

**CITY OF LAKE GENEVA  
626 GENEVA STREET  
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING  
MONDAY JUNE 18, 2018 - 6:00 PM  
COUNCIL CHAMBERS, CITY HALL**

1. Meeting called to order by Tom Hartz.
2. Roll Call.
3. Approve Minutes of the May 21<sup>st</sup> Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review:
  - a. Application by Oakfire Properties LLC, for the Oakfire Restaurant, a request to install a server window on the east wall to assist with staff access, located in the Business Central (BC) zoning district at 831 Wrigley Dr, Tax Key No. ZOP00340.
  - b. Application by Daniel Caravette, to install a building sign located in the Business Central (BC) zoning district for the property at 642 W. Main St, Lake Geneva, WI 53147, Tax Key No. ZOP00305.
  - c. Application by The Hive – Tara Pippin, 33601 Franklin St, Burlington, WI 53105 to install an on building sign that extends over the public sidewalk for the property located at 755 W. Main St, located in Business Central (BC) zoning district, Tax Key No. ZOP000269.
  - d. Application by Elizabeth Chappell, 513 Broad St, Lake Geneva, WI 53147, to install a building sign that extends over the public sidewalk located in Business Central (BC) zoning district Tax Key No. ZOP00029.
7. Public Hearing and Recommendation on an application for a Conditional Use Permit filed by Letitia Erdman, 5455 Steele Rd, Burlington, WI 53105, to install a fence which exceeds the allowable heights for the Downtowner property located at 640 W. Main St. in the Central Business (CB) zoning. Tax Key No. ZOP00306.
8. Public Hearing and Recommendation of a Conditional Use Permit filed by Serendipity & Sunsets LLC, P.O. Box 649, Cary, IL 60013, for the installation and addition of a 100' pier located at 962 Mariane Terrace, property is located within the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZSY00016.

9. Public Hearing and Recommendation on an application for a Conditional Use Permit filed by Greg Anagnos, N1567 Clover Rd, Lake Geneva, WI 53147, to operate an Commercial Indoor Lodging land use for the property located at 501 ½ Broad St, Lake Geneva, WI 53147, located in the Central Business (CB) zoning, Tax Key No. ZOP00032.
10. Public Hearing and Recommendation of a Conditional Use Permit filed by Robert D. Larson Trust, 2403 Comstock Ct, Naperville, IL 60564, for the demolition and new construction of a single family residence located at 905 Bayview Dr, located within the Estate Residential – 1 (ER-1) zoning district and requests to utilize the Single Family–4 (SR-4) zoning. Tax Key No. ZGB00005.
11. Public Hearing and Recommendation of a Conditional Use Permit filed by Robert D. Larson Trust, 2403 Comstock Ct, Naperville, IL 60564, for the installation and addition of a 100’ pier located at 905 Bayview Dr. Property, located within the Estate Residential – 1 (ER-1) zoning districtTax Key No. ZGB00005.
12. Public Hearing and Recommendation on an application to amend the General Development Plan (GDP) for the Lake Geneva 50120 LLC, located at 281 N. Edwards Blvd, filed by GMX Real Estate Group LLC, to expand the building 2 footprint by 465 square feet. Located in the Planned Development (PD) zoning district, Tax Key Nos. ZA297300001.
13. Public Hearing and Recommendation of an amendment to the Precise Implementation Plan (PIP) for the Lake Geneva 50120 LLC, located at 281 N. Edwards Blvd, filed by GMX Real Estate Group LLC, to expand the building 2 footprint by 465 square feet. Located in the Planned Development (PD) zoning district, Tax Key Nos. ZA297300001.
14. Adjournment

#### **QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT**

*Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.*

*Posted 6/14/18*

**PLAN COMMISSION MEETING  
MONDAY, MAY 21, 2018 – 6:00 PM  
COUNCIL CHAMBERS, CITY HALL**

Mayor Hartz called the meeting to order at 6:02 p.m.

**Roll Call.** Present: Mayor Hartz, Alderman Doug Skates, John Gibbs, Ann Esarco, Michael Krajovic. Absent (Excused) Sarah Hill, Ted Horne, City Planner Slavney. Also Present: Planner Assistant Mich, City Attorney Draper, City Administrator Oborn, Building and Zoning Administrator Walling, Building & Zoning Administrative Assistant Follensbee.

**Approve Minutes of the April 16<sup>th</sup> Plan Commission meeting as distributed.**

Skates/Krajovic motion to approve. Motion carried unanimously.

**Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will to be limited to 5 minutes.**

None.

**Acknowledgement of Correspondence.**

Correspondence was received from Charlene Klein, 817 Wisconsin Street, opposing the Conditional Use Permit at 190 E Main Street and also opposing the General Development Plan for 1111 N Edwards Blvd. Correspondence has been distributed to the Plan Commission and the City Council.

**Downtown Design Review**

**6.A. Application by Oakfire Properties LLC, for the Oakfire Restaurant, a request to change the front façade and install a roll up ½-wall with windows, located at 831 Wrigley Dr., Tax Key No. ZOP00340.**

David Scotney, owner of Oakfire, presented his request. Zoning Administrator Walling said the façade change will comply with the city specifications.

Esarco/Skates motion to approve the change to the front façade and include all staff recommendations and fact finding.

Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic voting “yes.” Motion carried unanimously.

**7. Continuation of the Review and Recommendation of a Land Division, for a Condominium Plat, to create two condominium lots for an existing duplex building currently located at 530 & 532 South Stone Ridge Drive situated in the Two-Family Residential – 6 (TR-6) zoning, filed by Judith E. Castleman, 530 South Stone Ridge Drive, Lake Geneva, WI 53147. Tax Key No. ZSR00066.**

Jim Howe, Godfrey Law Firm, representing Judith Castleman, presented the request. Howe said the parcel has 1 common public water lateral but each unit is metered separately. Attorney Draper stated the changes suggested by staff are reflected in the condominium documents. Mayor Hartz asked if there was a condominium association. Howe replied no, it is a stand alone duplex.

Skates/Esarco motion to approve the Land Division to create two condominium lots and include all staff recommendations and fact finding.

Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic voting “yes.” Motion carried unanimously.

**8. Public Hearing and Recommendation on an application for a Conditional Use Permit filed by Ryan Finley, 805 Cumberland Trail, Lake Geneva, WI 53147 to install a 48” fence along the property line abutting Townline Road. The property zoned SR-4 and allows for a maximum street side fence height of 36” & 60% opaqueness. Tax Key No. ZTT00041.**

Ryan Finley, 805 Cumberland Trail, presented his request. Alderman Skates asked for the style of fence. Finley said the fence will be picket, with normal spacing, but asking for a 4 feet high allowance.

Skates/Esarco motion to close the public hearing. Motion carried unanimously.

Skates/Gibbs motion to approve the Conditional Use Permit and include all staff recommendations and fact finding.  
Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic voting “yes.” Motion carried unanimously.

**9. Public Hearing and Recommendation on an application for a Conditional Use Permit filed by Renee T. Wu, 527 Forest Glen Dr, Fontana, WI 53125 to operate a restaurant located at 239 Cook Street, Lake Geneva, WI 53147 located in the Central Business (CB) zoning, Tax Key No. ZOP00253.**

Bill Wu, 527 Forest Glen Dr, Fontana, presented the request.

Skates/Gibbs motion to close the public hearing. Motion carried unanimously.

Administrator Oborn asked if applicant was applying for a sign in the future. Walling stated this application is only for the Conditional Use Permit for the restaurant and business plan. The sign can be reviewed at a later date through Downtown Design.

Gibbs/Skates motion to approve the Conditional Use Permit and include all staff recommendations and fact finding.  
Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic voting “yes.” Motion carried unanimously.

**10. Public Hearing and Recommendation on an application for a Conditional Use Permit filed by William and Carol Dick, 723B Geneva Street, Lake Geneva WI, 53147 to operate a Commercial Indoor Lodging at 723 Geneva Street, located in the Central Business (CB) zoning, Tax Key No. ZOP000158.**

William Dick, 723B Geneva Street, presented the request. Esarco asked if both units would be included in the Conditional Use. The applicants live in upper unit and wish to convert the upper unit for Commercial Indoor Lodging. The summary statement in the packet states the whole building would be used in this manner. Applicant plans to convert the upper unit within 2 years.

Skates/Gibbs motion to close the public hearing. Motion carried unanimously.

Krajovic asked about who follows up with applicant. Walling stated the city will be alerted when the applicant registers with city.

Skates/Esarco motion to approve the Conditional Use Permit which is limited to applicant and include all staff recommendations and fact finding.

Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic voting “yes.” Motion carried unanimously.

**11. Public Hearing and Recommendation on an application for a Conditional Use Permit filed by Lake Geneva Plaza LLC, W3323 Lake Forest Drive, Lake Geneva, WI 53147, to allow for the construction on a Convenience Store, Fueling Station, Dunkin Donuts, Restaurant, and Car Wash at 190 E. Main Street, Lake Geneva, WI 53147 located in the Planned Business (PB) zoning district with an In-vehicle Sale or Services zoning land use, Tax Key No. ZA370600001.**

Richard Torhorst, attorney, representing Lake Geneva Plaza LLC, presented their request. A building material board was shared with the Plan Commission. Krajovic asked about the turning and passing lane on the plan. Walling stated the city Public Works director said the lanes meet the city standards for turn lanes and are wide enough for the pass through. Esarco questioned the sidewalks and shoulder currently being used by individuals to get to Wal-Mart.

Speaker #1: Susan Fritz, Curtis St, secretary of the Twins on Curtis, a 34 unit home association, shared the owner’s opposition to the project.

Speaker #2: Charlene Klein, 817 Wisconsin St, shared her opposition to the project, stating the traffic problem.

Speaker #3: Mary Jo Fesenmaier, 1085 S Lake Shore Drive, shared her opposition to the project.

Joe Kopecky, N3127 McClain Rd, Architect, shared some specifics of the project including 2 retaining walls, the lighting, the location of building from the back lot line and noted most activity would be at the front of the building. Krajovic asked about the landscaping for a buffer on the south side of the property. The Plan Commission discussed the new state statute for Conditional Use Permits. Esarco questioned the pedestrian traffic.

Speaker #4: Gary Dunham, 614 Sage St, shared his positive business experience with the owners and information about available office space in Lake Geneva, which was a discussion item earlier.

Skates/Esarco motion to close the public hearing. Motion carried unanimously.

Skates/Krajovic motion to approve the Conditional Use Permit to include all staff recommendations and fact finding; contingent on the Department of Transportation approval of merging and passing lanes; the operational hours of car wash will be 7am – 9pm; maximizing screening for adjoining properties in southwest corner of property; contingent on staff approval for all engineering and utilities prior to recommending to the City Council for approval; if the staff has significant changes to the site, the project goes back to the Plan Commission.

Roll Call: Hartz, Skates, Krajovic voting “yes” and Gibbs, Esarco voting “no.” Motion carried 3-2.

**12. Public Hearing and Recommendation on an application for a General Development Plan for the Hampton Inn located at 1111 N. Edwards Blvd, filed by 1111 N. Edwards Blvd LLC, to construct a 5 story, 92 unit, Hampton Inn hotel at the South East corner of the Sheridan Springs Rd and North Edwards Blvd intersection adjacent to the Highway 12 corridor. Located in the Planned Industrial (PI) zoning district, Tax Key Nos. ZA468000003 & ZA468000004.**

Jim Howe, Godfrey Law Firm, representing 1111 N Edwards Blvd LLC, presented the request. Esarco clarified this project is north of the White River Wetlands and asked if the north driveway could be moved south due to the tight corner at Sheridan Springs Road. Krajovic asked about the first floor elevations. Howe verified the building will blend into the lot.

Gibbs/Esarco motion to close the public hearing. Motion carried unanimously.

Esarco/Gibbs motion to approve the General Development Plan to include all staff recommendations and fact finding; specifically identify facts and finding for items #1 and #3; flexibilities: a 5<sup>th</sup> floor; building height of 65’; a floor area ratio of 45%; a landscaping surface ratio of 42%; north access point is approximately 100’ but no less than 98’; contingent on staff approval for all engineering and utilities prior to this item being sent to the City Council for the PIP approval.

– if the staff has significant changes to the site, the project goes back to the Plan Commission.

Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic voting “yes.” Motion carried unanimously.

**13. Public Hearing and Recommendation of an amendment to the Precise Implementation Plan (PIP) for property located in the Summerhaven of Lake Geneva Condominiums located on Lake Geneva Blvd, filed by McMurr II LLC. The request is to amend the existing PIP to complete Phase 1 of the development. Overlapping Multiple Tax Key Nos. ZSUM00101 – ZSUM00247.**

Jim Howe, Godfrey Law Firm, representing McMurr II LLC, presented the request including the revised packet. Walling asked for clarification on stamped and colored asphalt in cul-de-sac. Howe verified this item would be at surface grade in cul-de-sac. Krajovic asked for clarification of the various phases of the Summerhaven development. Howe explained the phases.

Gibbs/Skates motion to close the public hearing. Motion carried unanimously.

Oborn asked about adding the approval of Developers Agreement as part of motion. Walling explained the procedure to correct the spider web utilities on this location which has been discussed with the Utilities. This item is included in the Developers Agreement.

Skates/Esarco motion to approve the amendment to the Precise Implementation Plan and include all staff recommendations and fact finding and recommend approval of the Developers Agreement.

Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic voting “yes.” Motion carried unanimously.

**14. Conceptual Plan for the proposed subdivision of 17.14 acres of land to be called The Vista of Lake Geneva, located south of LaSalle Street and west of Woodridge Ct, by Omega Homes, 210 O’Connor Dr., Elkhorn, WI 53121. The request is to develop the property into a higher density single family development than currently permitted, using Planned Development zoning. Tax Key No. ZA424700001.**

Paul Van Henkelum, Cardinal Engineering, representing Omega Homes, presented the Conceptual Plan modifications. Van Henkelum stated the Primary Environmental Corridor boundary shown on the City of Lake Geneva Comprehensive Plan differs from the boundary shown on the SEWRPC Map for Outlot 5 of this project. Staff recommends using the SEWRPC boundary until this discrepancy is verified. Outlot 5 has been removed from the development at this time. The plan will be modified at a later date. This parcel is zoned as MR-8. The developer wants to move forward with single family residences instead of condominiums and asks for Planned Development process to go to smaller lots. Cardinal Engineering has been contacted by the Hillcrest Condominium Association, adjacent to this site, asking to work together on some drainage issues. Krajovic asked about homes sizes for a 5,000 sq ft lot. Van Henkelum replied 2,200 sq ft. with some variations. Oborn asked if the roads would be public or private. Van Henkelum said LaSalle Street is already public and Hilltop Street is proposed as public, with the cul-de-sacs remaining private as outlots. Roads would include curb and gutter. The walkway through subdivision would be private with public access and the garages would be pulled back at least 2’ from the front of the house. Walling requested complete engineering prior to the PIP.

**15. Review and Recommendation for a Certified Survey Map (CSM) Land Division for the applicant Dodge Street Properties LLC, 500 Stone Ridge Drive, Lake Geneva, WI 53147, to divide the property zoned SR-4 for, 2 lots as .98 acres and 1 parcel at 1.09 acres located to the north of Dodge Street, and west of Fremont Ave located in the SR-4 zoning district. Tax Key No. ZYUP00053.**

Paul Van Henkelum, Cardinal Engineering, representing Dodge Street Properties, LLC, presented the request. Krajovic asked for clarification of the acreage for the 2 lots. Walling verified it should read .93 acres. Krajovic suggested an amendment to the motion.

Skates/Krajovic motion to approve the CSM Land Division for 2 lots at .93 acres each and 1 parcel at 1.09 acres and include all staff recommendations and fact finding.

Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic voting “yes.” Motion carried unanimously.

**16. Discussion regarding fence installation at property known as the Downtowner located at 640 West Main Street, Lake Geneva, WI 53147. Tax Key No. ZOP00306.**

Tisha Erdman, 5455 Steele Rd, Burlington, presented her request and asked for a discussion regarding the fence along Main Street & Mill Creek. Staff discussed possibilities including landscaping and safety.

**17. Discussion/Action regarding opening the annual plan amendment process and review of draft public participation plan to amend the City of Lake Geneva’s Comprehensive Plan.**

Planner Mich introduced the 2018 Comprehensive Plan Amendment Calendar and provided explanation of process. Attorney Draper suggested the need to adopt a public participation plan. Walling noted revisions to our Comprehensive Plan are due in 2020. Mich suggested beginning this process in 2019. Draper suggested doing the Public Participation Plan later in the year. The 2018 Comprehensive Plan Amendment process is now open from May 21- June 29<sup>th</sup>. The 2018 Comprehensive Plan Amendment process will be announced at next Council meeting.

**18. Adjournment.** Krajovic/ Gibbs motion to adjourn at 9:10 pm. Motion carried unanimously.

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/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

**THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION**

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: June 18, 2018

Agenda Item #6a

Applicant:

Oakfire Properties LLC.  
831 Wrigley Dr  
Lake Geneva, WI 53147

Request:

831 Wrigley Dr, Lake Geneva, WI 53147  
Downtown Design Review of Server Window  
Tax Key No. ZOP00340

Description:

The applicant is submitting an application for Downtown Design Review for the installation of a Server Window for the building located at 831 Wrigley Dr. The City reviews all exterior changes in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

The applicant proposes the installation for a server window on the east side of the building to accommodate the staff with the distribution of drinks and food to the customers outside dining.

Staff Recommendations:

The installation submitted has been reviewed and complies with the Central Business (CB) standards and meets the requirements within Downtown Design Overlay Zoning district.

Staff recommends *approval* of the server window installation.



City of Lake Geneva  
Building and Zoning  
626 Geneva Street  
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

831 Wrigley Dr. Oakfield

Name & Address of Current Building Owner:

Oakfield Properties LLC  
831 Wrigley Dr  
Lake Geneva

Telephone Number of Current Building Owner:

David 312-451-1494

Email Address:

Name & Address of Applicant:

Telephone Number of Applicant:

Email Address:

Proposed Design Change:

Install a Service Window on the East  
Side of the Building

Zoning District:

Business Central

Names & Address of Architect, Engineer, and/or Contractor of Project:

Description of Project:

Waitress Service Window

Date:

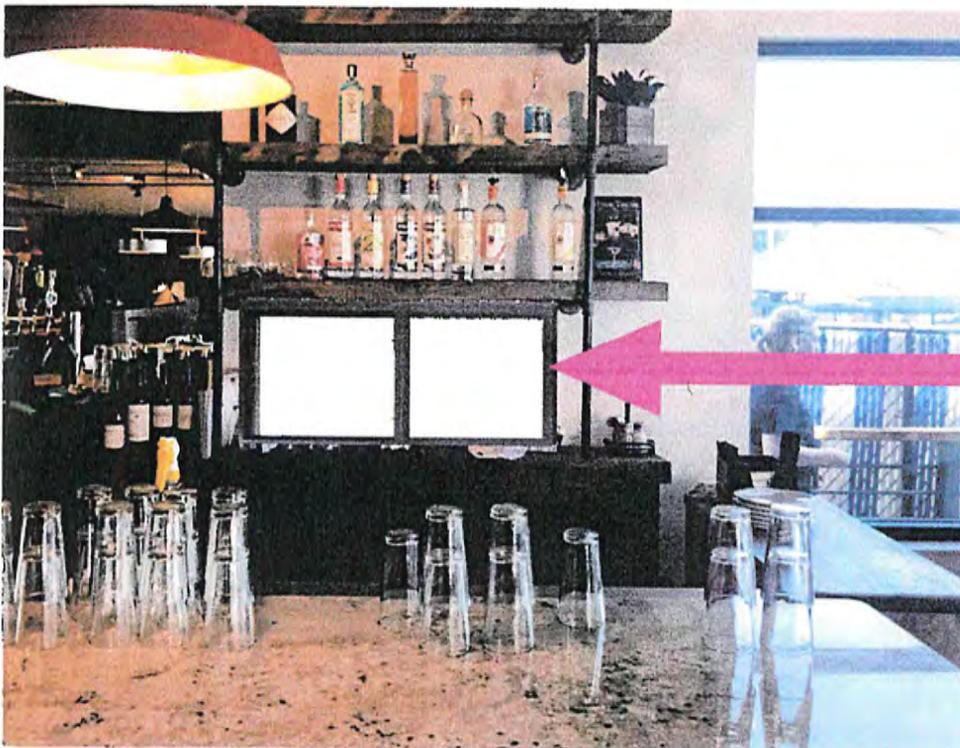
6/4/18

Signature of Applicant:

# OAKFIRE



**20 FT  
BACK FROM  
THE SIDEWALK**



**SLIDING  
GLASS WINDOW  
FOR DRINKS**

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: June 18, 2018

Agenda Item #6b

Applicant:

Daniel Caravette  
642 W. Main St.  
Lake Geneva WI 53147

Request: On Building Sign

642 W. Main St, Lake Geneva, WI 53147  
Downtown Design Review of Signage  
Tax Key No. ZOP00305

Description:

The applicant is submitting an application for Downtown Design Review for an on building sign for the building at 642 W. Main Street. The City reviews all signs in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

The projecting sign and sign colors and materials are in keeping with the allowable historic colors and sizes allowed. On building signs are reviewed in the CB zoning district.

Staff Recommendations:

The colors submitted have been reviewed and comply with the Historic Colors of the Sherwin Williams color palette. The proposed wall sign meets the requirements of the Downtown Design Overlay Zoning district. As proposed, the on building sign meets the maximum permitted area for projecting signs.

Staff recommends *approval* of the proposed signs.



City of Lake Geneva  
Building and Zoning  
626 Geneva Street  
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

642 W. Main  
Lake Geneva, WI

Name & Address of Current Building Owner:

Daniel Caravette  
642 W. Main  
Lake Geneva, WI 53147

Telephone Number of Current Building Owner:

630-306-9563

Email Address:

Dcaravette@aol.com

Name & Address of Applicant:

Same

Telephone Number of Applicant:

Email Address:

Proposed Design Change:

Name Change

Zoning District:

CB

Names & Address of Architect, Engineer, and/or Contractor of Project:

N/A

Description of Project:

Name change of existing black and white sign.

Date:

06/08/18

Signature of Applicant:

Daniel Caravette

Petitioner Name \_\_\_\_\_ Project Address \_\_\_\_\_

OFFICE USE ONLY

Description of Request Sign Modification

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** Surplus deposits shall be returned to the Applicant at the conclusion of the project.

\_\_\_\_\_, as applicant/petitioner for

Project:

Project Address: 642 W. Main St, Lake Geneva, WI 53147

Name: Northsiders Lake Geneva

Address: 642 W. Main St  
Lake Geneva, WI 53147

Cell Phone: (630) - 306 - 9503 Phone: ( ) - -

Email: d.caravette@aol.com

Dated this 8<sup>th</sup> Day of June, 20 13

Daniel Caravette

Printed Name of Applicant/ Petitioner

*Daniel Caravette*

Signature of Applicant/Petitioner

BEFORE



AFTER



STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: June 18, 2018

Agenda Item #6c

Applicant:

The Hive – Tara Pippin  
33601 Franklin St.  
Burlington WI 53105

Request: Projection Sign

755 W. Main St, Lake Geneva, WI 53147  
Downtown Design Review of Signage  
Tax Key No. ZOP000269

Description:

The applicant is submitting an application for Downtown Design Review for a projection sign for the building at 755 W. Main Street. The City reviews all signs in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

The projecting sign and sign colors and materials are in keeping with the allowable historic colors and sizes allowed. Projecting signs are limited to 3 square feet in area in the CB zoning district.

Staff Recommendations:

The colors submitted have been reviewed and comply with the Historic Colors of the Sherwin Williams color palette. The proposed sign meets the requirements of the Downtown Design Overlay Zoning district. As proposed, the projecting sign meets the maximum permitted area for projecting signs.

Staff recommends *approval* of the proposed signs.



City of Lake Geneva  
 Building and Zoning  
 626 Geneva Street  
 Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

The Hive 755 Main St. Lower Lake Geneva

Name & Address of Current Building Owner:

Venture Investment Partners LLP

P.O. Box 460

Lake Geneva WI 53147

Telephone Number of Current Building Owner: Roger Wolff 262-903-3222

Email Address: roger@rogerwolff.com

Name & Address of Applicant:

Tara Pippin

33601 Franklin St.

Burlington, WI 53105

Telephone Number of Applicant: 262-492-3360

Email Address: tara.pippin@yahoo.com

Proposed Design Change:

a sign added to storefront

Zoning District: \_\_\_\_\_

Names & Address of Architect, Engineer, and/or Contractor of Project:

Signature Sign Krueger Rd. Lake Geneva

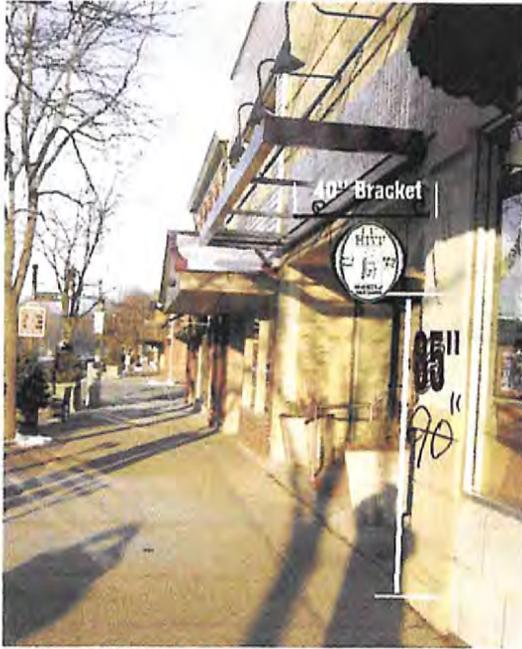
Description of Project:

Side arm with wooden sign

Date: 5-30-18

Signature of Applicant: \_\_\_\_\_

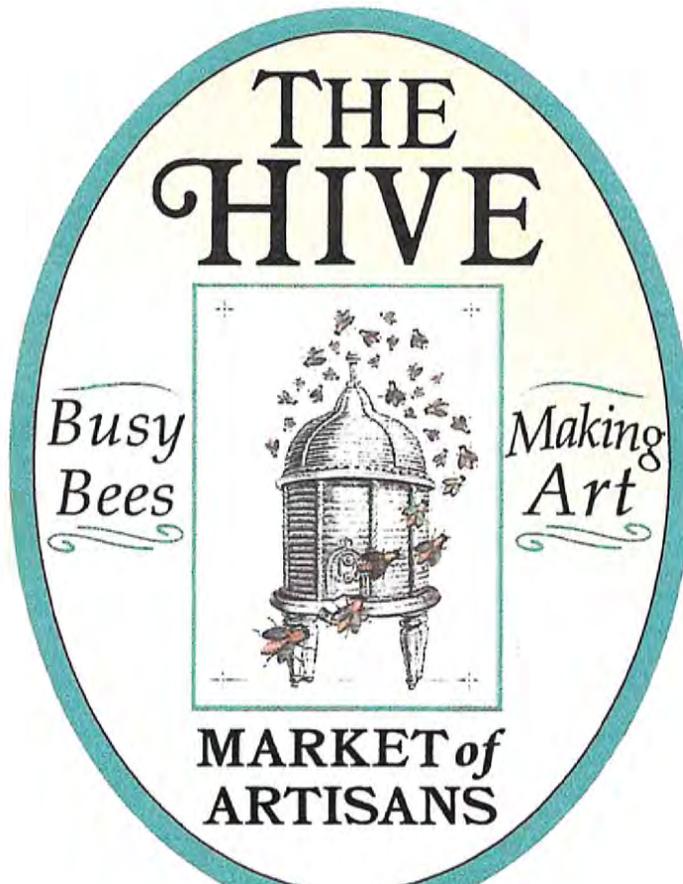
Tara Pippin



18"x24" oval sign face to be  
Inkjet print with laminate  
mounted on .75" MDO  
Colors, Beige blend background.  
Teal/Blue boarder trim with  
Black copy.  
Side walk clearance to be 85"

18"

24"



STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: June 18, 2018

Agenda Item #6d

Applicant:  
Elizabeth Chappell  
513 Broad St  
Lake Geneva WI, 53147

Request: Projection sign and planters  
513 Broad Street, Lake Geneva, WI 53147  
Downtown Design Review of Signage  
Tax Key No. ZOP00029

Description:  
The applicant is submitting an application for Downtown Design Review for a projection sign and the installation of planters that will be located on the public sidewalk for the building at 513 Broad Street. The City reviews all signs in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

The projecting sign, sign colors and materials are in keeping with the allowable historic colors and sizes allowed. Projecting signs are limited to 3 square feet in area in the CB zoning district.

Staff Recommendations:  
The colors submitted have been reviewed and comply with the Historic Colors of the Sherwin Williams color palette. The proposed projection sign meets the requirements of the Downtown Design Overlay Zoning district.

Staff recommends *approval* of the proposed signs.



20P-00029



City of Lake Geneva  
Building and Zoning  
626 Geneva Street  
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.: 511 Broad St.

Name & Address of Current Building Owner: Keri Johnson  
N6080 Johnson Rd.  
Burlington, WI 53105

Telephone Number of Current Building Owner: 262-903-3732  
Email Address: \_\_\_\_\_

Name & Address of Applicant: Elizabeth Cheppell  
513 Broad St  
Lake Geneva, WI 53147

Telephone Number of Applicant: 262-903-8035  
Email Address: organilets17@gmail.com

Proposed Design Change: Small perpendicular sign on exterior  
of building, 10" x 36" - white plastic vinyl printed Organilets  
Flower pots.

Zoning District: Downtown overlay

Names & Address of Architect, Engineer, and/or Contractor of Project: N/A

Description of Project: Business would like a sign fixed to building, just under the "N" in Organilets sign  
placed perpendicular to building so walking traffic can see name of business. Sign will measure no more than 10" x 36" - same size as our neighbors to the south of us.  
92° from ground

Date: 5/31 Signature of Applicant: Elizabeth Cheppell

In continuation of the application

Planter #1 and #3 will be 6 feet long 12 inches wide and 36 inches tall, made of wood with a thin lay of plaster of Paris over wood, and plastic insert for the dirt and plants. They will be painted Historic Rockwood Dark Brown SW #2808.

Planter/bench #2 will be 7 feet long with 3 ft of it being 36 inches tall x 12 inches wide, being the planter part of this unit and the bench part will be 4 feet long 18 inches high and 18 inches deep. Made of wood with thin layer of plaster of Paris over wood, with plastic insert for dirt and plants, and painted Historic Rockwood Dark Brown SW #2808.

Plants will be a variety of green and flowers that enjoy sun exposure as it is a west facing building.

These three planters/bench will be sturdy and placed close to the building for safety. They will also be chained to the building with eye bolts, chain and lock so no one can remove them or knock them over onto themselves. The distance between the building and the road is 8 feet, so these being 1 foot to 18" in width will leave plenty of room for pedestrian traffic and handicapped accessible. They will be placed directly on the concrete sidewalk and not elevated in anyway, with safety in mind.

The planters/bench will be built by Elizabeth Chappell.

We have long been trying to dress up this very large, white building and short of a huge facelift, we have been putting some planters out, then a bench, then a bench and some planters and none of it looks very good for very long. I'm hoping these planters, just a little taller and longer, and a touch of modern look to them will be a clean solution to our expansive bla building.

Thank you for your time in reviewing our request.

Elizabeth Chappell



OrgainCuts LLC

Owner

# EXAMPLE



Corten Steel Long Box Planter

11



Veradek Midori Long Trough Planter, 20-Inch Height by 12.5-Inch Width by 39-Inch Length,...

13

\$214.99



Veradek Midori Long Trough Planter, 16-Inch Height by 9-Inch Width by 31-Inch Length, Black...

13

\$90.86



Veradek Midori Long Trough Planter, 20-Inch Height by 12.5-Inch Width by 39-Inch Length, Black...

13

\$191.99



Veradek Metallic Series Galvanized Steel Medium Span Planter, 30-Inch Height by 10-Inch Width by 38-Inch Length, Black...

2



L:36" x W:12" x H:30"

L:48" x W:12" x H:30"

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x H:30",  
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The Fiberglass

:30"

Qty: 1 ▼

\$499.99 + Free Shipping

Only 9 left in stock - order soon.

Sold by The Fiberglass Depot

Add to Cart

Buy Now

Turn on 1-Click ordering for this browser

Deliver to Kirk -  
LAKE GENEVA 53147

Add to List

Have one to sell?

Sell on Amazon

Roll over image to zoom in



- Hamilton Tall Rectangle Fiberglass Planter Box
- Industrial strength fiberglass material



Win At Gardening  
Without Working



This item Hamilton Tall Rectangle Fiberglass Planter Box (L:36" x W:12" x H:30", Metallic Brown)



Veradek Midori Long Trough Planter, 20-Inch Height by 12.5-Inch Width by 39-Inch Length, Espresso (MLO39E)



Elegant Modern Black Rectangular Jort Indoor Outdoor Planter Pot - 16"H x 12"W x 31"L - Flower Planters By Pottery Pots



Grey Flower Pot Modern Rectangular Balcony Planter Box, 20"H x 16"W x 39"L - By Pottery Pots - The Essentials series

Sponsored products related to this item (What's this?)

*Before*



After





GreenCuts

NOT  
blocking door,  
my drawing got  
a little big -  
sorry.

BROWN

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: June 18, 2018

Agenda Item: 7

Applicant:  
Letitia Erdman  
5455 Steele Rd.  
Burlington WI 53105

Request: Conditional Use Permit  
640 W. Main St  
Fence Installation in the Central Business  
(CB) Zoning District  
Tax Key No. ZOP00306

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) for a new fence installation in the Central Business (CB) zoning district. The project is requesting to exceed the allowable heights for a fence installation on a street side property. The applicants have carefully designed the proposed fence to increase size to 48” whereas the maximum allowable fence height of 36” and 60% opaque.

The applicant appeared before the Plan Commission to provide guidance on a fence design that would enhance the location in addition provide a safety guardrail for pedestrian traffic on the property that has a significant drop of greater than 8’ onto the property below.

The applicant and Plan Commission members agreed upon a design that in keeping with the newly renovated building design and allowing for the safety of the pedestrians in the considerations, the design was to have the lower fence materials matches the building exterior in addition the installation of horizontal wire above the fence be installed that are reminiscent of the materials used for the deck railings on the building.

Project Details from CUP Submittal

The proposed project exceeds the allowable fence heights in the Central Business (CB) Zoning District.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed conditional use includes increases in the fence heights, the rendition of the proposed fence location in the Central Business district.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any

- other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  - e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
  - f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

640 W. MAIN St. LAKE GENEVA

NAME AND ADDRESS OF CURRENT OWNER:

Letitia Erdman / FYF LLC

5455 Steele rd. Burlington

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: 920-723-1317 lakegenevapremiumrentals@gmail.com

NAME AND ADDRESS OF APPLICANT:

Same as above

TELEPHONE NUMBER & EMAIL OF APPLICANT:

PROPOSED CONDITIONAL USE:

Amendment to existing fence in front of building (at Main St.)  
per recommendation by planning commission (May 21<sup>st</sup>  
meeting/discussion)

ZONING DISTRICT IN WHICH LAND IS LOCATED: Central Business

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Ryan Schultz Opening Design Madison, WI

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Remove 26" of applied wood fence at top and replace w/  
open horizontal cable

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

5/23/18

DATE

L Erdman  
SIGNATURE OF APPLICANT

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: 5/21/18 Time of Meeting: 6:00 pm Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: 6/18/18 Time of Meeting: 6:00 pm Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_



- \_\_\_ (a) A map of the proposed conditional use:
  - \_\_\_ Showing all lands for which the conditional use is proposed;
  - \_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;
  - \_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
  - \_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
  - \_\_\_ Map and all its parts are clearly reproducible with a photocopier;
  - \_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
  - \_\_\_ All lot dimensions of the subject property provided;
  - \_\_\_ Graphic scale and north arrow provided.

- \_\_\_ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- \_\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- \_\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- \_\_\_\_\_ (e) Written justification for the proposed conditional use:  
 \_\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

### III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

per recommendation by planning committee (5/21/18) I am to alter existing 58" horizontal wood fence at building front to 42" wood and 26" wire cable to ensure public safety

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Design approved by planning committee to meet goals of aesthetics & safety

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

no

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Fence blocks pedestrians from falling through to lower concrete courtyard while maintaining views to park in rear of property

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

YES

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

YES

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

IV. FINAL APPLICATION PACKET INFORMATION

\_\_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

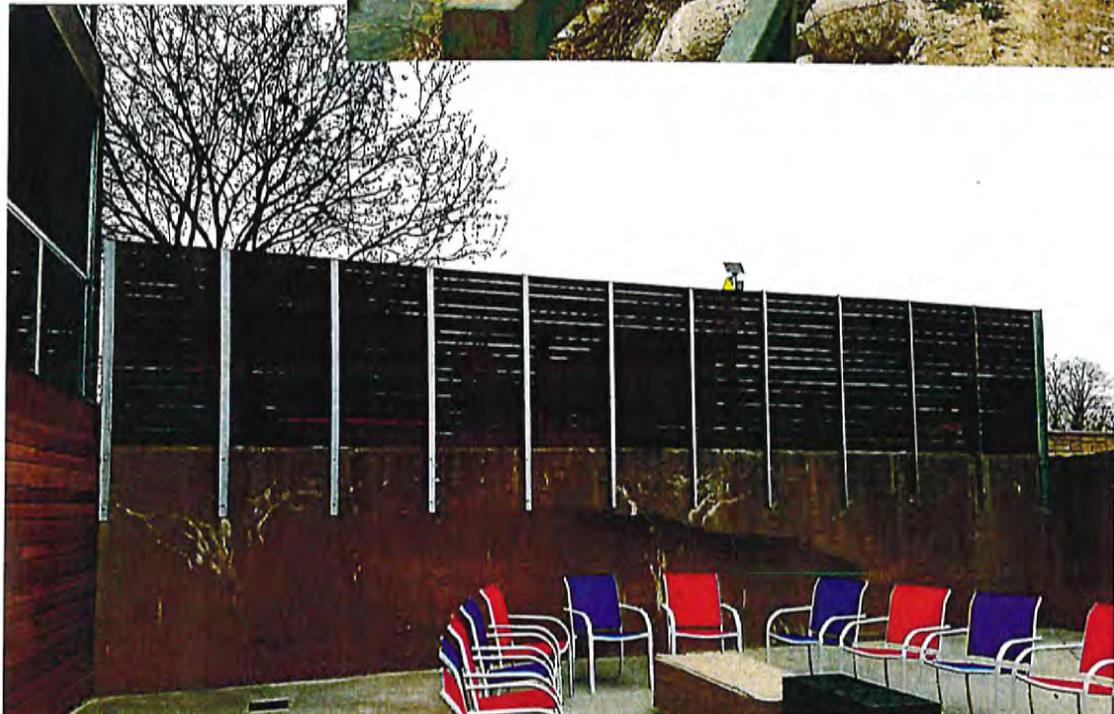
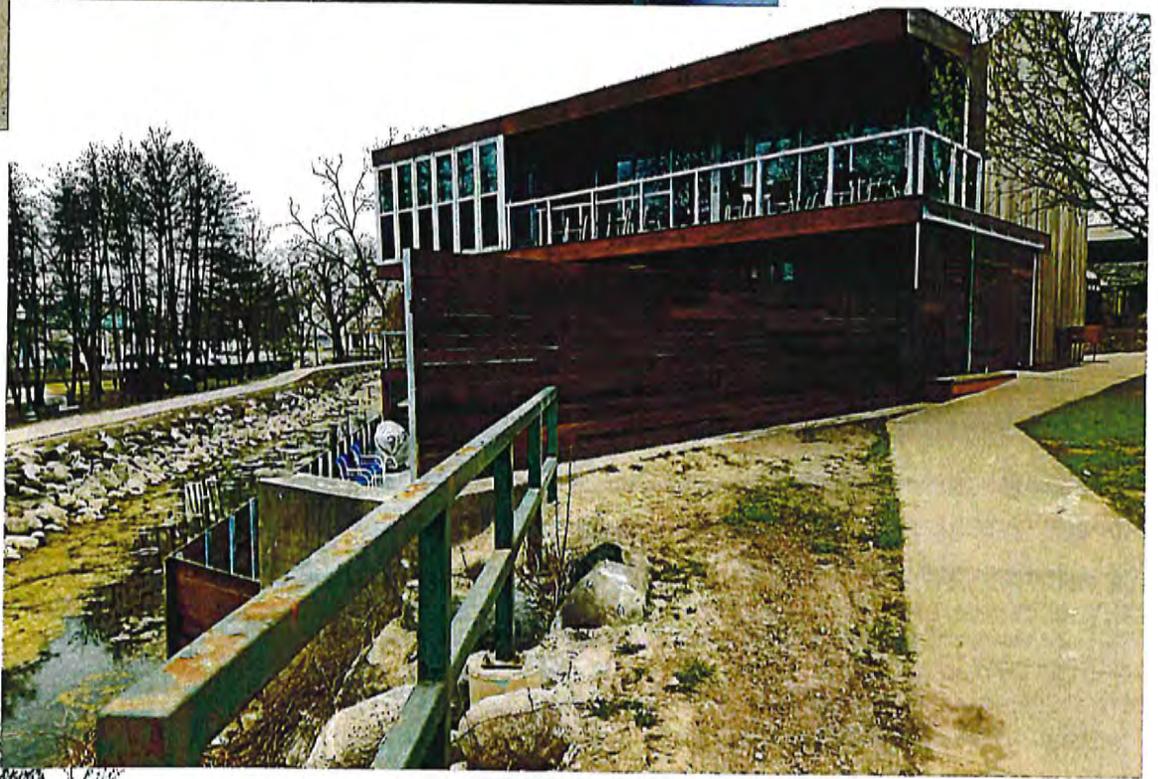
\_\_\_\_ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

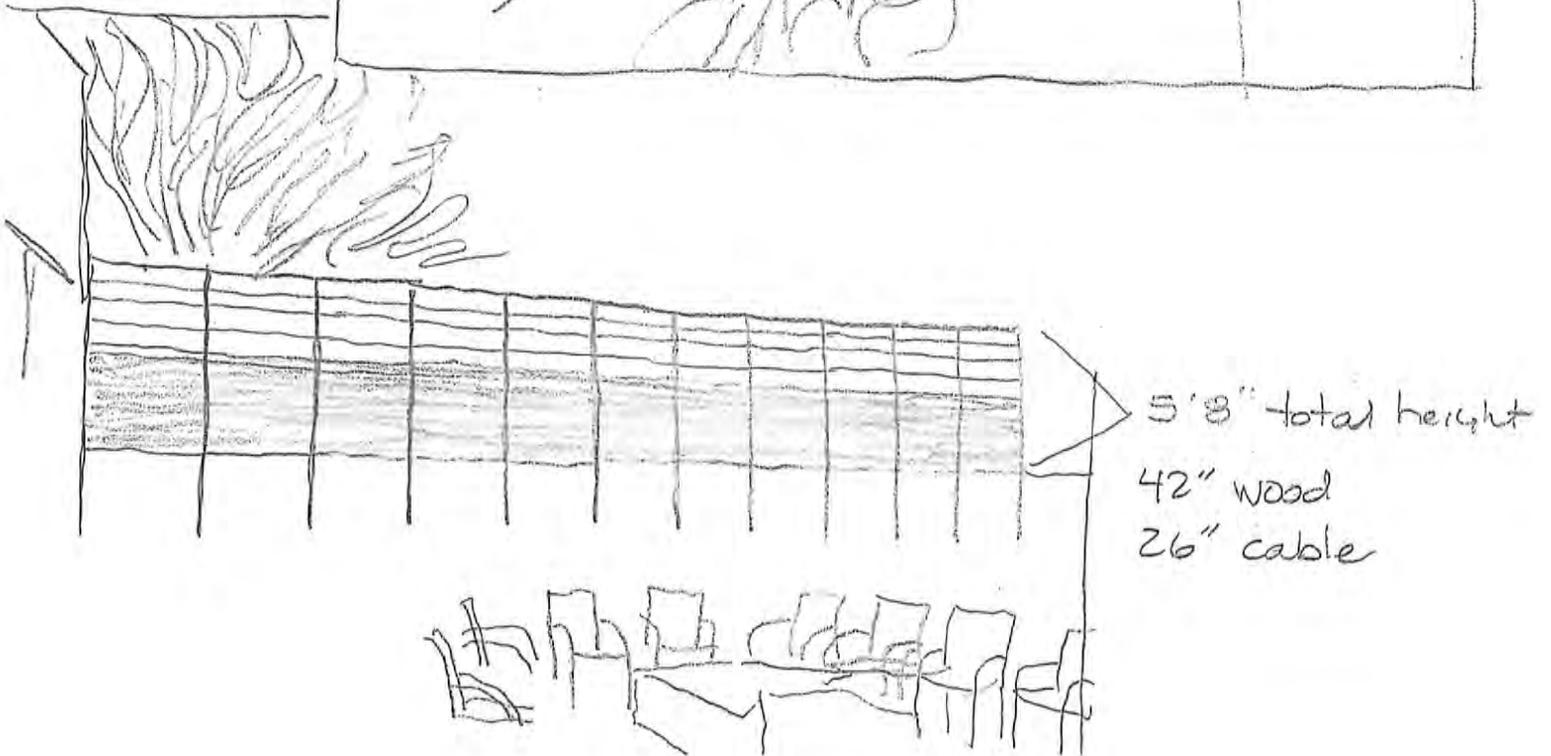
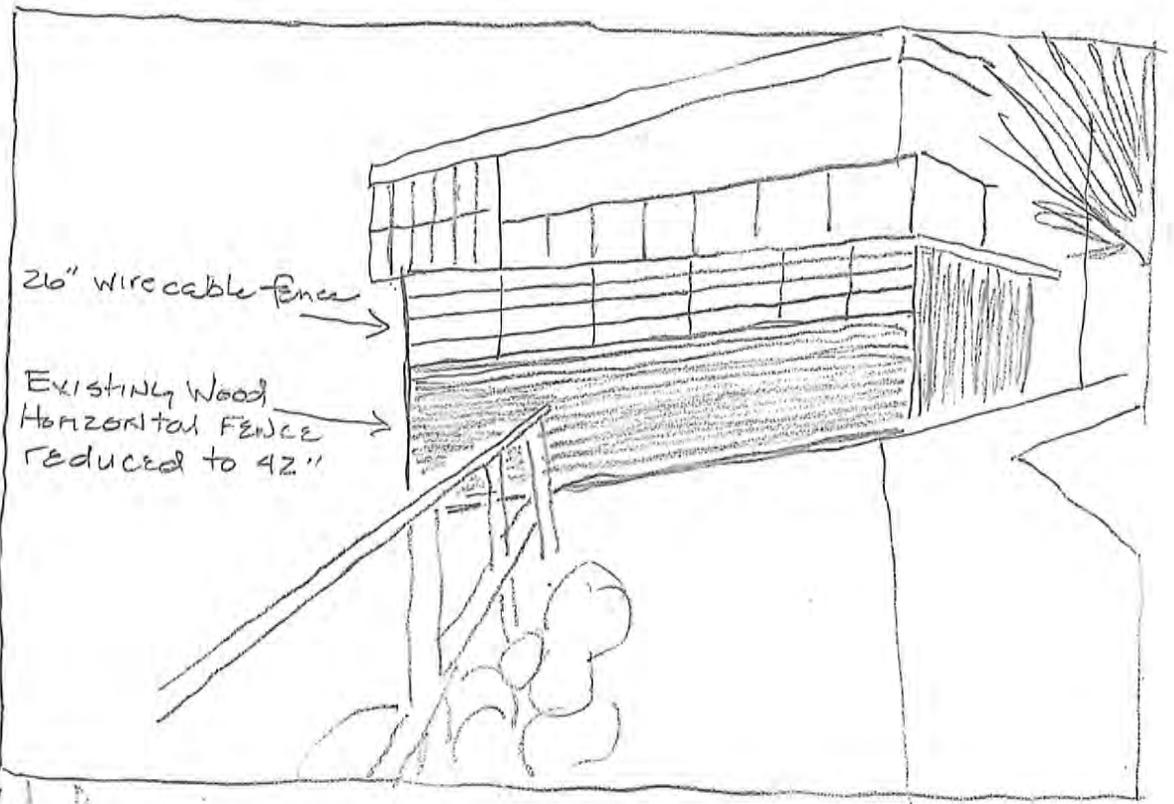
\_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Conditional Use recorded with the County Register of Deeds Office: Date: \_\_\_\_\_ by: \_\_\_\_\_



# AFTER



STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: June 18, 2018

Agenda Item: 8

Applicant:

Reeds Construction LLC  
W3199 S Lake Shore Drive  
Lake Geneva, WI 53147

Request: 962 Mariane Terrace

Boat Slip - Conditional Use Permit  
Serendipity & Sunsets LLC. Keith Rozolis  
Tax Key No. ZOP00032  
P.O. Box 649  
Cary, IL 60013

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a new boat slip at 962 Mariane Terrace. The slip would involve a wood pier with six wood cribs filled with rock. Detailed crib and decking designs are included in the submittal. The slip is proposed to be 4 x 40 feet and would be connected to the 100 foot long main pier by a 4 x 18.5 foot catwalk. The boat slip would be parallel to the main pier and would be used for private boat docking and summer boat storage.

The City conditions all Conditional Use Permits for boat slips and piers on approval from the DNR. A copy of the Wisconsin DNR Water Resources permit application is included in the submittal.

As proposed, the new boat slip meets the 100-foot maximum length for piers (per Section 90-142 of the Lake Geneva Municipal Code). The pier meets the 12.5-foot setback from the adjacent riparian zone boundary (Section 90-143(e)). The pier does not seem to create an unlawful obstruction, although this will be confirmed by the required review by Wisconsin DNR.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Municipal Ordinance.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other

plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached.
  - a. Conditional Use Permit approval is contingent on review and approval of the proposed slip by the Wisconsin DNR.

**APPLICATION FOR CONDITIONAL USE**  
*City of Lake Geneva*

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

962 Mariane Terrace, Lake Geneva, WI 53147

NAME AND ADDRESS OF CURRENT OWNER:

Serendipity & Sunsets, LLC - Keith Rozolis

PO Box 649, Cary, IL 60013

TELEPHONE NUMBER OF CURRENT OWNER: 608-207-0700

NAME AND ADDRESS OF APPLICANT:

Reed's Construction, LLC - Jeff Reed

W3199 S. Lake Shore Drive, Lake Geneva, WI 53147

TELEPHONE NUMBER OF APPLICANT: B 262-248-2934 cell 262-949-5064

PROPOSED CONDITIONAL USE:

Add a 6' x 34' long addition to current pier (current pier is 6' x 65') with a 12' x 12' L,

There will be 1 slip that is 4' wide x 18' 5 1/2" catwalk with a 4' x 40' slip

ZONING DISTRICT IN WHICH LAND IS LOCATED: Residential

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Reed's Construction, LLC

W3199 S. Lake Shore Drive

Lake Geneva, WI 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Install 6 cribs on the lake bed and fill with rock, then building of Jacks, stringers and decking at shop then haul it to lake and put it together

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

4/20/18

DATE

Jeff Reed / by Michele Reed

SIGNATURE OF APPLICANT

**AGREEMENT FOR SERVICES**

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Reed's Construction, LLC, as applicant/petitioner for:

Name: Jeff Reed  
Address: W3199 S. Lake Shore Drive  
Lake Geneva, WI 53147  
Phone: Office 262-248-2934 Cell 262-949-5064

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 20<sup>th</sup> day of April, 2018.

Jeff Reed  
Printed name of Applicant/Petitioner

Jeff Reed / by Michelle Baer  
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ **Pre-submittal staff meeting scheduled:**

**Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

**Follow-up pre-submittal staff meetings scheduled for:**

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Application form filed with Zoning Administrator:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Application fee of \$ \_\_\_\_\_ received by Zoning Administrator:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Reimbursement of professional consultant costs agreement executed:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

*Date:* \_\_\_\_\_ *by:* \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

*Date:* \_\_\_\_\_ *by:* \_\_\_\_\_

↓

\_\_\_ (a) **A map of the proposed conditional use:**

- \_\_\_ Showing all lands for which the conditional use is proposed;
- \_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;
- \_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- \_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- \_\_\_ Map and all its parts are clearly reproducible with a photocopier;
- \_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- \_\_\_ All lot dimensions of the subject property provided;
- \_\_\_ Graphic scale and north arrow provided.

\_\_\_ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**



\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

\_\_\_\_ (e) Written justification for the proposed conditional use:

\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

### III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Main Pier addition will be 6' wide x 34' long, with total length of pier 100'.

Slip will be 4' wide x 40' long with a 4' x 18' 5 1/2" catwalk with canopy.

Will be 22' off the west lot line and 12' 6" off the east lot line

2. How is the proposed conditional use, in its specific location, in harmony with the proposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Going to be used a private boat docking and summer housing for boat

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No, this is all on private property. It is a pier just like all the other piers on the lake

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Used for private boat dock

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

This is down on the water and the home owner is responsible for repair and up keep. It is made at a shop and hauled in to be installed. It is stored on private property when removed during the winter.

\_\_\_\_\_  
\_\_\_\_\_

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Public does not benefit. This is a private pier for private use only.

Will not cost the public anything.

\_\_\_\_\_  
\_\_\_\_\_

**IV.FINAL APPLICATION PACKET INFORMATION**

\_\_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Conditional Use recorded with the County Register of Deeds Office: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_\_

**Notice:** Pursuant to chs. 30 and 31, Wis. Stats., ch. 281, Wis. Stats., and s. 283.33, Wis. Stats., this form is used to apply for coverage under the state construction site storm water runoff general permit, and to apply for a state or federal permit or certification for waterway and wetland projects or dam projects. This form and any required attachments constitute the permit application. Failure to complete and submit this application form may result in a fine and/or imprisonment or forfeiture under the provisions of applicable laws including s. 283.91, Wis. Stats. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Public Records Laws (ss. 19.31-19.39, Wis. Stats.). This form is required for U.S. Army Corps of Engineers (ACOE) regulatory purposes pursuant to 33 CF 325.

Read all instructions provided before completing

Section 1: Landowner Information			
Organization, Entity or Name Serendipity & Sunsets, LLC		Authorized Representative (Last Name, First Name) Rozolis, Keith	
Mailing Address PO Box 649	City Cary	State IL	Zip Code 60013
Email krozolis@comcast.net	Phone Number (incl. area code) 608-207-0700	Alternative Phone Number	
Section 2: Applicant/Information <input checked="" type="checkbox"/> Select if same as landowner			
Organization, Entity or Name Serendipity & Sunsets, LLC		Contact Person (Last Name, First Name) Rozolis, Keith	
Mailing Address PO Box 649	City Cary	State IL	Zip Code 60013
Email krozolis@comcast.net	Phone Number (incl. area code) 608-207-0700	Alternative Phone Number	
Section 3: Primary Project Contact <input type="checkbox"/> Select if same as landowner			
<input type="radio"/> Consultant or Plan Preparer <input type="radio"/> Contractor <input type="radio"/> Agent <input type="radio"/> Other - specify: _____			
Name (Organization or Entity) Reed's Construction, LLC		Contact Person (Last Name, First Name) Reed, Jeff	
Mailing Address W3199 S. Lake Shore Drive	City Lake Geneva	State WI	Zip Code 53147
Email michele@reedsconstructionllc.com	Phone Number (incl. area code) 262-248-2934	Alternative Phone Number 262-248-9403	
Section 4: Project or Site Location:			
Project Name Rozolis, Keith	County Walworth	<input checked="" type="radio"/> City <input type="radio"/> Township <input type="radio"/> Village of LAKE GENEVA;C	
Location Address / Description 962 Mariane Terrace, Lake Geneva, WI 53147			
Public Land Survey System (PLSS) – Provide the section, range, township information and latitude and longitude in decimal degrees, if available.			
NE	of ¼ NW	of Section ¼ 01	Township 01 N Range 17 <input checked="" type="radio"/> E <input type="radio"/> W Latitude Longitude
If this site is not wholly contained in the quarter-quarter section, more description: Contained on quarter-quarter section			
<b>Waterways:</b> Provide the name(s) of closest water bodies Geneva Lake			

# Water Resources Application for Project Permits

Form 3500-053 (R 8/16)

Page 2 of 2

## Section 5: Wetlands

If a wetland is present at a project site and permit approvals are sought through the waterway and wetland program, storm water program, or concentrated animal feeding operations (CAFO) program, the department requires that a wetland delineation that accurately shows the location of a wetland is submitted with an application. A wetland delineation needs to be verified/concurred with before the application can be submitted or be considered a complete application. See the department "[Wetland screening and delineation procedures](http://dnr.wi.gov/topic/waterways/construction/wetlands.html)" at <http://dnr.wi.gov/topic/waterways/construction/wetlands.html> for more information for more information.

Is a wetland present in the project area?  Yes  No

**If yes**, select all sources of information used and attach supporting report or documentation

- a. A copy of your wetland delineation and a [Wetland Confirmation Service](#) concurrence letter (wetland boundary verification service offered for a fee from the department)
- b. An [assured delineator's](#) wetland delineation report
- c. A copy of your wetland delineation and an Army Corps of Engineers concurrence letter
- d. A copy of your correspondence with a [WDNR Office of Energy Water Management Specialist](#) or [WDNR Transportation Liaison](#) regarding your wetland review/ concurrence.

**If no**, please select one of the following items showing that a wetland is not present within the project boundaries:

- a. A copy of your wetland determination and a letter from the department's [Wetland Identification Program](#) stating wetlands are not present or the activity proposed in the wetland is exempt under NR 103.06(4)
- b. A letter from an assured delineator stating wetlands are not present
- c. Documentation showing that each of these resources were reviewed for wetland absence on the [Surface Water Data Viewer](#):
  - i. Surface Water Data Viewer- Wisconsin Wetland Inventory
  - ii. Surface Water Data Viewer- Wisconsin Indicator layer
  - iii. Surface Water Data Viewer- Digital Topographic map layer or aerial photo indicating if waterways, drainage ways, ditches, depressions, or standing water are within project boundary
- d. Show that the project limits are entirely in existing paved, graveled, or concrete areas
- e. A copy of your correspondence with a [WDNR Office of Energy Water Management Specialist](#) or [WDR Transportation Liaison](#) regarding your wetland review/concurrence

( Please note that if the information provided is incorrect or incomplete, the overall permit application may be considered incomplete and may be returned to the applicant.)

## Section 6: Endangered or Threatened Resources

Has the presence of endangered or threatened resources been evaluated according to protocols developed by the DNR Bureau of National Heritage Conservation (BNHC) <http://dnr.wi.gov/topic/ERReview>  Yes  No

If Yes, select how the evaluation was completed and attach supporting report or documentation:

- a. Endangered Resources Preliminary Assessment from the Public Portal
- b. Certified ER Review Letter - specify: ERR-\_\_\_\_\_ (example ERR-15-123
- c. Broad Incidental Take Permit /Authorization -specify (e.g. No / Low Impact Activities, Grassland & Savanna Management, etc.): \_\_\_\_\_
- d. Other: \_\_\_\_\_

## Section 7: Project Information (Attach additional sheets as necessary)

Anticipated Project Start Date: 6/25/2018	Projected Project End Date: 12/31/2019
Photos: Provide photographs of the "before" condition.	Date of Photographs: 6/19/2017

### Narrative of the Project:

Provide a one to two paragraph description of the proposed project, including land and water alterations and intended use(s) of the project. Include this in the attachment section.

## Section 8: Certification and Permissions



April 11, 2018

IP-SE-2018-65-00125

Serendipity & Sunsets, LLC  
Keith Rozolis  
PO Box 649  
Cary, IL 60013

Dear Mr. Rozolis:

The Department of Natural Resources has completed its review of your application for a permit to enlarge a pier (Pier 867) on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County. You will be pleased to know your application is approved.

I am attaching a copy of your permit, which lists the many important conditions that must be followed to protect water quality and habitat. A copy of the permit must be posted for reference at the project site. Please read your permit conditions carefully so that you are fully aware of what is expected of you.

Please note you are required to submit photographs of the completed project within 7 days after you've finished construction. This helps both of us to document the completion of the project and compliance with the permit conditions.

Your next step will be to notify me of the date on which you plan to start construction and again after your project is complete.

If you have any questions about your permit, please call me at (262) 574-2136 or email [Elaine.Johnson@wisconsin.gov](mailto:Elaine.Johnson@wisconsin.gov).

Sincerely,

Elaine Johnson  
Water Management Specialist

cc: Reeds Construction, Contractor  
Rachel Nuetzel, U.S. Army Corps of Engineers  
City of Lake Geneva  
Walworth County

**STATE OF WISCONSIN Pier PERMIT  
DEPARTMENT OF NATURAL RESOURCES**

**IP-SE-2018-65-00125**

Keith Rozolis is hereby granted under Section 30.12(3m), Wisconsin Statutes, a permit to enlarge a pier on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the NE1/4 of the NW1/4 of Section 1, Township 1 North, Range 17 East, subject to the following conditions:

**PERMIT**

1. You must notify Elaine Johnson at phone (262) 574-2136 or email [Elaine.Johnson@wisconsin.gov](mailto:Elaine.Johnson@wisconsin.gov) before starting construction and again not more than 5 days after the project is complete.
2. You must complete the project as described on or before 04/11/2021. If you will not complete the project by this date, you must submit a written request for an extension prior to expiration of the initial time limit specified in the permit. Your request must identify the requested extension date. The Department shall extend the time limit for an individual permit or contract for no longer than an additional 5 years if you request the extension before the initial time limit expires. You may not begin or continue construction after the original permit expiration date unless the Department extends the permit in writing or grants a new permit.
3. This permit does not authorize any work other than what you specifically describe in your application and plans, and as modified by the conditions of this permit. If you wish to alter the project or permit conditions, you must first obtain written approval of the Department.
4. Before you start your project, you must first obtain any permit or approval that may be required for your project by local zoning ordinances and by the U.S. Army Corps of Engineers. You are responsible for contacting these local and federal authorities to determine if they require permits or approvals for your project. These local and federal authorities are responsible for determining if your project complies with their requirements.
5. Upon reasonable notice, you shall allow access to your project site during reasonable hours to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance.
6. The Department may modify or revoke this permit for good cause, including if the project is not completed according to the terms of the permit or if the Department determines the activity is detrimental to the public interest.
7. You must post a copy of this permit at a conspicuous location on the project site, visible from the waterway, for at least five days prior to construction, and remaining at least five days after construction. You must also have a copy of the permit and approved plan available at the project site at all times until the project is complete.
8. Your acceptance of this permit and efforts to begin work on this project signify that you have read, understood and agreed to follow all conditions of this permit.
9. You must submit a series of photographs to the Department, within one week of completing work on the site. The photographs must be taken from different vantage points and depict all work authorized by this permit.

10. You, your agent, and any involved contractors or consultants may be considered a party to the violation pursuant to Section 30.292, Wis. Stats., for any violations of Chapter 30, Wisconsin Statutes, or this permit.
11. Construction shall be accomplished in such a manner as to minimize erosion and siltation into surface waters. Erosion control measures (such as silt fence and straw bales) must meet or exceed the technical standards of ch. NR 151, Wis. Adm. Code. The technical standards are found at: [http://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html) .
12. All equipment used for the project including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps shall be de-contaminated for invasive and exotic viruses and species prior to use and after use.

The following steps must be taken *every time* you move your equipment to avoid transporting invasive and exotic viruses and species. To the extent practicable, equipment and gear used on infested waters shall not be used on other non-infested waters.

1. **Inspect and remove** aquatic plants, animals, and mud from your equipment.
2. **Drain all water** from your equipment that comes in contact with infested waters, including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps.
3. **Dispose** of aquatic plants, animals in the trash. Never release or transfer aquatic plants, animals or water from one waterbody to another.
4. **Wash your equipment** with hot (>140° F) and/or high pressure water,

- OR -

Allow your equipment to **dry thoroughly for 5 days.**

13. This permit authorizes future maintenance to the pier structures; however, no change can be made to the type of materials, number of slips, signage or pier configuration without written approval from the Department or amendment of this permit.
14. This pier must not interfere with the rights of other riparians.
15. The pier must allow the free movement of water and must not entrap vegetation.
16. The pier must not enclose any portion of the navigable waterway.
17. All canopies and boat shelters must comply with the standards in NR 326, Wisconsin Administrative Code & 30.01 (1c)(a), Wisconsin Statutes.
18. Electrical, fueling, and waste handling facilities must comply with applicable safety and environmental protection regulations.
19. If foam flotation is used, this material must be completely coated or contained to resist deterioration from the elements and gasoline. A written description of the proposed material must be submitted to the Department for approval prior to use.

## FINDINGS OF FACT

1. Keith Rozolis has filed an application for a permit to enlarge a pier on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the NE1/4 of the NW1/4 of Section 1, Township 1 North, Range 17 East.
2. The proposed project involves the extension of the existing 65 foot long pier to 99 feet from the shoreline, the addition of a 12 foot wide by 12 foot long loading platform, and 4 foot wide by 18.5 long and 4 foot wide by 40 foot long catwalks around 1 boat slip. The pier additions will be supported by 6 rock filled support cribs (416 square feet).
3. The Department has completed an investigation of the project site and has evaluated the project as described in the application and plans.
4. Geneva Lake is a navigable water.
5. The proposed project, if constructed in accordance with this permit will not adversely affect water quality, will not increase water pollution in surface waters and will not cause environmental pollution as defined in s. 283.01(6m), Wis. Stats.
6. The proposed project will not impact wetlands if constructed in accordance with this permit.
7. The Department of Natural Resources has determined that the agency's review of the proposed project constitutes an equivalent analysis action under s. NR 150.20(2), Wis. Adm. Code. The Department has considered the impacts on the human environment, alternatives to the proposed projects and has provided opportunities for public disclosure and comment. The Department has completed all procedural requirements of s. 1.11(2)(c), Wis. Stats., and NR 150, Wis. Adm. Code for this project.
8. The Department of Natural Resources has completed all procedural requirements and the project as permitted will comply with all applicable requirements of sections 30.12(3m), Wisconsin Statutes and Chapters NR 102, 103, 326 of the Wisconsin Administrative Code.

The applicant was responsible for fulfilling the procedural requirements for publication of notices under s. 30.208(5)(c)1m., Stats., and was responsible for publication of the notice of pending application under s.30.208(3)(a), Stats. or the notice of public informational hearing under s.30.208(3)(c), Stats., or both. S. 30.208(3)(e), Stats., provides that if no public hearing is held, the Department must issue its decision within 30 days of the 30-day public comment period, and if a public hearing is held, the Department must issue its decision within 20 days after the 10-day period for public comment after the public hearing. S. 30.208(5)(bm), Stats., requires the Department to consider the date on which the department publishes a notice on its web site as the date of notice.

9. The structure or deposit will not materially obstruct navigation because vessels will be able to navigate around the structure and waterward of the structure.
10. The structure or deposit will not be detrimental to the public interest. The project will not increase the number of slips at the site beyond what would be considered reasonable use and the pier will be of similar size and configuration of other piers on Geneva Lake.

## CONCLUSIONS OF LAW

1. The Department has authority under the above indicated Statutes and Administrative Codes, to issue a permit for the construction and maintenance of this project.

## NOTICE OF APPEAL RIGHTS

If you believe that you have a right to challenge this decision, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions shall be filed. For judicial review of a decision pursuant to sections 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review shall name the Department of Natural Resources as the respondent.

To request a contested case hearing of any individual permit decision pursuant to section 30.209, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources, P.O. Box 7921, Madison, WI, 53707-7921. The petition shall be in writing, shall be dated and signed by the petitioner, and shall include as an attachment a copy of the decision for which administrative review is sought. If you are not the applicant, you must simultaneously provide a copy of the petition to the applicant. If you wish to request a stay of the project, you must provide information, as outlined below, to show that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment. If you are not the permit applicant, you must provide a copy of the petition to the permit applicant at the same time that you serve the petition on the Department.

**The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30 day period for filing a petition for judicial review.**

A request for contested case hearing must meet the requirements of section 30.209, Wis. Stats., and sections NR 2.03, 2.05, and 310.18, Wis. Admin. Code, and if the petitioner is not the applicant the petition must include the following information:

1. A description of the objection that is sufficiently specific to allow the department to determine which provisions of this section may be violated if the proposed permit or contract is allowed to proceed.
2. A description of the facts supporting the petition that is sufficiently specific to determine how the petitioner believes the project, as proposed, may result in a violation of Chapter 30, Wis. Stats.;
3. A commitment by the petitioner to appear at the administrative hearing and present information supporting the petitioner's objection.

If the petition contains a request for a stay of the project, the petition must also include information showing that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment.

Dated at Waukesha Service Center, Wisconsin on 04/11/2018.

STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES  
For the Secretary



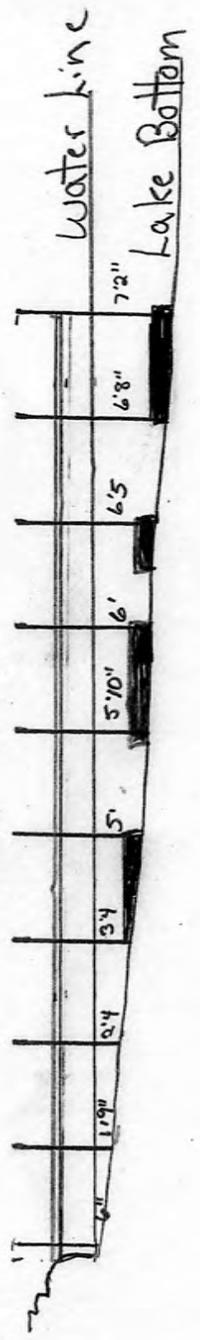
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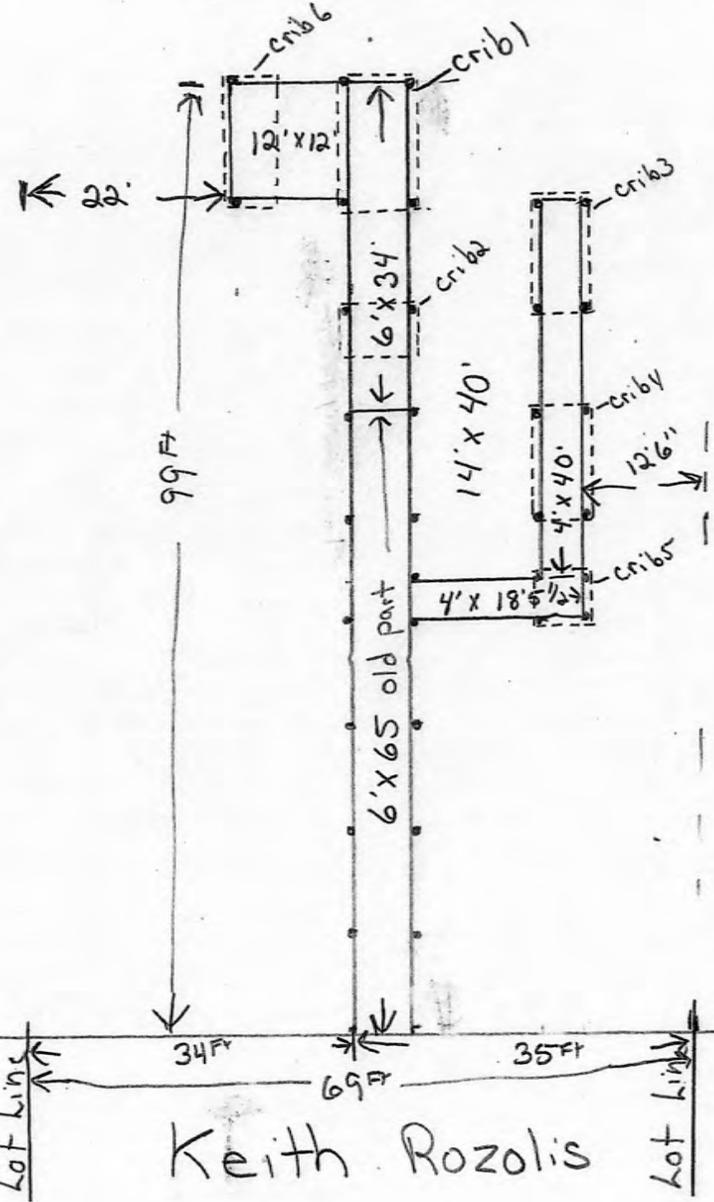
Elaine Johnson  
Water Management Specialist

1" = 20 Ft

Cross View



Top View  
pier # 867



Water Dept

100'	7'2"
99 Ft	6'8"
80 Ft	6'5"
70 Ft	6'
60 Ft	5'10"
50 Ft	5 Ft
40 Ft	3'3"
30 Ft	2'4"
20 Ft	1'9"
10 Ft	6"

Crib sq Ft

- crib 1 8' x 13' = 104'
- crib 2 8' x 6' = 48'
- crib 3 6' x 12' = 72'
- crib 4 6' x 12' = 72'
- crib 5 6' x 6' = 36'
- crib 6 14' x 6' = 84'
- Total cribs sq Ft 416 Ft

Ernie Bayer

Keith Rozolis

Jonathan W. Grosso





Keith Rozolis  
Anton old House

### PLAT OF SURVEY LOT 16 AND PART OF LOT 17 OF SYVER-STAD LAKE SHORE ESTATES

LOCATED IN PART OF THE NE 1/4 OF THE NW 1/4 OF SECTION 1,  
TOWN 1 NORTH, RANGE 17 EAST, WALWORTH COUNTY, WISCONSIN

LEGAL DESCRIPTION  
LOT 16 OF SYVER-STAD LAKE SHORE ESTATES; ALSO PART OF LOT 17 OF SAID SUBDIVISION DESCRIBED AS BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 17; THENCE SOUTH 22°28' WEST ALONG THE WESTERLY LINE OF SAID LOT 17, 86.73 FEET; THENCE SOUTH 89°31' EAST 28.00 FEET; THENCE NORTH 15°26' EAST 77.23 FEET TO THE NORTH LINE OF SAID LOT 17; THENCE SOUTH 83°28' WEST 19.56 FEET TO THE PLACE OF BEGINNING, SAID LAND BEING IN THE CITY OF LAKE GENEVA, COUNTY OF WALWORTH, STATE OF WISCONSIN.

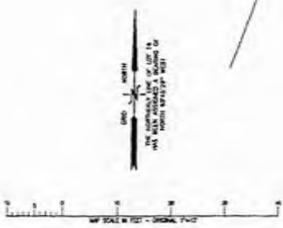
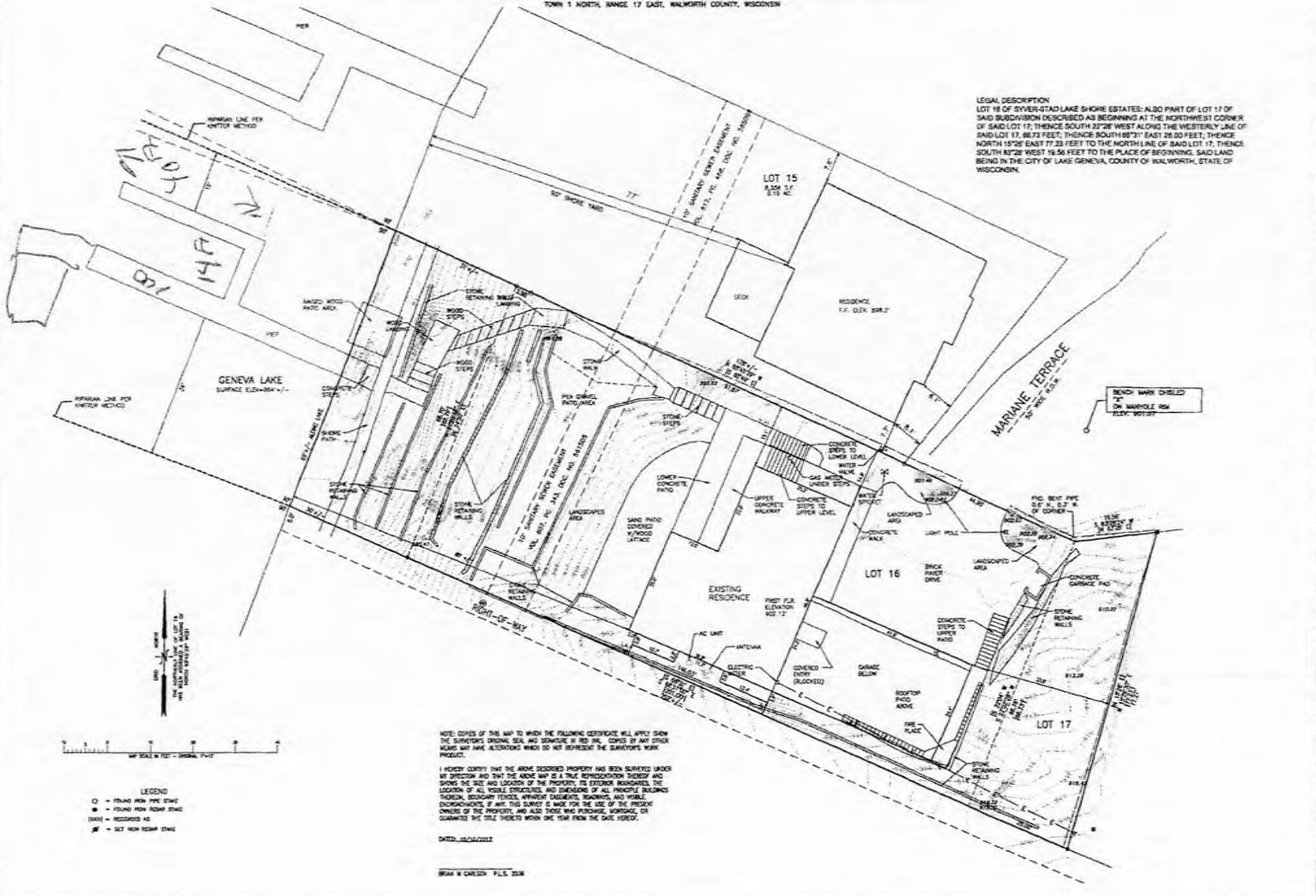


WORK ORDERED BY --  
GEORGE ANTONOPOLIS  
751 GENEVA PARKWAY P.O. BOX 480  
LAKE GENEVA, WISCONSIN 53147

FARRIS, HANSEN & ASSOCIATES, INC.  
ENGINEERING - ARCHITECTURE - SURVEYING  
7 HOBAN COURT, SUITE 417  
LAKESHORE, WISCONSIN 53111  
OFFICE: (262) 733-2008 FAX: (262) 733-0888

ISSUANCE  
REVISED - SEE ORIGINAL DWG SET  
REPLACES - SEE ORIGINAL DWG SET

PROJECT NO.  
16-23  
DATE  
10/10/2017  
SHEET NO.  
1 OF 1

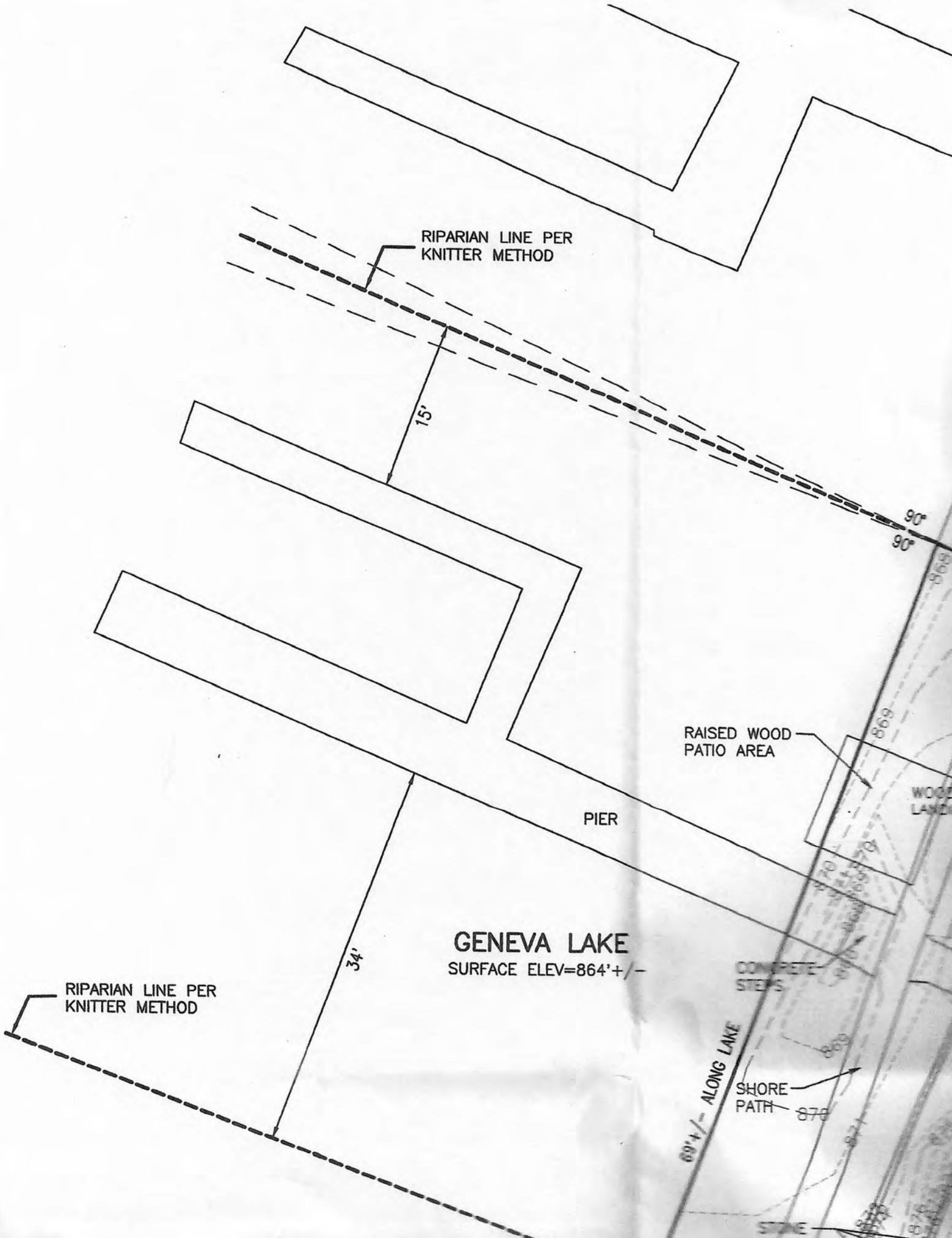


- LEGEND
- = FOUND FROM PIPE STAKE
  - = FOUND FROM IRON PIPE STAKE
  - (---) = RECORDED AS
  - = SET FROM IRON STAKE

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY SUPERVISION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, THE EXISTING BUILDINGS, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS, TERRACE, RETAINING WALLS, APPROVED ELEVATIONS, EASEMENTS, AND VISIBLE ENCROACHMENTS IF ANY. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNER OF THE PROPERTY, AND ALSO THERE WAS PROVIDED, WORKING, OR GUARANTEE THE TITLE THEREIN WITHIN ONE YEAR FROM THE DATE HEREOF.

DATE: 10/10/2017  
BY: CARLOS F.L.S. 2018



RIPARIAN LINE PER KNITTER METHOD

15'

90°  
90°

RAISED WOOD PATIO AREA

PIER

GENEVA LAKE  
SURFACE ELEV=864'+/-

RIPARIAN LINE PER KNITTER METHOD

34'

CONCRETE STEPS

69' +/- ALONG LAKE

SHORE PATH

876

WOOD-LANDSCAPE

STONE

876

875

874

873

872

871

870

869

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TRUSTEE'S DEED

Document No.

Document Name

THIS DEED, made between

George Antonopoulos, Trustee of The George Antonopoulos Self-Declaration of Trust dated November 25, 2008 and Mary Antonopoulos, Trustee of The Mary Antonopoulos Self-Declaration of Trust dated November 25, 2008

("Grantor," whether one or more), and

Serendipity & Sunsets, LLC

("Grantee," whether one or more).

Grantor conveys to Grantee, without warranty, the following described real estate, together with the rents, profits, fixtures and other appurtenant interests, in County of Walworth, State of Wisconsin ("Property") (If more space is needed, please attach addendum):

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Recording Area

Name and Return Address:

Keith F Rozolis
Serendipity & Sunsets, LLC
PO BOX 649
Cary, IL 60013

ZSY 00016

Parcel Identification No. (PIN) WA-10270

This is not homestead property.

Dated: 1-3-18

The George Antonopoulos Self-Declaration of Trust dated November 25, 2008

BY: George Antonopoulos
George Antonopoulos
Trustee

The Mary Antonopoulos Self-Declaration of Trust dated November 25, 2008

BY: Mary Antonopoulos
Mary Antonopoulos
Trustee

AUTHENTICATION

Signature(s) authenticated on:

Signature lines for authentication

\* TITLE: MEMBER STATE BAR OF WISCONSIN
(If not, authorized by Wis. Stat. 206.06)

THIS INSTRUMENT DRAFTED BY
Attorney William J. Randolph



ACKNOWLEDGMENT

State of Wisconsin
County of Walworth

Personally came before me on January 5, 2018
the above named George Antonopoulos and
Mary Antonopoulos

to me known to be the person(s) who executed the foregoing
instrument and acknowledged the same.

Notary Signature

Notary Public

My commission (is permanent) (expires: 10/26/2021)

(Signatures may be authenticated or acknowledged. Both are not necessary.)

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.

TRUSTEE'S DEED

2003 STATE BAR OF WISCONSIN

FORM NO. 7-2003

\*Type name below signatures

Handwritten mark

**EXHIBIT "A"**  
Legal Description

Lot 16 of Syverstad Lake Shore Estates: Also that part of Lot 17 of said subdivision described as beginning at the Northwest corner of said Lot 17; thence South 22°04' West along the Westerly line of said Lot 17, 66.73 feet; thence South 66°31' East 26.00 feet; thence North 15°26' East 77.23 feet to the North line of said Lot 17; thence South 83°28' West 19.56 feet to the place of beginning. Said land being in the City of Lake Geneva, County of Walworth, State of Wisconsin.

Tax Key No.: ZSY 00016

(Signatures may be authenticated or acknowledged. Both are not necessary.)

**NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.**

**TRUSTEE'S DEED**

**2003 STATE BAR OF WISCONSIN**

**FORM NO. 7-2003**

\*Type name below signatures

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: June 18, 2018

Agenda Item: 9

Applicant:

Greg Anagnos  
N1567 Clover Rd.  
Lake Geneva WI, 53147

Request:

501 ½ Broad Street  
Conditional Use Permit (CUP) for  
Commercial Indoor Lodging land use in the  
Central Business (CB) Zoning District  
Tax Key No. ZOP00032

Description:

The applicant is submitting a proposal for the issuance of a Conditional Use Permit (CUP) to utilize the property located at 501 ½ Broad Street for the Commercial Indoor Lodging Services land use located in the Central Business (CB) zoning district.

The request is to allow the property owners rent the units out for a rental term of less than 6 days in accordance with the Commercial Indoor Lodging.

Project Details from CUP Submittal

The proposed request of for this use is a permitted land use in the CB zoning if granted the CUP for the two units located on the second floor.

Staff Review Comments:

In speaking with the applicant, it is understood that the process for this request is that two second floor units will need to have to meet the guidelines for Commercial Indoor Lodging and be applied at the time they wish to rent that unit.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
- b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above, noting that the proposal is a fully consistent with the setback requirements of the Central Business (CB) zoning district.

**APPLICATION FOR CONDITIONAL USE**

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

ZOP 00032

501 1/2 Broad Street, 729 Dodge Street

NAME AND ADDRESS OF CURRENT OWNER:

Conroy Anagnos

N1567 Cloven rd

Lake Geneva, WI 53147

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER:

262-745-1114

NAME AND ADDRESS OF APPLICANT:

SAME as ABOVE

TELEPHONE NUMBER & EMAIL OF APPLICANT:

chefgug1962@netzero.com

PROPOSED CONDITIONAL USE:

Apartment Rental on existing Apartments  
Commercial indoor lodging

ZONING DISTRICT IN WHICH LAND IS LOCATED: Central Business

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

n/a

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Short term lodging for guests  
visiting Lake Geneva

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

5-8-18

DATE

SIGNATURE OF APPLICANT

May 7<sup>th</sup>, 2018

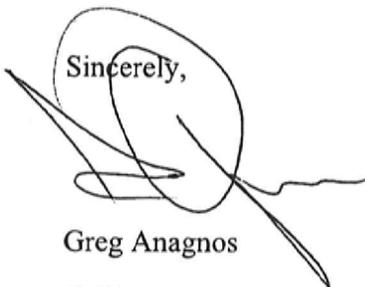
## Broad Street Suites

I am applying for a conditional use permit for commercial indoor lodging to allow short term rental of my existing two apartments at ZOP 00032. The apartments are zoned in the central business district and are currently utilized as licensed long-term rentals.

Each two bedroom unit will accommodate 6 persons maximum. There are two assigned private parking spaces behind the property for each unit. The proposed development shall comply with all requirements of Article VII. There will be no outside storage of recreational equipment.

I have attached floor plans of both units, as well as a map indicating private parking.

Sincerely,

A handwritten signature in black ink, appearing to read "Greg Anagnos", written over the word "Sincerely,". The signature is stylized with a large loop and a long horizontal stroke.

Greg Anagnos

(262)745-1114

- \_\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- \_\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- \_\_\_\_\_ (e) Written justification for the proposed conditional use:
  - \_\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

**III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE**

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The property meets all requirements to operate as a commercial indoor lodging facility.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Same as above

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

no, it does not negatively affect any of the above factors.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The property is located in the central business district and is already being used as a long term rental.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

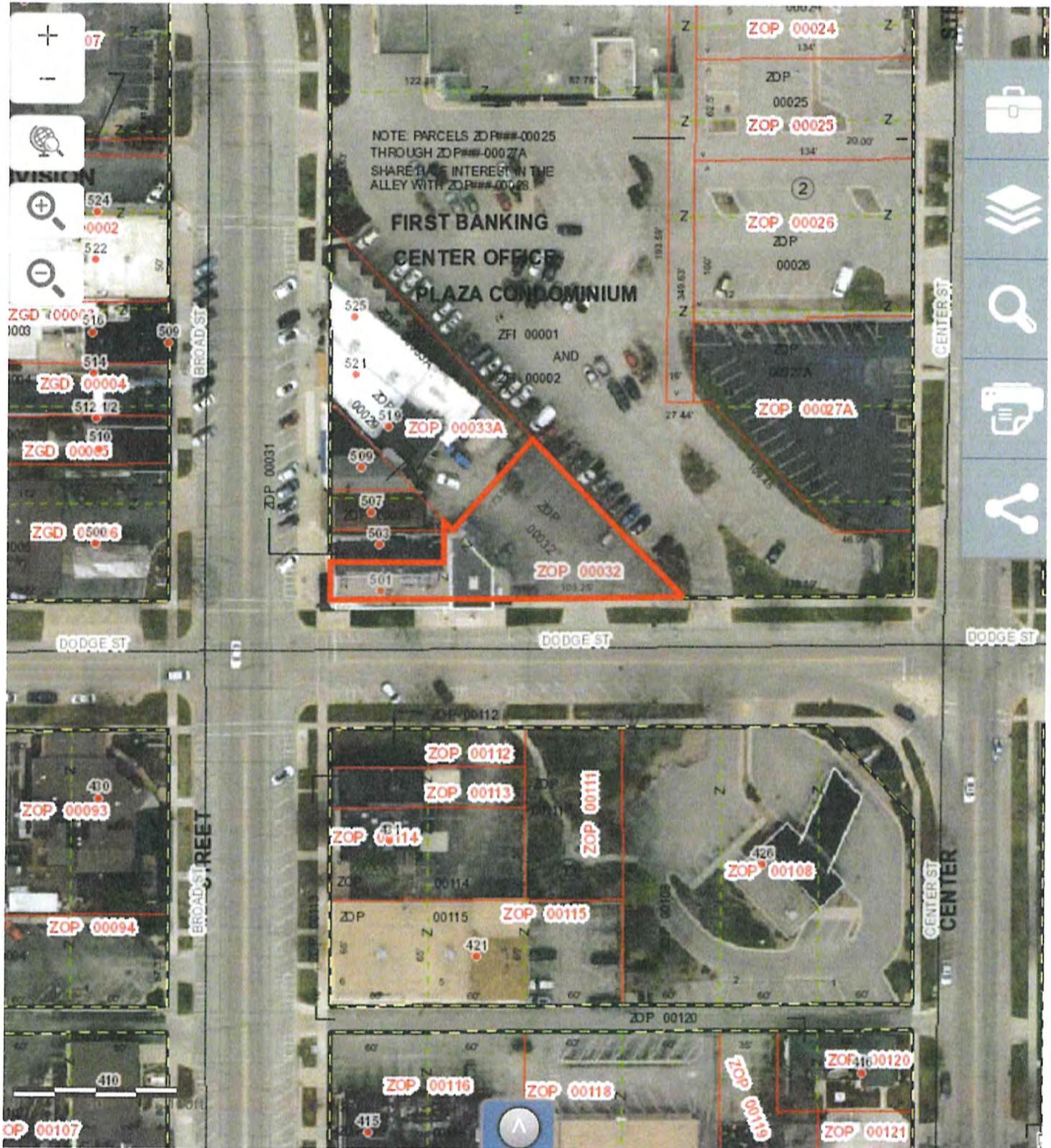
Yes.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes, this will promote Lake Geneva's visitor population, thus stimulating our economy.

#### IV. FINAL APPLICATION PACKET INFORMATION

- \_\_\_\_ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Conditional Use recorded with the County Register of Deeds Office:      Date: \_\_\_\_\_ by: \_\_\_\_\_



NOTE PARCELS ZOP###-00025 THROUGH ZOP###-00027A SHARE HAVE INTEREST IN THE ALLEY WITH ZOP###-00028

**FIRST BANKING  
CENTER OFFICE  
PLAZA CONDOMINIUM**

ZOP 00024

ZOP 00025

ZOP 00026

ZOP 00027A

ZOP 00032

ZOP 00033A

ZOP 00032

ZOP 00112

ZOP 00113

ZOP 00114

ZOP 00115

ZOP 00108

ZOP 00116

ZOP 00118

ZOP 00119

ZOP 00120

ZOP 00121





\* UNIT One  
UPPER APARTMENT  
(2 BEDROOM)

STAIRWAY → UP

BROAD STREET

BED ROOM 2  
8' x 10'

KITCHEN  
8' x 12'

BATH  
7' x 5'

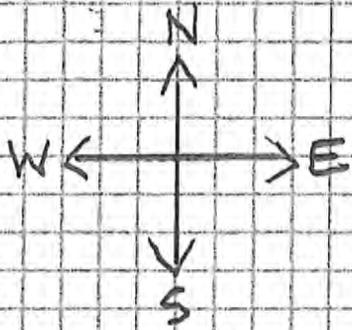
LIVING ROOM  
10' x 20' (APPROX)

BED ROOM 1  
10' x 10'

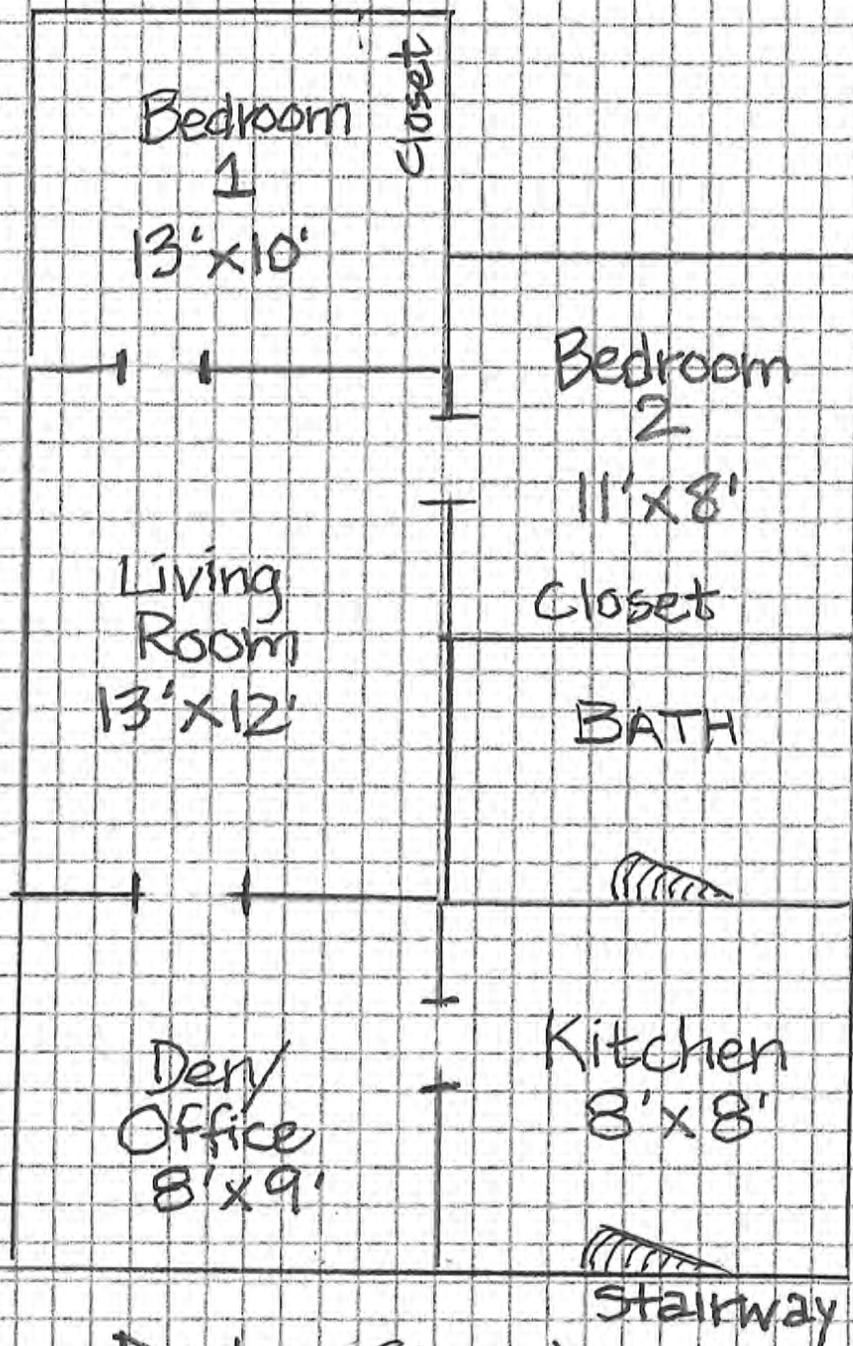
Medusa Restaurant  
Below Unit

\* TWO DESIGNATED  
PARKING SPACES  
IN REAR LOT OF  
BUILDING →

Dodge Street



**\* UNIT TWO  
UPPER APARTMENT  
(2 Bedroom)**

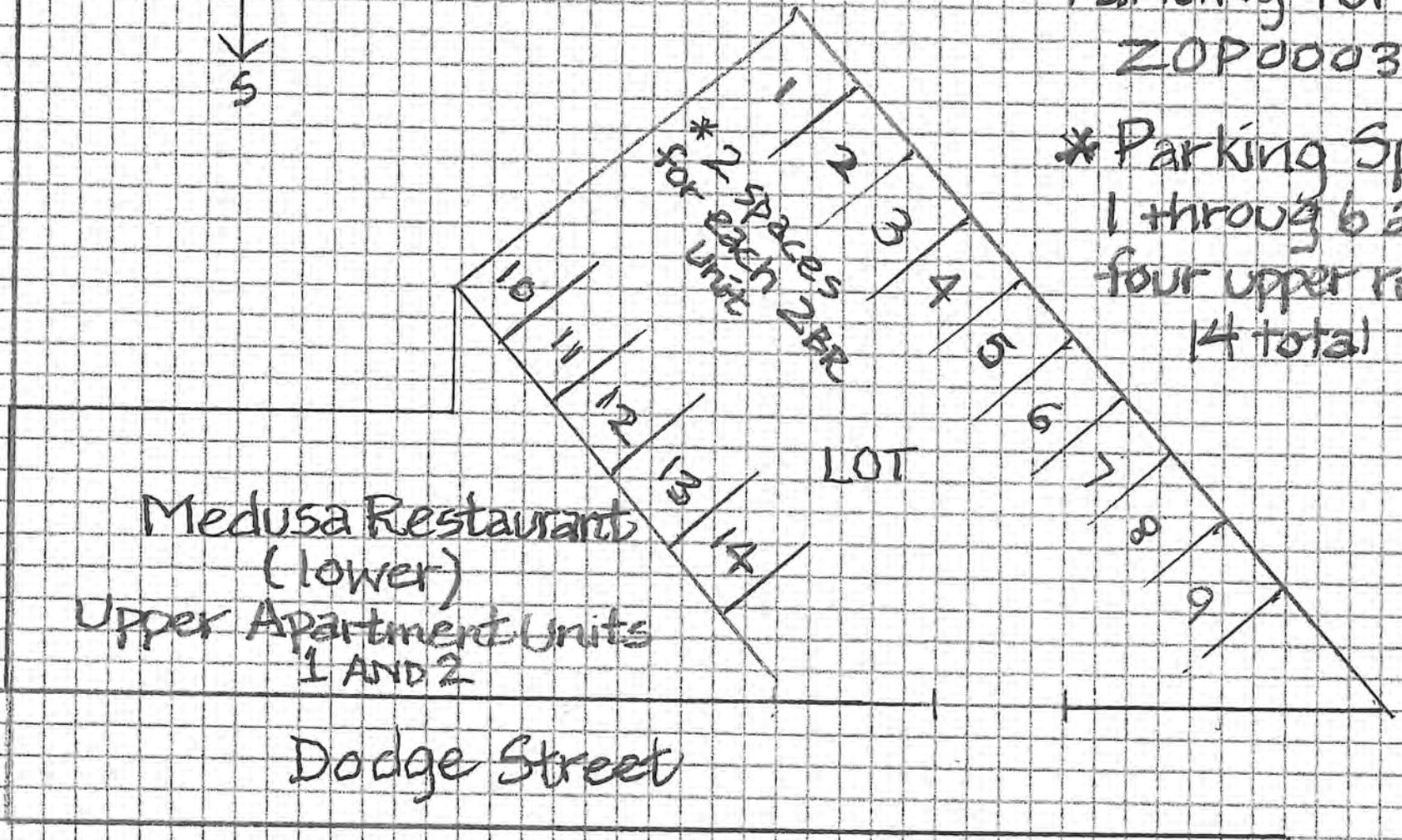
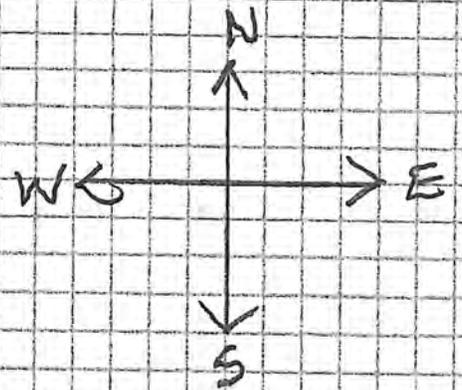


\* Medusa  
Restaurant  
Below Unit

\* Two Designated Parking Spaces  
Rear Lot of Building

Dodge Street

Broad Street



Parking for:  
ZOP00032

\* Parking Spaces  
1 through 6 available  
for upper rentals.  
4 total

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: June 18, 2018

Agenda Item:10

Applicant:

Robert T. Larson Trust  
2403 Comstock Ct.  
Naperville IL, 60564

Request:

905 Bayview Drive  
Conditional Use Permit  
SR-4 Setbacks in ER-1 Zoning District

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) for a new residence. The project would begin with a complete removal of the existing residence. The applicants have carefully designed the proposed residence to increase building side yard setbacks, and have identified the building footprint area and impervious surface area coverages within the 100-foot lakeshore setback area.

The proposed roof design will meet the maximum 35-foot height limit, as measured from the lowest exposed building perimeter to the vertical mid-point of the highest pitched roof surface.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

**Existing and Proposed Site Plans:**Lynch and Assoc. Project #18-5012 (dated 05/03/2018 respectively)

The Site Plans for the existing and proposed homes demonstrate that the proposed home complies with all required setbacks.

The proposed home provides the following setback measurements compared to the proposed home:

	<u>Required in SR-4</u>	<u>Existing Home</u>	<u>Proposed Home</u>
Min Street Yard Setback	25 feet	22approx. feet to garage	26.3 feet to garage
Min Lake Shore Setback	no closer than 100'	100 + feet	100 feet
North Side Yard Setback	15' total combined	5.8 feet to home	7.6 feet to home
South Side Yard Setback	Min. 6 feet to home	8.6 feet to home	7.9 feet to home

**Rear (Lakeside) Elevation Plan: Sheet:**

The lower elevation provided on the conceptual renditions depict the proposed building's tallest height. The Zoning Ordinance measures building height from the lowest exposed grade to the mid-point height of the tallest roof plane. This elevation depicts a maximum height of 34.0 feet, which complies with the height limit for both the ER-1 and the SR-4 zoning districts.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed conditional use includes modest increases in the setbacks provided on all four sides of the proposed home.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  - e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
  - f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above, noting that the proposal is a fully consistent with the setback requirements of the SR-4 zoning district, and results in compliance to the setbacks on all four sides of the building over the current home.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

905 Bayviews Drive, Lake Geneva, WI  
Lot 5 Block 1 Geneva Bay Est. City of Lake Geneva

NAME AND ADDRESS OF CURRENT OWNER:

Robert D. Larson Trust  
2403 Comstock Ct, Naperville IL 60564

TELEPHONE NUMBER OF CURRENT OWNER: 630-561-7755

NAME AND ADDRESS OF APPLICANT:

NSDG, LLC dba South Shore Custom Homes

TELEPHONE NUMBER OF APPLICANT: 262-245-5819

PROPOSED CONDITIONAL USE:

New Construction Single Family Home Res-4

ZONING DISTRICT IN WHICH LAND IS LOCATED: ER-1 asking for set setbacks

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

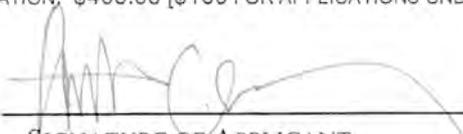
Architect: Design One, 8141 Uxbridge Dr., Orland Park, IL 60462  
Engineer: Lynch & Associates, 5182 S. Westridge Dr., Skew River, WI 53151  
Contractor: South Shore Custom Homes, 3 E. Geneva St., Box 880 Williams Bay, WI

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Demolition of existing structure, Construction of new home.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

19 March, 2018  
DATE

  
SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

NSDG, LLC dba South Shore Custom Homes LLC, as applicant/petitioner for:

Name: Robert D. Larson Trust

Address: 2403 Comstock Ct.

Naperville, IL 60564

Phone: 630-561-7755

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 19<sup>th</sup> day of March, 2018.

Anthony Osnaez  
Printed name of Applicant/Petitioner

[Signature]  
Signature of Applicant/Petitioner



**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓  
Draft Final Packet (1 Copy to Zoning Administrator)

Date: \_\_\_\_\_ by: \_\_\_\_\_

✓ ↓  
✓ (a) A map of the proposed conditional use:

- ✓ Showing all lands for which the conditional use is proposed;
- ✓ Showing all other lands within 300 feet of the boundaries of the subject property;
- ✓ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ✓ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ✓ Map and all its parts are clearly reproducible with a photocopier;
- ✓ Map size of 11" by 17" and map scale not less than one inch equals 800 ft: ↗
- ✓ All lot dimensions of the subject property provided;
- ✓ Graphic scale and north arrow provided.

✓ ✓ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- (e) Written justification for the proposed conditional use:
- Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

### III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed conditional use improves the practical and aesthetic value of the neighborhood and is consistent with the current land use at this location. (Single Family Residential Urban)

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed conditional use improves the practical and aesthetic value of this property by improving the home already present on this property.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No. In fact, once complete, the proposed improvements will increase the value of the property and neighborhood aesthetics.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed conditional use does not change the land use from its current residential use.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes - a residence is currently located on this lot.  
\_\_\_\_\_  
\_\_\_\_\_

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes - the proposed new residence will improve the overall aesthetic appeal of the neighborhood.  
\_\_\_\_\_  
\_\_\_\_\_

**IV.FINAL APPLICATION PACKET INFORMATION**

- \_\_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Conditional Use recorded with the County Register of Deeds Office:      Date: \_\_\_\_\_ by: \_\_\_\_\_



**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ Pre-submittal staff meeting scheduled:

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled for:

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application form filed with Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Application fee of \$ \_\_\_\_\_ received by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_ Reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ by: \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_

↓

\_\_\_ (a) **A written description** of the intended use describing in reasonable detail the:

- Existing zoning district(s) (and proposed zoning district(s) if different);
- Land use plan map designation(s);
- Current land uses present on the subject property;
- Proposed land uses for the subject property (per Section 98-206);
- Projected number of residents, employees, and daily customers;
- Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- Exterior building and fencing materials (Sections 98-718 and 98-720);
- Possible future expansion and related implications for points above;
- Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

(b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

(c) A **Property Site Plan** drawing which includes:

- A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- The date of the original plan and the latest date of revision to the plan;
- A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- A reduction of the drawing at 11" x 17";
- A legal description of the subject property;
- All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- All required building setback lines;
- All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- The location and dimension (cross-section and entry throat) of all access points onto public streets;
- The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- The location of all outdoor storage areas and the design of all screening devices;
- The location, type, height, size and lighting of all signage on the subject property;
- The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- The location and type of any permanently protected green space areas;
- The location of existing and proposed drainage facilities;
- In the legend, data for the subject property on:
  - Lot Area;

- Floor Area;
- Floor Area Ratio (b/a);
- Impervious Surface Area;
- Impervious Surface Ratio (d/a);
- Building Height.

- \_\_\_  (d) A Detailed Landscaping Plan of the subject property:
- Scale same as main plan (> or equal to 1" equals 100')
  - Map reduction at 11" x 17"
  - Showing the location of all required bufferyard and landscaping areas
  - Showing existing and proposed Landscape Point fencing
  - Showing berm options for meeting said requirements
  - Demonstrating complete compliance with the requirements of Article VI
  - Providing individual plant locations and species, fencing types and heights, and berm heights;
- \_\_\_  (e) A Grading and Erosion Control Plan:
- Same scale as the main plan (> or equal to 1" equals 100')
  - Map reduction at 11" x 17"
  - Showing existing and proposed grades including retention walls and related devices, and erosion control measures.
- \_\_\_  (f) Elevation Drawings of proposed buildings or remodeling of existing buildings:
- Showing finished exterior treatment;
  - With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
  - Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE: Initiation of Land Use or Development Activity:** Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

**NOTE: Modification of an Approved Site Plan:** Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

### III. FINAL APPLICATION PACKET INFORMATION

- Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_

**Lands within 300 feet of boundaries of Subject Property:**

**Subject Property:**

ZGB 00005: 905 Bayview Drive  
Owner Name 1: ROBERT D LARSON TRUST  
Address 1: 2403 COMSTOCK CT  
City: NAPERVILLE  
State: IL  
Zip: 60564

ZA254600001: Lot 1  
Owner Name 1: COVENANT HARBOR BIBLE CAMP  
Address 1: 1724 MAIN ST  
City: LAKE GENEVA  
State: WI  
Zip: 53147

ZA352200001: 1895 Bayview Drive  
Owner Name 1: DAVID W BAUGHMAN TRUST  
Owner Name 2: SARA BAUGHMAN TRUST  
Address 1: 1895 GENEVA BAY DR  
City: LAKE GENEVA  
State: WI  
Zip: 53147

ZGB 00010: 1875 Geneva Bay Drive  
Owner Name 1: GEORGE DAVIDSON  
Owner Name 2: JANICE DAVIDSON  
Address 1: 4 NORTH TRL  
City: LEMONT  
State: IL  
Zip: 60439

ZGB 00009: 830 Bayview Drive  
BRELENTHIN FAMILY TRUST  
Owner Name 2: C/O BIRDELL J BRELENTHIN  
Address 1: 830 BAYVIEW DR  
City: LAKE GENEVA  
State: WI  
Zip: 53147

ZGB 00008: 831 Bayview Drive  
Owner Name 1: BILL YOUNG  
Owner Name 2: CARLA YOUNG  
Address 1: 1119 SHERIDAN RD  
City: WINNETKA  
State: IL  
Zip: 60093

ZGB 00007: 837 Bayview Drive  
Owner Name 1: PEGGY A ROTH TRUST  
Address 1: 837 BAYVIEW DR  
City: LAKE GENEVA  
State: WI  
Zip: 53147

ZGB 00006: 845 Bayview Drive  
Owner Name 1: MARY DEBORAH SOMERVILLE TRUST  
Address 1: 4901 GULF SHORE BLVD N APT 401  
City: NAPLES  
State: FL  
Zip: 34103

ZGB 00004: 911 Bayview Drive  
Owner Name 1: MELISSA L STENSTROM TRUST  
Address 1: 2609 SAXON PL  
City: ROCKFORD  
State: IL  
Zip: 61114

ZGB 00003: 919 Bayview Drive  
Owner Name 1: THOMAS A FRATTINGER TRUST  
Owner Name 2: VIRGINIA H FRATTINGER TRUST  
Address 1: 1350 AVALON CT  
City: WHEATON  
State: IL  
Zip: 60189

ZGB 00002: 927 Bayview Drive  
Owner Name 1: MARGARET A KLINGENBERG 2013 LIVING TRUST  
Address 1: 927 BAYVIEW DR  
City: LAKE GENEVA  
State: WI  
Zip: 53147

ZGB 00001D  
Owner Name 1: JEAN C MORACK  
Owner Name 2: JOHN L MORACK  
Address 1: 2041 N 107TH ST  
City: WAUWATOSA  
State: WI  
Zip: 53226

ZGB 00001C  
Owner Name 1: GEORGE DAVIDSON  
Owner Name 2: JANICE DAVIDSON  
Address 1: 4 NORTH TRL  
City: LEMONT  
State: IL  
Zip: 60439

ZGB 00001A  
Owner Name 1: VIRGINIA A MAGDA LIVING TRUST  
Address 1: 2060B NE OCEAN BLVD  
City: STUART  
State: FL  
Zip: 34996

ZGB 0001B

Owner Name 1: BRUCE ASHWILL TRUST

Owner Name 2: BARBARA ASHWILL TRUST

Address 1: 3181 CAMERON PARK DR, STE 105

City: CAMERON PARK

State: CA

Zip: 95682

ZGB 00029: 951 Bayview Drive

Owner Name 1: GENEVA BAY PROPERTY OWNERS ASSOCIATION

Owner Name 2: C/O SARA BAUGHMAN

Address 1: 1895 GENEVA BAY DR

City: LAKE GENEVA

State: WI

Zip: 53147

ZGB 00026: 930 Bayview Drive

Owner Name 1: BRUCE ASHWILL TRUST

Owner Name 2: BARBARA ASHWILL TRUST

Address 1: 3181 CAMERON PARK DR, STE 105

City: CAMERON PARK

State: CA

Zip: 95682

ZGB 00028: 1878 Geneva Bay Drive

Owner Name 1: VIRGINIA A MAGDA LIVING TRUST

Address 1: 2060B NE OCEAN BLVD

City: STUART

State: FL

Zip: 34996

ZA407500001: 1882 Geneva Bay Drive

Owner Name 1: MATTHEW SKIBA

Owner Name 2: C/O MICHAEL ZAK

Address 1: 1882 GENEVA BAY DR

City: LAKE GENEVA

State: WI

Zip: 53147

ZGB 00024: 1886 Geneva Bay Drive

Owner Name 1: DONALD BEARDER

Owner Name 2: JUDITH BEARDER

Address 1: 1886 GENEVA BAY DR

City: LAKE GENEVA

State: WI

Zip: 53147



VICINITY MAP

PLAT OF SURVEY  
FOR  
**905 BAY VIEW DRIVE**  
LAKE GENEVA, WI

SHEET INDEX

- C000 TITLE SHEET & VICINITY MAP
- C100 FOUNDATION EXHIBIT
- C200 EXISTING PROPERTY SITE PLAN
- C300 SITE GRADING AND EROSION CONTROL PLAN
- C400 LANDSCAPE PLAN

CONTACT INFORMATION

COMPANY NAME	ADDRESS	CONTACT	PHONE	EMAIL
LYNCH & ASSOCIATES	5482 S. WESTRIDGE DR. NEW BERLIN, WI 53151	TIM LYNCH, P.E.	1.262.402.5040	tlynch@lynch-engineering.com

REVISIONS

NO.	REVISION	DATE
1	UPDATE FOUNDATION LOCATION	05.09.18

FOUNDATION PLAN FOR  
**905 BAYVIEW DRIVE**  
LAKE GENEVA, WI

**LYNCH & ASSOCIATES**  
ENGINEERING CONSULTANTS, LLC

ISSUED FOR  
REVIEW

PLAN DATE 5.3.18

PROJECT NO.  
**18-5012**

SHEET NO.

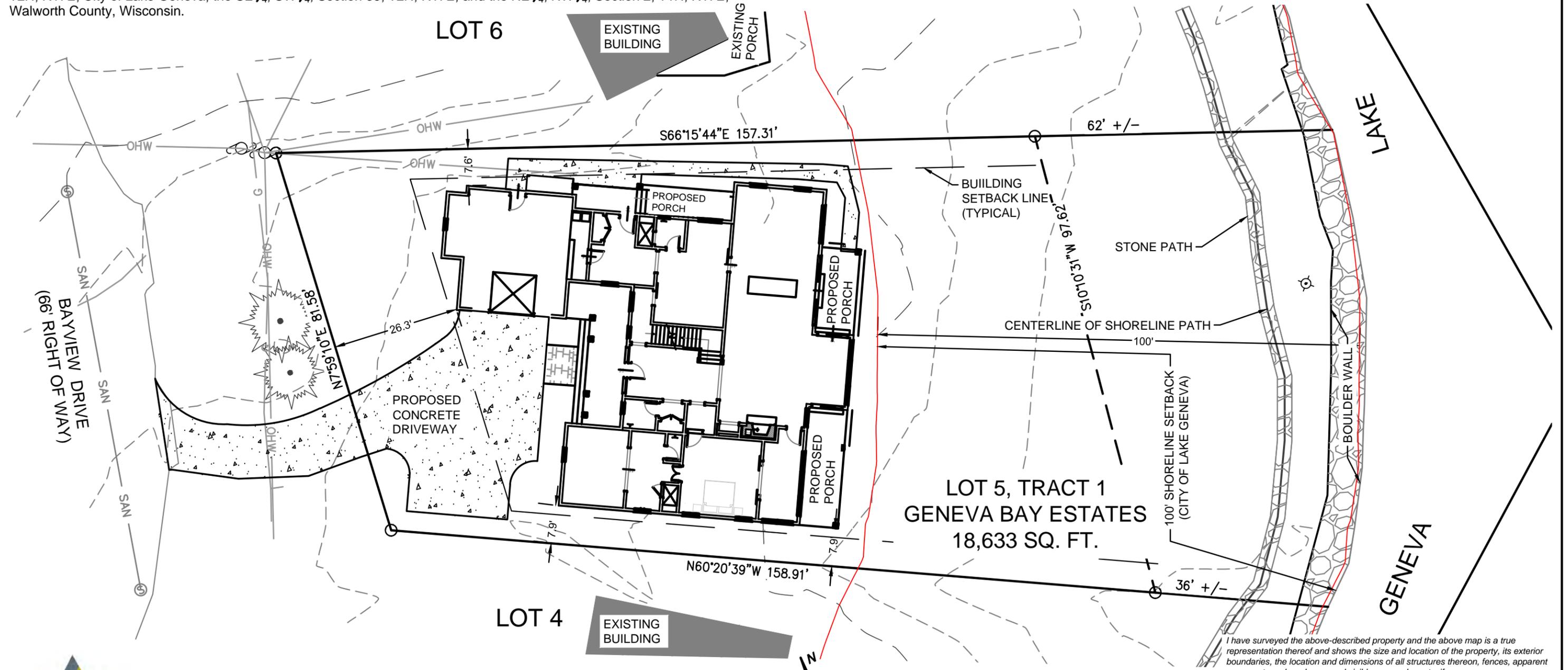
**C000**

LOCATION: 905 Bayview Drive, Lake Geneva, Wisconsin

PREPARED FOR: South Shore Custom Homes, LLC, 3 East Geneva Street, Box 880, Williams Bay, WI 53191; Phone: 262-245-5819

**LEGAL DESCRIPTION:**

Lot 5, Block 1, Geneva Bay Estates, located in the NW 1/4, NE 1/4, Section 2, T1N, R17E and the SW 1/4, SE 1/4, Section 35, T2N, R17E, City of Lake Geneva; the SE 1/4, SW 1/4, Section 35, T2N, R17E, and the NE 1/4, NW 1/4, Section 2, T1N, R17E, Walworth County, Wisconsin.



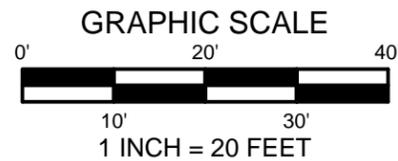
**Mortgage Inspection**  
 Monumentation has been waived in accordance with A-5 5.01 (b) of the Wisconsin Administrative Code.

NOTE: Proposed finished yard as shown on this drawing is a suggested grade and should be verified by the owner and/or the builder and approved by the building inspector. Erosion control measures are suggested and must be verified/adjusted by the builder and/or building inspector based on site conditions.



5482 S. WESTRIDGE DRIVE  
 NEW BERLIN, WI 53151  
 (262) 402-5040

432 MILWAUKEE AVENUE  
 BURLINGTON, WI 53185  
 (262) 248-3697



DRAWING BY: BEN  
 FIELD WORK BY: SCO

I have surveyed the above-described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, apparent easements and roadways, and visible encroachments, if any.

No title commitment or results of a title search were provided to this office pertaining to this survey. This Plat Of Survey may not reflect easements of record, encumbrances, restrictions, ownership, title evidence, or other facts that a current and accurate title search may disclose.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or insure the title thereto within one (1) year from date hereof; and as to them I warrant the accuracy of said survey map.

P:\Share\11 - Projects\2018\18-5012 S. Shore Custom - 905 Bayview Dr. Lake Geneva\CAD\18-5012\_S0.dwg

# PLAT OF SURVEY

**Existing Density Calculations:**

Lot Area= 18,633 SF  
 Floor Area= 0.18 (3,370 SF)  
 Impervious Surface Ratio= 0.34 (6,295 SF)  
 Landscape Surface Ratio= 0.66 (12,338 SF)  
 Impervious Surface in 100' Shoreline Setback= (1,034 SF)

Type	Trees on Site Size in Inches	Quantity
Coniferous	24	3
Coniferous	12	1
Coniferous	6	2
Deciduous	48	1
Birch	8	1

**LOCATION:** 905 Bayview Drive, Lake Geneva, Wisconsin

**PREPARED FOR:** South Shore Custom Homes, LLC, 3 East Geneva Street, Box 880, Williams Bay, WI 53191; Phone: 262-245-5819

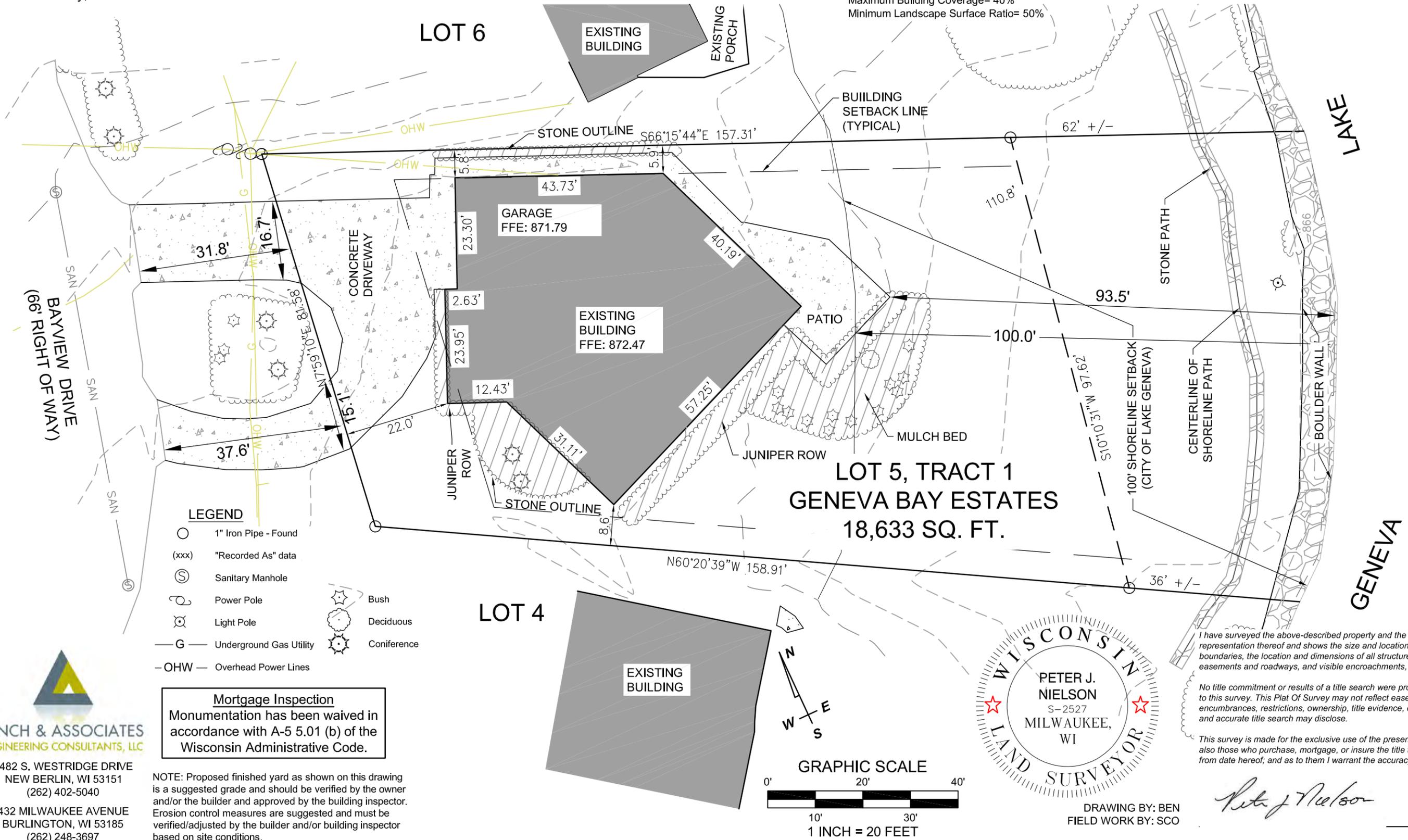
**LEGAL DESCRIPTION:**

Lot 5, Tract 1, Geneva Bay Estates, located in the NW ¼, NE ¼, Section 2, T1N, R17E and the SW ¼, SE ¼, Section 35, T2N, R17E, City of Lake Geneva; the SE ¼, SW ¼, Section 35, T2N, R17E, and the NE ¼, NW ¼, Section 2, T1N, R17E, Walworth County, Wisconsin.

**Density Requirements:**

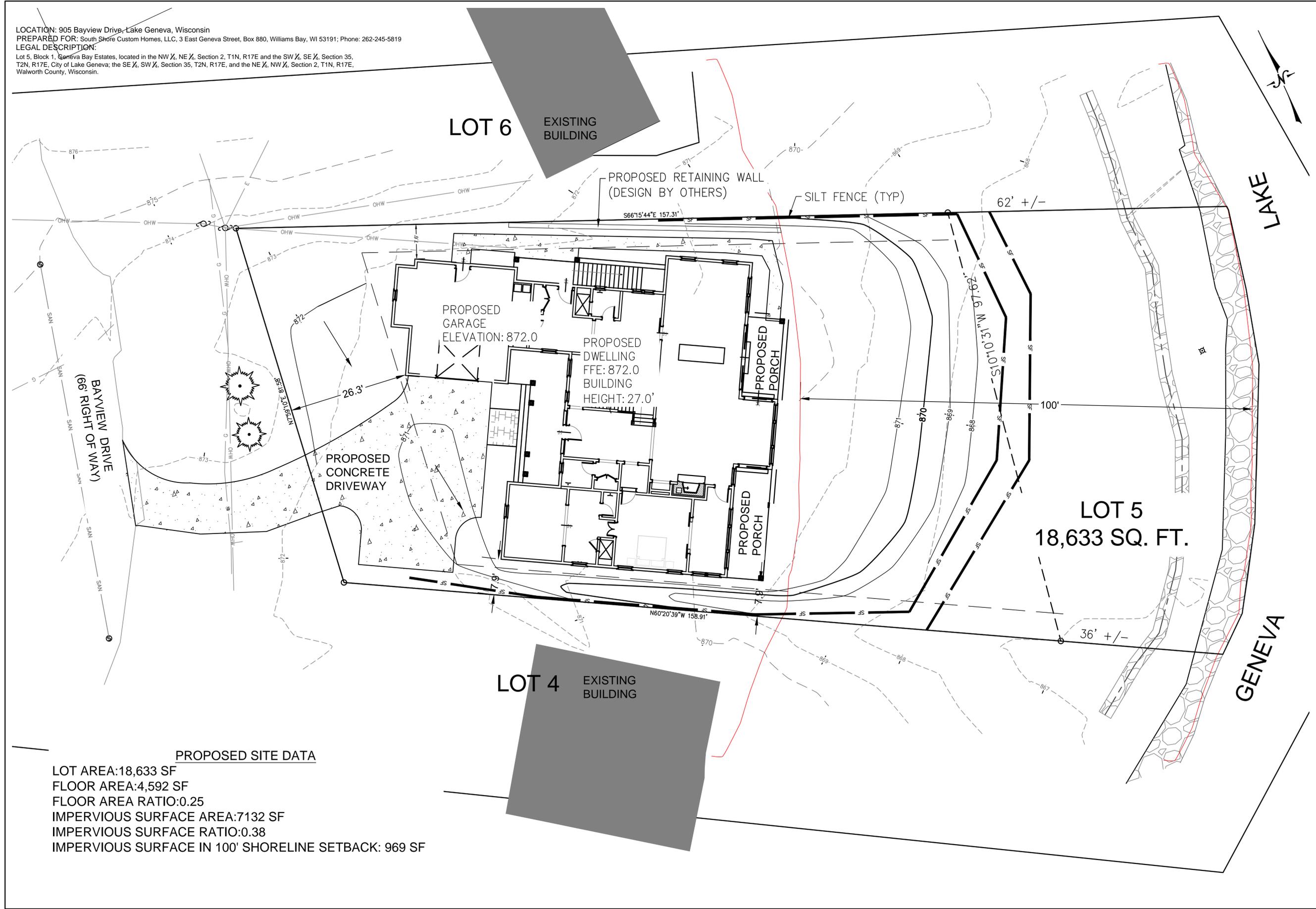
Minimum Lot Area= As Existing  
 Maximum Building Coverage= 40%  
 Minimum Landscape Surface Ratio= 50%

Shrubs on Site Size in Inches	Quantity
1 Ornamental 12 to 24	15
1 Grass	



P:\Share\1 - Projects\2018\18-5012 S. Shore Custom - 905 Bayview Dr. Lake Geneva\CAD\18-5012 Existing Conditions.dwg

LOCATION: 905 Bayview Drive, Lake Geneva, Wisconsin  
 PREPARED FOR: South Shore Custom Homes, LLC, 3 East Geneva Street, Box 880, Williams Bay, WI 53191; Phone: 262-245-5819  
 LEGAL DESCRIPTION:  
 Lot 5, Block 1, Geneva Bay Estates, located in the NW 1/4, NE 1/4, Section 2, T1N, R17E and the SW 1/4, SE 1/4, Section 35, T2N, R17E, City of Lake Geneva; the SE 1/4, SW 1/4, Section 35, T2N, R17E, and the NE 1/4, NW 1/4, Section 2, T1N, R17E, Walworth County, Wisconsin.

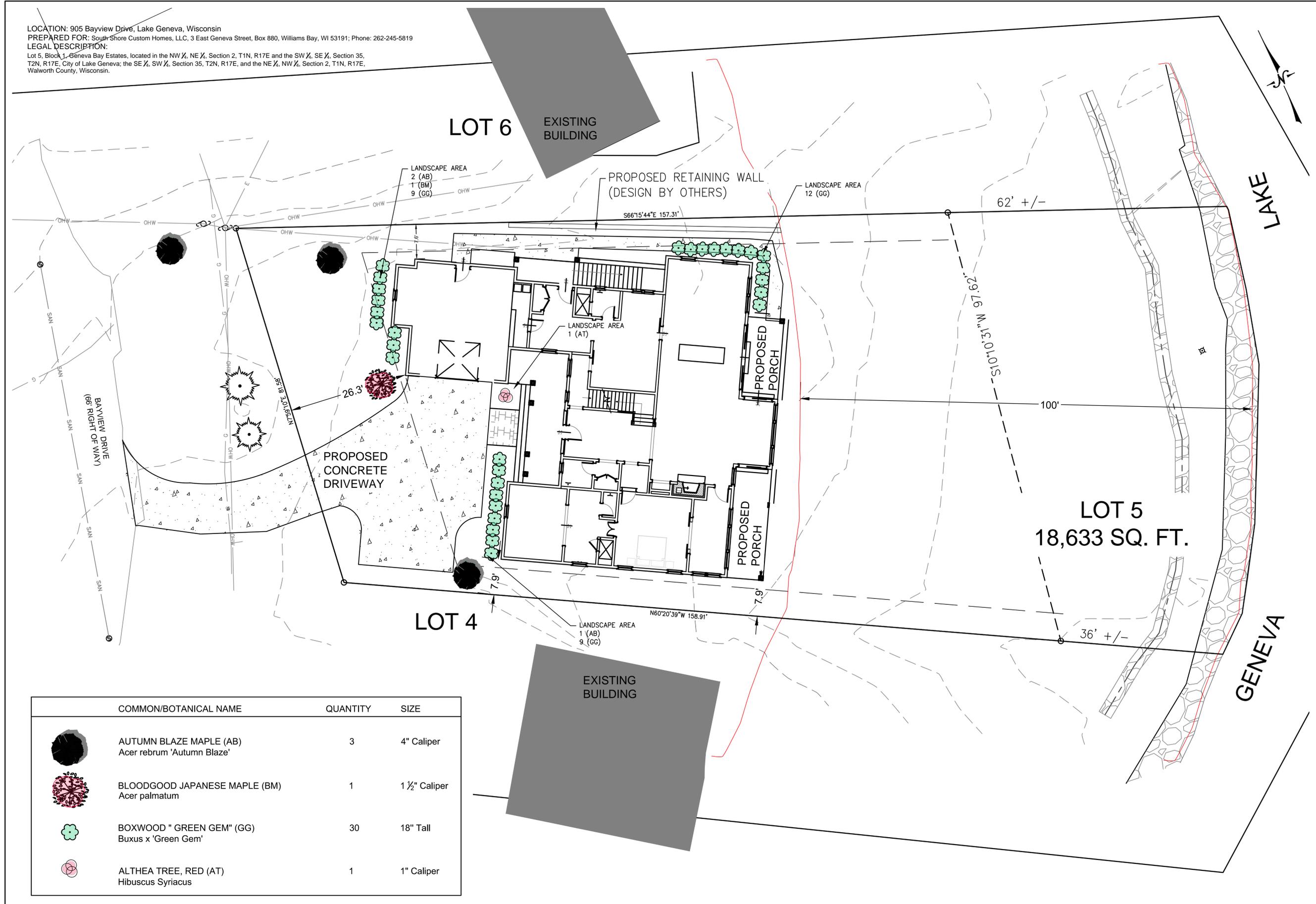


**PROPOSED SITE DATA**

LOT AREA: 18,633 SF  
 FLOOR AREA: 4,592 SF  
 FLOOR AREA RATIO: 0.25  
 IMPERVIOUS SURFACE AREA: 7132 SF  
 IMPERVIOUS SURFACE RATIO: 0.38  
 IMPERVIOUS SURFACE IN 100' SHORELINE SETBACK: 969 SF

PERMIT PLAN FOR <b>905 BAYVIEW DRIVE</b> <small>LAKE GENEVA, WI</small>		<b>LYNCH &amp; ASSOCIATES</b> ENGINEERING CONSULTANTS, LLC
SITE GRADING & EC PLAN	REVISIONS NO. BY DATE	
ISSUED FOR REVIEW PLAN DATE 05.03.2018 DESIGNED BY BRS		
SCALE		
PROJECT NO. <b>18-5012</b>		
SHEET NO. <b>C300</b>		

LOCATION: 905 Bayview Drive, Lake Geneva, Wisconsin  
 PREPARED FOR: South Shore Custom Homes, LLC, 3 East Geneva Street, Box 880, Williams Bay, WI 53191; Phone: 262-245-5819  
 LEGAL DESCRIPTION:  
 Lot 5, Block 1, Geneva Bay Estates, located in the NW ¼, NE ¼, Section 2, T1N, R17E and the SW ¼, SE ¼, Section 35, T2N, R17E, City of Lake Geneva; the SE ¼, SW ¼, Section 35, T2N, R17E, and the NE ¼, NW ¼, Section 2, T1N, R17E, Walworth County, Wisconsin.



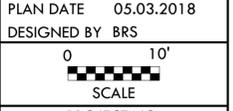
COMMON/BOTANICAL NAME	QUANTITY	SIZE
 AUTUMN BLAZE MAPLE (AB) Acer rebrum 'Autumn Blaze'	3	4" Caliper
 BLOODGOOD JAPANESE MAPLE (BM) Acer palmatum	1	1 ½" Caliper
 BOXWOOD " GREEN GEM" (GG) Buxus x 'Green Gem'	30	18" Tall
 ALTHEA TREE, RED (AT) Hibiscus Syriacus	1	1" Caliper

PERMIT PLAN FOR  
**905 BAYVIEW DRIVE**  
 LAKE GENEVA, WI  
**LYNCH & ASSOCIATES**  
 ENGINEERING CONSULTANTS, LLC

NO.	REVISIONS	BY	DATE

ISSUED FOR REVIEW

PLAN DATE 05.03.2018  
 DESIGNED BY BRS



PROJECT NO.  
**18-5012**

SHEET NO.

**C400**



FRONT ELEVATION

LARSON RESIDENCE

© SOUTHSHORE CUSTOM HOMES  
5-8-18 1/8" = 1'-0"

- ALL SIDING TO BE JAMES HARDIE CEMENT BOARD OR EQUAL IN WHITE
- WINDOWS & DOORS TO BE BLACK (FRONT DOOR STAINED EBONY)

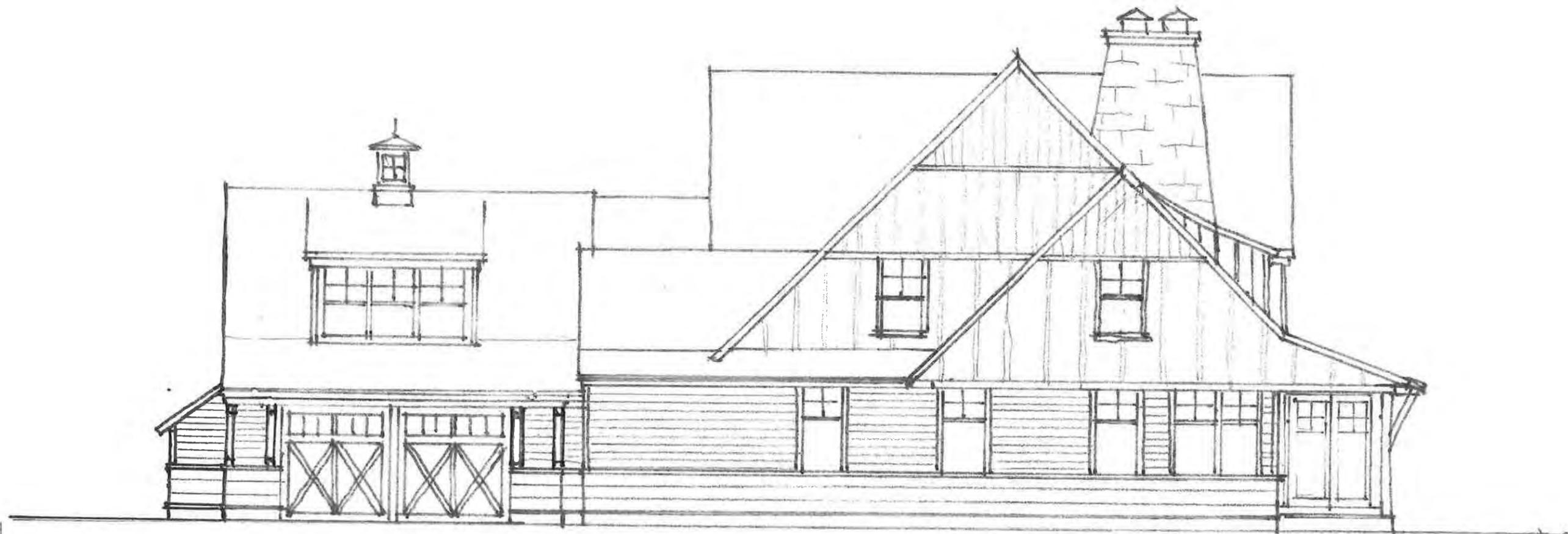


LAKE ELEVATION

LARSON RESIDENCE  
© SOUTHSORE CUSTOM HOMES  
5-8-18      1/8" = 1'-0"



LEFT ELEVATION  
LARSON RESIDENCE  
© SOUTH SHORE CUSTOM HOMES  
5-8-18      1/8" = 1'-0"



RIGHT ELEVATION

LARSON RESIDENCE  
© SOUTH SHORE CUSTOM HOMES  
5-8-18  $\frac{1}{8}'' = 1'-0''$

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: June 18, 2018

Agenda Item: 11

Applicant:

Reeds Construction LLC  
W3199 S Lake Shore Drive  
Lake Geneva, WI 53147

Request: 905 Bayview Dr

Boat Slip - Conditional Use Permit  
Robert D. Larson Trust  
Tax Key No. ZGB00005  
2403 Comstock Ct. Naperville, IL 600564

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a new boat slip at 962 Mariane Terrace. The slip would involve a wood pier with five wood cribs filled with rock. Detailed crib and decking designs are included in the submittal. The two slips are proposed to be 3 x 33 feet would be connected to the 100 foot long main pier by a 4 x 32.5 foot catwalk. The boat slips would be parallel to the main pier and would be used for private boat docking and summer boat storage.

The City conditions all Conditional Use Permits for boat slips and piers on approval from the DNR. A copy of the Wisconsin DNR Water Resources permit application is included in the submittal.

As proposed, the new boat slip meets the 100-foot maximum length for piers (per Section 90-142 of the Lake Geneva Municipal Code). The pier meets the 12.5-foot setback from the adjacent riparian zone boundary (Section 90-143(e)). The pier does not seem to create an unlawful obstruction, although this will be confirmed by the required review by Wisconsin DNR.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Municipal Ordinance.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other

plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached.
  - a. Conditional Use Permit approval is contingent on review and approval of the proposed slip by the Wisconsin DNR.

**APPLICATION FOR CONDITIONAL USE**  
*City of Lake Geneva*

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

905 Bayview Drive, Lake Geneva, WI 53147

ZGB00005

NAME AND ADDRESS OF CURRENT OWNER:

Robert Larson

2403 Comstock Ct., Naperville, IL 60564

TELEPHONE NUMBER OF CURRENT OWNER: 630-561-7755

NAME AND ADDRESS OF APPLICANT:

Reed's Construction, LLC - Jeff Reed

W3199 S. Lake Shore Drive, Lake Geneva, WI 53147

TELEPHONE NUMBER OF APPLICANT: B 262-248-2934 cell 262-949-5064

PROPOSED CONDITIONAL USE:

Add a 6' x 22' long addition to current pier (current pier is 6' x 78').

There will be 2 slips that are 4' wide x 33" catwalk with a 4' x 32' 5 1/3" catwalk in front of slips

ZONING DISTRICT IN WHICH LAND IS LOCATED:

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Reed's Construction, LLC

W3199 S. Lake Shore Drive

Lake Geneva, WI 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Install 5 cribs on the lake bed and fill with rock, then building of Jacks, stringers and decking at shop then haul it to lake and put it together

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

5/10/18

DATE

Jeff Reed / Michele Reed  
SIGNATURE OF APPLICANT

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:  
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

**I. RECORDATION OF ADMINISTRATIVE PROCEDURES**

\_\_\_ **Pre-submittal staff meeting scheduled:**

**Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

**Follow-up pre-submittal staff meetings scheduled for:**

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Date of Meeting:** \_\_\_\_\_ **Time of Meeting:** \_\_\_\_\_ **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Application form filed with Zoning Administrator:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Application fee of \$ \_\_\_\_\_ received by Zoning Administrator:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

\_\_\_ **Reimbursement of professional consultant costs agreement executed:** **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS**

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

*Date:* \_\_\_\_\_ *by:* \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

*Date:* \_\_\_\_\_ *by:* \_\_\_\_\_

↓

\_\_\_ (a) **A map of the proposed conditional use:**

- \_\_\_ Showing all lands for which the conditional use is proposed;
- \_\_\_ Showing all other lands within 300 feet of the boundaries of the subject property;
- \_\_\_ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- \_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- \_\_\_ Map and all its parts are clearly reproducible with a photocopier;
- \_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- \_\_\_ All lot dimensions of the subject property provided;
- \_\_\_ Graphic scale and north arrow provided.

\_\_\_ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**



\_\_\_\_\_ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

\_\_\_\_\_ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

\_\_\_\_\_ (e) Written justification for the proposed conditional use:

\_\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

### III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Main Pier addition will be 6' wide x 22' long, with total length of pier 100'.

Slips will be 4' wide x 33' long with a 4' x 32' 5 1/2" catwalk with canopies.

Will be 39' off the west lot line and 15' off the east lot line

2. How is the proposed conditional use, in its specific location, in harmony with the proposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Going to be used a private boat docking and summer housing for boat

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No, this is all on private property. It is a pier just like all the other piers on the lake

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Used for private boat dock

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

This is down on the water and the home owner is responsible for repair and up keep. It is made at a shop and hauled in to be installed. It is stored on private property when removed during the winter.

\_\_\_\_\_

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Public does not benefit. This is a private pier for private use only.

Will not cost the public anything.

\_\_\_\_\_

**IV.FINAL APPLICATION PACKET INFORMATION**

\_\_\_\_ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_ Conditional Use recorded with the County Register of Deeds Office: Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_\_

# Waterway Individual Permit Application- General Information

**PROJECT:** Larson, Robert

**Format Documents** : If you submitted an application in hard copy with documents that are larger than 11x17, WDNR staff may request that you submit a copy of the document in electronic format, either as an email attachment, or on digital media, such as a CD

The information included in this checklist is necessary for a complete application. A complete submittal with detailed drawings will help us make a decision about your permit application. Any applicable statutory review times do not begin until the application is received by the Department and is determined to be complete.

**Please recognize that you are responsible for obtaining all necessary local (e.g. city, town, village or county) and U.S. Army Corps of Engineer permits or approvals in addition to any applicable state permits prior to commencing any work at the project site.**

To help us make a decision in the shortest amount of time possible, the following information must be submitted:

---

## **Piers, docks and wharves**

1. Review the following links for more information: [Instructions](#)
2. Attach a copy of your deed or similar proof of ownership.
3. Attach a good photo that clearly shows the existing project area.
4. Attach a narrative description of your proposal.
5. Attach a site map based on the following format: [Blank Site Map](#).
6. Complete all displayed forms and fee sheets.
7. Pay fee online
8. Sign and Submit form.

Please review the following links for additional county and Corps of Engineering requirements:

Army Corps of Engineers: <https://mvp.usace.afpims.mil/Portals/57/docs/regulatory/PM%20County%20Assignments%20WI%20January%202013.pdf>

County Zoning: <http://dnr.wi.gov/topic/shorelandzoning/contacts/county.html>

**Notice:** Pursuant to chs. 30 and 31, Wis. Stats., ch. 281, Wis. Stats., and s. 283.33, Wis. Stats., this form is used to apply for coverage under the state construction site storm water runoff general permit, and to apply for a state or federal permit or certification for waterway and wetland projects or dam projects. This form and any required attachments constitute the permit application. Failure to complete and submit this application form may result in a fine and/or imprisonment or forfeiture under the provisions of applicable laws including s. 283.91, Wis. Stats. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Public Records Laws (ss. 19.31-19.39, Wis. Stats.). This form is required for U.S. Army Corps of Engineers (ACOE) regulatory purposes pursuant to 33 CF 325.

Read all instructions provided before completing

Section 1: Landowner Information			
Organization, Entity or Name Larson, Robert		Authorized Representative (Last Name, First Name) Larson, Robert	
Mailing Address 2403 Comstock Ct.	City Naperville	State IL	Zip Code 60564
Email larson5864@aol.com	Phone Number (incl. area code) 630-561-7755	Alternative Phone Number	
Section 2: Applicant/Information <input checked="" type="checkbox"/> Select if same as landowner			
Organization, Entity or Name Larson, Robert		Contact Person (Last Name, First Name) Larson, Robert	
Mailing Address 2403 Comstock Ct.	City Naperville	State IL	Zip Code 60564
Email larson5864@aol.com	Phone Number (incl. area code) 630-561-7755	Alternative Phone Number	
Section 3: Primary Project Contact <input type="checkbox"/> Select if same as landowner			
<input type="radio"/> Consultant or Plan Preparer <input type="radio"/> Contractor <input type="radio"/> Agent <input type="radio"/> Other - specify: _____			
Name (Organization or Entity) Reed's Construction, LLC		Contact Person (Last Name, First Name) Reed, Jeff	
Mailing Address W3199 S. Lake Shore Drive	City Lake Geneva	State WI	Zip Code 53147
Email michele@reedsconstructionllc.com	Phone Number (incl. area code) 262-248-9403	Alternative Phone Number	
Section 4: Project or Site Location:			
Project Name Larson, Robert	County Walworth	<input checked="" type="radio"/> City <input type="radio"/> Township <input type="radio"/> Village of LAKE GENEVA;C	
Location Address / Description 905 Bayview Drive, Lake Geneva			
<b>Public Land Survey System (PLSS)</b> – Provide the section, range, township information and latitude and longitude in decimal degrees, if available.			
_____ of _____ of Section _____ Township _____ Range _____		<input type="radio"/> E <input type="radio"/> W    Latitude                      Longitude	
If this site is not wholly contained in the quarter-quarter section, more description: Lot 5 Blk 1 Geneva Bay Estates, City of Lake Geneva			
<b>Waterways:</b> Provide the name(s) of closest water bodies Geneva Lake			

**Section 5: Wetlands**

If a wetland is present at a project site and permit approvals are sought through the waterway and wetland program, storm water program, or concentrated animal feeding operations (CAFO) program, the department requires that a wetland delineation that accurately shows the location of a wetland is submitted with an application. A wetland delineation needs to be verified/concurred with before the application can be submitted or be considered a complete application. See the department "[Wetland screening and delineation procedures](http://dnr.wi.gov/topic/waterways/construction/wetlands.html)" at <http://dnr.wi.gov/topic/waterways/construction/wetlands.html> for more information for more information.

Is a wetland present in the project area?  Yes  No

**If yes**, select all sources of information used and attach supporting report or documentation

- a. A copy of your wetland delineation and a Wetland Confirmation Service concurrence letter (wetland boundary verification service offered for a fee from the department)
- b. An assured delineator's wetland delineation report
- c. A copy of your wetland delineation and an Army Corps of Engineers concurrence letter
- d. A copy of your correspondence with a WDNR Office of Energy Water Management Specialist or WDNR Transportation Liaison regarding your wetland review/ concurrence.

**If no**, please select one of the following items showing that a wetland is not present within the project boundaries:

- a. A copy of your wetland determination and a letter from the department's Wetland Identification Program stating wetlands are not present or the activity proposed in the wetland is exempt under NR 103.06(4)
- b. A letter from an assured delineator stating wetlands are not present
- c. Documentation showing that each of these resources were reviewed for wetland absence on the Surface Water Data Viewer:
  - i. Surface Water Data Viewer- Wisconsin Wetland Inventory
  - ii. Surface Water Data Viewer- Wisconsin Indicator layer
  - iii. Surface Water Data Viewer- Digital Topographic map layer or aerial photo indicating if waterways, drainage ways, ditches, depressions, or standing water are within project boundary
- d. Show that the project limits are entirely in existing paved, graveled, or concrete areas
- e. A copy of your correspondence with a WDNR Office of Energy Water Management Specialist or WDR Transportation Liaison regarding your wetland review/concurrence

( Please note that if the information provided is incorrect or incomplete, the overall permit application may be considered incomplete and may be returned to the applicant.)

**Section 6: Endangered or Threatened Resources**

Has the presence of endangered or threatened resources been evaluated according to protocols developed by the DNR Bureau of National Heritage Conservation (BNHC) <http://dnr.wi.gov/topic/ERRReview>  Yes  No

If Yes, select how the evaluation was completed and attach supporting report or documentation:

- a. Endangered Resources Preliminary Assessment from the Public Portal
- b. Certified ER Review Letter - specify: ERR-\_\_\_\_\_ (example ERR-15-123)
- c. Broad Incidental Take Permit /Authorization -specify (e.g. No / Low Impact Activities, Grassland & Savanna Management, etc.); \_\_\_\_\_
- d. Other: \_\_\_\_\_

**Section 7: Project Information (Attach additional sheets as necessary)**

Anticipated Project Start Date: 6/11/2018	Projected Project End Date: 12/31/2019
Photos: Provide photographs of the "before" condition.	Date of Photographs:

**Narrative of the Project:**

Provide a one to two paragraph description of the proposed project, including land and water alterations and intended use(s) of the project. Include this in the attachment section.

**Section 8: Certification and Permissions**

**Certification:** I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or imprisonment or forfeiture under the provisions of applicable laws.

**Permission:** I hereby give the Department permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

**Signed Electronically**

\_\_\_\_\_  
Signature of Landowner / Authorized Representative – For Stormwater applications,  
signature of landowner is required. Authorized representative is not sufficient.

\_\_\_\_\_  
Date Signed

# Payment Confirmation

<u>Fee Type</u>	<u>Number of Activities</u>	<u>Subtotal</u>
Waterway Permit	1	\$603.00
Wetland Permit	0	\$0.00
Boathouse Certification	0	\$0.00
New Dam Construction	0	\$0.00
Expedited Decision (# of counties)	0	\$0.00
WDNR publishes all required class 1 public notices <input type="checkbox"/>		\$0.00

**After-the-fact application** for permits or approvals submitted after work has been commenced or completed. Fee is twice the usual fee.

**Total Paid**

**US Bank Transaction Number** WS2WT1002386983

**WDNR Invoice Number** WP-00012206

Questions about fees ? [Click Here](#)

Your total payment should be the SUM of ALL application fees and supplemental fees for EACH permitted activity for which you are applying.

For example, if you are applying for individual permits and a) your project involves a wetland fill that requires a wetland Individual permit; and b) involves the installation of a culvert in a waterway along with some dredging in a waterway; then your fee would be calculated as follows:

Wetland IP = (1 activity or \$800)

Waterway IP (Culvert) = \$600

Waterway IP (Dredging) = \$600 (2 activities or \$1200)

A supplemental Fee is assessed for Waterway Permits (\$3 for each waterway activity) = \$6

Total Application Fees for project = \$2006 (ALL of these permit fees added together)

# Electronic Signature

## Terms and Conditions

**Certification:** I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or imprisonment or forfeiture under the provisions of applicable laws.

**Permission:** I hereby give the Department permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

NOTE: For security purposes the email will be sent to the address you used when registering your WAMS ID. This may be a different email than that provided in the application. For information on your WAMS account click [HERE](#).

## Authorized Signature

I accept the above terms and conditions. Signed by : i:0#.f|wamsmembership|z48vppy1 on 2018-03-09T15:47:29

After providing the final authorized signature, the system will send an email to the authorized party and any agents. This email will include a copy to the final read only version of this application. Either party may cancel the signature process and make further updates.

**State of Wisconsin**  
DEPARTMENT OF NATURAL RESOURCES  
141 NW Barstow, Room 180  
Waukesha, WI 53188

Scott Walker, Governor  
Daniel L. Meyer, Secretary  
Telephone 608-266-2621  
Toll Free 1-888-936-7463  
TTY Access via relay - 711



May 4, 2018

IP-SE-2018-65-00733

Robert Larson  
2403 Comstock Ct.  
Naperville, IL 60564

Dear Mr. Larson:

The Department of Natural Resources has completed its review of your application for a permit to enlarge an existing pier (Pier 35) on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County. You will be pleased to know your application is approved.

I am attaching a copy of your permit, which lists the many important conditions that must be followed to protect water quality and habitat. A copy of the permit must be posted for reference at the project site. Please read your permit conditions carefully so that you are fully aware of what is expected of you.

Please note you are required to submit photographs of the completed project within 7 days after you've finished construction. This helps both of us to document the completion of the project and compliance with the permit conditions.

Your next step will be to notify me of the date on which you plan to start construction and again after your project is complete.

If you have any questions about your permit, please call me at (262) 574-2136 or email [Elaine.Johnson@wisconsin.gov](mailto:Elaine.Johnson@wisconsin.gov).

Sincerely,

A handwritten signature in cursive script that reads 'Elaine Johnson'.

Elaine Johnson  
Water Management Specialist

cc: Rachel Nuetzel, U.S. Army Corps of Engineers  
Reeds Construction  
City of Lake Geneva  
Walworth County

**STATE OF WISCONSIN Pier PERMIT  
DEPARTMENT OF NATURAL RESOURCES**

**IP-SE-2018-65-00733**

Robert Larson is hereby granted under Section 30.12(3m), Wisconsin Statutes, a permit to place a pier/wharf on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the NW1/4 of the NE1/4 of Section 2, Township 1 North, Range 17 East, subject to the following conditions:

**PERMIT**

1. You must notify Elaine Johnson at phone (262) 574-2136 or email [Elaine.Johnson@wisconsin.gov](mailto:Elaine.Johnson@wisconsin.gov) before starting construction and again not more than 5 days after the project is complete.
2. You must complete the project as described on or before 05/04/2021. If you will not complete the project by this date, you must submit a written request for an extension prior to expiration of the initial time limit specified in the permit. Your request must identify the requested extension date. The Department shall extend the time limit for an individual permit or contract for no longer than an additional 5 years if you request the extension before the initial time limit expires. You may not begin or continue construction after the original permit expiration date unless the Department extends the permit in writing or grants a new permit.
3. This permit does not authorize any work other than what you specifically describe in your application and plans, and as modified by the conditions of this permit. If you wish to alter the project or permit conditions, you must first obtain written approval of the Department.
4. Before you start your project, you must first obtain any permit or approval that may be required for your project by local zoning ordinances and by the U.S. Army Corps of Engineers. You are responsible for contacting these local and federal authorities to determine if they require permits or approvals for your project. These local and federal authorities are responsible for determining if your project complies with their requirements.
5. Upon reasonable notice, you shall allow access to your project site during reasonable hours to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance.
6. The Department may modify or revoke this permit for good cause, including if the project is not completed according to the terms of the permit or if the Department determines the activity is detrimental to the public interest.
7. You must post a copy of this permit at a conspicuous location on the project site, visible from the waterway, for at least five days prior to construction, and remaining at least five days after construction. You must also have a copy of the permit and approved plan available at the project site at all times until the project is complete.
8. Your acceptance of this permit and efforts to begin work on this project signify that you have read, understood and agreed to follow all conditions of this permit.
9. You must submit a series of photographs to the Department, within one week of completing work on the site. The photographs must be taken from different vantage points and depict all work authorized by this permit.

10. You, your agent, and any involved contractors or consultants may be considered a party to the violation pursuant to Section 30.292, Wis. Stats., for any violations of Chapter 30, Wisconsin Statutes, or this permit.
11. Construction shall be accomplished in such a manner as to minimize erosion and siltation into surface waters. Erosion control measures (such as silt fence and straw bales) must meet or exceed the technical standards of ch. NR 151, Wis. Adm. Code. The technical standards are found at: [http://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html).
12. All equipment used for the project including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps shall be de-contaminated for invasive and exotic viruses and species prior to use and after use.

The following steps must be taken every time you move your equipment to avoid transporting invasive and exotic viruses and species. To the extent practicable, equipment and gear used on infested waters shall not be used on other non-infested waters.

1. **Inspect and remove** aquatic plants, animals, and mud from your equipment.
2. **Drain all water** from your equipment that comes in contact with infested waters, including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps.
3. **Dispose** of aquatic plants, animals in the trash. Never release or transfer aquatic plants, animals or water from one waterbody to another.
4. **Wash your equipment** with hot (>140° F) and/or high pressure water,

- OR -

Allow your equipment to **dry thoroughly for 5 days**.

13. This permit authorizes future maintenance to the pier structures; however, no change can be made to the type of materials, number of slips, signage or pier configuration without written approval from the Department or amendment of this permit.
14. This pier must not interfere with the rights of other riparians.
15. The pier must allow the free movement of water and must not entrap vegetation.
16. The pier must not enclose any portion of the navigable waterway.
17. All canopies and boat shelters must comply with the standards in NR 326, Wisconsin Administrative Code & 30.01 (1c)(a), Wisconsin Statutes.
18. Electrical, fueling, and waste handling facilities must comply with applicable safety and environmental protection regulations.
19. If foam flotation is used, this material must be completely coated or contained to resist deterioration from the elements and gasoline. A written description of the proposed material must be submitted to the Department for approval prior to use.

## FINDINGS OF FACT

1. Robert Larson has filed an application for a permit to enlarge an existing pier on the bed of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as being in the NW1/4 of the NE1/4 of Section 2, Township 1 North, Range 17 East.
2. The project involves adding a 6-foot-wide by 22 foot long extension to the end of the existing pier (making the pier 100 feet in length) and adding 4 foot wide catwalks for 2 boat slips to be located on the south side of the existing pier. The additions will involve placement of 5 new rock filled support cribs (384 square feet total). See Exhibit A for details on dimensions.
3. The Department has completed an investigation of the project site and has evaluated the project as described in the application and plans.
4. Geneva Lake is a navigable water (and no bulkhead exists at the project site).
5. The proposed project, if constructed in accordance with this permit will not adversely affect water quality, will not increase water pollution in surface waters and will not cause environmental pollution as defined in s. 283.01(6m), Wis. Stats.
6. The proposed project will not impact wetlands if constructed in accordance with this permit.
7. The Department of Natural Resources has determined that the agency's review of the proposed project constitutes an equivalent analysis action under s. NR 150.20(2), Wis. Adm. Code. The Department has considered the impacts on the human environment, alternatives to the proposed projects and has provided opportunities for public disclosure and comment. The Department has completed all procedural requirements of s. 1.11(2)(c), Wis. Stats., and NR 150, Wis. Adm. Code for this project.
8. The Department of Natural Resources has completed all procedural requirements and the project as permitted will comply with all applicable requirements of sections 30.12(3m), Wisconsin Statutes and Chapters NR 102, 103, 326 of the Wisconsin Administrative Code.

The applicant was responsible for fulfilling the procedural requirements for publication of notices under s. 30.208(5)(c)1m., Stats., and was responsible for publication of the notice of pending application under s.30.208(3)(a), Stats. or the notice of public informational hearing under s.30.208(3)(c), Stats., or both. S. 30.208(3)(e), Stats., provides that if no public hearing is held, the Department must issue its decision within 30 days of the 30-day public comment period, and if a public hearing is held, the Department must issue its decision within 20 days after the 10-day period for public comment after the public hearing. S. 30.208(5)(bm), Stats., requires the Department to consider the date on which the department publishes a notice on its web site as the date of notice.

9. The structure or deposit will not materially obstruct navigation because vessels will be able to navigate around the structure and the structure will be of similar length as other piers on Geneva Lake.

10. The structure or deposit will not be detrimental to the public interest because the addition will not cause the property owner to exceed what would be considered reasonable use at the site. The size and configuration of the pier is similar to other piers on Geneva Lake.

#### CONCLUSIONS OF LAW

1. The Department has authority under the above indicated Statutes and Administrative Codes, to issue a permit for the construction and maintenance of this project.

#### NOTICE OF APPEAL RIGHTS

If you believe that you have a right to challenge this decision, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions shall be filed. For judicial review of a decision pursuant to sections 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review shall name the Department of Natural Resources as the respondent.

To request a contested case hearing of any individual permit decision pursuant to section 30.209, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources, P.O. Box 7921, Madison, WI, 53707-7921. The petition shall be in writing, shall be dated and signed by the petitioner, and shall include as an attachment a copy of the decision for which administrative review is sought. If you are not the applicant, you must simultaneously provide a copy of the petition to the applicant. If you wish to request a stay of the project, you must provide information, as outlined below, to show that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment. If you are not the permit applicant, you must provide a copy of the petition to the permit applicant at the same time that you serve the petition on the Department.

**The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30 day period for filing a petition for judicial review.**

A request for contested case hearing must meet the requirements of section 30.209, Wis. Stats., and sections NR 2.03, 2.05, and 310.18, Wis. Admin. Code, and if the petitioner is not the applicant the petition must include the following information:

1. A description of the objection that is sufficiently specific to allow the department to determine which provisions of this section may be violated if the proposed permit or contract is allowed to proceed.
2. A description of the facts supporting the petition that is sufficiently specific to determine how the petitioner believes the project, as proposed, may result in a violation of Chapter 30, Wis. Stats.;
3. A commitment by the petitioner to appear at the administrative hearing and present information supporting the petitioner's objection.

If the petition contains a request for a stay of the project, the petition must also include information showing that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment.

Dated at Waukesha Service Center, Wisconsin on 05/04/2018.

STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES  
For the Secretary

By



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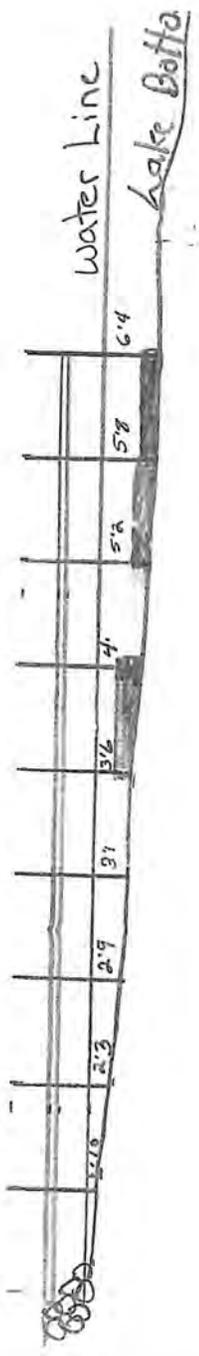
Elaine Johnson  
Water Management Specialist



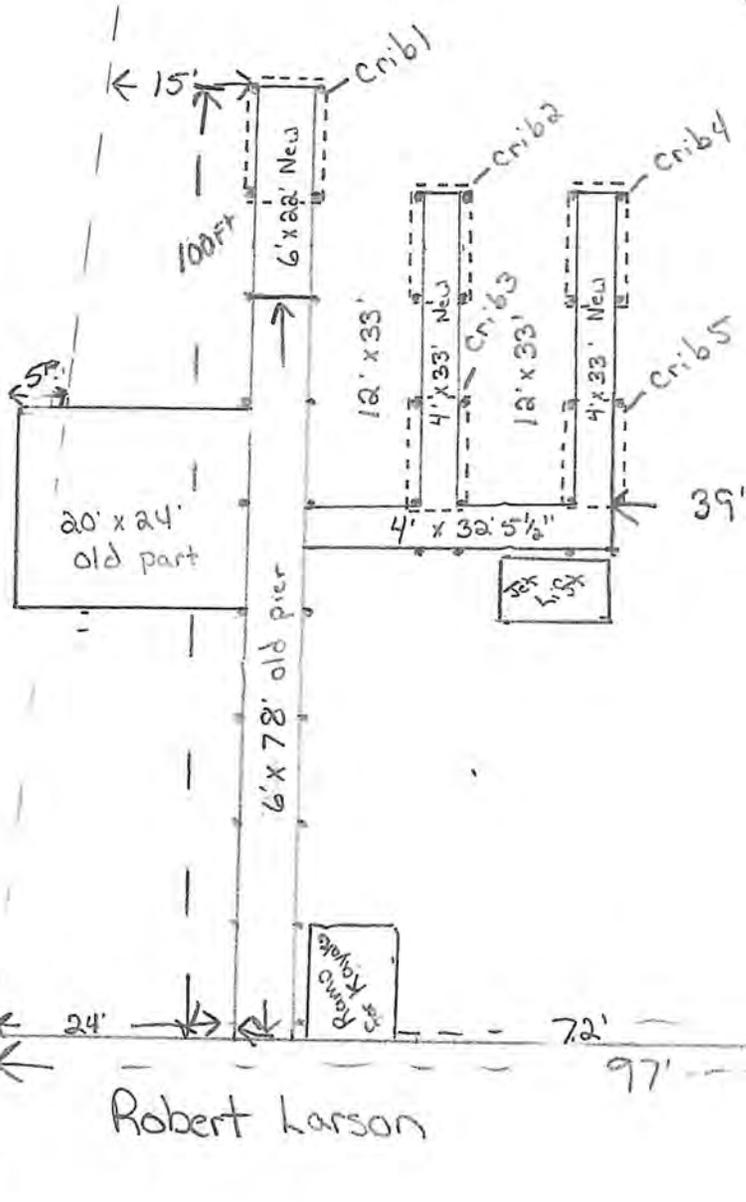
N ↓

1" = 20'

CROSS VIEW



Top View  
Pier # 35



Water Dept

100	6' 4"
90	5' 8"
80	5' 2"
70	4'
60	3' 6"
50	3' 4"
40	3' 1"
30	2' 9"
20	2' 3"
10	1' 10"

Crib Sq Ft

- Crib 1 8' x 12' = 96'
- Crib 2 6' x 12' = 72'
- Crib 3 6' x 12' = 72'
- Crib 4 6' x 12' = 72'
- Crib 5 6' x 12' = 72'

Total crib sq Ft 384

Bob Somerville

Robert Larson

Bob Stenstrom

67

NA

Como

Lake

SHORE DR.

MCDONALD DR.

Snake

Project Location

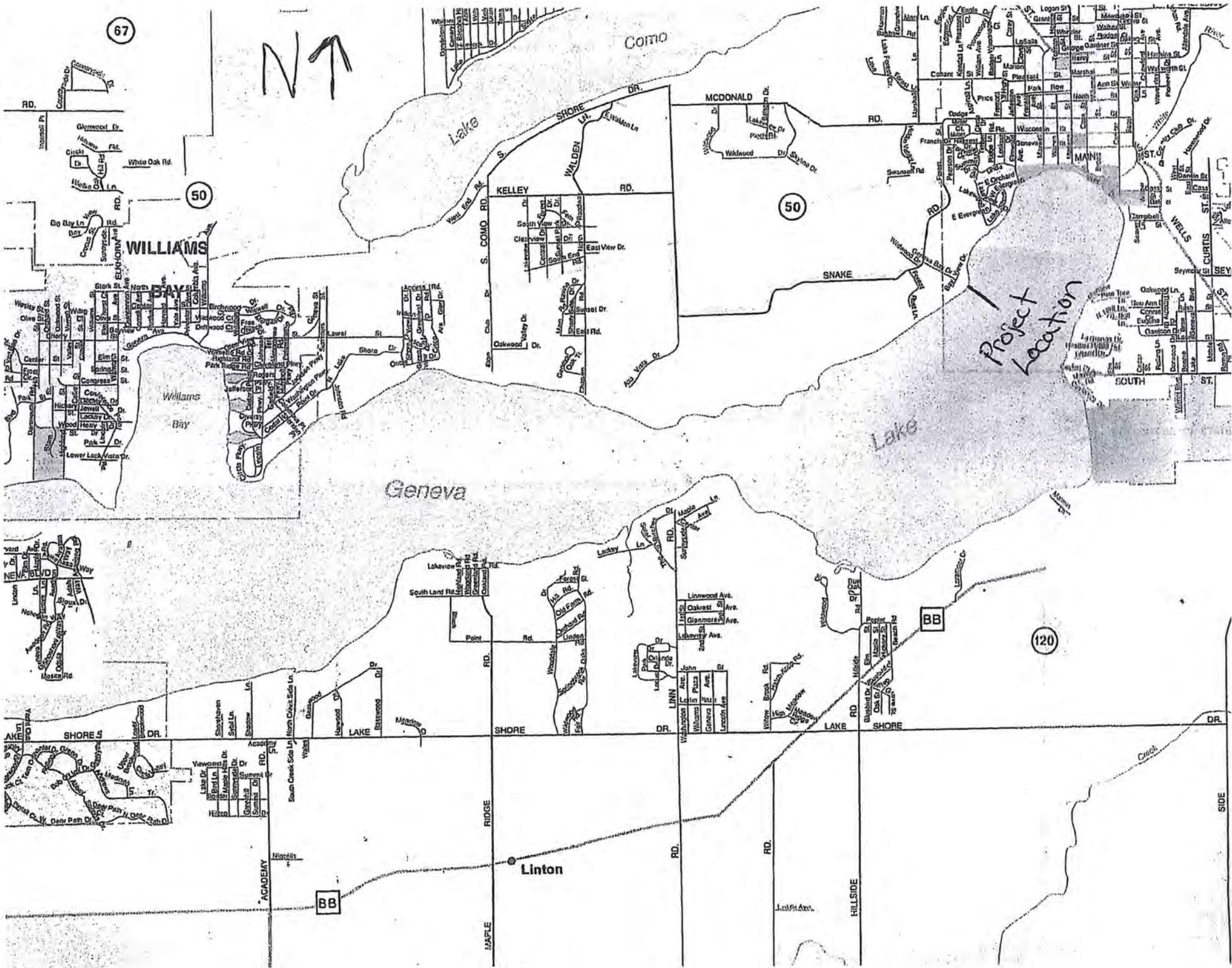
Geneva

Lake

120

Linton

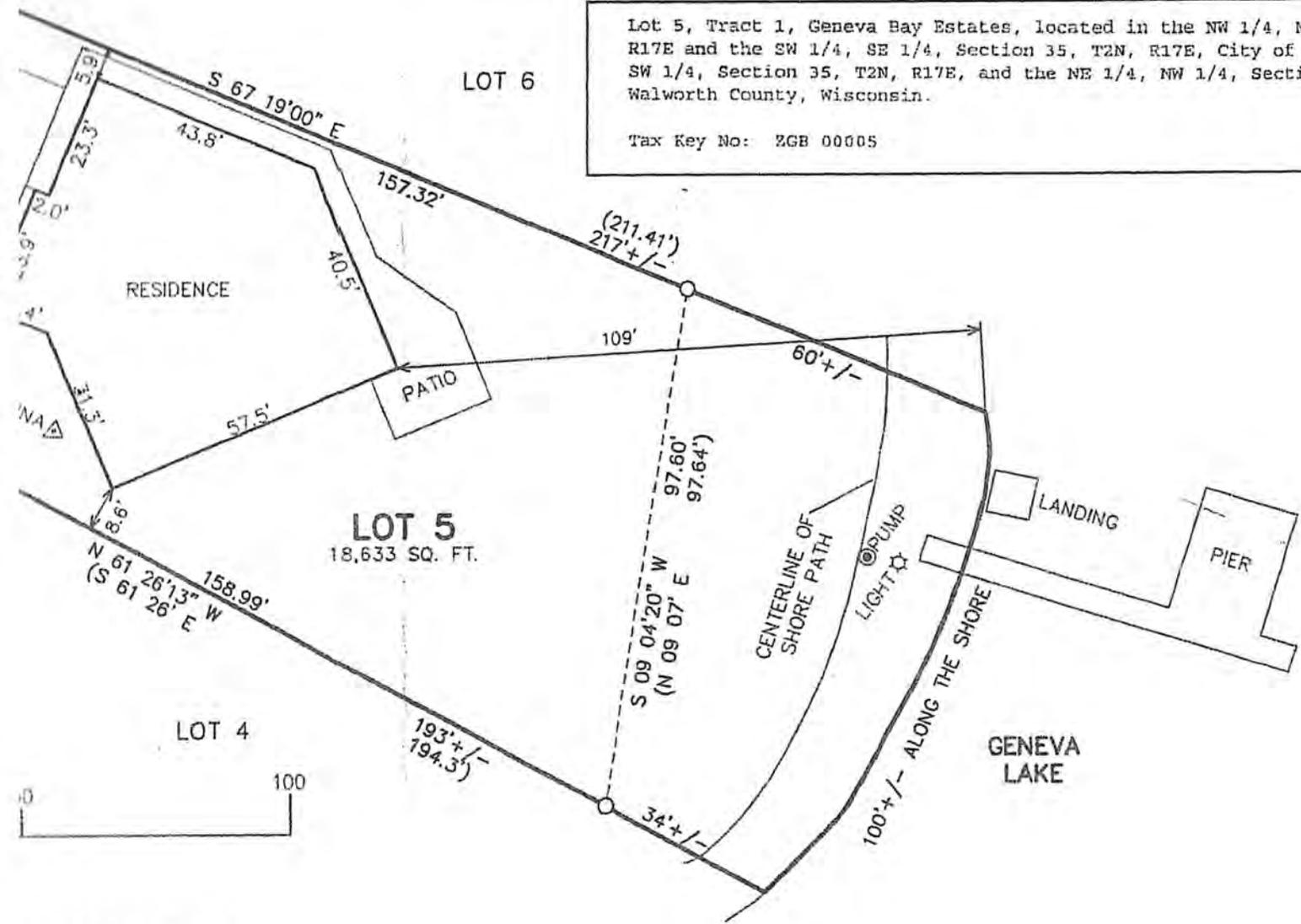
BB



PLAT OF SURVEY

Lot 5, Tract 1, Geneva Bay Estates, located in the NW 1/4, NE 1/4, Section 2, T1N, R17E and the SW 1/4, SE 1/4, Section 35, T2N, R17E, City of Lake Geneva; the SE 1/4, SW 1/4, Section 35, T2N, R17E, and the NE 1/4, NW 1/4, Section 2, T1N, R17E, Walworth County, Wisconsin.

Tax Key No: ZGB 00005



SURVEYOR'S ORIGINAL NOTATIONS WHICH DO NOT

BE MY DIRECTION AND THAT THE LOCATION OF THE PROPERTY, ITS DIMENSIONS, AND ALL PRINCIPAL FEATURES, INCLUDING ANY ENCROACHMENTS, IF ANY, AND ALSO THOSE WHOSE INTERESTS ARE AFFECTED BY THIS PLAT, ARE SHOWN ON THE DATE HEREOF.

RECEIVED  
 NOV 19 2009  
 By *SMK*

LAKE GENEVA CITY TREASURER  
626 GENEVA ST  
LAKE GENEVA, WI 53147

**WALWORTH COUNTY - STATE OF WISCONSIN  
PROPERTY TAX BILL FOR 2017  
REAL ESTATE**

ROBERT D LARSON TRUST



Parcel Number: ZGB 00005  
Bill Number: 336278

**Important:** Be sure this description covers your property. Note that this description is for tax bill only and may not be a full legal description. See reverse side for important information.

336278/ZGB 00005 4473  
ROBERT D LARSON TRUST  
2403 COMSTOCK CT  
NAPERVILLE IL 60564

**Location of Property/Legal Description**  
905 BAYVIEW DR

LOT 5 BLK 1 GENEVA BAY EST. CITY OF LAKE GENEVA  
0.464 ACRES

Please inform treasurer of address changes.

ASSESSED VALUE LAND	ASSESSED VALUE IMPROVEMENTS	TOTAL ASSESSED VALUE	AVERAGE ASSMT. RATIO	NET ASSESSED VALUE RATE	NET PROPERTY TAX
1,660,000	84,400	1,744,400	0.980372004	0.02079890 <small>(Does NOT reflect credits)</small>	36,201.33
ESTIMATED FAIR MARKET VALUE LAND	ESTIMATED FAIR MARKET VALUE IMPROVEMENTS	TOTAL ESTIMATED FAIR MARKET VALUE	<input type="checkbox"/> A star in this box means unpaid prior year taxes.	School taxes also reduced by school levy tax credit	
1,693,200	86,100	1,779,300		4,027.68	
TAXING JURISDICTION	2016 EST. STATE AIDS ALLOCATED TAX DIST.	2017 EST. STATE AIDS ALLOCATED TAX DIST.	2016 NET TAX	2017 NET TAX	% TAX CHANGE
STATE OF WISCONSIN	0	0	296.10	0.00	-100.0%
WALWORTH COUNTY	216,058	252,183	7,832.72	7,561.15	-3.5%
City of Lake Geneva	772,856	781,692	10,397.23	10,190.92	-2.0%
Lake Geneva-Genoa City UHS	825,442	1,115,956	6,789.83	6,372.41	-6.1%
Lake Geneva JI School Dist	4,195,047	3,975,047	10,405.15	10,705.58	2.9%
Gateway Technical	1,379,130	1,226,202	1,400.75	1,451.54	3.6%
<b>TOTAL</b>	<b>7,388,533</b>	<b>7,351,080</b>	<b>37,121.78</b>	<b>36,281.60</b>	<b>-2.3%</b>
<b>FIRST DOLLAR CREDIT</b>			<b>-80.38</b>	<b>-80.27</b>	<b>-0.1%</b>
<b>LOTTERY AND GAMING CREDIT</b>			<b>0.00</b>	<b>0.00</b>	<b>0.0%</b>
<b>NET PROPERTY TAX</b>			<b>37,041.40</b>	<b>36,201.33</b>	<b>-2.3%</b>

**TOTAL DUE: \$36,201.33**  
FOR FULL PAYMENT, PAY TO LOCAL  
TREASURER BY:  
JANUARY 31, 2018

Warning: If not paid by due dates,  
installment option is lost and total tax is  
delinquent subject to interest and, if  
applicable, penalty.  
Failure to pay on time. See reverse.

**FOR INFORMATION PURPOSES ONLY • Voter Approved Temporary Tax Increases**

Taxing Jurisdiction	Total Additional Taxes	Total Additional Taxes Applied to Property	Year Increase Ends	Taxing Jurisdiction	Total Additional Taxes	Total Additional Taxes Applied to Property	Year Increase Ends
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STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: June 18, 2018

Agenda Item: 12

Applicant:

Lake Geneva 50120 LLC.  
c/o GMX Real Estate Group LLC  
3000 Dundee Road suite 408  
Northbrook IL 60062

Request:

Amend General Development Plan (GDP)  
281 Edwards Blvd, Lake Geneva, WI 53147  
Amendment Exterior Building Dimensions

Description:

The applicant is submitting a request to amend the existing General Development Plan (GDP) that was previously issued for the property located at 281 Edwards Blvd. for the exterior building dimension. The current design of the buildings is identified in the submittal as documents "Original Submittal". The requested changes are reflected on the following pages whereas the request is a change to enlarge the existing building to accommodate a potential tenants store size. The City has previously approved the building, building locations, and site plan to include parking.

To clarify this request is only to enlarge the building slightly larger by approximately 6'.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed amendment to the existing General Development Plan (GDP):

As part of the consideration of the requested GDP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed GDP;
- Include *findings* required by the Zoning Ordinance for GDPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the GDP for Recommendation to the Common Council:

A proposed GDP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed amended General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning

Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed amended General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed amended General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed amended General Development Plan (GDP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed amended General Development Plan (GDP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed amended General Development Plan (GDP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed amended General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed amended General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed amended General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed amended General Development Plan (GDP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed amended General Development Plan (GDP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed amended General Development Plan (GDP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed General Development Plan (GDP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed amended General Development Plan (GDP) as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: June 18, 2018

Agenda Item: 13

Applicant:

Lake Geneva 50120 LLC.  
c/o GMX Real Estate Group LLC  
3000 Dundee Road suite 408  
Northbrook IL 60062

Request:

Amend Precise Implementation Plan (PIP)  
281 Edwards Blvd, Lake Geneva, WI 53147  
Amendment Exterior Building Dimensions

Description:

The applicant is submitting a request to amend the existing Precise Implementation Plan (PIP) that was previously issued for the property located at 281 Edwards Blvd. for the exterior building dimension. The current design of the buildings is identified in the submittal as documents "Original Submittal". The requested changes are reflected on the following pages whereas the request is a change to enlarge the existing building to accommodate a potential tenant's store size. The City has previously approved the building, building locations, and site plan to include parking.

To clarify this request is only to enlarge the building slightly larger by approximately 6'.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed amendment to the existing Precise Implementation Plan (PIP):

As part of the consideration of the requested PIP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed PIP;
- Include *findings* required by the Zoning Ordinance for PIPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the PIP for Recommendation to the Common Council:

A proposed PIP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed amended Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning

Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed amended Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed amended Precise Implementation Plan (PIP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed amended Precise Implementation Plan (PIP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed amended Precise Implementation Plan (PIP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed amended Precise Implementation Plan (PIP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed amended Precise Implementation Plan (PIP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed amended Precise Implementation Plan (PIP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed amended Precise Implementation Plan (PIP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed amended Precise Implementation Plan (PIP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed amended Precise Implementation Plan (PIP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed amended Precise Implementation Plan (PIP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Precise Implementation Plan (PIP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed amended Precise Implementation Plan (PIP) as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

GENERAL DEVELOPMENT PLAN (GDP) AMENDMENT

Name of Applicant: Lake Geneva 50120, LLC

Address of Applicant: 3000 Dundee Road Suite 408, Northbrook, IL 60062

Attn: Kevin Mottlowitz, Manager, GMX Real Estate Group, LLC,

As Agent on behalf of Lake Geneva 50120, LLC

Telephone No. ( 847 ) 680-8600 ext. 301

Email Address: kbm@gmxre.com

Proposed GDP Amendment: Proposed expansion of the second building (Building B)  
footprint by +/- 465 sf.

Reason for requesting proposed Amendment: In order to accommodate our proposed tenant,  
who requires a minimum of 2,400 sf vs the existing +/- 1,935 sf.

*Fee of \$400.00 payable upon filing application.*

8/10/19  
Date

  
Signature of Applicant

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

*City of Lake Geneva*

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

281 N. Edwards Blvd.

Name and Address of Current Owner:

GNI of Eleventh, L.L.C., 2554 Charles Street, Rockford, IL 61108

Attn: Nerino J. Petro, Jr. President/Attorney, The Erickson Group, As Agent on behalf of owner.

Telephone No. with area code & Email of Current Owner: 815.398.1900 (O) | 815.398.1905 (M) | npetro@ericksonrockford.com

Name and Address of Applicant:

Lake Geneva 50120, LLC, 3000 Dundee Road, Northbrook, IL 60062

Attn: Kevin Mottlowitz, Manager, GMX Real Estat eGroup, LLC, As Agent on behalf of Lake Geneva 50120, LLC

Telephone No. with area code & Email of Current Owner: 847.680.8600 Ext. 301 | kbm@gmxre.com

Proposed Use:

Extension of second commercial building to the west to accomodate national dental, retail, & restaurant.

Zoning District in which land is located: Planned Business Commercial

Names and Addresses of architect, professional engineer and contractor of project:

JTS Architects - 450 E Higgins Rd. Ste 202, Elk Grove Village, IL 60007

RTM Engineering - 650 E Algonquin Rd. Ste 250, Schaumburg, IL 60173

ICSI General Contractor - 21675 Gateway Dr., Brookfield, WI 53045

Short statement describing activities to take place on site:

Existing Starbucks & AT&T opened summer/fall of 2017. The proposed second building and the proposed extension would commence spring 2018 for tenant openings in the fall of 2018. This would be the completion of the development project. The overall plan and design were previously approved in the Fall of 2016 at which time the PIP amendment was approved. Applicant is seeking another site amendment in order to receive approval to make extension modifications to the previously approved building design.

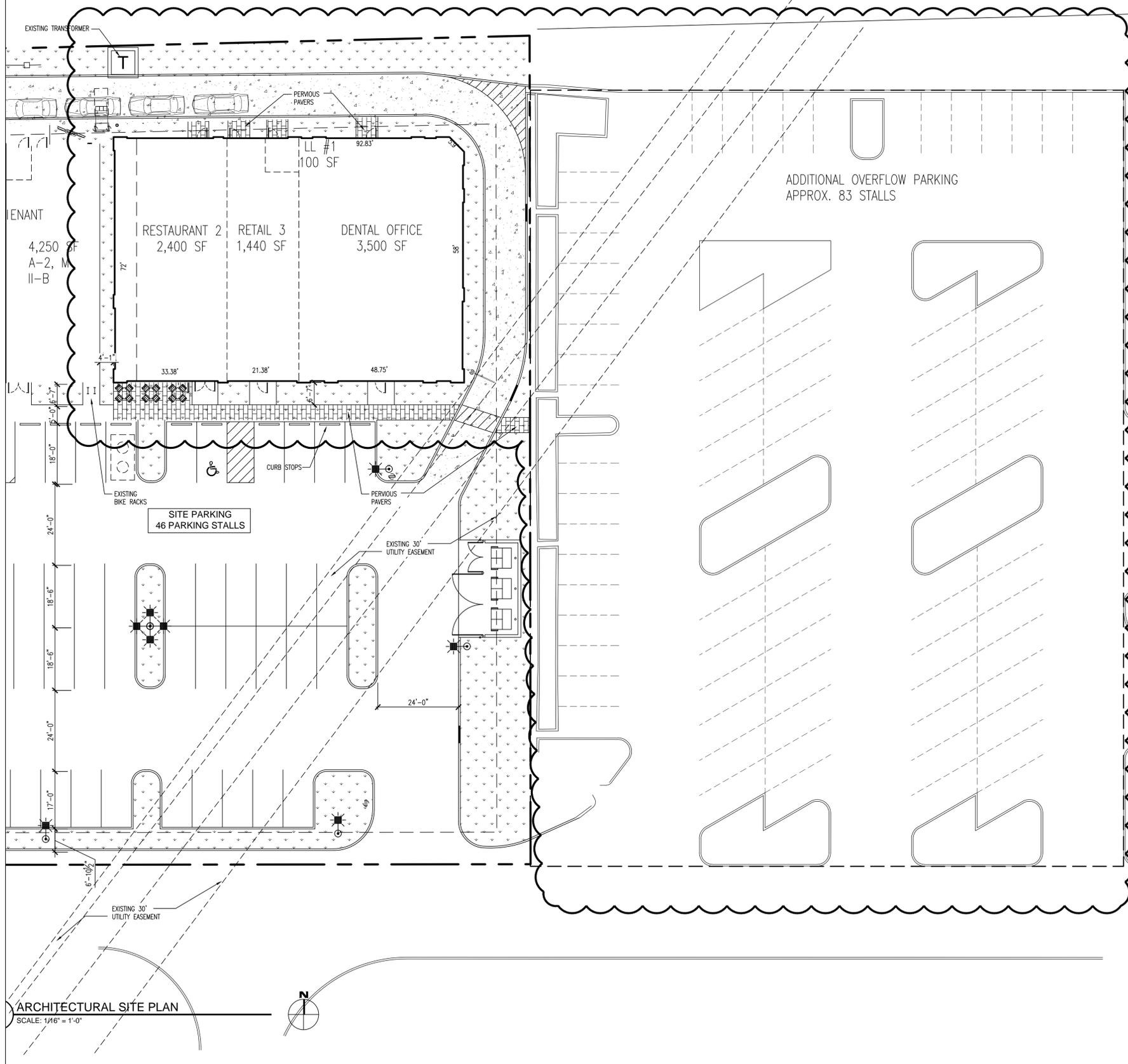
PIP Amendment fee \$400.00, payable upon filing application.

5/10/18

Date



Signature of Applicant



ARCHITECTURAL SITE PLAN  
SCALE: 1/16" = 1'-0"



LOT INFORMATION	
LAND USE:	COMMERCIAL
LAND AREA:	1.214 ACRES
LANDSCAPE AREA:	25.0%
BUILDING AREA	
EXISTING CONSTRUCTION:	
RESTAURANT 1	2,115 SF
RETAIL 1	2,030 SF
LL ROOM 1	105 SF
TOTAL	4,250 SF
NEW CONSTRUCTION:	
RESTAURANT 2	2,400 SF
RETAIL 3	1,440 SF
DENTAL OFFICE	3,500 SF
LL ROOM 2	100 SF
TOTAL	7,440 SF
PARKING DATA	
NO. OF PARKING STALLS:	44
NO. ADA STALLS:	2
TOTAL STALLS PROVIDED:	46

ADDITIONAL OVERFLOW PARKING  
APPROX. 83 STALLS

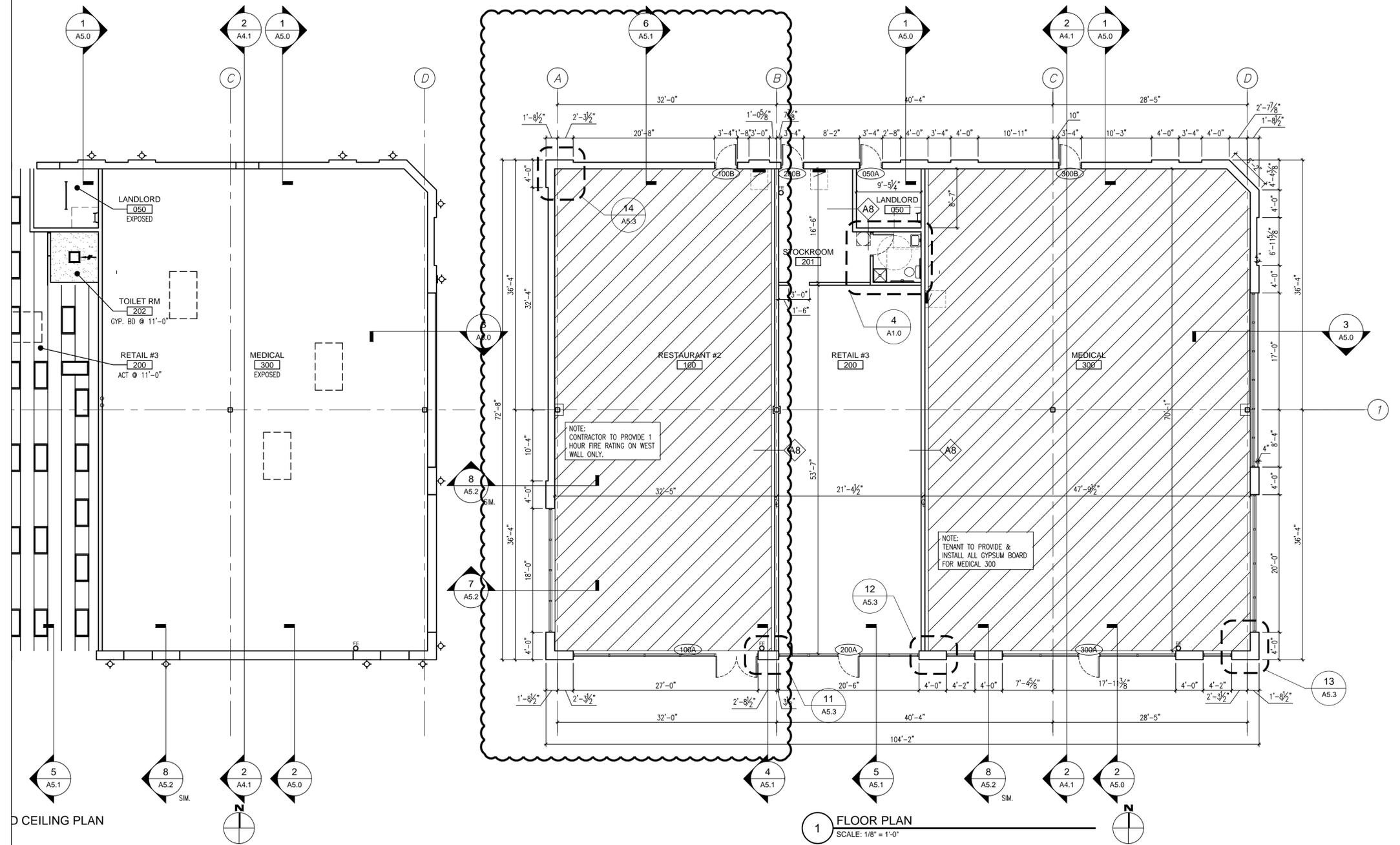
ENANT  
4,250 SF  
A-2, M  
II-B

SITE PARKING  
46 PARKING STALLS

NO.	SET DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
03/15/17	ISSUED FOR BIDDING				
03/15/18	AS PERMITS				

DATE: 03/15/2018  
SHEET

AS1



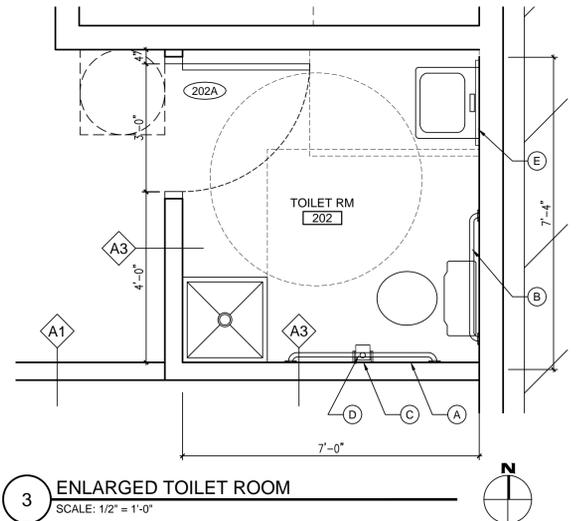
2 CEILING PLAN

### TOILET ACCESSORY SCHEDULE (RETAIL 100)

MARK	DESCRIPTION	SPECIFICATION	NOTES
(A)	42" GRAB BAR	BOBRICK, B-6806 (1 1/2" DIA) SATIN STAINLESS STEEL W/CONCEALED MTG	--
(B)	36" GRAB BAR	BOBRICK, B-6806 (1 1/2" DIA) SATIN STAINLESS STEEL W/CONCEALED MTG	--
(C)	18" GRAB BAR	BOBRICK, B-6806 (1 1/2" DIA) SATIN STAINLESS STEEL W/CONCEALED MTG	--
(D)	TOILET PAPER DISPENSER	BOBRICK B-76857 OR EQUAL	--
(E)	MIRROR	BOBRICK B-165-2436, 24" W x 36" H	--
---	---	---	---

NOTE:  
SEE SHEET G2 FOR ARCHITECTURAL GUIDELINES REGARDING ADA REQUIREMENTS.

NOTE:  
WATER HEATER TO BE MOUNTED ABOVE CEILING AT TOILET ROOM DOOR (STOCKROOM SIDE).







CLIMAX DECIDUOUS TREE		2	150
TALL DECIDUOUS TREE	30% = 59 POINTS	2	60
MEDIUM DECIDUOUS SHRUB	40% = 78 POINTS	37	111
PERENNIALS	702 SF		1010 SF
TOTAL:	192 POINTS		321
FLOOR AREA:			
MEDIUM EVERGREEN SHRUB		25	125
TOTAL:	116 POINTS		125

STAT TP R

OVERALL PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
BET HER	Betula nigra 'Heritage' / Heritage River Birch	B & B	2.5'Cal	6' trunk ht.	5
CER ALB	Cercis canadensis 'Alba' / White Eastern Red Bud	B & B	2.5'Cal	6' trunk ht.	3
GIN GOL	Ginkgo biloba 'Golden Globe' / Golden Globe Ginkgo	B & B	2.5'Cal		4
GLE SKY	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B & B	2.5'Cal		2
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	HEIGHT	QTY	
COR ART	Comus sericea 'Artic Fire' / Artic Fire Dogwood	3 gal	24" H	22	
EYO COM	Euonymus alatus 'Compactus' / Compact Burning Bush	3 gal	36" H	16	
HYD LIM	Hydrangea paniculata 'Limelight' TM / Limelight Hydrangea	3 gal	24" H	23	
JUN FO2	Juniperus chinensis 'Sea Green' / Sea Green Juniper	B & B	24" H	12	
JUN BL8	Juniperus virginiana 'Blue Mountain' / Blue Mountain Juniper	3 gal	36" H	25	
ROS DO3	Rosa x 'Double Knockout' / Rose	3 gal	24" H.	29	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	
ACH MOO	Achillea x 'Moonshine' / Moonshine Yarrow	1 gal	24" o.c.	46	
CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	24" o.c.	74	
HEM APA	Hemerocallis x 'Chicago Apache' / Daylily	1 gal	24" o.c.	94	
PAC GRE	Pachysandra terminalis 'Green Carpet' / Japanese Spurge	flat	18" o.c.	113	
SEED	Bluegrass, Rye and Fescue Blend with Blanket	13,000 SF			

Phase 1 PLANT SCHEDULE

<u>TREES</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>	<u>QTY</u>
BET HER	Betula nigra 'Heritage' / Heritage River Birch	B & B	2.5"Cal	6' trunk ht.	5
GIN GOL	Ginkgo biloba 'Golden Globe' / Golden Globe Ginkgo	B & B	2.5"Cal		4
GLE SKY	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B & B	2.5"Cal		2
<u>SHRUBS</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>SIZE</u>	<u>HEIGHT</u>	<u>QTY</u>	
COR ART	Cornus sericea 'Artic Fire' / Artic Fire Dogwood	3 gal	24" H		17
EUO COM	Euonymus alatus 'Compactus' / Compact Burning Bush	3 gal	36" H		9
HYD LIM	Hydrangea paniculata 'Limelight' TM / Limelight Hydrangea	3 gal	24" H		7
JUN BLS	Juniperus virginiana 'Blue Mountain' / Blue Mountain Juniper	3 gal	36" H		25
ROS DO3	Rosa x 'Double Knockout' / Rose	3 gal	24" H.		23
<u>GROUND COVERS</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>	<u>QTY</u>	
ACH MOO	Achillea x 'Moonshine' / Moonshine Yarrow	1 gal	24" o.c.		36
CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	24" o.c.		74
HEM APA	Hemerocallis x 'Chicago Apache' / Daylily	1 gal	24" o.c.		94
PAC GRE	Pachysandra terminalis 'Green Carpet' / Japanese Spurge	flat	18" o.c.		30
SEED	Bluegrass, Rye and Fescue Blend with Blanket	12,500 SF			

B

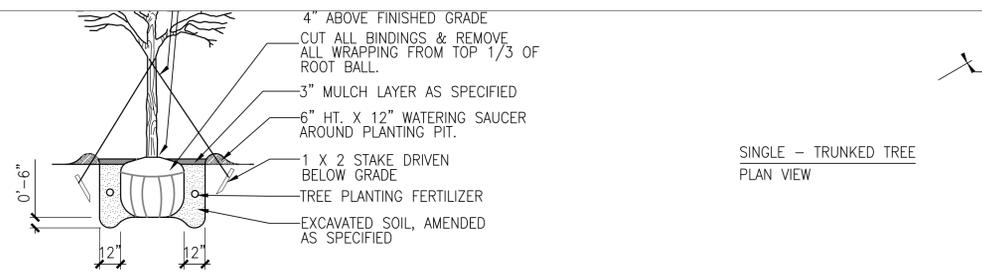
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B

Phase 2 PLANT SCHEDULE

<u>TREES</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>	<u>QTY</u>
CER ALB	Cercis canadensis 'Alba' / White Eastern Red Bud	B & B	2.5" Cal	6" trunk ht.	3
<u>SHRUBS</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>SIZE</u>	<u>HEIGHT</u>	<u>QTY</u>	
COR ART	Comus sericea 'Artic Fire' / Artic Fire Dogwood	3 gal	24" H		5
EVO COM	Euonymus alatus 'Compactus' / Compact Burning Bush	3 gal	36" H		7
HYD LIM	Hydrangea paniculata 'Limelight' TM / Limelight Hydrangea	3 gal	24" H		16
JUN FO2	Juniperus chinensis 'Sea Green' / Sea Green Juniper	B & B	24" H		12
ROS DO3	Rosa x 'Double Knockout' / Rose	3 gal	24" H.		6
<u>GROUND COVERS</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>	<u>QTY</u>	
ACH MOO	Achillea x 'Moonshine' / Moonshine Yarrow	1 gal	24" o.c.		10
PAC GRE	Pachysandra terminalis 'Green Carpet' / Japanese Spurge	flat	18" o.c.		83
SEED	Bluegrass, Rye and Fescue Blend with Blanket	300 SF			

A

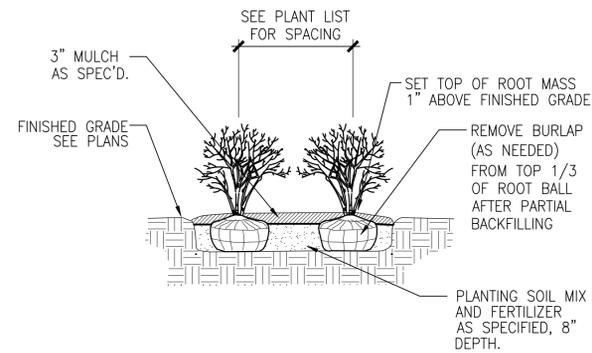


SINGLE - TRUNKED TREE  
 PLAN VIEW

○ SHADE TREE PLANTING  
 SCALE: 1/4"=1'-0"  
 DT-tree-w-wire-gyn

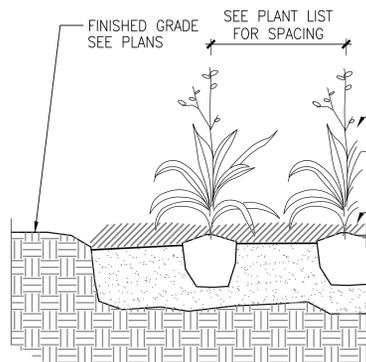
○ TREE GUYING DETAIL  
 SCALE: 1/4"=1'-0"

B



ALL PLANTS TO BE INSTALLED IN STAGGERED ROWS UNLESS OTHERWISE NOTED ON PLANS

○ SHRUB PLANTING DETAIL  
 SCALE: 1/2"=1'-0"  
 DT-shrub-gyn

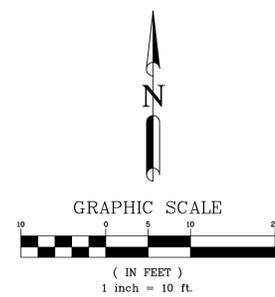
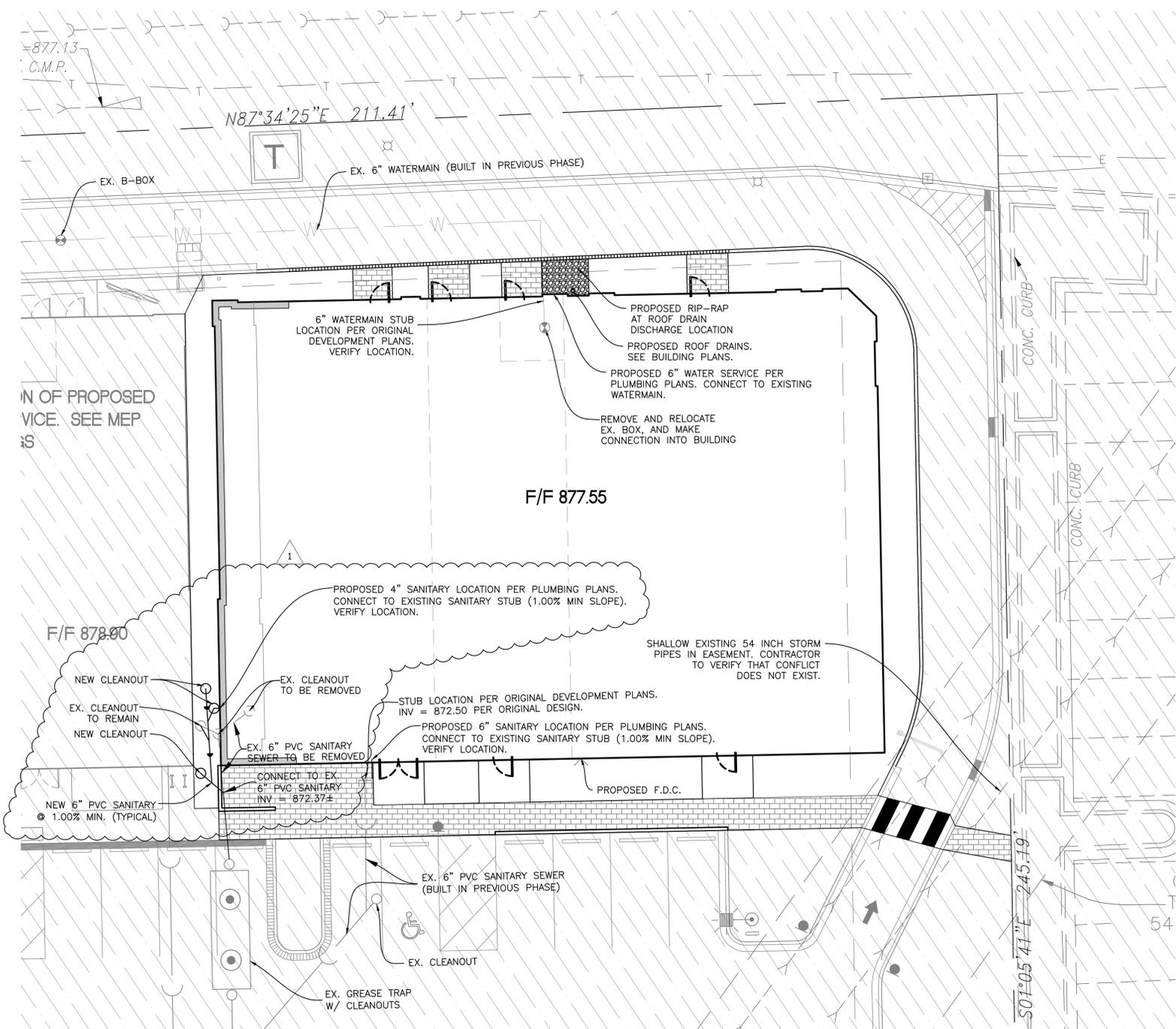


○ GROUNDCOVER PLANT  
 SCALE: 1"=1'-0"

A







**LEGEND**

	EXISTING	PROPOSED
SANITARY SEWER		
SANITARY SERVICE		
STORM SERVICE		
STORM SERVICE		
WATERMAIN		
GAS MAIN		
TELEPHONE LINE		
ELECTRIC LINE		
OVERHEAD WIRES		
CATCH BASIN/INLET		
MANHOLE		
CLEAN OUT		
VALVE BOX/VAULT		
FIRE HYDRANT		
B-BOX		
LIGHTS (SEE BLDG PLANS)		

EXISTING IMPROVEMENTS SHOWN PER THE ORIGINAL DESIGN DRAWINGS.  
 NOTE: CONTRACTOR TO VERIFY AS-BUILT CONDITIONS AND NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES THAT AFFECT THEIR WORK. EXISTING IMPROVEMENTS DAMAGED IN THE COURSE OF THE WORK SHALL BE REPAIRED / REPLACED TO OWNERS SATISFACTION.

No.	DATE	DESCRIPTION
0	03/15/18	ISSUED FOR PERMIT
1	05/15/18	BUILDING EXPANSION

PROJECT NAME	THE SHOPS AT LAKE GENEVA - BUILDING #2
PROJECT No.	15.GMX.009
SHEET No.	C3
PROJECT ADDRESS	281 NORTH EDWARDS BLVD. LAKE GENEVA, WI

SHEET NAME	UTILITY PLAN
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ENGINEER	TIM J. SHOEMAKER
PROFESSIONAL ENGINEER	3321006 HENRY IL

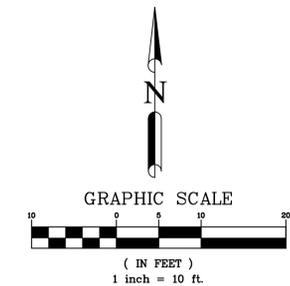
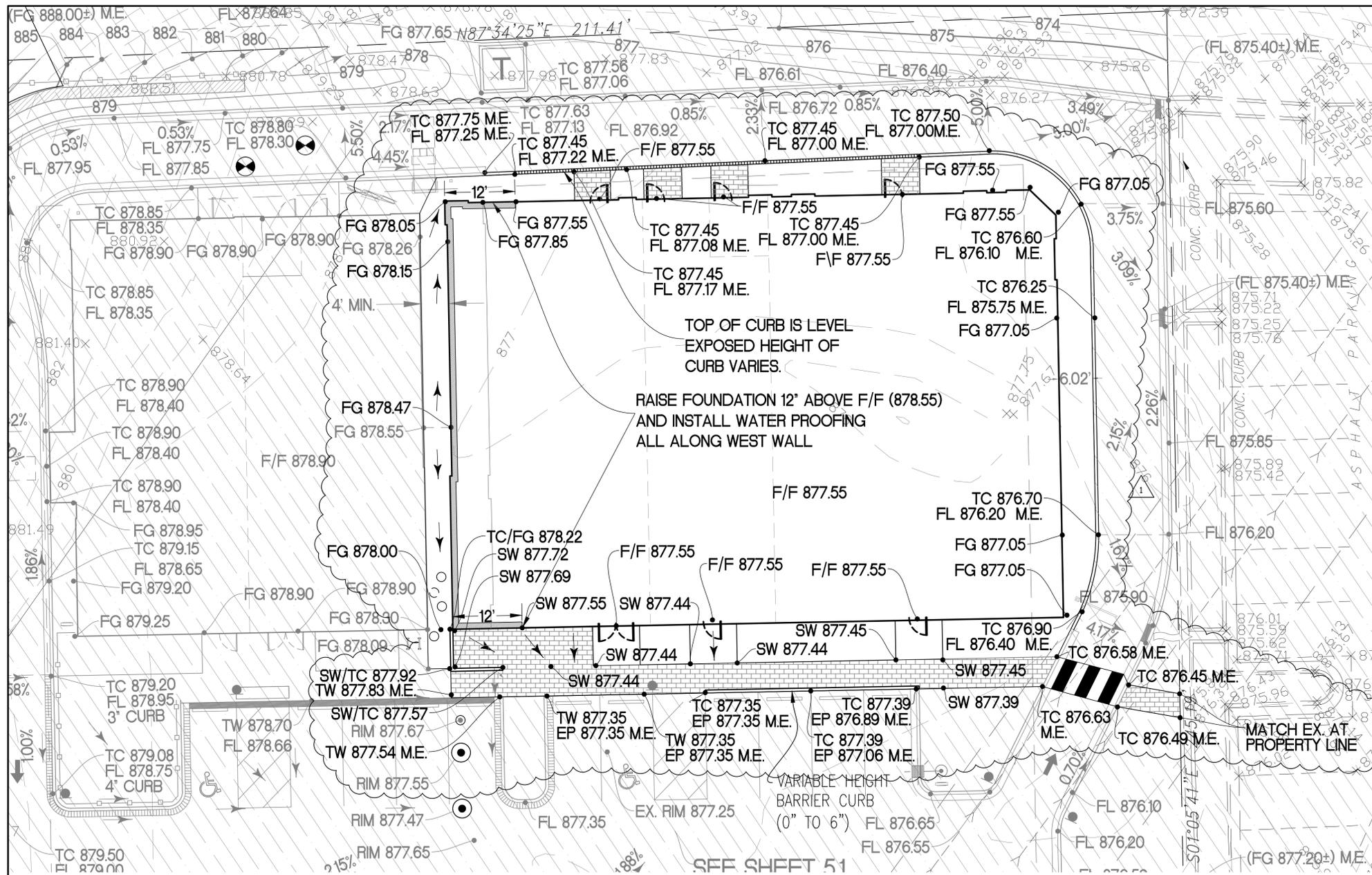
  

715 Ridgeway Drive, McHenry, IL 60050 T:815.578.0200 www.rtmassociates.com



EXPIRES 11-30-2019

NOT FOR CONSTRUCTION



**LEGEND**

	EXISTING	PROPOSED
1 FOOT CONTOUR		
5 FOOT CONTOUR		
SURFACE ELEVATION	$\times 0.00$	$\bullet 0.00$
RECORD SURFACE ELEVATION	$\times 0.00$	
DIRECTION OF FLOW		
OVERLAND OVERFLOW		
CATCH BASIN / INLET		
MANHOLE		
WATERMAIN VALVE		
SAWTOOTH LINE		
RIDGE LINE		
GRADE CHANGE SLOPE AREA		
TOP OF CURB	TC 000.00	TC 000.00
TOP OF DEPRESSED CURB	TDC 000.00	TDC 000.00
FLOW LINE	FL 000.00	FL 000.00
TOP OF PAVEMENT	TP 000.00	TP 000.00
TOP OF SIDEWALK	SW 000.00	SW 000.00
TOP OF FINISHED GRADE	FG 000.00	FG 000.00
TOP OF UTILITY STRUCTURE	RM 000.00	RM 000.00
TOP OF WALL	T/WALL 000.00	T/WALL 000.00
BOTTOM OF WALL	B/WALL 000.00	B/WALL 000.00
FINISHED FLOOR	F/F 000.00	F/F 000.00
MATCH OR MEET EXIST GRADE	(XX 000.00) M.E.	(XX 000.00) M.E.
CRITICAL GRADE	[TP 000.00]	[TP 000.00]
CURB AND GUTTER CURB		
CURB AND GUTTER DEPRESSED		
CURB TRANSITION		
REVERSE GUTTER PITCH (AWAY FROM CURB)		

EXISTING IMPROVEMENTS SHOWN PER THE ORIGINAL DESIGN DRAWINGS.  
 NOTE: CONTRACTOR TO VERIFY AS-BUILT CONDITIONS AND NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES THAT AFFECT THEIR WORK. EXISTING IMPROVEMENTS DAMAGED IN THE COURSE OF THE WORK SHALL BE REPAIRED / REPLACED TO OWNERS SATISFACTION.

**NOTES:**

1. PROPOSED ELEVATIONS SHOWN ON PROPOSED CURB LINES ARE FLOW LINE ELEVATIONS UNLESS NOTED OTHERWISE. ADD 0.50' TO OBTAIN TOP OF CURB ELEVATIONS. HOWEVER, PLEASE KEEP IN MIND THAT ALL CURBS ARE NOT 0.50' TALL. PAY CLOSE ATTENTION TO ALL CURB TRANSITIONS. IN THESE AREAS THE CURB HEIGHTS ARE VARIABLE.
2. A CONSTANT SLOPE SHALL BE MAINTAINED BETWEEN SPOT GRADES.
3. RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
4. ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPUT LAND SURVEYS, LLC., DATED MAY 10, 2016.
5. HANDICAP SPACES SHALL NOT EXCEED 2% SLOPE IN ALL DIRECTIONS.
6. SIDEWALK TO BE USED AS A HANDICAP ACCESSIBLE ROUTE, SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.

**NOTES:**  
 M.E. DENOTES MEET EXISTING ELEVATION. IF EXISTING ELEVATIONS DO NOT MATCH ORIGINAL PLAN GRADES SHOWN OR CREATES A GRADING PROBLEM NOTIFY ENGINEER IMMEDIATELY.

PROJECT NAME	THE SHOPS AT LAKE GENEVA - BUILDING #2
PROJECT No.	15.GMX.009
SHEET No.	C4
DATE	03/15/18
DESCRIPTION	BUILDING EXPANSION
DATE	03/15/18
DESCRIPTION	BUILDING EXPANSION
DATE	03/15/18
DESCRIPTION	BUILDING EXPANSION
DATE	03/15/18
DESCRIPTION	BUILDING EXPANSION



EXPIRES 11-30-2019

NOT FOR CONSTRUCTION

SPECIAL PROVISIONS

- 1. THE MUNICIPAL AUTHORITY GOVERNING THIS WORK IS THE CITY OF LAKE GENEVA. IN EVENT OF CONFLICT, MUNICIPAL REQUIREMENTS SHALL GOVERN.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING SPECIFICATIONS. IF A CONFLICT ARISES BETWEEN ANY PROVISION(S) OF THESE STANDARDS AND SPECIFICATIONS, THEN THE MOST RESTRICTIVE PROVISION(S) SHALL APPLY.
A. CITY OF LAKE GENEVA MUNICIPAL CODE.
B. WISCONSIN DEPARTMENT OF TRANSPORTATION (W.D.O.T.) "STANDARD SPECIFICATIONS" LATEST EDITION.
C. "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (M.U.T.C.D.) LATEST EDITION.
D. AMERICAN ASSOCIATION OF STATE HIGHWAY TRANSPORTATION OFFICIALS, AND SPECIFICALLY, "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS."
E. WISCONSIN DEPARTMENT OF NATURAL RESOURCES, "CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK" LATEST EDITION.
F. WISCONSIN DEPARTMENT OF TRANSPORTATION, "FACILITIES DEVELOPMENT MANUAL" LATEST EDITION.
G. "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" LATEST EDITION.
H. "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" STATE OF WISCONSIN, DEPARTMENT OF TRANSPORTATION.
I. AMERICAN SOCIETY FOR TESTING AND MATERIALS, (ASTM)
J. AMERICAN WATER WORKS ASSOCIATION, (AWWA)
K. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
3. IN THE EVENT OF CONFLICTS, ERRORS, OR AMBIGUITIES IN THE DOCUMENTS CLIENT AND OR CONTRACTOR SHALL IMMEDIATELY, AND BEFORE ANY WORK HAS BEGUN OR COSTS INCURRED, REQUEST CLARIFICATION FROM THE ENGINEER WHOSE INTERPRETATION SHALL BE FINAL AND BINDING UPON ALL PARTIES CONCERNED. NEITHER CLIENT NOR CONTRACTOR SHALL TAKE ADVANTAGE OF CONFLICTS, ERRORS, OR AMBIGUITIES IN THE DOCUMENTS.
4. THE MUNICIPALITY SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OR RESUMPTION OF ANY CONSTRUCTION WORK.
5. THE CONTRACTOR SHALL CALL DIGGER HOT LINE AT LEAST 48 HOURS BEFORE THE START OF ANY CONSTRUCTION WORK.
6. THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTILITIES SHOWN IN THE PLANS ARE FROM RECORDS OR FIELD OBSERVABLE INFORMATION LOCATED BY SURVEYOR. ANY UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
7. IF ANY EXISTING UTILITIES ARE ENCOUNTERED OR DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED PROPERLY BY THE CONTRACTOR. IF THEY ARE UTILITIES TO BE ABANDONED, THEY SHALL BE CAPPED, SEALED AND ABANDONED PROPERLY PER THE RESPECTIVE UTILITY COMPANY'S CRITERIA.
8. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS, MUNICIPAL REGULATIONS AND STANDARDS, AND SHALL CONFORM IN ALL RESPECTS TO ALL LOCAL, STATE AND FEDERAL LAWS.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SIGNS, BARRICADES, FENCING, TRAFFIC CONTROL DEVICES AND MEASURES, AND ALL OTHER MEASURES THAT ARE NECESSARY TO PROTECT THE SAFETY OF THE SITE AT ALL TIMES.
10. SITE ACCESS CONTROL INCLUDING SAFETY FENCES, AND ALL CONSTRUCTION MEANS AND METHODS AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. ALL ROADS, SWALES, DRAINAGE STRUCTURES, MANHOLES AND PIPES MUST BE KEPT CLEAN AND FREE OF DIRT, SILT AND DEBRIS AT ALL TIMES.
12. ALL DISTURBED R.O.W. AREAS SHALL BE RESTORED WITH A MINIMUM OF 4 INCHES OF TOPSOIL AND SOD.
13. ANY DAMAGED R.O.W. AREA SHALL BE REPAIRED TO EXISTING OR BETTER CONDITIONS.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING AND LAYOUT.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEASURING, DOCUMENTING AND RECORDING ALL CONSTRUCTION WORK AND SHALL FURNISH THE OWNER, THE ENGINEER AND THE MUNICIPALITY WITH RECORD DRAWINGS UPON COMPLETION OF HIS WORK.
16. THE CONTRACTOR, BY AGREEING TO PERFORM THE WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ENGINEER, THE MUNICIPALITY, AND ALL AGENTS AND ASSIGNS OF THOSE PARTIES, FROM ALL SUITS AND CLAIMS ARISING OUT OF THE PERFORMANCE OF SAID WORK, AND FURTHER AGREES TO DEFEND OR OTHERWISE PAY ALL LEGAL FEES ARISING OUT OF THE DEFENSE OF SAID PARTIES.
17. CONTRACTOR SHALL PURCHASE AND MAINTAIN FOR THE DURATION OF THE WORK INSURANCE TO PROTECT ENGINEER, OWNER, ALL OF THE AGENTS, EMPLOYEES, SUCCESSORS, AND ASSIGNS FROM ANY AND ALL CLAIMS ARISING OUT OF THE CONSTRUCTION OF THE WORK INCLUDING NAMING THEM AS ADDITIONAL INSURED ON THE CONTRACTORS GENERAL LIABILITY POLICY, WHICH SHALL STATE THAT IT IS PRIMARY IN COVERAGE TO ANY INSURANCE CARRIED BY AGENTS, EMPLOYEES, SUCCESSORS, OR ASSIGNS.
18. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.

STANDARD EARTHWORK, GRADING AND PAVING PROVISIONS

- 1. ALL CONSTRUCTION WORK INCLUDING EARTHWORK, GRADING AND PAVING SHALL BE GOVERNED BY THE "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION IN WISCONSIN", STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, ADOPTED LATEST EDITION, AND ALL REVISIONS AND SUPPLEMENTS THERETO, THE MUNICIPALITIES REQUIREMENTS, AND THE APPLICABLE ROADWAY AUTHORITY'S REQUIREMENTS.
2. ALL PROPOSED PAVEMENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO DESIGN SUBGRADE.
3. THE SUBGRADE SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM 95 PERCENT OF MODIFIED PROCTOR DENSITY.
4. THE SUBGRADE SHALL BE INSPECTED AND APPROVED BY THE MUNICIPALITY AND THE OWNERS GEOTECHNICAL CONSULTANT, PRIOR TO PLACING THE BASE MATERIAL.
5. STOCKPILING OF SOIL SHALL BE AT LOCATIONS DESIGNATED BY OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SPOIL MATERIAL FROM THE UNDERGROUND CONTRACTOR, PREPARING THE PAVEMENT SUBGRADE, PLACING REQUIRED DEPTH OF TOPSOIL TO FINISH GRADE, GRADING OF DRAINAGE SWALES, AND ALL OTHER TASKS AS DIRECTED BY THE OWNER OR ENGINEER.
7. ANY QUANTITIES IF CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR IN DETERMINING ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE AND SOIL CONDITIONS.
8. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.
9. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE FINAL SUBGRADE PREPARATION, THE PAVEMENT BASE, BINDER, AND SURFACE, AND ALL FINAL CLEAN-UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATION.
10. THE PROPOSED CURB AND GUTTER AND PAVEMENT SHALL BE OF THE TYPE AND THICKNESS AS SPECIFIED IN THESE DRAWINGS, AND CONSTRUCTED IN CONFORMANCE WITH THE WDOT STANDARD SPECIFICATIONS PREVIOUSLY REFERENCED AND THE REQUIREMENTS OF THE MUNICIPALITY.
11. THE CURB AND GUTTER SHALL HAVE EXPANSION JOINTS CONSISTING OF 1" THICK PERFORMED EXPANSION JOINT FILLER FULL DEPTH AND WIDTH WITH 3/4" - DIAMETER BY 18-INCH LONG PLAIN ROUND STEEL DOWEL BARS AT HIGH POINTS, INLETS, CATCH BASINS, CURB RETURNS, PC AND PT'S, COLD JOINTS OR 60-FOOT MAX. INTERVALS. CONSTRUCTION JOINTS SHALL BE SAW CUT 2" DEEP AT 20 FOOT MAX. INTERVALS. THE COST OF THESE JOINTS SHALL BE INCIDENTAL TO THE CURB AND GUTTER.
12. ALL CONCRETE SHALL BE CONSTRUCTED PER WSDOT STANDARD SPECIFICATION.
13. ALL CONCRETE SHALL BE BROOM FINISHED.
14. CURING AND PROTECTION OF ALL CONCRETE SHALL BE IN CONFORMANCE WSDOT STANDARD SPECIFICATIONS.
15. DEPRESSED CURB SHALL BE PROVIDED FOR HANDICAPPED RAMPS AT ALL SIDEWALKS ABUTTING THE CURB AND GUTTER. HANDICAP RAMPS SHALL BE INSTALLED PER THE MUNICIPAL, STATE AND ADA REQUIREMENTS.
16. ALL EARTHWORK OPERATIONS SHALL BE PERFORMED FOLLOWING THE ABOVE GUIDELINES AND THE INFORMATION AND RECOMMENDATIONS FOUND IN THE REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING SERVICES BY EGS MIDWEST, LLC. ECS PROJECT NO. 42-1212, DATED DECEMBER 30, 2015, AND SUPPLEMENTAL SUBSURFACE EXPLORATION AND GEOTECHNICAL REPORT JOB NO. 42-1212-A DATED 10-12-16.
17. THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL REMOVE AND DISPOSE OF OFFSITE ANY EXCESS DIRT OR MATERIALS.

STANDARD UTILITY PROVISIONS

- 1. ALL CONSTRUCTION WORK INCLUDING SEWER AND WATER MAIN, SHALL GOVERNED BY THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", LATEST EDITION, THE MUNICIPALITIES REQUIREMENTS, AND THE APPLICABLE ROADWAY AUTHORITY'S REQUIREMENTS.

- 2. ALL UTILITY TRENCHES UNDER AND WITHIN TWO FEET OF PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE BACKFILLED WITH 3/4" GRADED CRUSHED STONE (SANDS) IN SECTION 8.43.00 OF THE SSSWCW), COMPACTED IN 8" LIFTS TO 95% OF MODIFIED PROCTOR. ADDITIONAL REQUIREMENTS OF THE GEOTECHNICAL ENGINEER AND MUNICIPALITY SHALL BE FOLLOWED.
3. ANY EXISTING FIELD DRAINAGE TILES ENCOUNTERED OR DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION, PROPERLY REROUTED AND/OR CONNECTED TO THE STORM SEWER SYSTEM WHERE APPROVED. ALL LOCATIONS OF ENCOUNTERED FIELD DRAINAGE TILES SHALL BE PROPERLY RECORDED AND SHOWN ON THE CONTRACTOR'S "RECORD DRAWINGS" AND IMMEDIATELY REPORTED TO THE MUNICIPALITY AND THE ENGINEER. ABANDONED TILES SHALL AT A MINIMUM BE PERMANENTLY PLUGGED. ADDITIONAL REQUIREMENTS OF THE GEOTECHNICAL ENGINEER AND MUNICIPALITY SHALL BE OBTAINED AND FOLLOWED.
4. IF ANY EXISTING UNDERGROUND UTILITIES ARE ENCOUNTERED OR DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED PROPERLY BY THE CONTRACTOR. IF THEY ARE UTILITIES TO BE ABANDONED, THEY SHALL BE CAPPED, SEALED AND ABANDONED PROPERLY PER THE RESPECTIVE UTILITY COMPANY'S CRITERIA.
5. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF OFFSITE ANY EXCESS DIRT OR MATERIALS.
6. "BAND/SEAL" OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPE OF DISSIMILAR MATERIALS OR SIZES.
7. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. WHENEVER A SEWER CROSSES A WATER MAIN, A MINIMUM VERTICAL DISTANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE PIPES, AND THE SEWER JOINTS ARRANGED SO THEY ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHEN IT IS NECESSARY FOR A SEWER TO CROSS OVER THE TOP OF A WATER MAIN WITH 18" SEPARATION, OR THE SEWER CROSSES UNDER THE WATERMAIN WITH LESS THAN 18" VERTICAL SEPARATION, OR 10" HORIZONTAL SEPARATION IS NOT MAINTAINED, THEN ONE OF THE FOLLOWING METHODS MUST ALSO BE CONSTRUCTED:
A. THE SEWER SHALL BE CONSTRUCTED EQUAL TO THE WATER MAIN PIPE FOR THE LENGTH OF THE INADEQUATE HORIZONTAL SEPARATION OR FOR A DISTANCE OF TEN (10) FEET EITHER SIDE OF A CROSSING AND SHALL BE PRESSURE-TESTED TO INSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
B. FOR A STORM SEWER CROSSING, THE RCP STORM SEWER SHALL BE CONSTRUCTED WITH O-RING GASKETED JOINTS (ASTM C-361) FOR A DISTANCE OF TEN (10)' FEET EITHER SIDE OF A CROSSING.
8. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN A 8-MIL POLYETHYLENE TUBING. THE TUBING SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARD FOR POLYETHYLENE ENCASEMENT FOR GRAY AND DUCTILE IRON PIPING ANSI/AWWA C105/72/A21.5 OR AS REVISED. INSTALLATION PROCEDURES SHALL FOLLOW "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN".
9. ALL MANHOLES, CATCHBASINS, INLETS AND VALVE VAULTS SHALL BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE RING CONSTRUCTION WITH TONGUE AND GROOVE JOINTS IN CONFORMANCE WITH THE LATEST REVISION OF ASTM C-478. ALL JOINTS BETWEEN SECTIONS SHALL BE SEALED WITH MASTIC TYPE BITUMINOUS JOINT SEALER. CONTRACTOR SHALL REMOVE EXCESS MASTIC INSIDE STRUCTURE AND BUTTER JOINTS WITH MORTAR. ALL STORM AND SANITARY STRUCTURES SHALL HAVE OFFSET CONES, EXCEPT WHERE HEIGHT RESTRICTIONS REQUIRE A REINFORCE CONCRETE FLAT TOP. VALVE VAULTS SHALL HAVE CONCENTRIC CONES. A MAXIMUM OF 2 PRECAST CONCRETE ADJUSTMENT RINGS LIMITED TO 6 INCHES TOTAL HEIGHT SHALL BE PERMITTED. MANHOLE STEPS SHALL BE PROVIDED. CONTRACTOR SHALL ADJUST STRUCTURES TO FINISHED GRADE AS NEEDED.
10. ALL UTILITIES SHALL BE INSTALLED WITH TRACER WIRE. TRACER WIRE TO BE INSTALLED IN A MANNER THAT IS CONTINUOUS.
11. IF THE SPECIFICATIONS ON THIS SHEET CONTRADICT THE CITY SPECIFICATIONS, THE CITY DETAILS, SPECIFICATIONS GOVERN.

STANDARD SANITARY SEWER PROVISIONS:

- 1. THE CITY MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK.
2. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER.
3. ALL DOWNSPOUTS, FOOTING DRAINS, AND OUTSIDE DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM OR TO GRADE.
4. ALL SANITARY PIPE SHALL BE, AS SPECIFIED ON THE PLANS, EITHER P.V.C. (S.D.R. DEPENDANT ON DEPTH) PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212, OR CERAMIC EPOXY LINED DUCTILE IRON PIPE CLASS 52 CONFORMING TO A-21.51 WITH JOINTS CONFORMING TO ANSI A-21.11.
5. "BAND-SEAL" OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPE OF DISSIMILAR MATERIALS OR SIZES.
6. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
A. CIRCULAR SAW-CUT OF THE SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.
B. WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND-SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
7. SANITARY MANHOLES SHALL HAVE IN ADDITION TO THE GENERAL MANHOLE REQUIREMENTS:
A. BASE AND BOTTOM SECTION SHALL BE MONOLITHICALLY CAST INCLUDING BENCHES, INVERTS AND FLOW LINES.
B. MANHOLES JOINTS AND ADJUSTMENT RINGS SHALL SET IN PREFORMED PLASTIC GASKET RUB-R-NEK, EZ STIK OR APPROVED EQUAL.
C. PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER TIGHT PIPE SLEEVES CONFORMING TO ASTM C-923.
D. CHIMNEY SEAL OR APPROVED ALTERNATE AS REQUIRED BY MUNICIPALITY OR SANITARY DISTRICT.
8. ALL SEPTIC TANKS (IF ANY) BEING ABANDONED SHALL BE FILLED OR REMOVED. APPROVAL MUST BE OBTAINED FROM THE APPROPRIATE HEALTH DEPARTMENTS. ALL SEWER CONNECTIONS SHALL BE MADE UPSTREAM FROM THE TANK. CONTRACTORS SHALL OBTAIN ANY NECESSARY PERMITS FOR REMOVAL.
9. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. WHENEVER A SEWER CROSSES A WATER MAIN, A MINIMUM VERTICAL DISTANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE PIPES, AND THE SEWER JOINTS ARRANGED SO THEY ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHEN IT IS NECESSARY FOR A SEWER TO CROSS OVER THE TOP OF A WATER MAIN WITH 18" SEPARATION, OR THE SEWER CROSSES UNDER THE WATERMAIN WITH LESS THAN 18" VERTICAL SEPARATION, OR 10" HORIZONTAL SEPARATION IS NOT MAINTAINED, THEN ONE OF THE FOLLOWING METHODS MUST ALSO BE CONSTRUCTED:
A. THE SEWER SHALL BE CONSTRUCTED EQUAL TO THE WATER MAIN PIPE FOR THE LENGTH OF THE INADEQUATE HORIZONTAL SEPARATION OR FOR A DISTANCE OF TEN (10) FEET EITHER SIDE OF A CROSSING AND SHALL BE PRESSURE-TESTED TO INSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
B. FOR A STORM SEWER CROSSING, THE RCP STORM SEWER SHALL BE CONSTRUCTED WITH O-RING GASKETED JOINTS (ASTM C-361) FOR A DISTANCE OF TEN (10)' FEET EITHER SIDE OF A CROSSING.
10. ALL SANITARY SEWERS SHALL BE TESTED IN KEEPING WITH ALL MUNICIPAL REQUIREMENTS. ALL CONSTRUCTION SHALL CONFORM TO "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", LATEST EDITION. EXCEPT FOR CONFLICTS WITH CITY REQUIREMENTS, WHERE THE CITY REQUIREMENTS SHALL TAKE PRECEDENCE.
11. ALL SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH SSSWCW.
12. IF THE SPECIFICATIONS ON THIS SHEET CONTRADICT THE CITY SPECIFICATIONS, THE CITY DETAILS, SPECIFICATIONS GOVERN.
13. SANITARY SEWER BEDDING AND TRENCH BACKFILL SHALL BE PER THE UTILITY TRENCHES DETAIL.

STANDARD WATER MAIN PROVISIONS

- 1. ALL WATERMANS TO BE DUCTILE IRON PIPE PER ANSI A-21.51, (CLASS 52) WITH JOINTS PER ANSI A-21.11 AS REQUIRED BY THE "STANDARD SPECIFICATION OF SEWER AND WATER CONSTRUCTION IN WISCONSIN". PIPE TO BE CEMENT LINED PER ANSI A-21.4 (AWWA C104). ALL WATERMANS TO BE WRAPPED IN POLYETHYLENE MATERIAL USING, 8 MIL. THICK MINIMUM FOR CORROSION PROTECTION.
2. THE MINIMUM COVER FOR ALL WATER MAIN AND WATER SERVICE PIPE IS SIX (6') FEET FROM FINISHED GRADE TO TOP OF PIPE.
3. ALL VALVES SHALL BE RESILIENT WEDGE VALVES AND BE FURNISHED MECHANICAL JOINTED, WITH CAST IRON BODY, BRONZE MOUNTED, BRONZE STEMMED, DOUBLE DISC PATTERN, WITH NON-RISING STEM AND BE DESIGNED FOR 300 POUNDS WORKING PRESSURE. ALL VALVES SHALL OPEN LEFT.
4. ALL WATER MAIN SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA, WISCONSIN, AND THE CITY.
5. AFTER THE PRESSURE TEST HAS BEEN TESTED, THE CONTRACTOR SHALL CHLORINATE THE WATER MAINS WITH GAS IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA, WISCONSIN, AND THE CITY.
6. ALL VALVE VAULTS ARE TO BE A MINIMUM OF 5 FEET IN DIAMETER.

- 7. ANY WELLS FOUND SHALL BE CAPPED/ABANDONED PER COUNTY HEALTH DEPARTMENT REQUIREMENTS.
8. ALL MECHANICAL JOINTS SHALL BE MEGALUG.
9. WATERMAIN BEDDING AND TRENCH BACKFILL SHALL BE PER THE UTILITY TRENCHES DETAIL.
REPORTING AND MONITORING REQUIREMENTS NR 216.48
A. THE OWNER OR OWNER'S REPRESENTATIVE IS REQUIRED TO SUBMIT A NOTICE OF INTENT AND SHALL RETAIN RECORDS OF ALL CONSTRUCTION SITE INSPECTIONS, COPIES OF ALL REPORTS AND PLANS REQUIRED BY THE PERMIT, AND RECORDS OF ALL DATA USED TO OBTAIN COVERAGE UNDER THE PERMIT.
B. THE CONTRACTOR SHALL RETAIN NR 216.48(1)(a) THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS AND AMENDMENTS TO THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS AT THE CONSTRUCTION SITE UNTIL PERMIT COVERAGE IS TERMINATED IN ACCORDANCE WITH S. NR 216.55.
C. THE OWNER AND CONTRACTOR SHALL RETAIN NR 216.48(1)(b) ALL REPORTS REQUIRED, OR INFORMATION SUBMITTED TO OBTAIN PERMIT COVERAGE, INCLUDING THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS; AMENDMENTS AND BACKGROUND INFORMATION USED IN THEIR PREPARATION, FOR A PERIOD OF AT LEAST 3 YEARS FROM THE DATE OF NOTICE OF TERMINATION.
D. NR 216.48 Note NR 216.48(2) THE CONTRACTOR SHALL OBTAIN ALL LOCAL EROSION CONTROL PERMITS.
E. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL INSPECTIONS AND MONITORING AND SHALL CONDUCT THE FOLLOWING NR 216.48(4)(a) CONSTRUCTION SITE INSPECTIONS:
1. NR 216.48(4)(a)1 WEEKLY INSPECTIONS OF IMPLEMENTED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES.
2. NR 216.48(4)(a)2 INSPECTIONS OF EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5 INCHES OR GREATER. A PRECIPITATION EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD.
3. NR 216.48(4)(a)3 REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR DEPARTMENT NOTIFICATION THAT REPAIR OR REPLACEMENT IS NEEDED.
4. NR 216.48(4)(a)4 MAINTAIN, AT THE CONSTRUCTION SITE OR AVAILABLE VIA AN INTERNET WEBSITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS CONDUCTED BY OR FOR THE PERMITTEE OR LANDOWNER REQUIRED TO SUBMIT A NOTICE OF INTENT UNDER THIS SUBCHAPTER. THE LANDOWNER SHALL NOTIFY THE DEPARTMENT OF ALL APPROPRIATE INTERNET ADDRESSES TO ACCESS THE WEEKLY INSPECTION RECORDS. WEEKLY INSPECTION REPORTS SHALL INCLUDE ALL OF THE FOLLOWING:
5. NR 216.48(4)(a)5 1. THE DATE, TIME AND LOCATION OF THE CONSTRUCTION SITE INSPECTION.
6. NR 216.48(4)(a)5 2. THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION.
7. NR 216.48(4)(a)5 3. AN ASSESSMENT OF THE CONDITION OF EROSION AND SEDIMENT CONTROLS.
8. NR 216.48(4)(a)5 4. A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED.
9. A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE.
TYPICAL CONSTRUCTION SEQUENCE
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE.
2. TOPSOIL STRIPPING AND STOCKPILING WITH APPROPRIATE EROSION CONTROL MEASURES.
3. EARTHWORK CONSTRUCTION INCLUDING APPLICABLE SE & SC MEASURES.
4. TEMPORARY VEGETATIVE SOIL COVER IN AREAS WHERE WORK HAS CEASED. REPEAT TEMPORARY MEASURES THROUGHOUT CONSTRUCTION AS NEEDED.
5. UNDERGROUND / UTILITY CONSTRUCTION INCLUDING INLET PROTECTION AND OTHER APPLICABLE SE & SC MEASURES.
6. PAVING OPERATIONS
7. TOPSOIL RE-SREAD IN APPLICABLE AREAS.
8. INSTALL PERMANENT VEGETATION AND STABILIZATION.
9. REMOVE SEDIMENT AND TEMP MEASURES AFTER FINAL STABILIZATION.
SOIL EROSION AND SEDIMENT CONTROL NOTES:
1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
2. INLET PROTECTION SHALL BE INSTALLED AT EACH DRAINAGE STRUCTURE THAT ACCEPTS WATER ONCE THAT STRUCTURE IS ABLE TO RECEIVE WATER.
3. ALL ROADS INCLUDING ADJACENT ROADWAYS, SWALES, DRAINAGE STRUCTURES, MANHOLES AND PIPES MUST BE KEPT CLEAN AND FREE OF DIRT, SILT AND DEBRIS AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD ADJUSTING THE LOCATION OF THE EROSION MEASURES TO ACCOMMODATE CONSTRUCTION ACTIVITIES. RELOCATED MEASURES SHALL BE PLACED TO PREVENT SILT FROM RUNNING OFF THE SITE OR INTO FINISHED GRADED AREAS. MEASURES SHALL BE RELOCATED BACK TO ORIGINAL LOCATION AS NECESSARY AFTER CONSTRUCTION ACTIVITY IN THE EFFECTED AREA IS COMPLETED.
5. AFTER PERMANENT GROUND COVER IS ESTABLISHED THROUGHOUT THE SITE, THE ACCUMULATED SEDIMENT SHALL BE REMOVED FROM COLLECTION AREAS, AND ALL STORM SEWER PIPES AND STRUCTURES.
6. SEE LANDSCAPE PLANS FOR PERMANENT VEGETATION REQUIREMENTS.
7. ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPUT LAND SURVEYS, LLC. DATED MAY 10, 2016.
8. TEMPORARY STOCKPILE SHALL BE SEEDED IF UNDISTURBED FOR MORE THAN 14 DAYS.
9. ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS RESTRICTED TO THE CONSTRUCTION ENTRANCE.
10. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTION.
11. MAJOR AMENDMENTS OF THE SITE DEVELOPMENT OR EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
12. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL.
13. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER THE FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES.
14. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR REDISTURBANCE.
15. IF Dewatering DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
16. THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
17. ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".
18. A NOTICE OF INTENT MUST BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY AND POSTMARKED AT LEAST 30 DAYS

- BEFORE COMMENCEMENT OF ANY WORK ON-SITE FOR ALL CONSTRUCTION SITES OVER AN ACRE INCLUDED IN THE NOI SHALL BE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE APPROPRIATE BMP'S TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
19. AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED TO WDNR IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICES FAILS.
20. A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMITTED TO THE WDNR WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHMENT OF VEGETATION.
21. CONTRACTOR TO INCLUDE MIN. 3" RIP RAP AT BUILDING'S ABOVE GROUND PRIMARY STORM PIPE POINT OF DISCHARGE.

Table with columns: No., DATE, DESCRIPTION, ISSUED FOR PERMIT. Includes project name 'THE SHOPS AT LAKE GENEVA - BUILDING #2', sheet number '15.GMX.009', and expiration date 'EXPIRES 11-30-2019'. Also features logos for 'rtm engineering consultants' and 'SPECIFICATIONS'.



NOT FOR CONSTRUCTION

