed project exceeds the allowable fence heights in the SR-4 Zoning District.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed conditional use includes increases in the fence heights, the rendition of the proposed fence location on Townline Rd.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
- b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above, noting that the proposal is a fully consistent with the setback requirements of the SR-4 zoning district, and results in compliance to the setbacks on all four sides of the building over the current home.
3. Finally, staff recommends that *the following additional condition of approval* be attached to the approval:
 - a. That the location of all approved building setbacks be verified by an on-site inspection by the Building Administrator prior to pouring building foundation walls.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

805 Cumberland Trail, Lake Geneva, WI 53147

NAME AND ADDRESS OF CURRENT OWNER:

Ryan C Finley
805 Cumberland Trail, Lake Geneva, WI 53147

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: (815) 793-9362 RCFINLEY@GMAIL.COM

NAME AND ADDRESS OF APPLICANT:

SAME

TELEPHONE NUMBER & EMAIL OF APPLICANT: SAME

PROPOSED CONDITIONAL USE:

We would like permission to install a 4' (48")
fence to enclose our side & back yard

ZONING DISTRICT IN WHICH LAND IS LOCATED: Residential

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

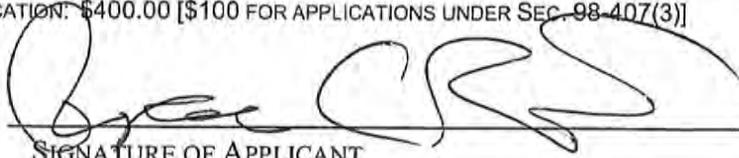
Roger ^{Aronson} ~~Aranson~~ - Aranson Fence, Inc.
26356 W. Ivanhoe Rd, Wauconda, IL 60084

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Erect a 4' wooden fence to enclose the side and
back yards

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

3-16-18
DATE


SIGNATURE OF APPLICANT

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed fence is safe, and will be of quality construction.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The fence will improve the look and usefulness of the property, and will contribute to a safe and beautiful neighborhood.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No, it does not. The yard in question is elevated in relation to the street and would provide no visibility hazard.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The fence is consistent with the neighborhood and other single family homes.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

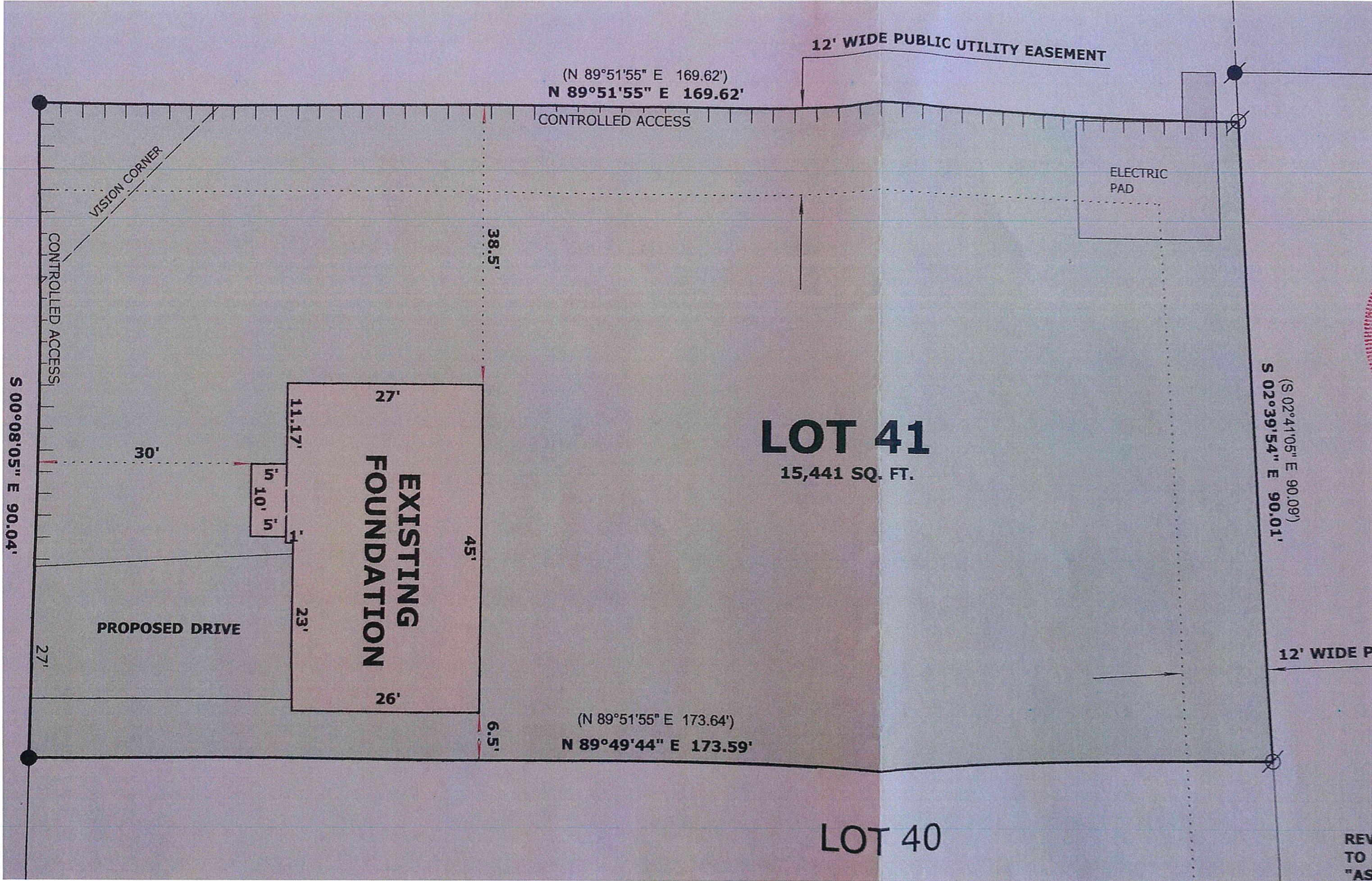
____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

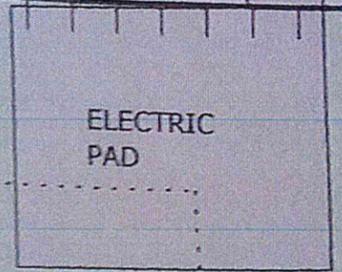
____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____



12' WIDE PUBLIC UTILITY EASEMENT

(N 89°51'55" E 169.62')
N 89°51'55" E 169.62'

CONTROLLED ACCESS



VISION CORNER

CONTROLLED ACCESS

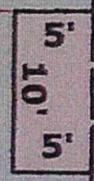
S 00°08'05" E 90.04'

38.5'

LOT 41
15,441 SQ. FT.

(S 02°41'05" E 90.09')
S 02°39'54" E 90.01'

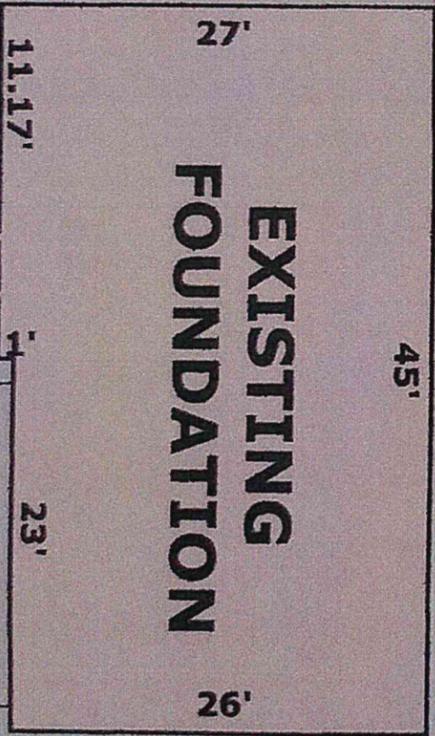
30'



**EXISTING
FOUNDATION**

45'

PROPOSED DRIVE



27'

12' WIDE P

(N 89°51'55" E 173.64')
N 89°49'44" E 173.59'

6.5'

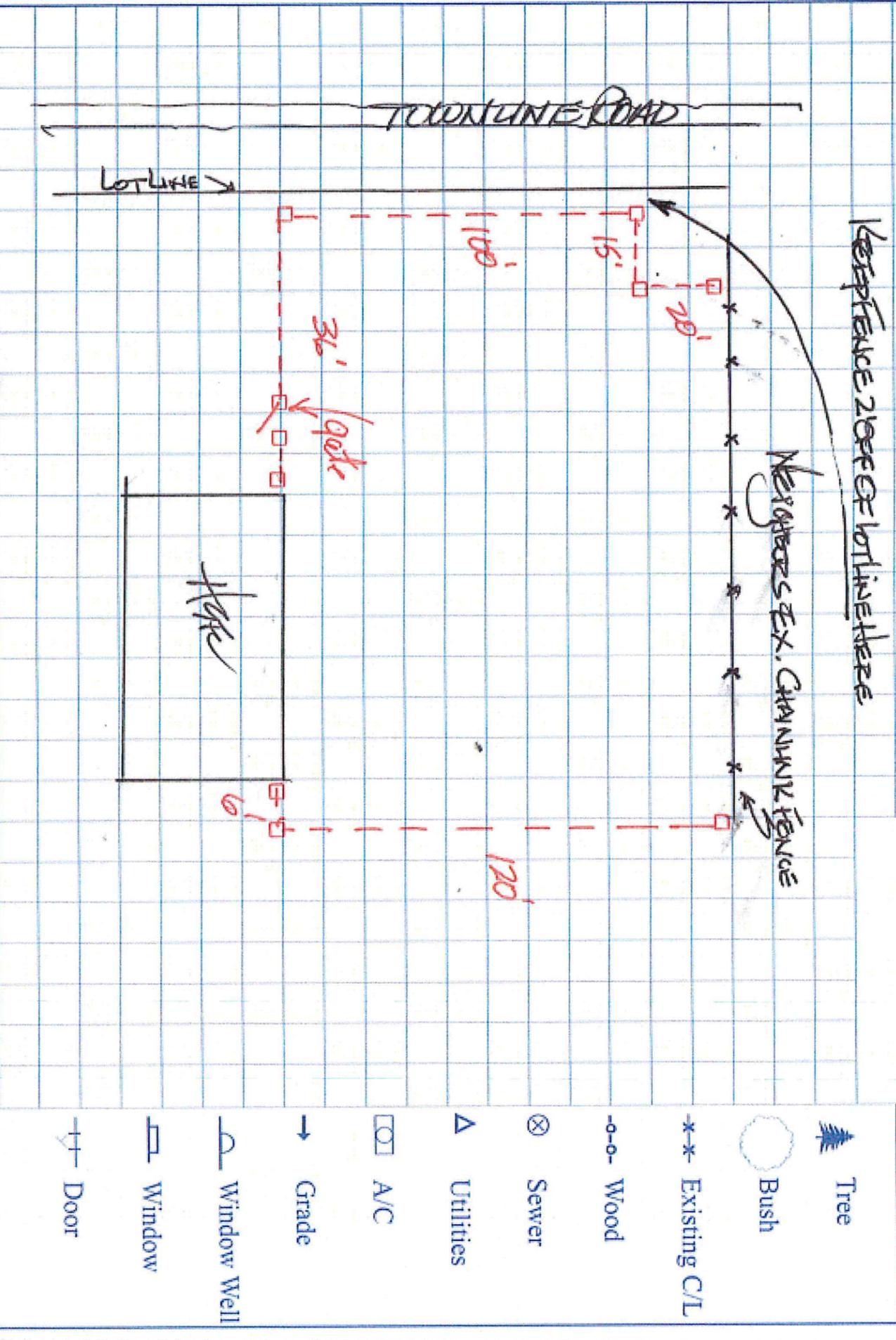
LOT 40

REV
TO
"AS

FENCE LOCATION DETAIL SHEET

DIG#:

SYMBOLS



- REMARKS:** All posts set in concrete unless otherwise specified. Note: all wood fences will naturally check and weather to a silver grey color.
- Follow contour of grade
 - Keep level with highest grade
 - Step if needed
 - Finish side face-out
 - Finish side face-in
 - Toe-nail
 - Face nail

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 21, 2018

Agenda Item: 8

Applicant:

Renee T. Wu
527 Forest Glen Dr.
Fontana, WI 53125

Request:

239 Cook Street, Lake Geneva, WI 53147
Proposed Conditional Use Permit for
Indoor Commercial Entertainment –
Restaurant
Tax Key No. ZYUP000253

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a 3 table Sushi, Smoothie, & Salad restaurant - primarily a carryout restaurant, in a multi-tenant building located at 239 Cook Street.

The property is located in the Central Business District.

No signage or other exterior modifications are being proposed to the building at the time of the application.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Zoning Ordinance.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends that no additional conditions of approval be attached.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

239 Cook ST. Lake Geneva, WI 53147

Parcel # ZOP 00253

NAME AND ADDRESS OF CURRENT OWNER:

Lake Geneva retail Lease Co. LLC

Delaware limited liability (listed on a recent amendment)

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: 630-586-6648, angela.surico@inlandgroup.com

NAME AND ADDRESS OF APPLICANT:

Renee T. Wu 527 Forest glen dr. Fontana

WI 53125

TELEPHONE NUMBER & EMAIL OF APPLICANT: 773-909-0188 wxb12345@gmail.com

PROPOSED CONDITIONAL USE:

Fast Food Service (pick up)

ZONING DISTRICT IN WHICH LAND IS LOCATED:

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Not yet contacted, after approval the local electrician and plumber will be contacted.

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Provide salad, simple sushi, Juice and Fresh Fruit Freeze.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

04/05/2018

DATE



SIGNATURE OF APPLICANT

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Supplying a quality fresh fast food, take out and delive
to the city of Lake Geneva.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

other restaurant in close proximity which will fit
the same business category.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

Small scale take out food service should not adversely
to traffic parking on the public.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

this business is in harmony with other live
business in this area.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

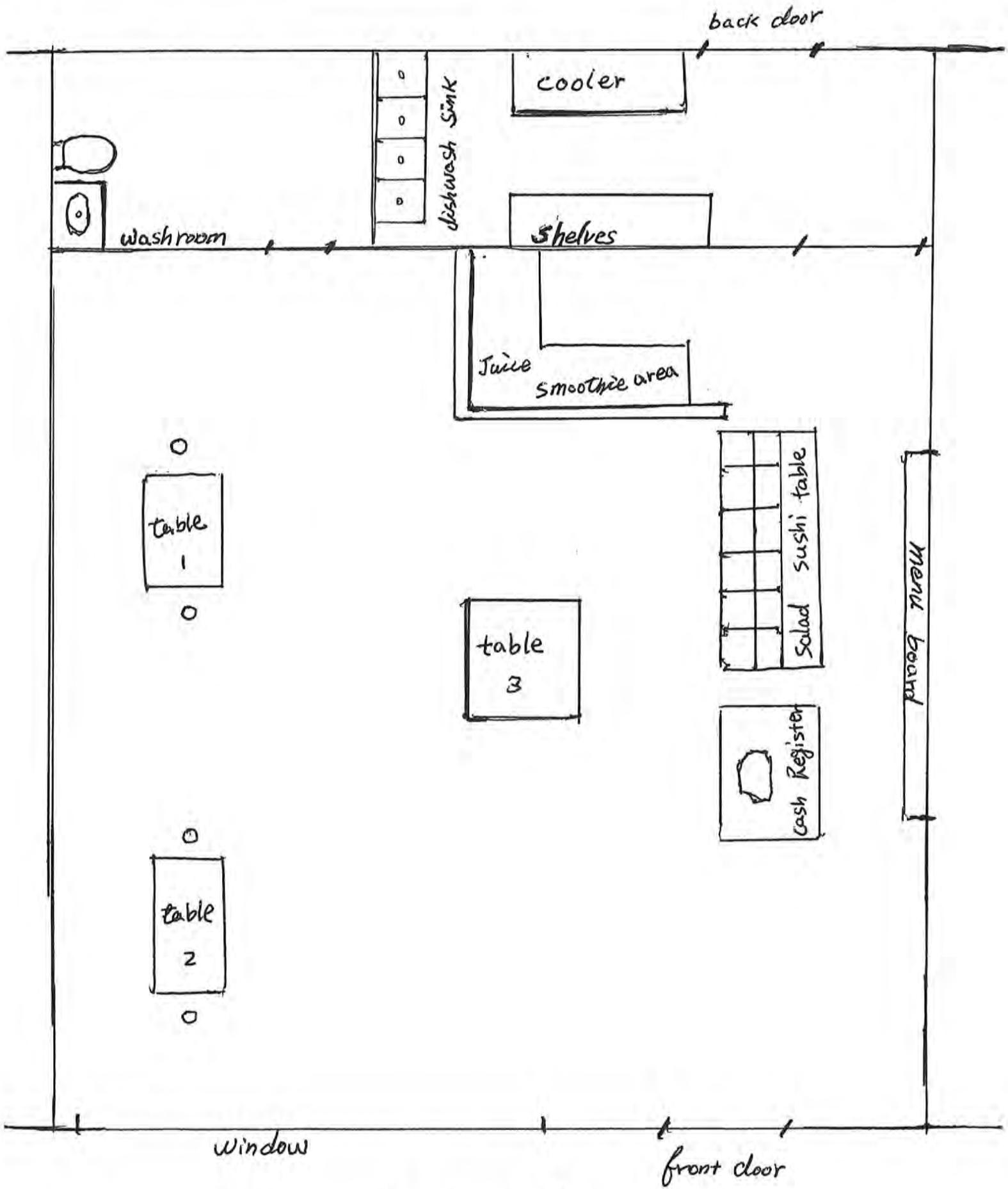
Small takeout restaurant not impose burden on
utilities and facilities or services provided by the city.

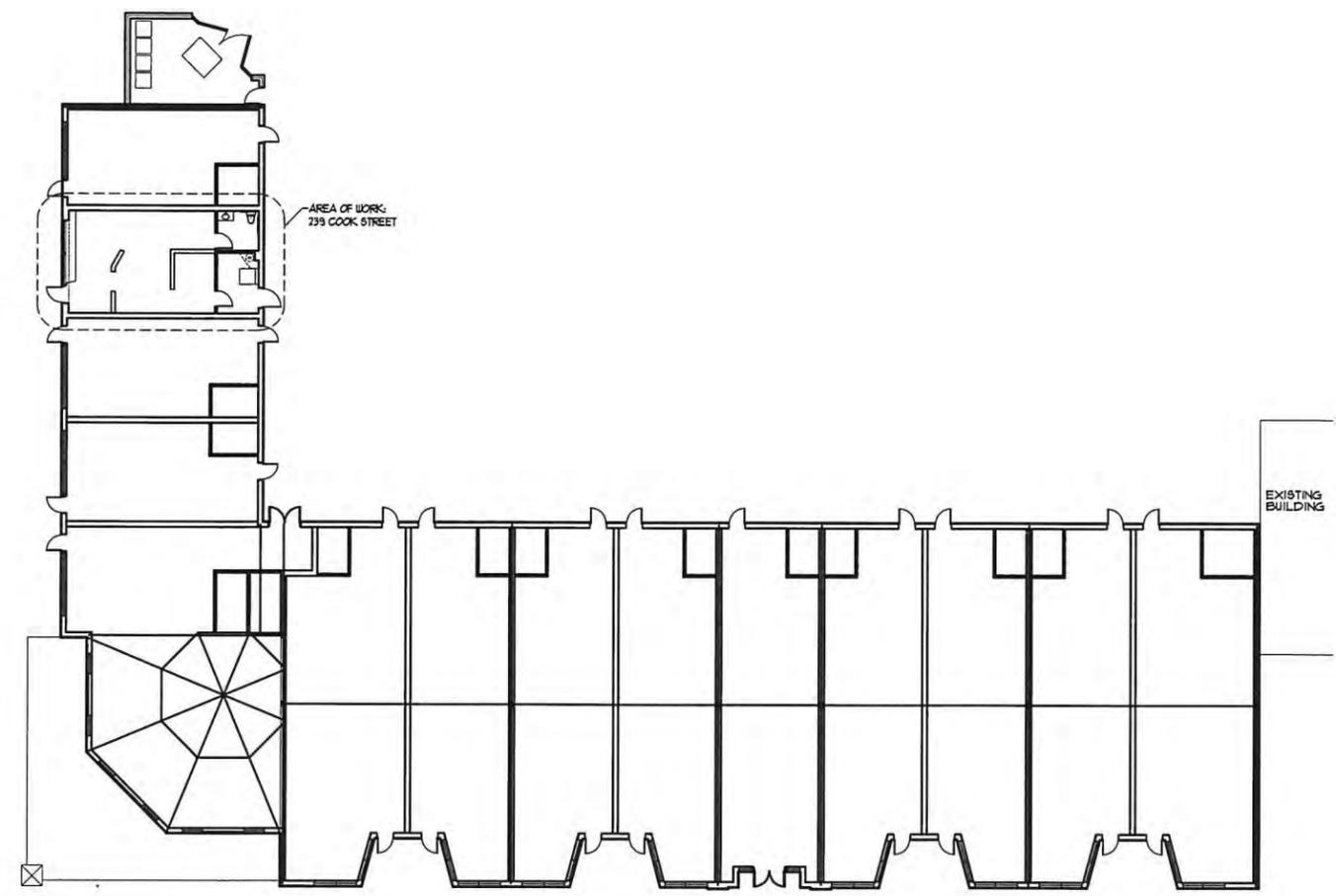
6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

The public option of a fast food takeout service
should be in positive addition to the city.

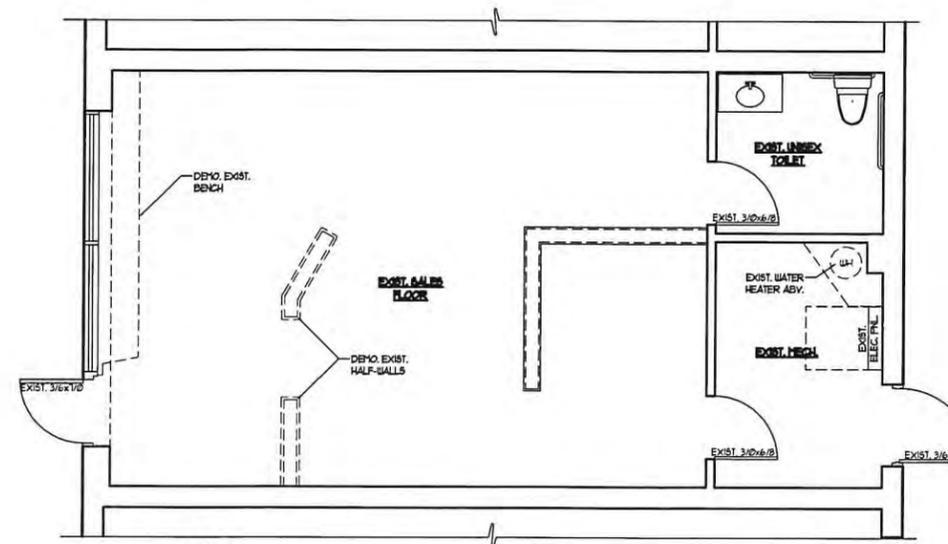
IV. FINAL APPLICATION PACKET INFORMATION

- ___ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ___ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ___ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____
- ___ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- ___ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- ___ Class 2 Legal Notice published on _____ and _____ by: _____
- ___ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

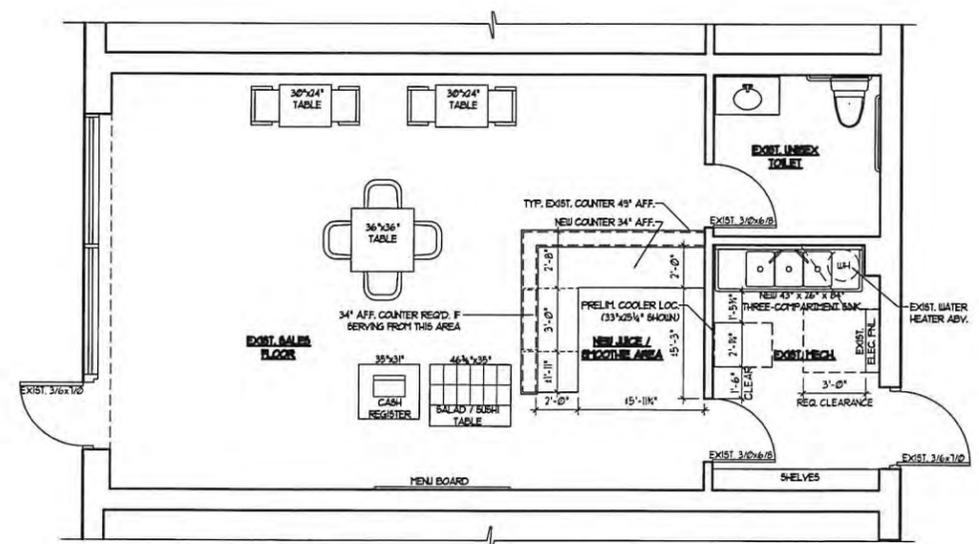




 **EXISTING NEWPORT WEST BUILDING**
 SCALE: 1/4" = 1'-0"



 **EXISTING / DEMO. FINISH OUT SPACE**
 SCALE: 1/4" = 1'-0"



 **PROPOSED FINISH OUT SPACE**
 SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

1. ALL WORK SHALL COMPLY W/ APPLICABLE BUILDING CODE STANDARDS, OSHA STANDARDS AND ANY ADDITIONAL REQUIREMENTS AS SPECIFIED BY THE LOCAL BUILDING INSPECTOR.
2. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR CONFORMANCE TO LOCAL AND STATE LAWS.
3. ALL ACTIVE UTILITIES DESIGNATED TO REMAIN SHALL BE PRESERVED IN OPERATING CONDITION.
4. NOTIFY ALL UTILITY COMPANIES (UTILITY, DIGGERS HOTLINE, ETC.) AS APPLICABLE. EXTREME CAUTION SHALL BE TAKEN TO VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
5. PROVIDE ADEQUATE SHORING AND BRACING OF ALL RELATED STRUCTURE TO REMAIN PRIOR TO ANY DEMOLITION OPERATIONS. NOTIFY ARCHITECT OF ANY STRUCTURAL CONCERN IMMEDIATELY.
6. USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
7. CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE W/ ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
8. REMOVE ALL DEBRIS, RUBBISH OR OTHER MATERIALS RESULTING FROM THE DEMOLITION ON A DAILY BASIS. FINAL CLEANUP SHALL BE BROUGHT CLEAN INSIDE AND RAKED OUTSIDE WITH NO BROKEN GLASS REMAINING. LEGALLY DISPOSE OF THE ABOVE MATERIALS OFF-SITE IN AN APPROVED LANDFILL AREA.
9. ALL WALLS, CEILINGS, SOFFITS, FLOORS, CONCRETE SLABS, FOOTINGS AND FOUNDATIONS SHALL BE REMOVED AS NOTED ON DRAWINGS.
10. ALL MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT, DOORS AND WINDOWS, APPLIANCES, CABINETS, SPECIAL MILLWORK AND OTHER ITEMS REMOVED SHALL BE STORED AS DIRECTED BY OWNER, UNLESS OTHER AGREEMENT FOR SALVAGE.

Green Poke BUSINESS PLAN

Prepared by:

Renee T. Wu & Tianzhaoxi Wu

239 Cook St
Lake Geneva, Wisconsin 53147
7739090188
tanglemm@hotmail.com

N/A

I. EXECUTIVE SUMMARY

Green Poke (referred to from hereon in as the "Company") is intended to be established as a Limited Liability Company at 239 Cook St, Lake Geneva, Wisconsin 53147 with the expectation of rapid expansion in the offer poke salad bowl, and simple sushi ,fresh fruit smoothie, fresh fruit juice and some ice cream. industry.

Business Description

The Company shall be formed as *Limited Liability Company* under Wisconsin state laws and headed by Renee T. Wu & Tianzhaoxi Wu.

Renee T. Wu has over 10 years experience of fast food . Tianzhaoxi Wu has over 4 years experience of fast food ,also he has a food management certificate

The Company will employ 2 full-time employees and 3-4 part-time employees.

New Service

The Company is prepared to introduce the following service to the market:

delivery : food delivery

service for city of lake Geneva customer, who online order or phone order our food.

II. BUSINESS SUMMARY

Industry Overview

In the United States, the offer poke salad bowl, and simple sushi, fresh fruit smoothie, fresh fruit juice and some ice cream. industry presently makes 150,000-250,000 dollars in sales.

the travel season beginning.

Research shows that consumers in this industry primarily focus on the following factors when making purchasing decisions:

poke salad bowl is the popular Hawaii health food, most traveler familiar with it, sushi is the most popular Japanese food, we are intent is, available a health and fresh food in town and fast delivery to the customer

Business Goals and Objectives

Short Term:

service for the traveler also At the same time, local residents should meet our restaurants through advertisements and promotions.

Long Term:

Serve local residents, provide quality, healthy and fast food, and obtain stable economic benefits

Legal Issues

The Company affirms that its promoters have acquired all legally required trademarks and patents.

III. MARKETING SUMMARY

Target Markets

The Company's major target markets are as follows:

Traveler and resident

The estimated number of potential clients within the Company's geographic scope is 0.

Pricing Strategy

The Company has completed a thorough analysis of its competitors' pricing. Keeping in mind our competition's pricing and the costs of customer acquisition, we have decided on the following pricing strategy:

Reference to nearby similar restaurants for food prices

Services

First-rate service is intended to be the focus of the Company and a cornerstone of the brand's success. All clients will receive conscientious, one-on-one, timely service in all capacities, be they transactions, conflicts or complaints. This is expected to create a loyal brand following and return business.

IV. FINANCIAL PLAN

12-Month Profit and Loss Projection

Monthly expense for salaries and overhead (projected):	\$0.00
Revenue and sales for first year of business (projected):	\$0.00
Gross profit for first year of business (projected):	\$0.00

Note

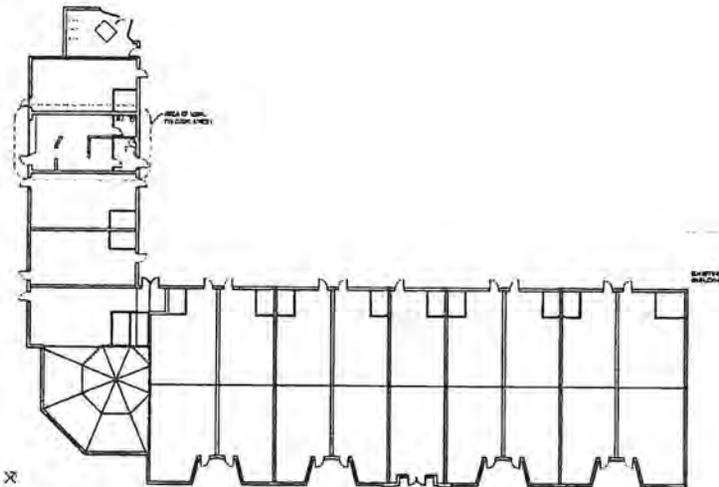
1. No liquor licence needed
2. No out side dining
3. Signage. "Green Poke"

IF MUNICIPALITY OR HEALTH DEPT. REQUIRES A GROSS TRAP/INTERCEPTOR, SOLE RESPONSIBILITY OF PROCUREMENT, DELIVERY & INSTALLATION SHALL BE TENANT'S.

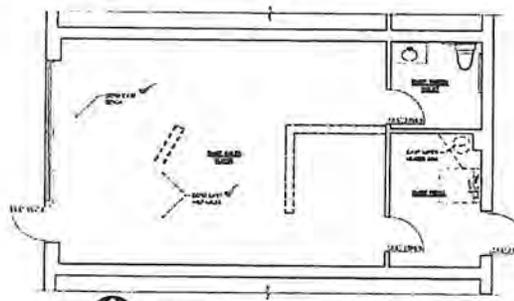
AS NOTED

Approved by Landlord contingent on permit review and approval from the Authority Having Jurisdiction.

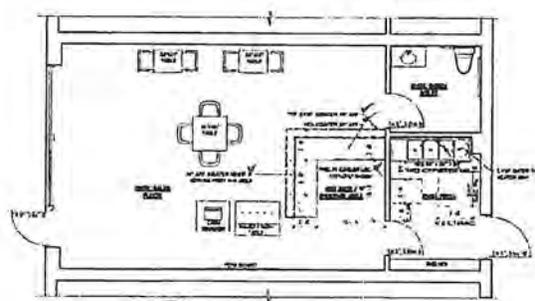
[Signature]
Inland Operations Manager 4/20/18
Date



EXISTING NEWPORT WEST BUILDING
REV. 1/17



EXISTING / DEMO FINISH OUT SPACE
REV. 1/17



PROPOSED FINISH OUT SPACE
REV. 1/17

DEMOLITION NOTES:

1. ALL DEMO SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. DEMO SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND PROTECT ADJACENT AREAS.
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McCormack + Egan / Architects, LLP
400 Grand Street
Lake Geneva, WI 53153
608.785.1111
www.mccormack-egan.com

INLAND OPERATIONS SPACE FOR
CHINA MAX
PROJECT NO. 1704

DATE: 4/17/18
SHEET: A-1

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 21, 2018

Agenda Item: 9

Applicant:

William & Carol Dick
723 Geneva St.
Lake Geneva WI, 53147

Request:

723 Geneva Street
Conditional Use Permit (CUP) for
Commercial Indoor Lodging land use in the
Central Business (CB) Zoning District
Tax Key No. ZOP000185

Description:

The applicant is submitting a proposal for the issuance of a Conditional Use Permit (CUP) to utilize the property located at 723 Geneva Street for the Commercial Indoor Lodging Services land use located in the Central Business (CB) zoning district.

The request is to allow the property owners rent the units out for a rental term of less than 6 days in accordance with the Commercial Indoor Lodging.

Project Details from CUP Submittal

The proposed request of for this use is a permitted land use in the CB zoning if granted the CUP.

With this request the applicants currently reside in the upper unit as their residence, and are requesting that this application is applied to both upper and lower units. As stated the upper is their primary residence at this time albeit in the future they wish to have the same opportunity to utilize the dwelling as a Commercial Indoor Lodging land use without having to resubmit at a later date.

Staff Review Comments:

In speaking with the applicants, it is understood that the process for this request is that the **Lower** unit will need to have to meet the guidelines for Commercial Indoor Lodging and be applied at the time they wish to rent that unit.

The **Upper** unit however at the time of this request is exempt from inspections and will remain their dwelling but will be required to comply should they move forward with the Commercial Indoor Lodging requirements for that unit.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

- d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above, noting that the proposal is a fully consistent with the setback requirements of the SR-4 zoning district, and results in compliance to the setbacks on all four sides of the building over the current home.
3. Finally, staff recommends that *the following additional condition of approval* be attached to the approval:
 - a. That the location of all approved building setbacks be verified by an on-site inspection by the Building Administrator prior to pouring building foundation walls.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

723 Geneva Street - Attached legal description

NAME AND ADDRESS OF CURRENT OWNER:

William + Carol Dick

723B Geneva St Lake Geneva, WI

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: 815-355-2989 - 815-355-3589

NAME AND ADDRESS OF APPLICANT:

William + Carol Dick

SAME AS ABOVE

TELEPHONE NUMBER & EMAIL OF APPLICANT: SAME AS ABOVE

PROPOSED CONDITIONAL USE:

We want to rent the lower unit for commercial indoor lodging for 1 week or less. We currently live upstairs and eventually want to convert that apartment as well.

ZONING DISTRICT IN WHICH LAND IS LOCATED: Central business

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

not apply

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

offering sleeping accommodations as a rental for less than 1 week or longer than 1 week.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

4-2-18

DATE



SIGNATURE OF APPLICANT

723 Geneva St.
Lake Geneva, WI

THE EAST ONE-QUARTER OF LOT NUMBER EIGHT (8) AND THE WEST HALF OF LOT
NUMBER NINE (9) IN BLOCK NUMBER SIXTEEN (16) IN THE VILLAGE OF GENEVA,
NOW CITY OF LAKE GENEVA, ACCORDING TO THE PLAT OF SAID VILLAGE,
LOCATED IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

- ___ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- ___ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- ___ (e) Written justification for the proposed conditional use:
 ___ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

We are located in the business district.
It would be a resort business serving in a resort town. It would be located in the proper area.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The location is conducive to serve tourists who come to Lake Geneva. They can walk to stores, restaurants and to the Lake.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

None

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The property is located in the area that the City has already passed other properties for conditional use, for the same purpose.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes it is located in the business District.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes we will be serving the public and encouraging tourist's to visit Lake Geneva.

IV.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

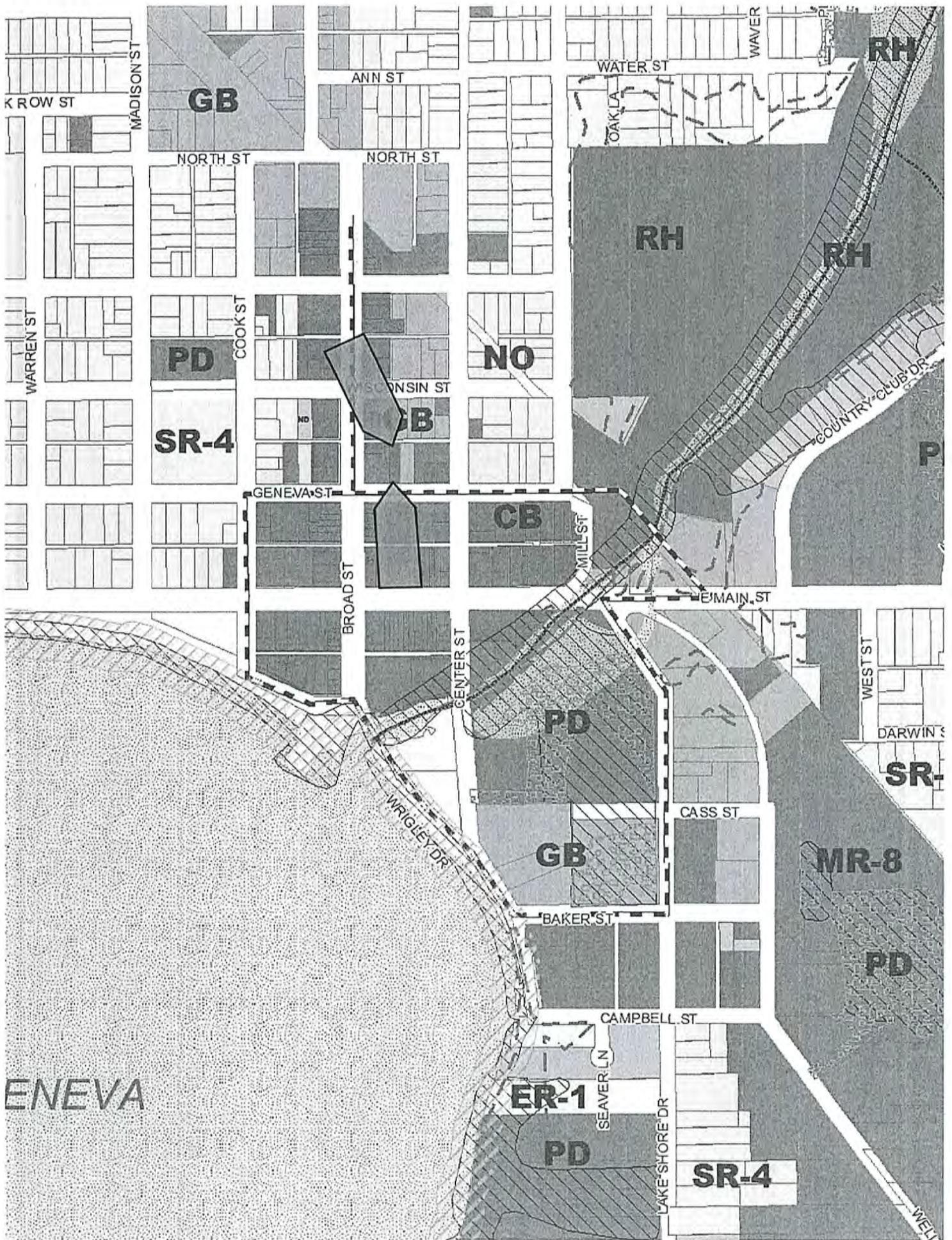
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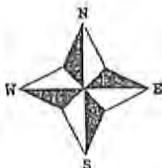
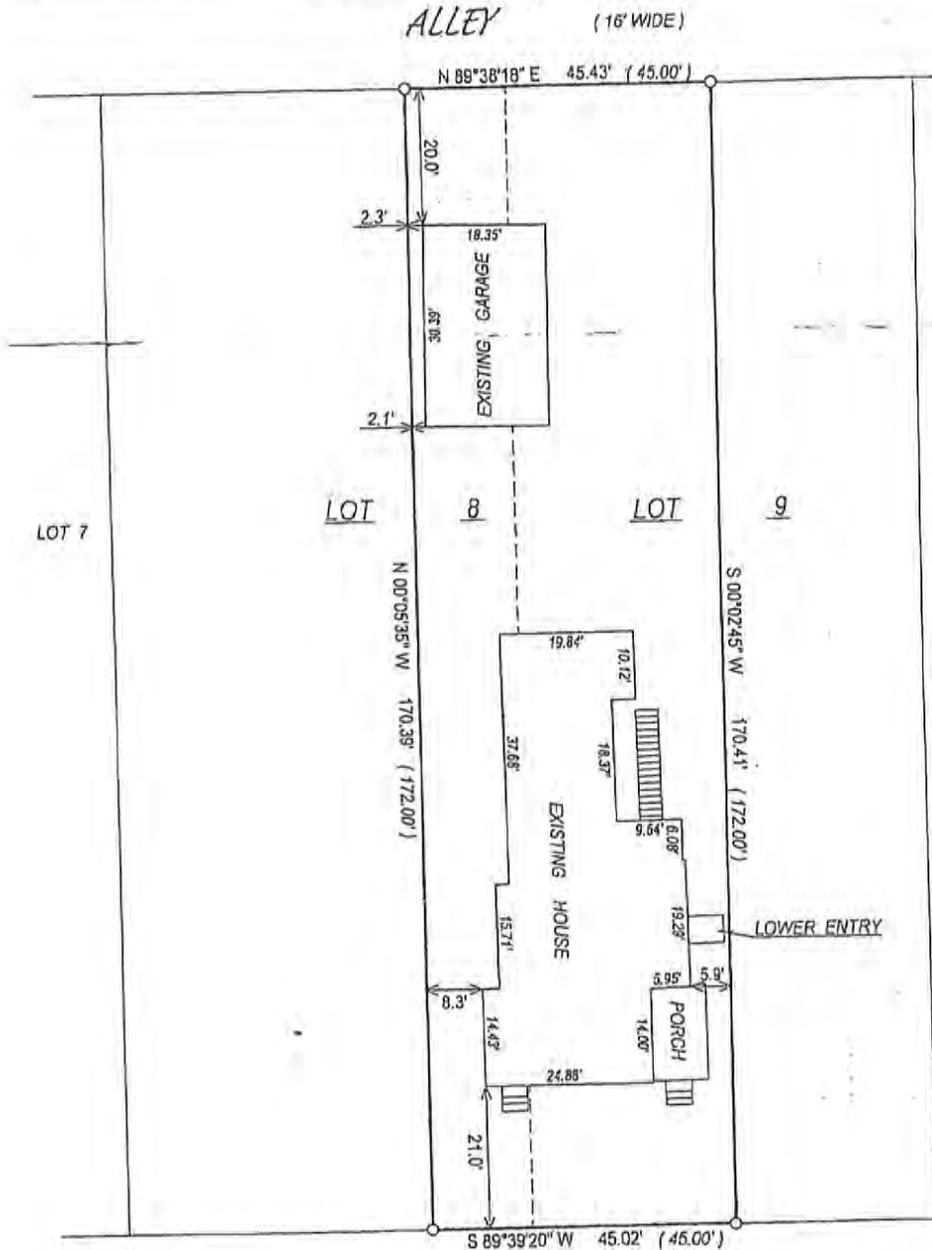
PREPARED FOR: CENTURY 21 PAGLIARINI GROUP INC.
C/O MATT WAKELEY
252 CENTER STREET
LAKE GENEVA WI. 53147

PLAT OF SURVEY

- OF -

J.K. SI
N3705
LAKE
262-21

THE EAST ONE-QUARTER OF LOT NUMBER EIGHT (8) AND THE WEST HALF OF LOT NUMBER NINE (9) IN BLOCK NUMBER SIXTEEN (16) IN THE VILLAGE OF GENEVA, NOW CITY OF LAKE GENEVA, ACCORDING TO THE PLAT OF SAID VILLAGE, LOCATED IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.



C.L. GENEVA STREET
(80' WIDE ROAD)

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 21, 2018

Agenda Item: 10

Applicant:

Lake Geneva Plaza LLC
W3323 Lake Forest Dr.
Lake Geneva, WI 53147

Request:

190 E Main Street
Conditional Use Permit (CUP) for
In-vehicle Sales or Services land use in the
Planned Business (PB) Zoning District
Tax Key No. ZA370600001

Description:

The applicant is submitting a proposal for the issuance of a Conditional Use Permit (CUP) to utilize the property located as 190 E. Main Street for the In-Vehicle Sales or Services land use located in the Planned Business (PB) zoning district.

The request is to allow the new construction of a Convenience Store, Fuel Station, Car Wash, and Dunkin Donut store.

Project Details from CUP Submittal

The proposed request of In-Vehicle Sales or Services land use is allowed in the (PB) zoning district with the issuance of a CUP. The applicants have met with staff and are requesting the review of the request with the understanding that final utility engineering will be conducted in the consideration of the positive motion by the Plan Commission. This will allow the application to submit final engineering to the City Engineer and Utility Department at a later date understanding “no permits” will be issued without first being approved by City Staff.

Staff Review Comments:

In speaking with the applicants, it is understood by the applicants, that the process for the request is to get the approval for the Conditional Use Permit with the understanding the costly engineering will be conducted and submitted after an approval by Lake Geneva. And only then, will the issuance of any permits be permitted for the project with the final review and approval by the Lake Geneva Engineering staff.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

- d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above, noting that the proposal is a fully consistent with the setback requirements of the SR-4 zoning district, and results in compliance to the setbacks on all four sides of the building over the current home.
3. Finally, staff recommends that *the following additional condition of approval* be attached to the approval:
 - a. That the location of all approved building setbacks be verified by an on-site inspection by the Building Administrator prior to pouring building foundation walls.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

190 E. Main St., Lake Geneva, WI 53147

ZA370600001 Lot 1 CSM 3706

NAME AND ADDRESS OF CURRENT OWNER:

Lake Geneva Plaza, LLC

W3323 Lake Forest Lane, Lake Geneva, WI 53147

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER:

NAME AND ADDRESS OF APPLICANT:

Lake Geneva Plaza, LLC (by Attorney Richard W. Torhorst)

PO Box 1300, Lake Geneva, WI 53147

TELEPHONE NUMBER & EMAIL OF APPLICANT: 262-248-3333

PROPOSED CONDITIONAL USE:

Convenience store with fuel, Dunkin Donuts, and car wash

ZONING DISTRICT IN WHICH LAND IS LOCATED: P.B. Planned Business

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Joseph Kopecky, 236 State Road 50, Delavan, WI 53115

Warren Hansen, 7 Ridgway Ct., Elkhorn, WI 53121

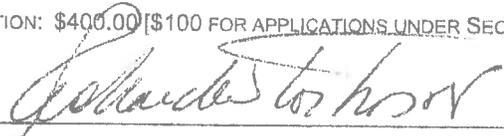
SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Convenience store, donut and sandwich shop, fueling, car wash and vacuum.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

4-6-18

DATE


SIGNATURE OF APPLICANT, Attorney for Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ Pre-submittal staff meeting scheduled:
Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Follow-up pre-submittal staff meetings scheduled for:
Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Application form filed with Zoning Administrator: Date: _____ by: _____
- ___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____
- ___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
- ↓ Draft Final Packet (1 Copy to Zoning Administrator) Date: _____ by: _____
- ↓

- ___ (a) A map of the proposed conditional use:
 - ___ Showing all lands for which the conditional use is proposed;
 - ___ Showing all other lands within 300 feet of the boundaries of the subject property;
 - ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
 - ___ Map and all its parts are clearly reproducible with a photocopier;
 - ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
 - ___ All lot dimensions of the subject property provided;
 - ___ Graphic scale and north arrow provided.
- ___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed use is in harmony with the purposes, goals, objectives, policies and standards of Comprehensive Plan and zoning as the use is a conditional use in the PB district and business use in the Comprehensive Plan.
2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The use is consistent with the properties on each side and along the Hwy 50 corridor east of Curtis Street. It will provide access to fuel for motorists on the south side of Hwy 50.
3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No adverse impacts to surrounding private property or public property are anticipated. The use is consistent with commercial properties to the east and west. The property to the south is not impacted due to the grade differential. Adequate public facilities are in place to serve the property and its use.
4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed project is of the same or similar intensity as the surrounding properties and is consistent with surrounding commercial uses.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Public utilities are adequate to service the project and support the intended uses.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes. The site is currently under utilized and becoming blighted. The project will revitalize and add value to the area and provide good and services for the residents and visitors to the community.

IV. FINAL APPLICATION PACKET INFORMATION

- ____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice published on _____ and _____ by: _____
- ____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ Pre-submittal staff meeting scheduled:
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Follow-up pre-submittal staff meetings scheduled for:
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Application form filed with Zoning Administrator: Date: _____ by: _____
- ___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____
- ___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- ___ Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
- ↓ Draft Final Packet (1 Copy to Zoning Administrator) Date: _____ by: _____
- ↓

- ___ (a) A written description of the intended use describing in reasonable detail the:
 - ___ Existing zoning district(s) (and proposed zoning district(s) if different);
 - ___ Land use plan map designation(s);
 - ___ Current land uses present on the subject property;
 - ___ Proposed land uses for the subject property (per Section 98-206);
 - ___ Projected number of residents, employees, and daily customers;
 - ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
 - ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

_____ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

_____ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII";

_____ Exterior building and fencing materials (Sections 98-718 and 98-720);

_____ Possible future expansion and related implications for points above;

_____ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

_____ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

_____ (c) A **Property Site Plan** drawing which includes:

_____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;

_____ The date of the original plan and the latest date of revision to the plan;

_____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);

_____ A reduction of the drawing at 11" x 17";

_____ A legal description of the subject property;

_____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

_____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

_____ All required building setback lines;

_____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

_____ The location and dimension (cross-section and entry throat) of all access points onto public streets;

_____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

_____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;

_____ The location of all outdoor storage areas and the design of all screening devices;

_____ The location, type, height, size and lighting of all signage on the subject property;

_____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;

_____ The location and type of any permanently protected green space areas;

_____ The location of existing and proposed drainage facilities;

_____ In the legend, data for the subject property on:

_____ Lot Area;

- ___ Floor Area;
- ___ Floor Area Ratio (b/a);
- ___ Impervious Surface Area;
- ___ Impervious Surface Ratio (d/a);
- ___ Building Height.

___ (d) **A Detailed Landscaping Plan** of the subject property:

- ___ Scale same as main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing the location of all required bufferyard and landscaping areas
- ___ Showing existing and proposed Landscape Point fencing
- ___ Showing berm options for meeting said requirements
- ___ Demonstrating complete compliance with the requirements of Article VI
- ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

___ (e) **A Grading and Erosion Control Plan:**

- ___ Same scale as the main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- ___ Showing finished exterior treatment;
- ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III. FINAL APPLICATION PACKET INFORMATION

___ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

___ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

LAKE GENEVA PLAZA
STATEMENT OF PROJECT AND INTENDED USE

The applicant, Lake Geneva Plaza, LLC, intends to construct a convenience store with fuel and car wash including vacuums together with a Dunkin Donuts with drive up window at 190 E. Main Street, Lake Geneva, Wisconsin, 53147. The following sets forth the information related to the property, the proposed uses, operational plan, together with other information of significant interest.

Existing Zoning. The property is currently zoned Planned Business. There currently exists upon the premises an older residence which is currently used as a residence but was used as a professional office for Dr. Nicholas Veith's eye clinic for many years.

The property is served on the north by STH 50 a.k.a. Main Street. The properties to the east consists of Lake Geneva Lanes, which is also zoned Planned Business. The next property to the east is Comfort Suites hotel which is also zoned Planned Business. The properties to the west are Interstate Insurance Agency and A+ Graphics. Said properties are zoned Planned Office. The property immediately to the south is zoned SR4, with a residence along Curtis St. with the property adjoining the subject property being unimproved. The next property south is zoned Planned Development and consists of the condominium development known as the Twins on Curtis. A vacant parcel located to the east and south lies within the Town of Lyons and is zoned B-2 General Business.

Plan of Operation. The Lake Geneva Plaza is intended to offer Shell Oil products. The convenience store, fuel, and Dunkin Donuts will be open 24/7. It is anticipated that the total number of employees will be 40, for the convenience store and Dunkin Donuts to cover all three shifts on a seven-day, twenty-four-hour basis. It is anticipated that the location will serve on the average 230 customers per day of which eighty (80%) percent of the customers are shared customers between gas, convenience store and/or Dunkin Donuts. The peak activity of use will be between 7 a.m. and 9 a.m. and between 4 p.m. and 6 p.m. During peak periods the customer count is anticipated to be approximately 40 per hour. The traffic study provided discusses the impact of the project and the conclusion thereof is that except at peak hours during summer weekends all traffic movements are expected to operate safely and efficiently with the modifications described therein. The average numbers will be approximately ten (10%) percent higher in months of June, July and August. The operation does not require significant water or sanitary sewer usage. It is not anticipated that the site will generate additional traffic, as most customers will already be using the STH 50 corridor and stopping at the facility for convenience purposes. It is anticipated that the project would not be considered a destination point, with the exception that there will be some customers that will specifically travel to the location for the Dunkin Donuts store. It should be noted that the other sites offering convenient store and food operations along STH 50 between Curtis Street and Highway 12 access STH 50 from the north. This project will allow customers to access its project from STH 50 on the south, which should relieve congestion at the Peller Road and STH 50 intersection. Due to the topography of the site requiring the construction of retaining walls, the impact of the operation upon properties to the west and south will be negligible. In most instances, the properties to the west and south will look over this site to parts further north and east. The site meets all parking, lighting, loading,

access, traffic visibility, noise and other subjective standards. The operation will not create vibrations, air pollution, odors, electromagnetic radiation, glare, heat, toxic, noxious or hazardous materials, excepting only fuel for which there is more than adequate protection to the public and the environment.

Other Information of Significant Interest. This project will add a side walk for the ultimate connection of the current city sidewalk system to the Edwards Boulevard retail area and to the Veterans Park recreational area. This project will provide the elimination of a blighted area along STH 50. The developer of the site has several other gas station convenience store operations in the area including Delevan, Williams Bay, Fontana, and Elkhorn. The site at Borg Road and STH 50 in Delavan is very similar to the proposed project here, however the Lake Geneva project will have fewer fueling stations. The landscaping points of the project approximately triple the required landscaping points. The project will add significant equalized value to the City compared to the existing equalized value of the property. The materials used in the project will be of high quality and the visual appearance of the project will be an appreciable benefit to the area. The project will provide new employment opportunities in addition to being a convenience to the neighborhood.

Length: 3,193,793



Lake Geneva Plaza

WALWORTH COUNTY, WISCONSIN



Author: RWT
Map Produced on: 12/8/2017

Wisconsin State Plane Coordinate System - South Zone
Horizontal Datum: NAD83

Walworth County Information Technology Department
Land Information Division

1500 County Trunk N
Eshwara, Wisconsin 53121-1501

DISCLAIMER: INFORMATION FROM THIS MAP HAS BEEN PROVIDED BY THE USER AND IS NOT GUARANTEED BY WALWORTH COUNTY. WALWORTH COUNTY IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. WALWORTH COUNTY IS NOT RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS MAP. WALWORTH COUNTY IS NOT RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS MAP.



Tax Key #: ZYUP 00131
Owner: White River Holdings LLC
Address: 11 E. Madison St. Ste. L100
Chicago, IL 60602

Tax Key #: ZA1119100001
Owner: John Tyshenko
Address: 135 Main St.
Lake Geneva, WI 53147

Tax Key #: ZA 78900001
Owner: William H. Johnson Trust
Address: W3817 Palmer Road
Lake Geneva, WI 53147

Tax Key #: ZA 78900001A
Owner: Thomas Reed
Address: PO Box 370
Lake Geneva, WI 53147

Tax Key #: ZA 78900002
Owner: William H. Johnson Trust
Address: W3817 Palmer Road
Lake Geneva, WI 53147

Tax Key #: ZOP 00385
Owner: Catholic Church
Address: 148 Main St.
Lake Geneva, WI 53147

Tax Key #: ZYUP 00107
Owner: Franklin D. Guske Sr. Trust
Address: PO Box 46
Pell Lake, WI 53157

Tax Key #: ZPI 00001D
Owner: St. Francis De Sales Congregation
Address:

Tax Key #: ZA425900001
Owner: Richard Fritz & Susan Fritz
Address: 103 S Curtis St.
Lake Geneva, WI 53147

Tax Key #: ZA194200001
Owner: KNMG Hotels LLC
Address: 109 N. Spruce St.
Wooddale, IL 60191

Tax Key #: ZYUP 00108C
Owner: City of Lake Geneva
Address: 626 Geneva St.
Lake Geneva, WI 53147

Tax Key #: ZYUP 00109A
Owner: Mark & Jacqueline Kompanik
Address: W5560 Blackfoot Circle
Elkhorn, WI 53121

Tax Key #: ZYUP 00108A
Owner: Peggy Fraser & Michelle Nelson
Address: 137 S. Curtis St.
Lake Geneva, WI 53147

Tax Key #: NA 91700001
Owner: Franklin D. Guske Sr. Trust
Address: PO Box 46
Pell Lake, 53157

Tax Key #: ZTW 00001
Owner: Susan & Richard Fritz
Address: 103 S. Curtis St.
Lake Geneva, WI 53147

Tax Key #: ZTW 00002
Owner: Wendy A. Abbate
Address: PO Box 264
Lake Geneva, WI 53147

Tax Key #: ZTW 00003
Owner: Vera White
Address: 129 S. Curtis St.
Lake Geneva, WI 53147

Tax Key #: ZTW 00004
Owner: Patrick & Maria Kelly
Address: 129 S. Curtis St. Unit 212
Lake Geneva, WI 53147

Tax Key #: ZTW 00005
Owner: Mary E. Bartelson
Address: 129 S. Curtis St. Unit 311
Lake Geneva, WI 53147

Tax Key #: ZTW 00006
Owner: Julie Sarton Trust & H. Michael Sarton Trust
Address: W3276 Lake Forest Lane
Lake Geneva, WI 53147

Tax Key #: ZTW 00007
Owner: Sturges P. Taggart Jr. Trust & Judie M. Taggart Trust
Address: 129 Curtis St. Unit 411
Lake Geneva, WI 53147

Tax Key #: ZTW 00008
Owner: Sheryl Englebrecht
Address: 129 Curtis St. Unit 412
Lake Geneva, WI 53147

Tax Key #: ZTW 00009
Owner: Mary Beth Egert
Address: 1121 Harrogate Dr.
Knoxville, TN 37923

Tax Key #: ZTW 00010
Owner: Ursula M. Motsinger
Address: 129 S. Curtis St. Unit 512
Lake Geneva, WI 53147

Tax Key #: ZTW 00011
Owner: Churchill Trust
Address: 129 Curtis St. Unit A Bldg. 6
Lake Geneva, WI 53147

Tax Key #: ZTW1 00001
Owner: Betty Soizdrzal
Address: 129 S. Curtis St. Unit 101
Lake Geneva, WI 53147

Tax Key #: ZTW1 00002
Owner: Stonebeigh Holdings LLC
Address: PO Box 346
Boca Grande, FL 33391

Tax Key #: ZTW1 00003
Owner: Pamela B. Carper
Address: 129 S. Curtis St. Unit 1021
Lake Geneva, WI 53147

Tax Key #: ZTW1 00004
Owner: Jean M. Martzke
Address: 129 S. Curtis St. Unit 1022
Lake Geneva, WI 53147

Tax Key #: ZTW1 00005
Owner: Donald Tolar
Address: 129 S. Curtis St. Unit 1112
Lake Geneva, WI 53147

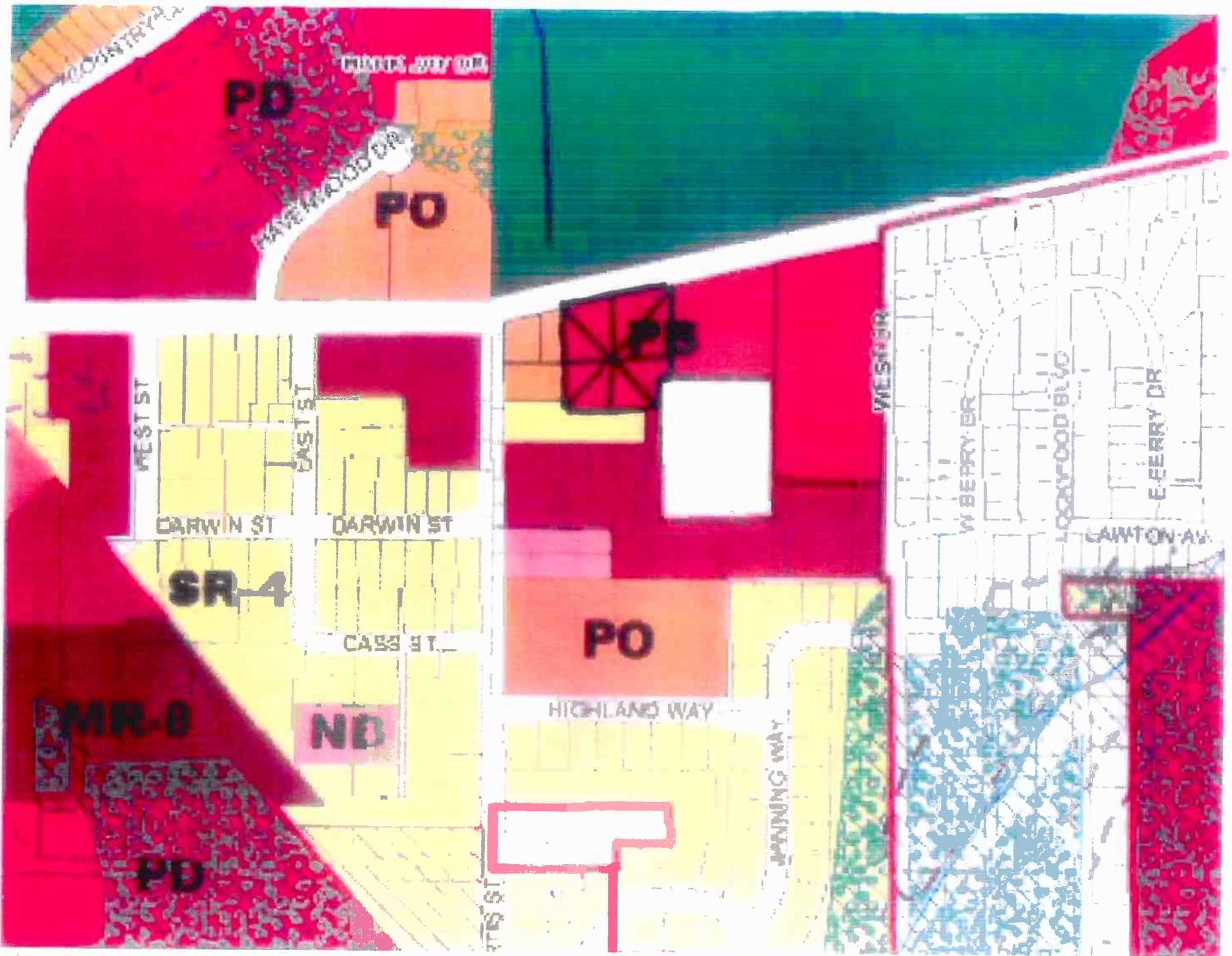
Tax Key #: ZTW1 00006
Owner: Maryou Connolly Trust
Address: 129 S. Curtis St. Unit 1111
Lake Geneva, WI 53147

Tax Key #: ZTW1 00007
Owner: Jeffrey G. Arbotante
Address: 5 Hartford Court
Algonquin, IL 60102

Tax Key #: ZTW1 00008
Owner: Daniel E. Getzen
Address: 500 S. Edwards Blvd. Unit 2
Lake Geneva, WI 53147

Tax Key #: ZTW1 00009
Owner: Rose Temple
Address: 1270 Wisconsin St. #105
Lake Geneva, WI 53147

Tax Key #: ZTW1 00010
Owner: Marilyn M. Cantalice Trust
Address: 129 S. Curtis St. Unit 1212
Lake Geneva, WI 53147



TRAFFIC IMPACT ANALYSIS FOR:

LAKE GENEVA PLAZA DEVELOPMENT
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

DATE SUBMITTED: February 13, 2018

PREPARED FOR:

Farris, Hansen & Associates, Inc.
P.O. Box 437
Elkhorn, WI 53121
Phone: (262) 723-2098
Contact Person: Warren E. Hansen, P.E.



PREPARED BY:

TADI
N36 W7505 Buchanan Street
Cedarburg, WI 53012
Phone: (800) 605-3091
Contact Persons: Christian R. Sternke, P.E.
John Bieberitz, P.E., PTOE

"I certify that this Traffic Impact Analysis has been prepared by me or under my immediate supervision and that I have experience and training in the field of traffic and transportation engineering."

Christian R. Sternke

Christian R. Sternke, P.E.
Wisconsin Registration #45786-006
TADI

EXECUTIVE SUMMARY ONLY

See report on file for entire Traffic Study.

CHAPTER I – INTRODUCTION & EXECUTIVE SUMMARY

PART A – PURPOSE OF REPORT AND STUDY OBJECTIVES

The Lake Geneva Plaza development is proposed to be located south of State Trunk Highway (STH) 50 and west of Lake Geneva Lanes in the City of Lake Geneva, Walworth County, Wisconsin. TADI conducted this traffic impact analysis (TIA) to determine the expected weekday morning and weekday evening peak hour operating conditions in both the summer and the winter, and recommended intersection geometrics at the proposed development driveway with STH 50.

This report documents the procedures, findings and conclusions of the analysis. The analysis identifies recommended modifications based on existing roadway conditions, existing traffic volumes, and additional traffic expected to be generated by the proposed development.

PART B – EXECUTIVE SUMMARY

The executive summary includes a description of the study area, description of the development and conclusions based on the findings of the TIA.

B1. Study Area

A map illustrating the location of proposed development site is shown in [Exhibit 1-1](#). A conceptual site plan is illustrated in [Exhibit 1-2](#). The study area includes the following intersection:

- STH 50 & Proposed Development Driveway (proposed one-way stop).

B2. On-Site Development Description

The development was assumed to be constructed with the following land uses:

- *Gas Station/Convenience Store/Car Wash* – 16 fueling positions; and
- *Dunkin Donuts with Drive-Through Window* – 1,800 square feet (sf).

For the purpose of the TIA, the full build completion of the proposed development is assumed to occur in Year 2018. The actual timeline for build-out of the development may vary.

B3. Off-Site Development Description

Full build-out of the Ross Development, located south of the Wal-Mart development, north of Geneva Parkway, and east of STH 120, is expected to occur in the near future. Because this development is expected to add additional traffic to STH 50, the new trips from the full build-out will be considered in this analysis.

B4. Site Generated Traffic

To address any potential future traffic impacts at the study area intersections, it is necessary to identify the hourly volume of traffic generated by the proposed development. The traffic volumes expected to be generated by the development are based on the size and type of the proposed uses and trip rates as published in the Institute of Transportation Engineers' (ITE) *Trip Generation Manual, Ninth Edition, 2012*.

The expected new trips for the full build of the proposed Lake Geneva Plaza development include 150 new trips (75 in/75 out) during a typical weekday morning peak hour and 135 new trips (70 in/65 out) during a typical weekday evening peak hour. On a typical weekday, the total development is expected to generate 1,700 new trips (850 in/850 out). It is noted that due to the use of this development and its location, a significant amount of traffic is expected to be pass-by traffic (traffic that is already on STH 50).

B5. Proposed Access

A driveway approximately 310-feet west (centerline-to-centerline) of the Lake Geneva Lanes western driveway is proposed to access the site. This proposed driveway is expected to have full access to STH 50.

B6. Recommended Modifications

The study area intersections were analyzed based on the procedures set forth in the *2010 Highway Capacity Manual (HCM)*. Intersection operation is defined by “level of service”. Level of Service (LOS) is a quantitative measure that refers to the overall quality of flow at an intersection ranging from very good, represented by LOS ‘A’, to very poor, represented by LOS ‘F’. For the purpose of this study, LOS D or better was used to define desirable peak hour operating conditions.

The following modifications, shown in Exhibit 1-3, are recommended to accommodate the build (with Lake Geneva Plaza development) traffic volumes in the winter and summer.

Modifications are for jurisdictional consideration and are not legally binding. The City of Lake Geneva reserves the right to determine alternative solutions.

STH 50 & Proposed Development Driveway

- Provide one exclusive left-turn and one exclusive right-turn lane on the development driveway northbound approach.
- Install stop control on the development driveway approach to STH 50.
- Widen shoulder on the south side of STH 50 for eastbound right-turn traffic.
- Widen shoulder on the north side of STH 50 for a de facto by-pass lane on the westbound approach to allow westbound through traffic to proceed along STH 50 if a vehicle is waiting to turn left into the development.

With the modifications listed above, the northbound left-turn movement exiting the driveway is expected to operate at LOS F conditions in the summer morning and evening peak hours. However, delays for the northbound left-turn movement moderately improved as summarized below:

- Summer AM: from 187.7 seconds to 130.6 seconds per vehicle; and
- Summer PM: from 587.6 seconds to 416.2 seconds per vehicle.

B7. Conclusion

Except where noted, all movements at the study area intersection are expected to operate safely and efficiently with the modifications described.

REVISION/PLOT DATE:

**LAKE GENEVA PLAZA LANDSCAPING CALCULATIONS
(PLANNED BUSINESS = PB)**

- 1. (98-604) BUILDING FOUNDATIONS:
4,000 LF = 4 X 40 LANDSCAPE POINTS (LP) = **160 LP**
 - 2. (98-605) GROSS FLOOR AREA/DEVELOPED LOT:
11,383 SF = 11.4 X 10 = **114 LP**
 - 3. (98-606) STREET FRONTAGE
300 LF = 3 X 40 (50% Climax/30% Medium Trees) = **120 LP**
 - 4. (98-607) PAVED AREAS
51,837 SF = 5.2 X 80 = **+ 416 LP**
(Also 30% Climax Plus 40% Shrubs)
- Required 810 LP**

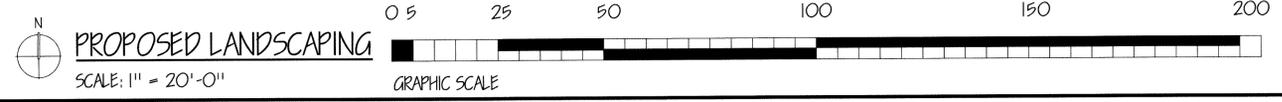
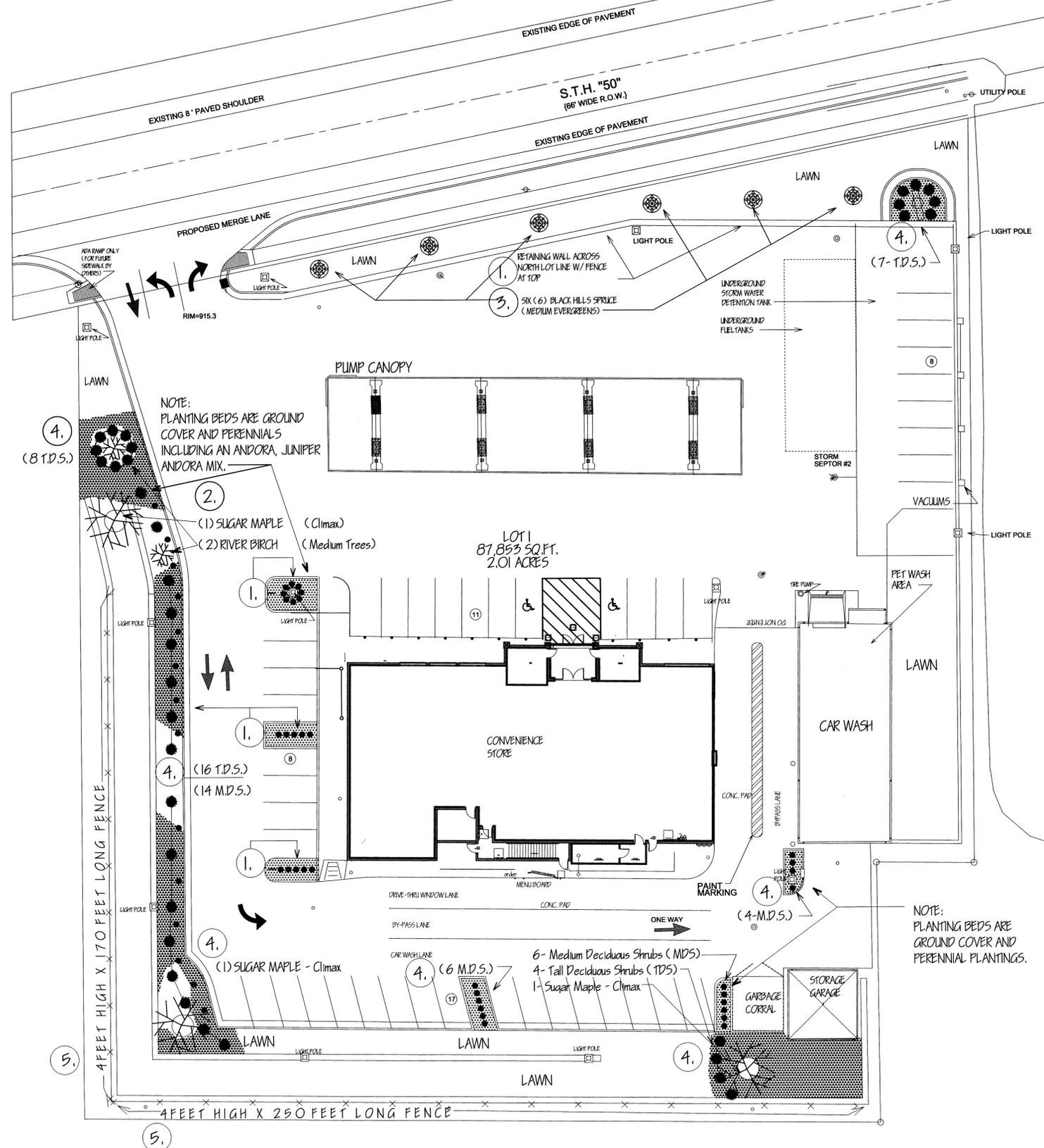
SOLUTIONS:

- 1. **FOUNDATION LANDSCAPING: (160 LP Required)**
Assuming multifamily Residential at Hillmoor Property - 200 ft retaining wall @ 133 LP/100 = **266 LP**

(Foundation Landscaping is provided at the West Elevation of the Building at three locations, plus the planting beds adjacent to the west lower retaining wall. The Hwy 50 retaining wall will elevate the building pad as much as 8 feet plus safety rail above street level which will provide the 6 feet visual screen.)
- 2. **GROSS FLOOR AREA/DEVELOPED LOT: (114 LP Required)**
One 75 LP Climax Tree / 2 -20 LP Medium Trees = **115 LP**
- 3. **STREET FRONTAGE: (120 LP Required)**
Six (6) Medium Evergreen Trees = 6 x 20 = **120 LP**
- 4. **PAVED AREAS: (416 LP Required)**
2 Climax Trees (150 LP) / 35 Tall Deciduous Shrubs (175 LP) / 30 Medium Deciduous Shrubs (90 LP) = **415 LP**
- 5. **BUFFER REQUIREMENTS BETWEEN ZONING CLASSIFICATIONS:**
PLANNED BUSINESS VS PLANNED OFFICE (EAST BORDER) :
0.1 OPACITY REQUIREMENT OF 170 FT OF 4 FOOT WOOD FENCE SOLUTION @ 62 LP / 100 FT = **105 LP**

PLANNED BUSINESS VS RESIDENTIAL (SR-4) (SOUTH BORDER)
0.4 OPACITY REQUIREMENT 250 FT OF 4 FOOT WOOD FENCE SOLUTION @ 362 LP / 100 FT = **905 LP**

LANDSCAPE POINT RECAP : 1,926 LP Provided VS 810 Required



REVISIONS	BY

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CHECKED BY JFK
DATE 05-14-18
SCALE 1" = 20'-0"

LAKE GENEVA PLAZA
190 EAST MAIN STREET (HIGHWAY 50)
CITY OF LAKE GENEVA, WISCONSIN 53147

Kopecky Architects + Associates
236 HWY 50 --- Delavan, WI 53115
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SHEET NO. LS-10F
PAGE NO. LS-1.01
FILE NO. F-2017003/M-0003

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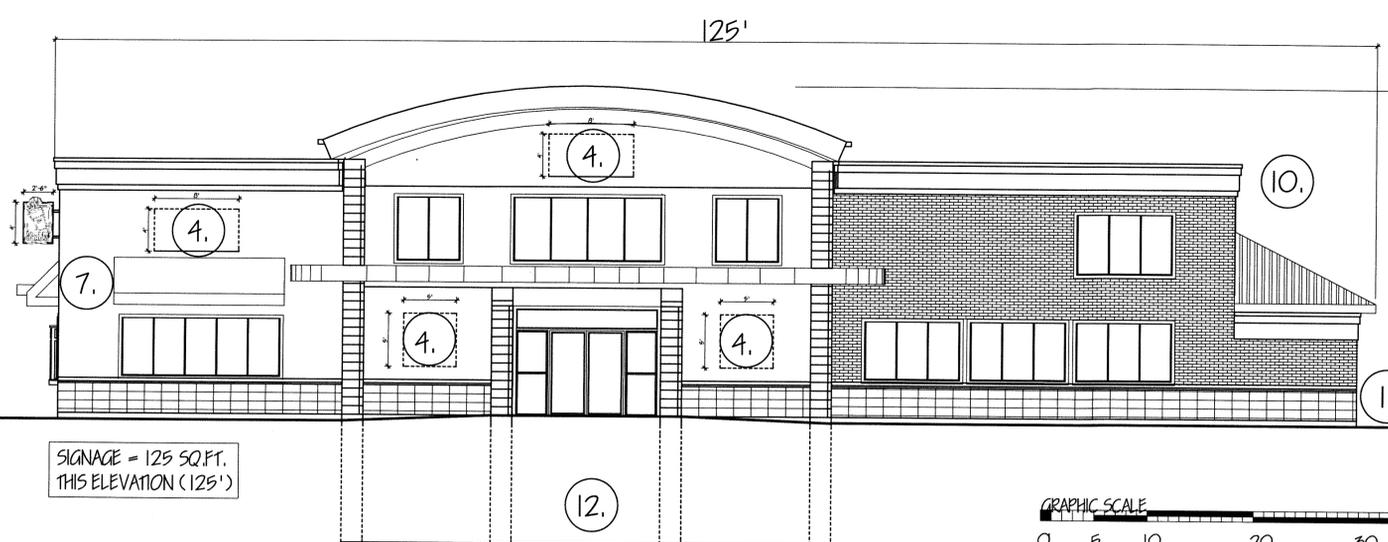
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CITY OF LAKE GENEVA, WISCONSIN 53147

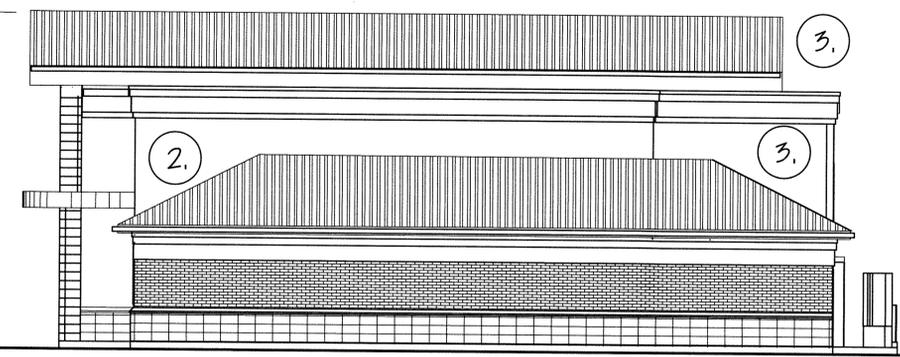
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4 OF 4
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FILE NO.
F-2017003/M-0004



WEST

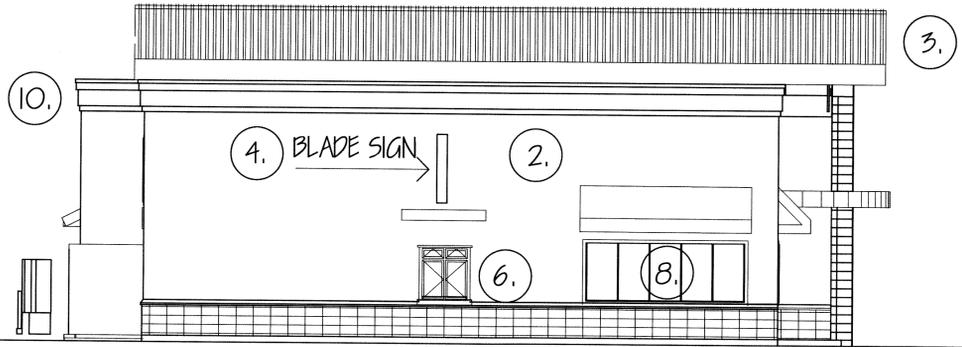


SIGNAGE = 125 SQ.FT.
THIS ELEVATION (125')

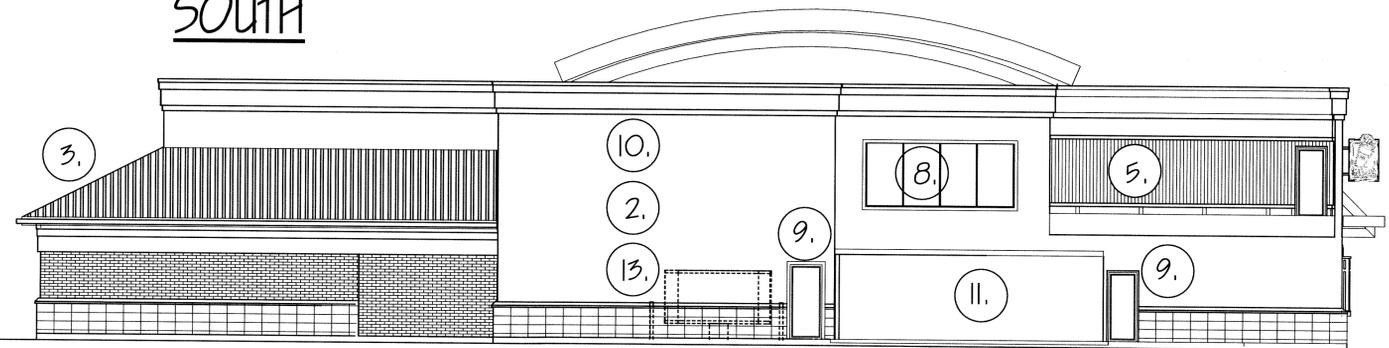


BUILDING ELEVATIONS

EAST



SOUTH

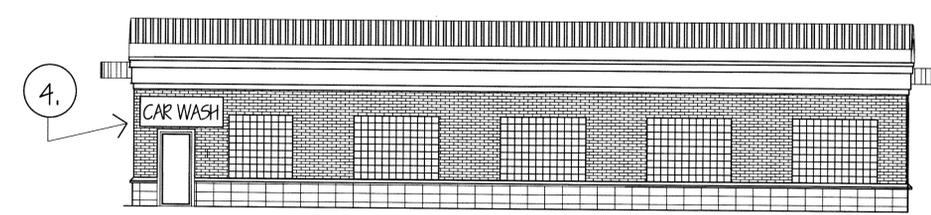


MATERIAL LEGEND:

- 1. SPLIT-FACED MASONRY
- 2. BRICK MASONRY OR SYNTHETIC STUCCO
- 3. METAL ROOFING
- 4. SIGNAGE
- 5. ROOFTOP EQUIPMENT SCREEN
- 6. DRIVE-UP WINDOW
- 7. DUNKIN DONUT FABRIC AWNINGS
- 8. ALUMINUM FRAMED STOREFRONT GLAZING/ DOORS
- 9. PAINTED METAL DOORS
- 10. SYNTHETIC STUCCO FACIA BAND
- 11. WALK-IN COOLER AT REAR OF BUILDING
- 12. BASEMENT
- 13. DRIVE-UP MENU BOARD

CAR WASH

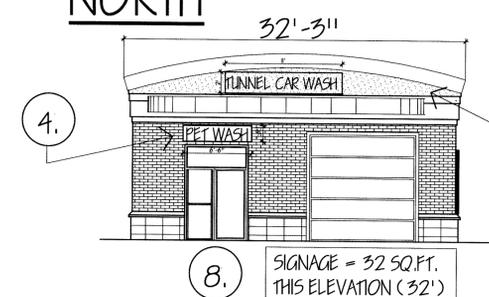
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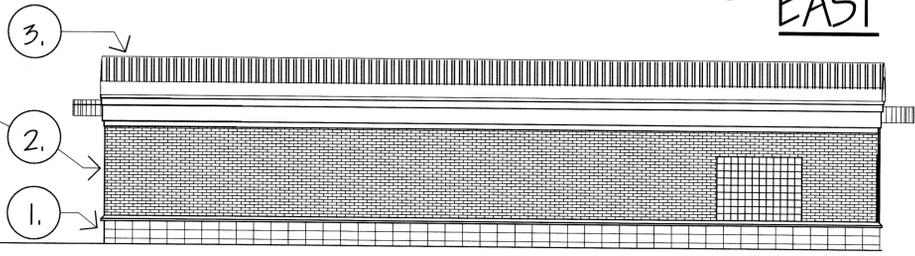
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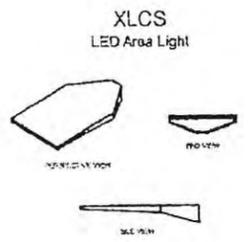
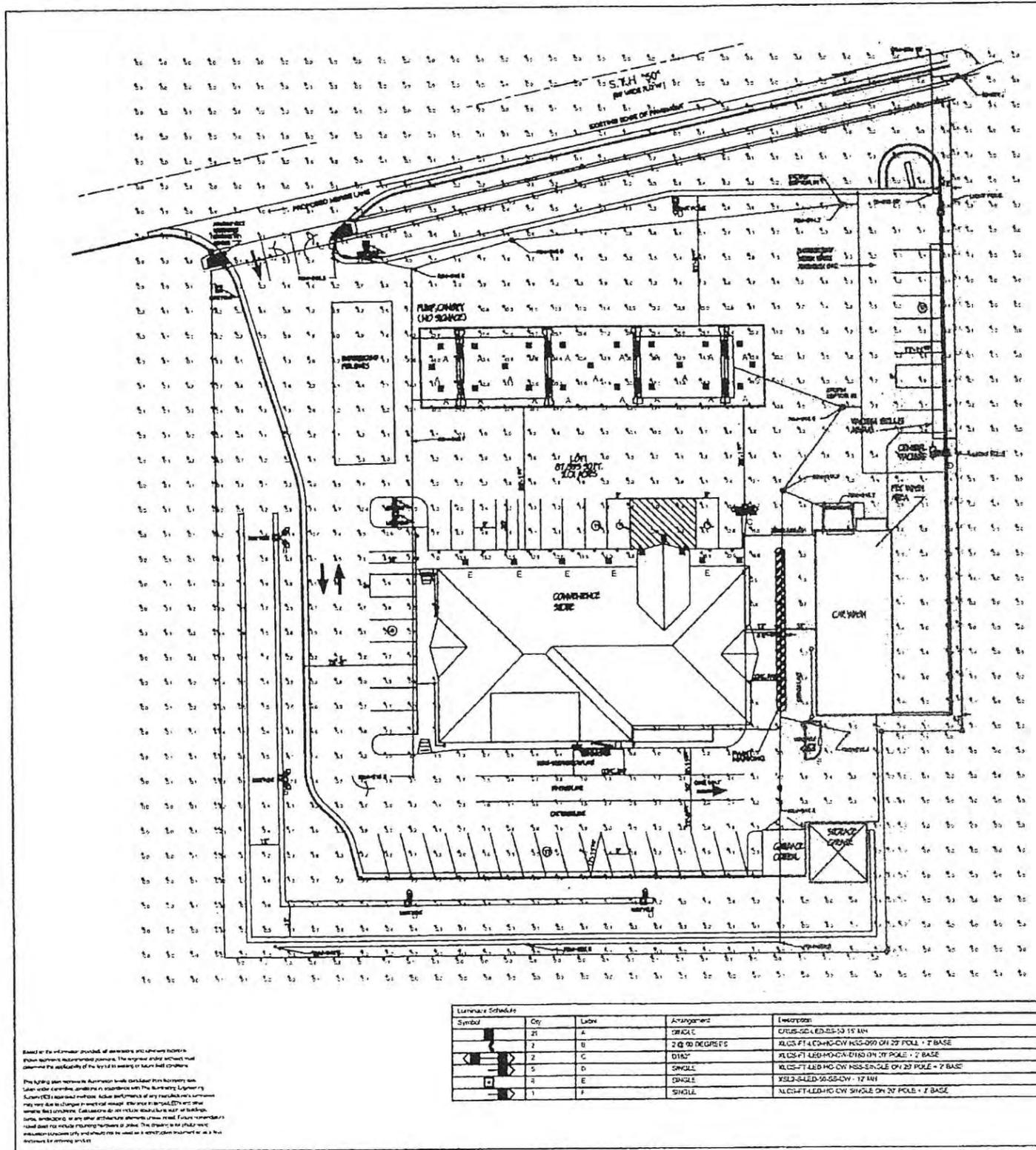
NORTH



SIGNAGE = 32 SQ.FT.
THIS ELEVATION (32')



EAST



Category	Fixture	Qty	Area	Min	Max	Avg	Footcandle
ALL CALLED POINTS AT GRADE	Reference	FE	3.33	44.8	0.0	N/A	N/A
PL READINGS	Reference	FE	0.16	0.5	0.0	11.4	N/A
CANOPY SUMMARY	Reference	FE	23.57	44.8	22.0	1.53	1.04
PARKING AND DRIVE SUMMARY	Reference	FE	4.21	33.0	3.0	N/A	N/A

Symbol	Qty	Label	Arrangement	Description	LF	Area Lumens	Avg. Wpts
[Symbol]	21	A	GRABBLE	CRUS-SC-LED-25-15 15' W/H	0.870	1307.4	61.9
[Symbol]	7	B	2 @ 20 DEGREE'S	XLCS-F1-LED-HO-CW-NSS-099 ON 20' POLE - 2' BASE	0.300	2437.8	277.4
[Symbol]	2	C	DIAG'	XLCS-F1-LED-HO-CW-NSS-099 ON 20' POLE - 2' BASE	0.900	3107.0	277.2
[Symbol]	5	D	SINGLE	XLCS-F1-LED-HO-CW-NSS-099 ON 20' POLE - 2' BASE	0.800	1218.0	136.7
[Symbol]	2	E	SINGLE	XSL2-S-LED-50-SS-CW - 12' W/H	0.900	618.0	58.9
[Symbol]	1	F	SINGLE	XLCS-F1-LED-HO-CW SINGLE ON 20' POLE - 2' BASE	0.300	1533.3	138.5

Based on the information provided, all calculations are approximate. The lighting designer is not responsible for the accuracy of the calculations. The lighting designer is not responsible for the accuracy of the calculations. The lighting designer is not responsible for the accuracy of the calculations.

TO BE SUPPLEMENTED

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JFK
DATE
04-04-18
SCALE
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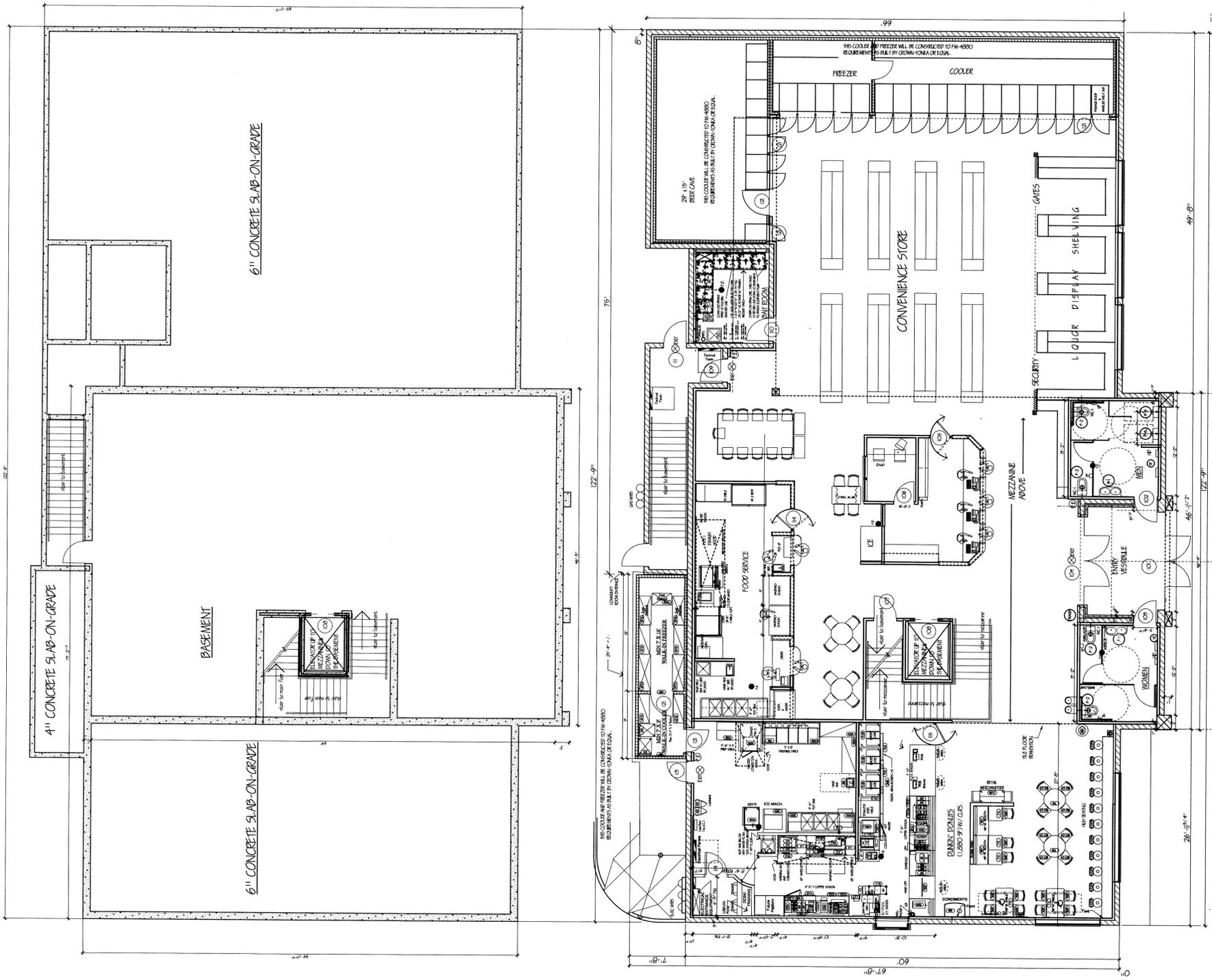
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Kopecky Architects + Associates
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2017003
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F-2017003/M-9002
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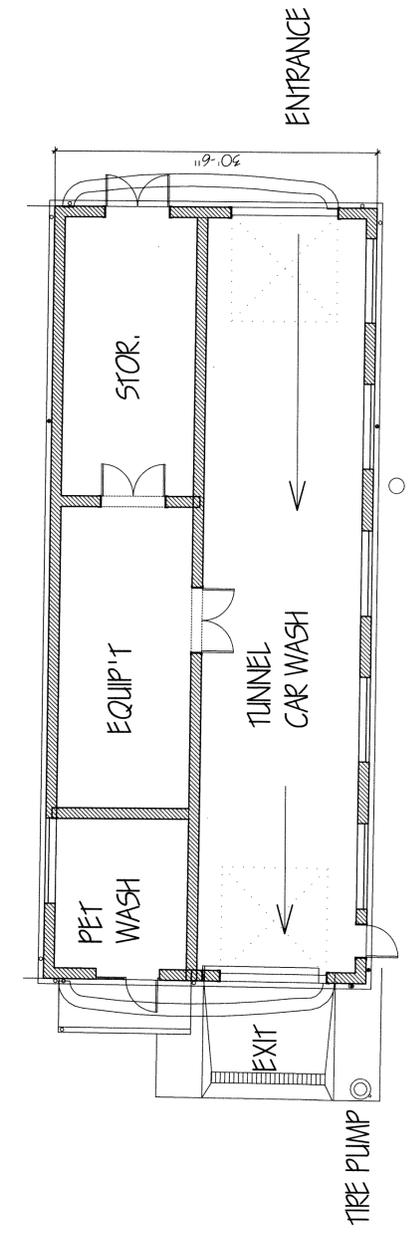
REVISION/PLOT DATE:



⊕ = BASEMENT/ FOUNDATION PLAN (FULLY SPRINKLERED)

⊕ = OVERALL FLOOR PLAN (FULLY SPRINKLERED)
(MEZZANINE LEVEL OPTIONAL)

⊕ = CAR WASH FLOOR PLAN



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DATE	04-04-18
SCALE	1/8" = 1'-0"

LAKE GENEVA PLAZA
190 EAST MAIN STREET (HIGHWAY 50)
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PROJECT NO.	2017003
SHEET NO.	3 OF 4
PAGE NO.	A-3.01
FILE NO.	F-2017003/M-0003

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 21, 2018

Agenda Item: 11

Applicant:

1111 N. Edwards Blvd LLC
1111 N. Edwards Blvd
Lake Geneva WI, 53147

Request:

Hampton Inn
General Development Plan (GDP) for
Commercial Indoor Lodging land use in the
Planned Industrial (PI) Zoning District
Tax Key No. ZA468000003 & ZA468000004

Description:

The applicant is submitting a request for the new construction of a 5 story 92 unit Hampton Inn to be located at the south east portion of the intersection of N. Edwards Blvd and Sheridan Springs Rd.

The applicants have met with staff for this land use of Commercial Indoor Lodging land use to occur at this location for the consideration of the requested in the General Development Plan (GDP). The requested GDP zoning approval will allow for the construction of the Hotel adjacent to the current Geneva Square property.

Staff has met with the applicants and their considerations of, building exterior materials, and site access, and storm water detention.

The city engineer has been in contact with the designer for storm water designs and requests the motion include the statement as contingent on the final staff approval of the storm water designs.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including General Development Plans) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. The proposed GDP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. All other zoning requirements of the current GDP remain.

Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / GDP:

As part of the consideration of a requested Planned Development / General Development Plan (GDP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed GDP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed GDP applicants have met with staff and have provided the information and plan to support the requested GDP.

Planning staff supports the requested flexibilities. Approval of this proposed GDP does not set legal precedent.

Required Plan Commission Findings on the GDP for Recommendation to Common Council:

A proposed GDP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed GDP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map. And;
 3. The proposed GDP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Or:

- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed GDP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
 3. The proposed GDP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the General Development Plan:

1. Staff recommends that the Plan Commission recommend *approval* of the GDP as submitted, including the granting of the requested zoning ordinance flexibilities.
2. Staff recommends the affirmative set of findings provided above, noting that the proposal meets Factor 3. Specifically, the proposal maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
3. Staff recommends that Plan Commission's recommendation is that storm water approval be contingent on review and satisfaction of the city engineer.

GENERAL DEVELOPMENT PLAN

HAMPTON INN

**LAKE GENEVA, WISCONSIN,
A PLANNED DEVELOPMENT OF
1111 N EDWARDS BLVD LLC**

May 10, 2018

General Development Plan Introduction

This General Development Plan (“GDP”) concerns two vacant parcels of land, totaling approximately 2.468 acres, more particularly described in the attached Exhibit A incorporated herein and depicted on the City of Lake Geneva (“City”) Land Use Plan Map and an aerial photograph attached as Group Exhibit B hereto and incorporated herein, intended by Applicant, 1111 N Edwards Blvd LLC, a Wisconsin limited liability company, for the development and operation of a Hampton Inn (“Site”).

The Site is located in the northeast corner of the City, at the southeast corner of the intersection of Sheridan Springs Road and the north terminus of North Edwards Boulevard. The Site is bounded as follows:

- North - The USH 12/STH 120 interchange and shopping center
- East - The right-of-way for USH 12
- South - Existing undeveloped land
- West - Existing undeveloped land and shopping center

Access to the Site will be from two driveways on North Edwards Boulevard.

The principal building on the Site will be approximately 65 feet in height, five floors, with 92 single room and suite units of varying sizes, breakfast area facilities, a fitness center, an indoor pool, a meeting room, and related motel facilities. The Hampton Inn franchise is premium-ranked in the industry.

The economic advantages of the Hampton Inn to the City are substantial. The construction of the improvements on the Site will employ about 160 workers. The cost of the completely constructed and equipped Hampton Inn is budgeted at approximately \$11,351,000.00. The estimated annual general real estate taxes generated by the improvements will be approximately \$232,675.00 at current tax rates. Once operational, the Hampton Inn is estimated to generate room sales tax for the City of about \$307,236.00 annually, using the 8.5% room sales tax rate. When operational, the Hampton Inn will employ about 20 full-time and 15 part-time employees, most expected to live in the Lake Geneva area. Once operational, total annual salaries paid to such employees are estimated at about \$469,892.00 initially.

The Site is zoned PI, Planned Industrial. Applicant proposes rezoning to a planned development (“PD”) of the Site, using the Planned Business District as the base zoning district, with the grant of the conditional use of Commercial Indoor Lodging, which is a conditional use under the Planned Business District.

General Development Plan:

1. Location map of the Site on the City of Lake Geneva Land Use Plan Map: *See* Group Exhibit B.

2. Map of Site with lands, including zoning, and owners, including names and addresses, within 300 feet of the boundaries of the Site: *See* Group Exhibit C incorporated herein.

3. General written description of the proposed PD including:

a. General project themes and images: The Hampton Inn franchisor sets standards for a franchisee, including building appearance. Applicant has incorporated suggestions from City staff into Applicant's franchisor-approved exterior plans and specifications. *See* the Site Plan attached as Exhibit D and incorporated herein, the Floor Plans attached as Group Exhibit E, and the Elevations & Renderings attached as Group Exhibit F and incorporated herein.

b. General mix of land uses: The Site is planned for use as a Hampton Inn and its related requirements and uses, such as parking lot, storm water management system, and other facilities.

c. Approximate non-residential intensities as described by floor area ratio and impervious surface area ratio: The Maximum Floor Area Ratio (FAR) is .30. Applicant requests a maximum FAR of .45.

d. General treatment of natural features: Much of the Site will be improved, with the Hampton Inn building, the parking lot, the storm water management system, and other facilities taking considerable area. However, landscaping will be maintained in accordance with the zoning standards for the Site. Note that the Site is not in a Primary Environmental Corridor or in the watershed for Geneva Lake; any storm water draining from the Site to the White River will enter the river east of the outflow control gates from Geneva Lake, and will meet all applicable water quality standards.

e. General relationship to nearby properties and public streets: The Site, as a Hampton Inn, is an appropriate use for the area, given the surrounding USH 12 and North Edwards Boulevard, and the Site's proximity to the interchange of USH 12 and STH 36/120. The only developed neighboring property, the Geneva Square shopping center northwest of the Site, is also a commercial use and, in any event, is oriented toward USH 12 and the interchange, away from the Site.

The City has recently adopted a Bicycle and Pedestrian Plan, which includes planned bicycle paths on Sheridan Springs Road and North Edwards Boulevard that meet at the intersection of such streets. *See* the Site Plan for the approximate location of bike racks that Applicant proposes to purchase, install and maintain on the Site, to assist bicyclists riding the paths.

f. General relationship of the project to the Master Plan: Under the City's Comprehensive Master Plan, the Site is part of a "Planned Mixed Use Area," which includes the Planned Business District. No amendment of the Comprehensive

Master Plan is required, because Applicant asks to use the Planned Business District as the base zoning district of this GDP.

g. Statement of Rationale as to why PD zoning is proposed: Most of the flexibilities requested below result from the Site's shape and location. The Site, while almost 2.5 acres, is narrow and triangular in shape, making setbacks, for example, especially difficult. Additionally, the Site's location, relatively isolated from the rest of the City, with no nearby residential development, and no commercial development but for Geneva Square shopping center, makes it appropriate for many of the flexibilities requested under this GDP. The Site is particularly appropriate for a Hampton Inn, given its proximity to USH 12, the interchange with USH 12 and STH 36/120, North Edwards Boulevard, and Sheridan Springs Road.

h. Zoning standards which will and will not be met by the proposed PD: If the Site is zoned PD with a Planned Business base district, the Site will need the following Planned Business District uses thereunder and will meet the following Planned Business District standards:

i. Land Uses Permitted by Right: (per Section 98-202(2))

Selective Cutting (per Section 98-206(2)(f))

Passive Outdoor Public Recreation (per Section 98-206(3)(a))

Indoor Institutional (per Section 98-206(3)(c))

Public Services and Utilities (per Section 98-206(3)(e))

ii. Land Uses Permitted as Conditional Use: (per Section 98-202(4))

Clear Cutting (per Section 98-206(2)(g))

Commercial Indoor Lodging (per Section 98-206(4)(k))

iii. Land Uses Permitted as Accessory Uses: (per Section 98-202(5))

Land Uses Permitted by Right:

On-Site Parking Lot (per Section 98-206(8)(n))

Drainage Structure (per Section 98-206(8)(r))

Filling (per Section 98-206(8)(s))

Lawn Care (per Section 98-206(8)(t))

Exterior Communication Devices (per Section 98-206(8)(v))

Land Uses Permitted as Conditional Use: None (Accessory).

iv. Land Uses Permitted as Temporary Uses: (per Section 98-202(6))

Contractor's Project Office (per Section 98-206(9)(c))

Contractor's On-Site Equipment Storage (per Section 98-206(9)(d))

Relocatable Building (per Section 98-206(9)(e))

If the Site is zoned PD with a Planned Business base district, the Site will meet many of the following Planned Business District standards. For those standards that the Site will not meet, Applicant requests the listed flexibilities from them:

Regulations Applicable to Nonresidential Uses:

Nonresidential Intensity Requirements:

Maximum Number of Floors (F): 4. *Applicant requests flexibility to allow 5 floors, and a maximum building height of approximately 65 feet, not 45 feet, given the size, shape and location of the Site, the need for parking, the storm water management system, and other facilities thereon, and the requisite number of units for the Site. The Site is relatively isolated, with major highways and roadways surrounding it. There are no nearby residential properties for which views will be significantly affected, the closest being Stone Ridge Subdivision, which is located northwest of the Site, outlets on Center Street, is built on a hill higher than the Site, with the Site not in the line of sight between the subdivision and Geneva Lake. The building will use a flat roof, rather than a pitched roof, to minimize its height. A four foot-high parapet around the roof will screen any necessary mechanical equipment and vents from view, particularly at street level. As a hotel-motel, greater ceiling height is needed, particularly for the first floor, to accommodate amenities such as the breakfast area facilities, the fitness center, the indoor pool, and the meeting room. The Applicant will install water pressure boosting equipment if required for fire suppression or other water needs to serve the building. See Group Exhibit F for a rendering of the building from USH 12, illustrating that the Site, well below the pavement on USH 12, diminishes the perceived height of the building to passersby on USH 12.*

Minimum Landscape Surface Ratio (LSR): 25%. *Applicant requests an LSR of approximately 42%, based on the ratio of 44,619 square feet to 107,506.08 square feet.*

Maximum Floor Area Ratio (FAR): .30. *Applicant requests a maximum FAR of .45, based on the ratio of 46,100 square feet to 107,506.08 square feet. The LSR and FAR are based on a gross building area of 58,440 square feet, total area of 107,506.08 square feet, a building footprint of 12,340 square feet, and upper floors of 11,525 square feet.*

Minimum Lot Area (MLA): 20,000 square feet

Maximum Building Size (MBS): Not applicable

Nonresidential Bulk Requirements:

a) Minimum Lot Area: 20,000 square feet

b) Minimum Lot Width: 100 feet; Minimum Street Frontage: 50 feet

c) Minimum Setbacks:

i) Building to Front or Street Lot Line: 25 feet, 40 feet for a lot adjacent to a street with an Officially Mapped right-of-way equal to or exceeding 100 feet. *Applicant requests flexibility for the Site to reduce the street yard setbacks from 40 feet from the rights-of-way for USH 12, Sheridan Springs Road, and North Edwards Boulevard, as shown on the Site Plan. The Site is narrow and triangular in shape, and a 40 foot setback from each boundary of the Site would leave too little of the Site for development, including building, parking, storm water management system, and other facilities.*

ii) Building to Nonresidential Side Lot Line: 10 feet or 0 feet on zero lot line side. *Not applicable, because all three sides of the Site are bounded by public streets or highways, subject to the street yard setback of 40 feet, from which flexibility is requested above.*

iii) Building to Nonresidential Rear Lot Line: 30 feet. *Not applicable, because all three sides of the Site are bounded by public streets or highways, subject to the street yard setback of 40 feet, from which flexibility is requested above.*

d) Peripheral Setback: Along zoning district boundary: *With the base Planned Business zoning district, the surrounding zoning districts of Planned Industrial and Planned Development-Commercial appear to impose no peripheral setback.*

e) Minimum Paved Surface Setback: 5 feet from side or rear; 10 feet from street. *Applicant requests that the minimum paved surface setback from the North Edwards Boulevard right-of-way be reduced from 10 feet to 3 feet, particularly around the south access point to the Site, given the narrowness of the Site.*

f) Minimum Building Separation: 20 feet or 0 feet on zero lot line side.

g) Maximum Building Height: 45 feet. *Applicant requests flexibility to allow 5 floors, and a maximum building height of approximately 65 feet, not 45 feet, given the size, shape and location of the Site, the need for parking, the storm water management system, and other facilities thereon, and the requisite number of units for the Site. The Site is relatively isolated, with major highways and roadways surrounding it. There are no nearby residential properties for which views will be significantly affected, the closest being Stone Ridge Subdivision, which is located northwest of the Site, outlets on Center Street, is built on a hill higher than the Site, with the Site not in the line of sight between the subdivision and Geneva Lake. The building will use a flat roof, rather than a pitched roof, to minimize its height. A four foot-high parapet around the roof will screen any necessary mechanical equipment and vents from view, particularly at street level. As a hotel-motel, greater ceiling height is needed, particularly for the first floor, to accommodate amenities such as the breakfast area facilities, the fitness center, the indoor pool, and the meeting room. The Applicant will install water pressure boosting equipment if required for fire suppression or other water needs to serve the building. See Group Exhibit F for a rendering of the building from USH 12, illustrating that the Site, well below the pavement on USH 12, diminishes the perceived height of the building to passersby on USH 12.*

Minimum Number of Off-Street Parking Spaces Required on the Lot: 98 stalls, including 4 ADA stalls

Nonresidential Landscaping Requirements (Nonresidential, Two- & Multi-family):

- 1) 40 landscaping points per 100 linear ft. of building foundation
- 2) 10 landscaping points per 1,000 square ft. of gross floor area
- 3) 40 landscaping points per 100 linear feet of street frontage
- 4) 80 landscaping points per 10,000 square ft. paved area/20 stalls

See Conceptual Landscaping Plan, Exhibit H

Nonresidential Performance Standards: *Under 98-702(6), on an arterial or nonresidential collector street, no access point can be closer than one hundred (100) feet from the intersection of any two street rights-of-way unless such street is the only available frontage on the property. The north access point to the Site on North Edwards Boulevard is approximately 100 feet from the intersection of North Edwards Boulevard and Sheridan Springs Road. Applicant requests flexibility to locate the north access*

point as shown on the Site Plan to align the driveway properly with the porte cochere and the lobby entrance to the Hampton Inn.

Nonresidential Signage Regulations: *See Signage Plan, Exhibit I.*

i. Description of potentially requested exemptions from the requirements of the underlying zoning district, in the following order:

1. Land Use Exemptions: None.

2. Density and Intensity Exemptions:

Maximum Number of Floors (F): 4. Applicant requests flexibility to allow 5 floors, and a maximum building height of approximately 65 feet, not 45 feet, given the size, shape and location of the Site, the need for parking, the storm water management system, and other facilities thereon, and the requisite number of units for the Site. The Site is relatively isolated, with major highways and roadways surrounding it. There are no nearby residential properties for which views will be significantly affected, the closest being Stone Ridge Subdivision, which is located northwest of the Site, outlets on Center Street, is built on a hill higher than the Site, with the Site not in the line of sight between the subdivision and Geneva Lake. The building will use a flat roof, rather than a pitched roof, to minimize its height. A four foot-high parapet around the roof will screen any necessary mechanical equipment and vents from view, particularly at street level. As a hotel-motel, greater ceiling height is needed, particularly for the first floor, to accommodate amenities such as the breakfast area facilities, the fitness center, the indoor pool, and the meeting room. The Applicant will install water pressure boosting equipment if required for fire suppression or other water needs to serve the building. See Group Exhibit F for a rendering of the building from USH 12, illustrating that the Site, well below the pavement on USH 12, diminishes the perceived height of the building to passersby on USH 12.

Minimum Landscape Surface Ratio (LSR): 25%. Applicant requests an LSR of approximately 42%, based on the ratio of 44,619 square feet to 107,506.08 square feet.

Maximum Floor Area Ratio (FAR): .30. Applicant requests a maximum FAR of .45, based on the ratio of 46,100 square feet to 107,506.08 square feet. The LSR and FAR are based on a gross building area of 58,440 square feet, total area of 107,506.08 square feet, a building footprint of 12,340 square feet, and upper floors of 11,525 square feet.

3. Bulk Exemptions:

Minimum Setbacks:

Building to Front or Street Lot Line: 25 feet, 40 feet for a lot adjacent to a street with an Officially Mapped right-of-way equal to or exceeding 100 feet. Applicant requests flexibility for the Site to reduce the street yard setbacks from 40 feet from the rights-of-way for USH 12, Sheridan Springs Road, and North Edwards Boulevard, as shown on the Site Plan. The Site is narrow and triangular in shape, and a 40 foot setback from each boundary of the Site would leave too little of the Site for development, including building, parking, storm water management system, and other facilities.

Minimum Paved Surface Setback: 5 feet from side or rear; 10 feet from street. Applicant requests that the minimum paved surface setback from the North Edwards Boulevard right-of-way be reduced from 10 feet to 3 feet, particularly around the south access point to the Site, given the narrowness of the Site.

Maximum Building Height: 45 feet. *Applicant requests flexibility to allow 5 floors, and a maximum building height of approximately 65 feet, not 45 feet, given the size, shape and location of the Site, the need for parking, the storm water management system, and other facilities thereon, and the requisite number of units for the Site. The Site is relatively isolated, with major highways and roadways surrounding it. There are no nearby residential properties for which views will be significantly affected, the closest being Stone Ridge Subdivision, which is located northwest of the Site, outlets on Center Street, is built on a hill higher than the Site, with the Site not in the line of sight between the subdivision and Geneva Lake. The building will use a flat roof, rather than a pitched roof, to minimize its height. A four foot-high parapet around the roof will screen any necessary mechanical equipment and vents from view, particularly at street level. As a hotel-motel, greater ceiling height is needed, particularly for the first floor, to accommodate amenities such as the breakfast area facilities, the fitness center, the indoor pool, and the meeting room. The Applicant will install water pressure boosting equipment if required for fire suppression or other water needs to serve the building. See Group Exhibit F for a rendering of the building from USH 12, illustrating that the Site, well below the pavement on USH 12, diminishes the perceived height of the building to passersby on USH 12.*

4. Nonresidential Performance Standards:

Access Point to Intersection: *Under 98-702(6), on an arterial or nonresidential collector street, no access point can be closer than one hundred (100) feet from the intersection of any two street rights-of-way unless such street is the only available frontage on the property. The north access point to the Site on North Edwards Boulevard is approximately 100 feet from the intersection of North Edwards Boulevard and Sheridan Springs Road. Applicant requests flexibility to locate the north access point as shown on the Site Plan to align the driveway properly with the porte cochere and the lobby entrance to the Hampton Inn.*

Minimum Number of Off-Street Parking Spaces Required on the Lot: 98 stalls, including 4 ADA stalls

5. Landscaping Exceptions: None.

6. Parking and Loading Requirements Exceptions: None.

4. A General Development Plan Drawing (“GDP Drawing”) showing at least the following:

a. Conceptual plan drawing of the general land use layout and the general location of major public streets and/or private drives. *See GDP Drawing attached as Exhibit G and incorporated herein.*

b. Location of recreational and open space areas and facilities, specifically those dedicated for public acquisition and use: The City has recently adopted a Bicycle and Pedestrian Plan, which includes planned bicycle paths on Sheridan Springs Road and North Edwards Boulevard that meet at the intersection of such streets. See the Site Plan for the approximate location of bike racks that Applicant proposes to

purchase, install and maintain on the Site, to assist bicyclists riding the paths. Beyond such assistance, none of the Site shall be dedicated to public acquisition and use.

c. Statistical data on density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio, expected staging, and any other plans required by the Plan Commission or Common Council; and

d. notations relating the written information above to specific areas on the GDP Drawing.

5. General conceptual landscaping plan for the Site noting approximate locations of foundation, street, yard and paving, landscaping, and the compliance of development with all landscaping requirements of this Chapter (except as noted in the listing of exceptions) and the use of extra landscaping and bufferyards: *See* Conceptual Landscaping Plan attached as Exhibit H and incorporated herein

6. General signage plan, including all project identification signs and concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles) which vary from City standards or common practices. *See* General Signage Plan attached as Exhibit I and incorporated herein.

7. Written justification for Planned Development:

a. The Planned Development in general is in harmony with the Comprehensive Master Plan and the Zoning Ordinance: The Comprehensive Master Plan has designated certain areas of the City as “Planned Mixed Use Area,” which includes the Planned Industrial District and the Planned Business District.

b. The Planned Development in its specific location is in harmony with the Comprehensive Master Plan and the Zoning Ordinance: The Site is part of a “Planned Mixed Use Area,” which includes the Planned Business District. The Planned Business District includes among its conditional uses Commercial Indoor Lodging, for hotel/motel use. No amendment of the Comprehensive Master Plan is required, because Applicant asks to use the Planned Business District as the base zoning district of this GDP.

c. The Planned Development does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either now exist or in the future: The Site is relatively isolated, surrounded by major highways and roadways and largely undeveloped property, with no nearby residential development, and no commercial development but for Geneva Square shopping center, which is oriented toward USH 12 and the interchange of USH 12 and STH 36/120. The Site is not in a Primary Environmental Corridor or in the watershed for Geneva Lake; any

storm water draining from the Site to the White River will enter the river east of the outflow control gates from Geneva Lake, and will meet all applicable water quality standards. Traffic entering and exiting the Site will be light and spread out largely throughout the day. All parking will be on the Site. Rights-of-way surrounding the Site are in excess of 100 feet in width. Direct access from the Site to USH 12 is prohibited. Direct access from the Site to Sheridan Springs Road is not requested.

d. The Planned Development maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the Site and its surroundings: The Hampton Inn is a use for the Site envisioned under the City's Comprehensive Master Plan. The requested flexibilities can be granted under the City's Zoning Ordinance, especially given the size, shape and location of the Site. The Site is particularly appropriate for a Hampton Inn, given its proximity to USH 12, the interchange with USH 12 and STH 36/120, North Edwards Boulevard, and Sheridan Springs Road.

e. The Planned Development is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the Site. The roads are more than adequate, the utilities are at the lot line of the Site, and the required capacity for utilities and other services to serve a Hampton Inn will be less than most industries for which the Site is currently zoned.

f. The potential public benefits of the Planned Development outweigh all potential adverse impacts of the Planned Development. The Hampton Inn will provide a considerable economic benefit to the City and its residents, in the form of general real estate and room taxes, employment for construction and operation, and a motel that is premium class in its industry. The Hampton Inn can put the proximity of the Site to USH 12, the interchange with USH 12 and STH 36/120, North Edwards Boulevard, and Sheridan Springs Road, to better use than almost any other. Finally, the Hampton Inn can put the Site, a narrow, triangular-shaped, relatively isolated property owned by the City to its highest and best use, converting it from tax-exempt to revenue-producing.

Applicant respectfully requests that the City grant the GDP, pursuant to this Application, subject to such reasonable conditions as the City may impose.

EXHIBIT A
LEGAL DESCRIPTION OF SITE

Lot 3 and Lot 4 of Certified Survey Map No. 4680 recorded October 13, 2016 in Volume 31 of Certified Surveys on Page 28 as Document No. 934194, and being part of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4 and Southeast 1/4 and Southwest 1/4 of the Northwest 1/4 all in Section 30, Township 2 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin.

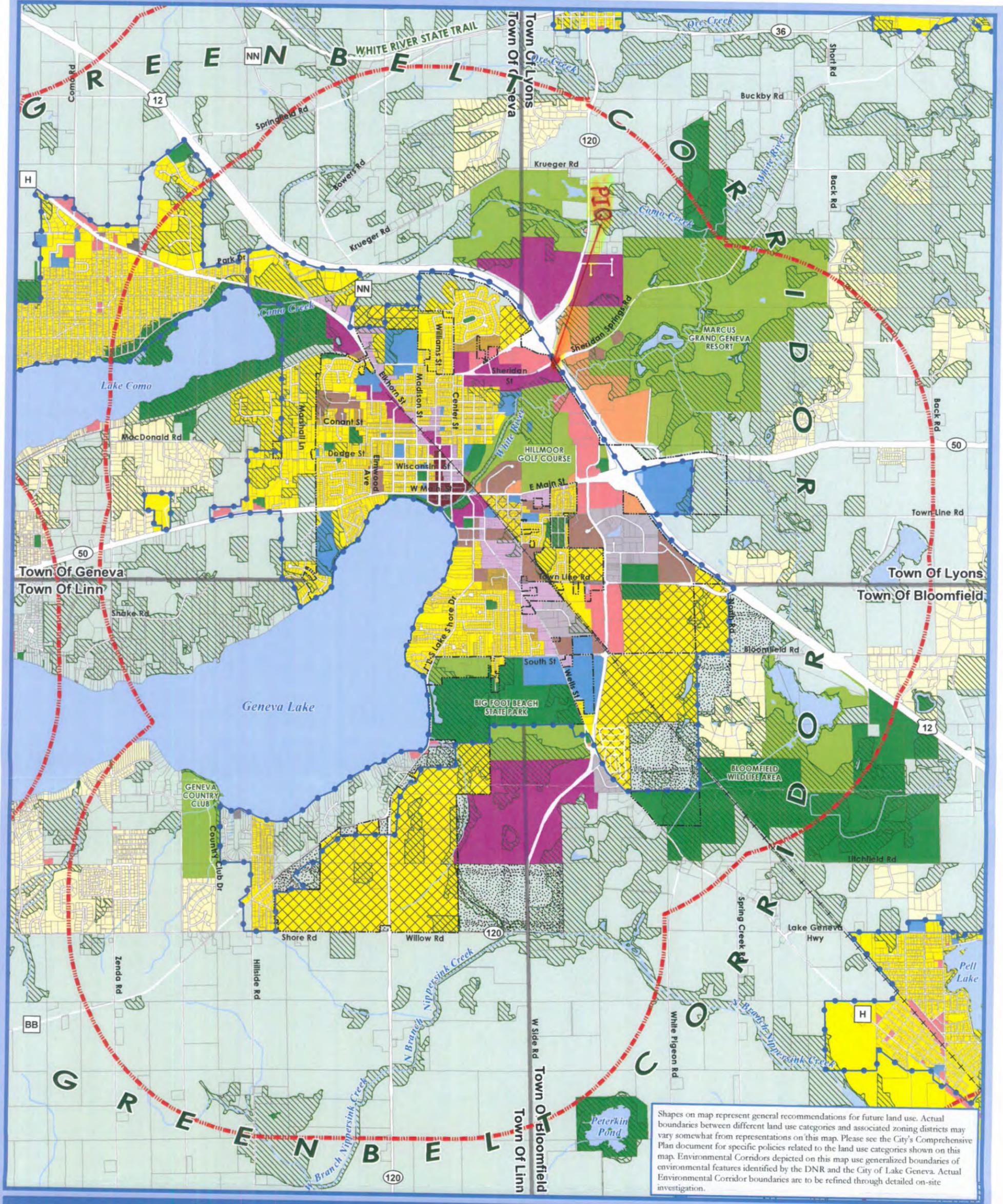
Tax Key No. ZA468000003 and ZA 468000004

Address: Vacant Lots, 1111 North Edwards Boulevard

GROUP EXHIBIT B

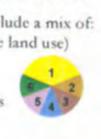
**CITY LAND USE PLAN MAP AND
AERIAL PHOTOGRAPH**

See attached.



Map 5a: Future Land Use - City of Lake Geneva Comprehensive Plan

Land Use Categories

- Agricultural & Rural
 - Single Family Residential - Exurban
 - Single Family Residential - Urban
 - Two-Family/Townhouse Residential
 - Multi-Family Residential
 - Planned Neighborhood
- *Each "Planned Neighborhood" may include a mix of:
1. Single Family - Urban (predominate land use)
 2. Two-Family/Townhouse
 3. Multi-Family Residential
 4. Institutional & Community Services
 5. Neighborhood Mixed Use
 6. Public Park & Recreation
- 
- Neighborhood Mixed Use
 - Planned Office
 - Planned Business

- Central Business District
 - Planned Mixed Use
- *Each "Planned Mixed Use Area" may include mix of:
1. Planned Office
 2. Multi-Family Residential
 3. Institutional & Community Services
 4. Planned Business
- 
- Planned Industrial
 - General Industrial
 - Institutional & Community Services
 - Private Recreation Facilities
 - Public Park & Recreation
 - Environmental Corridor
 - Long Range Exurban Growth Area

- City of Lake Geneva
- Township Boundary
- Urban Service Area Boundary
- Extraterritorial Jurisdiction Boundary
- Parcels
- Surface Water
- Abandoned Railroad



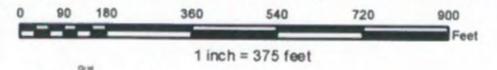
Adopted: October 24, 2014

Source: SEWRPC, WIDNR, Walworth County LIO, V&A



CSM 4680 Lots 3 and 4

WALWORTH COUNTY, WISCONSIN



Author:
Map Produced on: 3/2/2018
 Wisconsin State Plane Coordinate System, South Zone
 Horizontal Datum: NAD27



**Walworth County Information Technology Department
 Land Information Division**
 1800 County Trunk NN
 Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESS OR IMPLIED, IS MADE REGARDING ACCURACY, ADEQUACY, COMPLETENESS, LEGALITY, RELIABILITY OR USEFULNESS OF THIS INFORMATION. THE INFORMATION CONTAINED HEREIN SHOULD NOT BE ACCEPTED AS A OFFICIAL DOCUMENT.

**GROUP EXHIBIT C
MAP OF SITE &
OWNERS WITHIN 300 FEET**

See attached.

PARCEL: ZA110000004
 OWNER: LAKE GENEVA INVESTORS LLC
 OWNER ADDRESS: 1901 HARRISON ST,
 OAKLAND, CA

PARCEL: ZA110000002
 OWNER: LAKE GENEVA INVESTORS LLC
 OWNER ADDRESS: 1901 HARRISON ST,
 OAKLAND, CA

PARCEL: NA 96400001
 OWNER: CHRISTOPHER C
 STEADMAN
 OWNER ADDRESS:
 1340 EDGEWOOD DR.

PARCEL: N LY3000006
 OWNER: GERARD W
 LEDGER TRUST
 OWNER ADDRESS:
 PO BOX 544

PARCEL: N LY3000005
 OWNER: JOANN M HORVATH
 OWNER ADDRESS: 763 CHELSEY CT
 GURNEE, IL

PARCEL: N LY30000041
 OWNER: CHARLES & RHEA SMITH
 OWNER ADDRESS: 7105 SHERIDAN SPRINGS RD

PARCEL: ZA468000003
 OWNER: CITY OF LAKE GENEVA
 OWNER ADDRESS: 626 GENEVA ST

PARCEL: ZA468000004
 OWNER: CITY OF LAKE GENEVA
 OWNER ADDRESS: 626 GENEVA ST

PARCEL: N LY3000011
 OWNER: PELLER INVESTMENTS LLC
 OWNER ADDRESS: 9655 WOODS DR, UT 506
 SKOKIE, IL

PARCEL: ZA468000001
 OWNER: CITY OF LAKE GENEVA
 OWNER ADDRESS: 626 GENEVA ST

PARCEL: ZA467900002
 OWNER: CITY OF LAKE GENEVA
 OWNER ADDRESS: 626 GENEVA ST

PARCEL: ZA468000002
 OWNER: CITY OF LAKE GENEVA
 OWNER ADDRESS: 626 GENEVA ST

PARCEL: ZYUP 00153
 OWNER: WHITE RIVER HOLDINGS LLC
 OWNER ADDRESS: 11 E MADISON ST,
 STE 1100, CHICAGO, IL



Certification & Seal:

MARK	DATE	DESCRIPTION
DATE ISSUED:	05/09/2018	
ISSUE PHASE:	PUD GENERAL DEVELOPMENT PLAN	
PROJECT TITLE:	HAMPTON INN 5 STORY 92 UNIT	
PROJECT OWNER:	CHIEF WAUBONSIE, LLC	
PROJECT LOCATION:	LAKE GENEVA, WI	

**HAMPTON INN
 5 STORY
 92 UNIT**

PROJECT OWNER:
CHIEF WAUBONSIE, LLC

PROJECT LOCATION:
LAKE GENEVA, WI

**PRELIMINARY
 SITE PLAN AND
 SURROUNDING
 PROPERTIES**

PROJECT NUMBER	36359
SHEET NUMBER	C200

SITE INFORMATION

1. PARCEL INFORMATION:
 - 1.1. PARCEL ZA468000003 = ± 1.93 ACRES
 - 1.2. PARCEL ZA468000004 = ± 0.53 ACRES
 - 1.3. TOTAL AREA = ± 2.46 ACRES
- 1.1. EXISTING PERCENT IMPERVIOUS = ± 0%
- 1.2. PROPOSED PERCENT IMPERVIOUS = 58.69%
- 1.3. NET INCREASE IN IMPERVIOUS AREA = ± 62,887 SF
- 1.4. TOTAL DISTURBED AREA = ± TBD ACRES
2. CURRENT ZONING: COMMERCIAL LAND USE
3. CURRENT USE: VACANT
4. PAST USE: VACANT
5. PROPOSED PARKING:
 - 5.1. 94 REGULAR PARKING STALLS
 - 5.2. 4 HANDICAP STALL
 - 5.3. 98 TOTAL STALLS

NOTE:
 1. ALL PROPERTY LINES SHOWN ARE APPROXIMATE OFF OF GIS AERIAL, BESIDE THOSE OF PARCELS ZA468000003 & ZA468000004 WHICH WERE SURVEYED.

LEGEND

- EXISTING PROPERTY CORNER
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED LIGHT DUTY PAVEMENT
- ▨ PROPOSED HEAVY DUTY PAVEMENT
- EXISTING LOT LINES



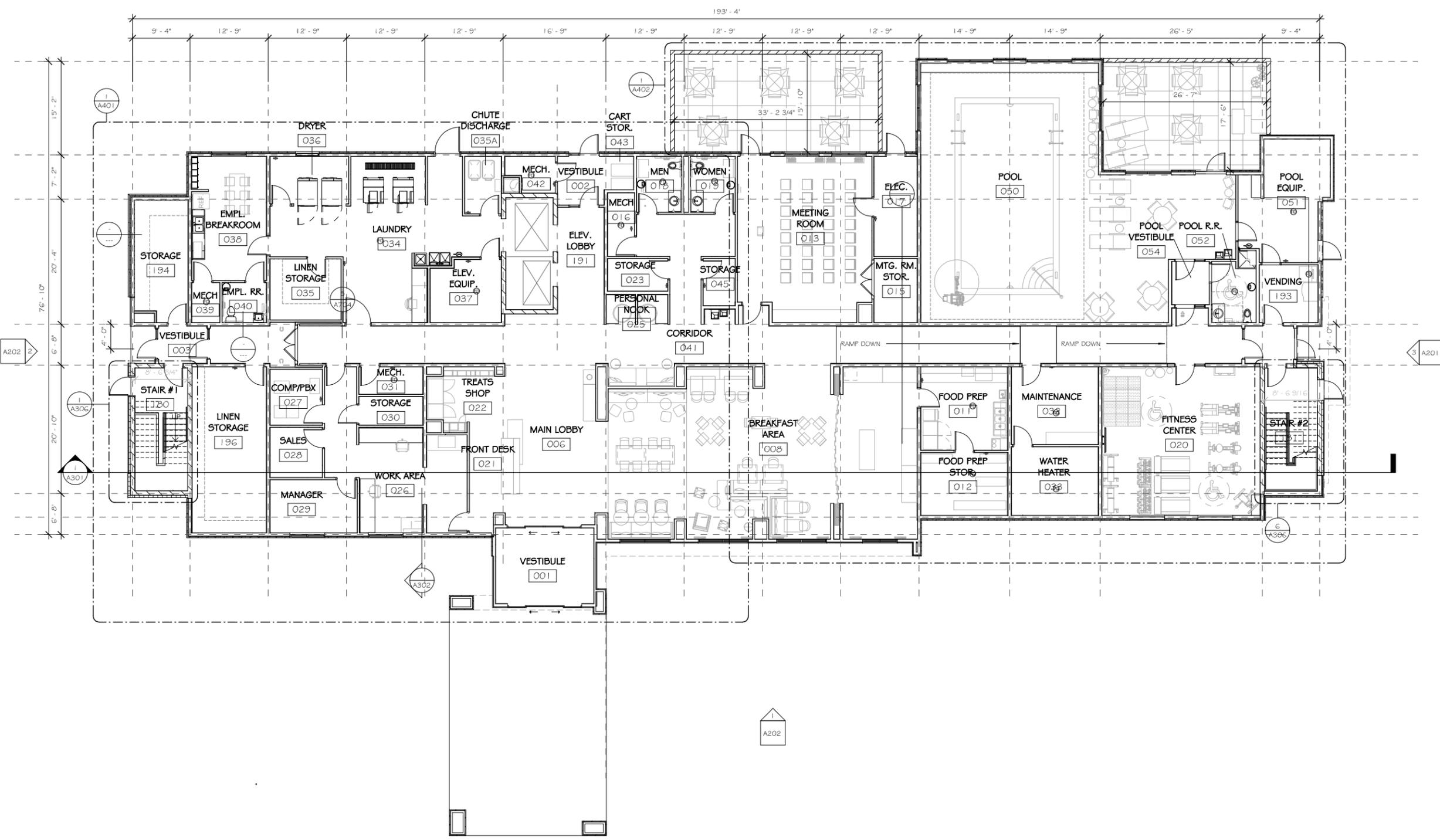
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**EXHIBIT D
SITE PLAN**

See attached.

**GROUP EXHIBIT E
FLOOR PLANS**

See attached.



1 FIRST FLOOR
 SCALE: 1/8" = 1'-0"



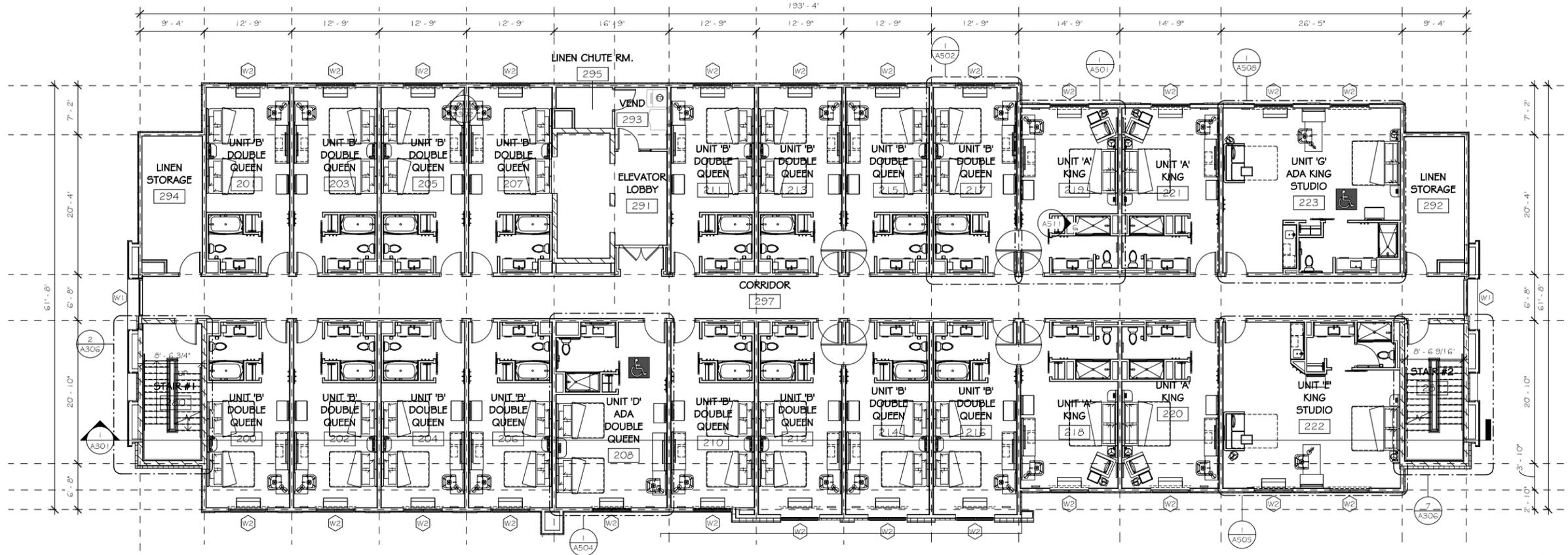
ELEVATOR SCHEDULE				
LOCATION	MFG	CAPACITY	SPEED	USAGE
ELEV #1	SCHINDLER	TBD #	150	GENERAL
ELEV #2	SCHINDLER	TBD #	150	GENERAL

Certification & Seal:

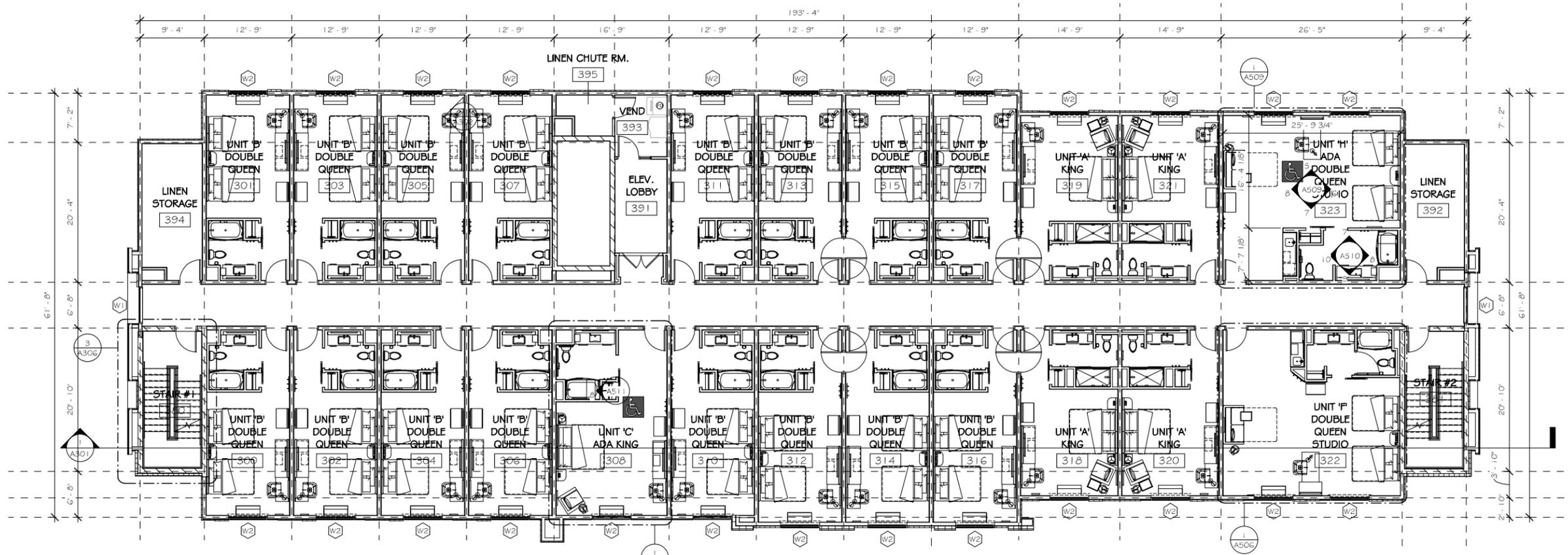
DATE ISSUED	05/09/2018
ISSUE PHASE	PUD GENERAL DEVELOPMENT PLAN
PROJECT TITLE:	HAMPTON INN 92 UNIT 5 STORY
PROJECT OWNER:	CHIEF WAUBONSIE, LLC
PROJECT LOCATION:	LAKE GENEVA, WI
SHEET TITLE:	FIRST FLOOR PLAN
PROJECT NUMBER	36359
SHEET NUMBER	A101

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1 SECOND FLOOR
 SCALE: 1/8" = 1'-0"



2 THIRD FLOOR
 SCALE: 1/8" = 1'-0"



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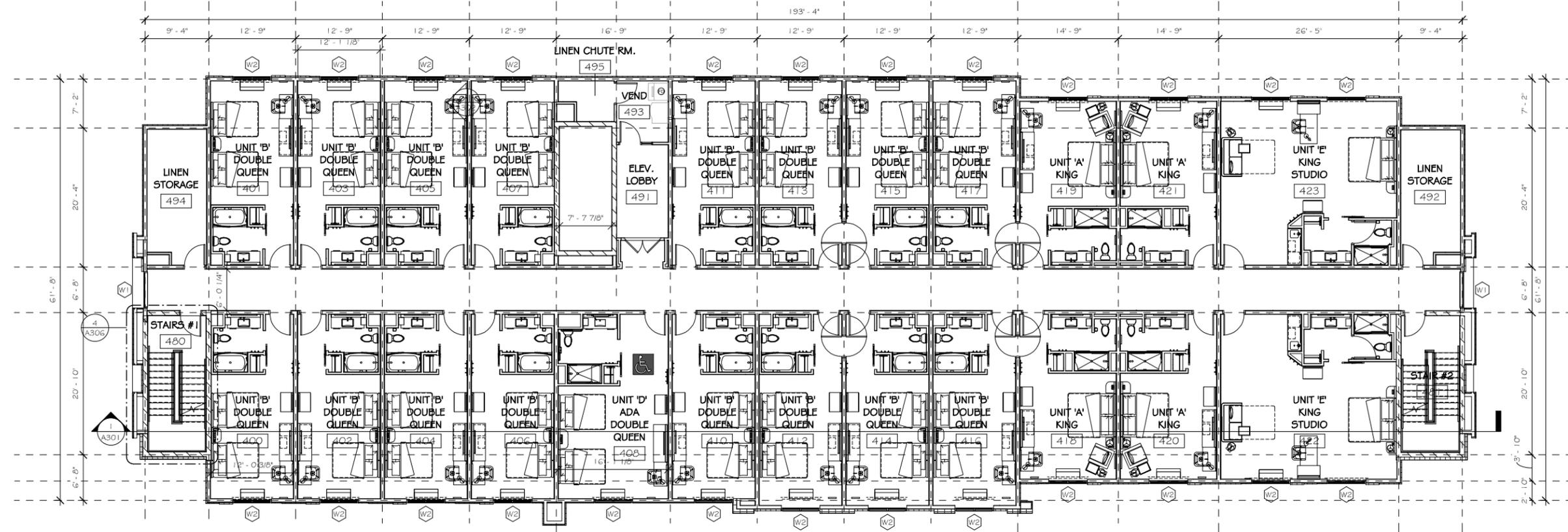
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Certification & Seal:

Revision	Date
DATE ISSUED	05/09/2018
ISSUE PHASE	PUD GENERAL DEVELOPMENT PLAN
PROJECT TITLE:	HAMPTON INN 92 UNIT 5 STORY
PROJECT OWNER:	CHIEF WAUBONSIE, LLC
PROJECT LOCATION:	LAKE GENEVA, WI
SHEET TITLE:	SECOND & THIRD FLOOR PLAN
PROJECT NUMBER	36359
SHEET NUMBER	A102

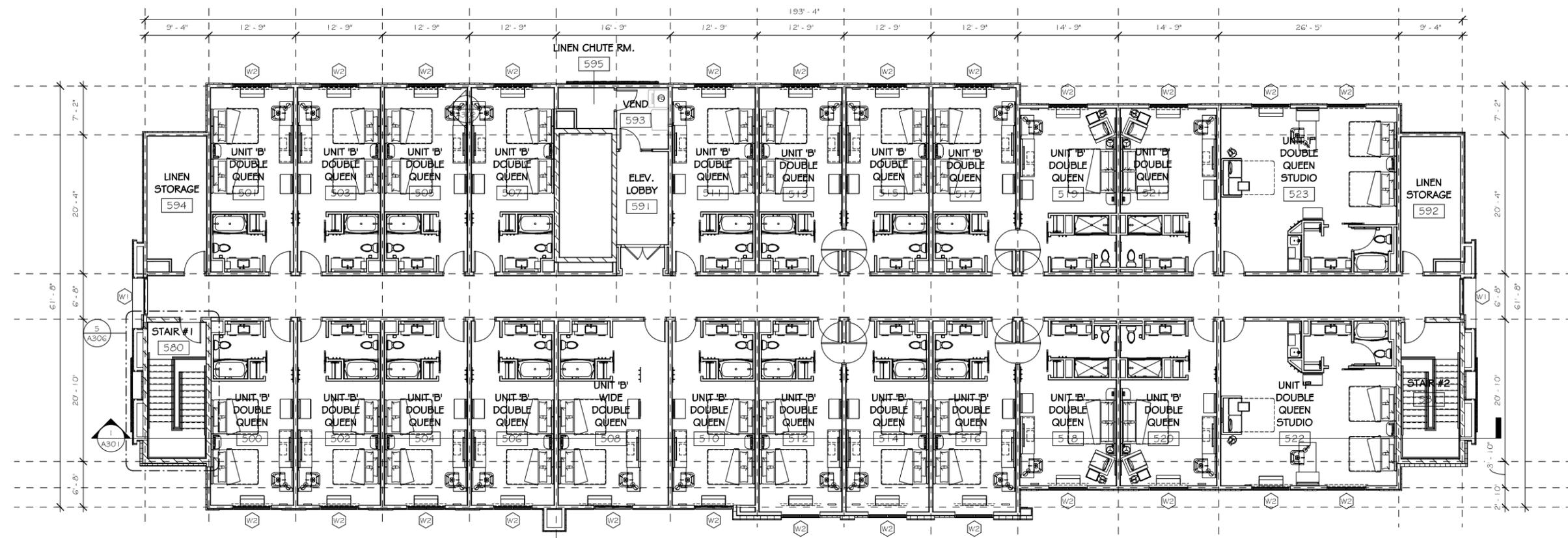
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Certification & Seal:

Revision	Date
DATE ISSUED	05/09/2018
ISSUE PHASE	PUD GENERAL DEVELOPMENT PLAN
PROJECT TITLE:	HAMPTON INN 92 UNIT 5 STORY
PROJECT OWNER:	CHIEF WAUBONSIE, LLC
PROJECT LOCATION:	LAKE GENEVA, WI
SHEET TITLE:	FOURTH & FIFTH FLOOR PLAN
PROJECT NUMBER	36359
SHEET NUMBER	A103

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**GROUP EXHIBIT F
ELEVATIONS & RENDERINGS**

See attached.

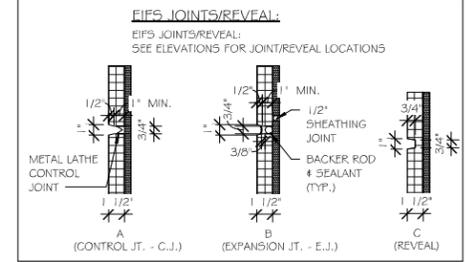
Certification & Seal:

Revision	Date
DATE ISSUED	05/09/2018
ISSUE PHASE	PUD GENERAL DEVELOPMENT PLAN
PROJECT TITLE:	
HAMPTON INN 92 UNIT 5 STORY	
PROJECT OWNER:	
CHIEF WAUBONSIE, LLC	
PROJECT LOCATION:	
LAKE GENEVA, WI	
SHEET TITLE:	
EXTERIOR ELEVATIONS	
PROJECT NUMBER	36359
SHEET NUMBER	A201



1 EAST EXTERIOR ELEVATION
 SCALE: 1/8" = 1'-0"

LOUVER AT DRYER ROOM. SEE MECH PLANS AND EQUIPMENT SPECIFICATIONS. MECHANICAL LOUVER TO MATCH COLOR OF ADJACENT SURFACE.



3 SOUTH EXTERIOR ELEVATION
 SCALE: 1/8" = 1'-0"

TYP. CONTROL JOINTS @ DOOR AND WINDOW OPENINGS - PROVIDE THRU WALL FLASHING W/ FWD DAMS ABOVE

MIN. CLEARANCE SIGNAGE @ PORTE COCHERE

VERIFY 14'-0" MIN. CLK (REQD BY FIRE DEPT)

- BUILDING SIGNAGE**
- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS. MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
 - ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.
 - RACEWAYS / WIREWAYS ARE NOT ALLOWED PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
 - GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING OF THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.
 - SEE SIGNAGE PLAN FOR ADDITIONAL SIGNAGE INFORMATION.

- EXTERIOR MATERIALS LEGEND**
- E.I.F.S. COLOR #1 - DRYVIT - COLOR: TO MATCH SHERWIN WILLIAMS, 'SW7014 - EIDER WHITE'. EXTERIOR READY-MIX, SAILCLOTH; SWIRL TEXTURE
 - E.I.F.S. COLOR #2 - DRYVIT - COLOR: TO MATCH SHERWIN WILLIAMS, 'SW7016 - MINDFUL GRAY'; SWIRL TEXTURE
 - E.I.F.S. COLOR #3 - (AT WINDOWS) - DRYVIT - COLOR: TO MATCH SHERWIN WILLIAMS 'SW7018 - DOVETAIL'; SWIRL TEXTURE
 - E.I.F.S. COLOR #4 - (AT STONE CAP) - DRYVIT - COLOR: TO MATCH SHERWIN WILLIAMS, 'SW7020 - BLACK FOX'; SWIRL TEXTURE
 - MASONRY SPLIT FACE
 - MASONRY GROUND FACE
 - ARCHITECTURAL WOOD LOOK PANEL
- E.I.F.S. - DO NOT EXCEED 144 SF BETWEEN CONTROL JOINTS. THE DISTANCE BETWEEN CONTROL JOINTS SHOULD NOT EXCEED 18 FEET IN EITHER DIRECTION WITH A LENGTH TO WIDTH RATIO OF 2.5 TO 1.

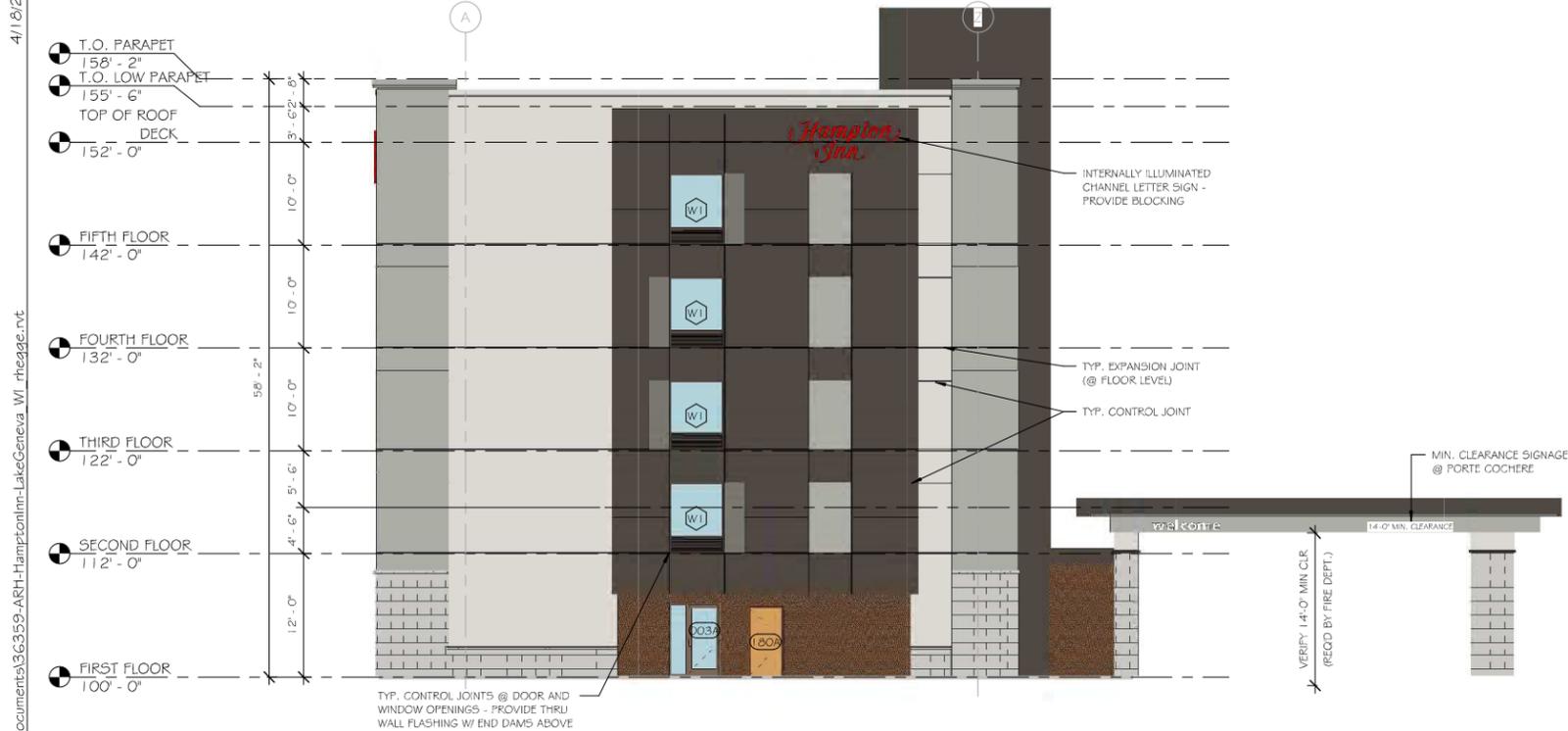
- EXTERIOR ELEVATION NOTES**
- ALL EXTERIOR VENTS & LOUVERS TO BE PAINTED TO MATCH ADJACENT WALL COLOR. SEE MECHANICAL FOR SIZE AND LOCATIONS
 - FOAM PLASTIC INSULATION GREATER THAN 4" IN THICKNESS SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 75 AND A SMOKE DEVELOPED INDEX OF 450 WHERE TESTED AT A MINIMUM THICKNESS OF 4"
 - PROVIDE BLOCKING AND ELECTRICAL CIRCUITING TO ALL SIGN LOCATIONS; COORDINATE WITH SIGN CONTRACTOR.
 - EIFS NOT TO EXCEED 144 SQ. FT. W/O CONTROL JOINT. SEE DETAILS FOR CONTROL AND EXPANSION JOINTS

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 DRAWN BY: Author CHECKED BY: Checker

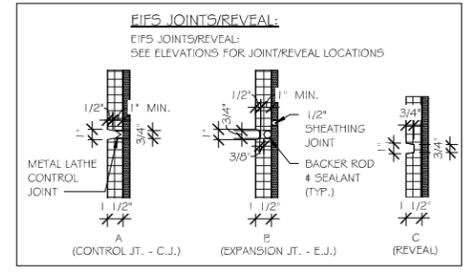


1 WEST EXTERIOR ELEVATION
 SCALE: 1/8" = 1'-0"

4/18/2018 4:34:15 PM



2 NORTH EXTERIOR ELEVATION
 SCALE: 1/8" = 1'-0"



- BUILDING SIGNAGE**
- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS. MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
 - ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.
 - RACEWAYS / WIREWAYS ARE NOT ALLOWED PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
 - GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING OF THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY. SEE SIGNAGE PLAN FOR ADDITIONAL SIGNAGE INFORMATION.

EXTERIOR MATERIALS LEGEND

	E.I.F.S. COLOR #1 - DRYVIT - COLOR: TO MATCH SHERWIN WILLIAMS, 'SW7014 - EIDER WHITE, EXTERIOR READY-MIX, SAILCLOTH; SWIRL TEXTURE
	E.I.F.S. COLOR #2 - DRYVIT - COLOR: TO MATCH SHERWIN WILLIAMS, 'SW7016 - MINDFUL GRAY; SWIRL TEXTURE
	E.I.F.S. COLOR #3 - (AT WINDOWS) - DRYVIT - COLOR: TO MATCH SHERWIN WILLIAMS 'SW7018 - DOVETAIL; SWIRL TEXTURE
	E.I.F.S. COLOR #4 - (AT STONE CAP) - DRYVIT - COLOR: TO MATCH SHERWIN WILLIAMS, 'SW7020 - BLACK FOX; SWIRL TEXTURE
	MASONRY SPLIT FACE
	MASONRY GROUND FACE
	ARCHITECTURAL WOOD LOOK PANEL

E.I.F.S. - DO NOT EXCEED 144 SF BETWEEN CONTROL JOINTS. THE DISTANCE BETWEEN CONTROL JOINTS SHOULD NOT EXCEED 18 FEET IN EITHER DIRECTION WITH A LENGTH TO WIDTH RATIO OF 2.5 TO 1.

- EXTERIOR ELEVATION NOTES**
- ALL EXTERIOR VENTS & LOUVERS TO BE PAINTED TO MATCH ADJACENT WALL COLOR. SEE MECHANICAL FOR SIZE AND LOCATIONS
 - FOAM PLASTIC INSULATION GREATER THAN 4" IN THICKNESS SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 75 AND A SMOKE DEVELOPED INDEX OF 450 WHERE TESTED AT A MINIMUM THICKNESS OF 4"
 - PROVIDE BLOCKING AND ELECTRICAL CIRCUITING TO ALL SIGN LOCATIONS; COORDINATE WITH SIGN CONTRACTOR.
 - EIFS NOT TO EXCEED 144 SQ. FT. W/O CONTROL JOINT. SEE DETAILS FOR CONTROL AND EXPANSION JOINTS

Certification & Seal:

Revision	Date
DATE ISSUED	05/09/2018
ISSUE PHASE	PUD GENERAL DEVELOPMENT PLAN
PROJECT TITLE:	HAMPTON INN 92 UNIT 5 STORY
PROJECT OWNER:	CHIEF WAUBONSIE, LLC
PROJECT LOCATION:	LAKE GENEVA, WI
SHEET TITLE:	EXTERIOR ELEVATIONS
PROJECT NUMBER	36359
SHEET NUMBER	A202

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 Sauk City, WI • Willmar, MN
 Woodc iff Lake, NJ • Bayamon, PR

Certification & Seal:

Revision	Date
DATE ISSUED	05/09/2018
ISSUE PHASE	PUD GENERAL DEVELOPMENT PLAN
PROJECT TITLE:	
HAMPTON INN 92 UNIT 5 STORY	
PROJECT OWNER:	
CHIEF WAUBONSIE, LLC	
PROJECT LOCATION:	
LAKE GENEVA, WI	
SHEET TITLE:	
RENDERING	
PROJECT NUMBER	36359
SHEET NUMBER	A901



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Certification & Seal:

(Empty space for notes or stamps)

Revision	Date
DATE ISSUED	04/06/2018
ISSUE	PUD GENERAL
PHASE	DEVELOPMENT PLAN

PROJECT TITLE:
HAMPTON INN
92 UNIT
5 STORY

PROJECT OWNER:
 CHIEF WAUBONSIE, LLC

PROJECT LOCATION:
 LAKE GENEVA, WI

SHEET TITLE:
 RENDERING

PROJECT NUMBER: 36359
 SHEET NUMBER: A901

**EXHIBIT G
GDP DRAWING**

See attached.



Certification & Seal:

MARK	DATE	DESCRIPTION
DATE ISSUED:	05/09/2018	
ISSUE PHASE:	PUD GENERAL DEVELOPMENT PLAN	
PROJECT TITLE:		

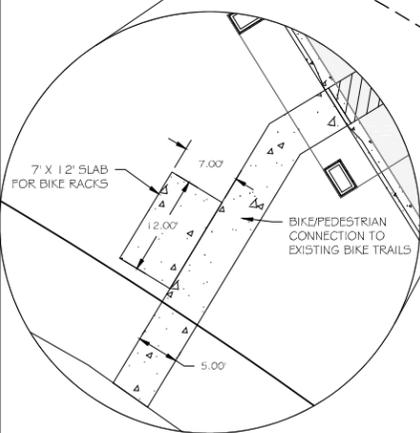
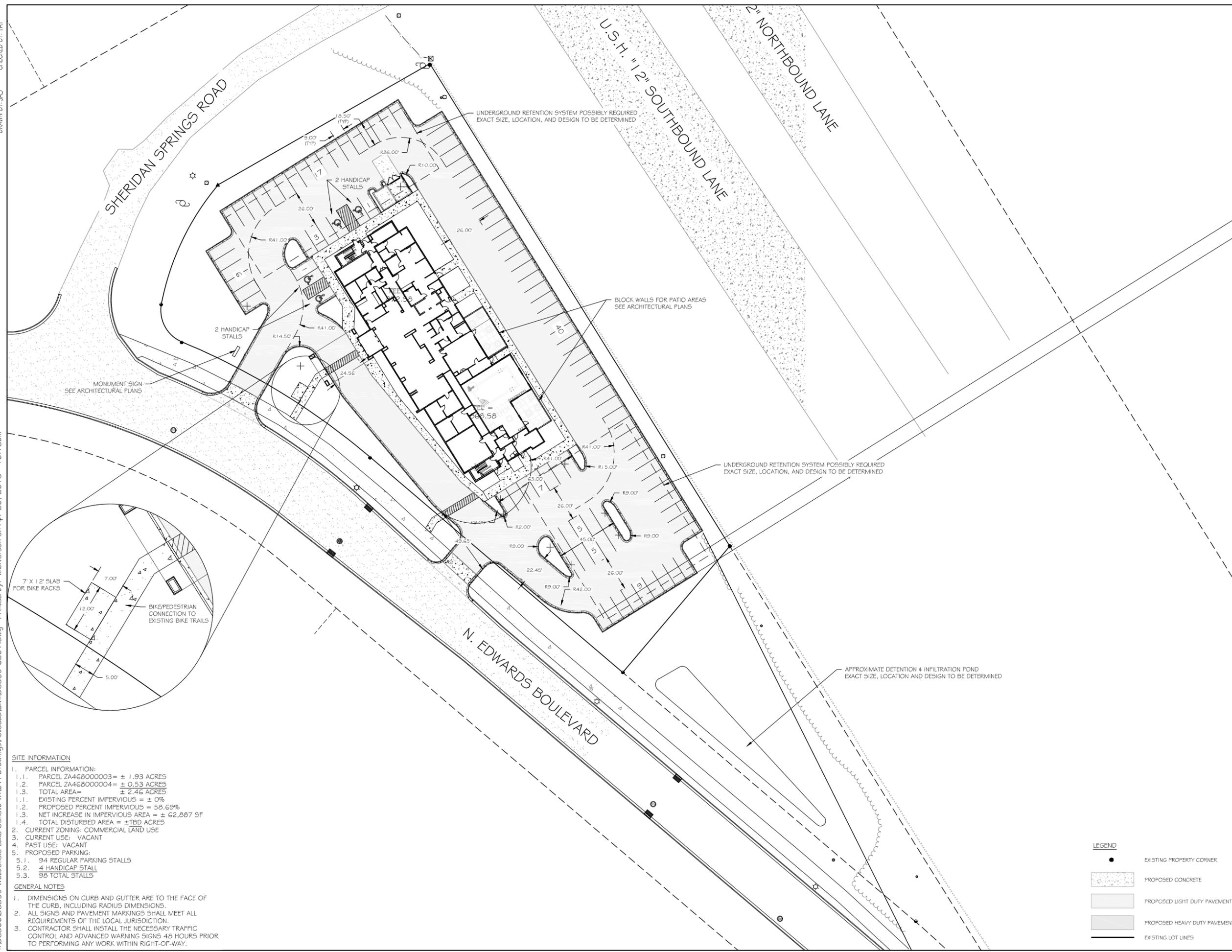
HAMPTON INN
5 STORY
92 UNIT

PROJECT OWNER:
CHIEF WAUBONSIE, LLC

PROJECT LOCATION:
LAKE GENEVA, WI

SHEET TITLE:
PRELIMINARY SITE PLAN

PROJECT NUMBER	36359
SHEET NUMBER	C201



SITE INFORMATION

1. PARCEL INFORMATION:
 - 1.1. PARCEL 2A46B000003 = ± 1.93 ACRES
 - 1.2. PARCEL 2A46B000004 = ± 0.53 ACRES
 - 1.3. TOTAL AREA = ± 2.46 ACRES
 - 1.1. EXISTING PERCENT IMPERVIOUS = ± 0%
 - 1.2. PROPOSED PERCENT IMPERVIOUS = 58.63%
 - 1.3. NET INCREASE IN IMPERVIOUS AREA = ± 62,887 SF
 - 1.4. TOTAL DISTURBED AREA = ± TBD ACRES
2. CURRENT ZONING: COMMERCIAL LAND USE
3. CURRENT USE: VACANT
4. PAST USE: VACANT
5. PROPOSED PARKING:
 - 5.1. 94 REGULAR PARKING STALLS
 - 5.2. 4 HANDICAP STALL
 - 5.3. 98 TOTAL STALLS

GENERAL NOTES

1. DIMENSIONS ON CURB AND GUTTER ARE TO THE FACE OF THE CURB, INCLUDING RADIUS DIMENSIONS.
2. ALL SIGNS AND PAVEMENT MARKINGS SHALL MEET ALL REQUIREMENTS OF THE LOCAL JURISDICTION.
3. CONTRACTOR SHALL INSTALL THE NECESSARY TRAFFIC CONTROL AND ADVANCED WARNING SIGNS 48 HOURS PRIOR TO PERFORMING ANY WORK WITHIN RIGHT-OF-WAY.

LEGEND

- EXISTING PROPERTY CORNER
- PROPOSED CONCRETE
- PROPOSED LIGHT DUTY PAVEMENT
- PROPOSED HEAVY DUTY PAVEMENT
- EXISTING LOT LINES

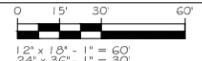
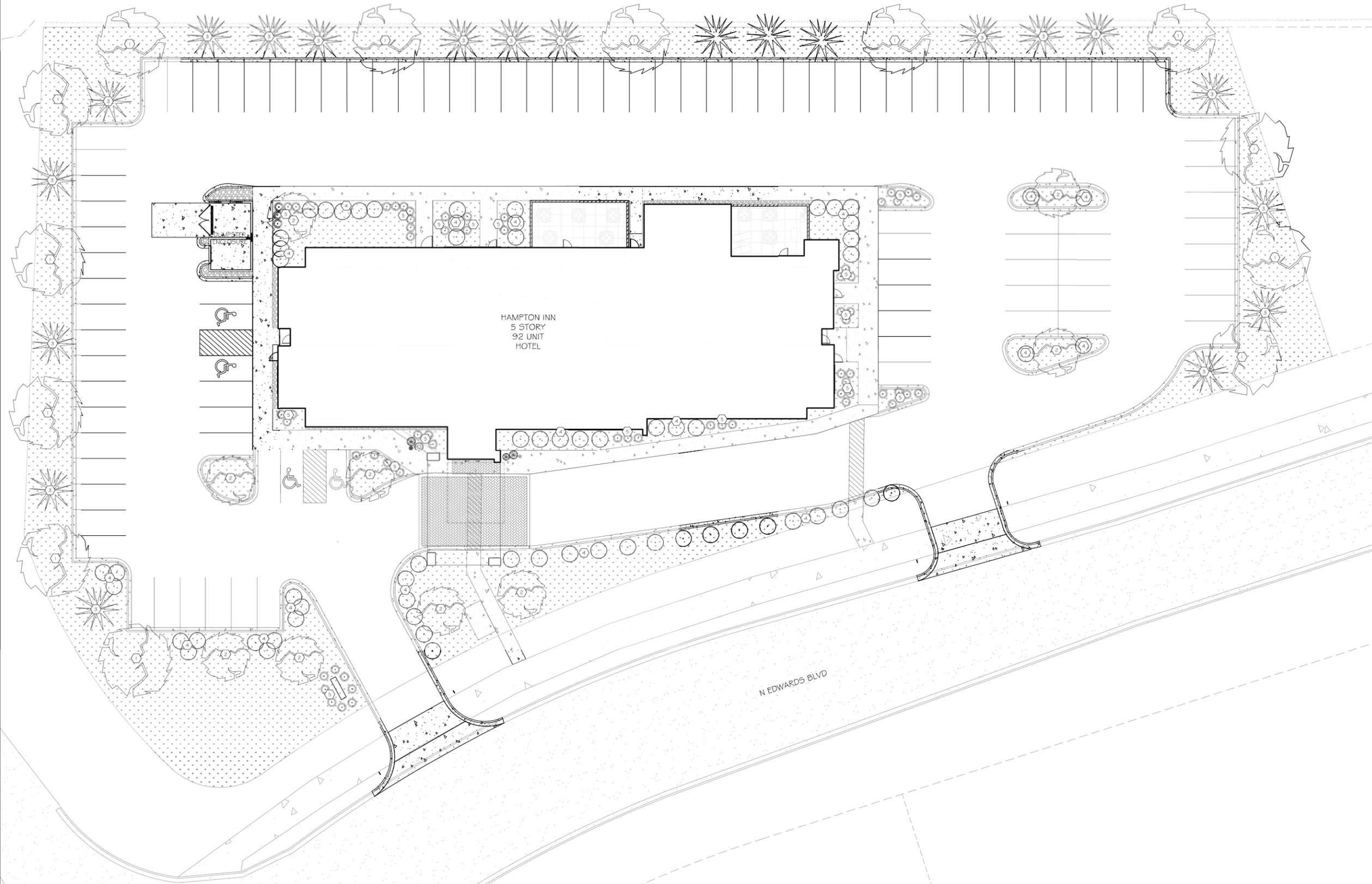


EXHIBIT H
CONCEPTUAL LANDSCAPING PLAN

See attached.



NORTH

Certification & Seal:

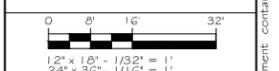
MARK	DATE	DESCRIPTION
DATE ISSUED:	05/09/2018	
ISSUE PHASE:	PUD GENERAL DEVELOPMENT PLAN	

PROJECT TITLE:
**HAMPTON INN
 5 STORY
 92 UNIT**

PROJECT OWNER:
**CHIEF WAUBONSIE,
 LLC**

PROJECT LOCATION:
LAKE GENEVA, WI

SHEET TITLE:
LANDSCAPING PLAN



PROJECT NUMBER: **36359**
 SHEET NUMBER: **A002**

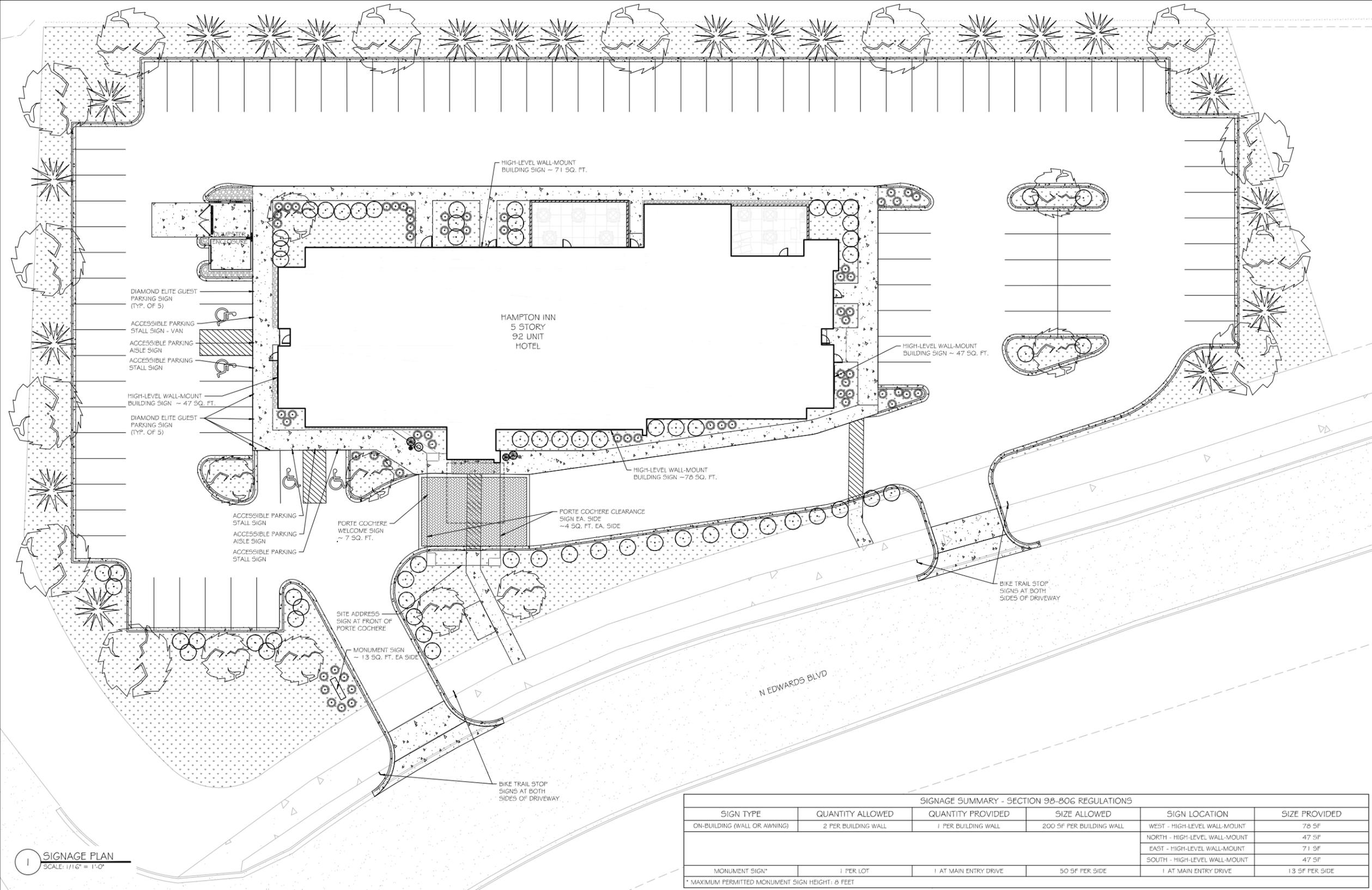
1 LANDSCAPING PLAN
 SCALE: 1/16" = 1'-0"

LANDSCAPING SUMMARY			
SITE ASPECT	QUANTITY (UNITS)	POINTS PER QUANTITY	POINTS DESIRED
PAVED AREA	50,547 SF	80 POINTS / 10,000 SF	404
STREET FRONTAGE	1,129 LF	40 POINTS / 100 LF	452
BUILDING PERIMETER	610 LF	40 POINTS / 100 LF	244
BUILDING FLOOR AREA	12,500 SF	10 POINTS / 1,000 SF	125
TOTAL			1,225 POINTS

CLASSIFICATION OF PLANTS (ARTICLE VI TABLE 98-G 1 I)					
KEY	PLANT CLASSIFICATION	PLANT NAME	POINTS PER SPECIMEN	QUANTITY PROVIDED	TOTAL POINTS
1	TALL DECIDUOUS TREE	RED MAPLE	30	13	390
2	LOW DECIDUOUS TREE	CRABAPPLE/HAWTHORN	8	11	88
3	MEDIUM EVERGREEN TREES	AMERICAN ARBORVITAE	20	21	420
4	MEDIUM DECIDUOUS SHRUBS	COTONEASTER/FORSYTHIA/ROSE	3	65	195
5	LOW EVERGREEN SHRUBS	JUNIPERUS	3	62	186
TOTAL					1,279 POINTS

**EXHIBIT I
GENERAL SIGNAGE PLAN**

See attached.



Certification & Seal:

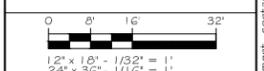
MARK	DATE	DESCRIPTION
DATE ISSUED:	05/09/2018	
ISSUE PHASE:	FUD GENERAL DEVELOPMENT PLAN	
PROJECT TITLE:	HAMPTON INN 5 STORY 92 UNIT	
PROJECT OWNER:	CHIEF WAUBONSIE, LLC	
PROJECT LOCATION:	LAKE GENEVA, WI	

HAMPTON INN
5 STORY
92 UNIT

PROJECT LOCATION:
 LAKE GENEVA, WI

SHEET TITLE:

SIGNAGE PLAN



PROJECT NUMBER: 36359
 SHEET NUMBER: A003

SIGNAGE SUMMARY - SECTION 98-806 REGULATIONS					
SIGN TYPE	QUANTITY ALLOWED	QUANTITY PROVIDED	SIZE ALLOWED	SIGN LOCATION	SIZE PROVIDED
ON-BUILDING (WALL OR AWNING)	2 PER BUILDING WALL	1 PER BUILDING WALL	200 SF PER BUILDING WALL	WEST - HIGH-LEVEL WALL-MOUNT	78 SF
				NORTH - HIGH-LEVEL WALL-MOUNT	47 SF
				EAST - HIGH-LEVEL WALL-MOUNT	71 SF
				SOUTH - HIGH-LEVEL WALL-MOUNT	47 SF
MONUMENT SIGN*	1 PER LOT	1 AT MAIN ENTRY DRIVE	50 SF PER SIDE	1 AT MAIN ENTRY DRIVE	13 SF PER SIDE

* MAXIMUM PERMITTED MONUMENT SIGN HEIGHT: 8 FEET

FRANCHISE SIGNAGE REQUIREMENTS:
 -AN APPROVED SIGN MANUFACTURER, LICENSED BY HILTON, MUST FABRICATE AND INSTALL ALL PROPERTY IDENTIFICATION SIGNS.
 -GROUND SIGN PEDESTAL OR BASE MUST BE PROTECTED FROM DAMAGE BY PLANTER BOX, LANDSCAPING OR OTHER MEANS.
 -ILLUMINATED SIGNS MUST BE TIME SWITCHED AND PHOTO-CELL CONTROLLED.
 -EXPOSED CONDUIT AND/OR RACEWAYS ARE PROHIBITED AT BUILDING FACE SIGNS.
 -NO MARQUEES OR ELECTRONIC RATE SIGNS OF ANY TYPE ARE PERMITTED.
 -"NO VACANCY" SIGNS ARE NOT ALLOWED.
 -PORTE COCHERE CLEARANCE SIGNAGE MUST BE PROVIDED FOR CLEARANCES LESS THAN 15'-0". LETTER HEIGHT MUST BE 6" MIN. AND THE COLOR MUST CONTRAST THE ADJACENT BUILDING COLOR.

-A DISCLAIMER MUST BE POSTED IN ALL GUEST PARKING AREAS ON THE SITE THAT USER ASSUMES ALL RISKS. SIGNS MUST BE LOCATED ALONG PARKING LANES AND BE MOUNTED TO LIGHT POLES OR INDEPENDENT POLES WITH SPACING NOT TO EXCEED 100'-0".
 -5 DIAMOND ELITE GUEST PARKING SIGN ARE REQUIRED. 3 NEAR MAIN ENTRANCE - ALL OTHERS CAN BE IN PROXIMITY TO SECONDARY ENTRANCES.
 -SIGNAGE IDENTIFYING DESIGNATED ACCESSIBLE PARKING SPACES MUST BE PROVIDED AT GUEST PARKING AREAS.
 -SIGNAGE MUST BE PROVIDED DESIGNATING PARKING SPACE(S) RESERVED FOR ELECTRIC VEHICLE CHARGING STATIONS.

SECTION 98-806 REGULATIONS FOR THE RH, NO, PO, NB, PB, GB, CB, PI, GI AND UI DISTRICTS
 (1) RULES FOR ALL SIGNS:
 (A) FOR RH, PO, NB, PB, AND PI ZONING DISTRICTS
 1. PERMITTED SIGN TYPE: ON-BUILDING (WALL OR AWNING) SIGN:
 A. MAXIMUM PERMITTED NUMBER PER LOT: TWO ON-BUILDING SIGNS PER EACH BUSINESS FRONTING ON THAT WALL, FOR EACH EXPOSED SIDE OF THE PRINCIPAL USE BUILDING NOT DIRECTLY ADJACENT TO A RESIDENTIALLY ZONED PROPERTY.
 B. MAXIMUM PERMITTED AREA PER SIGN: ONE SQUARE FOOT OF SIGNAGE FOR EVERY LINEAR FOOT OF EXPOSED EXTERIOR WALL LENGTH ON THAT SUPPORTING WALL FOR ALL COMBINED SIGNAGE ON THAT WALL REGARDLESS OF THE NUMBER OF BUSINESS. A MAXIMUM SIGN AREA OF 200 SQUARE FEET FOR ALL COMBINED SIGN FACES MAY BE USED FOR ANY SINGLE BUSINESS ON A WALL.
 2. PERMITTED SIGN TYPE: MONUMENT SIGN OR PROJECTING SIGN:
 A. MAXIMUM PERMITTED NUMBER PER LOT: ONE MONUMENT SIGN PER LOT, FOR ANY LOT CONTAINING MORE THAN FOUR PUBLIC PARKING SPACE OR ONE

PROJECTING SIGN PER EACH BUSINESS ENTRANCE FOR EACH EXPOSED SIDE OF THE PRINCIPAL BUILDING NOT DIRECTLY ADJACENT TO A RESIDENTIALLY ZONED PROPERTY.
 B. MAXIMUM PERMITTED AREA PER MONUMENT SIGN: ONE-QUARTER SQUARE FOOT OF SIGNAGE FOR EVERY FOOT OF THE ADJACENT PUBLIC STREET FRONTAGE SELECTED FOR THE LOT - UP TO A MAXIMUM SIGN AREA OF 50 SQUARE FEET FOR ALL COMBINED SIGN FACES SEEN AT ONE TIME.
 C. MAXIMUM PERMITTED MONUMENT SIGN HEIGHT: 8 FEET
 D. MAXIMUM PERMITTED MONUMENT SIGN SETBACK: EQUIVALENT OR GREATER TO SIGN HEIGHT

98-804 (1)
 (D) NO ILLUMINATED SIGN SHALL BE PERMITTED UNLESS THE ILLUMINATION OF THE SIGN IS SO DESIGNED THAT THE LIGHTING ELEMENT (EXCEPT NEON SIGNS) IS NOT VISIBLE FROM ANY PROPERTY WITHIN A RESIDENTIAL ZONING DISTRICT

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STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 21, 2018

Agenda Item: 12

Applicant:

McMurr I LLC.
351 W. Hubbard Suite 610
Chicago IL 60654

Request:

Summerhaven Third Amendment to a Precise
Implementation Plan (PIP)
Tax Parcel Nos. ZSUM00101 –
ZSUM001247

Description:

The applicant is submitting a Precise Implementation Plan (PIP) to amend an existing Planned Development for a Condominium development located at Tax Parcel Nos. ZSUM00101 – ZSUM001247 which is in the vicinity of Lake Geneva Blvd. and Wells St.

No changes are proposed to the site plan or building exterior other than the reduction in units per acre.

Because this site is zoned as a Planned Development, a change of land use or land division involves review and approval of a Precise Implementation Plan (PIP) amendment.

The PIP focuses primarily on the detailed physical characteristics of the site such as the precise locations of all development, landscaping, parking, and building materials. It also allows for flexibilities from the zoning ordinance relating to site plan components. This report focuses on these issues.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the Planned Development (PD) zoning district, a prevalent zoning district in the surrounding area, provides that comparison zoning district. As no changes are proposed to the site that would change the existing site plan, no flexibilities are requested.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Precise Implementation Plan (PIP):

As part of the consideration of the requested Planned Development / Precise Implementation Plan step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed PIP;
- Include *findings* required by the Zoning Ordinance for PIPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

Staff believes that this is a suitable request for an amendment to the land use due to the surrounding commercial land uses and zoning. The site is planned for *Planned Neighborhood* in the Comprehensive Plan.

The applicant is reminded that future changes to the site plan or on-site operational characteristics will likely require an amendment to the approved GPD and/or PIP. Staff recommends approving the request to amend the PIP.

Required Plan Commission Findings on the PIP for Recommendation to the Common Council:

A proposed PIP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be for all of the following:
1. In general, the proposed PIP is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed PIP is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed PIP in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed PIP maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed PIP is located in an area that will be adequately served by, and will not impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed PIP outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Precise Implementation Plan:

1. Staff recommends that the Plan Commission recommends *approval* of the PIP as submitted.
2. Staff recommends the *affirmative set of findings* provided above, noting that the proposal is consistent with the Comprehensive Plan's Future Land Use Map which proposes that the only change is the reduction of units per acre to existing development intensity and bulk characteristics; and will be complementary to surrounding land uses.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

Summerhaven of Lake Geneva Condominium, southwest corner of intersection of Wells Street and Lake Geneva Boulevard. See attached Exhibit B for legal description.

Name and Address of Current Owner:

McMurr II, LLC, 351 W. Hubbard, Suite 610, Chicago, IL 60654, Attn: Murray S. Peretz

Telephone No. with area code & Email of Current Owner: 312-527-3600 x 1; mperetz@spectrumchicago.com

Name and Address of Applicant:

Same as Owner

Telephone No. with area code & Email of Current Owner: _____

Proposed Use:

See Project Narrative attached as Exhibit A and incorporated herein.

Zoning District in which land is located: PD, Planned Development, Precise Implementation Plan

Names and Addresses of architect, professional engineer and contractor of project:

Warren Hansen, FARRIS, HANSEN & ASSOCIATES, INC., 7 West Ridgway, Elkhorn, WI 53121
262-723-2098

Short statement describing activities to take place on site:

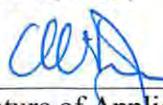
See Exhibit A, Project Narrative.

PIP Amendment fee \$400.00, payable upon filing application.

McMurr II, LLC,

April 5, 2018

Date

By: 

Signature of Applicant

Cost Recovery # _____

Petitioner Name _____

Project Address _____

OFFICE USE ONLY

Description of Request _____

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City’s review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City’s consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** Surplus deposits shall be returned to the Applicant at the conclusion of the project.

McMurr II, LLC _____, as applicant/petitioner for

Project: Summerhaven Phase I _____

Project Address: Murray Drive and Summerhaven Drive, Lake Geneva, WI 53147 _____

Name: McMurr II, LLC _____

Address: 351 W. Hubbard, Suite 610 _____
Chicago, IL 60654, Attn: Murray S. Peretz _____

Cell Phone: (312) - 965 - 2807 Phone: (312) - 527 - 3600 x 1 _____

Email: mperetz@spectrumchicago.com _____

Dated this _____ Day of April _____, 20 18 _____

McMurr II, LLC _____

Printed Name of Applicant / Petitioner



Signature of Applicant/Petitioner

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit **of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

Prior to submitting the 20 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

↓

_____ A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

_____ (1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

_____ (2) **A map of the subject property** for which the PD is proposed:

_____ Showing all lands within 300 feet of the boundaries of the subject property;

_____ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

_____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

_____ Map and all its parts clearly reproducible with a photocopier;

_____ Map size of 11" by 17" and map scale not less than one inch equals 800 feet;

_____ All lot dimensions of the subject property provided;

_____ Graphic scale and north arrow provided.

_____ (3) **A general written description** of proposed PIP including:

_____ Specific project themes and images;

_____ The specific mix of dwelling unit types and/or land uses;

_____ Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

_____ The specific treatment of natural features;

_____ The specific relationship to nearby properties and public streets.

_____ A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.

_____ A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall

be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

_____ (4) **A Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*

_____ A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;

_____ Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;

_____ Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and

_____ Notations relating the written information (3), above to specific areas on the GDP Drawing.

_____ (5) **A Property Site Plan drawing which includes:**

_____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;

_____ The date of the original plan and the latest date of revision to the plan;

_____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);

_____ A reduction of the drawing at 11" x 17";

_____ A legal description of the subject property;

_____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

_____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

_____ All required building setback lines;

_____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

_____ The location and dimension (cross-section and entry throat) of all access points onto public streets;

_____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

- _____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- _____ The location of all outdoor storage areas and the design of all screening devices;
- _____ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- _____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property – including the clear demonstration of compliance with Section 98-707;
- _____ All engineering requirements for utilities, site designs, etc;
- _____ The location and type of any permanently protected green space areas;
- _____ The location of existing and proposed drainage facilities for storm water;
- _____ In the legend, data for the subject property on:
 - _____ Lot Area;
 - _____ Floor Area;
 - _____ Floor Area Ratio (b/a);
 - _____ Impervious Surface Area;
 - _____ Impervious Surface Ratio (d/a);
 - _____ Building Height.

- _____ (6) **A landscaping plan for subject property**, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.
- _____ (7) **A series of building elevations** for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.
- _____ (8) **A general signage plan** including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.
- _____ (9) **A general outline of the intended organizational structure** for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.
- _____ (10) **A written description** which demonstrates the full consistency of the proposed PIP with the approved GDP.
- _____ (11) **A written description** of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,

- _____ (12) **Proof of financing capability** pertaining to construction and maintenance and operation of public works elements of the proposed development.

FINAL APPLICATION PACKET INFORMATION
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/PIP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

- _____ **Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:** **Date:** _____ **by:** _____
- _____ **Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** **Date:** _____ **by:** _____
- _____ **A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.** **Date:** _____ **by:** _____
- _____ **Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:** **Date:** _____ **by:** _____
- _____ **Class 2 Legal Notice sent to official newspaper by City Clerk:** **Date:** _____ **by:** _____
- _____ **Class 2 Legal Notice published on _____ and _____** **by:** _____

**SUMMERHAVEN
OF
LAKE GENEVA CONDOMINIUM**

**THIRD AMENDMENT TO PRECISE
IMPLEMENTATION PLAN (PIP)**

**Applicant: McMurr II, LLC,
an Illinois limited liability company**

May 9, 2018

EXHIBIT A
PIP THIRD AMENDMENT - NARRATIVE

McMurr II, LLC, an Illinois limited liability company (“McMurr II”), is the Successor Declarant of the Summerhaven development (“Summerhaven”) and the owner of fifteen (15) of the units in Phase I thereof (“Phase I”) and all the lands comprising Summerhaven’s second and third phases. McMurr II has cleared Summerhaven of the piles of broken asphalt resulting from the demolition of a parking lot by an earlier developer, has cleaned out the storm water management ponds to restore their capacity, has altered the storm water drainage to avoid flooding neighboring property on the north boundary of Summerhaven, and has extended Summerhaven Drive to Lake Geneva Boulevard, paving the access for emergency vehicles to Summerhaven.

Phase I, approximately 8.04 acres, more particularly described in the attached Exhibit B incorporated herein, is zoned by the City of Lake Geneva (“City”) as PD, Planned Development Zoning District, under a Precise Implementation Plan (“PIP”) that has been amended in 2014 and in 2017 by McMurr II. Phase I is under condominium ownership, subject to the Declaration of Condominium and the Plat of Condominium of Summerhaven of Lake Geneva Condominium, as amended by recorded amendments and addenda thereto (collectively, “Summerhaven of Lake Geneva Condominium”). In Phase I, ten (10) duplex dwellings in five (5) buildings have been constructed, as well as three (3) single-family dwellings, with additional single-family units under construction. The public infrastructure (e.g., municipal water and sanitary sewer mains) and the private infrastructure (e.g., storm water management system, private streets, and public utilities) have been designed and almost fully installed with sufficient capacity to accommodate not only the thirty-seven (37) units originally approved for Phase I, now reduced to twenty-eight (28) units, but also to accommodate an additional forty-seven (47) units originally approved for the second and third phases of Summerhaven. Under the 2017 Second Amendment to the PD-PIP for Phase I (“Second Amendment”), McMurr II has committed to install the incomplete public and private infrastructure for the balance of Phase I, to construct the pool promised by the original developer of Summerhaven, as well as a pool house, and to install the final lift of asphalt for the Phase I private roads.

In planning the completion of such public and private infrastructure construction under the Second Amendment, however, McMurr II has learned that the size of the cul-de-sac to be constructed at the north terminus of Murray Drive, to be located largely on the real property more particularly described in the attached Exhibit C incorporated herein (“Phase II Property”), is substantially larger than originally planned and can have no center island, due to state-imposed requirements to accommodate emergency vehicles. The larger cul-de-sac has resulted in the reduction of the number of potential units on the Phase II Property from five (5) to four (4) and the addition of considerable fill to the Phase II Property.

The availability of fill and changing plans for the four (4) units potentially to be added to the Phase II Property have made the completion of the necessary improvements more viable. Consequently, McMurr proposes this Third Amendment to the PD-PIP for Phase I to amend the engineering to complete the public and private infrastructure of Phase I and to

accommodate up to four (4) units on the Phase II Property, if the Phase II Property is so rezoned, including, without limitation, the abandonment of the temporary T-turnaround at the current north terminus of Murray Drive, the construction of the larger cul-de-sac at the extended north terminus of Murray Drive, and the addition of fill to allow such improvements.

Attached as Exhibit D and incorporated herein is McMurr's Overall Site Plan depicting the extension of Murray Drive to its north terminus in the larger cul-de-sac, and the public and private infrastructure for the completion of Phase I and possibly four (4) units on the Phase II Property. Attached as Group Exhibit E and incorporated herein are the Phase I Buildout & Phase II Final Engineering Plans.

Also filed herewith is a First Amendment to the Development Agreement for Phase I, to reflect the completion of the public and private infrastructure, the cut off by McMurr of multiple public water and sanitary sewer services at the mains therefor in excess of one (1) set for each unit, for built and unbuilt units in Summerhaven, the grant of a twenty-five (25) foot-wide public utility easement to the City along the north boundary of the Phase II Property from the west end of the planned cul-de-sac to the west boundary of the Phase II Property, depicted in Group Exhibit E, to enable the City to loop public water mains through adjoining properties to the north or the west of the Phase II Property. McMurr will post with the City sufficient bond to cover the cost of the final lift and the installation of the remaining public and private infrastructure work for Phase I and the Phase II Property.

A map of Summerhaven, showing all lands within three hundred (300) feet, and a list of the names and addresses of the owners of all lands on said map, indicating the current zoning of Summerhaven and its environs, and the jurisdiction, is attached as Group Exhibit F and incorporated herein.

Except as modified by this Third Amendment to the PIP for Summerhaven, the PIP remains unchanged. The landscaping, signage, lighting, organizational structure, and the consistency of the PIP, as amended hereby, and the GDP, are not materially changed.

McMurr II believes that this Third Amendment to the PIP will render Summerhaven a more viable and improved in-fill development for the City.

**SUMMERHAVEN OF LAKE GENEVA CONDOMINIUM
EXHIBIT B
LEGAL DESCRIPTION OF SUMMERHAVEN PHASE I**

Units 101, 103, 107, 109, 112, 116, 126, 202, 204, 207, 208, 209, 210, 215, 216, 217, 221, 223, 224, 226, 227, 229, 230, 232, 237, 239, 241, 245, and 247 in the Summerhaven of Lake Geneva Condominium, created by a "Declaration of Condominium" recorded on March 28, 2007, in the Office of the register of Deeds for Walworth County, Wisconsin, as Document No. 704378, together with any amendments and/or corrections thereto, and by its Condominium Plat and any amendments and/or corrections thereto. Said condominium being located in the City of Lake Geneva, County of Walworth, and State of Wisconsin (end of legal description).

Tax Key Numbers: ZSUM 00101, ZSUM 00103, ZSUM 00107, ZSUM 00109, ZSUM 00112, ZSUM 00116, ZSUM 00126, ZSUM 00202, ZSUM 00204, ZSUM 00207, ZSUM 00208, ZSUM 00209, 210, ZSUM 00215, ZSUM 00216, ZSUM 00217, ZSUM 00221, ZSUM 00223, ZSUM 00224, ZSUM 00226, ZSUM 00227, ZSUM 00229, ZSUM 00230, ZSUM 00232, ZSUM 00237, ZSUM 00239, ZSUM 00241, ZSUM 00245, and ZSUM 00247.

**SUMMERHAVEN OF LAKE GENEVA CONDOMINIUM
EXHIBIT C
LEGAL DESCRIPTION – ADJOINING 1.75 ACRE PARCEL
FOR TURNAROUND – PHASE II**

PARCEL 1: THAT PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 1 OF CERTIFIED SURVEY MAP NO. 754, RECORDED AS DOCUMENT NO. 28944 OF WALWORTH COUNTY CERTIFIED SURVEYS, SAID POINT LOCATED S 89DEG 31MIN 36SEC W, 733.28 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 36 (T2N, R17E); THENCE N 89DEG 38MIN 40SEC E, 89.98 FEET; THENCE N 89DEG 37MIN 23SEC E, 90.50 FEET TO THE WEST LINE OF LAKE GENEVA BOULEVARD; THENCE N 01DEG 34MIN 47SEC W, 348.82 FEET ALONG SAID BOULEVARD TO THE SOUTHWEST LINE OF WELLS STREET; THENCE N 37DEG 55MIN 32SEC W, ALONG SAID STREET, 202.94 FEET; THENCE S 89DEG 18MIN 48SEC W, 239.56 FEET TO THE POINT OF BEGINNING; THENCE S 00DEG 41MIN 12SEC E, 50.00 FEET; THENCE S 01DEG 55MIN 11SEC E, 134.92 FEET; THENCE S 89DEG 31MIN 07SEC W, 24.01 FEET; THENCE S 01DEG 12MIN 03SEC E, 16.91 FEET; THENCE S 88DEG 41MIN 15SEC W, 42.80 FEET; THENCE N 86DEG 27MIN 48SEC W, 126.62 FEET; THENCE S 88DEG 58MIN 07SEC W, 199.39 FEET TO THE EAST LINE OF LAKE SHORE VILLAGE CONDOMINIUM; THENCE ALONG SAID CONDOMINIUM, N 00DEG 11MIN 05SEC W, 6.62 FEET; THENCE CONTINUE, N 00DEG 47MIN 32SEC W, 187.44 FEET; THENCE N 89DEG 18MIN 48SEC E, 389.70 FEET TO THE POINT OF BEGINNING. CONTAINING 76,247 SQUARE FEET (1.75 ACRES) OF LAND, MORE OR LESS (end of legal description).

Property Index Number: ZSUM 00001

**SUMMERHAVEN OF LAKE GENEVA CONDOMINIUM
EXHIBIT D
OVERALL SITE PLAN**

See attached.

**SUMMERHAVEN OF LAKE GENEVA CONDOMINIUM
EXHIBIT E
PHASE I BUILDOUT & PHASE II FINAL ENGINEERING PLANS**

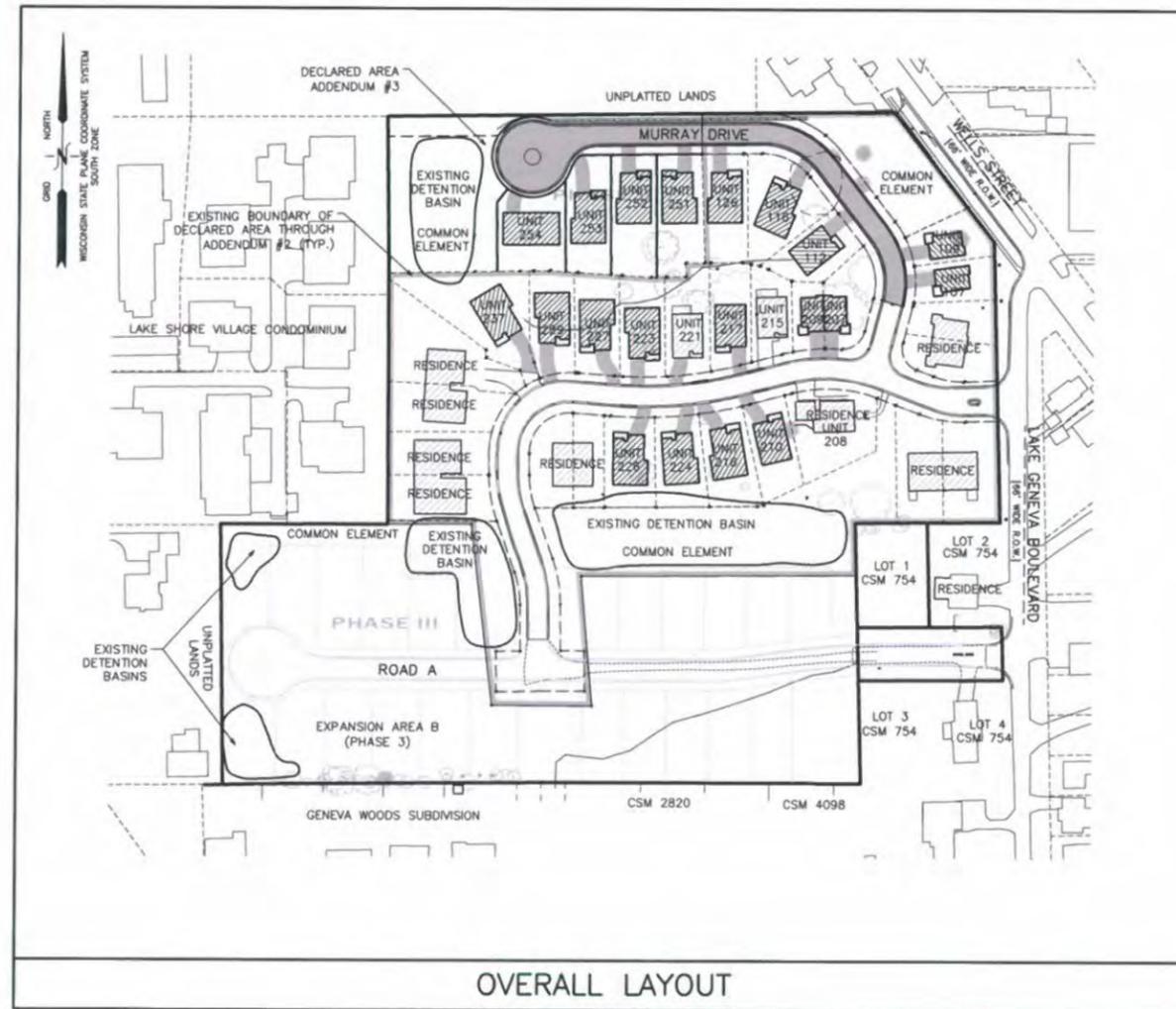
See attached.

SUMMERHAVEN OF LAKE GENEVA – PHASE 1 BUILDOUT & PHASE 2 FINAL ENGINEERING PLANS

LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 36, TOWN 2 NORTH,
RANGE 17 EAST AND THE NE 1/4 OF THE NE 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST,
IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



- SEQUENCE OF CONSTRUCTION**
- OBTAIN REQUIRED NR 216 PERMIT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES BEFORE START OF ANY LAND DISTURBING ACTIVITY ON SITE.
 - HOLD PRE-CON TO ADDRESS ANY ISSUES WITH PLAN AND SEQUENCE.
 - INSTALL ALL APPROPRIATE EROSION CONTROL MEASURES ON SITE INCLUDING TEMPORARY SILT FENCE, STONE TRACKING PAD PER MNOR TECHNICAL STANDARDS.
 - CLEAR AND GRUB ON SITE (SEE SPECIFICATIONS).
 - STRIP TOPSOIL FROM ACCESS ROADS AND IN PLANNED WORK AREA OF TEMPORARY SEDIMENT TRAP AND STOCKPILE WHERE SHOWN ON PLAN. INSTALL TEMPORARY SILT FENCE AROUND ENTIRE PERIMETER OF STOCKPILE PER MNOR TECHNICAL STANDARDS. SOIL LEFT UNDISTURBED FOR 14 DAYS MUST BE SEEDED AND STABILIZED.
 - COMPLETE FINAL GRADING OF DRAINAGE SWALES. INSPECT SWALES TO MEET SPECIFICATIONS ON PLAN AND MNOR TECHNICAL STANDARDS INCLUDING IMPORT OF OFF-SITE FILL.
 - SEEDING AND EROSION MATTING AS SPECIFIED ON PLAN FOR TEMPORARY SEDIMENT TRAP & DRAINAGE SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
 - STABILIZE ALL OTHER EXPOSED SOIL AREAS WITH PROPER SEEDING AND EROSION MATTING PER MNOR TECHNICAL STANDARDS.
 - ROUGH GRADE PROPOSED ROAD.
 - INSTALL WATER, SANITARY AND STORM UTILITIES.
 - CONSTRUCT RETAINING WALLS.
 - FINE GRADE ROAD SUBGRADES.
 - INSTALL ROAD BASE COURSE.
 - COMPLETE CONSTRUCTION OF ALL ROADS BY INSTALLING BINDER PAVEMENT. SURFACE COURSE MAY BE DELAYED UP TO 12 MONTHS.
 - RESTORE ALL REMAINING DISTURBED AREAS.
 - IF SEDIMENT HAS ACCUMULATED WITHIN TEMPORARY SEDIMENT TRAPS DURING CONSTRUCTION IT SHALL BE REMOVED AND TRAPS SHALL BE RESTORED TO PROPOSED FINISHED GRADE.
 - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON FINAL STABILIZATION.
- NOTE:** ANY CHANGES TO OR VARIANCE OF SITE PLAN AND/OR CONSTRUCTION SEQUENCE DUE TO CONSTRUCTION MEANS AND METHODS SHOULD BE APPROVED BY THE ENGINEER AND OWNER PRIOR TO IMPLEMENTATION. THE ENGINEER SHALL NOTIFY THE DEPARTMENT OF NATURAL RESOURCES OF ANY CHANGES TO THE PLANS AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION. IT IS ANTICIPATED THAT WORK WILL NOT START UNTIL EARLY SPRING 2017 AND EXTEND THROUGH SUMMER WITH ALL WORK DONE BY OCTOBER 1, 2017. ACTUAL TIME LINES FOR VARIOUS WORK MAY VARY DEPENDING ON OWNERS OPERATIONS BUT EROSION CONTROL IS TO BE CONTINUOUSLY MAINTAINED.



SHEET 1	- COVER SHEET
SHEET 2	- SITE, GRADING, DRAINAGE EROSION CONTROL PLAN
SHEET 3	- HAUL ROAD FOR MAJOR FILL OPERATIONS
SHEET 4	- PAVING & STORM SEWER PLAN & PROFILE
SHEET 5	- PUBLIC SEWER & WATER PLAN & PROFILE
SHEET 6	- PUBLIC SEWER AND WATER SPECIFICATIONS
SHEET 7	- PUBLIC SEWER AND WATER SPECIFICATIONS
SHEET 8	- SITE SPECIFICATIONS
SHEET 9	- CONSTRUCTION DETAILS
SHEET 10	- CONSTRUCTION DETAILS

INDEX OF SHEETS

PHASE 1 BUILDOUT
UNITS 107, 109, 112, 116, 126, AND THE COMMUNITY POOL; MURRAY ROAD FROM STA. 6+19 TO STA. 2+53; REMAINING PUBLIC UTILITIES WITHIN THE BOUNDARY OF THE DECLARED AREA OF ADDENDUM #2.

PHASE 2
UNITS 251-254; THE REMAINDER OF MURRAY ROAD; REMAINING PUBLIC UTILITIES WITHIN THE BOUNDARY OF THE DECLARED AREA OF ADDENDUM #3.

PHASING SUMMARY

GH

SUMMERHAVEN OF LAKE GENEVA
PHASE 1 BUILDOUT & PHASE 2
FINAL ENGINEERING PLANS
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

COVER SHEET

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS

05/01/2018 - DSR
PER CITY COMMENTS

05/10/2018 - DSR
PER CITY COMMENTS

PROJECT NO.
8868

DATE
10/19/2016

SHEET NO.
1 OF 10

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CONTACT:

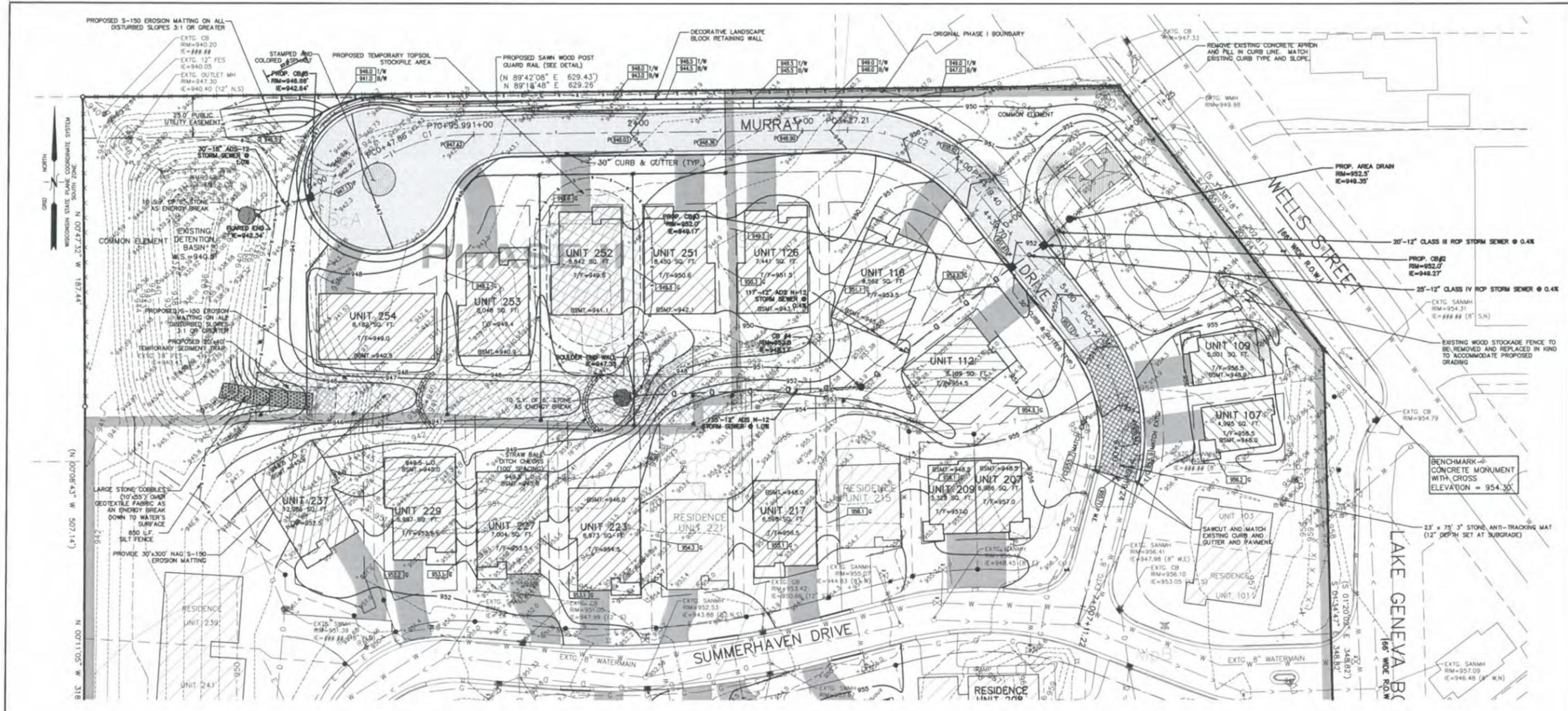
DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

WS STATUTE 192.0175(1974) REQUIRES MIN.
3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

OWNER/DEVELOPER
SPECTRUM REAL ESTATE PROPERTIES
351 WEST HUBBARD, SUITE 610
CHICAGO, IL 60654

SOURCE BENCHMARK
R.B.M. AS SHOWN ON THE
WALWORTH COUNTY
SURVEYOR'S TIE SHEET,
DATED 5-1-97
ELEVATION = 949.35'



EROSION CONTROL NOTES

1. INLET PROTECTION TO BE INSTALLED IN EXISTING CURB INLET STRUCTURES AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF LOCAL EROSION CONTROL PLANS AND/OR ORDINANCES.
3. INSPECT SWALES TO MEET SPECIFICATIONS ON PLAN AND WDNR TECHNICAL STANDARDS ON AN ON-GOING BASIS.
4. SEEDING AND EROSION CONTROL MATTING AS SPECIFIED ON PLAN FOR TEMPORARY SEDIMENT TRAP AND SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
5. SILT FENCE TO ACT AS A SEDIMENT BARRIER/TRAP AND SHALL BE CLEANED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
6. PROVIDE INLET PROTECTION AT ALL CATCH BASINS AS EACH IS INSTALLED. INLET PROTECTION TO INCLUDE FABRIC BARRIERS UNDER CASTINGS.
7. INSPECT EROSION CONTROL ON SITE AND DOCUMENT FINDINGS IN AN INSPECTION REPORT. MAINTAIN WEEKLY INSPECTION SCHEDULE AND INSPECT SITE 24 HOURS AFTER EVERY RAINFALL EVENT FOR RUNOFF MANAGEMENT.
8. ALL DISTURBED SLOPES 3:1 OR GREATER TO BE STABILIZED WITH NORTH AMERICAN GREEN S-150 EROSION CONTROL BLANKET.

GENERAL NOTES

1. ALL ELEVATIONS ARE IN RELATION TO NATIONAL GEODETIC VERTICAL DATUM OF 1929.
 SOURCE BENCHMARK - R.B.M. AS SHOWN ON THE WALWORTH COUNTY SURVEYOR'S TIE SHEET, DATED 5-1-97, ELEVATION = 949.35'
2. PROPOSED PAVED ROADWAYS SHOWN ARE 27' WIDE BETWEEN FACE OF CURB WITH 30" CURB AND GUTTER AND SHALL BE BUILT TO CITY STANDARDS.
3. ALL UNITS ARE TO BE SERVED WITH PUBLIC SEWER AND WATER.
4. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE CITY HALL. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.
5. TEMPORARY TOPSOIL STOCKPILES TO BE DETERMINED BY ENGINEER IN FIELD AFTER ALL CLEARING AND GRUBBING OPERATIONS ARE COMPLETED TO DETERMINE THE BEST SUITABLE SITE.
6. TOP OF FOUNDATION ELEVATIONS (T/F=) SHOWN ON THE PLAN ARE SUGGESTED GRADES ONLY FOR A TYPICAL HOME SITE LOCATED AT WHAT IS FELT TO BE THE BEST SITE LOCATION. OWNERS SHALL BE REQUIRED TO HAVE THE ENGINEER OF RECORD PREPARE A DETAILED SITE AND GRADING PLAN WITH EROSION CONTROL DETAILS FOR THE HOME SITES. THE PLAN IS TO BE USED FOR SUBMITTAL TO THE CITY FOR ZONING AND BUILDING PERMITS.

ROAD CENTERLINE CURVE DATA

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	100.00'	48.13'	47.66'	N 75°31'33" E	27°34'30"
C2	100.00'	92.19'	88.96'	S 64°16'35" E	52°49'14"
C3	100.00'	91.93'	88.73'	S 11°31'49" E	52°40'18"

PUD ZONING BUILDING SETBACK REQUIREMENTS

STREET YARD - 18.5' ALONG PRIVATE ROADWAYS
 - 25' ALONG PUBLIC ROADWAYS

SIDE YARD - 6' FOR DETACHED SINGLE-FAMILY UNITS

REAR YARD - 30' ALONG EXTERIOR BOUNDARIES



SITE SUMMARY

EXISTING ZONING - PUD
 OVERALL AREA (Phases 1 & 2) - 10.06 ACRES
 PROPOSED RIGHT OF WAY - 2.07 ACRES
 NET DEVELOPMENT AREA - 7.99 ACRES
 EXISTING DUPLEX UNITS - 10 UNITS
 PROPOSED SINGLE-FAMILY - 23 UNITS
 DENSITY - 4.13 UNITS PER ACRE

NOTE: COMMON ELEMENT TO BE PRESERVED AS PRIVATE ROADWAY OR OPEN SPACE.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CONTACT:

DIGGERS HOTLINE

Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE





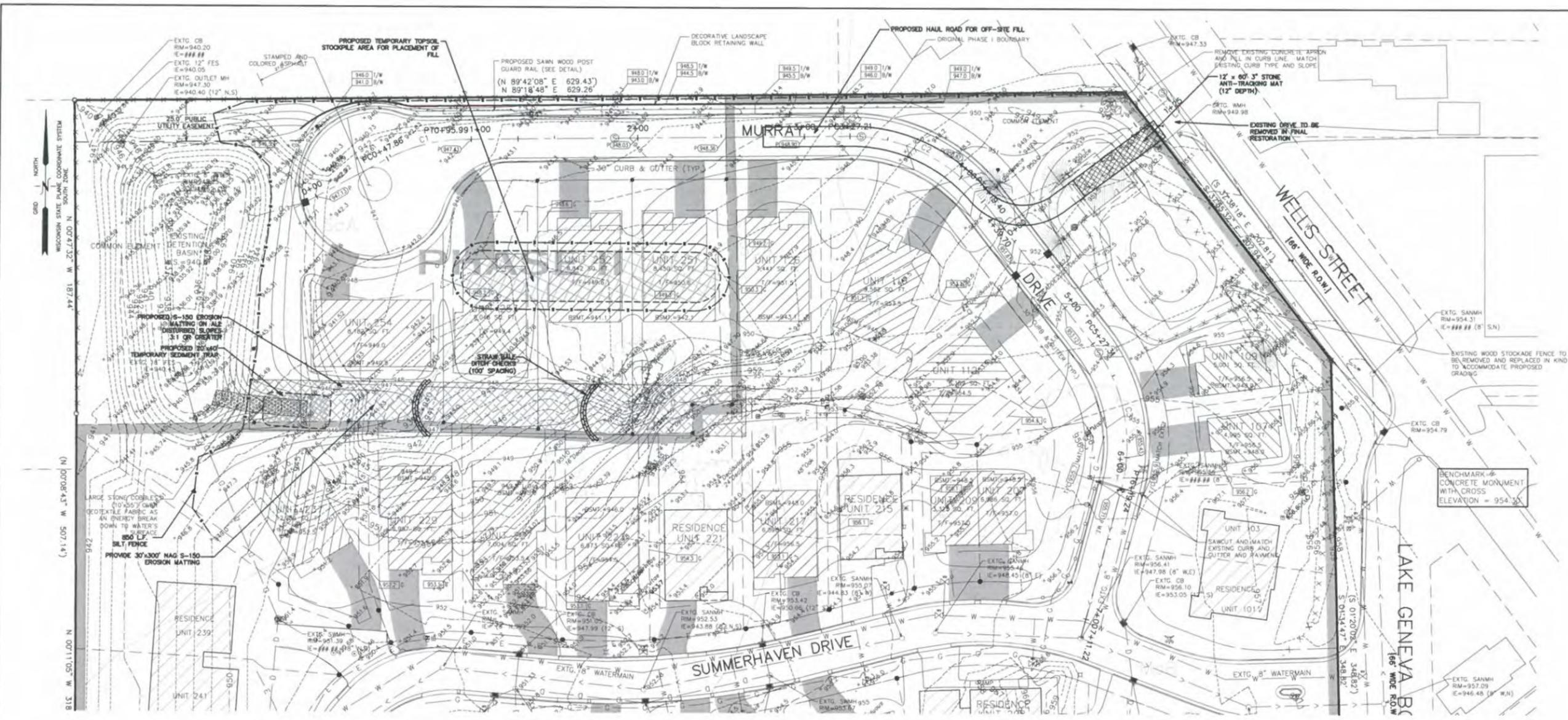
**SUMMERHAVEN OF LAKE GENEVA
PHASE 1 BUILDOUT & PHASE 2
FINAL ENGINEERING PLANS**
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

**HAUL ROAD FOR
FOR
MAJOR FILL OPERATIONS**

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2088 FAX: (262) 723-5886

REVISIONS
05/01/2016 - DPR
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PROJECT NO.
8868
DATE
10/19/2016
SHEET NO.
3 OF 10

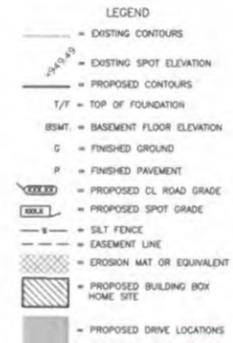


EROSION CONTROL NOTES

1. INLET PROTECTION TO BE INSTALLED IN EXISTING CURB INLET STRUCTURES AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF LOCAL EROSION CONTROL PLANS AND/OR ORDINANCES.
3. INSPECT SWALES TO MEET SPECIFICATIONS ON PLAN AND WDNR TECHNICAL STANDARDS ON AN ON-GOING BASIS.
4. SEEDING AND EROSION CONTROL MATTING AS SPECIFIED ON PLAN FOR TEMPORARY SEDIMENT TRAP AND SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
5. SILT FENCE TO ACT AS A SEDIMENT BARRIER/TRAP AND SHALL BE CLEANED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
6. INSPECT EROSION CONTROL ON SITE AND DOCUMENT FINDINGS IN AN INSPECTION REPORT. MAINTAIN WEEKLY INSPECTION SCHEDULE AND INSPECT SITE 24 HOURS AFTER EVERY RAINFALL EVENT FOR RUNOFF MANAGEMENT.
7. ALL DISTURBED SLOPES 3:1 OR GREATER TO BE STABILIZED WITH NORTH AMERICAN GREEN S-150 EROSION CONTROL BLANKET.

GENERAL NOTES

1. REMOVE ALL BRUSH AND SCRUB TREES PRIOR TO STRIPPING OF TOPSOIL.
2. TOPSOIL STOCKPILE SHALL BE LOCATED WHERE SHOWN ON PLAN. INSTALL TEMPORARY SILT FENCE AROUND ENTIRE PERIMETER OF STOCKPILE PER WDNR TECHNICAL STANDARDS. SOIL LEFT UNDISTURBED FOR 14 DAYS MUST BE SEEDED AND STABILIZED.
3. ALL FILL PLACED SHALL BE ON PREPARED LEVELED SUBSOIL WITH FILL PLACED IN COMPACTED 8" TO 12" LIFTS BY DOZER AND SHEEPSFOOT COMPACTOR.
4. ANY DISTURBED OR DAMAGED ROADWAY OR SIDEWALK SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
5. WELLS STREET TO BE KEPT FREE OF DIRT, MUD, DEBRIS, ETC. AT ALL TIMES.
6. ALL SITE CLEANING, EXCAVATION, GRADING, COMPACTION, SUBGRADE PREPARATION, SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION," 2016 EDITION, STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL ORDINANCES.



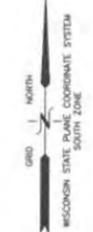
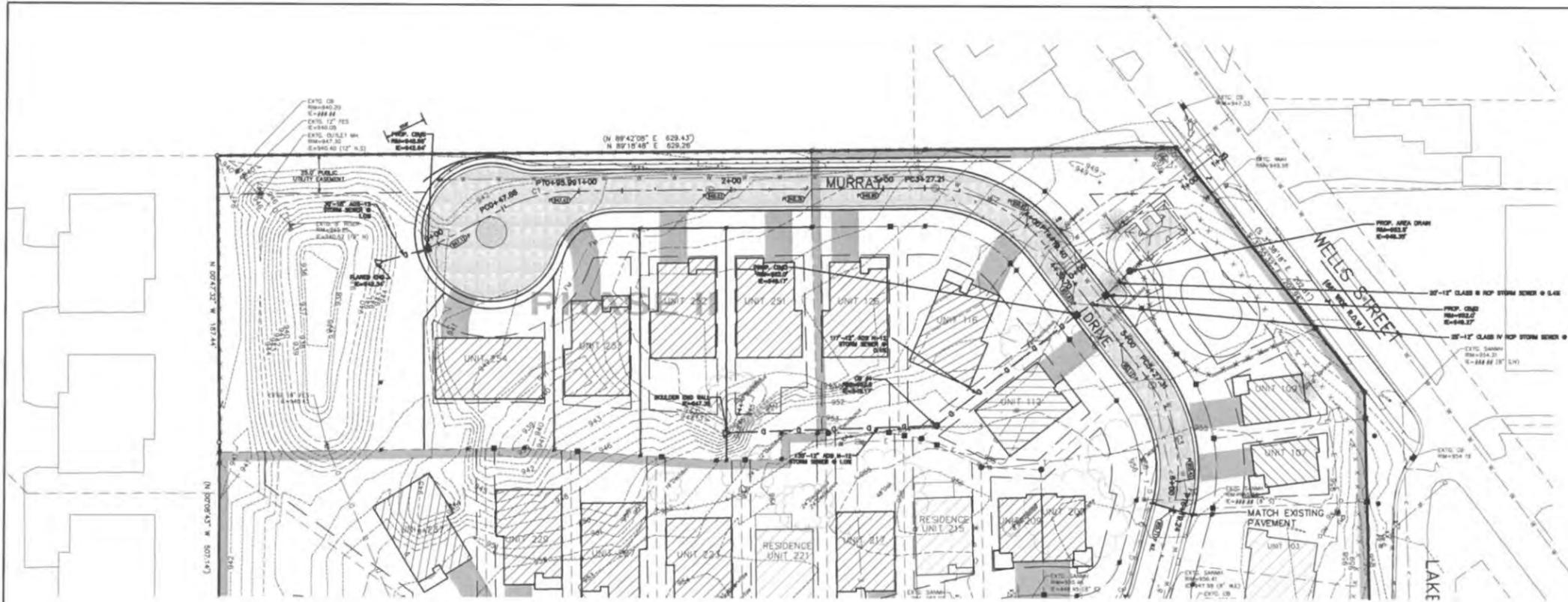
TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CONTACT

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

WS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

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GENERAL NOTES:

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES OR STRUCTURES SHOWN ANYWHERE WITHIN THESE PLANS ARE BASED UPON RECORDS AVAILABLE AT THE TIME THE PLANS WERE PREPARED AND SHOULD NOT BE ASSUMED TO BE COMPLETE OR CORRECT IN ALL INSTANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE FOR HIMSELF THE EXACT LOCATIONS AND TYPES OF THEIR FACILITIES BEFORE EXCAVATING. THE CONTRACTOR SHALL PROTECT ALL EXISTING UNDERGROUND WORK DURING THE COURSE OF HIS CONSTRUCTION ACTIVITY.
2. PROPOSED PAVED ROADWAYS SHOWN ARE 27' WIDE BETWEEN FACE OF CURB WITH 30" CURB AND GUTTER AND SHALL BE BUILT TO CITY STANDARDS.
3. ALL WORK DONE WITHIN THE ROAD RIGHT-OF-WAY TO BE DONE IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.

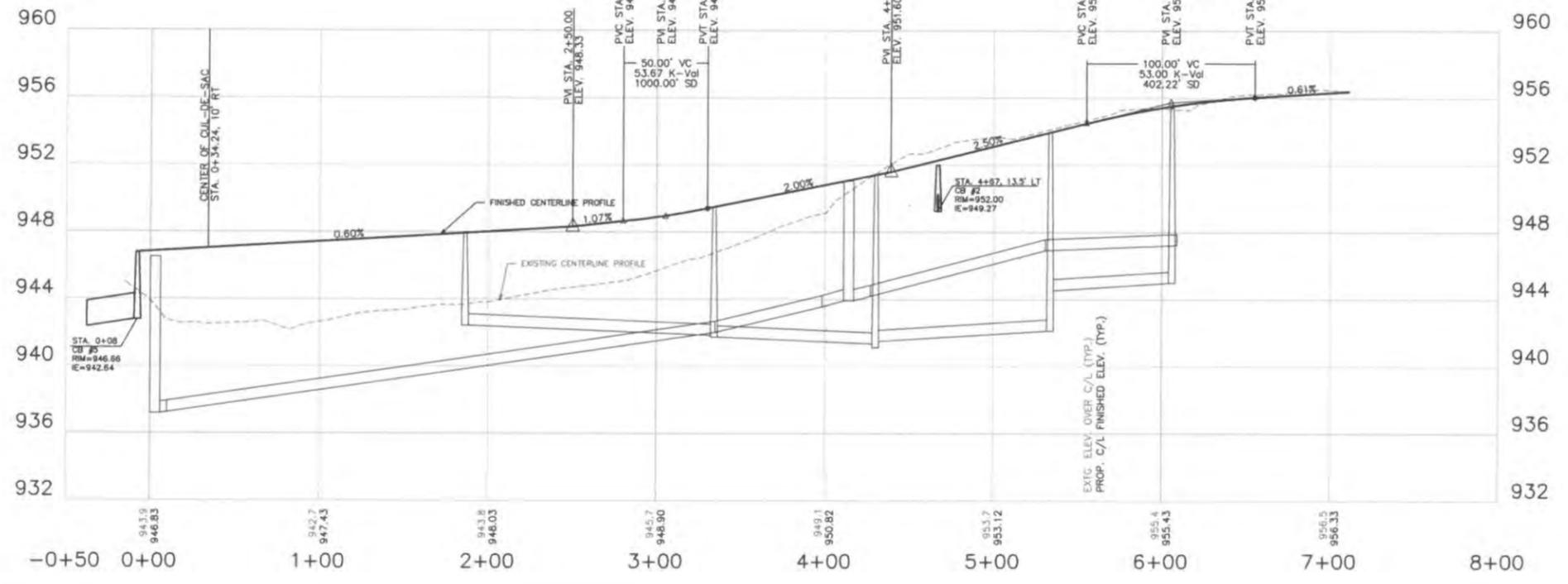
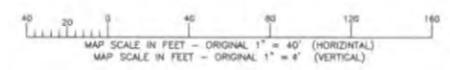
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WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

ROAD CENTERLINE CURVE DATA					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	100.00'	48.13'	47.86'	N 75°31'33" E	27°34'30"
C2	100.00'	92.19'	88.96'	S 64°16'35" E	52°49'14"
C3	100.00'	91.93'	88.73'	S 11°31'49" E	52°40'18"



**SUMMERHAVEN OF LAKE GENEVA
 PHASE 1 BUILDOUT & PHASE 2
 FINAL ENGINEERING PLANS**
 CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

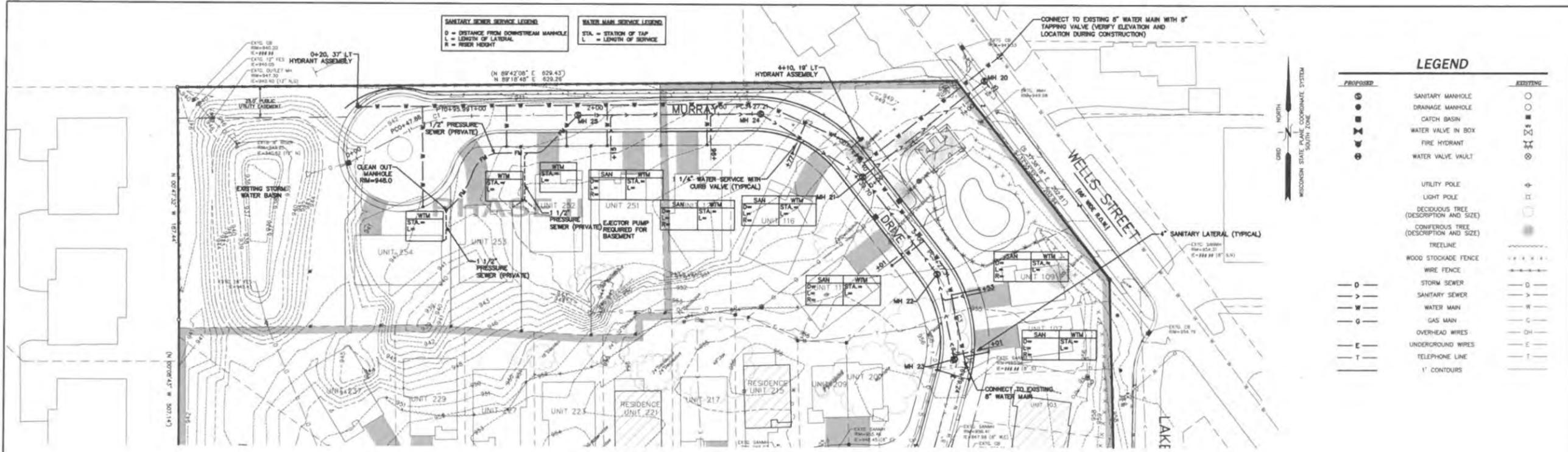
**PAVING & STORM SEWER
 PLAN & PROFILE**

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
 7 REDWAY COURT P.O. BOX 437
 ELMHORN, WISCONSIN 53121
 OFFICE: (262) 723-2098 FAX: (262) 723-5866

REVISIONS
 05/01/2018 - DSR
 PER CITY COMMENTS
 05/10/2018 - DSR
 PER CITY COMMENTS

PROJECT NO.
8868
 DATE
10/19/2016
 SHEET NO.
4 OF 10

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TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CONTACT

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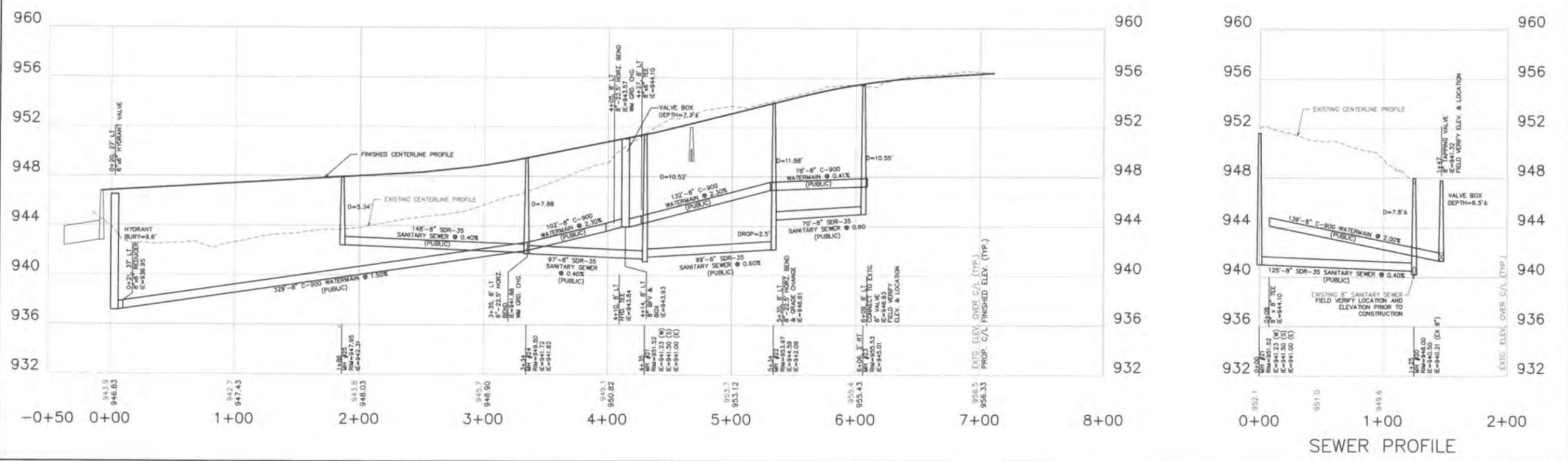
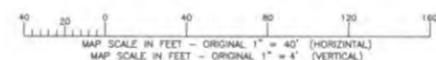
WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

- UTILITY NOTES**
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES OR STRUCTURES SHOWN ANYWHERE WITHIN THESE PLANS ARE BASED UPON RECORDS AVAILABLE AT THE TIME THE PLANS WERE PREPARED AND SHOULD NOT BE ASSUMED TO BE COMPLETE OR CORRECT IN ALL INSTANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE FOR HIMSELF THE EXACT LOCATIONS AND TYPES OF THEIR FACILITIES BEFORE EXCAVATING. THE CONTRACTOR SHALL PROTECT ALL EXISTING UNDERGROUND WORK DURING THE COURSE OF HIS CONSTRUCTION ACTIVITY.
 - CONTRACTOR SHALL CONTACT THE CITY OF LAKE GENEVA DEPARTMENT OF PUBLIC WORKS TO COORDINATE CONNECTION TO EXISTING MUNICIPAL SERVICES.
 - ALL WORK DONE WITHIN THE ROAD RIGHT-OF-WAY TO BE DONE IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
 - MANHOLE CASTINGS WITHIN PAVEMENT SHALL INITIALLY BE CONSTRUCTED TO 1/4" BELOW THE TOP OF THE FIRST LAYER OF ASPHALT & ADJUSTED AT THE TIME THE FINAL ASPHALT LAYER IS PLACED.
 - A TEMPORARY PLUG MUST BE INSTALLED IN THE DOWNSTREAM MANHOLE DURING CONSTRUCTION TO PREVENT SEDIMENT/DEBRIS FROM ENTERING THE DOWNSTREAM SEWER. ALL PLUGS MUST BE REMOVED PRIOR TO CITY ACCEPTANCE OF THE NEW SERVICES.

- CONSTRUCTION & INSPECTION NOTES**
- NO CONSTRUCTION, OR INSTALLATION OR IMPROVEMENTS SHALL COMMENCE UNTIL ARRANGEMENTS FOR INSPECTION BY THE CITY ENGINEER HAVE BEEN MADE AND THE CITY ENGINEER HAS GIVEN WRITTEN AUTHORIZATION TO COMMENCE SAID CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT THE CITY ENGINEER AT LEAST 72 HOURS PRIOR TO THE NEED FOR AS REQUIRED BY THE SPECIAL PROVISIONS ON SHEETS 6 & 7.
 - NO MATERIAL OF ANY KIND SHALL BE USED IN THE WORK UNTIL IT HAS BEEN INSPECTED AND ACCEPTED BY THE CITY ENGINEER OR HIS INSPECTOR. THE CITY ENGINEER MAY WAIVE THIS INSPECTION REQUIREMENT IN HIS SOLE DISCRETION. ALL REJECTED MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE PREMISES. ANY MATERIALS OR WORKMANSHIP FOUND AT ANY TIME TO BE DEFECTIVE SHALL BE REPLACED OR REMEDIATED AT ONCE REGARDLESS OF PREVIOUS INSPECTION. INSPECTION OF MATERIALS SHALL BE PROMPTLY MADE, AND WHERE PRACTICABLE, AT THE SOURCE OF SUPPLY.
 - THE CITY ENGINEER, HIS INSPECTORS, REPRESENTATIVES OR AGENTS SHALL, AT ALL TIMES, HAVE UNRESTRICTED ACCESS TO ALL PARTS OF THE WORK AND TO OTHER PLACES WHERE OR IN WHICH THE PREPARATION OF MATERIALS AND OTHER INTEGRAL PARTS OF THE WORK ARE BEING CARRIED ON AND CONDUCTED.

ROAD CENTERLINE CURVE DATA

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	100.00'	48.13'	47.66'	N 75°31'33" E	27°34'30"
C2	100.00'	92.19'	88.90'	S 64°16'35" E	52°49'14"
C3	100.00'	91.83'	88.73'	S 11°31'49" E	52°40'18"



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**SUMMERHAVEN OF LAKE GENEVA
 PHASE 1 BUILDOUT & PHASE 2
 FINAL ENGINEERING PLANS
 CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN**

**PUBLIC SEWER & WATER
 PLAN & PROFILE**

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
 7 RIDGEWAY COURT
 ELKHORN, WISCONSIN, 53121
 OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS

05/01/2018	- DSR PER CITY COMMENTS
05/10/2018	- DSR PER CITY COMMENTS

PROJECT NO: 8868
 DATE: 10/19/2016
 SHEET NO: 5 OF 10

PUBLIC SANITARY SEWER AND WATER MAIN
101. STANDARD SPECIFICATIONS

The "Standard Specifications for Sewer and Water Construction in Wisconsin", Sixth Edition, December 22, 2003, with Addendum No. 1, "Standard Specifications" and The City of Lake Geneva Special Provisions Development Standards for Private Developments, "Special Provisions" will govern all public sanitary sewer and water main utility work performed on this project. Below are the relevant sections of the "Special Provisions".

In the event of a discrepancy between the "Special Provisions" and the "Standard Specifications" the "Special Provisions" shall govern.

Copies of the "Standard Specifications" may be obtained by contacting:

Public Works Industry Improvement Program
2835 N. Mayfair Road, Suite 35
Milwaukee, WI 53222
Phone: (414) 778-1050

Copies of the City of Lake Geneva Special Provisions Development Standards for Private Developments may be obtained by contacting the City Water and Sewer Utility Engineer (City Utility Engineer):

Kapur & Associates
1224 S. Pine St.
Burlington, WI 53105
Phone: (262) 787-2747

201. SANITARY SEWER CONSTRUCTION

A. Bedding and Cover Material

1. Sanitary sewer bedding and cover material shall conform to the appropriate sections of the "Standard Specifications", as specified and/or modified below:

a. PVC Pipe - Section 3.2.6(i), as modified below. (Note that the bedding section is essentially Class B' Bedding including a minimum of 12 inches of cover material over the top of the pipe.)

(1) Bedding material used for 18" diameter or smaller sewer pipes shall conform to either Table 32 (3/8" crushed stone chips containing at least 85% machine fractured particles) or Table 33 (3/4" crushed stone chips containing at least 65% machine fractured particles) of Section 8.43.2(a). Crushed pea gravel will not be allowed for use as bedding material. Cover material shall be the same material as used for bedding.

(2) Delete the following sentence from Paragraphs 3.2.6(b)2 and 3.2.6(i):

"If crushed stone chips or other materials conforming to Section 8.43.2(a) are used as cover material, no compaction or sloping is required."

(3) Placement and Compaction.

(a) Place bedding material to the springline of the pipe and compact prior to placing cover material. Compaction of bedding material at the level of the pipe springline shall include working bedding material under the haunches of the pipe using shovels or other suitable methods. The Contractor shall take care to completely work bedding material under the haunches of the pipe to provide adequate side support.

(b) Place and compact cover material in one or more lifts after compacting bedding material. Place a minimum of 12 inches of cover material over the pipe.

(c) Refer to Subsection 507.B. of the "Special Provisions" for requirements for recompacting Class B' bedding disturbed by trench boxes.

B. Laterals

1. Connections to the Main Sewer

a. Building sewer (laterals) connections to the main sewer 18" in diameter or less shall be made with eyes except as noted below. The ends of laterals shall be plugged in accordance with Paragraph 3.2.5(f) of the "Standard Specifications".

(1) All lateral connections to new flexible pipe shall be made with factory fabricated or injection molded in-line eyes unless otherwise approved by the Engineer.

b. Place eyes at a typical vertical angle of 45° to the horizontal except install eyes flat or level when the Plans state to install laterals as low as possible.

2. Grade
a. Install sewer laterals at a minimum 2.08% (1/4"/ft.) grade unless shown otherwise on the Plans.

3. Marker Stakes

a. The Contractor shall furnish and install a marker stake over the end of each lateral installed. The marker shall be a minimum 2" x 4" x 4" wooden plank or as approved by the Engineer. The marker shall be placed vertically with its top flush with the surface grade. Place a spike or other durable magnetic material in the top of the marker stake to aid in future relocation.

4. Risers

a. Risers on shallow flexible gravity sewer mains shall be constructed of flexible gravity sewer pipe in accordance with File No. 10E of the "Standard Specifications". Use File No. 10E for risers up to 6 feet in height and for mains not exceeding 16 feet in depth measured from the flowline of the sewer.

b. Riser connections shall be made with factory fabricated or injection molded in-line tees. Do not use saddles for riser connections.

5. Cleanouts

a. All laterals exceeding 100 feet in length shall have cleanouts installed on them. Cleanouts shall be placed at 100 foot maximum spacings as shown on the Plans or as directed by the Engineer. They shall be constructed in accordance with the details shown on the Plans.

C. Connections to Existing Manhole

1. Sewer connections to existing manholes shall be made in accordance with Section 3.5.7 of the "Standard Specifications". Field topped holes for connecting sewer pipe to manholes shall be made by coring the manhole except that connections to brick or block manholes may be made by punching out the opening. Flexible pipe connections shall be made with flexible watertight connectors, Kor-N-Seal, Link-Seal or equal. All clamps, bolts, etc. of pipe to manhole seals shall be stainless steel. If Link-Seal connectors are used, the bolt heads shall be placed on the inside of manholes.

2. Form a new flow line(s) in the existing manhole(s) in accordance with File No. 13 of the "Standard Specifications".

3. For outside drop connection to existing manhole follow section 3.5.8(d)(4), File 22 of the "Standard Specifications".

4. Plug Downstream Manhole

a. Place temporary plugs in all downstream (receiving) manholes to prevent groundwater and debris from entering the existing sewer system.

D. Pipe Flotation

1. Pipes installed below the groundwater elevation shall be protected against flotation. The Contractor shall lower the groundwater elevation until after adequate cover has been placed to secure pipes.

E. Insulation

1. Sewer lines shall be insulated where noted on the Plans and wherever the depth of cover is less than five (5) feet when so ordered by the Engineer. Insulation shall be in accordance with Chapter 4.17.0 of the "Standard Specifications" and the details in the Appendix of the "Special Provisions".

F. Deflection Testing

1. Polyvinyl chloride (PVC) sewer pipe shall be deflection tested with an approved go-no-go acceptance testing device. The test shall not be conducted until after all backfill has been placed and consolidated and after riser pipes and sewer laterals have been installed. The entire length of sewer pipe shall be tested.

a. PVC pipe shall be deflection tested in accordance with Paragraph 3.2.6(j)4 of the "Standard Specifications", as amended below:

(1) PVC pipe shall not be deflection tested until at least 14 days after all backfill has been placed, including backfilling of laterals and risers. Initial deflection testing shall be done using a 92.5N mandrel. The use of a 92.5N testing device will not be allowed for initial testing regardless of the time elapsed after backfilling.

(2) All sections failing to pass the test shall be repaired and retested, however, if at least 30 days have elapsed since the pipe was placed and backfilled, the Contractor will be allowed to retest the sewer line using a 92.5N mandrel.

2. Mandrels

a. Go-no go mandrels shall conform to the requirements of File No. 30 and 30A of the "Standard Specifications".

G. Leakage Testing

1. Low Pressure Air Test

a. Amend Paragraph 3.7.1 of the "Standard Specifications" to read in part: "Sanitary sewers less than or equal to 36 inches in diameter shall be tested for leakage using the low pressure air test. The length of laterals included in the test section shall be included in determining the test time."

H. Telescoping Sewers

1. The Contractor shall telescope all sewers after successfully completing deflection and leakage testing.

2. The Contractor shall provide the Owner with a copy of the videotape and a written report by the video contractor. The report shall indicate all defects (i.e., bad joints, cracked pipe, infiltration, standing water, etc.) and shall list locations of all laterals.

3. All defects shall be corrected and any dirt, gravel or foreign material removed from the sewer prior to acceptance by the Owner.

205. SANITARY SEWER MATERIALS

A. Sanitary sewer pipe material shall be polyvinyl chloride (PVC) pipe conforming to the following:

1. Polyvinyl chloride (PVC) sewer pipe (4 inch through 15 inch diameter) meeting the requirements of ASTM D3034, SDR 35, with a minimum pipe stiffness of 46 psi and having integral bell type flexible elastomeric joints meeting the requirements of ASTM D3212. Gaskets shall meet the requirements of ASTM F477. PVC material shall have a cell classification of 12454B, 12454C, 12364C or 13364B, except that 12364C and 13364B shall have a minimum modulus of elasticity of 500,000 psi. (Option: SDR 26 with a minimum pipe stiffness of 115 psi.)

2. Polyvinyl chloride (PVC) small diameter profile wall sewer pipe (6 inch and 10 inch diameter) meeting the requirements of ASTM F949, open profile, core type pipe (CONTECH A-2026). Pipe shall have a minimum pipe stiffness of 115 PSI and have integral bell type flexible elastomeric joints meeting the requirements of ASTM D3212. Joint gaskets shall meet the requirements of ASTM F477. PVC material shall have a cell classification of 12454B or 12454C and a minimum modulus of elasticity of 500,000 psi.

a. Lateral pipe material shall conform to the requirements of ASTM D3034, SDR 26.

210. SANITARY MANHOLES

A. Standard Manhole

1. Sanitary manholes shall be constructed in accordance with Chapter 3.5.0 and File Nos. 12, 12A, 13, and 15 of the "Standard Specifications" and these Special Provisions.

a. Poured Manhole Base

(1) All manhole bases (benches) shall be poured in place in accordance with Subsection 3.5.5(b) of the "Standard Specifications". Precast manhole bases or precast integral base units will be allowed in accordance with Subsection 3.5.5(c), however, no precast base units with preformed benches are allowed. All manhole benches shall be poured in place.

2. Manholes shall be precast 48 inch inside diameter with concentric cones.

b. Adjusting Rings

(1) A minimum of 4 inches to a maximum of 19 inches of adjusting rings shall be furnished for each manhole, unless shown otherwise on the Plans. (Note: Type II Manholes - 3 inches minimum of rings is acceptable.)

(2) Furnish manholes to minimize the chimney height required, so that chimney seal extensions will not be required. Note that a standard 9 inch seal covers a 6-1/2 inch chimney height.

(3) Material

(a) Adjusting rings shall be concrete, unless specified otherwise below, meeting the requirements of Subsection 8.39.11 of the "Standard Specifications".

(b) Rubber Adjusting Rings

(1) The top adjusting ring on manholes subject to traffic loadings shall be rubber as manufactured by Infra-Risers, Adaptor, Inc., or equal. Use tapered adjusting rings alone or in combination to place the manhole casting truly parallel with the plane of the pavement. Install adjusting rings in accordance with the manufacturer's instructions using the recommended adhesive.

b. Manhole depths shown on the Plans are approximate only, unless the cover elevation is indicated. Manhole covers shall be placed to match the existing grade unless the finished elevation is shown on the Plans.

(i) Place manhole covers 1/4 inch below the pavement grade in roadways.

3. Manhole Frames and Covers

a. Manhole frames and covers shall be Neenah R-1580 with Type "B" self-sealing lids, non-rocking, or equal.

B. Frame/Chimney Joints

1. Type I - Modified

a. All sanitary manholes shall be constructed with Type I frame/chimney joints. Type I joints shall consist of the following:

(1) Adjusting rings shall be set with butyl rubber sealant troweled into a 1/4 inch thick layer over the entire surface area of oil adjusting rings. The butyl rubber sealant shall be EZ-Stik or Kent-Seal butyl base sealant in trowelable grade or equal.

(2) Internal/External Chimney Seal

Type I joints shall be provided with an external manhole chimney seal (internal/external adaptor seal) as manufactured by Adaptor Inc., West Allis, Wisconsin. The internal/external manhole seal shall be installed in accordance with the manufacturer's instructions.

(a) Furnish and install manhole seals to span (cover) the entire chimney height. Provide extensions as required.

2. Cone/Ring Dimensions

a. Manhole Cone Sections

(1) The top dimensions of cone sections shall be either 24 inches inside diameter by 36 inches outside diameter or 26 inches inside diameter by 38 inches outside diameter.

(2) The outside diameter of the top of the cone section shall be as large as or larger than the base flange of the manhole casting.

b. Adjusting Rings

(1) Adjusting ring dimensions shall match the dimensions of the top of the cone section; either 24" x 36" or 26" x 38".

(2) Adjusting rings shall have flat or even bearing surfaces providing bearing contact over the entire contact surfaces.

(3) Adjusting rings shall be as specified in Section 8.39.11 of the "Standard Specifications" or Subsection 210.A.2.a(3) of the "Special Provisions", except the dimensions shall be as specified above.

c. Center adjusting rings on manhole cones and center manhole castings on adjusting rings so that their surfaces will be flush whenever possible.

C. Manhole Riser Joints

1. Joints for precast manhole riser sections shall be made with rubber O-ring gaskets, a continuous ring of butyl rubber sealant (EZ-Stik or Kent-Seal in rope form) or equal. The butyl sealant shall be 1 inch diameter equivalent or as recommended by the manhole manufacturer.

2. Joints for precast manhole barrel sections including the joint with the bottom of the cone shall be wrapped with an external joint seal as manufactured by Mor Mac Construction Products Company, Cretek Specialty Products; CGI Pipeline Systems, Inc. The external manhole seal shall be installed in accordance with the manufacturer's instructions.

a. If external joint seals require steel strapping, it shall be a minimum 5/8" - 316 stainless steel with stainless steel "strap lock" fasteners.

D. Manhole Lifting Holes

1. All lifting holes in precast manhole sections shall be lugged using rubber plugs supplied by the manhole supplier, non-shrink grout or other approved method. Non-shrink grout shall fill the entire void and shall be troweled at each face to provide smooth surfaces. Cement mortar shall not be used to plug lifting holes.

E. Manhole Pipe Connections

1. Connections of pipes to manholes shall be made in accordance with Section 3.5.7 of the "Standard Specifications". All field topped holes for connecting sewer pipe to manholes shall be made by coring.

2. All plastic pipe shall be connected to manholes by means of flexible watertight pipe to manhole seals in accordance with Subsection 3.5.7(c). Manhole seals shall be Kor-N-Seal, Link Seal or equal. All clamps, bolts, etc. of pipe to manhole seals shall be stainless steel. If Link Seal connectors are used, the bolt heads shall be placed on the inside of manholes.

F. Drop Manholes

1. All drop manholes, unless shown otherwise on the Plans, shall be constructed as "outside" drop manholes in accordance with Section 3.5.8(d) and File No. 19 or 20 of the "Standard Specifications" and the requirements of these Special Provisions.

a. Heights of manhole drops shown on the Plans are figured from the invert of the outgoing sewer to the invert of the incoming sewer.

G. Manhole Air Vents

1. The Contractor shall construct manhole air vents at the locations shown on the Plans and/or as directed by the Engineer. Manhole air vents shall be constructed in accordance with the details shown on the Plans or included in the Appendix of the "Special Provisions".

H. Manhole Vacuum Testing

1. Delete Section 3.7.6 of the "Standard Specifications" in its entirety and replace it with the following:

2. The Contractor shall vacuum test all sanitary sewer manholes for leakage, regardless of the sewer diameter, in accordance with the following:

a. The chimney and casting shall be in place prior to vacuum testing manholes.

b. All testing shall be done in the presence of the City Utility Engineer or his representative.

3. Isolate the manhole to be tested by plugging the inlet and outlet pipes with inflatable stoppers or other suitable test plugs. The plugs shall be securely braced to prevent the plugs from being drawn into the manhole.

4. The test head shall be placed at the top of the manhole in accordance with the manufacturer's recommendations.

a. Prior to starting the vacuum pump, determine the hydrostatic head on the lowest pipe connection to the manhole being tested.

b. If the hydrostatic head on the lowest pipe connection to the manhole is 12 feet or less, a vacuum pressure equal to 10 inches Hg (mercury) shall be applied to the manhole utilizing the vacuum pump.

c. When the pressure gage indicates 10 inches Hg, close the control valve, shut off the vacuum pump, and begin counting the seconds for the indicated pressure to drop one inch Hg. If the elapsed time is longer than the minimum time indicated in the following Table J, the manhole passes the test.

d. In the event the hydrostatic head is between 12 feet and 21 feet above the lowest connection to the manhole, the test vacuum pressure shall be reduced one inch Hg for each foot of hydrostatic head in accordance with the following Table K. If the hydrostatic head is greater than 22 feet, no vacuum test shall be performed.

e. If the test fails, repair or seal the manhole using non-shrink grout or other approved materials. Retest until an acceptable test is obtained.

f. Tests may be conducted before or after backfilling.

501. WATER MAIN CONSTRUCTION

A. Bedding and Cover Material

1. Polyvinyl Chloride (PVC) Pipe

a. Bedding and cover material shall be crushed stone chips conforming to either Table 32 (3/8" crushed stone chips containing at least 85% machine fractured particles) or Table 33 (3/4" crushed stone chips containing at least 65% machine fractured particles) of Section 8.43.2(a) of the "Standard Specifications". Crushed pea gravel will not be allowed for use as bedding or cover material.

2. Trench Section

a. The trench section shall conform to Section 4.3.3 and File No. 36 of the "Standard Specifications", as amended below:

(1) Bedding and cover shall be placed in a minimum of three separate lifts to ensure adequate compaction of these materials, with one lift of bedding material ending at or near the springline of the pipe. The Contractor shall take care to completely work bedding material under the haunch of the pipe to provide adequate side support.

(2) Amend Section 4.3.3 and File No. 36 of the "Standard Specifications" to require a minimum of 12 inches of cover material over the top of the pipe.

B. Polyethylene Wrap

1. Delete Section 4.4.4 and all references to polyethylene wrap from the "Standard Specifications". Polyethylene wrap is not required along the trunk water main unless the Engineer orders it to be installed.

2. Water mains installed within organic soil layers, former landfill areas or crossing cathodically protected pipe lines shall be wrapped as ordered by the Engineer.

a. Polyethylene wrap, if required, shall meet the requirements of AWWA Standard C-105 (ANSI A21.5) using Class C (black) polyethylene material and shall be installed as specified in Section 4.4.4 of the "Standard Specifications".

3. All fittings and valves are to be polyethylene wrapped. Polyethylene wrap shall meet the requirements of AWWA Standard C-105 (ANSI A21.5) using Class C (black) polyethylene material and shall be installed as specified in Section 4.4.4 of the "Standard Specifications".

C. Disinfecting Water Mains

1. Water mains shall be cleaned and disinfected in accordance with Sections 4.3.11 and 4.3.12 and Chapter 4.16.0 of the "Standard Specifications" and AWWA Standard C651. Place calcium hypochlorite tablets in the water main as specified in Section 4.3.12.

2. See Section 555 of the "Special Provisions" for water main flushing and sampling requirements.

D. Sewer Crossings

1. Center one full length of water main pipe on sewers wherever water main crosses over or under a sanitary or storm sewer so that both water main joints will be as far from the sewer as possible.

E. High Points in Water Main

1. The Contractor shall install water main at the grades shown on the Plans with no high points constructed in the main except at hydrants and as indicated on the Plans. If a high point which could trap air cannot be prevented, then an air release assembly shall be constructed at that point, if so ordered by the Engineer.

a. The Engineer reserves the right to order the Contractor to relay water main placed at the wrong grade. The cost of such relay work shall be paid for by the Contractor.

F. Joint Restraint

1. Restraining Fittings, Valves and Sleeves

a. MEGALUG Restrained Joints

(1) Restrain all fittings (bends, tees, caps and plugs), valves and sleeves using MEGALUG restrained joints as manufactured by EBAA Iron Sales, Inc. of Eastland, Texas.

(2) Butress all fittings, as provided for in Paragraph G.1 below, in addition to joint restraint.

2. Restraining Vertical Bends and Offsets

a. Changes in the grade of the water main made by vertical bends or offsets shall be restrained as provided for in Subsection F.1 above.

3. Restrained Joint Pipe Sections

a. All water main pipe and fittings, within sections shown on the Plans as "Joint Restrain" or "Restrained", shall be restrained as specified in Subsection F. above and fittings shall be butressed as specified in Subsection G. below.

b. Restrained Joints in Casings

(1) The joints of restrained joint pipe installed in casings shall be fully extended to take up the joint slack prior to making the end connections.

4. Restrain Valves on PVC Pipe in Valve Manholes

a. All valves placed in valve manholes and installed on PVC pipe shall be restrained using PVC joint restraint systems as manufactured by EBAA Iron Sales, Inc.

5. Restrained Hydrant Leads

a. Hydrant leads shall be restrained in accordance with Subsection 530.D. of the "Special Provisions".

G. Concrete Blocking (Buttresses)

1. All horizontal bends, tees, caps and plugs shall be provided with concrete buttresses, in addition to joint restraint as specified in Paragraph F.1.a(i) above, in accordance with Section 4.3.13 and File Nos. 44, 44A, 45 and 46 of the "Standard Specifications".

H. Insulation

1. Water mains shall be insulated where noted on the Plans and wherever the depth of cover is less than five (5) feet when so ordered by the Engineer. Insulation shall be in accordance with Chapter 4.17.0 of the "Standard Specifications" and the details in the Appendix of the "Special Provisions".

I. Operation of Existing Valves

1. All existing valves will be operated by or under the supervision of the Lake Geneva Utility Commission. Contact Josh Gajewski at (262) 248-2311, ext. 6115.

J. Water Service Disruption

1. The Contractor shall coordinate his work schedule with the Owner when connecting intersecting streets to the new water main in order to minimize inconvenience and disruption caused by the temporary discontinuance of water service. Water service to residences shall not be shut down for a period longer than eight (8) hours, nor after 4:30 p.m. or on weekends without approval of the Owner. Residential water service may only be shut down between the hours of 8:30 a.m. to 4:30 p.m., except that residential water services may be shut down outside of these hours with the Owner's permission. Water service to businesses shall not be shut down for a period longer than two (2) hours unless satisfactory arrangements are made with the businesses affected. The Contractor shall take whatever measures are necessary to return service at the end of each working day, including the use of temporary valves or plugs.

a. The Contractor shall notify homeowners and businesses at least 24 hours prior to shutting off any water service.

K. Water Main Offsets

1. Water mains shall be offset as shown on the Plans or as directed by the Engineer. Water main offsets shall be in accordance with File No. 47 of the "Standard Specifications" as modified below.

a. Place offsets to provide a minimum of six (6) feet of cover.

(1) Water main shall be offset down only (under the conflicting utility) to prevent high points being created in the offset.

b. Offset castings may be used when the change in grade is 24 inches or less.

c. Concrete buttresses shall be constructed as shown, however, optional restraining methods as specified in the section on Joint Restraint of this article shall be used in lieu of strapping.

L. Tracer Wire

a. PVC water main shall be provided with tracer wire, including stubs and nonmetallic sleeves and dead-end mains.

b. Material. Tracer wire shall be single strand, single conductor, insulated copper wire, minimum diameter No. 10 AWG.

c. Installation. Place tracer wire at the springline of the main and tape to the pipe at five-foot intervals. Extend wire up all valve boxes and hydrants (terminated in a Bingham & Taylor P200NF/12WET box set behind each hydrant).

d. Testing. The contractor shall test tracer wire for electrical continuity prior to acceptance of the main.

505. WATER MAIN MATERIALS

A. Water main pipe material shall be ductile iron (DI) or polyvinyl chloride (PVC) pipe conforming to the following:

B. Tests

1. Pipe material delivered for use on this project shall conform to the requirements of the appropriate AWWA and ASTM Specifications noted herein. All pipe shall be marked in accordance with the requirements of the cited Specifications and each load delivered to the job site shall be accompanied by the manufacturer's certification of such compliance. Said certification to be delivered to the Engineer or his representative.

505.1. DUCTILE IRON PIPE

A. Ductile iron pipe meeting the requirements of AWWA Standard C151 (ANSI 21.51), cement mortar lined with internal and external bituminous coating and furnished with either push-on or mechanical joints with rubber gaskets. Do not furnish cobbles bonding or other methods of providing electrical conductivity.

1. Ductile iron pipe shall be furnished for the following minimum thickness classes:

a. Six (6) inch hydrant lead and 8 inch pipe shall be Class 53.

505.2. POLYVINYL CHLORIDE PIPE

A. Polyvinyl chloride (PVC) pipe (4 inch through 12 inch diameter) meeting the requirements of AWWA Standard C900, DR18, with cast iron O.D. and integral elastomeric bell and spigot joints.

1. Hydrant leads shall be ductile iron pipe.

2. Do not furnish cable bonding or other methods of providing electrical conductivity on valves, hydrants and fittings located within sections of water main constructed with PVC pipe.

505.4. FITTINGS (USED WITH DUCTILE IRON AND PVC PIPE)

- A. Fittings shall be ductile iron or cast iron, cement mortar lined with internal and external bituminous coating and meeting the requirements of AWWA Standard C110 (ANSI 21.10). Fittings shall be supplied with mechanical joints with rubber gaskets.
1. Ductile iron mechanical joint fittings meeting the requirements of AWWA Standard C153 for "compact fittings", 3" through 24" size, may be used in place of the fittings specified above.
2. All fittings shall be North American made; Star Pipe Products, Tyler/Union and Sigma Corp. ONLY.

- B. Bolts
1. All water main nuts and bolts, including connections to mains, fittings, valves and hydrants, shall be stainless steel or Cor-Blue T-Bolts as manufactured by NSS Industries or equal.

510. VALVES AND VALVE BOXES

- A. Resilient-Seated Gate Valves
1. Resilient-seated gate valves shall meet the requirements of AWWA C-509 or AWWA C-515.
a. Resilient-seated gate valves shall be furnished with mechanical joints with rubber gaskets, cast iron or ductile iron body, bronze mounted, resilient wedge, non-rising stem, O-ring stem seals, 2 inch square operating nut opening to the left (counterclockwise) and rated at 200 psi working pressure.
(1) Furnish valves with "Everdur" or "NDZ heavy-duty brass stem.
b. All 4, 5, and 8 inch valves shall be resilient-seated gate valves unless shown otherwise on the Plans.
c. Resilient-seated gate valves shall be Waterous, American Flow Control 2500 series valve CS15.

- B. Valve Boxes
1. Valve boxes shall be three (3) piece cast iron valve boxes consisting of bottom (5-1/4" shaft diameter) and screw type top section with cover marked "WATER".
a. Place valve box covers at the existing grade or to the elevation shown on the Plans or as specified in the "Special Provisions". Furnish extension sections as required. Turn the top section down, where covers are set below the finished grade, to allow for future final adjustment (raising) to finish grade.
b. Valve boxes shall be North American made; Tyler/Union, East Jordan Iron Works, Bingham & Taylor.

- 2. Valve Box Adaptors
a. Valve boxes for both gate and butterfly valves shall be installed by mounting on valve box adaptors. Valve box adaptors shall be Adaptor, Inc. #6 Series Valve Box Adaptor.

- 3. Valve Stem Extensions
a. All valves installed at greater than 5 feet of depth shall be provided with valve stem extensions to bring the operating nut up to normal depth. The extension shall be secured to the operating nut with at least 2 set screws drilled into the nut. Provide a centering ring at the top of the extension.

- 4. Valve Box Depth
a. Valve box depths shown on the Plans are approximate only, unless the cover elevation is indicated. Valve box covers shall be placed to match the existing grade (1/4 inch below pavement surface) unless the finished elevation is shown on the Plans.

- C. Tapping Valves and Sleeves
1. Tapping valves shall be similar to the AWWA gate valves specified in Subsection 510.A. of the "Special Provisions" except for the end connection (usually flanged) to the tapping sleeve and oversized seat rings to permit entry of the tapping machine cutters.
2. Tapping sleeves shall be supplied by the manufacturer of the tapping valves.

- D. Cutting-in Valves and Sleeves
1. Cutting-in valves shall be similar to the AWWA gate valves specified in Subsection 510.A. of the "Special Provisions" except that they shall be provided with special gaskets allowing assembly on various types of pipe.
2. Cutting-in sleeves shall be supplied by the manufacturer of the cutting-in valves.

530. HYDRANTS

- A. Standard Hydrant
1. Hydrants shall be Waterous "Pacer" Model WB-67, conforming to the following specifications:
a. Hydrants shall be compression type, with 3-1/4 inch bottom valve and 8 inch mechanical joint inlet connection equipped with cable bonding, O-ring packing, safety flange construction, meeting the requirements of AWWA Standard C502 and meeting specifications for 300 PSI test pressure and 150 PSI working pressure.
b. Hydrants shall have two 2-1/2 inch hose nozzles with National Standard fire hose coupling screw threads and nut type nozzle caps with gaskets and chains and one 4-1/2 inch pumper nozzle with STORZ-LOK 125 quick-connect fitting.
c. Hydrants shall have 1-1/2 inch pentagon operating nut opening to the left (counter-clockwise).
d. Hydrants, including barrel extensions, shall be painted federal safety yellow.

- 2. Air-Release Hydrants
a. Air-release hydrants shall be installed in accordance with the details shown in the Appendix of the "Special Provisions".

- B. Barrel Extensions
1. Hydrants shall be furnished for 6-1/2 feet of bury unless the Plans show greater burial depths. Use bends in the hydrant lead to bring the hydrant to the proper burial depth. The distance from the ground line to the centerline of the lowest nozzle shall be from 18 to 23 inches.
2. Extensions
a. Hydrant extensions may be used only where bends cannot be utilized to bring the hydrant to the desired depth and only with the Owner's approval. Hydrant extensions shall be compatible with hydrant barrel and stem sections and shall be installed at the top of the barrel section.

- C. Valves and Valve Boxes
1. Hydrant valves and valve boxes shall conform to the requirements for gate valves and valve boxes of the "Special Provisions".

- D. Hydrant Leads
1. Hydrant leads shall be six (6) inch, Class 53, ductile iron pipe.
2. Restrain hydrants with thrust blocking and by anchoring to the main. Restrain all joints with MEGALUG restrained joints or anchoring pipe and anchoring fittings. Provide concrete thrust blocks for both hydrant and hydrant tee.
3. Restrain one full length of pipe on both sides of the hydrant tee.

- E. Hydrant and Auxiliary Valve Locations
1. Place hydrants 5 feet behind the back of curb or as shown on the Plans.
2. Place hydrant valves 3 feet off hydrant.

- F. Temporary Hydrant Cover
1. Temporarily cover new hydrants during construction with polyethylene bags, securely fastened in place, until after the water main has been tested and placed in service.

540. WATER SERVICES

- A. Installation
1. Water service piping shall be installed in accordance with Chapter 3.5.0 of the "Standard Specifications" and the following provisions:
a. Do not connect services to the water main until after the main has been tested and a safe water sample obtained.
b. Insert the corporation stop into the water main while the main is in service and under pressure.
c. Don't backfill the water service trench until after the service has been checked for leaks and the service piping thoroughly flushed.

- 2. Cover
a. Install water service piping with 6-1/2 feet minimum cover except provide 3 feet minimum cover at ditches.

- 3. Tapping PVC Water Main
a. PVC water main shall be tapped using double strap service clamps. Corporation stops installed on PVC pipe shall be furnished with AWWA tapered threads conforming to AWWA C-800.
(1) Service clamps shall have the following minimum total widths:
(a) 3/4" and 1" services - 2" minimum width.
(b) 1-1/4", 1-1/2" and 2" services - 3" minimum width.
b. Taps shall be located at least 2 feet from the ends of pipe sections and at least 18 inches apart measured in a horizontal direction.
c. Tap PVC pipe using a shell cutter with internal teeth. Do not use a standard drill and tap for direct tapping under pressure.
d. Place teflon tape on corporation stop threads prior to installation. Corporation stops shall be torqued to a maximum of 35 ft.-lb. or as recommended by the manufacturer.

- B. Curb Valve Location
1. Curb valves shall be placed six (6) inches to one (1) foot from the right-of-way line, unless shown otherwise on the Plans; with the residence side of the curb valve capped or plugged.
a. Valve placement in sidewalk is NOT acceptable.

C. Water Service/Sanitary Sewer (Laterals) Separation

- 1. Horizontal Separation
a. Install water services 2-1/2 inches or larger in diameter at least 8 feet horizontally from sanitary sewer laterals.
b. Install water services 2 inches or less in diameter at least 30 inches horizontally from sanitary sewer laterals. (1) Water services may be installed closer than 30 inches from a sewer lateral if the bottom of the water piping is at least 12 inches above the sewer.
c. No water service may be installed within 6 inches of a storm sewer.

- 2. Vertical Separation
a. Water main and water service piping crossing a sanitary sewer, including laterals, and located within 10 feet of the point of crossing shall be installed:
(1) At least 12 inches above the top of the sewer, or
(2) At least 18 inches below the bottom of the sewer from the top of the water piping, or
(3) Within a waterproof sleeve, made of PVC (ASTM D3034 or ASTM D1785) or other acceptable material per Table 64.30-3 of the Plumbing Code - Department of Commerce.

- B. Water Service Piping
1. Copper Tubing
a. Water service piping for shall be CTS SDR9 poly tubing.

- C. Water Service Materials
1. The cost of water services shall include furnishing and installing corporation stop, service clamps if required, curb valve, valve box, and stationary rod as specified herein and as shown on the Plans.
a. Corporation stops shall be Mueller B25008 compression fittings.
(1) Install all stops on PVC pipe with double strap service clamps. Furnish saddles for PVC OD pipe.
b. Curb valves shall be Mueller B25155.

- c. Curb boxes shall be extension type with Minneapolis pattern base; Mueller H-0300 (1-1/4" upper section) with stationary rod #84261.
(1) Furnish curb boxes with stationary rod for 6-1/2 feet of bury. Stationary rods shall be 51" in length.
d. All water service fittings shall be compression type.

550.

- A. HYDROSTATIC TESTS
General Requirements
1. All tests shall be performed as specified in Chapter 4.15.0 of the "Standard Specifications", except that the water main shall pass three consecutive one-hour leakage tests. The City Utility Engineer or his Representative shall be present at all times during testing.
2. The Contractor shall furnish all labor, equipment and material to complete all testing.

- 3. Temporary Air-Release
a. Trapped air shall be bled off (by tapping the main) when filling the main with water and/or removed by flushing through hydrants.
b. Temporary air-release may be provided by tapping 1 inch corporation stops into the high points of pipe or into the plug on dead end lines. After flushing and testing is completed, the temporary taps shall be abandoned in place.
c. The Contractor shall provide temporary flushing hydrants if required to flush dead end lines.

- B. Test Sections
1. The Contractor has the option to test the entire new water main as one continuous test section or in segments per his discretion.
2. Connections to intersecting streets need not be tested, however, the Contractor shall sterilize and flush all connecting mains. The intersecting main(s) shall be subjected to line pressure and any visible defects repaired prior to backfilling.

- 3. Safe Samples
1. At least one (1) safe sample must be obtained from each of the segments hydraulically tested as listed under Subsection 550.B. (Test Sections) of these Special Provisions. Additional samples may also be required from:
a. Representative locations from each of the test sections to establish that all of the mains are free of contamination.
b. Dead end lines.
c. Connections to existing mains (see Subsection 555.C. of the "Special Provisions").

- 2. Water main segment(s) shall not be placed in service until after safe water sample(s) have been obtained.

- C. Procedures for Disinfecting Connections to Existing Mains
The following procedures apply when existing mains are wholly or partially dewatered. Existing mains that are isolated by an existing valve require no disinfection. After the appropriate procedures have been completed, the existing main may be returned to service prior to completion of bacteriological testing to minimize disruption to service.
1. Apply liberal quantities of hypochlorite to wet trenches at or near the connection to the existing main. Use hypochlorite tablets if water is being pumped from the trench to prolong protection as hypochlorite is slowly released as the tablets dissolve.
2. Swab the interior of all pipe and fittings located between the connection to the existing main and the closest new valve (including connection pipe and fittings) with a one percent hypochlorite solution in accordance with Subsection 555.F. of the "Special Provisions".
3. Flush the connection to the existing main, from both directions toward the connection if valve and locations permit, as soon as the connection has been completed and the nearest new valve installed and secured. Flush through the new main until all discolored water is eliminated.
4. Should the water main connection be severely contaminated by dirty water or other means, the existing main and connection shall be disinfected by slug chlorination in accordance with the procedure specified below:
a. Continue to isolate the section of contaminated main.
b. Shut off all service connections.
c. Place hypochlorite tablets in the connection to the new main.
d. Flush the main to remove particulates.
e. Slowly dose the contaminated main with a 300 mg/l free chlorine concentration for a period of at least 15 minutes.
f. Flush the main until the water is free of noticeable chlorine odor.
g. Open service connections and return the main to service.
5. Take bacteriological samples to provide a record for determining the effectiveness of the procedure. Samples may be required from both sides of the connection.
If unsatisfactory tests are recorded, the City Utility Engineer will determine the necessary corrective action. Take daily samples until two consecutive safe samples have been recorded.

- D. Rechlorination
1. Should any test prove unsatisfactory, the water main shall be sterilized by the Contractor by such methods as he deems necessary and samples taken until acceptable results are obtained.

- E. Flushing
1. All water mains, including dead end mains and all hydrants, and all water services shall be flushed. Water services shall be flushed, with a minimum amount of water equivalent to the volume of the service pipe, until the water is visibly clean.
a. Provisions shall be made to convey water used for flushing or testing to a suitable discharge point without damage to crops or cropland and without disruption of farming operations. No flushing water may be discharged on farmsteads.
b. The Contractor shall use suitable methods for disposing of flushing water to prevent surface erosion.
c. The Contractor shall provide temporary flushing hydrants as required.

- 2. Water Furnished By the City of Lake Geneva
a. Water for testing and flushing will be furnished by the City of Lake Geneva. The Contractor shall notify the City prior to commencing flushing and shall coordinate his operations with the City in order not to deplete the water supply. Water usage may be restricted to periods of low demand (night time or weekend hours) if water usage is high during normal working hours. All flushing of new mains and services shall be done under the direct supervision of the Engineer or his representative.

B. Swabbing Water Main

- 1. All piping installed outside of water main test segments shall be disinfected by swabbing with a 1% hypochlorite solution and thoroughly flushed. The entire interior surfaces of all pipes and fittings shall be thoroughly swabbed. The diameter of swabs used in pipes shall match the interior pipe diameter and provide resistance when swabbing the pipes. Pipes shall be swabbed with a pumping motion with all surfaces wiped several times. The Contractor shall use extreme care to insure the cleanliness of all water main materials used.



SUMMERHAVEN OF LAKE GENEVA
PHASE 1 BUILDOUT & PHASE 2
FINAL ENGINEERING PLANS
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

PUBLIC SEWER & WATER
SPECIFICATIONS

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-0986

REVISIONS
05/19/2018 - DSR
PER CITY COMMENTS

PROJECT NO.
8868

DATE
10/19/2016

SHEET NO.
7 OF 10

**SPECIFICATIONS FOR
ROADWAY, GRADING,
STORM SEWER CONSTRUCTION,
SITE PREPARATION, DRAINAGE
AND EROSION CONTROL,
SUMMERHAVEN OF LAKE GENEVA, PHASE 1
CITY OF LAKE GENEVA,
WALWORTH COUNTY, WISCONSIN**

GENERAL DESCRIPTION

Spectrum Real Estate Properties, defined as OWNER, will receive bids for all work as shown on the plans, indicated within the bid Proposal, and further described in the following Specifications complete, and in accordance with the "Standard Specifications for Sewer and Water Construction in Wisconsin" sixth edition, December 22, 2003 with Addendum No. 1, December 22, 2004, except Part I thereof, and its Addendum and the "Standard Specifications for Highway and Structure Construction," 2016 Edition, State of Wisconsin Department of Transportation, except Part I thereof.

The project consists of all the roadways, storm sewer construction, site grading, and erosion control. The project and roadways are to be privately owned and maintained.

The work that shall be done under this Contract consists of furnishing all labor, tools, equipment, machinery and appliances, and all materials, except where definitely specified to the contrary, and construction complete, in working order, ready for use.

The ENGINEER, Farris, Hansen & Associates, Inc., will stake the work once at no expense to the CONTRACTOR; however, if the CONTRACTOR shall request re-staking, this work will be done at the expense of the CONTRACTOR. CONTRACTOR should make every attempt to notify ENGINEER a minimum of two (2) days prior to his commencing work requiring either line and/or grade stakes. Requests shall be made periodically as work proceeds.

PART I - STORM SEWER (TO BE PRIVATELY OWNED)

1. STANDARD SPECIFICATIONS

All work under this project shall be done in accordance with the "Standard Specifications for the Sewer and Water Construction in Wisconsin," Sixth Edition, December 22, 2003, and its Addendum, hereinafter referred to as the "Standard Specifications," and its amendments and corrections. Specifications contained herein shall supersede these standard specifications as indicated only to modify, alter or extend them.

2. EXISTING UTILITIES

It shall be the responsibility of the CONTRACTOR to notify all public utilities such as telephone, power, gas, etc., prior to excavating to determine for himself the extent of existing underground utilities. In addition the CONTRACTOR shall be responsible for any costs involved with relocating or bracing any above ground utility poles or structures which may be weakened or on line of any proposed sewer construction.

3. ABOVE GROUND UTILITIES

It shall be the responsibility of the CONTRACTOR to notify any above ground utilities such as electric power utilities, phone companies, and telegraph companies to relocate or reinforce any poles, ties, or anchors, which may be on the line of the proposed sewer line, or weakened by excavation for the sewer line at no extra cost to the OWNER.

4. UNDERGROUND UTILITIES

The CONTRACTOR shall have located or verify all known underground utilities such as existing gas line, telephone lines, underground power lines, storm sewer, sanitary sewers or water mains, prior to requesting grades for any sewer line. If any other utility is on line or grade, the location of the sewer line will be relocated to clear such utility, if possible, or the underground utility will be relocated.

5. UTILITY CROSSINGS

The CONTRACTOR shall carefully expose, with hand tools, all utilities which cross the proposed storm sewer prior to construction in the immediate area of same, to allow the ENGINEER to check for conflicts. All utilities shall be protected from any disturbance throughout the project work and supported in accordance with Section 2.6.5 of the "Standard Specifications."

6. INTERFERENCE OF UNDERGROUND STRUCTURES

Section 2.1.1 of the "Standard Specifications" shall govern except as modified hereafter: All altered work shall be either negotiated between CONTRACTOR and OWNER or payment made by increasing or decreasing the bid item involved. Concrete encasement or capping of sewer when ordered shall be negotiated as an extra.

7. SURFACE REPLACEMENT

Sections 2.6.11, 2.6.12, 2.7.1 and 2.7.2 of the "Standard Specifications" shall be deleted and the following shall apply: The CONTRACTOR shall include within his unit price bid for utilities the cost of replacing all damaged or disturbed driveways, pavements, or other existing surface improvements. Replacement of all existing surface improvements shall meet or exceed the quality of the original material or workmanship. Existing bituminous or concrete pavements shall be sawcut prior to excavating.

8. SEWER CONSTRUCTION

The appropriate provisions of Parts I and II of the "Standard Specifications" shall apply except as modified or amended hereafter. Construction shall be in accordance with requirements contained within all permits obtained for the project, copies of which shall be furnished to the CONTRACTOR and made a part of these specifications.

All excavations within established roadways, shoulders or new roadways shall be backfilled with granular material conforming to Section 8.43.4. Consolidation of backfill within these established areas shall be by mechanical compaction as defined in Section 2.6.14. granular material in established roadways. All excavations outside of existing pavement or shoulder areas may be backfilled with excavated material conforming to Section 8.46.5 unless the material is determined to be unsuitable. If determined unsuitable at the time of construction, granular material conforming to Section 8.43.4 shall be substituted for as an extra cost. Extra cost shall include washing the unsuitable soils on site outside of building pad areas in designated fill areas as shown on the plans which have been stripped of topsoil preceding its placement. Cubic yard quantities shall be determined by using the factor 0.15 cubic yards per foot of trench depth per foot of trench length.

All bedding and cover materials used for sewer construction shall conform to materials as defined under Section 8.43.0 of the "Standard Specifications".

9. COMPACTION

Compact soil to not less than the following percentages of maximum density for soils which exhibit a well-defined moisture density relationship (cohesive soils) determined in accordance with ASTM D1557; and not less than the following percentages of relative density, determined in accordance with ASTM D2049; for soils which will not exhibit a well-defined moisture-density relationship (cohesionless soils):

- a. Under Paving Areas: Compact top eight inches of existing ground surface and each layer of backfill or fill material to 98 percent maximum density for cohesive soils or 90 percent relative density for cohesionless soils.
- b. Other Areas: Compact top eight inches of existing ground surface and each layer of backfill or fill material to 95 percent maximum density for cohesive soils or 90 percent relative density for cohesionless soils.

Compact the soil materials around piping and conduit with hand-operated tampers.

Do not allow heavy vehicles, equipment, or machinery to operate directly over piping and conduit until a minimum of 24 inches of backfill has been placed and compacted over it.

10. STORM SEWER PIPE MATERIALS

The CONTRACTOR shall furnish all new materials required to complete work as called for within these specifications and shown on the drawings. Reinforced concrete pipe shall be used throughout entire project unless specifically noted on the plans.

Reinforced concrete pipe used for storm sewers shall meet the requirements of ASTM C-76 with rubber gasket joints conforming to ASTM C-443 or Section 3.2.15 of the "Standard Specifications".

11. CATCH BASINS AND AREA DRAINS

The provisions of Section 3.6.1 of the "Standard Specifications" shall govern except as modified hereafter. Catch basins in gutter line of pavement shall be 48" ID, unless otherwise shown, and conform to details shown on this plan. castings shall be Nenech R-3067 with Type R grate. Catch basins shall be bid to include all costs associated with their construction complete including inlet castings and grates.

Backfill trenches within new roadways with granular material.

Area drains shall be 48 inches diameter precast concrete section with a top opening to accommodate the Nenech R-2560-EI frame and grate.

It should be noted that placement of catch basins and area drains may be modified by Engineer prior to construction if conflicts or other conditions occur.

12. CLEANING OF SEWERS AND APPURTENANCES

The interior of all sewers and appurtenances shall be kept clean throughout construction. The work shall be freed from all dirt and extraneous materials of all types as the work progresses and left clean at the completion of work.

13. COORDINATION OF WORK

The CONTRACTOR shall coordinate his work effort with that of the Contractor for the site, grading and roadway construction. Stripping and stockpiling of topsoil and rough grading of roadway sub-grade shall be done by others ahead of installation of the underground utilities by this CONTRACTOR. After all sewer and construction for a given street or area is complete the CONTRACTOR for the roadway construction shall be responsible for the protection of all surface protruding appurtenances such as manhole frames and lids, area drains, catch basins, etc.

14. SURPLUS EXCAVATED MATERIALS

The provisions of Section 2.2.11 of the "Standard Specifications" shall be deleted and the following shall apply: The CONTRACTOR shall haul and dispose of surplus excavated material to designated fill areas on site. The cost of placing such surplus or disposing of material to the designated fill area shall be included in the bid for the work.

15. ADJUSTMENT OF SURFACE PROTRUSIONS

All catch basins, area drains, and other surface protrusions shall be adjusted at the request of the CONTRACTOR for Street Construction if found to be unreasonably high or low at the time of paving or doing other work which must meet elevations of the surface protrusions. This work shall be done promptly or the OWNER may cause others to do the work and charge the CONTRACTOR for the costs.

16. STAKING, STAKES AND LATH

Necessary stakes and lath shall be furnished by the ENGINEER for staking of line and grade. All line and grade shall be provided as required by the Project Engineer.

17. SURVEY POINTS

All reference stakes, horizontal and vertical control points, survey monuments and other points which are marked by lath crossed over the point and heavily ribboned shall be protected by the CONTRACTOR against being destroyed. If these points are destroyed by the CONTRACTOR's work activity, they shall be replaced at the CONTRACTOR's cost by the ENGINEER.

18. SUBSURFACE SOIL INVESTIGATION

Subsurface soil investigations have not been made. All CONTRACTORS who review shall make his own judgment pertaining to the character of existing subsurface materials of the site. The CONTRACTOR shall be responsible in formulating his own opinion of the soils to be encountered and to what extent testing or investigation is required for him to formulate his bid. The CONTRACTOR shall assume the responsibility of constructing all improvements for the bid prices. The only exception to this shall be as specified for ordering undercut and other specified extras or changes to work.

19. SCHEDULE OF WORK

It shall be the intent of the Owner to complete all grading for the sub-base of the roadways, drainage swales and underground pipe work as soon as possible. The CONTRACTOR shall submit a schedule for his work completion with his bid as contained within the proposal of the Contract Document.

20. TRAFFIC CONTROL

The Contractor shall maintain access to the existing residences at all times. Roads shall be maintained in a safe condition throughout the duration of the project. The Contractor shall take all precautions necessary to safety warn the public of the probable increased danger to travel due to construction of the work.

Whenever the Contractor's activities obstruct through traffic, there shall be sufficient flagmen on duty to guide the traffic, and the Contractor shall furnish and install all temporary signing and barricades required to safely direct the traveling public around the obstructed area. Traffic control shall be provided in accordance with the Manual on Uniform Traffic Control Devices.

PART 2 - ROADWAY AND SITE WORK

1. STANDARD SPECIFICATIONS

All work as shown on the plans, indicated within the bid proposal, and further described in the following specifications, completed, and in accordance with "Standard Specifications for Highway and Structure Construction", Edition of 2016, State of Wisconsin Department of Transportation, except Part I thereof.

The ENGINEER will stake the work once at no expense to the CONTRACTOR; however, if CONTRACTOR shall request re-staking, this work will be done at the expense of the CONTRACTOR. CONTRACTOR should make every attempt to notify ENGINEER a minimum of two (2) days prior to his commencing work requiring either line and/or grade stakes. Requests shall be made periodically as work proceeds. All project areas shall be stripped, rough graded and brought to subgrade, as shown on the plans.

2. CLEARING AND GRUBBING

All clearing and grubbing will be in accordance with plan requirements and as directed by Engineer.

The CONTRACTOR shall clear, grub and dispose of all brush, trees, stumps, logs, etc. within all excavation limits in accordance with Section 201 of the "Standard Specifications". Clearing and grubbing shall be paid for on a lump sum basis. All brushy vegetation and limbs shall be chipped and blown over existing vegetated site in a maximum of one to two inches deep. Stumps are to be ground and logs to be hauled offsite.

3. UNCLASSIFIED EXCAVATION

Unclassified excavation shall consist of all excavations necessary to provide a subgrade at suitable elevations such that roadways, curb and gutter, and lands adjacent thereto can be constructed to finished elevations shown on the plans by application of stone base course and pavement or topsoil replacement as applicable.

Payment for the unclassified excavation shall be lump sum which shall include all required transportation and disposal costs of excess materials. All excess excavated materials shall be disposed of on site in designated areas shown on the plans as directed by either OWNER or ENGINEER.

5. CUTS

All areas of grading work, particularly cut areas, shall be kept shaped and drained during construction. All roadway and drainage swales, potholes, depressions and, low areas shall drain effectively at all times. Graded areas shall be protected against erosion prior to the completion of the work by use of temporary traps, diversions, checks and other methods.

5. COMPACTION

Compact soil to not less than the following percentages of maximum density for soils which exhibit a well-defined moisture density relationship (cohesive soils) determined in accordance with ASTM D1557; and not less than the following percentages of relative density, determined in accordance with ASTM D2049; for soils which will not exhibit a well-defined moisture-density relationship (cohesionless soils):

- A. Under Paving Areas: Compact top eight inches of existing ground surface and each layer of backfill or fill material to 98 percent maximum density for cohesive soils and 90 percent relative density for cohesionless soils may be adjusted by building designer.
- B. Other Areas: Compact top eight inches of existing ground surface and each layer of backfill or fill material to 95 percent maximum density for cohesive soils or 90 percent relative density for cohesionless soils.

Where soil materials must be moisture conditioned before compaction, uniformly apply water to the surface. Prevent free water from appearing on the surface of soil materials during or subsequent to compaction operations.

Remove, replace, or scarify all dry or soil materials that are too wet to permit compaction to the specified density.

All compaction tests and inspections shall be made by an independent testing laboratory acceptable to Engineer. Site contractor will assist the testing firm in the performance of their tests and inspections and be responsible for coordinating the tests and inspections. Soil testing reports and procedures shall be completed and followed. Copies are to be provided to the OWNER.

No fill shall be placed without inspection and approval of the subgrade and fill material composition by a representative of the testing laboratory or Engineer.

Method of test for density of soil in place shall be the Sand-Cone Method, ASTM D1556 or Nuclear Densometer. Method of test for moisture-density relations of soils shall be Modified Proctor, ASTM D-1557-78. Relative density of cohesionless soils shall be established by ASTM D-2049-69, 90 percent relative density.

Excavated materials may be used for backfill provided all wood, roots and other deleterious materials are removed and subject to approval by the Construction Manager. Excavated material shall be placed into fill areas once dried to proper moisture content or determined to be suitable by site Engineer. Excavated site materials shall be inspected, placed and compacted in lifts as recommended by the testing firm.

6. FILL

Place the fill under final graded and compacted subgrade surfaces to the thickness indicated. Maintain optimum moisture content for compacting material during placement operations. Place, place and compact off-site pit run granular material to supplement any site shortage of suitable material to bring to the site to subgrade if ordered by owner at a unit price per ton. Borrow site within the existing pond areas will be considered if suitable materials are found there. Otherwise the material will be hauled in form off-site from an appropriate location.

7. SUBGRADE INSPECTION

Upon completion of final subgrade work and prior to the placement of crushed aggregate base material, the roadway areas will be inspected by the Engineer to check that performance to the proposed grades is maintained. In addition, all subgrade shall be test rolled with a loaded quad-axle truck with the CITY ENGINEER present before base course placement is started.

8. CRUSHED AGGREGATE BASE COURSE

Crushed aggregate base course shall be twelve inches (12") thick and placed in a minimum of two lifts and shall conform to Section No. 2 as specified in accordance with the "State Specifications" and Section 305.2. All crushed aggregate base course shall be compacted with water truck, grader and vibrator roller.

The base course shall be crushed stone and shall be constructed in accordance with the requirements of Section 305 of the "State Specifications". Payment shall be by the ton hauled.

If undercut and compacted granular fill is ordered by the ENGINEER at the time of excavating for the subgrade, payment shall be made as an extra at the supplemental price bid per cubic yard. All subgrade shall be test rolled with loaded quad-axle truck with CITY ENGINEER present before base course placement is started.

9. BITUMINOUS CONCRETE PAVEMENT

Bituminous concrete pavement shall be 4 LT 58-28 S - 2.25 inch thickness of binder course and a 5 LT 56-28 S - 1.75 inch thickness of surface course. All requirements of Section 501 of the "State Specifications" shall apply unless otherwise modified herein or by the ENGINEER. Course aggregate shall be proportioned between Size No. 1 and No. 2 to provide suitable workability with a 6 percent or content plus or minus 1.5 percent.

All bituminous concrete paving operations shall be done under the observation of the City Engineer.

10. TACK COAT

All existing paved surfaces which call for a surface lift of pavement shall be thoroughly cleaned and dry prior to paving with an emulsified asphalt tack coat applied at a rate of 0.05 - 0.15 gallons per square yard. For new pavements when a time delay between binder course and surface course is specified or ordered by the ENGINEER the first binder lift shall be thoroughly cleaned and dry with an emulsified asphalt tack coat applied at 0.04 - 0.08 gallons per square yard.

11. CONCRETE

All concrete used on this project, except for pavement, shall be air-entraining, 6-bag mix with a minimum 28 day compressive strength of 4,000 psi. All requirements of Section 501 of the "State Specifications" shall apply unless otherwise modified herein or by the ENGINEER. Course aggregate shall be proportioned between Size No. 1 and No. 2 to provide suitable workability with a 6 percent or content plus or minus 1.5 percent.

12. CURB & GUTTER

Curb and gutter shall be constructed in accordance with the requirements of Sections 501 and 601 of the "State Specifications" and the typical section and requirements shown on the plans unless otherwise modified herein.

Reinforcement shall be placed in the curb and gutter at all points where open cut trenches for sewer laterals and water services cross the curb and gutter. Reinforcement shall consist of 3 - #5 bars 15 feet long placed as shown in the drawings and centered over the previously open cut trenches.

Expansion joints for curb and gutter shall be provided at all street intersections where the tangent and radial curb and gutter meet, at all other points of curvature, and at tangent sections at a maximum spacing of 300 feet. The expansion joints shall be 3/4 in. with an approved type bituminous filler and elastomeric sealer. Contraction joints shall be placed every 10 feet along the length of the curb and gutter with a minimum of 8 feet at terminations. Place expansion joints 3 feet from each side of drainage extensions.

Finished surfaces of the curb and gutter shall be troweled and brushed and an impervious curing compound applied conforming to Subsections 415.2.4 and 415.2.5 of the "State Specifications".

Traffic shall not be allowed on curb and gutter for a period of at least 7 days after placing or until the concrete has attained a compressive strength of at least 3,000 pounds per square inch.

13. TRAFFIC CONTROL

The Contractor shall maintain access to the existing residences at all times. Roads shall be maintained in a safe condition throughout the duration of the project. The Contractor shall take all precautions necessary to safety warn the public of the probable increased danger to travel due to construction of the work.

Whenever the Contractor's activities obstruct through traffic, there shall be sufficient flagmen on duty to guide the traffic, and the Contractor shall furnish and install all temporary signing and barricades required to safely direct the traveling public around the obstructed area. Traffic control shall be provided in accordance with the Manual on Uniform Traffic Control Devices.

14. DRAINAGE SWALES & OFF STREET GRADING

Drainage swales and off street grading shall be constructed in accordance with details of line, grade and configuration shown on the plans and as specified under Sub-section 203.3.6 of the "State Specifications". Temporary bale ditch checks, sediment basins, diversions, silt fence, etc., shall be used to minimize erosion throughout construction.

All swales and off pavement grading shall be graded smooth to inlets of the storm sewer provided. If erosion control is found necessary, fabric, silt fencing, or other materials shall be provided as directed by the ENGINEER for the costs as listed in the Supplemental Prices.

15. DELIVERY TICKETS

Delivery tickets for all items paid for on a unit price basis shall be provided by the CONTRACTOR at the time of delivery to the site. Tickets shall be dated, numbered and include all applicable quantities thereon with signature of scale operator as applicable. Provisions for required scale operations shall be provided by the CONTRACTOR. All items to be paid by weight shall be signed by the scale operator and all other quantities of volume or number shall be monitored by the Project Inspector.

16. SALVAGE, STOCKPILE & REPLACEMENT OF TOPSOIL

All topsoil on areas to be disturbed shall be stripped and stockpiled in areas as indicated on the plans or otherwise approved by the ENGINEER.

After excavating and rough grading of all required areas a minimum 6" topsoil shall be replaced and graded. All work shall be performed in accordance with the requirements of Section 625 of the "State Specifications". All excess topsoil shall remain the property of the OWNER and be placed in fill locations outside building site areas.

17. REMOVING MISCELLANEOUS MATERIALS

The CONTRACTOR shall remove and dispose of any old curb and gutter, bituminous pavement, masonry and mortholes in accordance with the requirements of Subsection 204 of the "State Specifications". Payment for removal of miscellaneous structures shall be included in the Proposal for the work.

18. WASTE MATERIALS OR EXCESS EXCAVATION

All excess excavated materials resulting from construction of roadways and drainage courses shall be moved offsite or to designated fill areas on the site and be deposited in compacted 12 in. lifts as staked by the ENGINEER. This work shall be done only after stripping topsoil. All material shall be used on site. (See requirements for engineered fill under buildings and roadways.)

19. TIME PERIOD FOR PAVING

Installation of the binder course shall be done at as early a date as possible after initial start of work. The surface course shall not be constructed until one (1) year after installation of the binder course unless an earlier or later installation is approved by the Owner. The CONTRACTOR shall provide for any lack of cost required. The delayed installation of the surface course shall not interfere with finalizing the Contract and payments for all other work. In addition the paving shall be disregarded in determining the time of completion.

Prior to the paving operation streets shall be regressed and additional crushed gravel provided and compacted to bring the base course to grades as shown on the plans. The ENGINEER shall stake centerline base course grades (red tops) once for CONTRACTORS use prior to the paving work as required. The base course shall be proof rolled before paving.

20. SEEDING, MULCHING & FERTILIZER

Preparation of all seed beds, sowing, and other requirements shall be in accordance with Section 630 of the "State Specifications". Seed Mixture shall be Seed Mixture No. 40, applied at a rate of 4 pounds per 1000 square feet of area. All seeded areas shall be mulched in accordance with Section 627 of the "State Specifications".

Fertilizer to be used shall be as defined under Sub-section 629.2.1 and applied at a rate of 7 pounds per 1000 square feet of area following procedures conforming to Sub-section 629.3 of the "State Specifications" for all areas seeded or sodded.

The street trenches, finished areas along boundary and sewer easements shall be seeded, mulched and fertilized except as may be otherwise noted on the plans. CONTRACTOR will provide a perennial rye cover crop over other disturbed or open lands. These disturbed areas on slopes shall be prepared and seeded with Seed Mixture No. 20 applied at a rate of 5 pounds per 1000 square feet area or approved lawn turf mix.

Following any initial soil disturbance, permanent or temporary stabilization shall be completed within seven calendar days as to the surface of all slopes greater than 3:1. In addition, all other disturbed or graded areas shall be stabilized within fourteen calendar days.

21. DUST PALLIATIVE

The CONTRACTOR shall minimize the dispersion of dust from the sub-base, basecourse, drainage swales and other surface areas disturbed throughout construction until acceptance of work, by the applications of water or other approved dust control materials when surfaces are dry and travel over unfinished surfaces is required. No extra for water trucks and control will be paid. Calcium chloride, if used, shall be applied at a rate of 2 lbs. per square yard.

22. EROSION CONTROL

The Contractor shall use the current Wisconsin Department of Natural Resources Construction Site Erosion & Sediment Control Standards as a reference and guide for erosion control practices.

The Contractor shall comply with the provisions of local erosion control plans and/or ordinances.

All erosion and sediment control measures should be constructed and maintained in accordance with these Standards. Sediment control measures should be adjusted to meet field conditions at the time of construction and installed prior to any grading or disturbance of existing surface materials. Periodic inspection and maintenance of all sediment control structures should be provided to ensure intended purpose is accomplished. Sediment control measures are to be in working condition at the end of each working day. After any significant rainfall, sediment control structures should be inspected for integrity. Any damaged structures should be corrected for integrity. Sediment control measures should not be removed until the areas served have established vegetative cover. Stone and gravel mats should be installed at all construction site exits to prevent tracking of soil. Any tracked soil should be collected from paved roads located near the construction site. Overland flow should be prevented from directly leaving the work site by routing through proposed sediment traps. Following the cessation of initial soil disturbance and work activities in the area, permanent or temporary stabilization shall be completed and stabilized within fourteen calendar days of work completion.

All disturbed areas shall be seeded with temporary dormant seed mix (oats, winter wheat, annual rye) if permanent seed cannot be completed by September 15, 2017, with appropriate follow-up to address erosion problems, wash-out, etc. Permanent seed mix must then be made by June 1, 2018. Seeding rates and mixes shall conform to Section 630 of the "State Specification". If lands are disturbed after October 30 additional stabilization may be required with anionic polymer over a cover crop of winter wheat, oats or annual rye on all slopes 4:1 or greater.

23. EROSION MAT

The CONTRACTOR shall place erosion mat over all seeded areas with slopes over 4:1 as required to control erosion, including at the locations shown on the plans and/or as directed by the ENGINEER. Erosion mat shall be placed in accordance with the procedures recommended by the manufacturer and Section 626.3.2 of the "State Specification" or as directed by the engineer.

Erosion mat material shall be North American Green S-150 double net straw blanket or equal, as indicated on the plans.

24. SEDIMENT TRAPS

Sediment traps shall be constructed as indicated on the plans and shall be constructed as part of the initial BMPs whenever practical. An overflow weir is incorporated at the outlet to discharge flow from the trap. Sediment traps shall be placed with the earthwork activity where practical. If sediment trap areas shown on the grading plan cannot be constructed due to terrain, CONTRACTOR shall incorporate a "Best Fit" sediment trap.

25. DEWATERING

All sites or trench dewatering shall be done by acceptable methods in strict accordance with technical standards (Code No. 1061) W DNR. Discharge shall be into storm water basins and sediment containment areas at rates that can be accommodated (ENGINEER to approve).

Any dewatering being pumped directly to storm sewer or offsite shall be done through geotextile bags. In general, dewatering shall be pumped to the storm water basin area for containment.

26. PERMITS

Contractor shall be responsible for all permit conditions concerning erosion control and City site permit conditions along with the State NCR permits. Drains that leave the site must be controlled and erosion prevented. It will be very important to prevent tracking of mud or other materials off site onto the roadways. If this occurs it must be immediately cleaned by power brush or other acceptable means. Anti-tracking mats are to be created and maintained as shown.



**SUMMERHAVEN OF LAKE GENEVA
PHASE 1 BUILDOUT & PHASE 2
FINAL ENGINEERING PLANS**
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

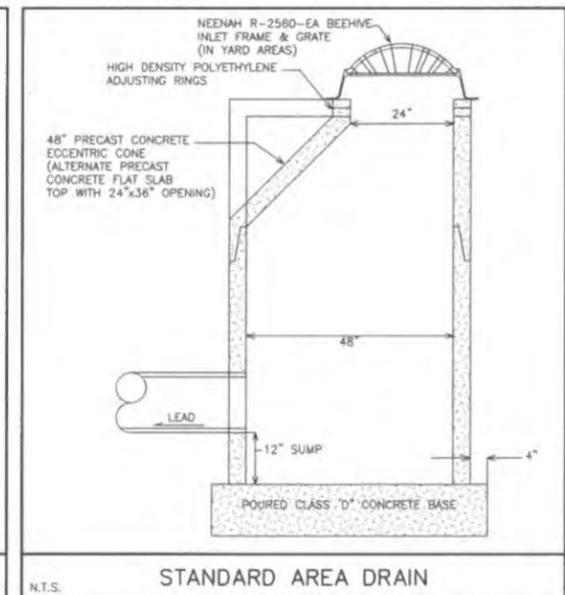
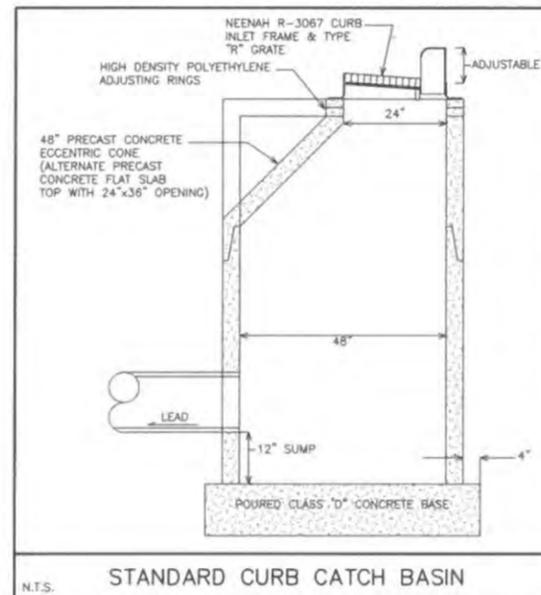
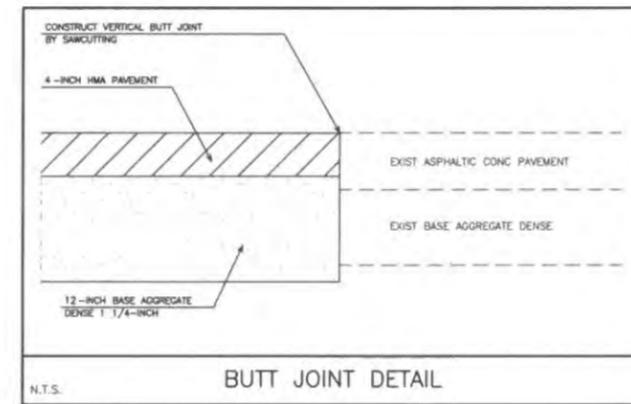
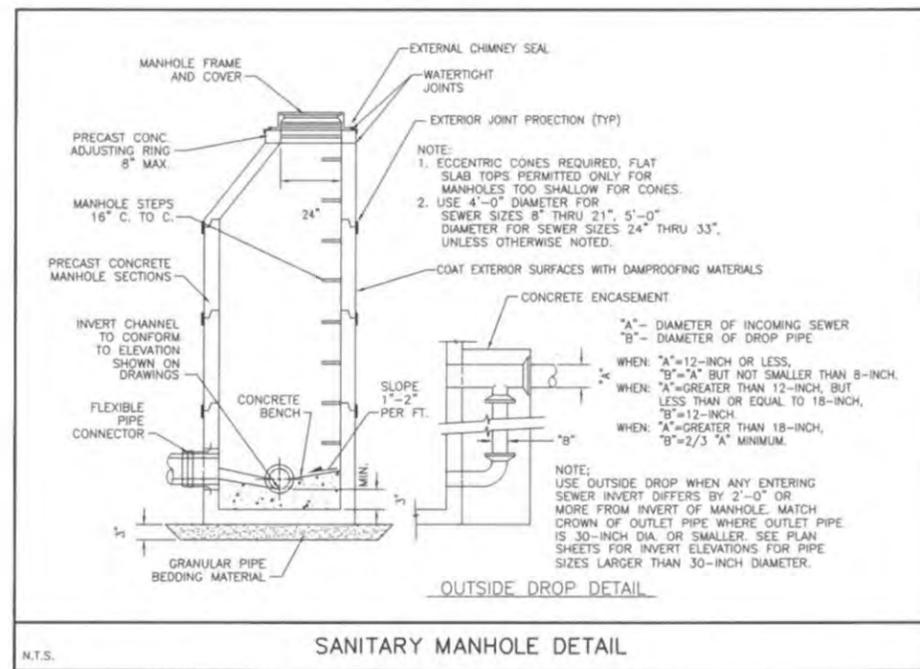
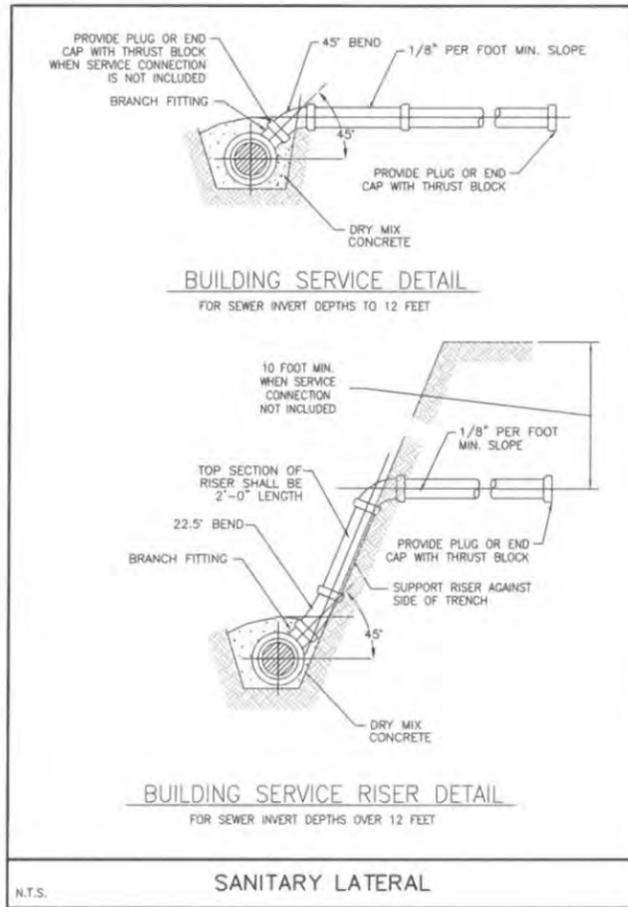
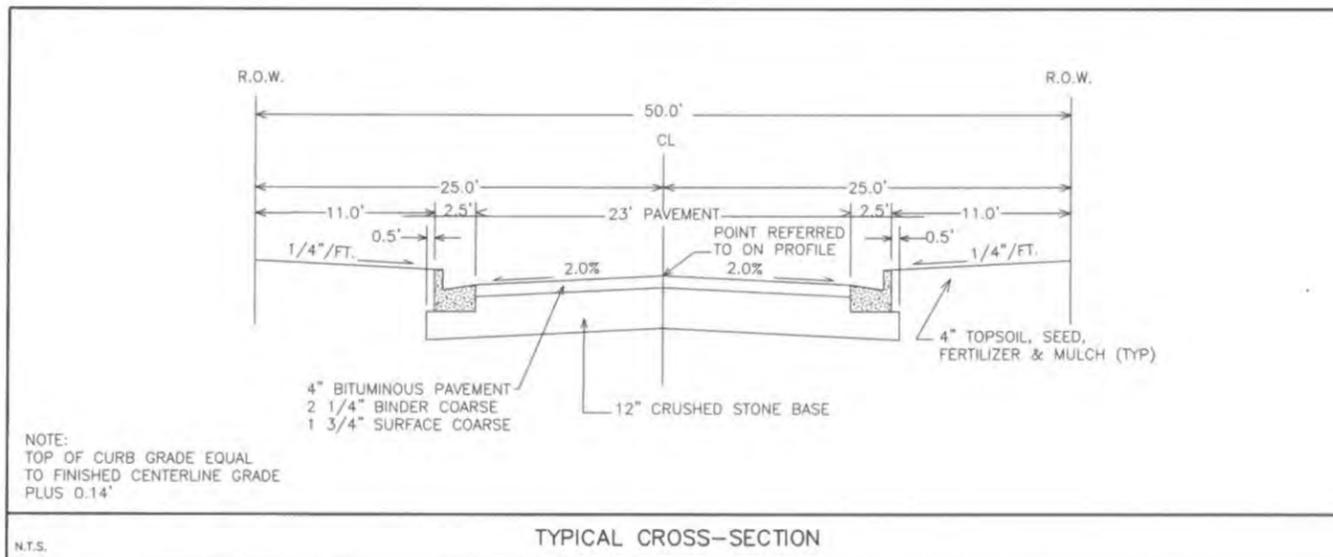
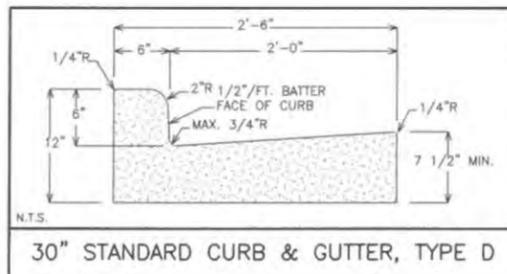
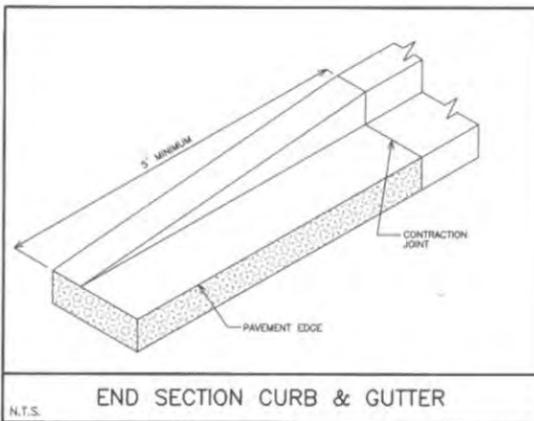
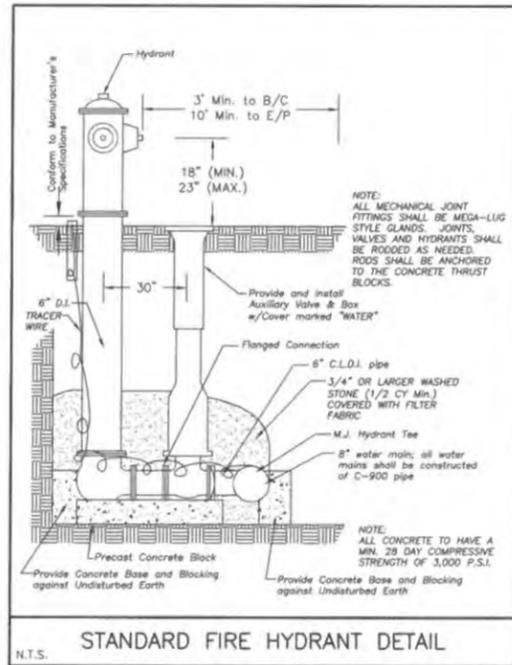
SITE SPECIFICATIONS

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 753-2098 FAX: (262) 723-5886

REVISIONS

05/10/2018 - DSR
PER CITY COMMENTS

PROJECT NO.
8868
DATE
10/19/2018
SHEET NO.
8 OF 10



**SUMMERHAVEN OF LAKE GENEVA
PHASE 1 BUILDOUT & PHASE 2
FINAL ENGINEERING PLANS**
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

CONSTRUCTION DETAILS

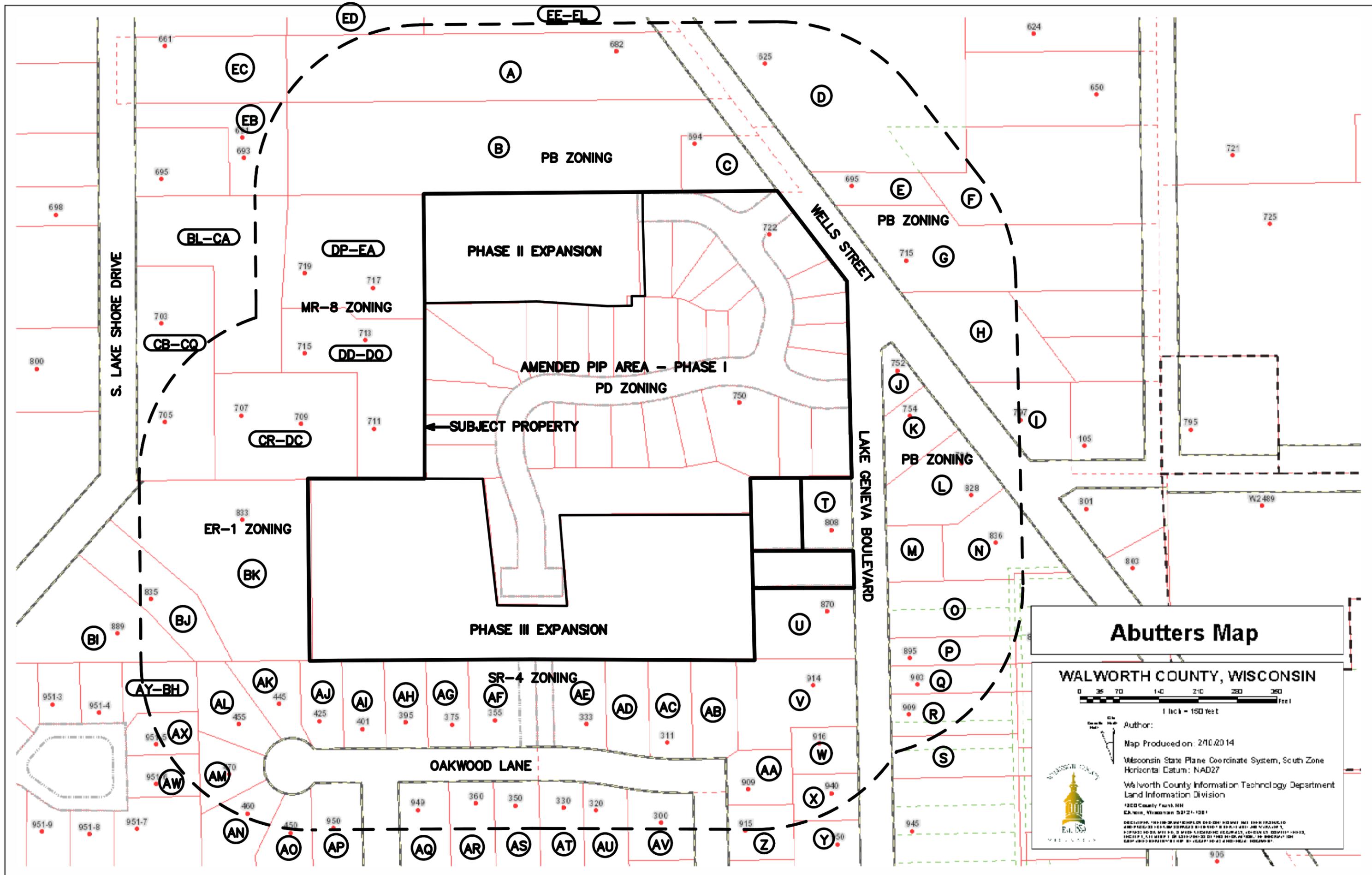
FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 733-2088 FAX: (262) 733-5886

REVISIONS
05/19/2016 - DGR
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10/19/2016
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10 OF 10

**SUMMERHAVEN OF LAKE GENEVA CONDOMINIUM
EXHIBIT F
PROPERTY OWNERS WITHIN 300 FEET
OF SUBJECT PROPERTY - LIST & MAP**

See attached.



Abutters Map

WALWORTH COUNTY, WISCONSIN



1 Inch = 150 Feet

Author:

Map Produced on: 2/10/2014

Wisconsin State Plane Coordinate System, South Zone

Horizontal Datum: NAD27

Walworth County Information Technology Department

Land Information Division

1200 County Park Rd

Elkhorn, Wisconsin 53121-1281

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905

LIST OF NAMES & ADDRESSES WITHIN 300' OF SUBJECT PARCEL:

- | | | | |
|----|--|----|---|
| A. | Lilypots LLC
682 S. Wells Street
Lake Geneva, WI 53147 | L. | David Heidenreich
Patricia L. Heidenreich
794 S. Wells St.
Lake Geneva, WI 53147 |
| B. | Lester Synowiec
1539 East Marcus Ct
Park Ridge, IL 60068 | M. | Rita Popelka
1075 Lake Geneva Blvd
Lake Geneva, WI 53147 |
| C. | McCullough Walworth Properties
694 Wells St.
Lake Geneva, WI 53147 | N. | Bowman Farms Inc
2934 Fish Hatchery Road
Fitchburg, WI 53713 |
| D. | 625 Wells Street LLC
625 Wells St.
Lake Geneva, WI 53147 | O. | Bowman Farms Inc
2934 Fish Hatchery Road
Madison, WI 53713 |
| E. | Rausch Family Trust
34010 Euclid Dr
Burlington, WI 53105 | P. | Bowman Farms Inc
2934 Fish Hatchery Road
Madison, WI 53713 |
| F. | Moeller Properties VIII LLC
5100 Eastpark Boulevard, Suite, 2010
Madison, WI 53718 | Q. | Christopher J. Klockau
Karen A Klockau
4310 83 rd Ave Ct
Milan, IL 61264 |
| G. | Moeller Properties VIII LLC
5100 Eastpark Boulevard, Suite, 2010
Madison, WI 53718 | R. | Christopher J. Winters
Heather N. Winters
909 Lake Geneva Blvd
Lake Geneva, WI 53147 |
| H. | Moeller Properties VIII LLC
5100 Eastpark Boulevard, Suite, 2010
Madison, WI 53718 | S. | Jean-Paul Meyer
2319 S Hidden Trail Blvd
Spring Grove, IL 60081 |
| I. | Gurushabad LLC
1840 Prestwick Drive
Lake Geneva, WI 53147 | T. | John P Billings
808 Lake Geneva Blvd
Lake Geneva, WI 53147 |
| J. | Molly M. Fine
Frederick Michaelis
204 Lookout Drive
Lake Geneva, WI 53147 | U. | Bruce N. Jalosynski
Joyce A. Jalosynski
914 Lake Geneva Blvd
Lake Geneva, WI 53147 |
| K. | John Manna Trust
Rosa Manna Trust
61 Arlington Heights Rd
Elk Grove Village, IL 60007 | | |

V.	Bruce N. & Joyce A. Jalosynski 914 Lake Geneva Blvd Lake Geneva, WI 53147		Kulwinder Handa 375 Oakwood Ln. Lake Geneva, WI 53147
W.	Marilyn J. McLaughlin PO Box 1334 Lake Geneva, WI 53147	AH.	Dustin A & Maria J Dean 395 Oakwood Ln. Lake Geneva, WI 53147
X.	Linda L. Frame 940 Lake Geneva Blvd Lake Geneva, WI 53147	AI.	Marion Rosiak Lilija E. Rosiak 401 Oakwood Ln. Lake Geneva, WI 53147
Y.	Elmer Hansen 950 Lake Geneva Blvd Lake Geneva, WI 53147	AJ.	Arvanitakis Trust 425 Oakwood Ln. Lake Geneva, WI 53147
Z.	Jeffrey D. Levato Erica R. Levato 915 Bonnie Brae Ln Lake Geneva, WI 53147	AK.	David V. Hettiger Georgette P. Hettiger 445 Oakwood Ln Lake Geneva, WI 53147
AA.	Dorothy M. Philip 909 Bonnie Brae Ln Lake Geneva, WI 53147	AL.	Robert Robinson Lori Robinson 455 Oakwood Ln Lake Geneva, WI 53147
AB.	Andrew Wisniewski Christine Wisniewski 301 Oakwood Drive Lake Geneva, WI 53147	AM.	Gabriel J. Hammerstrom 470 Oakwood Ln Lake Geneva, WI 53147
AC.	James & Grace Hanny 311 Oakwood Lane Lake Geneva, WI 53147	AN.	Michael D. Kramp Jennifer S. Kramp 460 Oakwood Ln Lake Geneva, WI 53147
AD.	Mark R Moller-Gunderson Trust Mary Ann Moller-Gunderson Trust 325 Oakwood Lane Lake Geneva, WI 53147	AO.	John E. Baldwin 450 Oakwood Ln Lake Geneva, WI 53147
AE.	Jefferson & Madeline Killian 333 Oakwood Drive Lake Geneva, Wi. 53147	AP.	Jane I Tully 950 Timothy Dr Lake Geneva, WI 53147
AF.	Jeffrey M Zukowski 355 Oakwood Ln. Lake Geneva, WI 53147	AQ.	Michael A. Woods Ruth A. Woods 949 Timothy Dr Lake Geneva, WI 53147
AG.	Raj Handa	AR.	Randall W. Sims Deborah K. Sims

	360 Oakwood Ln Lake Geneva, WI 53147	BD.	Donald & Sandra Stoneberg 721 S. Curtis Lake Geneva, WI 53147
AS.	Dalia Ruzga 350 Oakwood Ln Lake Geneva, WI 53147	BE.	Irwin & Lisa Abrams 101 Westmoreland Dr Wilmette, IL 60091
AT.	Richard J. Achondo Christina K. Anchondo 330 Oakwood Lane Lake Geneva, WI 53147	BF.	Brian L. & Gail M. O'Byrn 3 Jennifer Ct Barrington Hills, IL 60010
AU.	James R. Connors Lynn Y. Connors 320 Oakwood Ln Lake Geneva, WI 53147	BG.	Elaine Vlahakis David Loomos 222 N Washington Park Ridge, IL 60068
AV.	Joseph Esposito 300 Oakwood Lane Lake Geneva, WI 53147	BH.	Joe Porter McLean Linda S. McLean 951 S Lakeshore Dr, Unit 12 Lake Geneva, WI 53147
AW.	Raymond Alois Ring Pamela Ann Ring 951 S. Lakeshore Dr Unit 6 Lake Geneva, WI 53147	BI.	Albert J. Hinton Trust Geraldine L Hinton Trust 5701 Longview Dr Countryside, IL 60525-3553
AX.	Laura L. Selby 195 N. Harbor Drive, UT 2705 Chicago, Il. 60601	BJ.	Albert J. Hinton Trust Geraldine L Hinton Trust 5701 Longview Dr Countryside, IL 60525-3553
AY.	Penelope Roehrer 951 S. Lakeshore Dr Unit 1 Lake Geneva, WI 53147	BK.	Evangelia Travlos 6335 N. Lawdale Chicago, IL 60645
AZ.	Alicia M Lanzito 951 S. Lakeshore Dr Unit 2 Lake Geneva, WI 53147	BL.	Mary Kral 5132 Woodland Avenue Western Springs, IL 60558
BA.	Frank R. Serrecchia Julie A. Serrecchia 1423 Vineyard Ln Libertyville, IL 60048	BM.	Martin A. & Peggy A. Haeger Trust 1209 Beaver Creek Road Chesterfield, MT 63017
BB.	4Square LLC 951-4 S Lakeshore Dr Lake Geneva, WI 53147	BN.	Therese M. Boyle 10356 S Sawyer Ave Chicago, IL 60655
BC.	Garrett C. Schultz 951 S Lakeshore Dr UT7 Lake Geneva, WI 53147	BO.	Martin K & Patricia A Lapointe 305 Anne Court Prospect Heights, IL 60070

BP.	Daniel T. & Gail A. O'Carroll 75 Sunset Ave Glen Ellyn, IL 60137		Denise R Malcolm Trust 6 Lancelot Lane Hawthorne Woods, IL 60047
BQ.	Mark L. & Karen A. Washack 11030 S. Keeler Oak Lawn, IL 60453	CD.	Joseph D & Elenor M Ori 317 Kathleen Dr Park Ridge, IL 60068
BR.	Myra P. Zenke Trust 130 Commons Dr Palos Park, IL 60464	CE.	Irving & Linda Segal 8787 E Mountain View Rd. #1066 Scottsdale, AZ 85258
BS.	Anne M. Samyn Trust 612 N Highland Avenue Arlington Heights, IL 60004	CF.	Marisa Serrato 750 N Noble Street Chicago, IL 60642
BT.	Nancy C. Newbourne 701 S. Lakeshore Dr, Unit 2B Lake Geneva, WI 53147	CF.	Patricia L. Wolter 703 S. Lakeshore Dr, Unit 1F Lake Geneva, WI 53147
BU.	Kerry & Camille Trunkett 3936 Bordeaux Drive Northbrook, IL 60062	CH.	Donna Jean & Bryan W. Simon 453 Raintree Ct # 1F Glen Ellyn, IL 60137
BV.	Kristian Kielhofner 701 S. Lakeshore Dr, Unit 2D Lake Geneva, WI 53147	CI.	Traci Marnul 703 South Lakeshore Dr Lake Geneva, WI 53147
BW.	Scott & Sandy Gerami 104 Settlers Dr Naperville, IL 60565	CJ.	Donna G Tabrosky Trust 705 South Lakeshore Dr, Unit 2A Lake Geneva, WI 53147
BX.	Jeffrey A & Edith F Newman 2180 Oak Hill Drive Lisle, IL 60532	CK.	Mary Lynnn Brennan 705 South Lakeshore Dr, Unit B Lake Geneva, WI 53147
BY.	Anthony J. Rucci Trust 7800 Tillinghast Dr Dublin, OH 43017	CL.	Karen A House 8422 163RD Street Tinley Park, IL 60487
BZ.	Richard G & Nancy E Schmidt 1205 Montgomery Ave Rosemont, PA 19010	CM.	Conrad & Roberta Rohatsch 170 Northwest Highway Park Ridge, IL 60068
CA.	David M & Lynn F Coon 701 S. Lakeshore Dr, UT 3C Lake Geneva, WI 53147	CN.	John Kolakowski 8029 W Catherine Ave Chicago, IL 60656
CB.	Mark S. & Rebecca L. Johnson 285 Willowbrook Dr Oswego, IL 60543		
CC.	John J Malcolm Trust	CO.	William B. Ittner 705 S. Lakeshore Dr, # 2F

	Lake Geneva, WI 53147		
CP.	Richard F. & Patricia J. Corn 2217 Creek Ridge Dr Carrollton, TX 75007	DB.	Helen M. Radloff 709 S. Lakeshore Drive Unit 4G Lake Geneva, WI 53147
CQ.	Barbara A. Hartke Trust 705 S. Lakeshore Dr, # 2H Lake Geneva, WI 53147	DC.	Bernadine F. Peletz-Fox 709 S. Lakeshore Drive Unit H Lake Geneva, WI 53147
CR.	Diana L. Wilson 909 S. Dundee Ave Barrington, IL 60010	DD.	Leigh A. Crowley Robert L. Tracey 0N413 Taylor Drive Geneva, IL 60134
CS.	Joan Faherty 707 S. Lakeshore Dr, Unit 3B Lake Geneva, WI 53147	DE.	Gregory D. Howse Karen C. Howse 18655 Forest View Lane Lansing, IL 60438
CT.	Valentina Guran Trust 6161 N. Hoyne Ave Chicago, IL 60659	DF.	Jill D. Green Trust 711 S. Lakeshore Dr, Unit 5E Lake Geneva, WI 53147
CU.	Mary L. Krutwig 707 S. Lakeshore Dr, Unit 3F Lake Geneva, WI 53147	DG.	James J & Vickie Polek 4901 Drendal Rd. Downers Grove, IL 60515
CV.	Marilyn I Ellman PO Box 1225 Lake Geneva, WI 53147	DH.	Patricia A. Schroeder Trust 713 S. Lakeshore Dr, # 6A Lake Geneva, WI 53147
CW.	Marilyn I Ellman PO Box 1225 Lake Geneva, WI 53147	DI.	Mark & Mary Butitta 2429 S. Alpine Rd Rockford, IL 61108
CX.	Richard J Freiberg Trust Kerry J Freiberg Trust 11980 W Pallottine Drive Greenfield, Wi. 53228	DJ.	John S Ritchie Jr 728 N. Briar Hill Lane UT 2 Addison, IL 60101
CY.	Kenneth F. Milici 5919 48 th Ave SW Seattle, WA 98136	DK.	Louis M. & Terri L. Lobianco 821 Forrest View Park Ridge, IL 60068
CZ.	Wayne James Tobiasz 709 S. Lakeshore Dr, Unit 4E Lake Geneva, WI 53147	DL.	John T. & Jacqueline M. Pytel 908 Jeremy Ln Libertyville, IL 60048
DA.	Louise E. Zapfe 709 Lakeshore Dr, Unit 4-F Lake Geneva, WI 53147	DM.	Anne E. D'Ascanio 715 S. Lakeshore Dr - # 7B Lake Geneva, WI 53147

DN.	Sharon M Dvorak 715 S lakeshore Drive UT 7E Lakre Geneva, WI 53147	DY.	Kenneth A Wiess W3276 Hunt Ridge Drive Elkhorn, WI 53121
DO.	Ellen M. Liebner Trust Mary Ann Tanquary Trust 411 Ashland Ave River Forest, IL 60305	DZ.	Suzette Toia PO Box 1193 Lake Geneva, WI 53147
DP.	Schillaci Family Trust 17811 Bernard Drive Orland Park, IL 60467	EA.	Gary S. Piper Jadwiga Piper 9120 Oleander Morton Grove, IL 60053
DQ.	Alan Kupsik Christine Kupsik 717 S. Lakeshore Dr - #8B Lake Geneva, WI 53147	EB.	Leszek Synowiec 1539 E. Marcus Ct Park Ridge, IL 60068
DR.	Linda Iser Trust 7912 Trinity Circle 4SE Tinley Park, IL 60477	EC.	Frederick A. Gahl Stacey A. Bresnahan 661 S. Lakeshore Dr Lake Geneva, WI 53147
DS.	Carol T Wilcox Trust Christopher P Beardsley Trust 717 S Lakeshore Drive Lake Geneva, Wi. 53147	ED.	Barbara M. Brown Scott Carlson Brown 625 S. Lakeshore Dr Lake Geneva, WI 53147
DT.	Bruce R. Nelson Joan M. Nelson 11775 Banchary Road Belvidere, IL 61008	EE.	Talmae LLC N3189 Center St Lake Geneva, WI 53147
DU.	Russell D Sabac 719 S. Lakeshore Drive Unit B Lake Geneva, WI 53147	EF.	Jeffrey G. Buntrock Roger D. Hulsebus 612 Wells St, Suite C Lake Geneva, WI 53147
DV.	Victoria D Kuk Trust 8340 W Berwyn Ave Chicago, IL 60656	EG.	Jeffrey G. Buntrock Roger D. Hulsebus 612 Wells St, Suite C Lake Geneva, WI 53147
DW.	John W. Whittington Charlotte A. Whittington 452 Winsor Dr Antioch, IL 60002	EH.	Jeffrey G. Buntrock Roger D. Hulsebus 612 Wells St, Suite C Lake Geneva, WI 53147
DX.	Lawrence B Wieland Trust Deanna L Wieland Trust PO Box 5905 Sun City West, AZ 85376	EI.	William L Tauber 415 Wells St, Unit 107 Lake Geneva, WI 53147

- EJ. LLC Gallows
N1173 Walworth Road
Geno City, WI 53128

- EK. James Paul-Norbert Kramer Trust
Karen Ann Kramer Trust
906 Platt Ave
Lake Geneva, WI 53147

- EL. Taylor-Klewer Enterprises, LLC
PO Box 384
Lake Geneva, WI 53147

**FIRST AMENDMENT TO
DEVELOPMENT AGREEMENT**

Document Number

Document Name

Recording Area

THIS FIRST AMENDMENT TO DEVELOPMENT AGREEMENT (“Amendment”) is made this ____ day of _____, 2018, between the CITY OF LAKE GENEVA, Walworth County, Wisconsin (“City”), and McMurr II, LLC, an Illinois limited liability company (“Developer”).

RECITALS

WHEREAS, the City is a Wisconsin municipal corporation, organized and existing pursuant to Wis. Stat. Ch. 62, with authority to enter into this Amendment under its zoning and annexation ordinances, as well as the general home rule authority vested in it under Wisconsin law; and

Name and Return Address
GODFREY, LEIBSLE, BLACKBOURN &
HOWARTH, S.C.
354 Seymour Court
Elkhorn, Wisconsin 53121

WHEREAS, the Developer is the owner, successor developer, and successor declarant of certain real property located in the City, more particularly described in the attached Exhibit A incorporated herein (“Phase I”), and commonly known as Summerhaven of Lake Geneva Condominium (“Summerhaven”), which is zoned PD, Planned Development Zoning District, with an approved General Development Plan and a Precise Implementation Plan that has been amended three times pursuant to applications submitted by the Developer in 2014, in 2017, and in 2018, and approved by the City, subject to staff recommendations (“PIP”), to permit the development of a condominium single-family and duplex community of up to twenty-eight (28) units, with up to ten (10) units in five (5) duplex buildings, and the balance of the units in up to eighteen (18) single-family residences. The public improvements, i.e., the sanitary sewer mains and the municipal water mains, for the southern portion of Phase I have been constructed, and a substantial portion of the private infrastructure, i.e., the private storm water management facilities, other utilities and the private streets (to their surface course), has been constructed and installed, as well as five (5) duplex buildings, containing ten (10) condominium units, and three (3) single-family condominium units; and

ZSUM 00101, ZSUM 00103, ZSUM 00107, ZSUM 00109, ZSUM 00112, ZSUM 00116, ZSUM 00126, ZSUM 00202, ZSUM 00204, ZSUM 00207, ZSUM 00208, ZSUM 00209, 210, ZSUM 00215, ZSUM 00216, ZSUM 00217, ZSUM 00221, ZSUM 00223, ZSUM 00224, ZSUM 00226, ZSUM 00227, ZSUM 00229, ZSUM 00230, ZSUM 00232, ZSUM 00237, ZSUM 00239, ZSUM 00241, ZSUM 00245, and ZSUM 00247

Parcel Identification Number (PIN)

WHEREAS, the approved first and second amendments to the PIP have required the Developer to make certain private improvements as part of Phase I, as specified in and pursuant to a certain Development Agreement between the City and the Developer, approved May 27, 2014 (“Agreement”); and

WHEREAS, the approved third amendment to the PIP requires the Developer to make certain additional public and private improvements (collectively, “Improvements”) as part of Phase I and part of certain real property adjacent and contiguous to the north boundary of Phase I owned by the Developer, consisting of approximately 1.75 acres, which is more particularly described in the attached Exhibit B incorporated herein (“Phase II”), as specified in and pursuant to this Amendment; and

WHEREAS, the City and the Developer desire to enter into this Amendment.

NOW, THEREFORE, the City and the Developer enter into this Amendment on the date first set forth above, and agree as follows:

SECTION 1 RESTATEMENT OF RECITALS

1.01 **Recitals Incorporated.** The Recitals above are restated in this Amendment by reference as if set forth in full herein, and as such constitute agreements by and between the parties and made part and parcel of this Amendment and the Agreement.

SECTION 2 IMPROVEMENTS

2.03 **Required Improvements.** Subsection 2.03(b) of the Agreement is hereby deleted in its entirety, and the following is substituted in its place:

(b) **Private Summerhaven Streets.** The final lift to the existing private streets of Phase I of Summerhaven shall be installed by the Developer within one (1) year after the date of this Amendment. The final lift to the private streets of any subsequent phase of Summerhaven shall be installed by the Developer within one (1) year after the completion of the construction of the last of the residential structures and their related improvements for the subject phase. Prior to the installation of a final lift, the Developer shall repair all damaged road base and replace the surface course as required by the City Engineer. In conjunction with the installation of the final lift in Phase I, the Developer shall construct Murray Drive to its north terminus, to its binder course, ending with a cul-de-sac of a size, and without an island, as shown in the Plans for the third amendment to the PIP, that meets state standards for emergency vehicles.

2.03 **Required Improvements.** The following subsections 2.03 (e) and (f) are hereby added to the Agreement:

(e) **Sanitary Sewer System.** The Developer shall extend the public sanitary sewer Improvements north within the right-of-way for Murray Drive to make adequate sanitary

sewerage service available to each unit within Phase I and any units that may be approved for Phase II. The size, type, and installation of all sanitary sewers and laterals to street line shall be in accordance with the Plans. The Developer shall cut off multiple public water and sanitary sewer services at the mains therefor in excess of one (1) set for each unit, for built and unbuilt units in Phase I. The Developer shall grant to the City a twenty-five (25) foot-wide public utility easement along the north boundary of Phase II from the west end of the planned cul-de-sac at the terminus of Murray Drive to the west boundary of Phase II to enable the City to loop public utilities through adjoining properties to the north or the west of Phase II. The Developer agrees that the City will not accept the public sanitary sewer Improvements for any phase until the same have been installed in accordance with the Plans and accepted by the City Engineer.

(f) **Public Water Supply Facilities.** The Developer shall extend the public water main Improvements north within the right-of-way for Murray Drive to make adequate water service available to each unit within Phase 1 and any Phase II. The size, type, and installation of all public water mains proposed to be constructed shall be in accordance with the Plans. The Developer agrees that the City will not accept the public water supply Improvements until such Improvements have been installed in accordance with the Plans.

SECTION 4 CONSTRUCTION AND INSPECTION

4.12 Add the following as Section 4.12 to the Agreement:

4.12 **Setbacks Verification.** The location of all approved building setbacks shall be verified by an on-site inspection by the Building Administrator before building foundation walls are poured.

SECTION 6 TIME FOR COMPLETION OF WORK; SECURITY

6.02 Subsection 6.02 of the Agreement is hereby deleted in its entirety, and the following is substituted in its place:

6.02 **Bond.** An irrevocable standby letter of credit, or a performance and payment bond (“Bond”) in form and with terms acceptable to the City will be filed with the City prior to construction. The procedure for filing the Bond shall be as follows: A Bond equal in amount to one hundred twenty percent (120%) of the estimated cost of the Improvements shall be issued by a financial institution acceptable to the City, including a condition that the Bond cannot be revoked or not renewed upon its expiration unless the issuing institution provides the City and the Developer at least thirty (30) days prior written notice thereof. The amount of the Bond may be reduced from time to time by the value of the Improvements previously completed and fully paid by the Developer. Should the cost of the

Improvements prove to be greater than originally anticipated, the surety on the Bond shall be immediately supplemented to include such greater costs. The Bond shall be adequate in amount initially to cover the costs of the Improvements under this Amendment, including, without limitation, those described under subsections 2.03 (b), (e) and (f), above.

**SECTION 10
MISCELLANEOUS**

Except as expressly modified by this Amendment, the Agreement remains in full force and effect. Capitalized terms not defined herein shall have the same definitions assigned to such terms under the Agreement.

(Signature pages follow)

IN WITNESS WHEREOF, the parties have executed this Amendment on the date first written above.

CITY:

CITY OF LAKE GENEVA, a Wisconsin municipal corporation

By: _____
Thomas Hartz, Mayor

Attest: _____
Lana Kropf, City Clerk

APPROVAL OF COMMON COUNCIL

This Amendment was approved by the Common Council of the City of Lake Geneva by Resolution dated the ____ day of _____, 2018.

DEVELOPER:

McMURR II, LLC, an Illinois limited liability company

By: _____
Murray S. Peretz, its Manager

T:\M\McMurr, LLC\Summerhaven\2018 phase 2\off copy\3rd amndt- P I\1st amndt to dvpt agr-3.docx

EXHIBIT A
LEGAL DESCRIPTION OF PHASE I

Units 101, 103, 107, 109, 112, 116, 126, 202, 204, 207, 208, 209, 210, 215, 216, 217, 221, 223, 224, 226, 227, 229, 230, 232, 237, 239, 241, 245, and 247 in the Summerhaven of Lake Geneva Condominium, created by a "Declaration of Condominium" recorded on March 28, 2007, in the Office of the register of Deeds for Walworth County, Wisconsin, as Document No. 704378, together with any amendments and/or corrections thereto, and by its Condominium Plat and any amendments and/or corrections thereto. Said condominium being located in the City of Lake Geneva, County of Walworth, and State of Wisconsin (end of legal description).

Tax Key Numbers: ZSUM 00101, ZSUM 00103, ZSUM 00107, ZSUM 00109, ZSUM 00112, ZSUM 00116, ZSUM 00126, ZSUM 00202, ZSUM 00204, ZSUM 00207, ZSUM 00208, ZSUM 00209, 210, ZSUM 00215, ZSUM 00216, ZSUM 00217, ZSUM 00221, ZSUM 00223, ZSUM 00224, ZSUM 00226, ZSUM 00227, ZSUM 00229, ZSUM 00230, ZSUM 00232, ZSUM 00237, ZSUM 00239, ZSUM 00241, ZSUM 00245, and ZSUM 00247.

EXHIBIT B
LEGAL DESCRIPTION OF PHASE II

PARCEL 1: THAT PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF LOT 1 OF CERTIFIED SURVEY MAP NO. 754, RECORDED AS DOCUMENT NO. 28944 OF WALWORTH COUNTY CERTIFIED SURVEYS, SAID POINT LOCATED S 89DEG 31MIN 36SEC W, 733.28 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 36 (T2N, R17E); THENCE N 89DEG 38MIN 40SEC E, 89.98 FEET; THENCE N 89DEG 37MIN 23SEC E, 90.50 FEET TO THE WEST LINE OF LAKE GENEVA BOULEVARD; THENCE N 01DEG 34MIN 47SEC W, 348.82 FEET ALONG SAID BOULEVARD TO THE SOUTHWEST LINE OF WELLS STREET; THENCE N 37DEG 55MIN 32SEC W, ALONG SAID STREET, 202.94 FEET; THENCE S 89DEG 18MIN 48SEC W, 239.56 FEET TO THE POINT OF BEGINNING; THENCE S 00DEG 41MIN 12SEC E, 50.00 FEET; THENCE S 01DEG 55MIN 11SEC E, 134.92 FEET; THENCE S 89DEG 31MIN 07SEC W, 24.01 FEET; THENCE S 01DEG 12MIN 03SEC E, 16.91 FEET; THENCE S 88DEG 41MIN 15SEC W, 42.80 FEET; THENCE N 86DEG 27MIN 48SEC W, 126.62 FEET; THENCE S 88DEG 58MIN 07SEC W, 199.39 FEET TO THE EAST LINE OF LAKE SHORE VILLAGE CONDOMINIUM; THENCE ALONG SAID CONDOMINIUM, N 00DEG 11MIN 05SEC W, 6.62 FEET; THENCE CONTINUE, N 00DEG 47MIN 32SEC W, 187.44 FEET; THENCE N 89DEG 18MIN 48SEC E, 389.70 FEET TO THE POINT OF BEGINNING. CONTAINING 76,247 SQUARE FEET (1.75 ACRES) OF LAND, MORE OR LESS (end of legal description).

Property Index Number: ZSUM 00001

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 21, 2018

Agenda Item:13

Applicant:

John Giampoli
210 O'Connor Dr, Suite 101
Elkhorn WI 53121

Request:

The Vistas of Lake Geneva
Conceptual Plan for 40 Single Family Lots

Currently: Regent Hills Subdivision

Description:

The applicant is submitting to the Plan Commission for discussion on the Conceptual Plan for a 40-unit condominium site for Single Family Housing Units to be located currently at the Regent Hills subdivision on LaSalle Street.

The proposed subdivision as submitted is requesting exceptions first of which the minimum lot size of 9,000 square feet with a minimum 75' of street frontage as required for single family dwellings. The proposed sites identified by the applicant are planning as majority of lot sizes of 54' wide lots with 6,600 square foot lots.

The proposed plan will require a Plan Development review request in which this step 2 of the Plan Development process is the "Conceptual Plan" which is not within the realm of the Public Hearing process. The conceptual plan is in simplest form an initial review that is providing to the Plan Commission for their input on a potential application for a Planned Development.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including Precise Implementation Plan (PIP) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the land use category for the subject property. This category allows for neighborhood-scale mixed use development. The proposed PIP zoning *is consistent* with the Comprehensive Plan.

This location is identified in the Comprehensive Plan as Planned Mixed Use which allows for this land use under the current zoning classification.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the Planned Development (PD), the current zoning of the property, provides that comparison zoning district.

Project Name:

The Vistas of Lake Geneva

Location:

The project is a redevelopment of the remaining lands which were once planned for a senior house project. It is 17.26 acres located in the Northwestern section of the City. It is bordered on the north by LaSalle Street, on the west by the Hillcrest Condominium, the south by The Cottages of Lake Geneva Condominium, Lake Geneva Hills subdivision, and the Lake Geneva Woodlands condominium, and on the east, by Whispering Hills Condominium. It also includes former lots in Oakdale Estates, including the vacated Right of Way of Oakdale Street.

Existing Conditions:

Currently the property is the remains of the Hillcrest Condominium project. All the Sewer and Water was designed by, constructed under the supervision of, and is currently being maintained by the Utility Company. The Utility Company is currently studying the need to upgrade their system to provide adequate water pressure for this area of the City. This project will be able to use the majority of the utilities. This will be able to add paying customers to help defray the cost of operation, maintenance, and sinking cost of these facilities. The project is expecting to utilize some of the existing storm sewer system, with upgrades and piping modifications installed as needed. The new interior roadway system is proposed to be constructed on an outlot, fractionally owned and maintained by the homeowners,

Proposed improvements:

- Construction in phases of 40 single family lots and dwelling units.
- Removal of any existing water and sewer service laterals.
- Constructing additional roadway system. Proposed Hilltop Street to be Public Right of Way with remaining cul-de-sac drives on land to be owned and maintained by the homeowners.
- In lieu of street sidewalks, constructing a walkway through the project and the open areas.
- Designing and constructing a Storm Sewer system to meet current City's standards.
- Retain approximately 10 acres of ground in common area for open space and private roadway.
- The wooded area located in the Southwest section will remain wooded and the only construct planned for this area will be stormwater and a walking trail.
- The existing La Salle Street will remain. Curb and gutter will be added to the south side of the pavement, and the roadside ditch will be removed.
- Existing Landscaping will be updated.
- Existing land surface will be modified to accommodate the proposed housing units but will not be drastically changed.

- Stormwater Management facilities will be completed.
- Landscaping added to existing public Right-of-Way and proposed private roads.
- Landscape package will be included in each home package.
- Homes will be predesigned, built and sold by developer.
- The Developer intends to build homes on all lots prior to sale.
- Two Model homes will be constructed to market homes and will be sold after the project is completed.

Benefits of PUD:

- Infill development, does not require converting exiting natural areas to housing.
- Takes advantage of exiting “in place” utilities.
- Fills a need for housing for current City’s full-time residents and Lake Geneva workers seeking to relocate to the City.
- Provides additional passive recreational open space for residents
- Provides additional income to Utility Company without adding additional infrastructure.
- Increases the tax base of the City.
- Does not add to the transportation cost for the School District.

Potential Requested Exemptions:

- Minimum Frontage on a Public Road.
- Minimum lots sizes
- Side and rear yard setbacks.



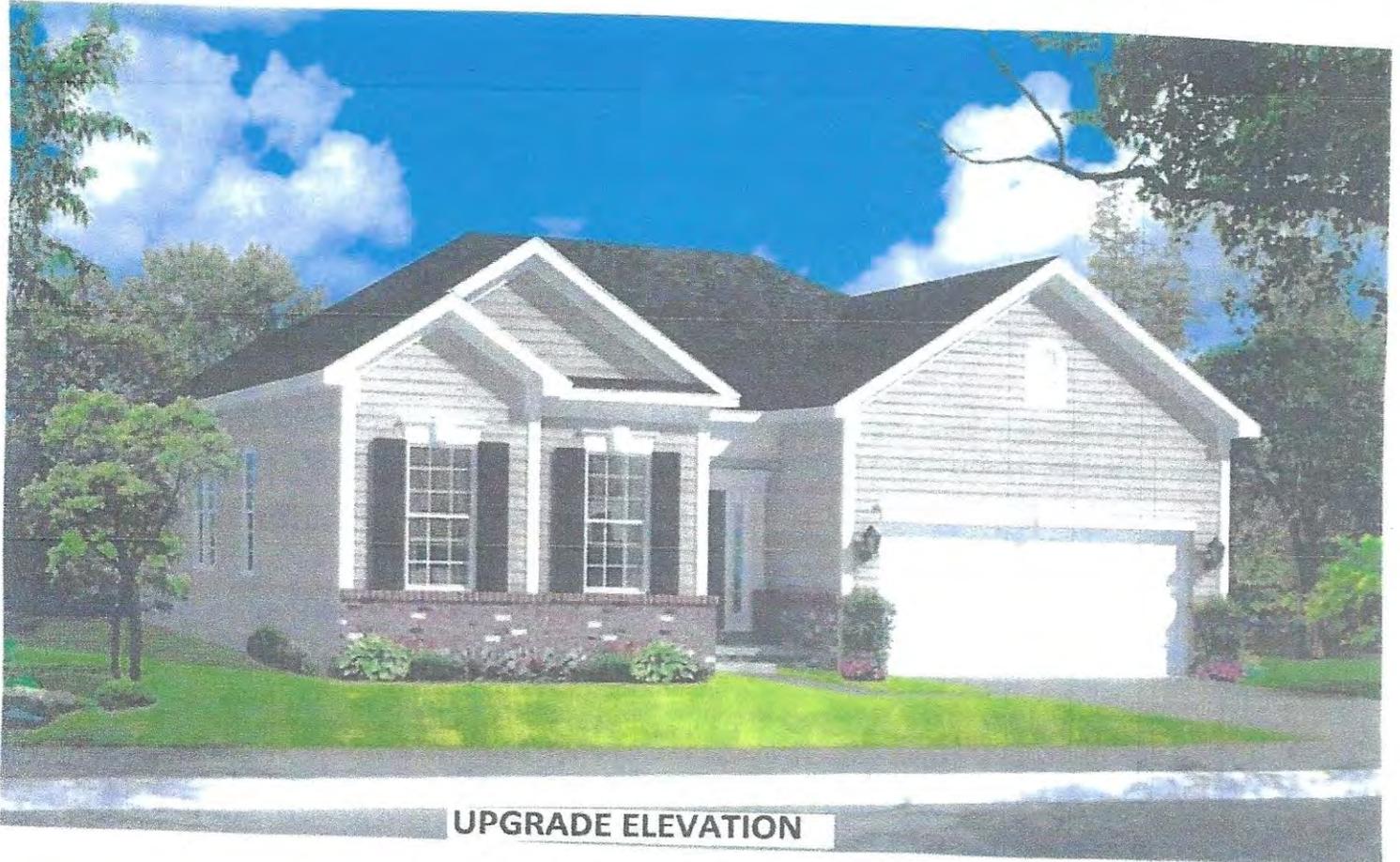
OMEGA HOMES



OMEGA HOMES



OMEGA HOMES



UPGRADE ELEVATION



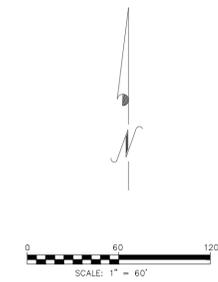
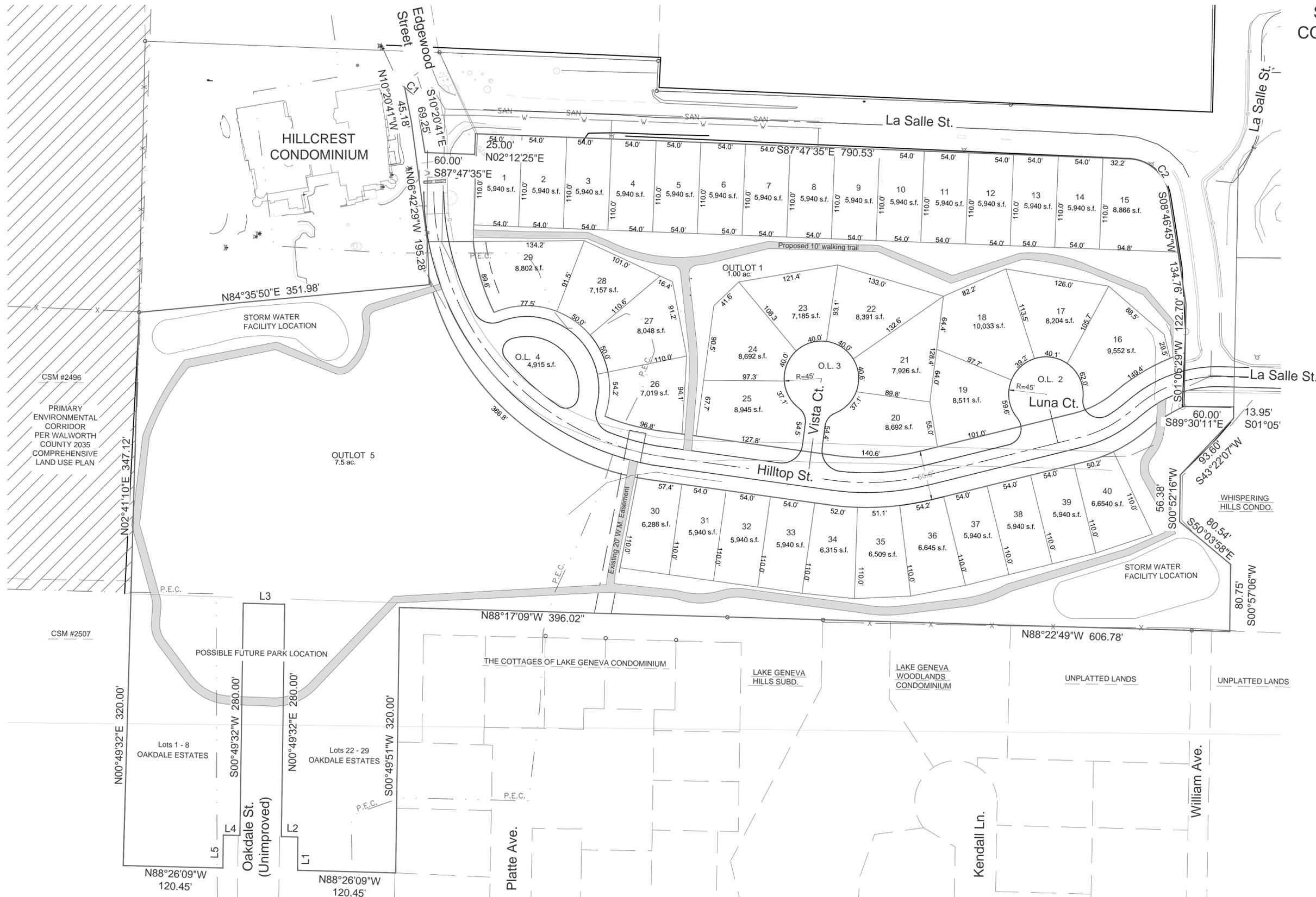
STANDARD ELEVATION



UPGRADE ELEVATION

THE VISTAS OF LAKE GENEVA

CONCEPTUAL PLAN #8
 SINGLE FAMILY DETACHED
 CONDOMINIUM DEVELOPMENT
 LAKE GENEVA, WISCONSIN



NOTES:

1. TOTAL AREA IS 17.26 ACRES.
2. LOTS 1 - 40 ARE TO BE SOLD AS SINGLE FAMILY RESIDENTIAL LOTS.
3. ALL LOTS TO BE A MINIMUM OF 5,000 S.F. IN SIZE.
4. 30' STREET SETBACK, 20' REAR OFFSET AND 5' SIDE OFFSETS.
5. 10' WALKING TRAIL AND OUTLOTS TO BE MAINTAINED BY HOME OWNERS ASSOCIATION.
6. HILLTOP STREET TO BE A PUBLIC RIGHT-OF-WAY. OUTLOTS 2, AND 3 TO BE PRIVATE DRIVES.
7. ALL LOTS TO BE SERVED BY SANITARY SEWER AND WATER.
8. PRIMARY ENVIRONMENTAL CORRIDOR TAKEN FROM WALWORTH COUNTY 2035 COMPREHENSIVE LAND USE PLAN.

LEGEND

	Existing Water Main
	Existing Sanitary Main
	Primary Environmental Corridor per Walworth County 2010 Land Use Plan

REVISED DATE: 5-15-2018
 REVISED DATE: 5-10-2018
 DATE: 04-18-2018
 SHEET 1 OF 1



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 21, 2018

Agenda Item: 15

Applicant:

Dodge Street Properties LLC.
500 Stone Ridge Drive
Lake Geneva, WI 53147

Request:

Dodge Street CSM land division intended for properties located in the Woodland Overlay District Tax Key No. ZYUP00253

Description of Proposed Conditional Uses:

The applicant is submitting a Land Division (CSM) to propose a newland division to create 3 individual buildable lots on Dodge Street. This property is located on the north side of Dodge Street, west of Pond View Ln and east of Freemont Street.

As proposed, the newly created lots will be located within the SR-4 zoning and remain single family lots. The proposed lot sizes are 2 lots at .93 acres & 1 lot that is 1.09 acres with the site restrictions for the Woodland Overlay to limit the removal of trees to 30% of the lots.

The building pads are also depicted on lots 4, 5, & 6.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Land Division (CSM):

As part of the consideration of the requested CSM, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CSM;
- Include *findings* required by the Zoning Ordinance for CSMs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed certified survey map use is fully consistent with the requirements of the Municipal Ordinance and within the Comprehensive plan.

Required Plan Commission Findings on the CSM for Recommendation to the Common Council:

A proposed CSM must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed certified survey map is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed certified survey map is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed certified survey map in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed certified survey map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed certified survey map is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed certified survey map outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed certified survey map is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed certified survey map is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed certified survey map in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed certified survey map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed certified survey map is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed certified survey map do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed certified survey map as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached.
 - a. Certified Survey Map approval is consistent as proposed within the Woodland Overlay protection zoning guidelines.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP or SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Dodge Street Properties, LLC

500 Stone Ridge Dr.

Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: (262) 853-5576

NAME AND ADDRESS OF APPLICANT:

Same as owner.

TELEPHONE NUMBER OF APPLICANT: ()

NAME AND ADDRESS OF SURVEYOR:

Paul H. Van Henkelum

Cardinal Engineering LLC

201 Broad Street Suite B Lake Geneva, WI 53147

TELEPHONE NUMBER OF SURVEYOR: (262) 757-8776

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Division of land for single family home construction and resale.

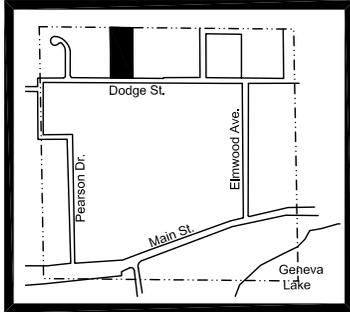
Currently zoned SR-4 with minimum lot sizes per code of 9,000 square feet. Minimum lot size proposed of 40,816.

Conditional Use Approved on Property 30% land clearing maximum shown.

CERTIFIED SURVEY MAP NO. _____

Being a re-division of Lot 4 of C.S.M. No. _____ being part of the NW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 35, Town 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin.

LOCATION MAP

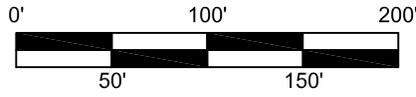


NE $\frac{1}{4}$ Sec. 35-2-17
SCALE: 1" = 2,000'

GENERAL NOTES:

1. SOIL DELINEATION AND CONTOURS TAKEN FROM WALWORTH COUNTY G.I.S. MAPPING.
2. THERE IS NO FLOODPLAIN ON THIS PROPERTY PER FEMA MAP 55127C0125D.
3. THESE LOTS ARE SERVED BY SANITARY SEWER PROVIDED BY THE CITY OF LAKE GENEVA.

GRAPHIC SCALE

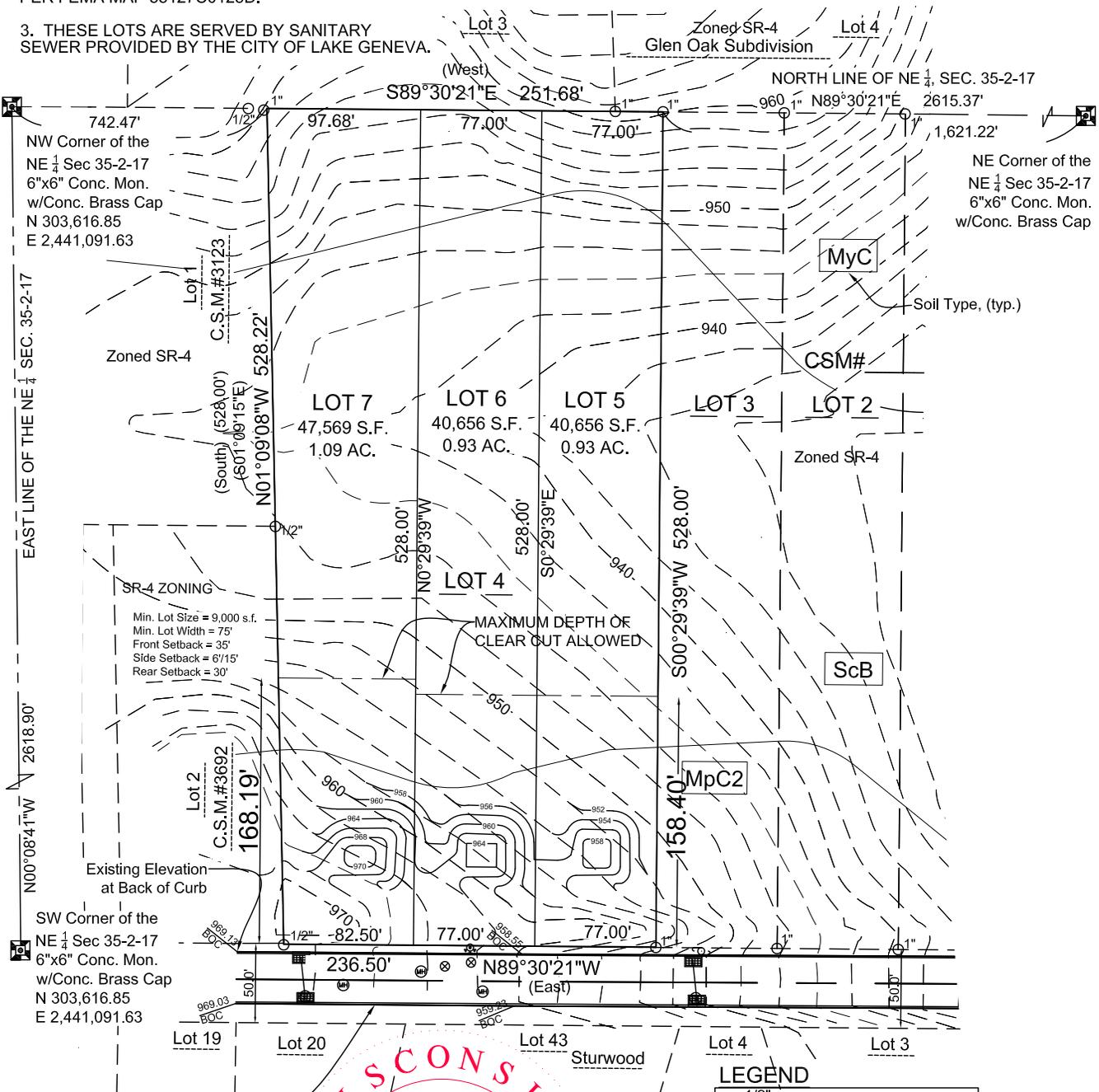
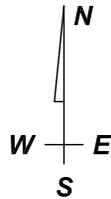


1 INCH = 100 FEET

Owners/Subdividers:
Dodge Street Properties LLC
500 Stone Ridge Drive
Lake Geneva, WI 43147

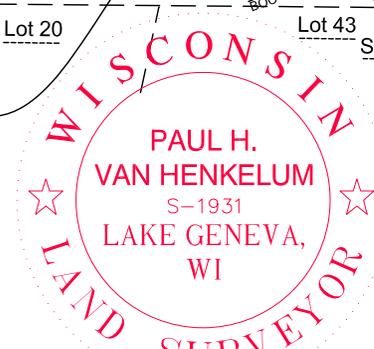
Surveyor:
Paul H. Van Henkelum
Cardinal Engineering LLC
201 Broad Street, Ste B
Lake Geneva, WI 53147
414-406-3248

Basis of Bearing: All Bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone. The North line of the Northeast $\frac{1}{4}$ of Section 35 bears S89°30'21"E. (N.A.D. 1927).



SR-4 ZONING
 Min. Lot Size = 9,000 s.f.
 Min. Lot Width = 75'
 Front Setback = 35'
 Side Setback = 6'/15'
 Rear Setback = 30'

MAXIMUM DEPTH OF CLEAR CUT ALLOWED



LEGEND	
$\bigcirc_{1/2}$	Iron Pipe - Found, O.D. listed
\bullet	Set 1" O.D. x 18" Iron Bar w/cap (1.13#/l.f. - min.)
(xxx)	"Recorded As" data
ScB	Soil Types
	Existing Contours
	Existing Storm Inlet/Manhole
	Existing Hydrant/Valve
	Existing Manhole

REVISED 5-3-2018
 REVISED 4-9-2018
 REV. 1-15-2018
 DATE 8-28-2017
 SHEET 1 OF 3
 JOB#17-0013

CERTIFIED SURVEY MAP NO. _____

Being a re-division of Lot 4 of C.S.M. No. _____ being part of the NW 1/4 of the NE 1/4 of Section 35,
Town 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin.

SURVEYOR'S CERTIFICATE:

I, PAUL H. VAN HENKELUM, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING LAND HEREIN DESCRIBED:

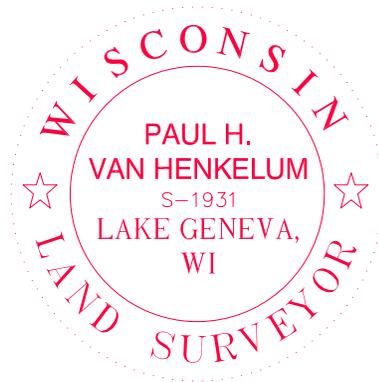
Being a re-division of Lot 4 of C.S.M. No. _____, recorded as Document No. _____ recorded on _____ day of _____, 20__ in the Register of Deed office of Walworth County, being part of the NW 1/4 of the NE 1/4 of Section 35, Town 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin. Said parcel contains 2.96 acres more or less.

I FURTHER CERTIFY THAT I HAVE MADE SAID MAP BY THE DIRECTION OF _____, OWNER OF SAID LAND. THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE LAND DIVISION ORDINANCES OF THE CITY OF LAKE GENEVA AND WALWORTH COUNTY IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 3rd DAY OF MAY, 2018.

PAUL H. VAN HENKELUM,
PROFESSIONAL LAND SURVEYOR #1931



OWNER'S CERTIFICATE

AS OWNER, _____ HEREBY CERTIFIES THAT HE/SHE HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED HEREON.

AS OWNER, I FURTHER CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

- 1.) THE CITY OF LAKE GENEVA

WITNESS THE HAND AND SEAL OF SAID OWNER THIS _____ DAY OF _____, 2018.

DODGE STREET PROPERTIES LLC
OWNER

STATE OF _____) ss
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2018

THE ABOVE NAMED _____, OWNER, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

REVISED 5-3-2018
REVISED 4-9-2018
REV. 1-15-2018
DATE 8-28-2017
SHEET 2 OF 3
JOB#17-0013

CERTIFIED SURVEY MAP NO. _____

Being a re-division of Lot 4 of C.S.M. No. _____ being part of the NW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 35,
Town 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin.

CERTIFICATE OF PLAN COMMISSION APPROVAL:

APPROVED BY THE PLAN COMMISSION OF THE CITY OF LAKE GENEVA
ON THIS _____ DAY OF _____, 2018.

ALAN KUPSİK,
CHAIRMAN

LANA KROPF,
SECRETARY



REVISED 5-3-2018
REVISED - 4-9-2018
REV. 1-15-2018
DATE 8-28-2017
SHEET 3 OF 3
JOB#17-0013

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: May 21, 2018

Agenda Item:14

Applicant:

FYF, LLC
43 S. Water St East
Fort Atkinson WI 53538

Request:

The Downtowner – Discussion Only
Fence Installation on Main St and Patio area

Description:

The applicant is requesting as a “discussion only item” the Fence installation(s) be discussed for the property located at 640 W. Main Street.

The applicant was before the Plan Commission on March 20, 2017 to present & review the installation of the fence location and material as proposed in their application request.

This fence request identified materials that in staff’s opinion were “not acceptable” in nature and request that the applicant revise their request to include both fencing along Main Street on top of the retaining wall and the wall in the side yard along the White River.

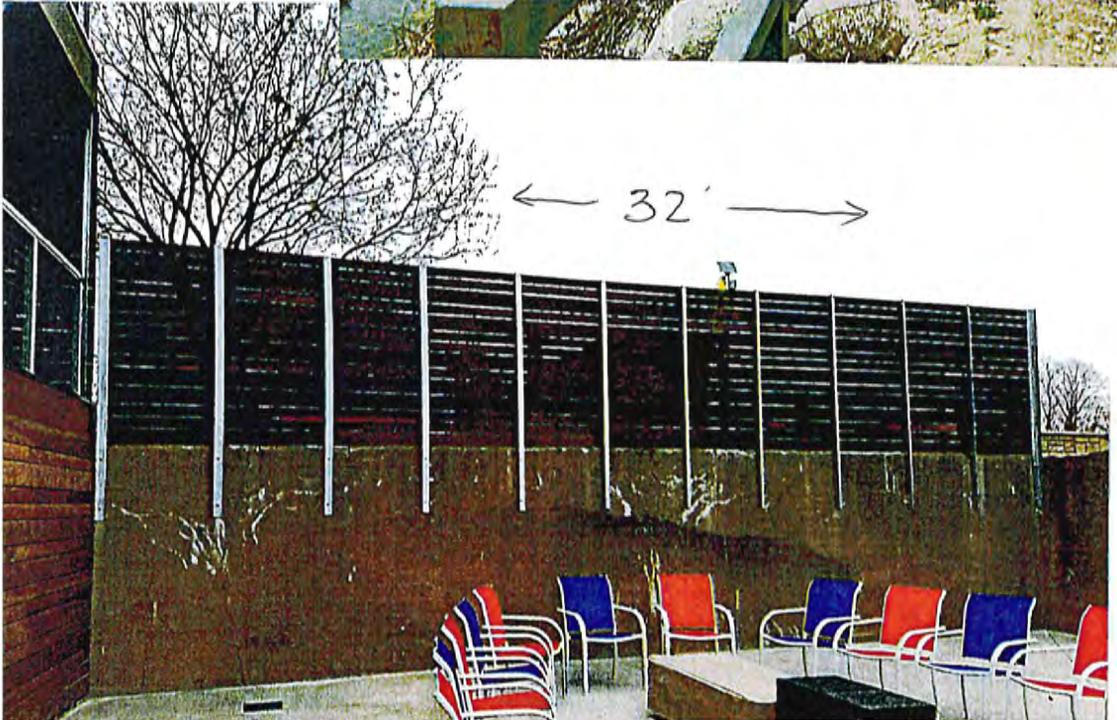
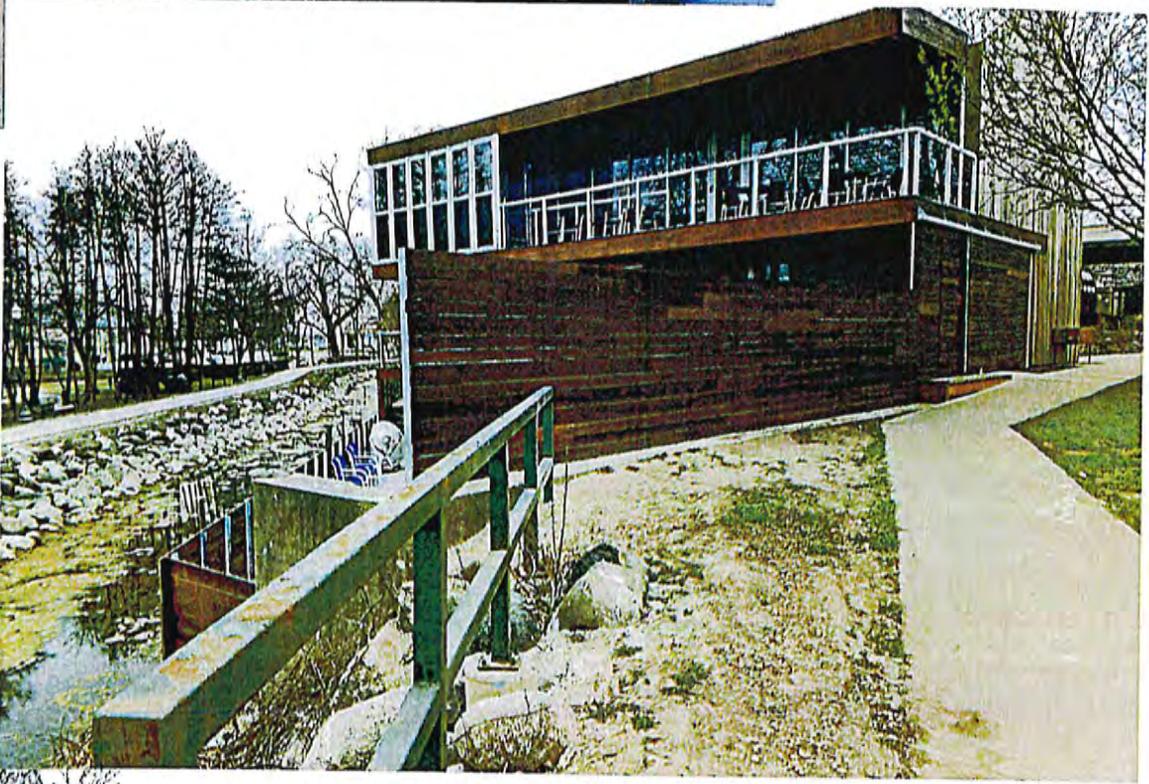
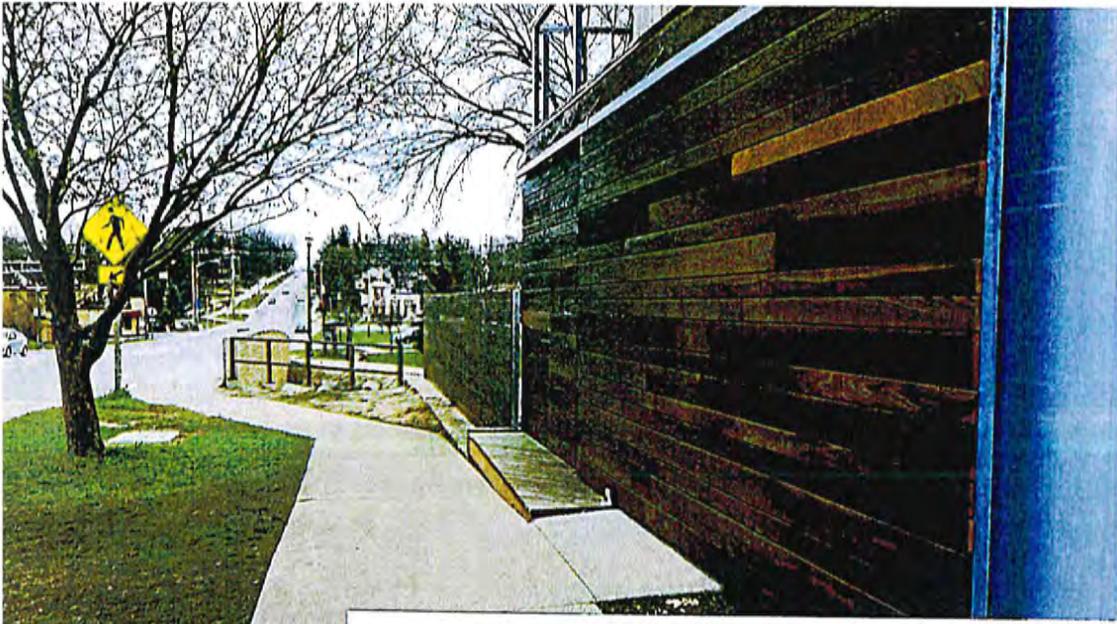
Staff’s (Jackie Mitch of Vandewalle) recommendation in the minutes was that the fencing materials be of like materials that were proposed on the deck areas of the Downtowner. These materials revisions are to “clearly depict wire fencing on top of the retaining wall on the Main St. wall and the wall in the side yard” on the revised landscape plan.

In addition the fence height is not to exceed the maximum height for fences as laid out in the zoning code which has a maximum of 36” on any street side property line.

March 20, 2017 Minutes attached.

A DISCUSSION TO AMEND THE FENCE AT
THE DOWNTOWNER-640 WEST MAIN STREET
FOR PRIVACY AND SAFETY

Thank you





Before
Landscaping



After
Landscaping

PLAN COMMISSION MEETING
MONDAY, MARCH 20, 2017 – 6:30 PM
COUNCIL CHAMBERS, CITY HALL

Mayor Kupsik called the meeting to order at 6:30p.m.

Roll Call. Present: Mayor Kupsik, Alderman Doug Skates, Sarah Hill, Tom Hartz, Tyler Frederick. Absent (Excused): John Gibbs, Ann Esarco. Also Present: City Planner Slavney, Jackie Mich, City Attorney Draper, City Administrator Oborn, Building & Zoning Administrative Assistant Follensbee.

Approve the Minutes of February 20, 2017 Plan Commission meeting as distributed.
Skates/Hartz motion to approve. Unanimously carried.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will to be limited to 5 minutes.

Candy Kirchberg, 917 Marshall Street, addressed the concept plan for a proposed Associated Bank. She stated if this passes, her property value will go down. She asked if it does pass, they take great care to keep trees on the property. She bought her home with the expectation that she was living in a neighborhood not a commercial area.

Acknowledgement of Correspondence. None.

Downtown Design Review.

Application by Denise Swan, DenayCocoBay, 734 Remington Lane, North Aurora, IL 60542, to paint the front of the building at 259 Broad Street, Tax Key No. ZOP00263

Denise Swan, 734 Remington Lane, North Aurora, IL, stated DenayCocoBay is going to be a luxury nail spa with makeup services and spa-related gift items. She went over the interior and exterior colors of the building.

Hartz/Skates motion to approve color scheme A as presented in the application as well as staff recommendations. Unanimously carried.

Application by FYF, LLC, 43 South Water Street East, Fort Atkinson, WI 53538 for an exterior siding and fence railing design at ~~640 West Main Street, Tax Key No. ZOP00306~~

Ryan Schultz, 312 W Lakeside Street, Madison, WI, stated modified wood products are being proposed in place of the cedar siding. Jackie Mich noted the updated application includes an open fence as recommended by staff and more durable materials. This project does have site conditional use and design approval. The only items being reviewed are the fence material and the exterior building material. She recommended approval along with the applicant updating and resubmitting the site plan and landscaping plan to clearly depict wire fencing on top of the retaining wall in the Main Street wall and the wall in the side yard. The north exterior elevation should be updated to clearly label that the proposed fence should match the fence that is depicted in the south exterior elevation. The proposed fences don't exceed the maximum height for fences as laid out in the zoning code. She recommended the steel be treated to prevent any staining on the wood over time.

Hill/Frederick motion to approve the application by FYF, LLC, 43 South Water Street East, Fort Atkinson, WI 53538 for an exterior siding and fence railing design at 640 West Main Street, Tax Key No. ZOP00306 including the updated transparent fencing and exterior material along with all staff recommendations and findings of fact. Unanimously carried.

Application by Hans Melges, 1100 Edwards Blvd, Lake Geneva, WI 53147, to reface outdated front of building on west side at 233 Center Street, Tax Key No. ZOP00284.

Hans Melges, 1100 Edwards Blvd Lake Geneva, WI, requested permission to change the face at 233 Center Street. He would like to take the two front windows out of the building and put in a foot wall, install overhead, clear garage doors with a bronze finish, a suspended awning and add columns. It will be white and sided with LP siding. Mr. Melges said the garage doors will stay inside of the building. Ms. Hill has concerns with the consistency of the downtown design. She would like to see the code reviewed. Planner Slavney stated the standards between Center and Cook on Main Street are clearly defined. He disagrees with Ms. Hill's opinion and added there isn't a particular look in this area. Mr. Melges said the present building has window bays which will open more sidewalk room when they are removed. The use will be for Melges Real Estate. Ms. Hill feels the point of a downtown design review is to make sure everything is consistent with

Site Plan (A.001, dated 11/21/2016) and Landscaping Plan (A.003, dated 11/21/2016) are not consistent with in the Exterior Elevations (A.201-A.204, dated 11/21/2016). The Site Plan depicts a new decorative wood fence along Main Street. The Landscaping Plan indicates that the existing fence along Main Street will be painted or replaced to match the existing fence. The Landscaping Plan also does not show the wire fence along the river. These documents need to be corrected to match the building elevations and recommendations by Staff.

Exterior Building Materials

Colors, renderings, and examples of proposed building materials are included in the submittal packet.

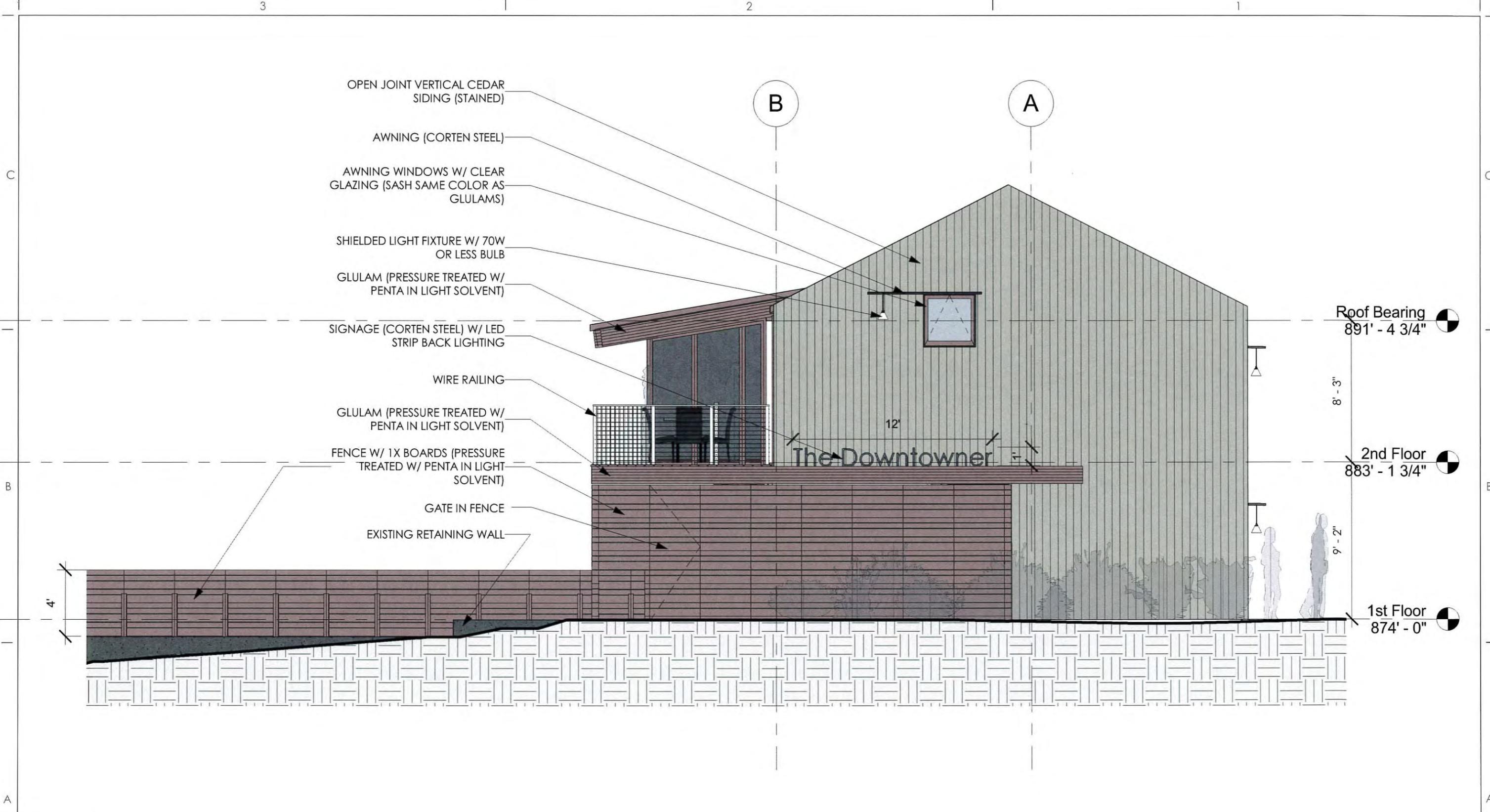
On the elevation facing Main Street (north), proposed exterior building materials include chemically-treated accoya wood siding, pressure-treated wood timbers, screen porch doors, and a corten steel awning over the window. On the elevation facing the river (east), materials include screen porch doors, aluminum storefront windows, translucent polycarbonate panels, and chemically-treated accoya wood siding. On the rear elevation (south), materials include chemically-treated accoya wood siding, pressure-treated wood timbers, screen porch doors, translucent polycarbonate panels, and aluminum storefront windows. On the elevation facing the restaurant (west), materials include chemically-treated accoya wood siding and corten steel awnings over the windows.

The first and second stories of the deck are enclosed by wire railings, identical to the fencing enclosing the patio area in the side yard.

Staff Recommendation:

The proposed exterior materials and fencing meet the requirements of the Downtown Design Overlay Zoning district. Staff's recommendation is that the project be approved subject to the following conditions, and in addition to any Plan Commission amendments:

1. The applicant shall update and resubmit (with the current date) the Site Plan (A.001) and Landscaping Plan (A.003) to depict wire fencing on top of the existing retaining wall in the front yard along Main Street, and wire fencing on top of the existing retaining wall in the side yard along the river (on the northeast side of the site), as depicted in the Exterior Elevations (A.201-A.204, dated 11/21/2016).
2. On the Exterior Elevation - North (A.201 dated 11/21/2016), the applicant shall clearly label and describe the proposed fence located on top of the retaining wall. This should match the fence labeling depicted in the Exterior Elevation - South (A.203 dated 11/21/2016).
3. No fences shall not exceed the maximum fence height permitted in the CB zoning district per Section 98-720.
4. Staff strongly recommends treating the corten steel to prevent staining of the wood siding over time.



- OPEN JOINT VERTICAL CEDAR SIDING (STAINED)
- AWNING (CORTEN STEEL)
- AWNING WINDOWS W/ CLEAR GLAZING (SASH SAME COLOR AS GLULAMS)
- SHIELDED LIGHT FIXTURE W/ 70W OR LESS BULB
- GLULAM (PRESSURE TREATED W/ PENTA IN LIGHT SOLVENT)
- SIGNAGE (CORTEN STEEL) W/ LED STRIP BACK LIGHTING
- WIRE RAILING
- GLULAM (PRESSURE TREATED W/ PENTA IN LIGHT SOLVENT)
- FENCE W/ 1X BOARDS (PRESSURE TREATED W/ PENTA IN LIGHT SOLVENT)
- GATE IN FENCE
- EXISTING RETAINING WALL

Roof Bearing
891' - 4 3/4"

8' - 3"

2nd Floor
883' - 1 3/4"

9' - 2"

1st Floor
874' - 0"

The Downtowner

12'

4'



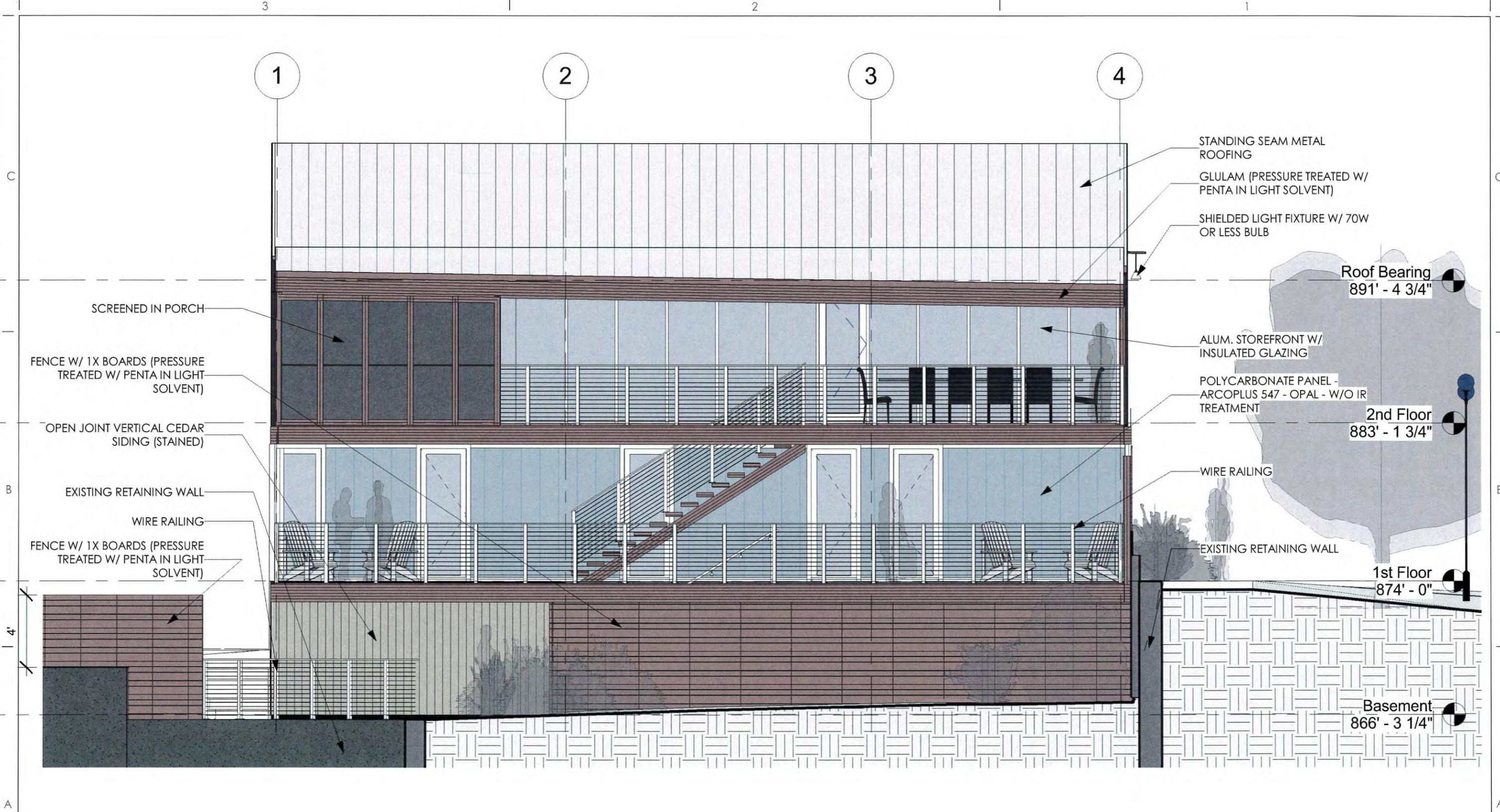
FYF, LLC.

Architect	Developer
312 W Lakeside Street Madison, WI 53715 773.425.6456	43 S Water St F Fort Atkinson, WI 53538 920.568.9870

THE DOWNTOWNER - A VACATION RENTAL
 640 West Main Street, Lake Geneva, WI 53147
 Exterior Elevation - North
 A.201

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review

SCALE 3/16" = 1'-0"



STANDING SEAM METAL ROOFING
 GLULAM (PRESSURE TREATED W/ PENTA IN LIGHT SOLVENT)
 SHIELDED LIGHT FIXTURE W/ 70W OR LESS BULB

Roof Bearing
 891' - 4 3/4"

ALUM. STOREFRONT W/ INSULATED GLAZING
 POLYCARBONATE PANEL - ARCOPLUS 547 - OPAL - W/O IR TREATMENT

2nd Floor
 883' - 1 3/4"

WIRE RAILING

EXISTING RETAINING WALL

1st Floor
 874' - 0"

Basement
 866' - 3 1/4"

SCREENED IN PORCH
 FENCE W/ 1X BOARDS (PRESSURE TREATED W/ PENTA IN LIGHT SOLVENT)

OPEN JOINT VERTICAL CEDAR SIDING (STAINED)

EXISTING RETAINING WALL

WIRE RAILING
 FENCE W/ 1X BOARDS (PRESSURE TREATED W/ PENTA IN LIGHT SOLVENT)



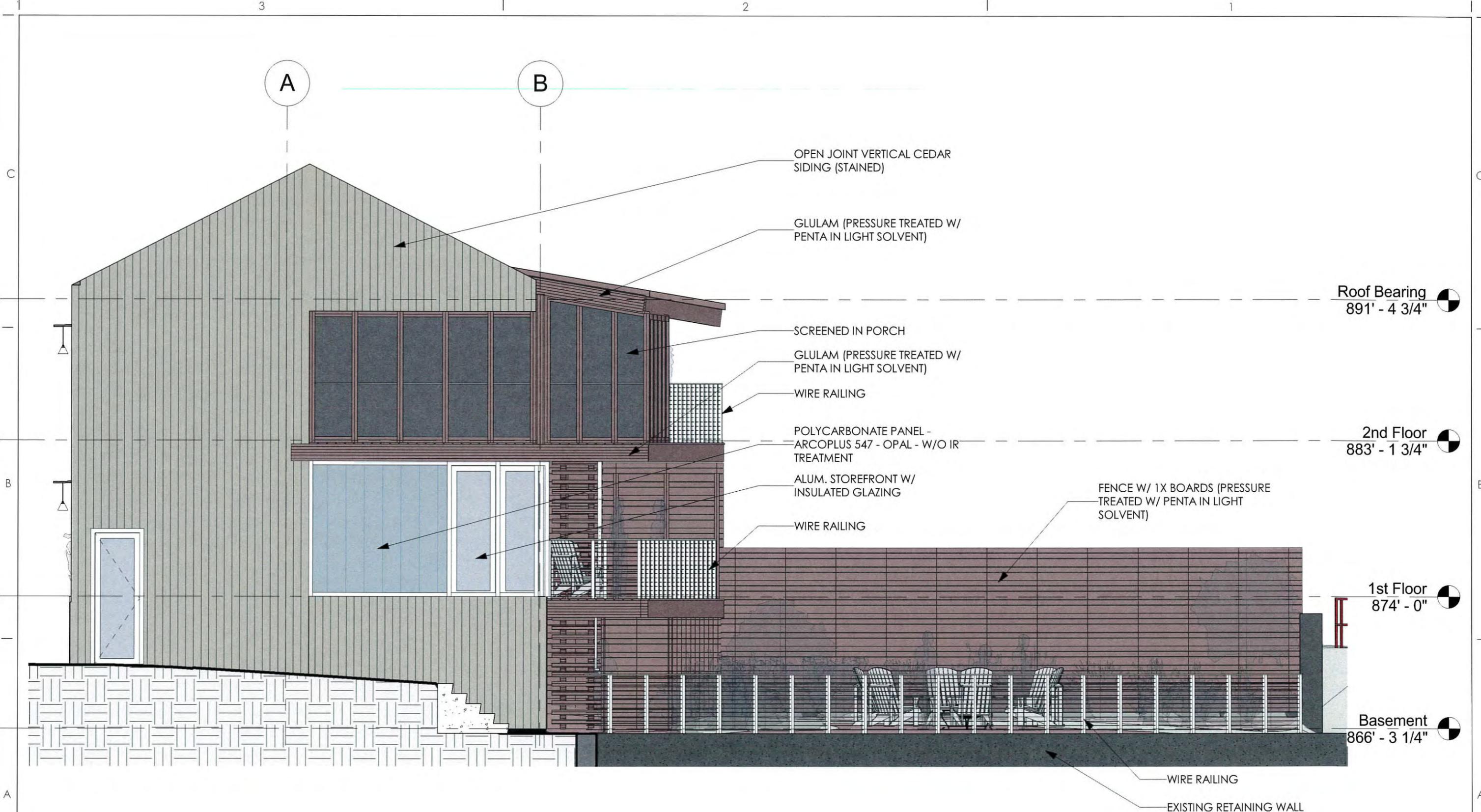
FYF, LLC.

Architect	Developer
312 W Lakeside Street Madison, WI 53715 773.425.6456	43 S Water St E Fort Atkinson, WI 53538 920.568.9870

THE DOWNTOWNER - A VACATION RENTAL
 640 West Main Street, Lake Geneva, WI 53147
 Exterior Elevation - East
 A.202

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review

SCALE 3/16" = 1'-0"



OPEN JOINT VERTICAL CEDAR SIDING (STAINED)

GLULAM (PRESSURE TREATED W/ PENTA IN LIGHT SOLVENT)

SCREENED IN PORCH

GLULAM (PRESSURE TREATED W/ PENTA IN LIGHT SOLVENT)

WIRE RAILING

POLYCARBONATE PANEL - ARCOPLUS 547 - OPAL - W/O IR TREATMENT

ALUM. STOREFRONT W/ INSULATED GLAZING

WIRE RAILING

FENCE W/ 1X BOARDS (PRESSURE TREATED W/ PENTA IN LIGHT SOLVENT)

Roof Bearing
891' - 4 3/4"

2nd Floor
883' - 1 3/4"

1st Floor
874' - 0"

Basement
866' - 3 1/4"

WIRE RAILING

EXISTING RETAINING WALL



Architect: openingdesign
 312 W Lakeside Street
 Madison, WI 53715
 773.425.6456

Developer: FYF, LLC.
 43 S Water St F
 Fort Atkinson, WI 53538
 920.568.9870

THE DOWNTOWNER - A VACATION RENTAL
 640 West Main Street, Lake Geneva, WI 53147
 Exterior Elevation - South
 A.203

Date	Description
2016.10.17	Application for Cond. Use & Site Plan Review

SCALE 3/16" = 1'-0"



VANDEWALLE & ASSOCIATES INC.

To: City of Lake Geneva
From: Mike Slavney, FAICP, City Planner
Date: May 15, 2018
Re: Annual Comprehensive Plan Amendment Process

The City adopted the updated Comprehensive Plan on December 14, 2009. As a dynamic community facing a myriad of growth issues, the City receives requests for Plan amendments in the coming years, well before the required update in 2019. To provide a manageable, predictable, and cost effective process, the City has established a single plan amendment cycle every year.

Several Wisconsin communities use an annual plan review and amendment process cycle to ensure these evaluations and adjustments are handled in a predictable and efficient manner. The City Clerk will accept applications for Plan amendments from **May 22 through June 29, 2018**. Applications will be reviewed by the Plan Commission at its July and August meetings. Applicants may adjust their applications to respond to Plan Commission concerns, and all revised applications must be finalized by August 27, 2018.

The procedures to adopt or amend a Comprehensive Plan are defined under Section 66.1001(4), Wisconsin Statutes. The City process needs to follow these requirements. The timeline on the following page presents a proposed five-month process to allow for plan amendment requests, consider amendments, and go through the adoption procedures in compliance with the State Statutes.

This approach features a combined meeting of the Plan Commission and Common Council.

During the meeting:

1. the Common Council holds a Public Hearing on the requested Plan amendments; and
2. the Plan Commission considers Plan amendment requests and public testimony, and then adopts a resolution making a specific recommendation on each of the requested Plan amendments to the Common Council.

At a subsequent meeting of the Common Council, the Council will consider the Plan Commission's recommendations, vote on motions for each requested Plan amendment, and finally, adopt an ordinance to officially adopt the Plan amendments per their individually voted motions.

This combined meeting approach allows for the Plan Commission and Council to hear the same public testimony, prior to the Plan Commission's recommendation, and the Council's actions.

City of Lake Geneva

2018 Annual Comprehensive Plan Amendment Process

Activity	May	June	July	August	Sept.	Oct.
Plan Commission Announces the Opening of the Plan Amendment Process, and Reviews the Draft Public Participation Plan	May 21					
City Clerk Accepts Plan Amendment Applications	May 22 - June 29					
Plan Commission Recommends Adoption of the Public Participation Plan		June 18				
Council Adopts Public Participation Plan		June 25				
Plan Commission Reviews Plan Amendment Applications (Requests & Staff Analysis included in Plan Comm. Packet.)			July 16	Aug. 20		
Plan Commission Recommends Setting Public Hearing by Council				Aug. 20		
Council Sets Public Hearing (applications frozen)				Aug. 27		
City Clerk Distributes Requested Plan Amendments to Surrounding and Overlapping Jurisdictions				Aug. 29		
Public Review Period (Newspaper published Wed.)					Sept. 5 - Oct. 14	
Joint City Council and Plan Commission Meeting 1. Council Holds Public Hearing 2. Plan Commission Adopts Resolution Recommending Plan Amendments						Oct. 15
Council Adopts Ordinance on Recommended Plan Amendments						Oct. 22
City Clerk Distributes Amended Plan to Surrounding and Overlapping Jurisdictions						After Adoption