

**CITY OF LAKE GENEVA
PLAN COMMISSION MEETING**

MONDAY, AUGUST 18, 2014 - 6:30 PM
COUNCIL CHAMBERS, CITY HALL

Agenda

1. Meeting called to order by Mayor Connors.
2. Roll Call.
3. Approve Minutes of July 21, 2014 Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review.
 - A. Application by Jayson Rishling for a sign at The Board Shop located at 269 Broad Street, Tax Key No. ZOP 00262.
7. Public Hearing and recommendation on a Conditional Use Application filed by Gerald Sommers, 930 Maytag Road, Lake Geneva, WI 53147, to construct an Addition to a Single Family Residence on an existing lot using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at 930 Maytag Road, Tax Key No. ZCE 00006.
8. Public Hearing and recommendation on a request filed by Immanuel Lutheran Church, 700 Bloomfield Road, Lake Geneva WI, 53147 for a Zoning Map Amendment to change the zoning on a parcel from Rural Holding Zoning District (RH) to Planned Office Zoning District (PO) at 700 Bloomfield Road, Tax Key No. ZA433000001.
9. Public Hearing and recommendation on a Conditional Use Application filed by Immanuel Lutheran Church, 700 Bloomfield Road, Lake Geneva WI, 53147, to operate a Group Day Care Center (9+ Children) in a Planned Office Zoning District (PO) at 700 Bloomfield Road, Tax Key No. ZA433000001.
10. Discussion and recommendation to modifying Section 98-913, Exterior Colors within the Downtown Design Overlay Zoning District and setting a public hearing.
11. Continued Review of Amendment Requests for the Lake Geneva Comprehensive Plan.
12. Adjournment.

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate accommodations to be made. Posted 8/15/14

STAFF REPORT
To Lake Geneva Plan Commission

Meeting Date: August 18, 2014

Agenda Item #6

Applicant:

Jayson Rishling, The Board Shop
269 Broad Street
Lake Geneva, WI 53147

Request:

Exterior sign
Tax Key No. ZOP 00262

Description:

The applicant proposes to install a new sign. The designs meet not only the Downtown Design Overlay District requirements, but also complies with the Main Street requirements.

Staff Recommendation:

It is the staff's opinion that the proposed signs will no adverse effects on the downtown appearance and it is the staff's recommendation that the signs be approved with any Commission amendments.

Agenda Item #7

Applicant:

Gerald Sommers
930 Maytag Road
Lake Geneva, WI 53147

Request:

Applying for SR-4 Zoning to construct an Addition to
Single Family residence in an Estate Residential District
(ER-1) at 930 Maytag Road, Tax Key No ZCE 00006.

Description:

The applicant would like to construct an addition to his existing Single Family Residence for a Master Bathroom and additional storage.

Staff Recommendation:

Staff has no problem with granting the SR-4 zoning to the property in order to build the addition as it fits in with the character and ascetics of the established neighborhood.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or

other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Agenda Item #8

Applicant:

Immanuel Lutheran Church

700 Bloomfield Road

Lake Geneva, WI 53147

Request:

Applying to rezone a property from Rural Holding Zoning District (RH) to Planned Office Zoning District (PO) at 700 Bloomfield Road, Tax Key No. ZA433000001.

Description:

The applicant is proposing to change the zoning on their property to allow them to have the ability to further their mission of supporting the community. The Planned Office Zoning will allow them to operate a Day Care Facility in their current building and to possibly build an additional building in the future to operate a food pantry. The Planned Office Zoning would offer them that flexibility while also affording the City the ability to keep possible future uses of the property in line with the long term planning for the area.

Action by the Plan Commission:

As part of the consideration of a requested Zoning Map amendment, the Plan Commission needs to make findings per the requirements of the Zoning Ordinance, and then make a recommendation to the City Council.

Staff Report and Recommendation:

The Comprehensive Plan recommends Institutional and Community Services for the subject property, which includes the uses allowed under the Planned Office zoning. Thus, the requested Planned Office (PO) Zoning District is consistent with the Comprehensive Plan.

Suggested Plan Commission Findings for Recommendation to Common Council:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed Zoning Map Amendment furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed Planned Office (PO) zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
 3. The proposed amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, 3 of the following:
1. The proposed Zoning Map Amendment does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;

- c. Factors have changed, making the subject property more appropriate for the proposed Planned Office (PO) zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
3. The proposed amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the Zoning Map Amendment:

Staff recommends approval of the requested Zoning Map Amendment from RH to PO, and notes that the proposal meets factors 1, 2c, and 3. Specifically, the proposal is consistent with the recommendation of the Comprehensive Plan to allow for Institutional and Community Services. The proposed zoning amendment to the Planned Office (PO) District would accomplish this objective and enable desirable development of this site now and in the future.

Agenda Item #9

Applicant:

Immanuel Lutheran Church
700 Bloomfield Road
Lake Geneva, WI 53147

Request:

Applying for a Conditional Use to operate a Group Day Care Center (9+ Children) in a Planned Office Zoning District (PO) at 700 Bloomfield Road, Tax Key No. ZA433000001.

Staff Recommendation:

Staff has no problem with granting the Conditional Use for the propose Group Day Care Center (9+ Children) as it is consistent with the Comprehensive Plan to provide for community services and will be utilizing the existing classrooms that are already present at the facility. It would provide no further impact on the City and it's resources.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
- 1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff may provide additional comment on the above items and will comment on remaining agenda items at the meeting.

Zoning Administrator

CITY OF LAKE GENEVA

PLAN COMMISSION MEETING

MONDAY, JULY 21, 2014 - 6:30 PM
COUNCIL CHAMBERS, CITY HALL

MINUTES

1. **Meeting called to order by Mayor Connors 6:30 PM.**

2. **Roll Call**

Present Kupsik, Flower, Skates, Adams, Robers, Connors, Draper

Not Present Gibbs

Also Present Administrator Jordan, Planner Slavney, Gregoles

3. **Approve Minutes of June 16, 2014 Plan Commission meeting as distributed.**

MOTION #1

Flower/Skates motion to approve the Minutes of 6/16/14 Plan Commission meeting as distributed.

The motion carried unanimously.

4. **Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes. - NONE**

5. **Acknowledgment of Correspondence.**

Concerning item #10 – two letters were given to Inspector Robers at the start of tonight’s meeting.

Letter #1 from Tom Frattinger – see attached

Letter #2 from Geneva Bay Estates Homeowners Association – see attached

6. **DOWNTOWN DESIGN REVIEW**

A. Application by Tim McGrath c/o Lemberg Electric (agent) for 2 signs at Peet’s Coffee and Tea located at 883 Main Street, Tax Key No. ZOP 00253.

DISCUSSION

Inspector Robers gave a brief overview of the application including comments from the earlier Staff meeting suggestions.

MOTION # 2

Kupsik/Skates moved to approve the application by Tim McGrath c/o Lemberg Electric (agent) for 2 signs at Peet’s Coffee and Tea located at 883 Main Street, Tax Key No. ZOP 00253, noting that the lights cannot be black and agent will work with staff on an acceptable color. The motion carried unanimously.

B. Application by Bob Hillier for a sign at Line Honors located at 269 Broad Street, Tax Key No. ZOP 00262.

DISCUSSION

Inspector Robers gave a brief overview of the application.

MOTION # 3

Kupsik/Flower moved to approve the application by Bob Hillier for a sign at Line Honors located at 269 Broad Street, Tax Key No. ZOP 00262. The motion carried unanimously.

7. **Review and Discussion of a request by Howard Basso agent for Basso Builders, LLC to change the Comprehensive Plan zoning on properties at Curtis & Skyline, Tax Key No’s ZYUP 00130C and ZMEA 00052 from Single Family District to Multi-family residential – 8 (MR-8) District.**

***NOTE: Two images were supplied to the Building & Zoning department electronically prior to tonight's meeting. They were used for digital display during the discussion of item #7-9 and are attached to these minutes.**

MOTION # 4

Mayor Connors/Kupsik moved to combine items 7 – 8 and 9 on this Agenda. The motion carried unanimously.

Speaker #1 Howard Basso / Basso Builders

Speaker #2 Warren Hanson/ Eng for the project (Primary speaker)

DISCUSSION

A general preliminary discussion and review ensued between the applicant(s) and the Commission.

- 8. Review and Discussion of a proposal by Howard Basso agent for Basso Builders, LLC for a Parcel combination and Group Development to allow for a Condominium style apartment complex at Curtis & Skyline, Tax Key No's ZYUP 00130C and ZMEA 00052. (See DISCUSSION under Item #7.)**
- 9. Review and Discussion of a preliminary site plan by Howard Basso agent for Basso Builders, LLC for a Condominium style apartment complex at Curtis & Skyline, Tax Key No's ZYUP 00130C and ZMEA 00052. (See DISCUSSION under Item #7.)**
- 10. Public Hearing and recommendation on a Conditional Use Application filed by Kelly C. Frazier of McCormak + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147, on behalf of Frank Sottrel / Oak Birch LLC, 5N501 Curling Pond Road, Wayne, IL 60184 to construct a raised patio and open air pergola on an existing Single Family Residential lot in the 100' shoreland setback in an Estate Residential Zoning District (ER-1) located at 927 Bayview Drive , Tax Key No. ZGB 00002.**

***Acknowledgment of Correspondence.**

Concerning this item #10 – two letters were given to Inspector Robers at the start of tonight's meeting.

Letter #1 from Tom Frattinger – see attached

Letter #2 from Geneva Bay Estates Homeowners Association – see attached

DISCUSSION – Kelly Frasier / Architect (agent for owner)

Frasier addressed the Commission with a brief overview of the project.

The Commission and the agent for applicant discussed the drainage concerns raised in the submitted correspondence in detail. There were additional discussions between Slavney, the Commission and the agent regarding the landscaping and general review and clarification of the project.

Public Speaker #1 Sara Boffman – on the board of Geneva Bay Estates

Boffman stated that they are pleased with the work being done and is confident that the applicant will continue to work with them regarding any current or forthcoming issues.

MOTION # 5

Kupsik/Skates moved to close the public hearing. The motion carried unanimously.

MOTION # 6

Kupsik/Skates moved to approve the recommendation on a Conditional Use Application filed by Kelly C. Frazier of McCormak + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147, on behalf of Frank Sottrel / Oak Birch LLC, 5N501 Curling Pond Road, Wayne, IL 60184 to construct a raised patio and open air pergola on an existing Single Family Residential lot in the 100' shoreland setback in an Estate Residential Zoning District (ER-1) located at 927 Bayview Drive, Tax Key No. ZGB 00002, to include staff review of the drainage and to include a plan to add 400 sq ft of plants. The motion carried unanimously.

- 11. Review and Recommendation on an Application for Land Division Review for a Certified Survey Map submitted by James F Mullen, 1200 Pheasant Court, Lake Geneva, WI 53147 to split his property into two parcels. Current Tax Key No. ZA293700001.**

DISCUSSION – James Mullen (applicant), 1200 Pheasant Court, Lake Geneva

Mayor Connors, Administrator Jordan, Slavney, the Commission and the agent discussed issues regarding the storm siren location and general review and clarification of the project.

MOTION # 7

Mayor Connors/Kupsik moved to approve the recommendation and application for Land Division Review for a Certified Survey Map submitted by James F Mullen, 1200 Pheasant Court, Lake Geneva, WI 53147 to split his property into two parcels. Current Tax Key No. ZA293700001. Contingent on the CSM including the current location of the siren, the location of the easement and that the access would be restricted to LaSalle Court and the front of the house would face LaSalle Court. The motion carried unanimously.

12. Public Hearing and recommendation on a Conditional Use Application filed by George Kenessey & Meri Vallin, 4341 N Oakley Ave. Chicago, IL 60618, to construct a Single Family Residence on an existing lot using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at 1630 Evergreen Lane, Tax Key No. ZLM 00017.

DISCUSSION – George Kenessey & Meri Vallin, Chicago, IL
Applicants addressed the Commission with a brief overview of the project.

Inspector Robers, Slavney, the Commission and the agent discussed further requirements needed in respect to the width of the driveway, drainage for the pool and general review and clarification of the project. In addition there was a request by the homeowners association to have some authority to review and have final say prior to any permits being issued on several issues.

MOTION # 8

Kupsik/Flower moved to close the public hearing. The motion carried unanimously.

DISCUSSION

Atty Draper clarified that the home owners association may offer their input but has no authority over the Plan Commission and decisions that will be made.

MOTION # 9

Kupsik/Skates moved to approve the recommendation on a Conditional Use Application filed by George Kenessey & Meri Vallin, 4341 N Oakley Ave. Chicago, IL 60618, to construct a Single Family Residence on an existing lot using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at 1630 Evergreen Lane, Tax Key No. ZLM 00017, including \107\907 contingent upon staff review of drainage and landscaping and also the driveway width/angle and all staff recommendations. The motion carried unanimously.

13. Review and possible recommendation on the Public Participation Plan for the City of Lake Geneva Comprehensive Plan Update.

DISCUSSION

Slavney addressed the Commission in detail on the recommendation regarding the Public Participation Plan for the City's Comprehensive Plan. Slavney recommends it for approval.

MOTION # 10

Kupsik/Skates moved to approve recommendation on the Public Participation Plan for the City of Lake Geneva Comprehensive Plan Update. The motion carried unanimously.

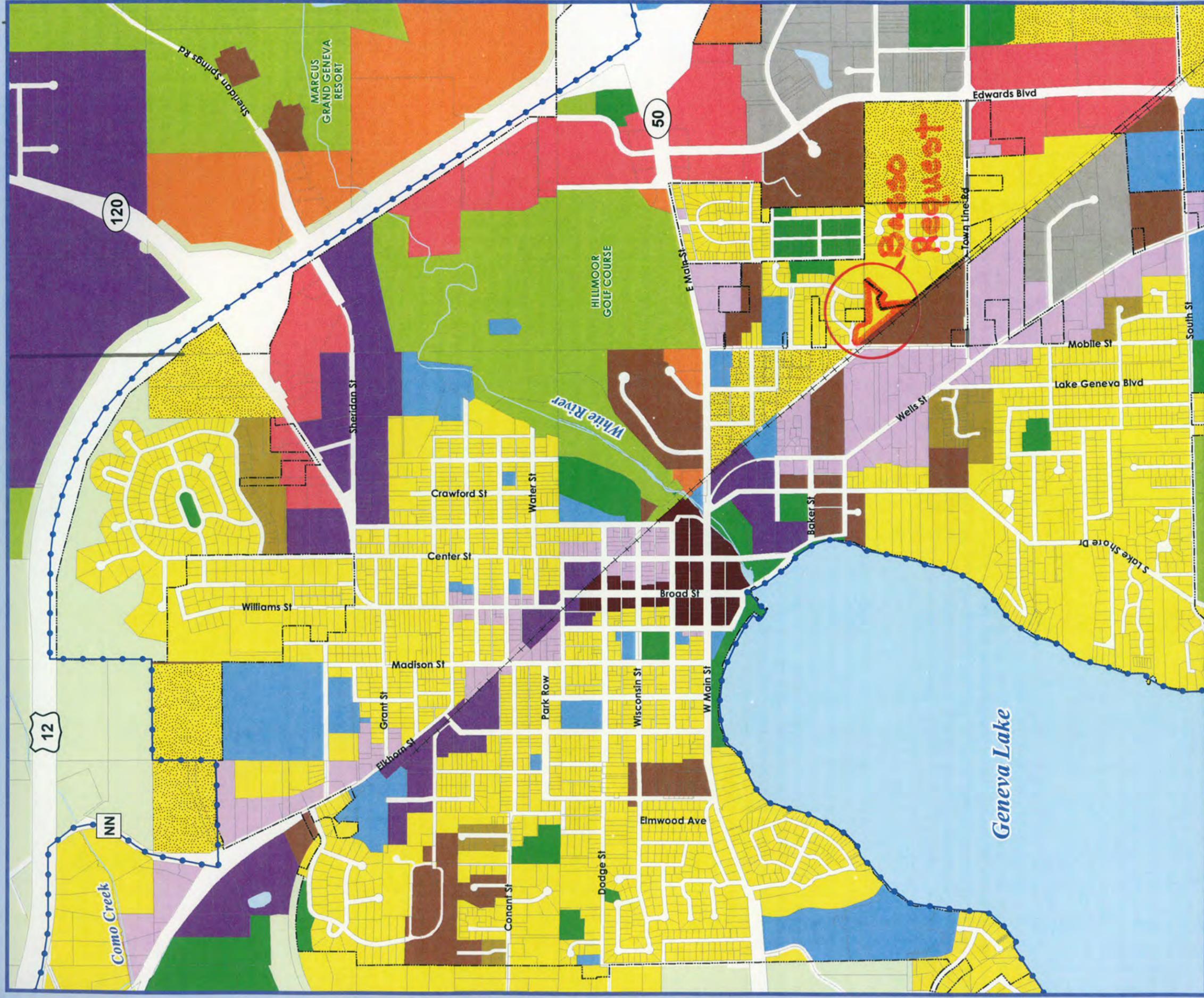
14. Adjournment.

MOTION #11

Skates/Flower moved to adjourn the meeting at 8:07 pm. Motion carried unanimously.

/s/ Jackie Gregoles, Building & Zoning Administrative Assistant

THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE PLAN COMMISSION



Map 5b: Future Land Use - City of Lake Geneva Comprehensive Plan

Land Use Categories

- Agricultural & Rural
- Single Family Residential - Exurban
- Single Family Residential - Urban
- Two-Family/Townhouse Residential
- Multi-Family Residential
- Planned Neighborhood
 - *Each "Planned Neighborhood" may include a mix of:
 - 1. Single Family - Urban (predominate land use)
 - 2. Two-Family/Townhouse
 - 3. Multi-Family Residential
 - 4. Institutional & Community Services
 - 5. Neighborhood Mixed Use
 - 6. Public Park & Recreation
- Neighborhood Mixed Use
- Planned Office
- Planned Business

- Central Business District
- Planned Mixed Use
 - *Each "Planned Mixed Use Area" may include mix of:
 - 1. Planned Office
 - 2. Multi-Family Residential
 - 3. Institutional & Community Services
 - 4. Planned Business
- Planned Industrial
- General Industrial
- Institutional & Community Services
- Private Recreation Facilities
- Public Park & Recreation
- Environmental Corridor
- Long Range Exurban Growth Area

- City of Lake Geneva
- Township Boundary
- Urban Service Area Boundary
- Extraterritorial Jurisdiction Boundary
- Parcels
- Surface Water
- Abandoned Railroad



Adopted: December 14, 2009
 Corrected: November 15, 2010
 Source: SEWRPC, WIDNR,
 Walworth County LIO, V&A

GENEVA BAY ESTATES HOMEOWNERS' ASSOCIATION

July 21, 2014

Re: Conditional Use Permit Application by Frank Sottrel
927 Bayview Drive, Lake Geneva, WI

The board of the Geneva Bay Estates Homeowners' Association would like to request that drainage of be considered prior to approval of this permit.

The Sottrel home is located adjacent to the Geneva Bay Estates Association Park. This park provides lake access for the association members.

The association is concerned with the addition of a non-porous patio the size of 20 feet by 26 feet, and additional grading for this patio that will be elevated to a height that any drainage from this property will drain into the association park.

We ask that the permit be modified to include some type of drainage for any run-off from the property.

Thank you for your consideration of this matter.

Geneva Bay Estates Homeowners' Association Board
Doug Lellbach
Ron Bender
Sara Baughman
Carol Gilhooley
Lynn Zak

(No Subject)

Tom Fraulinger

From: **Tom** (tafratt@aol.com)

Sent: Mon 7/21/14 8:36 AM

To: Sara Baughman (sarabaughman@msn.com)

I am also concerned about water coming toward the house, we are wet enough, sump pumps run a lot, do not need their run off.

Tom

Sent from my iPhone

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

269 Broad St.

NAME AND ADDRESS OF CURRENT OWNER:

~~Jayson Rishling~~ Mike Kelson
880 S. Lake Shore Dr.
Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: 847-215-3455

NAME AND ADDRESS OF APPLICANT:

Jayson Rishling

TELEPHONE NUMBER OF APPLICANT: 262-591-6960

PROPOSED CONDITIONAL USE:

Sign for retail store

ZONING DISTRICT IN WHICH LAND IS LOCATED:

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Jayson Rishling -
269 Broad St.
Lake Geneva, WI 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

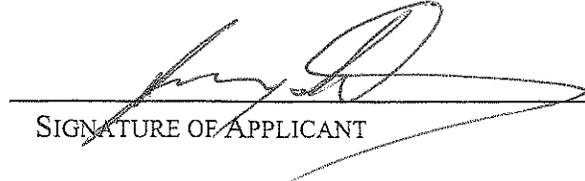
Retail store

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

DATE

7/22/14

SIGNATURE OF APPLICANT



AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Jayson Rishling

, as applicant/petitioner for:

Name:

Jayson Rishling / The Board Shop

Address:

269 Broad St.
Lake Geneva WI 53147

Phone:

262-581-6960

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this

22nd

day of

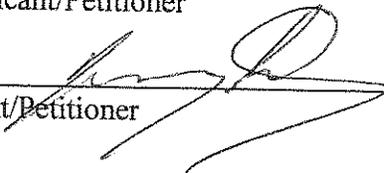
July

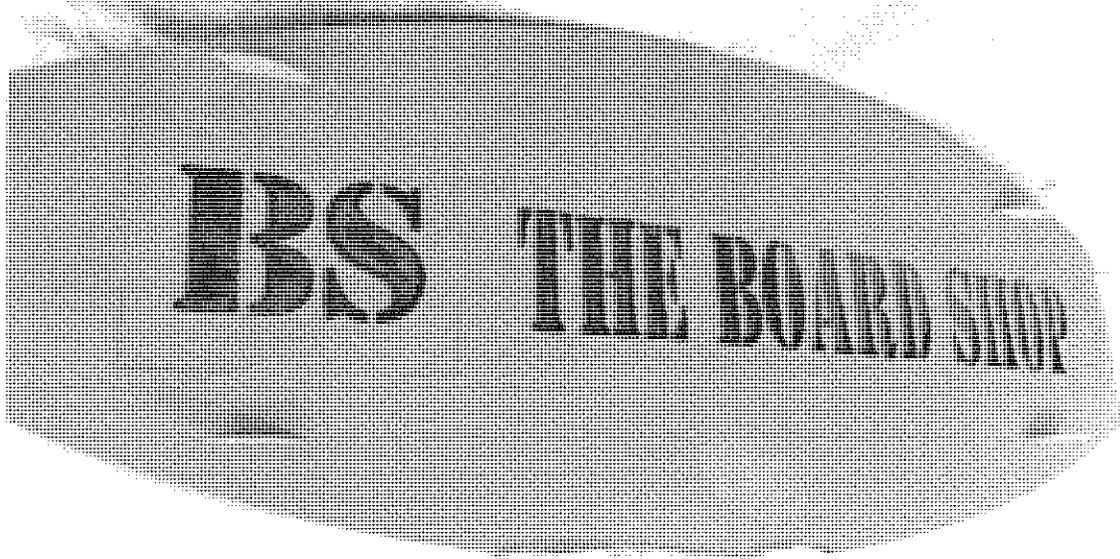
, 2014.

Printed name of Applicant/Petitioner

Jayson Rishling

Signature of Applicant/Petitioner





Lettering will be repainted to a darker Navy Blue



Notice

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before the City Plan Commission on Monday, August 18, 2014 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, on a Conditional Use Application filed by Gerald Sommers, 930 Maytag Road, Lake Geneva, WI 53147 to construct an addition to a Single Family Residence on an existing lot using the SR-4 requirements in an Estate Residential Zoning District (ER-1), at the following location:

TAX KEY NO. ZCE 00006 - 930 Maytag Road

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, August 18, 2014 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any objections that may have been filed and to hear all persons desiring to be heard.

Dated this 1st day of August 2014.

Mayor James R. Connors
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on August 7th & August 14th

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

SITE ADDRESS/PARCEL No. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

930 MAYTAG PARCEL No. ZCE 00006

NAME AND ADDRESS OF CURRENT OWNER:

LAKE GENEVA MUST

TELEPHONE NUMBER OF CURRENT OWNER: 847-917-2906

NAME AND ADDRESS OF APPLICANT:

GERALD SOMMERS

930 MAYTAG - LAKE GENEVA, WI

TELEPHONE NUMBER OF APPLICANT: 847-917-2906

PROPOSED CONDITIONAL USE:

ALLOW SR4 ZONING IN AN GR1 DISTRICT.

ZONING DISTRICT IN WHICH LAND IS LOCATED: ER-1

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

DDCA ARCHITECTS 3321 S. ROUTE 31, CRYSTAL LAKE, IL

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

WORK REQUIRED FOR A BATHROOM ADDITION.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

7-18-2014

DATE

Gerald Sommers

SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

GERALD SOMMERS, as applicant/petitioner for:

Name: LAKE GENEVA TRUST

Address: 930 MAYTAG
LAKE GENEVA, WI

Phone: 847-917-2906

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

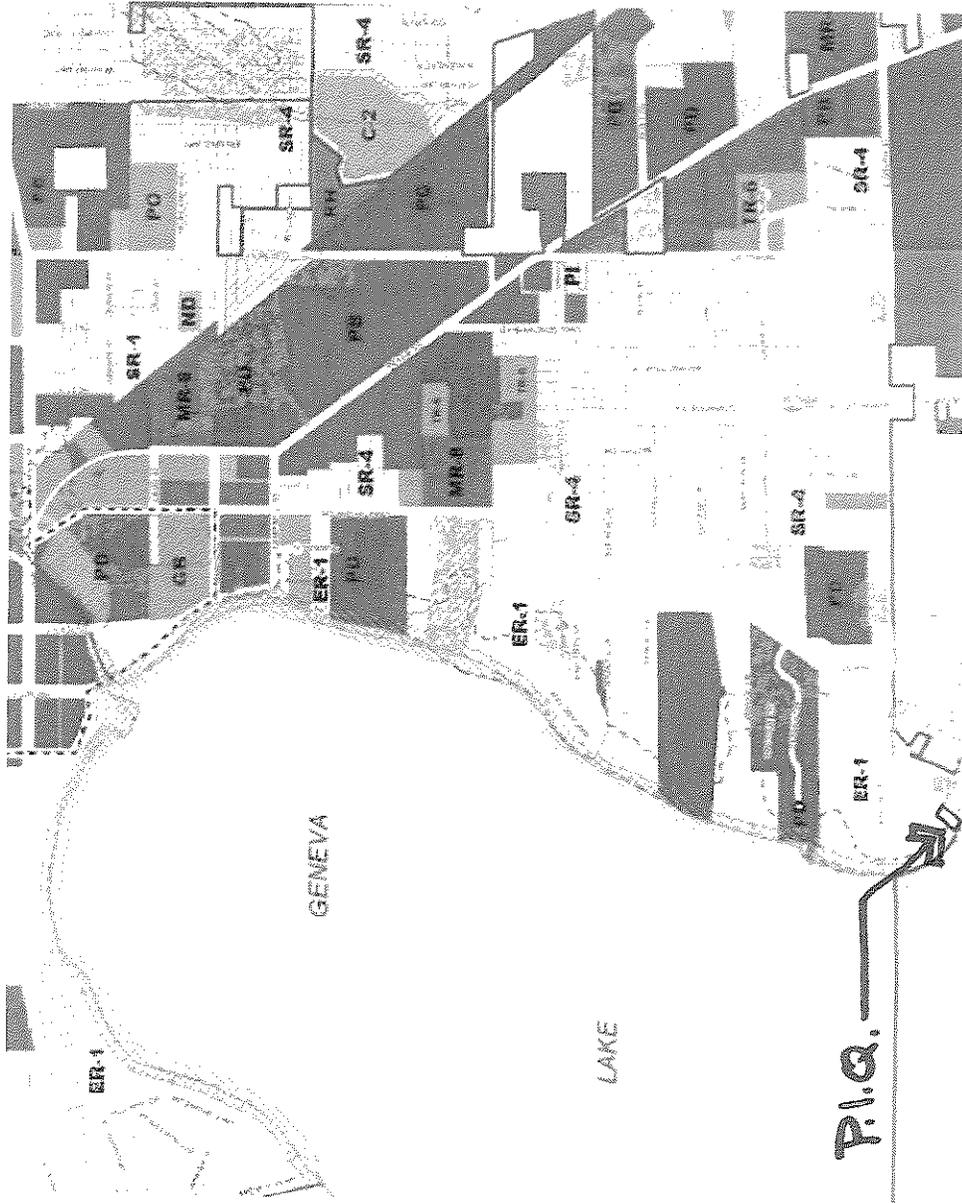
Dated this 18th day of JULY, 2014.

GERALD SOMMERS

Printed name of Applicant/Petitioner

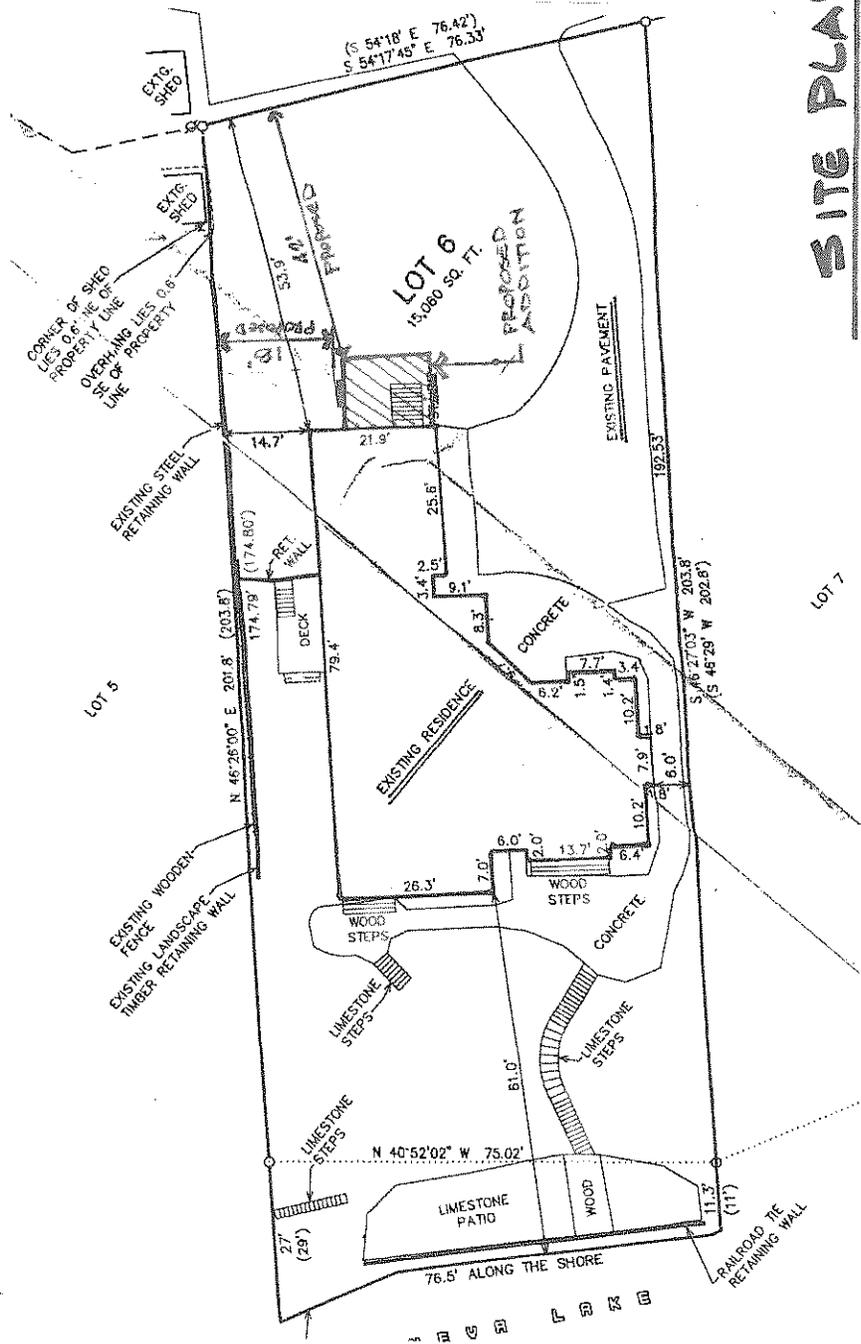
Gerald Sommers

Signature of Applicant/Petitioner



P.I.G.

LOCATION MAP



SITE PLAN

990 MAYTAG • H. GENOVA, WI.
 DCA ARCHITECTS #214132
 2014. JULY. 18

**Justification for the Conditional Use
City of Lake Geneva**

**930 Maytag
2014.7.24**

In accordance with the City of Lake Geneva Wisconsin Comprehensive Master Plan the following is provided to comply with the standards set out in Section 98-905(4)(b)1.-6.

1. How is the proposed conditional use(the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed addition is harmonious with the surrounding area and aesthetically designed to meet the design of the existing residence. The conditional use requested is less than the condition that currently exists in the area.

2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed addition removes a secondary exit stair facing the public road. The proposed addition provides for a design that is aesthetically harmonious with the existing residence and provides a more harmonious street appeal.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

The proposed conditional use do not impact any of the above.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed conditional use does not impact any of the above.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The proposed conditional use does not require any of the above.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

The proposed conditional use does not have any potential adverse impacts.

SOMMERS RESIDENCE
 GUEST BATH ADJOTION
 900 MAYTAG ROAD
 LAKE GENewa, WI 53147

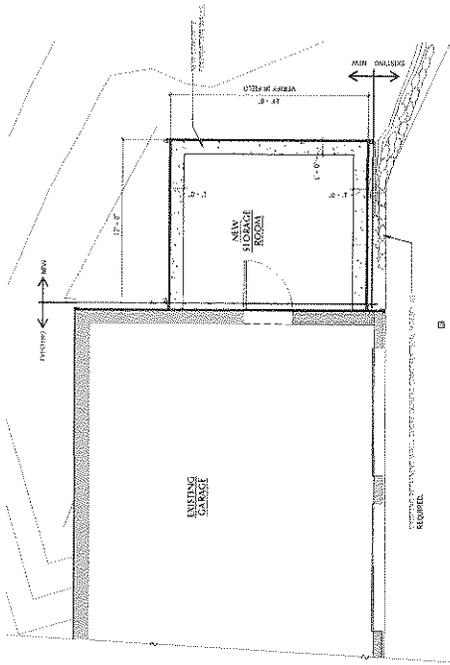


2014 M13 BOULEVARD, FORT MYERS, FLORIDA 33901
 888.444.4444
 WWW.DDAARCHITECTS.COM

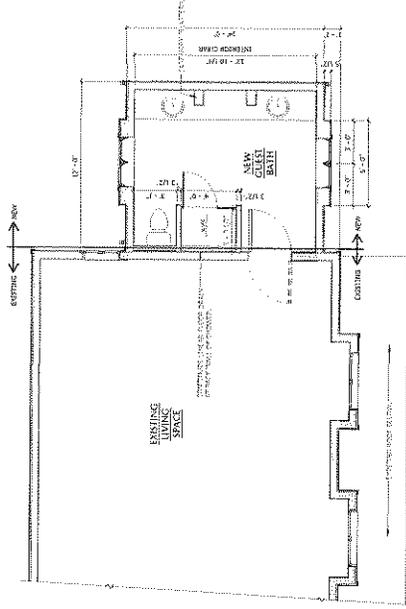
PROJECT NO. 2014-001
 DATE: 08/15/14
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 SCALE: AS SHOWN

DDA
 architects
 David Design Ltd.
 David Design Inc.

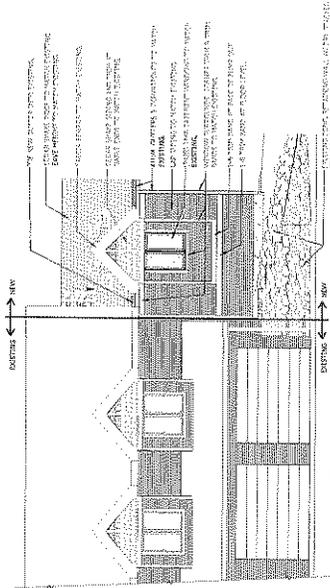
A2.1



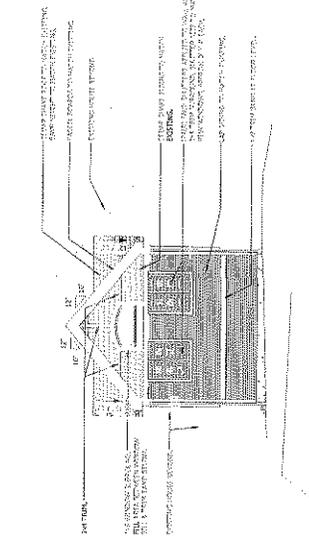
1 Entry Level / Foundation Plan
 3/4" = 1'-0"



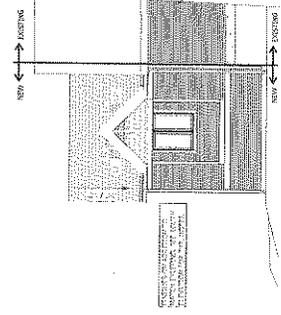
2 Second Floor
 3/4" = 1'-0"



3 South Elevation
 3/8" = 1'-0"

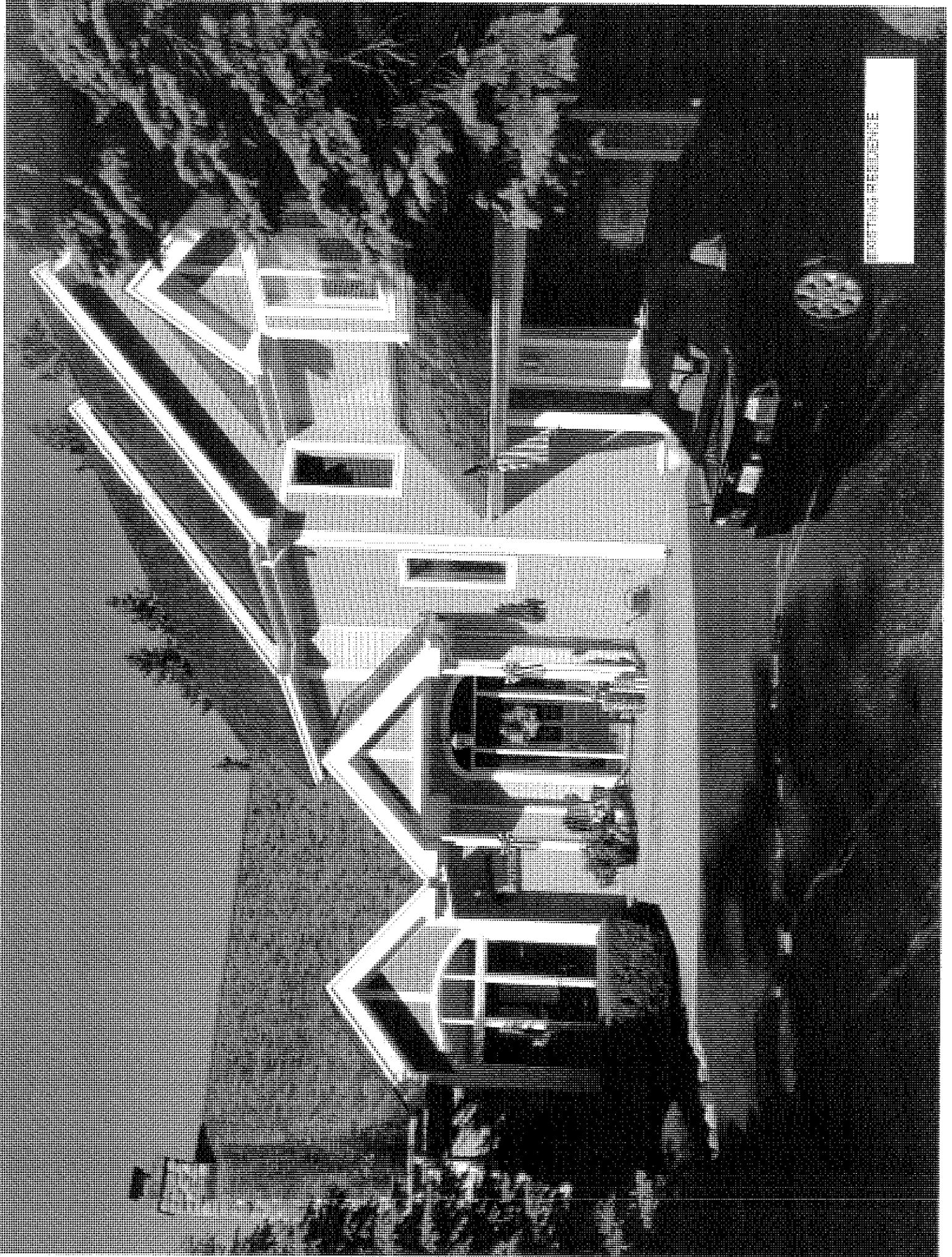


4 East Elevation
 3/8" = 1'-0"

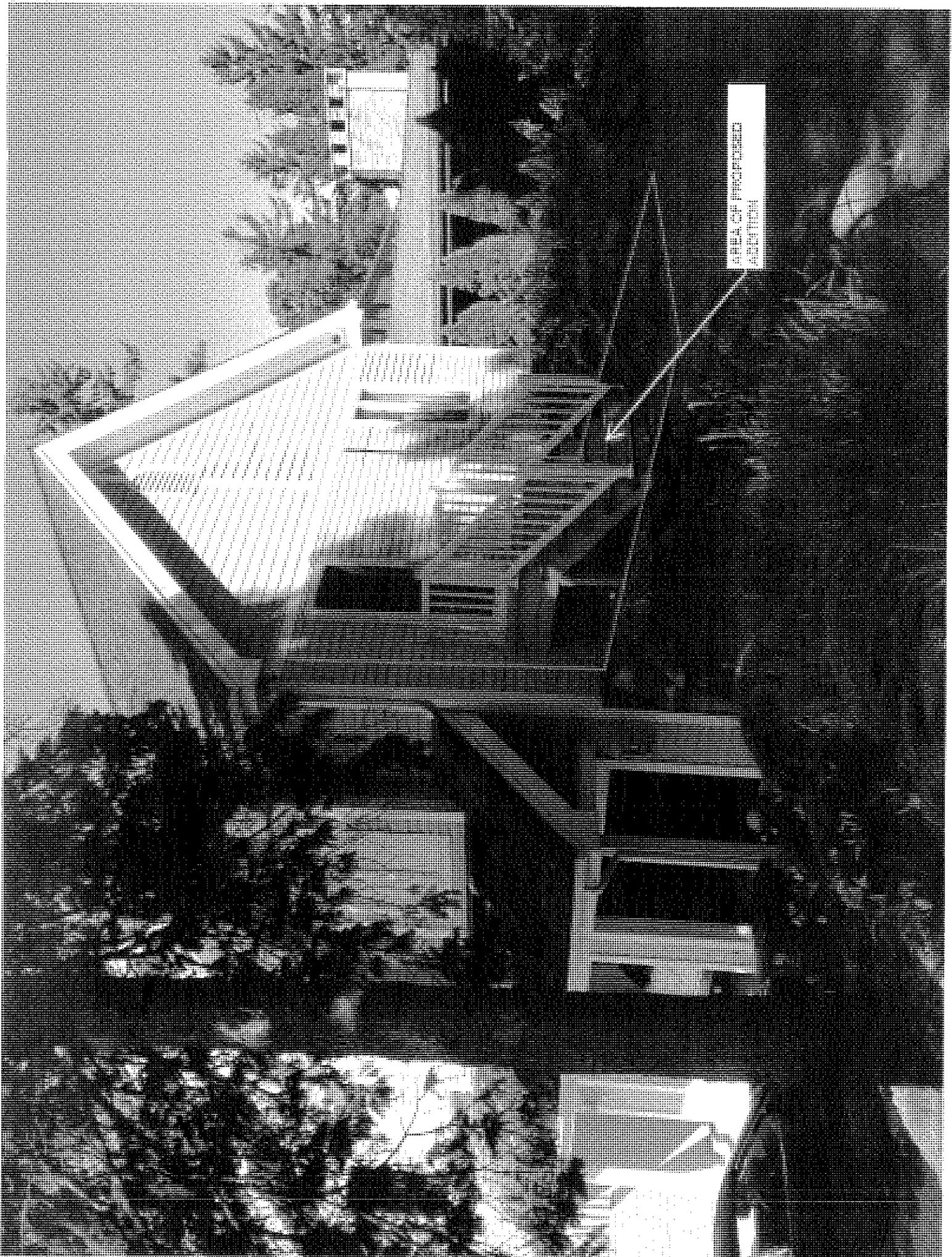


5 North Elevation
 3/8" = 1'-0"

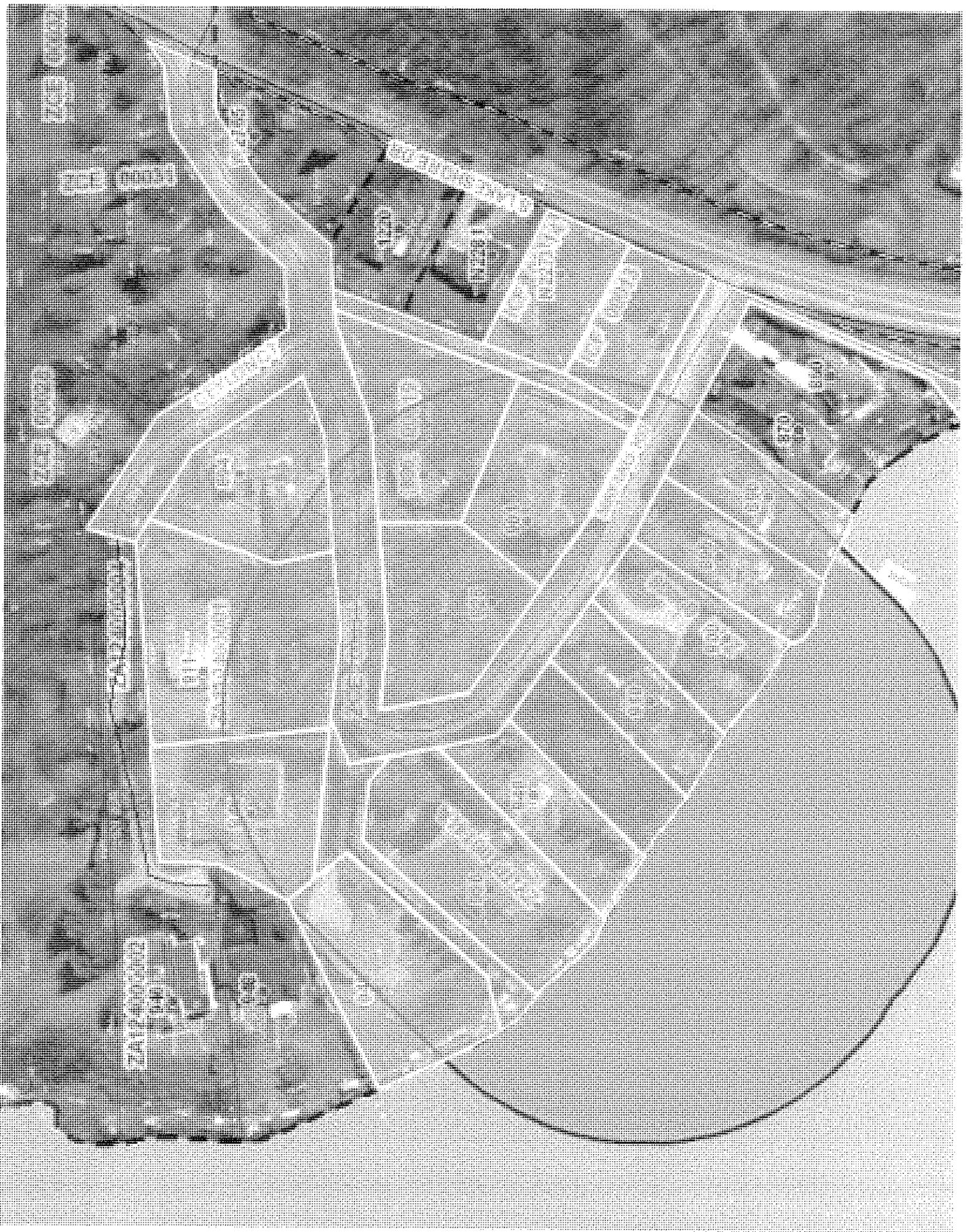
11







AREA OF PROPOSED
RECONSTRUCTION



14200

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SUNSHINE DRIVE

SUNSHINE DRIVE

SUNSHINE DRIVE

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Lake Geneva Foundation
W2655 South Street
Lake Geneva, WI 53147

George Cappadais
June Cappadais
201 Vintage Bay Drive B-14
Marco Island, FL 34145

Michael Hrastinski Trust
Susan M Bell Trust
946 Maytag Road
Lake Geneva, WI 53147

Victoria Shores LLC
C/O Fishers Carriage House
4720 E State Street
Rockford, IL 61108

Margaret Mell
Richard Mell
3649 N Mozart
Chicago, IL 60618

Richard P Hyland
Maryellen Hyland
10328 N Woburn
Orland Park, IL 60462

Edward J Nekarda
Elaine L Collins-Nekarda
1060 Oak Knoll Drive
Lake Forest, IL 60045

George Y June Cappadais
David & Nafsica Kupets
1521 Laurel Ave
Deerfield, IL 60015

Barbara C Braden Living Trust
1175 S Lake Shore Drive
Lake Geneva, WI 531447

Thomas D Manning Trust
N2273 S Lakeshore Drive
Lake Geneva, WI 53147

Ceylon Court Community Corp
Rt 1 Box 201
Lake Geneva, WI 53147

Christopher J Dulla
Cynthia M Dulla
911 Maytag Road
Lake Geneva, WI 53147

Walter Bratkiv
Raisa Bratkiv
1626 Balmoral Lane
Inverness, IL 60618

Lake Geneva Trust
9771 Bent Grass Bend
Naples, FL 34108

Christian M Khayat
Twyla DM Khayat
36938 N Kimberwick Lane
Wadsworth, IL 60083

Patricia A Enoch trust
860 Maytag Road
Lake Geneva, WI 53147

Clifford C Jackson
PO Box 1027
Lake Geneva, WI 53147

Troy L Miller
Ingrid A Miller
622 S Curtis Street
Lake Geneva, WI 53147

John Brillakis
Pauline N. Brillakis
8150 W Davis
Niles, IL 60714

JWH Properties, LLC
9525 River Street
Schiller Park, IL 60176

James C Tuschall
Dolores M Tuschall
864 Ceylon Court
Lake Geneva, WI 53147

Daniel Ferguson Life Ins Trust
3033 Riviera Drive
STE 202
Naples, FL 34108

Steven Uhler
Kathryn M Uhler
321 Camelot Lane
Libertyville, IL 60048

Robert J Wisdom
Lisa B Wisdom
890 Maytag Road
Lake Geneva, WI 53147

Burton & Eileen Duboe
Robert & Wendy Duboe
9401 N Merrill Ave
Eileen Grove, IL 60053

Weilheim LLC
1929 Ridgewood Lane E
Glenview, IL 60025

Notice

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before the City Plan Commission on Monday, August 18, 2014 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, on a request filed by Immanuel Lutheran Church, 700 Bloomfield Road, Lake Geneva, WI 53147 for a Zoning Map Amendment to change the zoning on parcel from Rural Holding Zoning District (RH) to Planned Office Zoning District (PO), at the following location:

TAX KEY NO. ZA433000001 - 700 Bloomfield Road

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, August 18, 2014 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any objections that may have been filed and to hear all persons desiring to be heard.

Dated this 1st day of August 2014.

Mayor James R. Connors
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on August 7th & August 14th

ZONING MAP AMENDMENT

Name and address of Applicant:

IMMANUEL LUTHERAN CHURCH
700 N. BLOOMFIELD
LAKE GENEVA, WI 53147

Telephone No of Applicant: Area Code (262) 248-4211

Name and address of Current Owner:

IMMANUEL LUTHERAN CHURCH
700 N. BLOOMFIELD
LAKE GENEVA, WI 53147

Telephone No of Current Owner: Area Code (262) 248-4211

Address and legal description of property (required) - attach separate sheet if necessary:

700 N. BLOOMFIELD
LAKE GENEVA, WI 53147
SEE ATTACHED

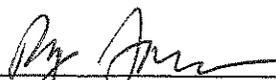
Zoning Classification change from RURAL HOLDING to PLANNED OFFICE

Reason for requesting Proposed Amendment: TO ALLOW FOR OPERATION
OF DAY CARE PROGRAM IN OUR BUILDING.
POTENTIAL FUTURE FOOD PANTRY BUILDING ON OUR
PROPERTY.

Proposed use of property: DAY CARE FOR CHILDREN AGES 6 WEEKS - 4K.

Fee of \$400.00 payable upon filing application.

JULY 23, 2014
Date


Signature of Applicant

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

PETER JUERGENS, as applicant/petitioner for:

Name: IMMANUEL LUTHERAN CHURCH

Address: 700 N. BLOOMFIELD RD.
LAKE GENEVA, WI. 53147

Phone: 262-248-4211

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 23RD day of JULY, 2014

PETER JUERGENS
Printed name of Applicant/Petitioner

[Signature]
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
AMENDMENT OF OFFICIAL ZONING MAP (Requirements per Section 98-903)**

This form should be used by the Applicant as a guide to submitting a complete application to amend the Official Zoning Map and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- Pre-submittal staff meeting scheduled:
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- Follow-up pre-submittal staff meetings scheduled for:
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- Application form filed with Zoning Administrator: Date: _____ by: _____
- Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____
- Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
 ↓ Draft Final Packet (1 Copy to Zoning Administrator) Date: _____ by: _____

- (a) A copy of the Current Zoning Map of the subject property and vicinity:
 Showing all lands for which the zoning is proposed to be amended;
 Showing all other lands within 300 feet of the subject property;
 Referenced to a list of the names and addresses of the owners of said lands;
 Map and all its parts are clearly reproducible with a photocopier;
 Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
 All lot dimensions of the subject property provided;
 Graphic scale and north arrow provided.
- (b) A copy of the Land Use Plan Map of the subject property and vicinity:
- (c) Written justification for the proposed map amendment:
 Indicating reasons why the Applicant believes the proposed map amendment is in harmony with the recommendations of the City of Lake Geneva Master Comprehensive Plan, particularly as evidenced by compliance with the standards set out in Section 98-903(4)(c)1.-3. (See following page.)

III. JUSTIFICATION OF THE PROPOSED ZONING MAP AMENDMENT

1. How does the proposed Official Zoning Map amendment further the purposes of the Zoning Ordinance as outlined in Section 98-005 (and, for floodplains or wetlands, the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA))?

CHILD CARE PROGRAM OPERATES IN EXISTING BUILDING.
(SEE ATTACHED)

2. Which of the following factors has arisen that are not properly addressed on the current Official Zoning Map? (Please provide explanation in space below.)

- a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
- b. A mistake was made in mapping on the Official Zoning Map. (That is, an area is developing in a manner and purpose different from that for which it is mapped.) NOTE: If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the City may intend to stop an undesirable land use pattern from spreading;
- c. Factors have changed, (such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district;
- d. Growth patterns or rates have changed, thereby creating the need for an Amendment to the Official Zoning Map.

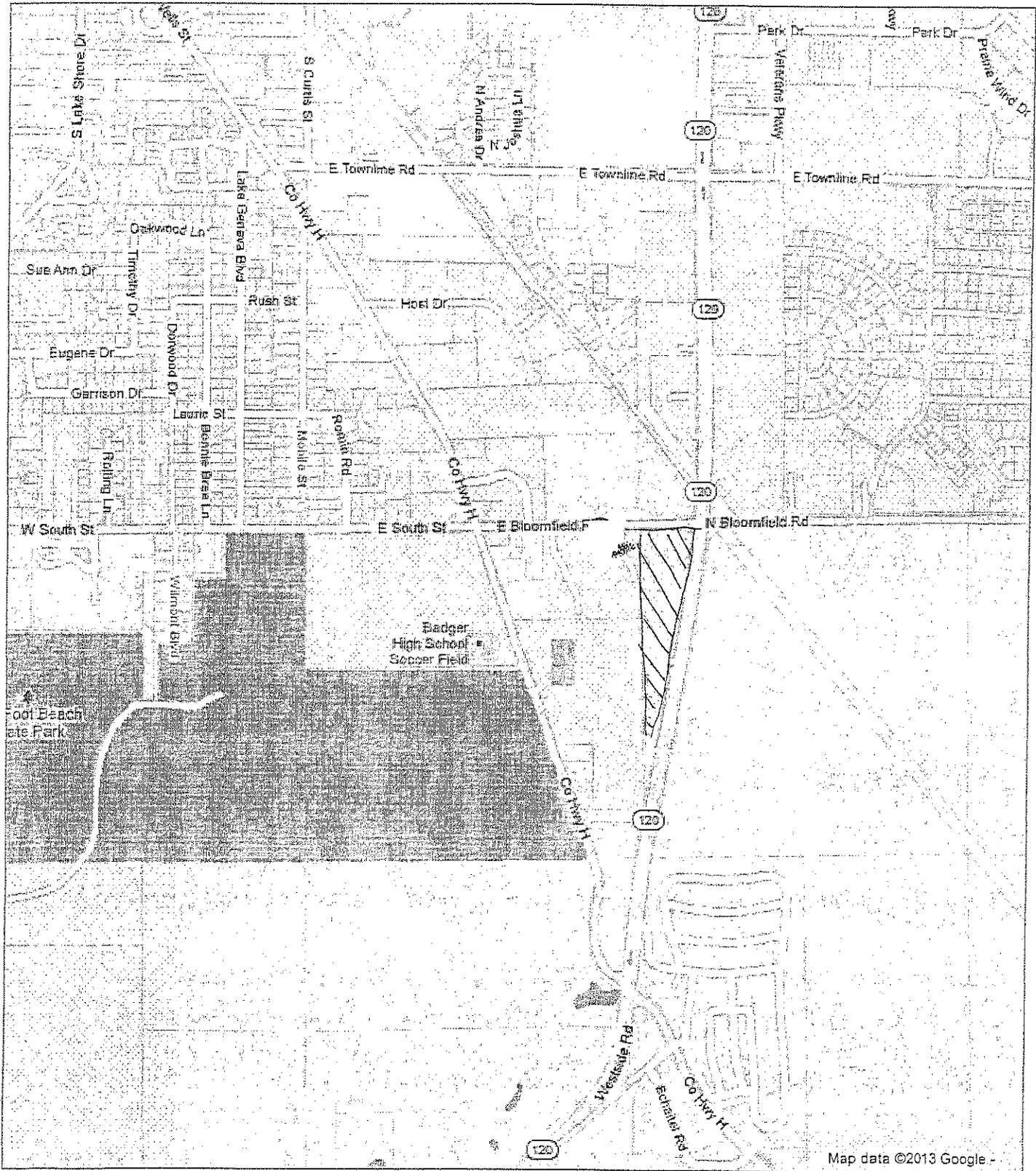
ADDITION OF DAY CARE PROGRAM WHICH WE DID NOT KNOW
WAS NOT IN CONFORMITY WITH "RURAL HOLDING" DESIGNATION
SEE ATTACHED

3. How does the proposed amendment to the Official Zoning Map maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

SAME AS CURRENT BUILDING, DAY CARE OPERATES
IN EXISTING STRUCTURE.
SEE ATTACHED

IV. FINAL APPLICATION PACKET INFORMATION

- _____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- _____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- _____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- _____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- _____ Class 2 Legal Notice published on _____ and _____ by: _____



Wisconsin Power & Light Co.
Attn: Real Estate Dept.
PO Box 77007
Madison, WI 53707

Marc A Frydrychowicz
Mellissa A Frydrychowicz
7009 Tall Grass Court
Spring Grove, IL 60081

Immanuel Evangelical
Lutheran Church
700 Bloomfield Road
Lake Geneva, WI 53147

Kenneth R Millar Trust
Mary Ann Millar Trust, ETAL
W2286 Bloomfield Road
Lake Geneva, WI 53147

Maple Glen, LLC
W1951 N Bloomfield Road
Lake Geneva, WI 53147

Virginia Ma Lazzaroni Trust
C/O Christine Jordan
410 Eugene Drive
Lake Geneva, WI 53147

Joint School District #1
City of Lake Geneva, ETAL
208 E South Street
Lake Geneva, WI 53147

Notice

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before the City Plan Commission on Monday, August 18, 2014 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, on a Conditional Use Application filed by Immanuel Lutheran Church, 700 Bloomfield Road, Lake Geneva, WI 53147 to operate a Group Day Care Center (9+ children) in a Planned Office Zoning District (PO), at the following location:

TAX KEY NO. ZA433000001 - 700 Bloomfield Road

All interested in the above matter are invited to attend. The City Plan Commission will be in session on Monday, August 18, 2014 at 6:30 P.M. at the City Hall, Council Chambers, 626 Geneva Street, Lake Geneva, Wisconsin, to consider any objections that may have been filed and to hear all persons desiring to be heard.

Dated this 1st day of August 2014.

Mayor James R. Connors
City Plan Commission
City of Lake Geneva, WI

A QUORUM OF ALDERMEN MAY BE IN ATTENDANCE

Please Publish as small Legal on August 7th & August 14th

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

700 N. BLOOMFIELD
LAKE GENEVA, WI 53147

NAME AND ADDRESS OF CURRENT OWNER:

IMMANUEL LUTHERAN CHURCH
700 N. BLOOMFIELD LAKE GENEVA, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER:

262-248-4211

NAME AND ADDRESS OF APPLICANT:

IMMANUEL LUTHERAN CHURCH
700 N. BLOOMFIELD LAKE GENEVA, WI 53147

TELEPHONE NUMBER OF APPLICANT:

262-249-9700

PROPOSED CONDITIONAL USE:

OPERATION OF DAY CARE PROGRAM WITHIN OUR
CURRENT BUILDING (Group Day Care Center) (9+ children)

ZONING DISTRICT IN WHICH LAND IS LOCATED:

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

BUILDING IS COMPLETED - DAY CARE WOULD
USE CLASSROOMS IN EXISTING BUILDING

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

DAY CARE FOR CHILDREN AGED 6 WEEKS - 4K. UP TO
31 CHILDREN, 7 STAFF, MON.-FRI. 6 AM - 6 PM (SEE ATTACHED)

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

DATE

7-29-14

SIGNATURE OF APPLICANT



AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

PETER JUERGENS

, as applicant/petitioner for:

Name:

IMMANUEL LUTHERAN CHURCH

Address:

700 N. BLOOMFIELD RD.

LAKE GENEVA, WI 53147

Phone:

262-248-4211

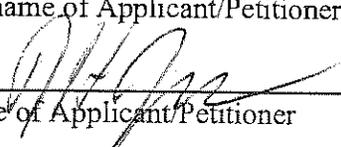
Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 23RD day of JULY, 2014.

PETER JUERGENS

Printed name of Applicant/Petitioner

Signature of Applicant/Petitioner



**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

✓ ___ (a) A map of the proposed conditional use:

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft.
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

✓ ___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- ✓ _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- ✓ _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- ✓ _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

CONSISTENT WITH MISSION OF THE CHURCH TO
SERVE THE COMMUNITY (SEE ATTACHED)

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

SEE ABOVE

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

NO. ACTIVITIES ARE WITHIN EXISTING
BUILDING, WHICH HAS BEEN IN USE SINCE JANUARY 2014.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

NO IMPACT. SEE ATTACHED

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

↓

Date: _____ by: _____

Date: _____ by: _____

___ (a) **A written description of the intended use describing in reasonable detail the:**

___ Existing zoning district(s) (and proposed zoning district(s) if different);

___ Land use plan map designation(s);

___ Current land uses present on the subject property;

___ Proposed land uses for the subject property (per Section 98-206);

___ Projected number of residents, employees, and daily customers;

___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;

___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

YES. FACILITY IS ALREADY SERVED BY
PUBLIC AGENCIES. NO ADDITIONAL BURDEN

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

YES. BENEFIT OF PROVIDING SAFE, PROFESSIONAL
CARE TO AREA FAMILIES WITH NO KNOWN ADVERSE
IMPACT.

IV.FINAL APPLICATION PACKET INFORMATION

___ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

___ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

___ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

___ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

___ Class 2 Legal Notice published on _____ and _____ by: _____

___ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____



- ___ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- ___ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- ___ Exterior building and fencing materials (Sections 98-718 and 98-720);
- ___ Possible future expansion and related implications for points above;
- ___ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

___ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

___ (c) **A Property Site Plan drawing which includes:**

- ___ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- ___ The date of the original plan and the latest date of revision to the plan;
- ___ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- ___ A reduction of the drawing at 11" x 17";
- ___ A legal description of the subject property;
- ___ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- ___ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- ___ All required building setback lines;
- ___ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- ___ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- ___ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- ___ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- ___ The location of all outdoor storage areas and the design of all screening devices;
- ___ The location, type, height, size and lighting of all signage on the subject property;
- ___ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- ___ The location and type of any permanently protected green space areas;
- ___ The location of existing and proposed drainage facilities;
- ___ In the legend, data for the subject property on:
 - ___ Lot Area;

- ___ Floor Area;
- ___ Floor Area Ratio (b/a);
- ___ Impervious Surface Area;
- ___ Impervious Surface Ratio (d/a);
- ___ Building Height.

- ___ (d) **A Detailed Landscaping Plan of the subject property:**
 - ___ Scale same as main plan (> or equal to 1" equals 100')
 - ___ Map reduction at 11" x 17"
 - ___ Showing the location of all required bufferyard and landscaping areas
 - ___ Showing existing and proposed Landscape Point fencing
 - ___ Showing berm options for meeting said requirements
 - ___ Demonstrating complete compliance with the requirements of Article VI
 - ___ Providing individual plant locations and species, fencing types and heights, and berm heights;
- ___ (e) **A Grading and Erosion Control Plan:**
 - ___ Same scale as the main plan (> or equal to 1" equals 100')
 - ___ Map reduction at 11" x 17"
 - ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.
- ___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
 - ___ Showing finished exterior treatment;
 - ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
 - ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

- ___ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ___ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

ATTACHMENT

IMMANUEL LUTHERAN CHURCH LITTLE SPROUTS LEARNING CENTER DAY CARE

Our Day Care program will provide safe, professional care for children ages 6 weeks through 4-K. We will operate from 6:00 am until 6:00 pm, Monday through Friday. The program meets all state requirements and will be fully licensed. We have a capacity for 31 children, with a staff of seven.

The entire Day Care will be housed within our existing building, sharing Sunday School classrooms. Children will have access to a fenced playground area adjoining our building. Existing parking spaces will accommodate parents when children are dropped off and picked up. Our current parking lot exceeds requirements for the city code.

The Day Care will have no effect on the natural features of our property and fits within the master plan for the city. Landscaping is the same as the church, which has already been approved by the city.

This will have no impact on non-residential intensities, since the Day Care operates on week days and heavier usage for the church is on weekends.

Wisconsin Power & Light Co.
Attn: Real Estate Dept.
PO Box 77007
Madison, WI 53707

Marc A Frydrychowicz
Mellissa A Frydrychowicz
7009 Tall Grass Court
Spring Grove, IL 60081

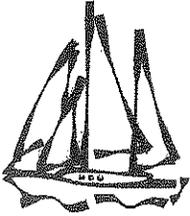
Immanuel Evangelical
Lutheran Church
700 Bloomfield Road
Lake Geneva, WI 53147

Kenneth R Millar Trust
Mary Ann Millar Trust, ETAL
W2286 Bloomfield Road
Lake Geneva, WI 53147

Maple Glen, LLC
W1951 N Bloomfield Road
Lake Geneva, WI 53147

Virginia Ma Lazzaroni Trust
C/O Christine Jordan
410 Eugene Drive
Lake Geneva, WI 53147

Joint School District #1
City of Lake Geneva, ETAL
208 E South Street
Lake Geneva, WI 53147



AGENDA ITEM REQUEST FORM

CITY OF LAKE GENEVA, WISCONSIN

Please attach any information that you would like to be included with the agenda.

Two Aldermen, Mayor Or Administrator
For City Council Requests: Article II,
Section 2-42 (c) must be received two
Fridays prior to the scheduled City Council
meeting

Item Requesting
Be placed on agenda
Please list as you would like it
displayed on the agenda

Committee/Board/Commission
which you are asking to
Review this item

Date of Meeting

Mayor Jim Connors
Discussion and recommendation to modifying Section 98-913 Exterior Colors within the Downtown Design Overlay Zoning District and setting a public hearing.
Zoning Administrator & Plan Commission
Monday August 18, 2014

Signature

Mayor Jim Connors

Digitally signed by Mayor Jim Connors
DN: cn=Mayor Jim Connors, o=City of Lake Geneva,
ou, email=jconnors@cityoflakegeneva.com, c=US
Date: 2014.08.07 11:38:55 -05'00'

DATE: _____

DATE: _____

**Section 98-108 Downtown Design Overlay
Zoning District***through***Section 98-112 Reserved**

- (3) Where flood profiles do not exist, the location of the district boundary line shall be determined by the Zoning Administrator using the scale appearing on the map, visual on-site inspection and any available information provided by the Department of Natural Resources. Where there is a significant difference between the map and actual field conditions, the map shall be amended. Where a map amendment has been approved by both the Common Council and the Department of Natural Resources, the Zoning Administrator shall have the authority to grant or deny a land use permit.

Section 98-108 Downtown Design Overlay Zoning District

This district is intended to implement the urban design recommendations of the Comprehensive Master Plan, by preserving and enhancing the historical quality of the downtown, and by attaining a consistent visually pleasing image for the downtown area. As emphasized by said Plan, this district is designed to forward both aesthetic and economic objectives of the City by controlling the site design and appearance of development within the district in a manner which is consistent with sound land use, urban design, and economic revitalization principles. The application of these standards will ensure long-term progress and broad participation toward these principles. Refer to Section 98-913(9) for the procedures applicable to proposal review in this overlay district.

Section 98-109 Historic Neighborhood Design Overlay Zoning District

This district is intended to implement the urban design recommendations of the Comprehensive Master Plan, by preserving and enhancing the historical quality of the older, historically intact, portions of the City. As emphasized by said Plan, this district is designed to forward both aesthetic and historic preservation objectives of the City by controlling the site design and appearance of development within the district in a manner which is consistent with sound land use, urban design, and economic revitalization principles. The application of these standards will ensure long-term progress and broad participation toward these principles. Refer to Section 98-913(10)-(19) for the procedures applicable to proposal review in this overlay district.

Section 98-110 Entry Corridor Design Overlay Zoning District

This district is intended to implement the urban design recommendations of the Comprehensive Master Plan, by preserving and enhancing the historical quality of the STH 50 corridor west of the downtown and the CTH H corridor north and south of the downtown, and by enhancing the economic redevelopment potential of the STH 120 corridor north and south of the downtown; the STH 12 corridor within the city limits; and the STH 50 corridor east of the downtown. As emphasized by the Plan, this district is designed to forward both aesthetic and historic preservation objectives of the City by controlling the site design and appearance of development within the district in a manner which is consistent with sound land use, urban design, and economic revitalization principles. The application of these standards will ensure long-term progress and broad participation toward these principles. Refer to Section 98-913(20)-(29) for the procedures applicable to proposal review in this overlay district.

Section 98-111 Community Gateway Design Overlay Zoning District

This district is intended to implement the urban design recommendations of the Comprehensive Master Plan, by requiring that development located at and around the most important entrances to the community has a character which recognizes the City's adopted objectives of establishing an attractive and high-quality image. These important community gateways are located around the STH 120 interchange, the STH 12 interchange, and the intersection of CTH H and STH 120. As emphasized by the Plan, this district is designed to forward both aesthetic and economic

**Section 98-913 Downtown Design Overlay
Zoning District****Section 98-913 Downtown Design Overlay
Zoning District***through*

- (c) If the Zoning Board of Appeals fails to make a determination within 60 days after the filing of said complete application, then the request for the appeal shall be considered denied.
- (7) **Effect of Denial:** No application for an appeal which has been denied (either wholly or in part) shall be resubmitted for a period of 12 months from the date of said order of denial, except on grounds of new evidence or proof of change of factors found valid by the Zoning Administrator.
- (8) **Limited Effect of a Favorable Ruling on an Appeal**
- (a) No ruling by the Zoning Board of Appeals on an appeal finding a particular land use to be permitted or conditionally permitted in a specified zoning district shall be valid for a period of more than 365 days from the date of issuance of the ruling on the appeal, unless a building permit is issued and development is actually begun within that period, and is thereafter diligently pursued to completion, or a Certificate of Occupancy is obtained and a use commenced within that period.
- (b) A ruling by the Zoning Board of Appeals on an appeal finding a particular land use to be permitted or conditionally permitted in a specified zoning district shall be deemed to authorize only that particular use at that particular location for which the ruling was issued. The ruling shall not be deemed to authorize any allegedly similar use for which a separate ruling has not been issued. A favorable ruling shall automatically expire and cease to be of any force or effect if the particular use for which it was issued shall, for any reason, be discontinued for a period of 365 consecutive days or more.
- (9) **Fee:** A fee is required for this procedure. Refer to Section 98-935.

Section 98-913 Downtown Design Overlay Zoning District

- (1) **Purpose and Scope:** This district is intended to implement the urban design recommendations of the comprehensive master plan by preserving and enhancing the historical quality of the downtown, and by attaining a consistent visually pleasing image for the downtown area. This district is designed to forward both aesthetic and economic objectives of the City by controlling the site design and appearance of development within the district in a manner which is consistent with sound land use, urban design, and economic revitalization principles. The application of these standards will ensure the long-term progress and broad participation toward these principles.
- (2) **Definitions**
- (a) Design Review Commission: The Design Review Commission is comprised of members of the Plan Commission.
- (b) cornice: The topmost projecting portion of the entablature, or top portion of a building. This term also refers to any "crowning" projection of a building.
- (c) header: A brick laid so that the end only appears on the face of the wall, as opposed to a stretcher, which is a brick laid so that the side only appears.
- (d) kickplate: A horizontal area on the façade of a building located between the sidewalk/entrance pavement and the lowest storefront windows.
- (e) sign band: A horizontal area on the façade of a building located between the transom and the cornice, which is typically opaque and provides a location for signage indicating the name of the establishment.
- (f) sill: A horizontal, lower member or bottom of a door or window casing.

**Section 98-913 Downtown Design Overlay
Zoning District***through***Section 98-913 Downtown Design Overlay
Zoning District**

- (g) transom: A horizontal bar of stone, wood or glass across the opening of a door or window.
- (3) **Designation of Downtown Design Overlay Zoning District Boundaries**: All properties having frontage on either side of the following described route, and all other properties located within the boundaries of described route: BEGINNING at the intersection of Main Street and Cook Street; thence south along Cook Street to Wrigley Street; thence southeast along Wrigley Street to Baker Street; thence east along Baker Street to Lakeshore Drive; thence north along Lakeshore Drive to Main Street; thence along Main Street to the former Railroad; thence northwest along the former Railroad to Geneva Street; thence westerly along Geneva Street to Broad Street; thence northerly along Broad Street to abandoned railroad right-of-way; thence southerly along Broad Street to Geneva Street; thence west along Geneva Street to Cook Street; thence south along Cook Street to the point and place of BEGINNING. (Ord. No. 02-35 1/28/02)
- (4) **Powers and Duties of the Zoning Administrator, Design Review Commission, and Plan Commission for All Development**: Proposed changes to the exterior appearance of properties used exclusively for residential purposes and which do not have frontage on Main Street are hereby excluded from the provisions of this Section. All other applications within the Downtown Design Overlay Zoning District are subject to one of the following three processes, as determined by the Zoning Administrator:
- (a) Applications which involve *only a renovation of the exterior appearance of a property* (such as repainting, re-roofing, residing or replacing with identical colors and materials approved by the City and listed in the attached Appendix), or a change in the exterior appearance of a property in absolute clear and complete compliance with the provisions of Subsection (6) below (as determined by the Zoning Administrator), are subject to **Downtown Renovation Review** by the Zoning Administrator. The Zoning Administrator shall determine whether the petition requires only certification of thorough compliance with the technical requirements set out in Subsection (5)(a) below. In part, this effort shall be guided by the City of Lake Geneva Comprehensive Master Plan;
- (b) Applications which involve *only a change in the appearance of a property* (such as painting, roofing, siding, architectural component substitution, fencing, paving, or signage), are subject to **Downtown Design Review** by the Zoning Administrator and the Design Review Commission. The Zoning Administrator shall serve as the liaison between the applicant and the Design Review Commission, in facilitating the thorough and expedient review of an application, and shall ensure that the technical and procedural requirements of the Zoning Ordinance are met. The Design Review Commission shall serve as the final review and determining body in these matters, and shall focus its review on whether the application complies with sound aesthetic, urban design, historic and architectural practices pursuant to the procedures outlined in Subsection (5)(b), below. In part, this effort shall be guided by the comprehensive master plan;
- (c) Applications which involve *modification to the physical configuration of a property* (such as grading, the erection of a new building, the demolition of an existing building, or the addition or removal of bulk to an existing building) are subject to **Downtown Project Review** by the Zoning Administrator, the Plan Commission, and the Design Review Commission. The Zoning Administrator shall serve as the liaison between the applicant, the Plan Commission and the Design Review Commission in facilitating the thorough and expedient review of an application, and shall ensure that the technical and procedural requirements of the Zoning Ordinance are met. The Plan Commission shall serve as the initial and final discretionary review body on site design, and shall focus its review on the

**Section 98-913 Downtown Design Overlay
Zoning District***through***Section 98-913 Downtown Design Overlay
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application's compliance with sound land use, site design and economic revitalization practices. In part, this effort shall be guided by the comprehensive master plan. The Design Review Commission shall serve as the initial and final review and determining body on aesthetics, and shall focus its review on whether the application complies with sound aesthetic, urban design, historic and architectural practices pursuant to the procedures outlined in Subsection (5)(c), below. In part, this effort shall be guided by the comprehensive master plan.

(5) Procedures for Downtown Project Review and Approval

(a) **Downtown Renovation Review:** Applications which involve *only a renovation of the exterior appearance of a property* (such as repainting, re-roofing, residing or replacing with identical colors and materials approved by the City and listed in the attached Appendix), or a change in the exterior appearance of a property in absolute clear and complete compliance with the provisions of Subsection (6) below (as determined by the Zoning Administrator), are subject to **Downtown Renovation Review** by the Zoning Administrator. The Zoning Administrator shall serve to determine whether the applications simply requires certification of thorough compliance with the technical requirements below. In part, this effort shall be guided by the attached appendix, which provides a list of sample projects which are eligible for this form of review. (Refer to the procedure summary chart at the end of this Section.)

1. **Application Requirements:** All applications for Downtown Renovation Review shall be made to the Zoning Administrator and shall be accompanied by the Building Permit application, and, in addition, shall be accompanied by all of the following:
 - a. A clear depiction of the *existing appearance* of the property. Clear color photographs are recommended for this purpose. Scaled and dimensioned drawings of existing components such as windows, doors, railings, fencing or other site components, and/or detailed building elevations which are proposed for alteration or replacement may be required by the Zoning Administrator;
 - b. A clear depiction of the *proposed appearance* of the property. Paint charts, promotional brochures, and/or clear color photographs of replacement architectural components are recommended for this purpose. Scaled and dimensioned drawings of proposed components such as windows, doors, railings, fencing or other site components, and/or detailed building elevations which are proposed for renovation or replacement may be required by the Zoning Administrator;
 - c. A written description of the proposed renovation, including a complete listing of proposed components, materials, and colors.
 - d. Written justification for the proposed renovation consisting of the reasons why the Applicant believes the requested alteration is in harmony with the recommendations of the comprehensive master plan, particularly as evidenced by compliance with the standards set out in Subsection 2.b., below.
2. **Review by the Zoning Administrator:** The application for Downtown Renovation Review shall be reviewed by the Zoning Administrator as follows:
 - a. Within 20 days after the filing of the application, the Zoning Administrator shall determine whether the application is complete and fulfills the requirements of this Chapter. If the Zoning Administrator determines that the application is not complete and does not fulfill the requirements of this ordinance, he shall return the

**Section 98-913 Downtown Design Overlay
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application to the Applicant. If the Zoning Administrator determines that the application is complete, he shall so notify Applicant.

- b. Within 20 days after the filing and notification of a complete application, the Zoning Administrator shall review the application which: 1) shall evaluate its status as merely requiring Downtown Renovation Review; and, 2) shall evaluate and comment on the written justification for the proposed alteration provided in the application per Subsection (5)(a)1.d., above. The Zoning Administrator shall also evaluate the application based on the following question: How is the proposed alteration in harmony with the recommendations of the comprehensive master plan, particularly as evidenced by compliance with the standards of Subsection (6), below?
- 3. Action by the Zoning Administrator**
- a. The Zoning Administrator may request further information and/or additional reports from the Applicant.
 - b. The Zoning Administrator may approve the application as originally proposed, may approve the application with modifications, may deny the application, or (where the proposal requires discretionary aesthetic judgment) shall forward the application to Design Review Commission as an application for Downtown Design Review.
 - c. The Zoning Administrator shall not approve any application unless he makes written findings of facts regarding the application.
 - d. The approval of the proposed renovation shall be considered as the approval of a unique request, and shall not be construed as precedent for any other proposed alteration.
- (b) **Downtown Design Review:** Applications which involve *only a change in the appearance of a property* (such as painting, roofing, siding, architectural component substitution, fencing, paving, or signage), are subject to **Design Review** by the Zoning Administrator and the Design Review Commission. The Zoning Administrator shall serve as the liaison between the Applicant and the Design Review Commission in facilitating the thorough and expedient review of an application, and shall ensure that the technical and procedural requirements of the Zoning Ordinance are met. The Design Review Commission shall serve as the final review and determining body in these matters, and shall focus its review on the application's compliance with sound aesthetic, urban design, historic and architectural practices per the procedures outlined below. In part, this effort shall be guided by the comprehensive master plan. (Refer to the procedure summary chart at the end of this Section.)
1. **Procedure:** Downtown Design Review proposals shall follow the procedures for Site Plan Review and Approval, see Section 98-908.
 2. **Application Requirements:** In addition to the application requirements for Site Plan Review and Approval, all applications for Downtown Design Review shall be made to the Zoning Administrator and shall be accompanied by the Building Permit application, and, in addition, shall be accompanied by all of the following:
 - a. A clear depiction of the *existing appearance* of the property. Clear color photographs are recommended for this purpose. Scaled and dimensioned drawings of existing components such as windows, doors, railings, fencing or other site components, and/or detailed building elevations which are proposed for

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Zoning District***through***Section 98-913 Downtown Design Overlay
Zoning District**

alteration or replacement may be required by the Zoning Administrator or by the City;

- b. A clear depiction of the *proposed appearance* of the property. Paint charts, promotional brochures, and/or clear color photographs of replacement architectural components are recommended for this purpose. Scaled and dimensioned drawings of proposed components such as windows, doors, railings, fencing or other site components, and/or detailed building elevations which are proposed for alteration or replacement may be required by the City;
 - c. A written description of the proposed modification, including a complete listing of proposed components, materials, and colors.
 - d. Written justification for the proposed alteration consisting of the reasons why the Applicant believes the requested alteration is in harmony with the recommendations of the comprehensive master plan, particularly as evidenced by compliance with the standards set out in Subsection 2.b., below., using the following question to develop said written justification. How is the proposed alteration in harmony with the recommendations of the comprehensive master plan, particularly as evidenced by compliance with Subsection (6), below?
- (c) **Downtown Project Review:** Applications which involve *modification to the physical configuration of a property* (such as the erection of a new building, the demolition of an existing building, or the addition or removal of bulk to an existing building) are subject to **Downtown Project Review** by the Zoning Administrator, the Plan Commission, and the Design Review Commission. Specifically, the powers of the Zoning Administrator, Plan Commission, and the Design Review Commission within the Urban Design Overlay Zoning District shall be as described in the following sections. The Zoning Administrator shall serve as the liaison between the Applicant, the Plan Commission, and the Design Review Commission, in facilitating the thorough and expedient review of an application, and shall ensure that the technical and procedural requirements of the Zoning Ordinance are met. The Plan Commission shall serve as the initial and final discretionary review body on site design, and shall focus its review on the application's compliance with sound land use, site design and economic revitalization practices. In part, this effort shall be guided by the comprehensive master plan. The Design Review Commission shall serve as the final review and determining body on aesthetics, and shall focus its review on the application's compliance with sound aesthetic, urban design, historic and architectural practices per the procedures outlined below. In part, this effort shall be guided by the comprehensive master plan. (Refer to the procedure summary chart at the end of this Section.)
1. **Procedure:** Downtown Project Review proposals shall follow procedures for Conditional Use Permits, refer to Section 98-905.
 2. **Application Requirements:** In addition to the application requirements for Conditional Use Permits, Section 98-905, all applications for Downtown Project Review shall be made to the Zoning Administrator and shall be accompanied by the Building Permit application, and, in addition, shall be accompanied by all of the following:
 - a. A clear depiction of the *existing appearance* of the property. Clear color photographs are recommended for this purpose. Scaled and dimensioned drawings of existing components such as windows, doors, railings, fencing or other site components, and/or detailed building elevations which are proposed for

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alteration or replacement may be required by the Zoning Administrator or by the Plan Commission.

- b. A clear depiction of the *proposed appearance* of the property. Paint charts, promotional brochures, and/or clear color photographs of replacement architectural components are recommended for this purpose. Scaled and dimensioned drawings of proposed components such as windows, doors, railings, fencing or other site components, and/or detailed building elevations which are proposed for alteration or replacement may be required by the Zoning Administrator or by the Plan Commission.
- c. For all projects involving a new building, or an addition exceeding 100 square feet of gross floor area, a detailed site plan which provides the following information:
 - i. A title block which indicates the name and address of the current property owner, developer and project consultants;
 - ii. The date of the original plan and the latest date of revision to the plan;
 - iii. A north arrow and a graphic scale. Said scale shall not be smaller than one inch equals 100 feet;
 - iv. All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
 - v. All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
 - vi. All existing and proposed buildings, structures, and paved areas, including walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
 - vii. All required building setback lines;
 - viii. A legal description of the subject property;
 - ix. The location, type and size of all signage on the site;
 - x. The location, type and orientation of all exterior lighting on the subject property;
 - xi. The location of all access points, parking and loading areas on the subject property, including a summary of the number of parking stalls and labels indicating the dimension of such areas;
 - xii. The location of all outdoor storage areas;
 - xiii. The location and type of any permanently protected green space areas;
 - xiv. The location of existing & proposed drainage facilities;
 - xv. In the legend, the following data for the subject property:
 - Lot Area;
 - Floor Area;
 - Floor Area Ratio;
 - Impervious Surface Area;
 - Impervious Surface Ratio; and
 - Building Height

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- d. A detailed landscaping plan of the subject property, at the same scale as the main plan, showing the location, species and size of all proposed plant materials.
- e. A written description of the proposed project, including a complete listing of proposed components, materials, and colors.
- f. Written justification for the proposed project consisting of the reasons why the Applicant believes the requested alteration is in harmony with the recommendations of the comprehensive master plan, particularly as evidenced by compliance with the standards set out in Subsection 2.b., below., using the following question to develop said written justification: How is the proposed project in harmony with the recommendations of the comprehensive master plan, particularly as evidenced by compliance with the standards of Subsection (9), below?

(6) Additional Recommendations Permitted Under the Design Review Process

- (a) The Zoning Administrator is hereby authorized to make recommendations for, or require modifications to, a proposed application for Downtown Renovation Review; and to make recommendations for the modification of a proposed application for Downtown Design Review or Downtown Project Review.
- (b) The Design Review Commission is hereby authorized to make recommendations for, or require modifications to, a proposed application for aesthetic aspects for Downtown Design Review and Downtown Project Review.
- (c) The Plan Commission is hereby authorized to make recommendations for, or require modifications to, a proposed application for site design aspects for Downtown Project Review.

(7) **Appeals:** Appeals from the decisions of the Zoning Administrator and Plan Commission may be made per the provisions of the Municipal Code and State Statutes.

(8) **Penalty:** Penalty for violation of the provisions of this Chapter shall be per the provisions of Section 98-936.

(9) Downtown Design Standards

(a) **Overall Design Theme:** The design theme for the Downtown area is based on historic commercial and residential architectural styles which dominated the economic growth period from 1890 through the 1920s.

1. **Nonresidential Development:** The design theme varies by location.

- a. **Main Street Frontage:** Along Main Street frontage from Cook Street to Center Street, the nonresidential design theme is characterized by a variety of architectural styles popular at the time, including Italianate, Romanesque and Neoclassical, in a two story format with office, storage or residential located over commercial. The façades of these buildings have a traditional main street storefront appearance, are relatively small in scale, have street-yard and side-yard setbacks of zero feet, have prominent horizontal and vertical patterns formed by regularly-spaced window and door openings, detailed cornice designs, rich detailing in masonry coursing, window detailing and ornamentation, and are predominantly of brick, stone or wood. Exterior building materials are of high-quality. Exterior appurtenances are minimal. Exterior colors are harmonious, simple and muted. Exterior signage blends, rather than contrasts with buildings in

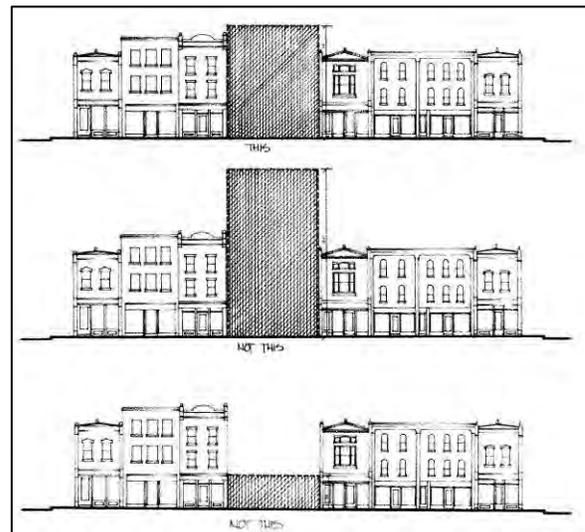
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terms of coloring (complementary to building), location (on-building), size (small) and number (few).

- b. **Remainder of Downtown Design Overlay Zoning District:** In this area, the nonresidential design theme is characterized by a variety of architectural styles popular throughout the entire 20th Century. Building styles, heights, setbacks and details vary significantly. In the desired theme, exterior building materials are of high-quality. Exterior appurtenances are minimal. Exterior colors are harmonious, simple and muted. Exterior signage blends, rather than contrasts with buildings in terms of coloring (complementary to building), location (on-building), size (small) and number (few).
2. **Residential Development:** This theme is characterized by a variety of architectural styles popular at the time, including Queen Anne, Gothic, High Victorian, Georgian, and Prairie. These homes have generous street-yard, side-yard and rear-yard setbacks, and are well-landscaped with a mixture of canopy and understory yard trees, and foundation shrubs and/or flower beds. For illustrative purposes, examples of architectural styles which tend to have elements *incompatible* with Downtown historic styles include (with no attempt to be inclusive) Spanish Mission, Scandinavian Modern, Bavarian, and California Contemporary.

(b) Non-Residential Construction

1. **General:** Nonresidential construction, including new structures, building additions, building alterations, and restoration or rehabilitation shall correspond to the downtown design guidelines as determined by the Design Review Commission and as evidenced by certain existing structures within the Downtown and by the following requirements for building setback; height; building mass; horizontal rhythms (created by the placement and design of façade openings and related elements such as piers, columns); vertical rhythms (created by the placement and design of façade details such as sills, transoms, cornices and sign bands); roof forms; exterior materials; exterior surface features and appurtenances; exterior colors; exterior signage; on-site landscaping; exterior lighting; parking and loading area design; and the use of screening.
2. **Building Setback:** Throughout the district, the setback of buildings from street-yard and side-yard property lines shall be compatible with existing buildings in the immediate area which conform to the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above.
3. **Building Height:** Throughout the district, the height of buildings shall be compatible with existing buildings in the immediate area which conform to the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above. In no instance shall buildings


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- be more than one story taller or shorter than the height of a building of similar use on one of the immediately adjoining properties, which conform to the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above.
4. **Building Mass:** Throughout the district, the mass of buildings shall be compatible with existing buildings in the immediate area which conform to the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above. The characteristic proportion (relationship between façade height and width) of the general design theme shall be maintained. Building mass for large structures (with a façade area exceeding 5,000 square feet) shall be disguised through the use of façade articulations, or through the use of exterior treatments which give the impression of directly adjoining individual buildings. (See Figures 2 and 3.)
 5. **Horizontal Rhythms:** Along Main Street between Cook Street and Center Street, the horizontal pattern of exterior building elements formed by patterns of building openings for windows and doors, and related elements such as piers and columns shall be spaced at regular intervals across all visible façades of the building, and shall be compatible with those of existing buildings in the immediate area which conform to the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above. (See Figures 2 and 3.)
 6. **Vertical Rhythms:** Along Main Street between Cook Street and Center Street, the floor heights on main façades shall appear visually in proportion to those of adjoining buildings. The rhythm of the ground floor shall harmonize with the rhythm of upper floors. The vertical pattern of exterior building elements formed by patterns of building openings for windows and doors, and related elements such as sills, headers, transoms, cornices and sign bands shall be compatible in design and elevation with those of existing buildings in the immediate area which conform to the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above.

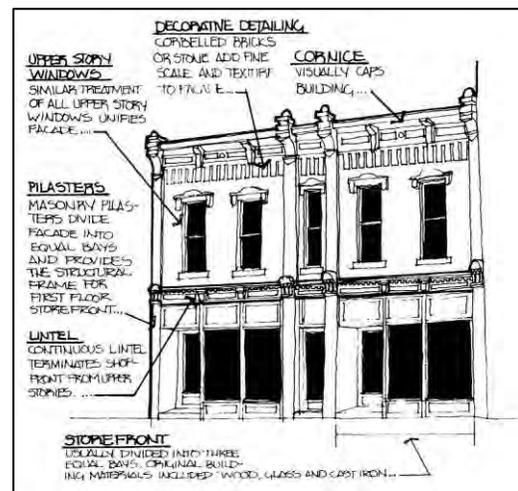


Figure 2

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Figure 3

7. **Roof Forms:** Along Main Street between Cook Street and Center Street, flat or gently sloping roofs which are not visible from the street shall be used. Mansards or other exotic roof shapes not characteristic of the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above, as determined by the Design Review Commission shall not be used. Throughout the district, roof shapes not characteristic of the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above, shall not be used.
8. **Exterior Materials:** Selected building materials shall be compatible with those of existing buildings in the immediate area which conform to the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above. In addition:
 - a. **Masonry:** Along Main Street between Cook Street and Center Street, stone or brick facing should be of even coloration and consistent size. Cinder block, concrete block, concrete slab, or concrete panel shall not be permitted.
 - b. **Siding:** Along Main Street between Cook Street and Center Street, wood or thin board textured vinyl or textured metal clapboard siding may be appropriate -- particularly if the proposed non-masonry exterior was used on a building which conforms to the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above. In certain instances clapboard, board and batten may be in keeping with the general design theme. Asphalt shingles shall not be permitted.
 - c. **Glazing:** Along Main Street between Cook Street and Center Street, clear, or slightly tinted glass or related glazing material shall be used. Mirrored glass, smoked glass, or heavily tinted glass shall not be permitted.
9. **Exterior Surface Appurtenances:** Exterior surface appurtenances shall be compatible with those of existing buildings in the immediate area which conform to the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above. In addition:

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- a. Along Main Street between Cook Street and Center Street, the traditional storefront design theme (characterized by strong horizontal and vertical rhythms formed by building openings, storefront columns, storefront cornices, upper cornices, kickplates, signbands, large display windows, and transom windows) shall be employed for all new nonresidential buildings -- including retail, office, professional service, personal service, maintenance, lodging, entertainment, and storage uses.
 - b. Throughout the district, avoid cluttering building façades with brackets, wiring, meter boxes, antennae, gutters, downspouts and other appurtenances. Unnecessary signs shall also be avoided. Where necessary, such features shall be colored so as to blend in, rather than contrast, with the immediately adjacent building exterior. Extraneous ornamentation which is inconsistent with the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above, is also prohibited.
 - c. **Awnings:** Throughout the district, awning size, color and placement should complement the architectural character of the building. Soft, weather-treated canvas or vinyl materials which allow for flexible or fixed installation shall be used. Aluminum or suspended metal canopies shall be prohibited. Signage applied to awnings shall be simple and durable. Backlit awnings are prohibited.
10. **Exterior Colors:** Selected exterior colors for structures and appurtenances including fixtures, but not including exterior signage which is regulated per (9)(b)11., below, shall be compatible and harmonious with those of existing buildings in the immediate area which conform to the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above. Specifically, throughout the district:
- a. Primary (red, blue, green, and yellow) colors, black, and fluorescent, "day glow", and/or "neon" colors shall not be permitted. Where such colors constitute a component of a standardized corporate theme or identity, muted versions of such colors shall be used.
 - b. High gloss paints, lacquers, varnishes or other "shiny" non-glazing surfaces shall not be used.
 - c. Color combination schemes shall be limited to no more than three different colors for all the structures and appurtenances on a property. (Varying shades, tints or intensities of a color shall count as a different color for this purpose.)
 - d. Color schemes shall be used consistently throughout the property, including on both the upper and lower portions of buildings, and on all façades of a building or structure.
11. **Exterior Signage:** All signage which is visible from any point outside of the building or structure shall be compatible and harmonious with the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above. Signage regulations are provided in Article VII. In addition:
- a. **Number of Signs:** No more than three exterior signs for the same business shall be visible from any single vantage point on or off the subject property.
 - b. **Area of Signage:** Signage area shall comply with the requirements for the Commercial Business (CB) district in Section 98-806(6).

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- c. **Types of Signage:** Wall signs, projecting signs (smaller than five square foot) and awning signs (see Subsection 9. d. above, for additional restrictions for awning signs) may be used for individual businesses. Roof signs, mobile signs and portable signs are not permitted in any instance. Holiday and special event signs shall be regulated per Section 98-807 of this Chapter.
- d. **Group Development Signs:** Group Development signs may be wall, projecting, awning or freestanding signs. Such freestanding signs shall be limited to one per lot, shall not exceed the height of the principle building on the subject property, shall be limited in area to a maximum of one square foot of sign area for every two feet of frontage along the public street located closest to the freestanding sign, and shall in no instance exceed the area allocated in Table 98-806(6). The base of freestanding signs shall be fully landscaped per the requirements of Subsection 12. d. below. The supports of freestanding signs shall be constructed of materials and in a style which is consistent with the materials and style of the principle structure on the site, and with the design guidelines as determined by the Design Review Commission.
- e. **Sign Colors:** Fluorescent shall not be permitted. Where such colors constitute a component of a standardized corporate theme or identity, muted versions of such colors shall be used. Color combination schemes shall be limited to no more than three different colors for all the structures and appurtenances on a property. (Varying shades, tints or intensities of a color shall count as a different color for this purpose.) Color schemes and lettering styles shall be used consistently on all signage used throughout the property.
- f. **Sign Materials:** Permitted sign materials include glass, plastic, wood, brass, metal leaf, metal plates, canvass or related fabric, or etched glass, stone or concrete.
- g. **Sign Illumination:** Illumination of exterior signage shall be limited to shielded spotlight. The lighting element of such fixtures shall not be visible from public rights-of-way or adjoining properties. Flashing signs (including illuminated awnings with or without messages) are not permitted, including neon and related illumination systems.
- h. **Sign Location:** Wall signs, canopy signs and projecting signs shall not be located on any portion of upper stories. The location of signs shall fit the building. (See Figure 4, below.)



Figure 4

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- j. **Removal of Signs:** Illegal nonconforming signs, poorly maintained signs, and obsolete signs pertaining to a closed business, shall be removed. The property owner shall be responsible for the removal of such signs.
12. **On-Site Landscaping and Screening:** On-site landscaping is not required within portions of the Downtown Design Overlay Zoning District located along Main Street between Cook Street and Center Street, except to provide vegetated ground cover for pervious (non-paved/roofed) surfaces, and to provide screening and shading of on-site paved areas.
- a. **Groundcover:** All areas which are not covered by impervious paving or structures shall be covered with vegetative groundcover. Appropriate groundcover includes grasses, forbs, and shrubs.
- b. **On-Site Paved Areas:** On-site landscaping shall also be provided for on-site paved areas used for outdoor seating, vehicular parking, or loading, except for pedestrian and vehicle walks and drives which connect such areas to public rights-of-way (such as driveways and walks to building entrances).
- i. **Required Screening:** On-site paved areas, including parking lots, loading areas, circulation drives, and patios shall be partially screened from the view of public rights-of-way and adjoining properties by, at minimum, a continuous vegetated hedge with a minimum width of five feet, and a height of between 40 and 60 inches. This hedge may be supplemented by trees and/or compatible iron, masonry, or wood fencing, and/or berming.
- ii. **Required Shading:** In addition, one canopy tree (with a minimum installed breast height caliper of 2½ inches) shall be provided within, or within five feet of the edge of, on-site paved areas for every 2,000 square feet (or fraction thereof) of paved area.
- c. **Exterior Storage and Utility Areas:** Trash storage areas, air conditioning units, and related storage and utility areas and components shall be fully screened from the view of adjoining properties, public rights-of-way, and customer areas.
- d. **Freestanding Signs:** The base of freestanding signs shall be fully concealed by plants to a minimum height of twenty-four inches.
- e. Additional landscaping standards are found in Article VI.
13. **Exterior Lighting:** Throughout the district, on-site exterior lighting shall be compatible and harmonious with the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above. Specifically:
- a. **Pedestrian Lighting:** The design, color, height, location and light quality of on-site pedestrian lighting shall be consistent with the pedestrian lighting fixtures which compliment the district's character.
- b. **Vehicular Circulation Lighting:** The design, color, height, location and light quality of on-site vehicular circulation lighting shall be consistent with the lighting fixtures which compliment the district's character.
- c. Additional lighting standards are found in Section 98-707.
14. **Rehabilitation and Restoration:** New projects, building additions, and new appurtenances and features shall comply with the provisions of 1-13, above. The

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following standards shall apply where existing construction is proposed for rehabilitation and/or restoration:

- a. **In General:** Buildings shall be restored relying on physical evidence (such as photographs, original drawings, and existing architectural details) as much as possible, in keeping with the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above. Specifically, throughout the Downtown Design Overlay Zoning District:
 - i. **Exterior Materials and Surface Features:** Materials and features identical to the original shall be used. Where such knowledge is lacking, materials and features in common use at the time of building erection shall be used. Significant architectural features, including cornices, moldings and coursings shall be preserved or replaced with identical features and materials where possible.
 - ii. **Windows and Doors:** The size, proportion and rhythm of original windows and doors shall not be altered. Original window and door openings shall not be blocked, except with a dark opaque panel placed behind the window or door to preserve the appearance of the opening. Where now blocked in another manner, blocked window and doors shall be restored using said method. Window and door features, including lintels, sills, architraves, shutters, pediments, hoods and hardware, shall be preserved where possible, or replaced with identical features and materials. Dark frames (i.e. anodized bronze) shall be used to replace storefront and upper story windows. Clear aluminum finishes and mill finish aluminum storm windows are prohibited. Real shutters and awnings shall be used if there is evidence that they were a component of the original building design. Vinyl and plastic shutters and awnings shall be prohibited.
 - iii. **Shop Fronts:** Shop fronts should fit inside the original shop front in terms of all three dimensions (vertical, horizontal and front to back articulation);
 - iv. **Display Windows:** Display windows should be restored to their original appearance.
 - v. **Entrances and Porches:** Original porches and steps shall be retained, except as required to meet accessibility standards. Porches, steps and related enclosures which do not comply with the architectural design theme shall be removed.
 - vi. **Roofs:** The original roof shape and character of visible materials shall be retained. Original architectural features which give the roof its essential character, including dormer windows, cupolas, cornices, brackets, chimneys and weathervanes, shall be preserved if in keeping with the architectural design theme.
 - vii. **Painting and Color:** See Subsection (b) 10., above.
 - viii. **Signage:** Any and all signage, existing upon the adoption date of this Chapter, which does not comply with the standards of Subsection (b) 11., above may be continued so long as well maintained. However, the maintenance of such legal nonconforming signs shall be limited to repair of the sign structural or lighting elements, and to the repainting or replacement of the sign face with identical

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new material, message, and original appearance. Should a change in material, message, or original appearance be desired, the legal nonconforming sign shall be removed.

- ix. **Cleaning:** Structural components and exterior materials shall be cleaned when necessary, and with only the gentlest possible methods. Low pressure water and soft natural bristle brushes are acceptable. Sandblasting is never acceptable. Other methods shall be pre-approved by the Plan Commission.
- (c) **Residential Construction:** Proposed residential construction, located on properties having frontage on Main Street between Cook Street and Center Street, including new structures, building additions, building alterations, and restoration or rehabilitation shall be reviewed per Section (5) above and shall correspond to the design guidelines as determined by the Design Review Commission. The building setback, height, mass, roof form, exterior materials, exterior surface appurtenances, exterior colors, landscaping and lighting shall be compatible and harmonious with the general design theme noted in Subsection (9)(a)1.a., 1.b., and 2., above.
- (d) **Designated Historic Structures:** Landmark Center, 772 Main Street; Riviera Building, 810 Wrigley Drive; Stone Manor, 880 S. Lakeshore Drive; T.C. Smith House, 865 Main Street; Youngland Coach House, 701 S. Lakeshore Drive; St. Moritz, 327 Wrigley Drive.

(10)-(19)Reserved.

(20) **Community Entry Corridor Urban Design Overlay Zoning District:**

- (a) **Requirement of Compatibility:** Proposed site design and construction within this District, including new structures and building additions shall be reviewed, per Section (5) above, by the Plan Commission. The building setback, height, mass, roof form, exterior materials, exterior surface appurtenances, exterior colors, landscaping and lighting shall be compatible with the following General Design Theme, as determined by the Plan Commission.
- (b) **Design Standards for Residential Development:** The General Design Theme for residential development within the Community Entry Corridor Urban Design Overlay Zoning District shall be designed to accommodate typical impacts of transportation and nearby non-residential development -- particularly through the use of building orientation, door and window location and design, and on-site landscaping and related buffering structures or berms. Above and beyond such concerns, particular attention shall be devoted to ensuring that selected residential design components complement nearby residential styles with high-quality building materials, in an attractive manner as becoming an entry corridor, and as determined by the Plan Commission. Where a detailed Neighborhood Plan has been adopted, it should be used to provide additional guidance in the design review process.
- (c) **Design Standards for Non-Residential Development:** The general design theme for non-residential development within the Community Entry Corridor Urban Design Overlay Zoning District is characterized by high-quality building materials, architectural design, site design, and on-site landscaping. Prominent urban design elements and architectural details, which are decorative and functional, shall be considered as a required component of each site within the District. Above and beyond such concerns, particular attention shall be devoted to ensuring that selected non-residential design components complement nearby non-residential styles and to reflect positively on the character of the community, as becoming an entry corridor, and as determined by the Plan Commission. Where a detailed

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Neighborhood Plan has been adopted, it should be used to provide additional guidance in the design review process.

- (d) These requirements shall become effective upon the date of adoption of detailed neighborhood plans and upon the date of depicting these overlay zoning districts on the Official Zoning Map.

(21)-(29)**Reserved.**

(30)Community Gateway Urban Design Overlay Zoning District:

- (a) **Requirement of Compatibility:** Proposed site design and construction within this District, including new structures and building additions shall be reviewed, per Section (5) above, by the Plan Commission. The building setback, height, mass, roof form, exterior materials, exterior surface appurtenances, exterior colors, landscaping and lighting shall be compatible with the following General Design Theme, as determined by the Plan Commission.
- (b) **Design Standards for Residential Development:** The General Design Theme for residential development within the Community Gateway Urban Design Overlay Zoning District shall be designed to accommodate typical impacts of transportation and nearby non-residential development, and to assist in creating a sense of welcome to the City of Lake Geneva -- particularly through the use of building orientation, door and window location and design, and on-site landscaping and related buffering structures or berms. Above and beyond such concerns, particular attention shall be devoted to ensuring that selected residential design components complement nearby residential styles with high-quality building materials, in an attractive manner as becoming a gateway entry to the community, as determined by the Plan Commission. Where a detailed Neighborhood Plan has been adopted, its should be used to provide additional guidance in the design review process.
- (c) **Design Standards for Non-Residential Development:** The general design theme for non-residential development within the Community Entry Corridor Urban Design Overlay Zoning District is characterized by high-quality building materials, architectural design, site design, and on-site landscaping. Prominent urban design elements and architectural details, which are decorative and functional, shall be considered as a required component of each site within the District. Above and beyond such concerns, particular attention shall be devoted to ensuring that selected non-residential design components complement nearby non-residential styles and to reflect positively on the character of the community, and to assist in creating a sense of welcome to the City of Lake Geneva, as becoming a gateway entry area to the community, and as determined by the Plan Commission. Where a detailed Neighborhood Plan has been adopted, its should be used to provide additional guidance in the design review process.
- (d) These requirements shall become effective upon the date of adoption of detailed neighborhood plans and upon the date of depicting these overlay zoning districts on the Official Zoning Map.

(31)-(39)**Reserved.**

DOORS & ENTRYWAYS

The Front Door

Tall and stately in proportion, and built of wood with a large glass panel, the traditional storefront door looked substantial yet inviting to the customer. Modern aluminum doors lack historic character. However, this type of door cannot always be considered inappropriate. Its simple appearance makes it unobtrusive. But if you want to enhance the personality of your store, you should consider other options.

- The front door should be compatible with the rest of your storefront. The door should reinforce the character of your building as well as beckon customers inside.
- If your storefront retains its original character, a traditional wood door with a glass panel **(as tall as possible) will reinforce the building's design.**
- Choose a door based on the total design of the storefront. If you choose the standard aluminum and glass door, consider a dark, anodized finish rather than a light, metallic color.
- Try to find a salvaged older door to refurbish or purchase a new door that fits the **storefront's appearance.**
- Consider the use of subtle decorations on the door. A handsome doorknob or pull, a brass kick plate or an attractive painted sign on the glass is enough to turn your door into something special.
- If the doors in your building are old but workable, you should certainly consider keeping them.
- If the doors are made of wood, maintenance is very important. Keep them clean and in good working order. Check the wood for problems. Are portions of the wood soft, cracked or split? Does the door have insect damage? Pay particular attention to the threshold, bottom rail and hinge rail. Is the weather-stripping in good repair? Does the door fit snugly in the frame, or is it too tight? Check the hardware. Are the locks, hinges and closer in working order? Remember, it is often less expensive to repair a door than replace it.
- The secondary door – typically giving access to upper floors – traditionally is slightly more modest in design and usually not recessed as deeply. If you choose to maintain a traditional storefront design, an old solid or glass-paneled wood door is most appropriate.
- The secondary door should be less prominent than the storefront door. The second front door should fit into the overall façade without drawing undue attention.



Aluminum Door



Glass Panel Door



Secondary Door



Complementary Paint Colors



Complementary Paint Colors



Screened Mechanics

Paint Color

The color of a building, window trim or door is, to some extent, a personal decision. It is an expression of yourself and your commercial establishment. However, there are other issues to consider. The following guidelines can help you decide what colors to use on your building.

- Look at your building in the context of the entire block or downtown. The color of your building can affect the overall character of a street.
- Traditionally, building trim was painted as decoration, often in a contrasting shade lighter or darker than the primary building color. This paint treatment defined the trim, but it was not so overpowering that the trim colors dominated the building.
- Aluminum frames have frequently replaced traditional wood doors and windows. The shine and metallic color of aluminum does not complement historic buildings, therefore, paint it a more neutral color or choose darker, anodized frames.
- Paint color should be used to tie together all building elements, including the cornice, upper facade, windows, storefront and doors. To do this, limit the number of colors you use; in most cases, choose no more than three colors, and select complementary colors.
- Building color should be non-reflective and relate to existing neighborhood patterns. High intensity, florescent, day glow and/or neon, and metallic colors are discouraged; where such colors constitute a component of a standardized corporate theme or identity, muted versions of colors should be used.

Metering and Mechanicals

Metering and mechanicals are elements of utility service and mechanical heating, cooling and ventilation systems that are foreign to the architecture (transformers, gas and electric meters, rooftop units, etc.). Utility service boxes, cables, conduits, vents, turbines, flues, chillers and fans, telecommunication devices, trash/recycling storage receptacles should be screened from public view by incorporating the following design standards:

- Locate mechanical equipment and service areas at the rear of the building, along an alley façade or on the building rooftop;
- Screen mechanical equipment and service areas using architectural partitions or walls, screening devices and/or landscaping; and
- Locate rooftop mechanical equipment a sufficient distance from the building edge to screen the equipment from view of adjacent streets.

MATERIALS AND COLORS

Being creative with a limited palette of materials and colors can make you get noticed!

Jefferson's downtown historic building stock has a relatively consistent palette of materials and their colors. This is a real strength in its coherency and the image it presents. The materials and colors of a new building or addition to this setting will have a significant impact.

When designing your new building or addition, select materials and colors that are compatible with the historic palette of materials and colors in downtown Jefferson.

Do . . .

- Use brick and match size and color of predominant downtown buildings
- Use durable materials on all areas subjected to wear and damage from use or abuse
- Use clear or slightly tinted glass
- Use same materials on additions as front and side facades of original building
- Use consistent color scheme throughout the site, existing building, and addition
- Use a limited palette of colors (e.g. three or less)
- Use colors that complement the existing downtown brick colors

Do NOT . . .

- Use reflective, smoky, or heavily tinted glass
- Use large scale materials such as large concrete or metal panels
- Use exposed cinder or concrete block
- Use "false" materials
- Use obtrusive colors (e.g. day glow)



Projections

Intent

To reinforce the existing character.

Examples

Left Images: mounted awnings below the horizontal expression line with lighting from above provides for a more attractive building facade, and lighting from above cuts down on sky glow (light pollution).

Top Right: diagram illustrating the minimum requirements for awning placement

Lower Right: Canopies do not relate to the existing character of the downtown area



Recommendations

- Use of ground floor awnings is strongly encouraged.
- Fabric or soft vinyl awnings are preferred.
- Awning colors should relate to and complement the primary colors of the building facade.
- Canopies (flat projections from the building facade) are discouraged.
- Upper floor projections into the minimum building setback are allowed, including balconies, bay windows, and awnings.

Standards

1. Awnings **shall** be at least three (3) feet in depth and the underside of the projection shall be at least eight (8) feet above the sidewalk.
2. Awnings using wood or shingle components are **prohibited**.
3. Awnings may be lit from above, and/or may feature lighting beneath to illuminate the sidewalk; however, glowing awnings (backlit, light shows through the material) are **prohibited**.
4. Awnings **shall** be mounted below the horizontal expression line that defines the ground floor.
5. **Downtown Area and Historic Main Street Area Only**, upper floor projections **shall not** extend more five (5) feet into the public right-of-way. **Transitional Area Only**, follow the City's Zoning Ordinance (*Chapter 21*).

Materials & Colors

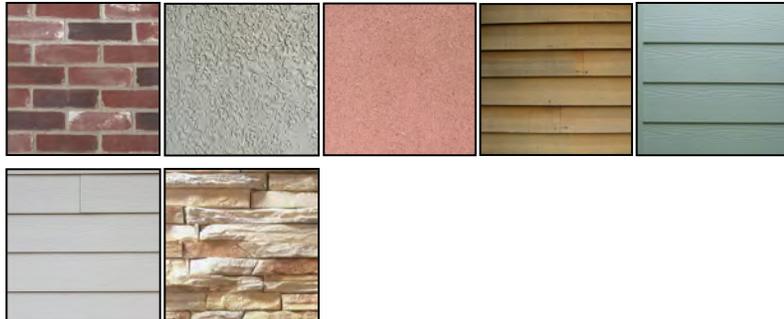
Intent

To reinforce the existing character, and to provide for variety and visual interest.

Examples

Top Images:
preferred materials
(kiln-fired brick, stucco,
terra cotta, wood siding,
and fiber cement siding)

Lower Images:
permitted building
materials (vinyl siding
and cultured stone)



Recommendations

- Muted tones are preferred for the primary facade color. Use of bright colors as a secondary color to highlight expression lines or details is acceptable and encouraged.
- Preferred exterior finish materials include kiln-fired brick, decorative masonry block, stucco, stone, terra cotta, wood siding and details, and fiber cement siding.
- Discouraged exterior finish materials include unfaced concrete block, structural concrete, prefabricated metal siding, and EIFS (Exterior Insulation and Finish System). EIFS is strongly discouraged as a principle facade material, especially at ground level where susceptible to damage.

Standards

1. Day-glo or fluorescent colors are **prohibited**.
2. If used, vinyl siding **shall** be at least 0.044" in thickness. **Downtown Area and Historic Main Street Area Only**, vinyl siding is **prohibited** on the primary front facade.
3. **Prohibited** building materials include gravel aggregate materials, stone or cultured stone in a random ashlar pattern, rough-sawn wood siding, polished stone, and panelized products.
4. All exposed sides of the building **shall** use similar or complementary materials and colors as used on the front facade.
5. Surface coverings on flat or low-slope roofs that are visible from a public street **shall** be of material that is non-reflective and non-glare. Heavy duty contoured shingles, shakes, and standing seam metal roofing materials are acceptable for pitched roofs.
6. A picture and a sample of each exterior material and a facade illustration that indicates colors and materials **shall** be submitted with the Design Checklist.