

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING
MONDAY AUGUST 19, 2019 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Agenda

1. Meeting called to order by Tom Hartz.
2. Roll Call.
3. Approve Minutes of the July 15, 2019 Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review:
 - a. Application by Dimitrius Anagnos, 148 Cass St. Lake Geneva, for the request to raze and remove a portion of the building to incorporate additional outdoor dining to the exterior of the property, located at 811 Wrigley Dr., in the Central Business (CB) zoning district, Tax Key No. ZA483300003.
7. Review and a Recommendation of an application submitted by Daniel & Andrea Pether for Extraterritorial Zoning (ETZ) land division creating a new CSM located at N2957 Marshall Ln. Lake Geneva, located in the Town of Geneva, creating a lot line adjustment Tax Key No. JA396100002.
8. Public Hearing and Recommendation of a Conditional Use Permit filed by Thomas & Kathy George, 3380 S. Lake Shore Dr. Delavan 53115, for the request to allow Outdoor Commercial Entertainment land use located at 832 Geneva St, situated within the Central Business (CB) zoning district, Tax Key No. ZOP00252.
9. Public Hearing and Recommendation of a Conditional Use Permit filed by Jonathan Grosso, 4209 W. Stonefield Rd. Mequon, WI 53902, for the request to allow the new installation of a 95' Pier with 1 boat slip located at 950 Mariane Terrace, situated within the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZSY00015.

10. Public Hearing and Recommendation of a Conditional Use Permit filed by Robert Nabasny, 311 S. Wells St. on the request to allow for an alteration and addition to the home located at 1544 W. Main St. located within the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZLM00070.
11. Public Hearing and Recommendation of a Conditional Use Permit filed by CDS Investments LLC, 1840 International Parkway, Woodridge, IL. 60517 on a request to raze and rebuild a new single family home located at 1550 Lake Shore Dr. situated within the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZLM00048.
12. Public Hearing and Recommendation of a Conditional Use Permit filed by Lake Geneva Public Library, 918 W. Main St. the request is to allow the message display reduction to 30 seconds from the current 60 second static text message for Community Information Signs, located within the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZOP00348
13. Comprehensive Plan application review, a single application for the property located at the North West corner of the intersection of Townline Rd and Edwards Blvd., the applicant is 120 Properties LLC. Tax Key No. ZYUP00198.
14. Adjournment.

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

Posted 8/14/2019

**PLAN COMMISSION MEETING MINUTES
MONDAY, JULY 15, 2019 – 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Mayor Hartz called the meeting to order 6:00 p.m.

Roll Call

Present: Mayor Hartz, Alderman Doug Skates, John Gibbs, Ann Esarco, Michael Krajovic.

Absent (Excused): Ted Horne, City Attorney Draper, and William Catlin

Also Present: City Planner Slavney, Building and Zoning Administrator Walling, City Clerk Kropf

Approve Minutes of the June 17th 2019 Plan Commission meeting as distributed.

Motion by Esarco to approve, second by Gibbs. No discussion. Motion carried 6-0.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.

Speaker #1: Terry O'Neill; 954 George St; Spoke in regards to the agenda being incorrect for the item regarding the Conditional Use Permit for 846 Madison St; in that this item was a continuation of a public hearing.

Acknowledgement of Correspondence.

Correspondence was received by Christa & Nate Dame, 445 Connie Circle; Mya Knox; Bob & Nancy Col l ins, 6275 Jones Rd., Lyons; Jessica Samantha Kwain; Jeremy Thornton; Dawn Calkins; Heidi Otterness; Jon Moore; & Wendy Harlfinger; Byron Grush; Tom Hove, W1925 Briar Ridge Lane; Elizabeth Klinzing, Vanessa Pragalz, Jessica Clapper, Tiina Czyznik, Christie Huber, and Robert Lambert; all in favor of The Barking Lot located at 846 Madison Street. All correspondence has been distributed to the Plan Commission and the City Council.

Downtown Design Review

Application by Jesse Johnson, 8896 Burr Oak Rd., Rosco, IL. 61073, for a request to place an "on building sign" for the property located at 237 Broad St., in the Business Central (BC) zoning district, Tax Key No. ZA110300002.

Jesse Johnson addressed the Plan Commission regarding a new store that he will be opening and is looking to have his sign approved.

Motion by Esarco to approve the sign and include all staff recommendations, second by Krajovic.

Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic "yes." Motion carried unanimously.

Public Hearing and Recommendation on an application for the Conditional Use Permit (CUP) filed by Sarah Schultz, 448 McHenry St., Burlington, WI 53105 and Rachael Thornton 3406 Harrison St, Kansasville, WI 53139 requesting to amend the existing (CUP) to increase the allowance of 10 dogs to 40 dogs at the existing business located at 846 Madison Street, Lake Geneva, WI 53147, located in General Industrial (GI) zoning district, Tax Key No. ZYUP00033 & ZYUP00033A.

Rachael Thornton addressed the Commission regarding their request to amend their Conditional Use Permit to allow forty dogs. She noted that this business will offer multiple services for the dogs, not just overnight boarding. Sarah Schultz added that there had been issues in the past with the previous business owner that were brought forth that have been addressed moving forward. Thornton stated that many updates have been made to the building including thicker glass and bark silencers to abate any excessive barking.

Walling stated that the applicants have met all of the requirements that were asked of them at the last Plan Commission meeting and that there has been an outpouring of citizen support in favor of the business. Skates asked the applicants if the response time from their home would be a problem. Schultz noted that the manager of the facility is within five minutes and that if that person wasn't available there is other staff that is on call for pet sitting, that could be present.

Dennis Welslozer; Spoke in favor of the Conditional Use Permit being issued to the Barking Lot.

Allastair Cumming; McDonald Rd; Spoke in favor of the Conditional Use Permit being issued to the Barking Lot.

Ruth McCoy; 611 Joshua Ln; Spoke in favor of the Conditional Use Permit being issued to the Barking Lot.

Mary Coupy; Williams Bay; Spoke in favor of the Conditional Use Permit being issued to the Barking Lot.

Mya Knox; Elkhorn; Spoke in favor of the Conditional Use Permit being issued to the Barking Lot.

Alex Condos; Noted that she had worked for the Dog Spot for five years and will continue to work with the Barking Lot. She added that she is in Lake Geneva and that she will serve as back-up in case of an emergency.

Sherri Engstrom; Spoke in favor of the Conditional Use Permit being issued to the Barking Lot.

Motion by Gibbs to close the Public Hearing, second by Esarco. Motion carried 6-0.
Eсарco added that she is in favor of this amendment.

Motion by Skates to approve the amendment of the Conditional Use and include all staff recommendations and fact finding in the affirmative, second by Esarco.

Skates noted that this is Conditional Use Permit and that if there are numerous issues that it may be reviewed, but he doesn't feel it will be an issue.

City Planner Slavney noted that a Conditional Use Permit can be revoked if deemed necessary, but he feels that with the changes already made it more than likely will not be an issue.

Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic "yes." Motion carried unanimously.

Public Hearing and Recommendation on an application for a Conditional Use Permit (CUP) filed by Holy Communion Episcopal Church, 320 Broad St & 817 Geneva St., Lake Geneva, WI 53147 to utilize the two properties for a Farmers Market event, in the Central Business (CB) & Neighborhood Office zoning district. Tax Key Nos. ZOP00172 & ZOP00173.

Holly Stark; N1597 Countryside Ln; Spoke in favor of the Conditional Use Permit being issued to hold the Farmer's Market. She added that it will run concurrently with the existing Farmer's Market.

City Planner Slavney noted that all conditions outlined by the applicant have been identified and agreed by staff as well.

Ted Herrick; 821 Geneva St; Spoke in favor of the Conditional Use Permit being issued to the Holy Communion Episcopal Church for a Farmer's Market.

Charlene Klein; 817 Wisconsin St; Spoke in favor of the Conditional Use Permit being issued to the Holy Communion Episcopal Church for a Farmer's Market.

Jim Strauss; 1517 Meadow Ridge Cir; Spoke in favor of the Conditional Use Permit being issued to the Holy Communion Church for a Farmer's Market, however urged the Commission to be concerned with the types of products being sold.

Motion by Krajovic to close the Public Hearing, second by Skates. Motion carried unanimously.

Motion by Krajovic to approve the Conditional Use filed by Holy Communion Episcopal Church, 320 Broad St & 817 Geneva St., Lake Geneva, WI 53147 to utilize the two properties for a Farmer's Market event, in the Central Business (CB) & Neighborhood Office zoning district. Tax Key Nos. ZOP00172 & ZOP00173 and include all staff recommendations and fact finding in the affirmative and to include the four conditions as outlined in the application, which includes: Permission for (10) bags to utilize free parking on Broad St adjacent to our building beginning at 8 am to 1 pm, provide a rope barrier at the meter locations to eliminate pedestrian traffic between the cars &

cross the street, signage identifying to have customers cross at the designated crosswalks and signage identifying free parking will end at 1 pm, second by Esarco. No further discussion.
Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic "yes." Motion carried unanimously.

Public Hearing and Recommendation of a Conditional Use Permit (CUP) filed by Cynthia Perez, 1030B Pleasant St., Lake Geneva, WI 53147, for the property located at 820 Williams St. to allow a Commercial Outdoor Entertainment land use in the General Business (GB) zoning district, Tax Key No. ZA269400002.

Cynthia Perez; 1033 Pleasant St; Addressed the Commission regarding the need to have a commercial outdoor entertainment land use for a patio adjacent to her restaurant. She added that this is necessary to be able to extend the liquor license premises to include the patio.

Walling noted that the applicant has met all of the ADA requirements and that the applicant had requested music. Walling indicated that he had specified that the music be only amplified. Mayor Hartz indicated that non-amplified music can be loud as well and suggested that the music follow the City's noise ordinance.

Motion by Gibbs to close the Public Hearing, second by Esarco. Motion carried unanimously.

Motion By Gibbs to approve the Conditional Use filed by Cynthia Perez, 1030B Pleasant St., Lake Geneva, WI 53147, for the property located at 820 Williams St. to allow a Commercial Outdoor Entertainment land use in the General Business (GB) zoning district, Tax Key No. ZA269400002 and include all staff recommendations and fact finding in the affirmative and that music played on the patio follow the City's noise ordinance, second by Esarco.
Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic "yes." Motion carried unanimously.

Public Hearing and Recommendation on an application for a Conditional Use Permit (CUP) filed by Don & Sharon Smith, 2021 Old Mill Ln., McHenry, IL 60050 for a request to operate a Commercial Indoor Lodging land use as Gerich & Rehm, LLC. for the property located at 729 W Main St located in the Central Business (CB) zoning district. Tax Key No. ZOP00275.

Sharon Smith; 2021 Old Mill Ln, McHenry, IL 60050; Addressed the Commission regarding the want to operate the upper level of this property for commercial indoor lodging. Walling noted that all ADA and egress requirements have been met. He added that the apartment is set-up in a way that it can operate independently of the store below. Mayor Hartz inquired if this should be changed to the limited use as they own the building and operate the building as well.

Motion by Skates to close the Public Hearing, second by Esarco. Motion carried unanimously.

Motion by Skates to approve the Limited Conditional Use filed by Don & Sharon Smith, 2021 Old Mill Ln., McHenry, IL 60050 for a request to operate a Commercial Indoor Lodging land use as Gerich & Rehm, LLC. for the property located at 729 W Main St located in the Central Business (CB) zoning district. Tax Key No. ZOP00275 and include all staff recommendations and fact finding in the affirmative, second by Esarco.

Skates noted that he agrees with utilizing the upper levels and would like to see more properties do the same thing. Skates stated that he agrees with the limited conditional use. This would encourage the City to meet the new owners should it change hands, and would give the Commission the ability to outline what the perimeters of the Conditional Use Permit. Skates stated that this practice will help maintain and mediate any absentee building owners.
Roll Call: Hartz, Skates, Gibbs, Esarco, Krajovic "yes." Motion carried unanimously.

Continuation per the Applicant's request until the August Plan Commission - Public Hearing and Recommendation on an application for a General Development Plan (GDP) filed by Omega Homes - Vistas LLC., 210 E. O'Connor Dr, Suite 101, Elkhorn, WI 53121, requesting to allow the development of a 17.26-acre parcel to construct 58 single family lots which includes the installation of roads and infrastructure to accommodate the proposed development. The property is located on LaSalle St., situated in Multi-Family Residential - 8 (MR-8) zoning district, Tax Key No. ZA424700001.

Motion by Skates to continue the Public Hearing to the August Plan Commission meeting at the request of the owner, second by Gibbs. Motion carried unanimously.

Adjournment

Motion by Skates to adjourn, second by Skates. Motion carried 6-0. The July 15, 2019 Plan Commission meeting adjourned at 7:09 p.m.



/s/ Lana Kropf, City Clerk

THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: August 19, 2019

Agenda Item #6A

Applicant:

Dimitrius Anagneos
148 Cass Street
Lake Geneva, WI 53147

Request:

811 Wrigley Drive
Downtown Design Review for Exterior
Alterations
Tax Key No. ZA483300003

Description:

The applicant is submitting an application for Downtown Design Review on the request to reconfigure the building that will remove a portion of the building to incorporate additional outdoor dining area at grade elevation located at 811 Wrigley Drive. Tax Key No. ZA483300003.

The applicant was granted Commercial Outdoor Entertainment on 6-25-2012 that allowed for the dining to the west of the building on the property in conjunction with the sidewalk café permit.

The City reviews all exterior alteration in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

Staff Recommendations:

Staff recommends *approval* of the Alteration and installation request as submitted.



City of Lake Geneva
 Building and Zoning
 626 Geneva Street
 Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.: 811 W. WELLES DR

Name & Address of Current Building Owner:

VERONICA ANAGNOS
1001 WISCONSIN STREET
LAKE GENEVA, WI 53147

Telephone Number of Current Building Owner: 262-248-1580

Email Address: POPAGAS @ POPAGASIKI.COM

Name & Address of Applicant:

DIMITRIOS ANAGNOS
148 CASS STREET
LAKE GENEVA WI 53147

Telephone Number of Applicant: 262-745-3902

Email Address: DIMITRI @ POPAGASIKI.COM

Proposed Design Change:

REMOVE CLOSED IN DECK & CREATE OUTDOOR
FOOD & BEVERAGE PATIO

Zoning District: _____

Names & Address of Architect, Engineer, and/or Contractor of Project:

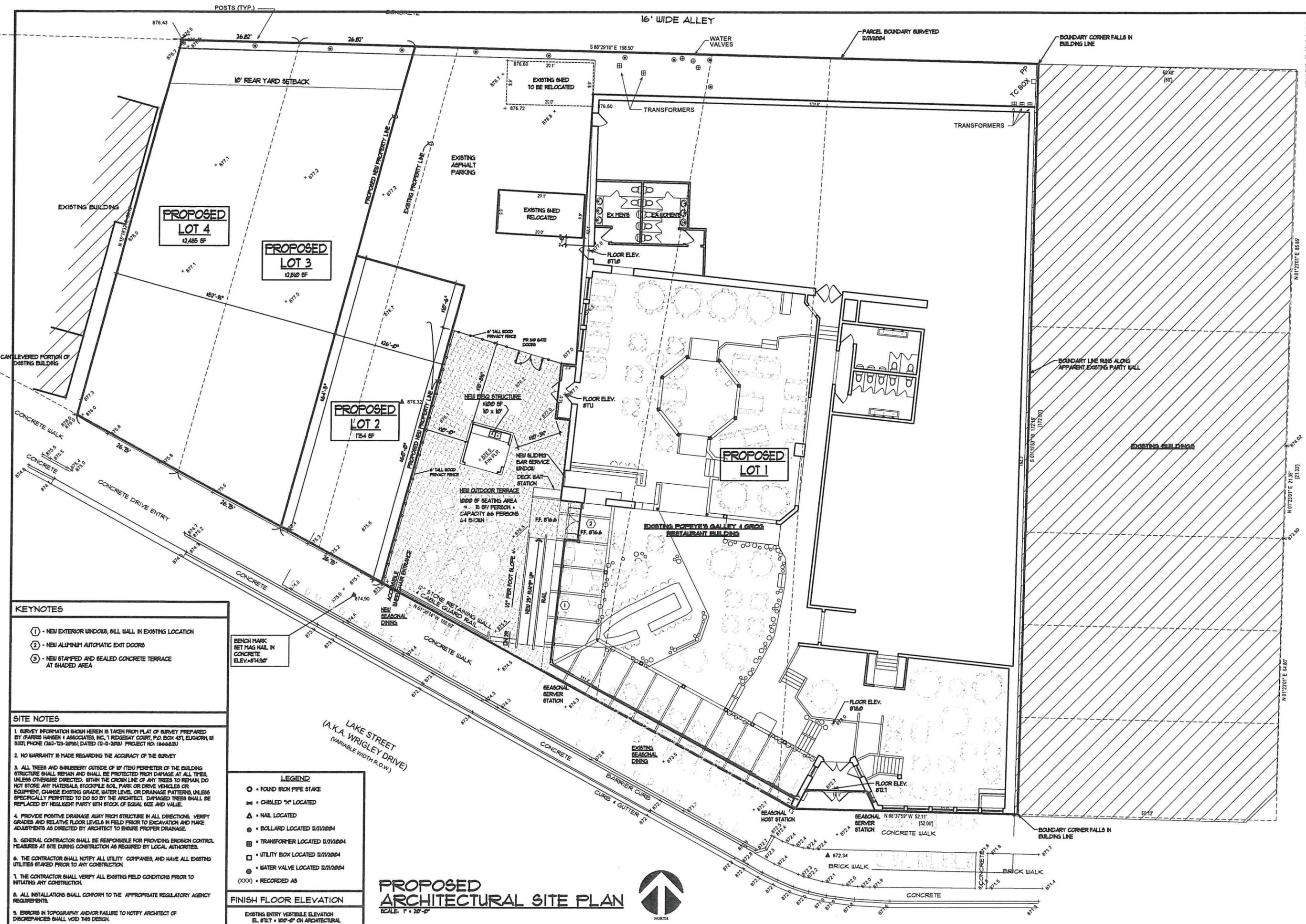
RON MCKORMICK - ARCHITECT
MIKE STRAUSSER - CONTRACTOR

Description of Project:

REMOVE ^{EXISTING} DECK & CREATE NEW OUTDOOR
FOOD & BEVERAGE PATIO - RELOCATE BBQ PIT

Date: 8/2/19

Signature of Applicant:



- KEYNOTES**
- ① - NEW EXTERIOR WINDOWS, 6" WALL IN EXISTING LOCATION
 - ② - NEW ALUMINUM AUTOMATIC EXIT DOORS
 - ③ - NEW STAFFED AND SEALED CONCRETE TERRACE AT SHADED AREA

- SITE NOTES**
1. SURVEY INFORMATION SHOWN HEREIN IS TAKEN FROM PLAT OF SURVEY PREPARED BY THOMAS HANSEN & ASSOCIATES, INC., 1 ROGERSWAY COURT, P.O. BOX 451, ELKHORN, WI 53121, PHONE (262)-223-2293, DATED 02-05-2019, PROJECT NO. 666633.
 2. NO WARRANTY IS MADE REGARDING THE ACCURACY OF THE SURVEY.
 3. ALL TREES AND SHRUBBERY OUTSIDE OF 10' (TEN) PERIMETER OF THE BUILDING STRUCTURE SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES UNLESS OTHERWISE DIRECTED. WITHIN THE CROWN LINE OF ANY TREES TO REMAIN DO NOT STORE ANY MATERIALS, STOCKPILE SOIL, PARK OR DRIVE VEHICLES OR EQUIPMENT, CHANGE EXISTING GRADE, WATER LEVEL OR DRAINAGE PATTERNS UNLESS SPECIFICALLY PERMITTED TO DO SO BY THE ARCHITECT. DAMAGED TREES SHALL BE REPLACED BY NEGLIGENT PARTY WITH STOCK OF EQUAL SIZE AND VALUE.
 4. PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS. VERIFY GRADES AND RELATIVE FLOOR LEVELS IN FIELD PRIOR TO EXCAVATION AND MAKE ADJUSTMENTS AS DIRECTED BY ARCHITECT TO ENSURE PROPER DRAINAGE.
 5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EROSION CONTROL MEASURES AT SITE DURING CONSTRUCTION AS REQUIRED BY LOCAL AUTHORITIES.
 6. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, AND HAVE ALL EXISTING UTILITIES STAKED PRIOR TO ANY CONSTRUCTION.
 7. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO INITIATING ANY CONSTRUCTION.
 8. ALL INSTALLATIONS SHALL CONFORM TO THE APPROPRIATE REGULATORY AGENCY REQUIREMENTS.
 9. ERRORS IN TOPOGRAPHY AND/OR FAILURE TO NOTIFY ARCHITECT OF DISCREPANCIES SHALL VOID THIS DESIGN.

LEGEND

- FOUND IRON PIPE STAKE
- ⊕ CHISEL "X" LOCATED
- ▲ NAIL LOCATED
- BOLLARD LOCATED 02/12/2024
- ⊞ TRANSFORMER LOCATED 02/12/2024
- UTILITY BOX LOCATED 02/12/2024
- ⊙ WATER VALVE LOCATED 02/12/2024
- (XXX) - RECORDED AS

FINISH FLOOR ELEVATION

EXISTING ENTRY VERTICLE ELEVATION
EL. 871.7 - 10'± ON ARCHITECTURAL

PROPOSED ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

NORTH

PRELIMINARY SHEET
AS-2
OF

DATE
8-2-2019

PROJECT NO.
1846

ALTERATIONS TO
POPEYES GALLEY & GROG RESTAURANT
811 WRIGLEY DRIVE
LAKE GENEVA, WI 53147

COMMENTS: NONE

McCormack + Etten / Architects™, LLP
400 Broad Street
Lake Geneva, WI 53147
Ph (262) 248-8391
contact@mccormacketten.com www.mccormacketten.com

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STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: August 19, 2019

Agenda Item: 7

Applicant:

Daniel & Andrea Pether
N2957 Marshall Ln.
Lake Geneva, WI 53147

Request: ETZ Town of Geneva CSM

Extraterritorial Zoning Plat review for the Lot
line adjustment to Tax Key No. JA396100002

Description:

This request is to approve an Extraterritorial Zoning Plat review for the request of a lot line adjustment for Tax Key No. JA396100002 located in the Town of Geneva.

This request is to approve the proposed Certified Survey Map dated May 20, 2019 revised July 1, 2019 prepared Mark Madsen of Nielsen, Madsen, & Barber for the property located at N2957 Marshall Ln.

The parcel included in this request does not currently have any buildings on the property.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Extraterritorial Zoning request (ETZ)

As part of the consideration of the requested ETZ, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed ETZ review.

Staff Recommendation on the proposed

1. Staff recommends that the Plan Commission recommend *approval* of the Extraterritorial Zoning request (ETZ): as submitted, subject to approval Walworth County Land Use Zoning.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW



CERTIFIED SURVEY MAP or



SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

DANIEL & ANDREA PETHER
N2957 MARSHALL LN
LAKE GENEVA, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: (262)215-2693

EMAIL ADDRESS: danpether@gmail.com

PROJECT ADDRESS _____ TAX KEY NUMBER: JA396100001

NAME AND ADDRESS OF APPLICANT:

SAME

TELEPHONE NUMBER OF APPLICANT: ()

EMAIL ADDRESS: _____

NAME AND ADDRESS OF SURVEYOR:

NIELSEN MADSEN + BARBER
1458 HORIZON BLVD. SUITE 200
RACINE, WI 53406

TELEPHONE NUMBER OF SURVEYOR: (262)634-5588

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

WE HAD A NEW CSM CREATED BECAUSE
WE ADJUSTED THE COMMON LOT LINE BETWEEN
2 PCS OF PROPERTY THAT WE OWN. ALSO
REMOVED A RESTRICTION THAT PROHIBITED US
ACCESSING LOT 1 FROM MARSHALL LN.

SUBMITTAL CHECKLIST

- _____ LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.

- _____ SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.

- _____ CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.

- _____ PROVIDE 5 FULL SETS AND 20 - 11" X 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.

- _____ PROVIDE AN ELECTRONIC COPY OF THE FULL APPLICATION PACKET TO THE LAKE GENEVA BUILDING AND ZONING DEPARTMENT AT BZADMIN@CITYOFLAKEGENEVA.COM OR BZCLERK@CITYOFLAKEGENEVA.COM

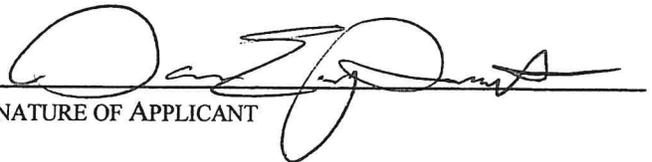
I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

DATE

7/18/19

SIGNATURE OF APPLICANT

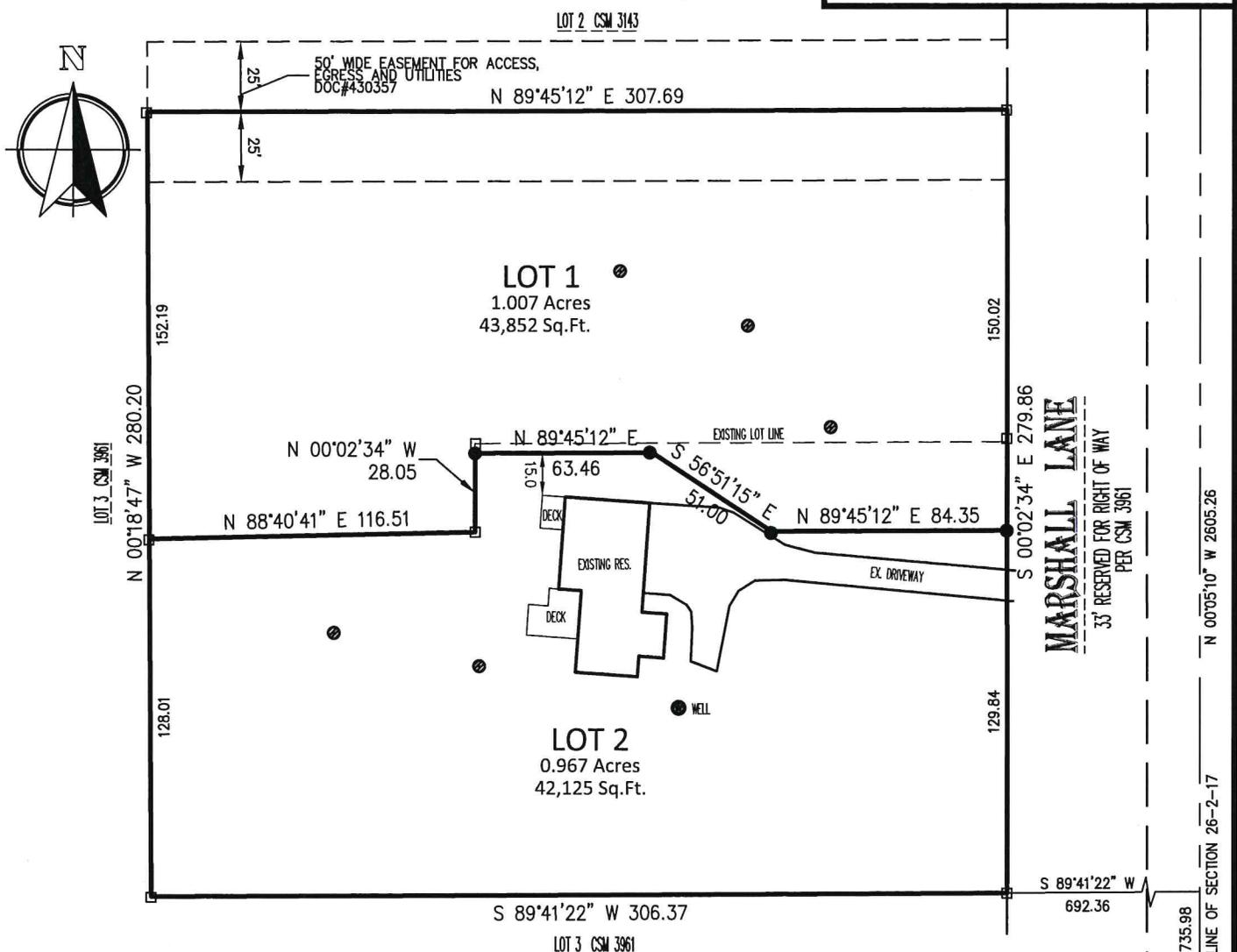


CERTIFIED SURVEY MAP NO. _____

A RE-DIVISION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP No. 3961 REC. IN VOL 24, P. 195-197 AS DOC. No. 680620 BEING PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 17 EAST, IN THE TOWN OF GENEVA, WALWORTH COUNTY, WISCONSIN.

This lot line adjustment is for the purpose of a sale or exchange of land between adjoining land owners that does not create additional lots and the original parcels are not reduced below the minimum size required by the Walworth County Code of Ordinances (Zoning/Shoreland Zoning).

RECORDING DATA



NOTE

Lot 1 is restricted from using the Northern easement on this Certified Survey Map recorded in Volume 687 of records on Page 6569 as Document No. 430358 for direct vehicular ingress / egress to Marshall Lane.

SW CORNER SECTION 26-2-17
N 221,531.48
E 2,413,969.94

S.L. OF SECTION 26-2-17 S 89°48'38" E 2611.73

S 1/4 CORNER SECTION 26-2-17
N 221,522.84
E 2,416,581.62

NOTES:

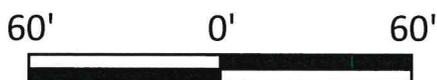
ZONING OF PARCELS IS R-1

OWNER/LAND SPLITTER: DANIEL & ANDREA PETHER
ADDRESS: N2957 MARSHALL LANE
LAKE GENEVA, WI. 53147

BEARINGS BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927. THE EAST LINE OF SW 1/4 SECTION 26-2-17 IS ASSUMED TO BEAR S 00°05'10" E.

LEGEND:

- 5/8" O.D. REBAR FOUND
- 5/8" O.D.x18" REBAR - 1.68LBS/LIN FT. SET
- ⊕ 6" CONC. MON. W / BRASS CAP FOUND
- ⊗ SEPTIC AREA



SCALE 1"=60'



Nielsen Madsen + Barber

CIVIL ENGINEERS AND LAND SURVEYORS

1458 Horizon Blvd. Suite 200, Racine, WI. 53406

Tele: (262)634-5588 Website: www.nmbcsc.net

2019.0030.01.DWG
SHEET 1 OF 3 SHEETS

CERTIFIED SURVEY MAP NO. _____

A RE-DIVISION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP No. 3961 REC. IN VOL 24, P. 195-197 AS DOC. No. 680620 BEING PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 17 EAST, IN THE TOWN OF GENEVA, WALWORTH COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Mark R. Madsen, hereby certify: That I have prepared this Certified Survey Map at the direction of the owner; THAT such Map is a correct representation of the exterior boundaries of the land surveyed and are described as: Lots 1 and 2 of Certified Survey Map No. 3961, recorded in the office of the Register of Deeds for Walworth County, Wisconsin in Volume 24, Pages 195-197 as Document No. 680620 on June 26, 2006 being part of the Southeast 1/4 of the Southwest 1/4 of Section 26, Town 2 North, Range 17 East, Town of Geneva, County of Walworth and State of Wisconsin. Containing 1.974 acres.

THAT I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinances for the Town of Geneva, City of Lake Geneva and Walworth County. THAT such map is a true representation of all exterior boundaries of the land surveyed and the land division thereof made;

July 1, 2019

Mark R. Madsen, P.E., P.L.S. (S-2271)
Nielsen Madsen & Barber, S.C.
1458 Horizon Blvd. Suite 200
Racine, WI 53406

OWNERS' CERTIFICATE

As owners we hereby certify that we have caused the lands described on this map to be surveyed, divided and mapped as represented on this Certified Survey Map. I also do further certify that this Certified Survey Map is required to be submitted to the the following for approval or objection: Town of Geneva, City of Lake Geneva and Walworth County.

IN WITNESS WHEREOF the said owners have caused these presents to be signed at _____ Wisconsin on this ____ day of _____ 2019.

Daniel Pether

Andrea Pether

STATE OF WISCONSIN)
COUNTY OF _____)

Personally came before me this _____ day of _____, 2019, _____, to me known to be the person who executed the foregoing instrument, and acknowledged that they executed the foregoing.

Notary Public, _____
My commission expires: _____



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd. Suite 200, Racine, WI. 53406
Tele: (262)634-5588 Website: www.nmbssc.net

CERTIFIED SURVEY MAP NO. _____

A RE-DIVISION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP No. 3961 REC. IN VOL 24, P. 195-197 AS DOC. No. 680620 BEING PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 17 EAST, IN THE TOWN OF GENEVA, WALWORTH COUNTY, WISCONSIN.

TOWNSHIP APPROVAL

Resolved: That the Certified Survey Map shown hereon, in the Town Geneva, Walworth County, Wisconsin. Owners, Daniel and Andrea Pether, is hereby approved by the Town of Geneva on this _____ day of _____, 2019.

Joe Kopecky, Town Chairman

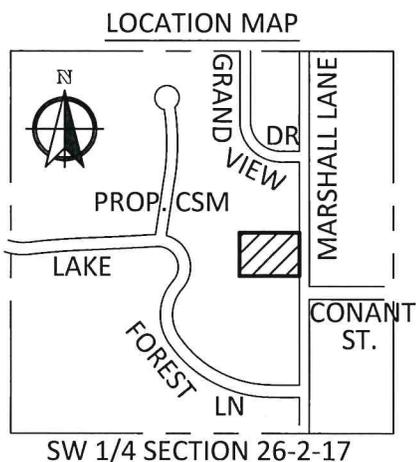
Debra Kirch, Town Clerk

CITY OF LAKE GENEVA (EXTERRITORIAL PLAT JURSDICTION)

Resolved: That the Certified Survey Map shown hereon, in the Exterritorial Plat Approval Jurisdiction of the City of Lake Geneva, Walworth County, Wisconsin. Owners, Daniel and Andrea Pether, is hereby approved by the City of Lake Geneva's Board on this _____ day of _____, 2019.

Tom Hartz, Mayor

Lana Kropf, City Clerk



Nielsen Madsen + Barber

CIVIL ENGINEERS AND LAND SURVEYORS

1458 Horizon Blvd. Suite 200, Racine, WI. 53406

Tele: (262)634-5588 Website: www.nmbc.net

This Instrument was drafted by Mark R. Madsen May 20, 2019 Revised July 1, 2019

2019.0030.01.DWG
SHEET 3 OF 3 SHEETS

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: August 19, 2019

Agenda Item: 8

Applicant:

House Around the Corner
3389 South Lake Shore Dr.
Delavan, WI 53115

Request: Conditional Use Permit (CUP)

Outdoor Commercial Entertainment
832 Geneva Street, Tax Key No. ZOP00252

Description:

The applicant is submitting a request for a Conditional Use Permit (CUP) that would allow for the candidate to conduct Outdoor Commercial Entertainment in the Downtown Design Overlay District, the existing building that is located at 832 Geneva Street which would allow for outdoor dining.

The property is located in the Central Business (CB) zoning district, onsite parking is not required in the Central Business district.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

832 Geneva Street ZOP00252

Name and Address of Current Owner:

Thomas + Kathy GEORGE

3389 South Shore Drive, Delavan, WI 53115

Telephone No. with area code & Email of Current Owner: Thomas 805-453-8691

Kathy 805-886-5263 kathy@estreetz.com thomas@estreet2.com

Name and Address of Applicant:

Same as above

Telephone No. with area code & Email of Applicant: Same as above

Proposed Conditional Use: OUTDOOR Commercial Entertainment

Zoning District in which land is located: Business Central

Names and Addresses of architect, professional engineer and contractor of project:

Short statement describing activities to take place on site:

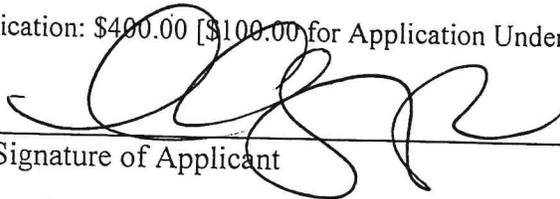
OUTDOOR seating for customers to enjoy
the lake and historical homes while
drinking coffee and lite bites.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

7/3/19

Date

Signature of Applicant



**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ Pre-submittal staff meeting scheduled:
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Follow-up pre-submittal staff meetings scheduled for:
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Application form filed with Zoning Administrator: Date: _____ by: _____
- ___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____
- ___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
 ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____
 ↓

- ___ (a) A map of the proposed conditional use:
 - ___ Showing all lands for which the conditional use is proposed;
 - ___ Showing all other lands within 300 feet of the boundaries of the subject property;
 - ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
 - ___ Map and all its parts are clearly reproducible with a photocopier;
 - ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
 - ___ All lot dimensions of the subject property provided;
 - ___ Graphic scale and north arrow provided.
- ___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Proposed usage for a coffee shop in the corner of the business district continues the support of small locally owned business focus for the local neighborhood.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The conditional use coffee shop is within the zoning ordinance of the Commercial district.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

no, the outside use is for outside seating within the property border. There is no obstruction to public walkways, public parking next to building for patrons.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Does not affect

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

yes

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

yes

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 832 Geneva Street
Applicant name Thomas + Kathy George
Applicant email Thomas@estreet2.com Phone Number 805-453-8691
Kathy@estreet2.com 805-886-5263
Architect/Contractor/Designer Name Maison Hubertz, LLC / Marit Gamber
Architect/Contractor/Designer Email Focus engineering, LLC Phone Number 262-215-9295
mark pulkas
Type of Construction: New Addition Remodel
Type of Development: Single-family Multi-family Commercial Industrial
Type of Business Retail home goods / coffee

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts Low
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions Additional 9 ft Front & Side & Rear
- Will there be signage? YES / NO type (mounted, freestanding) existing / per drawing
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? Very low voices only
- Detailed property Site Plan? YES / NO Date of Plan: 6/30/19
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement existing
- Estimated daily water usage in gallons per day As existing
- Estimated maximum water flow in gallons per minute as existing
- Number of bathrooms existing
- Brief description of process (if Industrial) N/A

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____

N/A

SUBJECT PROPERTY
 832 GENEVA STREET, LAKE GENEVA, WISCONSIN, 53147
 CENTRAL BUSINESS (CB) ZONING DISTRICT
 TAXKEY NO. ZOP00252

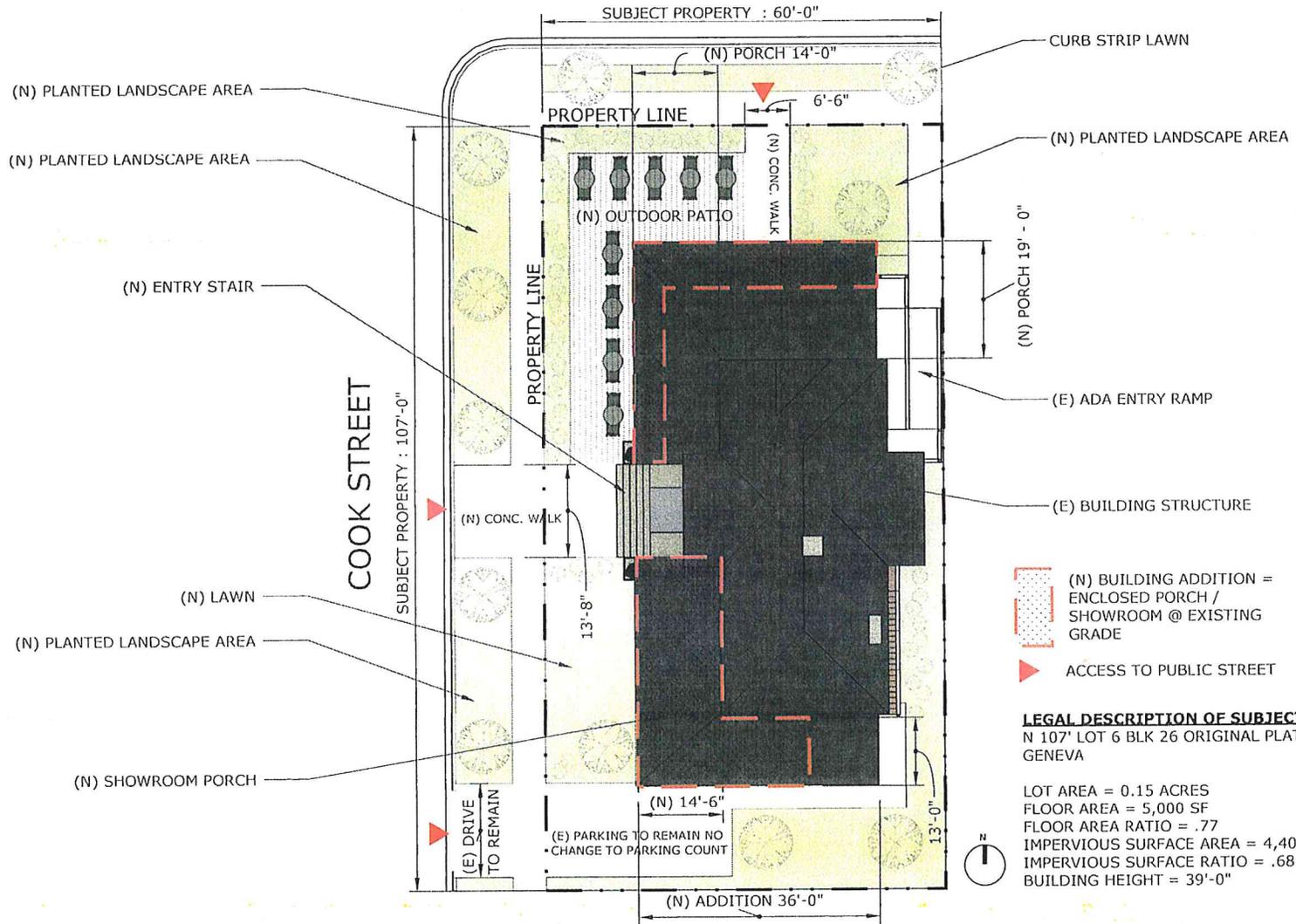


1 PROPOSED CONDITIONAL USE PLAN
 Scale: 1" = 150'-0"

PARCEL OWNERSHIP

- | | |
|--|--|
| <p>A. C/O CITY OF LAKE GENEVA
 B. DAWNA L FAIRBANKS TRUST
 C. BRIAN G YUNKER
 D. BRIAN G YUNKER
 E. TNT LLC
 F. CHURCH OF THE HOLY COMMUNION
 G. EPISCOPAL CHURCH
 H. LAKE GENEVA UNITED METHODIST CHURCH INC (IN TRUST)
 I. VENTURE INVESTMENT PARTNERS
 J. CITY OF LAKE GENEVA</p> | <p>K. STEVENS HAMILTON LLC
 L. KOCOUREK PROPERTY HOLDINGS LLC
 M. TWO THUMBS UP REAL ESTATE HOLDINGS LLC
 N. WIN PROPERTIES LLC
 O. WIN PROPERTIES LLC
 P. WILKEN ENTERPRISES LLC
 Q. KENNETH M WENZ
 R. JEFFREY M LEONARD TRUST / BEVERLY LEONARD TRUST
 S. LAKE GENEVA RETAIL DST
 T. RICHARD HERMANN PROPERTIES LLC</p> |
|--|--|

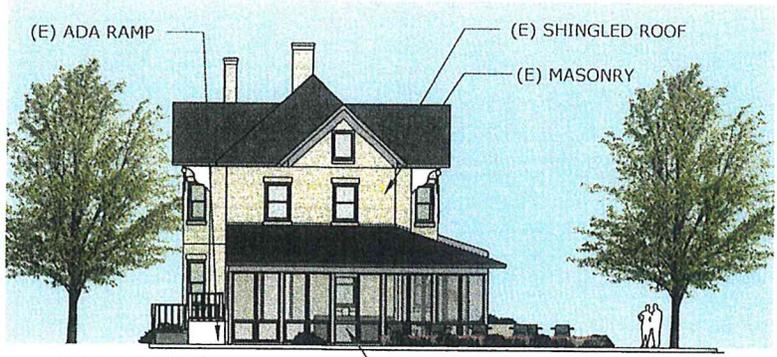
GENEVA STREET



1 PROPOSED SITE PLAN
Scale: 1/16" = 1'-0"

LEGAL DESCRIPTION OF SUBJECT PROPERTY
 N 107' LOT 6 BLK 26 ORIGINAL PLAT CITY OF LAKE GENEVA
 LOT AREA = 0.15 ACRES
 FLOOR AREA = 5,000 SF
 FLOOR AREA RATIO = .77
 IMPERVIOUS SURFACE AREA = 4,400 SF
 IMPERVIOUS SURFACE RATIO = .68
 BUILDING HEIGHT = 39'-0"

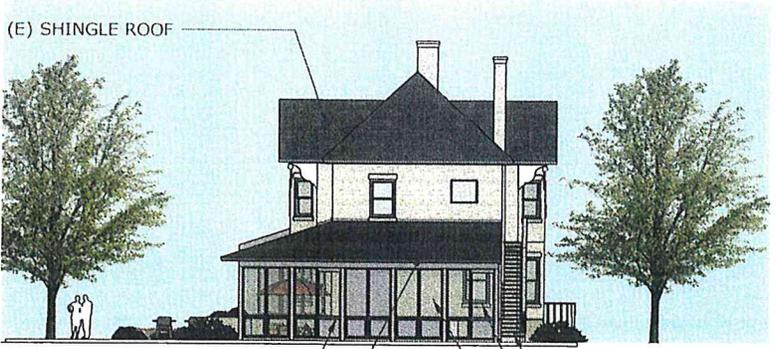
(N) = NEW (E) = EXISTING



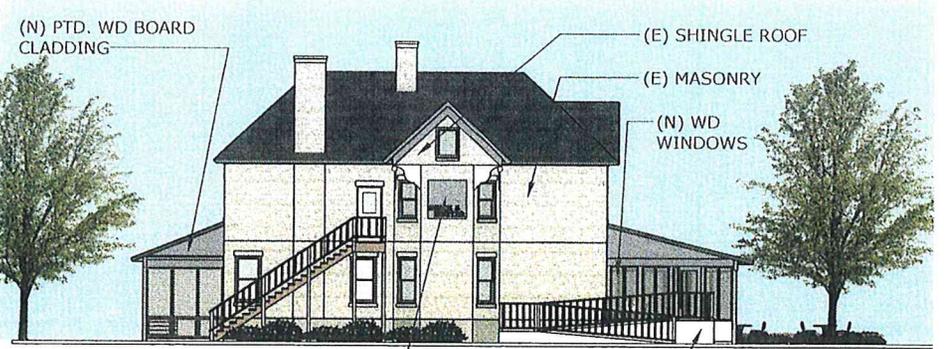
1 ELEVATION - NORTH
Scale: 1/16" = 1'-0"



2 ELEVATION - WEST
Scale: 1/16" = 1'-0"



3 ELEVATION - SOUTH
Scale: 1/16" = 1'-0"



4 ELEVATION - EAST
Scale: 1/16" = 1'-0"

(N) GRADE LEVEL SHOWROOM
(N) SHINGLE ROOF TO MATCH EXISTING
(E) EXTERIOR EGRESS STAIR
(N) EMPLOYEE ENTRY ENCLOSURE
(N) WD WINDOWS

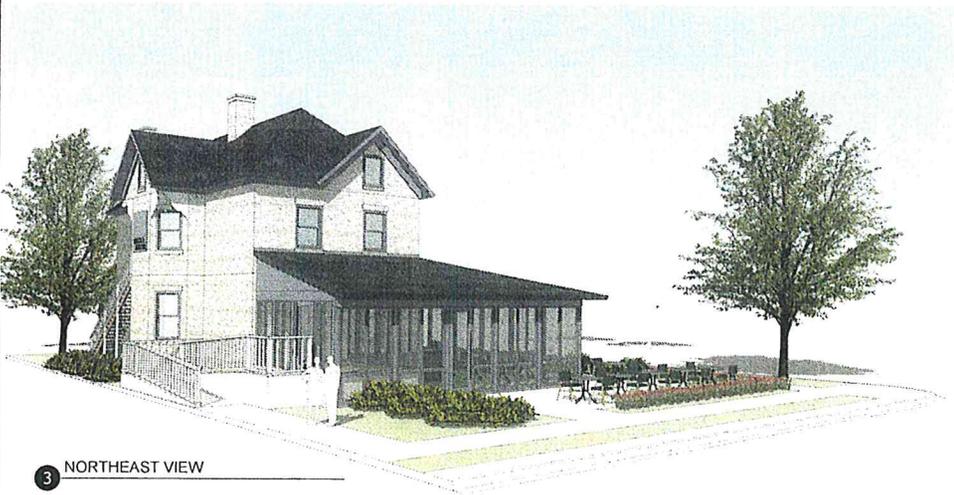
(N) = NEW (E) = EXISTING



1 NORTHWEST VIEW



2 SOUTHWEST VIEW



3 NORTHEAST VIEW

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: August 19, 2019

Agenda Item: 9

Applicant:
Jonathan Grosso
4209 Stonefield Rd.
Mequon, WI 53092

Request: 950 Mariane Terrace
Conditional Use Permit (CUP)
Pier Installation Tax Key No. ZSY00015

Description:

The applicant is submitting a request for a Conditional Use Permit (CUP) that would allow for the candidate to install a 95 foot pier and 1 boat slip in the Estate Residential – 1 (ER-1) zoning district, for the residence located at 950 Mariane Terrace.

The application has been submitted to the DNR for approval, albeit we do not know if it has been approved as of this staff report.

The riparian setbacks meet the “12.5 feet required setback”, the applicants identify 13 feet as proposed.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
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6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

pierdocktors@yahoo.com

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

950 Mariane Terrace Lake Geneva WI
NE 1/4 of NW 1/4 of section 1 Township 1 N Range 17 East

Name and Address of Current Owner:

Jonathan Grosso
4209 W. Stonefield Rd. Mequon WI 53092

Telephone No. with area code & Email of Current Owner:

1grosso@wi.rr.com

Name and Address of Applicant:

Pier Docktors Inc - Larry Quist
P.O. Box 273 Fontana WI 53125

Telephone No. with area code & Email of Applicant:

262-215-5354
pierdocktors@yahoo.com

Proposed Conditional Use: private pier

Zoning District in which land is located: Estate Residential 1

Names and Addresses of architect, professional engineer and contractor of project:

Larry Quist - Pier Docktors Inc P.O. Box
273 Fontana WI 53125

Short statement describing activities to take place on site:

Replacing an existing pier which is in
disrepair with a new pier. The new pier
will be 95' with 1 boat slip and a mooring
platform

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

7-2-2019
Date

Larry Quist / [Signature]
Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

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I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____

↓ Draft Final Packet (1 Copy to Zoning Administrator) Date: _____ by: _____

↓

___ (a) A map of the proposed conditional use:

- X-1 Showing all lands for which the conditional use is proposed;
- X-2 Showing all other lands within 300 feet of the boundaries of the subject property;
- X-3 Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- X-5-6 Map and all its parts are clearly reproducible with a photocopier;
- X-5-6 Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- X-7 All lot dimensions of the subject property provided;
- X-7A-X-8 Graphic scale and north arrow provided.

X5-6 (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:



Walworth County, WI - OneView

Search for a Parcel or Address

Help

Resources

Employee Login



Geneva Lake

Grosso

ZSY 00015

ZSY 00014

ZSY 00013

map_gpserver/j25722010d4824c50864bbfc994f5119b/scratch/69d03109d1104421a89643caea9f3c39.pdf

ZA47930001

CSM 4793

ZA47930001

ZYUP 00106J

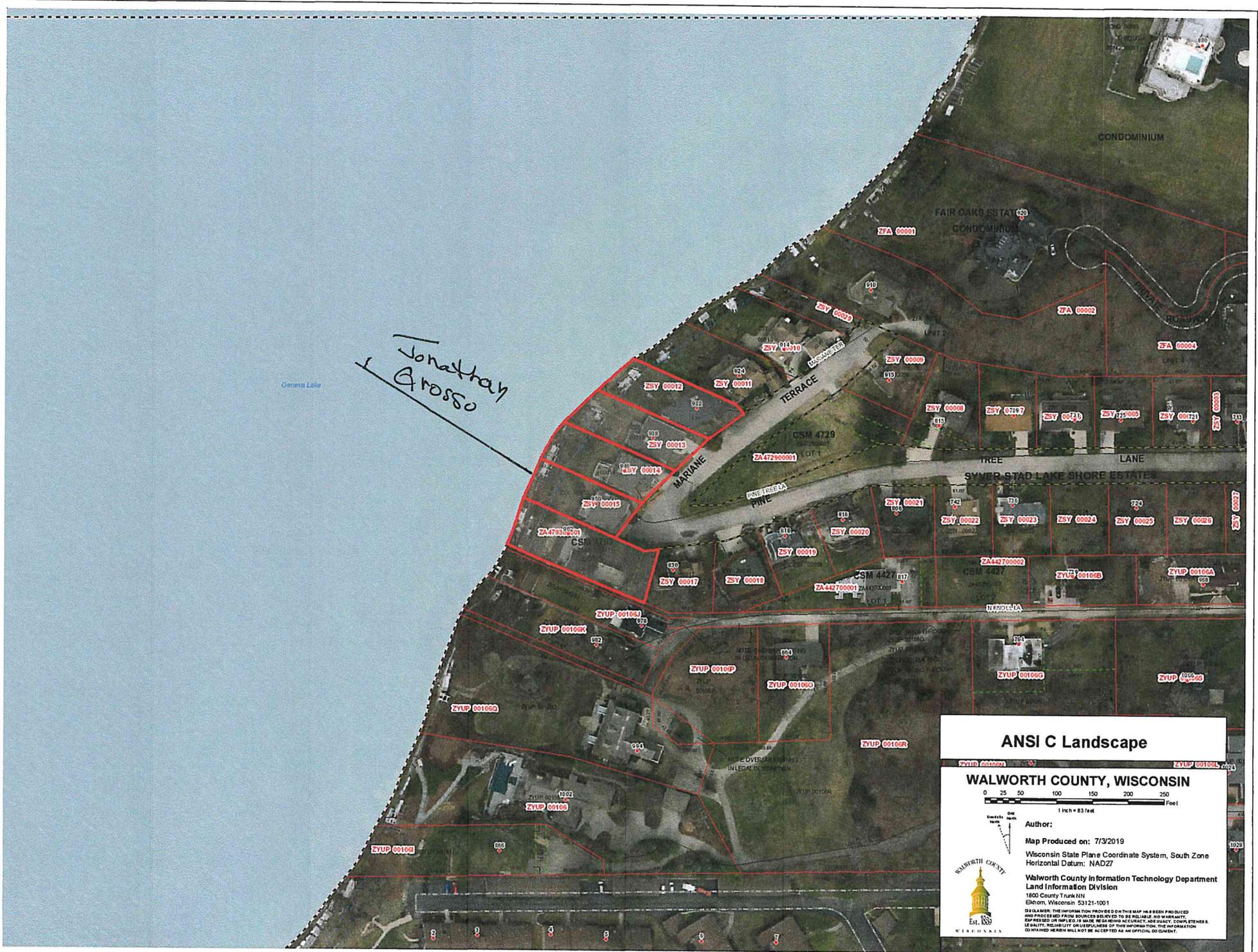
ZYUP 00106K

0 20 40ft

^

Grosso

X1



Jonathan Rosso

ANSI C Landscape

WALWORTH COUNTY, WISCONSIN

0 25 50 100 150 200 250
1 inch = 83 feet
Feet

Author:
Map Produced on: 7/3/2019
Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27

Walworth County Information Technology Department
Land Information Division
1600 County Trunkline
Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESSED OR IMPLIED, IS MADE RE: DATA ACCURACY, DATE QUANTITY, COMPLETENESS, QUALITY, RELIABILITY OR USEFULNESS OF THE INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.

Walworth County
Ascent Land Records Suite

Access Type: Public Choose Category: Real estate property & tax What do you want to do? Tax Bills Help ?

[Browser Setup Help](#)

[Return to search results](#)

[Property Summary](#)

Owner (s): GROSSO, JONATHAN W GROSSO, LYNN M		Location:	
Mailing Address: JONATHAN W GROSSO LYNN M GROSSO 4209 W STONEFIELD RD MEQUON, WI 53092 Request Mailing Address Change		School District: 2884 - Lake Geneva-Genoa City UHS 2885 - Lake Geneva J1 School District	
Tax Parcel ID Number: ZSY 00015	Tax District: 246-City of Lake Geneva	Status: Active	
Alternate Tax Parcel Number:		Acres: 0.1930	
Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.): LOT 15 SYVERSTAD LAKE SHORE ESTATES CITY OF LAKE GENEVA			
Site Address (es): (Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.) 950 MARIANE TER LAKE GENEVA, WI 53147			

Select Detail -->

Taxes

[Make Default Detail](#)

[Printer Friendly Page](#)

[View Interactive Map](#)

0 Lottery credits claimed

Print tax bills: [2018](#) [2017](#) [2016](#) [2015](#) [2014](#) [2013](#)

Tax History

* Click on a Tax Year for detailed payment information.

Tax Year*	Tax Bill	Taxes Paid	Taxes Due	Interest	Penalty	Total Payoff
2018	\$43,038.04	\$43,038.04	\$0.00	\$0.00	\$0.00	\$0.00
2017	\$41,517.53	\$41,517.53	\$0.00	\$0.00	\$0.00	\$0.00
2016	\$45,438.71	\$45,438.71	\$0.00	\$0.00	\$0.00	\$0.00
2015	\$43,753.45	\$43,753.45	\$0.00	\$0.00	\$0.00	\$0.00
2014	\$43,248.33	\$43,248.33	\$0.00	\$0.00	\$0.00	\$0.00
2013	\$44,788.93	\$44,788.93	\$0.00	\$0.00	\$0.00	\$0.00
2012	\$46,063.18	\$46,063.18	\$0.00	\$0.00	\$0.00	\$0.00
2011	\$45,184.60	\$45,184.60	\$0.00	\$0.00	\$0.00	\$0.00
2010	\$45,036.72	\$45,036.72	\$0.00	\$0.00	\$0.00	\$0.00
2009	\$44,058.80	\$44,058.80	\$0.00	\$0.00	\$0.00	\$0.00
2008	\$24,077.42	\$24,077.42	\$0.00	\$0.00	\$0.00	\$0.00
2007	\$18,223.66	\$18,223.66	\$0.00	\$0.00	\$0.00	\$0.00
2006	\$16,786.40	\$16,786.40	\$0.00	\$0.00	\$0.00	\$0.00
2005	\$16,398.58	\$16,398.58	\$0.00	\$0.00	\$0.00	\$0.00
2004	\$10,735.10	\$10,735.10	\$0.00	\$0.00	\$0.00	\$0.00
Total						\$0.00

If taxes are 3 years or more delinquent, please contact the Treasurer's office for additional fees due. (262) 741-4251.

NOTE: Current year tax bills may not be processed by the county.

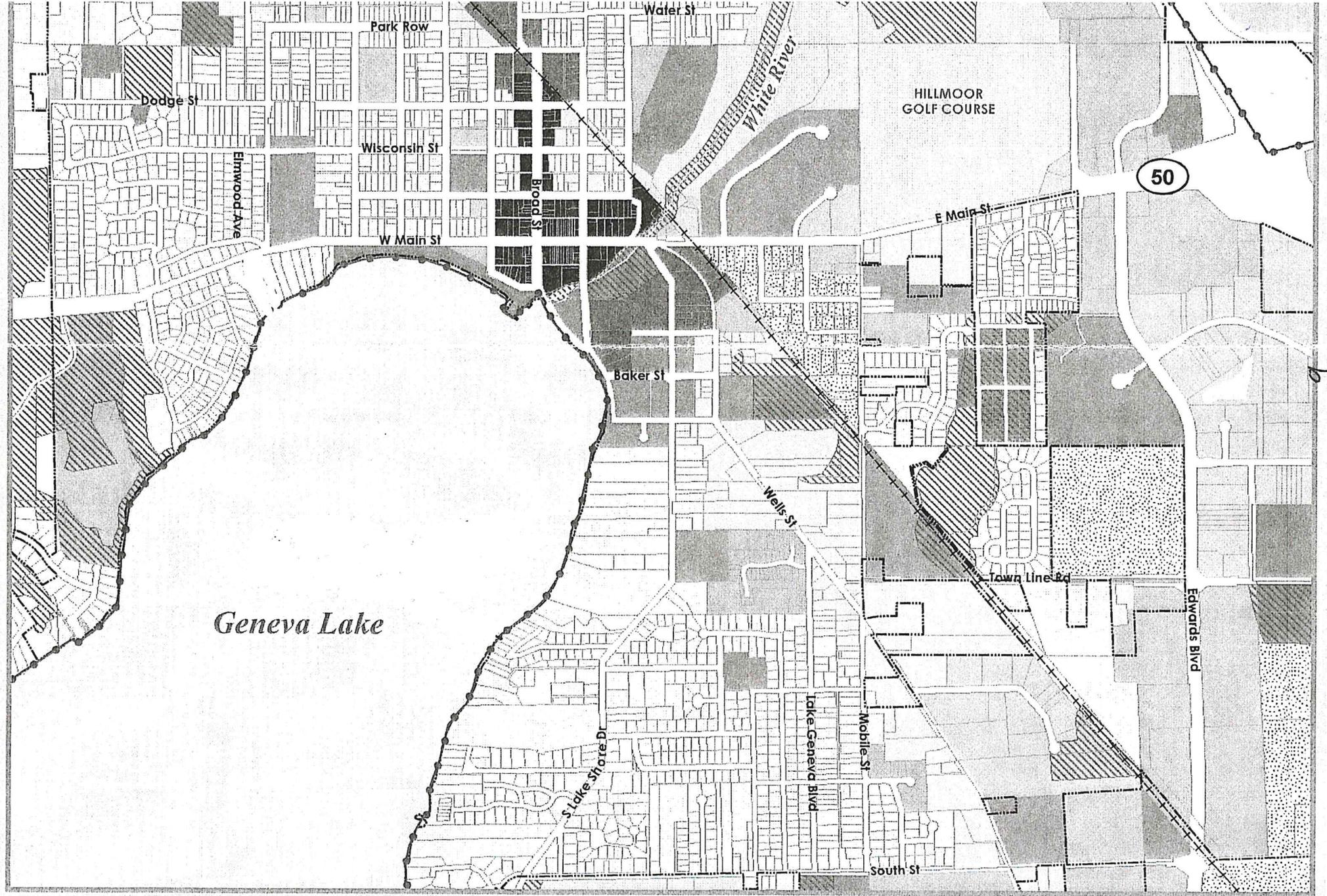
[Pay Taxes](#)

Interest and penalty on delinquent taxes are calculated to January 31, 2019.

Payoff Month: January Payoff Year: 2019

[Submit](#)

X 3



Geneva Lake

HILLMOOR
GOLF COURSE

50

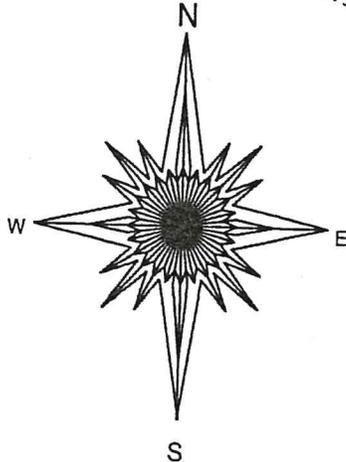
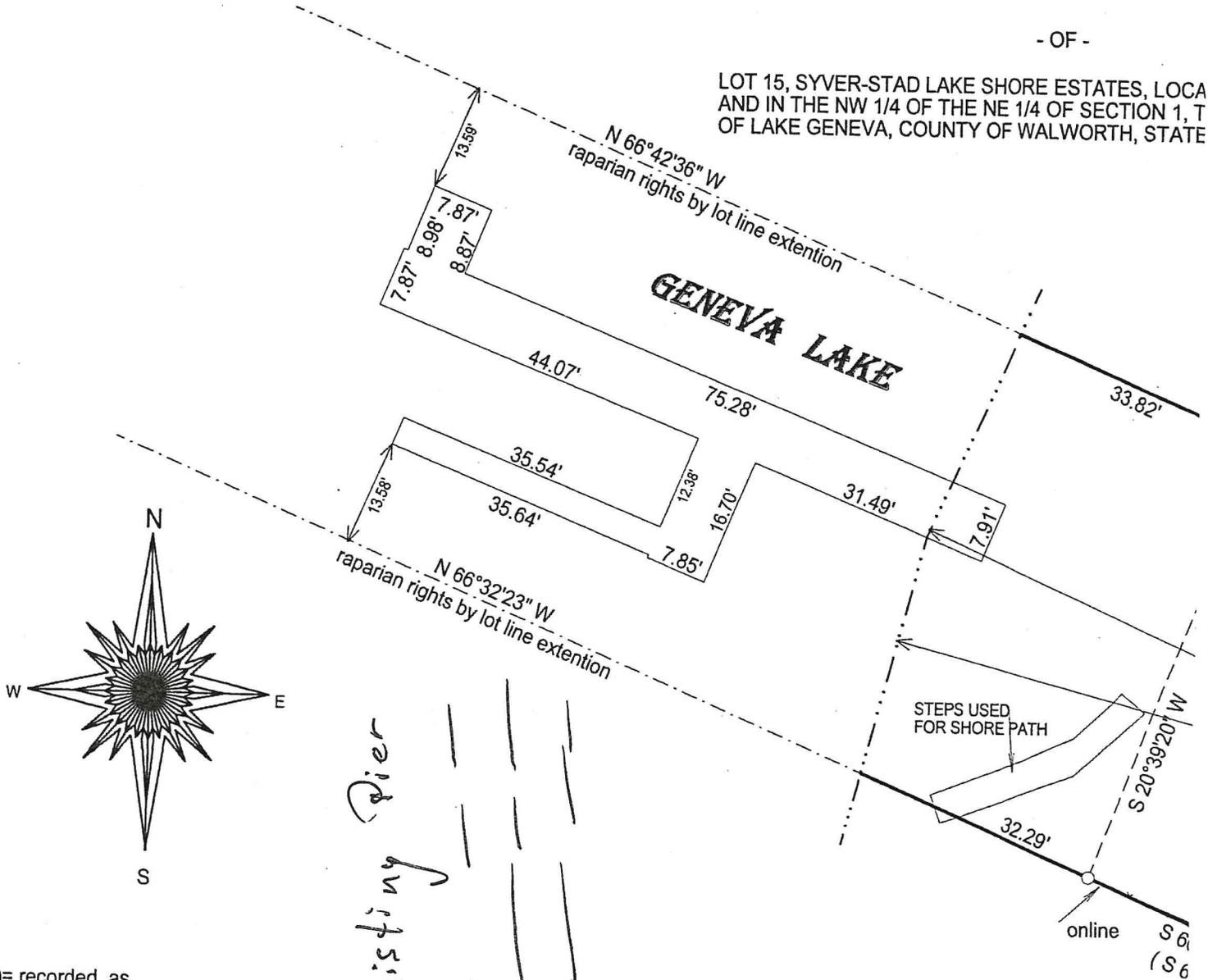
5/6

PREPARED FOR
BOB WEBSTER
KEEFE REAL ESTATE
LAKE GENEVA WI.

PLAT OF SU

- OF -

LOT 15, SYVER-STAD LAKE SHORE ESTATES, LOCALITY
AND IN THE NW 1/4 OF THE NE 1/4 OF SECTION 1, T10N
OF LAKE GENEVA, COUNTY OF WALWORTH, STATE OF WISCONSIN



Existing Pier

Existing Pier

- () = recorded as
- = found iron bar
- = found iron pipe
- = set iron pipe
- = set iron bar

SCALE 1" = 20'

JOB # 16-346

TAX ID # ZSY 00015



BASIS OF BEARING OF THIS PLAT: THE US STATE I
SYSTEM SOUTH ZONE. NAD 83. WISCORS.

"I hereby certify that I have surveyed the above described
map is a true representation of its exterior boundary and of
all visible structures, apparent easements and encroachments.

This survey is made for the present owners of the property
purchase, mortgage, or guarantee the title thereto, within
the date hereof.

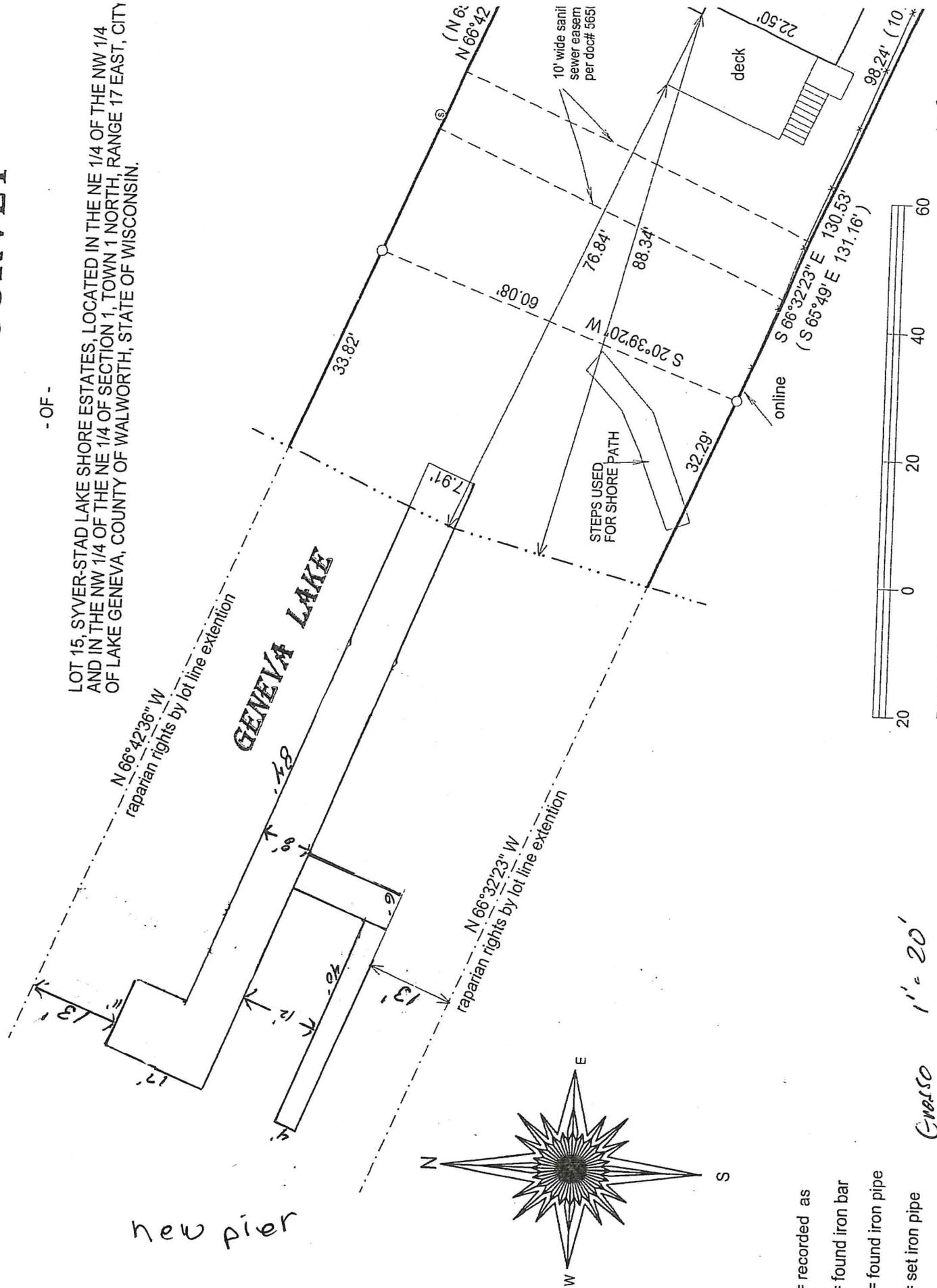
DATED THIS 2ND DAY OF NOVEMBER, 20

PREPARED FOR
BOB WEBSTER
KEEFE REAL ESTATE
LAKE GENEVA WI.

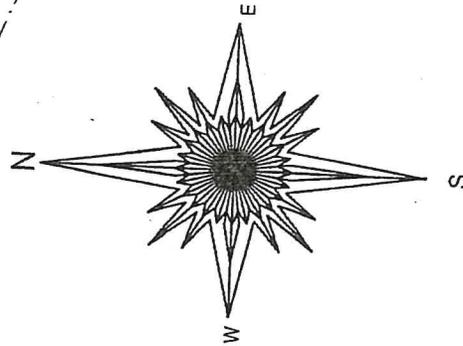
PLAT OF SURVEY

- OF -

LOT 15, SYVER-STAD LAKE SHORE ESTATES, LOCATED IN THE NE 1/4 OF THE NW 1/4 AND IN THE NW 1/4 OF THE NE 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, COUNTY OF WALWORTH, STATE OF WISCONSIN.

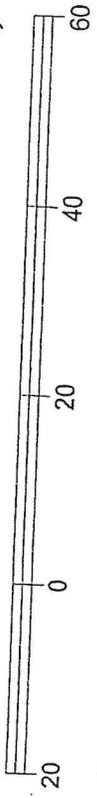


new pier



- () = recorded as
- = found iron bar
- = found iron pipe
- = set iron pipe
- = set iron bar

Crawso 1" = 20'



BASIS OF BEARING OF THIS PLAT: THE US STATE PLANE COORDINATE SYSTEM

New pier (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

new pier (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

See paper (e) Written justification for the proposed conditional use:

Attached next page _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The dock is consistant with lakefront use in the city of Lake Geneva

2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The dock is consistant with lakefront use in the City of Lake Geneva

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No - There will be no adverse effect

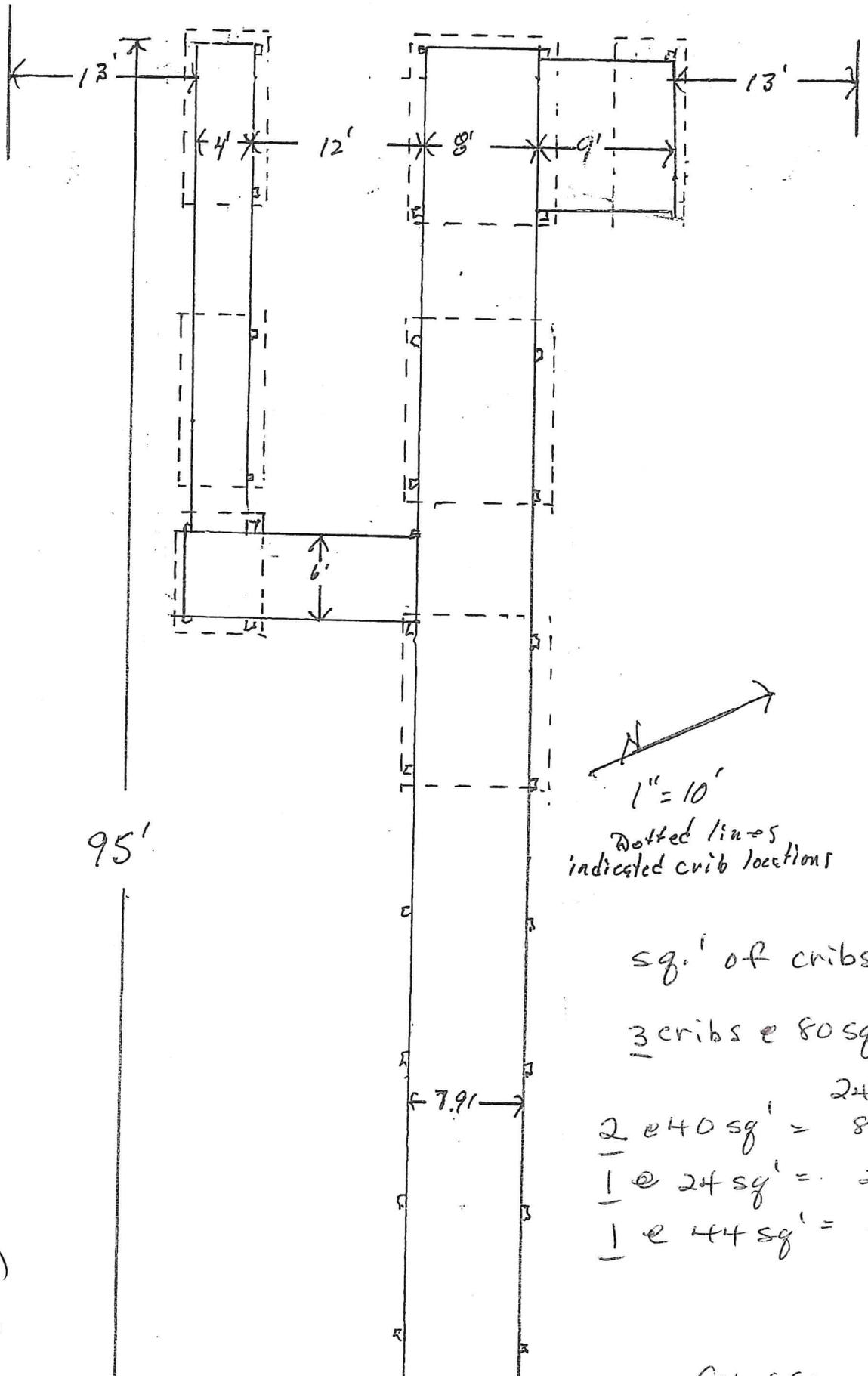
4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

It is consistant with the lakefront use in the City of Lake Geneva

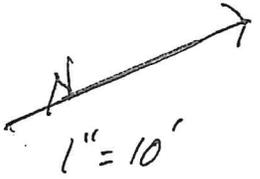
(C) new pier

(A) new pier

(e) We believe the proposed pier meets the requirements of the DNR and the City of Lake Geneva pier placement. The DNR permits are attached with this application.



95'



1" = 10'

Dotted lines indicated crib locations

sq.' of cribs (7)

3 cribs @ 80 sq' =

- 2 @ 40 sq' = 80 sq'
- 1 @ 24 sq' = 24 sq'
- 1 @ 44 sq' = 44 sq'

Letter (C)
Letter (D)

Arbaca

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

It will not impose or undue burden on any services

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

I believe the benefits outweigh adverse impacts.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: August 19, 2019

Agenda Item: 10

Applicant:
Robert Nabasny
311 S. Wells St
Lake Geneva, WI 53147

Request: 1544 W. Main St
Conditional Use Permit (CUP)
Home Addition Tax Key No. ZLM00070

Description:

The applicant is submitting a request for a Conditional Use Permit (CUP) that would allow for the applicant to move forward on the proposed addition and expansion of the existing residence that is located in the Estate Residential – 1 (ER-1) zoning district, for the residence located at 1544 W. Main St.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

1544 West Main Street Lake Geneva, WI. 53147 Parcel # ZLM 00070 Lots 3 and 4, Block 31 of Lake Geneva

Manor, Tract Number 17, a subdivision of part of the E 1/2 of Sec 35, T2N, R17E of the 4th

Principal Meridian, in the City of Lake Geneva, Walworth County, WI.

Name and Address of Current Owner:

Robert J Nabasny

311 South Wells Street, Apt 2, Lake Geneva, WI. 53147

Telephone No. with area code & Email of Current Owner: (602) 697-4957

rnabasny@hotmail.com

Name and Address of Applicant:

Robert J Nabasny

311 South Wells Street, Apt 2, Lake Geneva, WI. 53147

Telephone No. with area code & Email of Applicant: (602) 697-4957

rnabasny@hotmail.com

Proposed Conditional Use: To allow the construction of an addition to an existing residence.

The addition will entail a second floor above existing residence, a breazeway, and an attached garage with storage room below.

Zoning District in which land is located: SR-4

Names and Addresses of architect, professional engineer and contractor of project:

Daniel Lesus, 1033 Holly Circle, Lake Zurich, IL. 60047, Robert A Krause, 311 Fox Lane, Woodstock IL. 60098,

Short statement describing activities to take place on site:

Rehab existing residence, update and open up the floor plan, and create a master suite. Add a second floor with deck. Construct a new covered entryway to the residence farther of the drive and street, to allow landscape area. add an attached garage with storage room below.

Remove and replace two drive entrances to main street and repair sidewalk. Eliminate existing concrete block fence, add landscape area along main street sidewalk.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

07/03/2019

Date


Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

___ **Application fee of \$ ___ received by Zoning Administrator:** **Date:** _____ **by:** _____

___ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ *by:* _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ *by:* _____

X

___ **(a) A map of the proposed conditional use:**

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft.
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

X

___ **(b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

X _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

X _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

X _____ (e) Written justification for the proposed conditional use:
_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

In accordance with the SR-4 zoning, this allows the continuation of urban living. In accordance with city goals and objectives, the reconstruction of this single family residence will repair two main street entrances and the sidewalk in front of the property, update the exterior of a residence, open up main street and allow the installation of landscaping along the sidewalk.

2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The reconstruction of this single family residence allows a residential use of the property now and into the foreseeable future.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

The existing residence encroaches 0.17' into side yard, No undue adverse impacts will result, the existing residential use will be maintained.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The reconstruction of this residence will maintain a residential use in the urbanized area consistent with the goals stated in the City of Lake Geneva Zoning Ordinance for SR-4 Zoning.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The existing residential utility services will be adequate to serve the new residence as use will not change.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

The public benefit of reconstructing the existing entrances, sidewalk, existing residence and drive, outweigh negative impacts as the use will remain the same as exiting.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 1544 West Main Street Lake Geneva WI. 53147

Applicant name Robert J Nabasny

Applicant email rnabasny@hotmail.com Phone Number (602) 697-4957

Architect/Contractor/Designer Name Daniel Lesus Architect / Ryan Niemann Const, contractor (262) 206-7066

Architect/Contractor/Designer Email dlarchitectspc.com ryanniemann34@gmail.com Phone Number (847) 502-0972

Type of Construction: New _____ Addition _____ Remodel X _____

Type of Development: Single-family X Multi-family _____ Commercial _____ Industrial _____

Type of Business N/A

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? _____
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms _____
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____

PROPOSED IMPROVEMENTS FOR ROBERT NABASNY LAKE GENEVA, WI.

PROPERTY LOCATED AT:
1544 MAIN STREET, LAKE GENEVA, WI.

LEGAL DESCRIPTION

LOTS 3 AND 4, BLOCK 31 OF LAKE GENEVA MANOR, TRACT NUMBER 17, A SUBDIVISION OF PART OF THE EAST HALF OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 17 EAST OF THE 4TH PRINCIPAL MERIDIAN, IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY WISCONSIN.
PARCEL IDENTIFICATION NO : ZLM 00070

GENERAL NOTES:

3. DRAIN TILE SYSTEMS DISTURBED DURING DEVELOPMENT MUST BE RECONNECTED BY THOSE RESPONSIBLE FOR THEIR DISTURBANCE UNLESS THE APPROVED ENGINEERING PLANS INDICATE HOW THE DRAIN TILE SYSTEM IS TO BE CONNECTED TO THE PROPOSED STORM WATER MANAGEMENT SYSTEM. ALL ABANDONED DRAIN TILES SHALL BE REMOVED IN THEIR ENTIRETY.

CONTRACTOR NOTES:

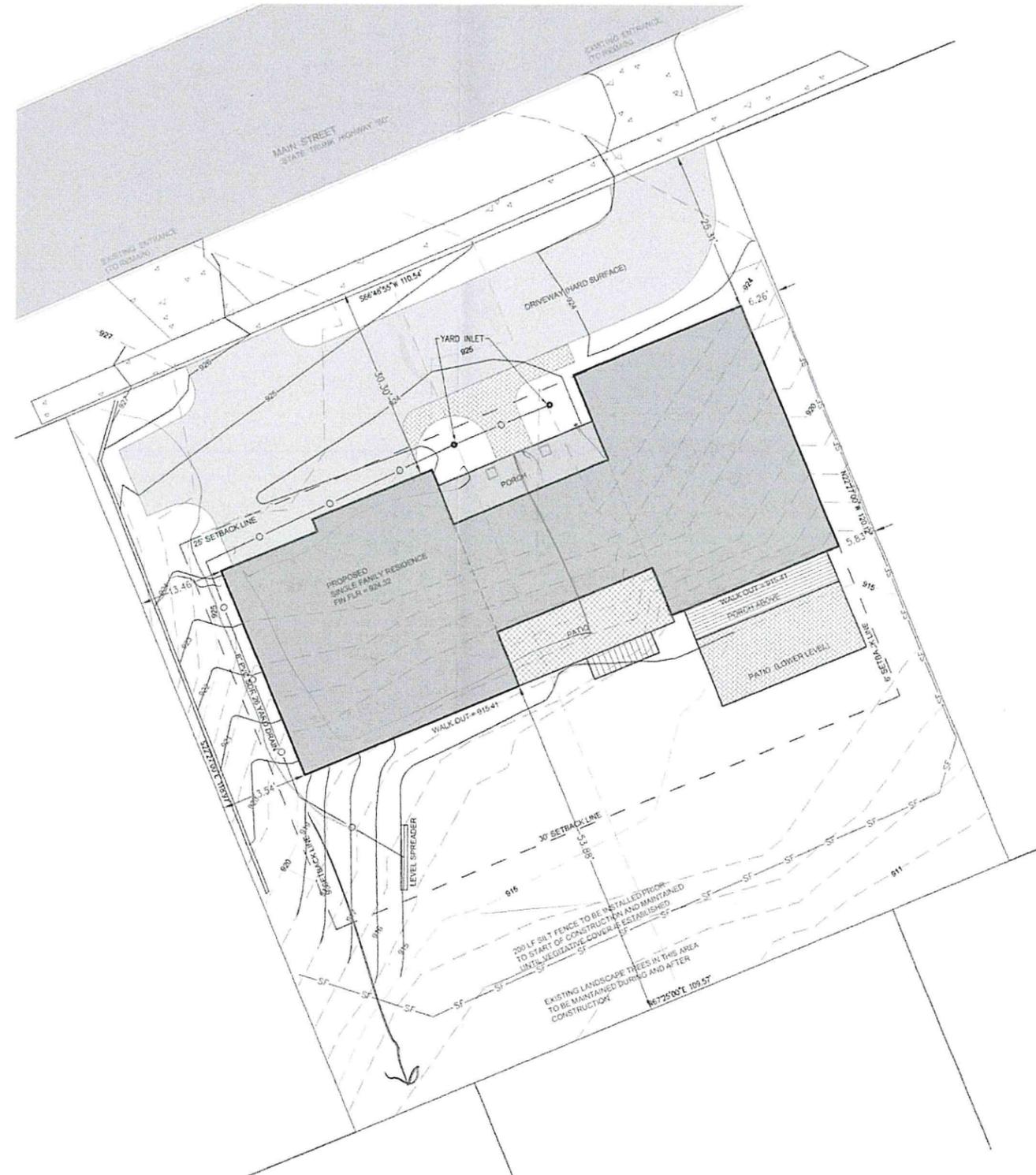
1. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
2. CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULING AND SEQUENCING OF THE WORK.
3. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIAL AND WORKMANSHIP THROUGHOUT.
4. THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
5. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER OR OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
7. THE CONTRACTOR, UPON COMPLETION OF PROJECT, SHALL OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH THE OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS.
8. CONTRACTOR IS RESPONSIBLE FOR ALL SITE CUT & FILL TO ATTAIN FINISH GRADES AS INDICATED ON THESE DRAWINGS. GENERAL CONTRACTOR SHALL INCLUDE THE COST OF ANY TOPSOIL REQUIRED IN ADDITION TO THAT ON SITE.

EXISTING UTILITIES NOTE:

1. WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. THE CONTRACTOR SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.
2. CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITIES AT 1-800-892-0123 AND MUST ACQUIRE A DIG NUMBER A MINIMUM OF 72 HOURS PRIOR TO ANY WORK BEING DONE.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. CONTROL MEASURES SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE WISCONSIN CONSTRUCTION CONTROL FIELD GUIDE UNLESS STATED OTHERWISE.
2. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. AREAS OF THE DEVELOPMENT SITE THAT ARE NOT TO BE DISTURBED SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC OR OTHER DISTURBANCE UNTIL FINAL STABILIZATION IS ACHIEVED.
3. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, DEVELOPMENT SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
4. STABILIZATION BY SEEDING SHALL INCLUDE TOPSOIL PLACEMENT AND FERTILIZATION, AS NECESSARY.
5. NATIVE SEED MIXTURES SHALL INCLUDE RAPID-GROWING ANNUAL GRASSES OR SMALL GRAINS TO PROVIDE INITIAL TEMPORARY SOIL STABILIZATION.
6. OFFSITE PROPERTY SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT CONCENTRATED DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL, AS NECESSARY TO PREVENT EROSION.
7. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE DISTURBANCE OF TRIBUTARY AREAS.
8. STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT LATER THAN 14 CALENDAR DAYS FROM THE INITIATION OF STABILIZATION WORK IN AN AREA. EXCEPTIONS TO THESE TIME FRAMES ARE SPECIFIED BELOW.
- 8.1. WHERE THE INITIATION OF STABILIZATION MEASURES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE, AND
- 8.2. IN AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED AND WILL RESUME AFTER 14 DAYS, A TEMPORARY STABILIZATION METHOD MAY BE USED.
9. DISTURBANCE OF STEEP SLOPES SHALL BE MINIMIZED. AREAS OR EMBANKMENTS HAVING SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH STAKED IN PLACE SOO, EROSION CONTROL BLANKET IN COMBINATION WITH SEEDING, OR AN EQUIVALENT CONTROL MEASURE.
10. PERIMETER CONTROL MEASURES SHALL BE PROVIDED DOWNSLOPE AND PERPENDICULAR TO THE FLOW OF RUNOFF FROM DISTURBED AREAS, WHERE THE TRIBUTARY AREA IS GREATER THAN 5,000 SQUARE FEET, AND WHERE RUNOFF WILL FLOW IN A SHEET FLOW MANNER. PERIMETER EROSION CONTROL SHALL ALSO BE PROVIDED AT THE BASE OF SOIL STOCKPILES.
11. THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION DOWNSLOPE FROM DISTURBED AREAS. INLET PROTECTION THAT REDUCES SEDIMENT LOADING, WHILE ALLOWING RUNOFF TO ENTER THE INLET SHALL BE REQUIRED FOR ALL STORM SEWERS CHECK DAMS, OR AN EQUIVALENT CONTROL MEASURE, SHALL BE REQUIRED FOR ALL CHANNELS. FILTER FABRIC INLET PROTECTION AND STRAW BALE DITCH CHECKS ARE NOT ACCEPTABLE CONTROL MEASURES.
12. IF Dewatering SERVICES ARE USED, DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G., SEDIMENT TRAP OR AN EQUIVALENT CONTROL MEASURE). THE ENFORCEMENT OFFICER SHALL BE NOTIFIED PRIOR TO THE COMMENCEMENT OF DEWATERING ACTIVITIES.
13. ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION OF THE DEVELOPMENT SITE IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NECESSARY. TRAPPED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
14. STOCKPILED SOIL AND MATERIALS SHALL BE REMOVED FROM FLOOD HAZARD AREAS AT THE END OF EACH WORK DAY. SOIL AND MATERIALS STOCKPILED IN HMC OR BUFFER AREAS SHALL BE PLACED ON TIMBER MATS, OR AN EQUIVALENT CONTROL MEASURE.
15. EFFECTIVE CONTROL MEASURES SHALL BE UTILIZED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE DEVELOPMENT SITE. AT A MINIMUM, CONTROL MEASURES SHALL BE IMPLEMENTED IN ORDER TO
- 15.1. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATER, AND
- 15.2. MINIMIZE THE EXPOSURE OF BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, VEHICLE FLUIDS, SANITARY WASTE, AND OTHER MATERIALS PRESENT ON THE DEVELOPMENT SITE TO PRECIPITATION AND TO STORMWATER.
16. ADEQUATE RECEPTACLES SHALL BE PROVIDED FOR THE DEPOSITING OF ALL CONSTRUCTION DEBRIS GENERATED DURING THE DEVELOPMENT PROCESS. THE DEVELOPMENT SITE SHALL BE MAINTAINED FREE OF CONSTRUCTION DEBRIS.
17. THE ENFORCEMENT OFFICER MAY REQUIRE ADDITIONAL OR ALTERNATE SOIL EROSION AND SEDIMENT CONTROL MEASURES, BASED ON DEVELOPMENT SITE SPECIFIC CONSIDERATIONS AND THE EFFECTIVENESS OF THE INSTALLED CONTROL MEASURES.



NOTE: CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY ARE THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR

SITE AND GRADING PLAN

REVISIONS	NO.	DATE	DESCRIPTION

ROBERT NABASNY RESIDENCE
1544 MAIN STREET
LAKE GENEVA, WI.
SITE AND GRADING PLAN

ZONING INFORMATION

DISTRICT: CONDITIONAL USE SR-4

FRONT YARD: 25 FT
SIDE YARD MINIMUM: 6 FT
SIDE YARD COMBINED: 15 FT
REAR YARD: 30 FT
MAX BUILDING HEIGHT: 35 FT

LOT AREA = 13,096 SF

PROP RESIDENCE = 2852 SF OR 21.8 %
TOTAL IMPERVIOUS = 5,752 SF OR 43.9 %

PREPARED FOR:
ROBERT NABASNY
311 S WELLS ST LAKE GENEVA WI 53147
PH: (602) 697-4957

PREPARED BY:
ROBERT A. KRATZKE, PE
311 FOX LAKE WOODSTOCK IL 60098
PH: (815) 347-9449

Designed By
RAK

Drawn By
RAK

Checked By
RAK

Date
07/03/2019

Job Number
19601

Sheet Number
C1



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48 HOURS BEFORE YOU DIG
(EXCLUDING SAT, SUN, & HOLIDAYS)

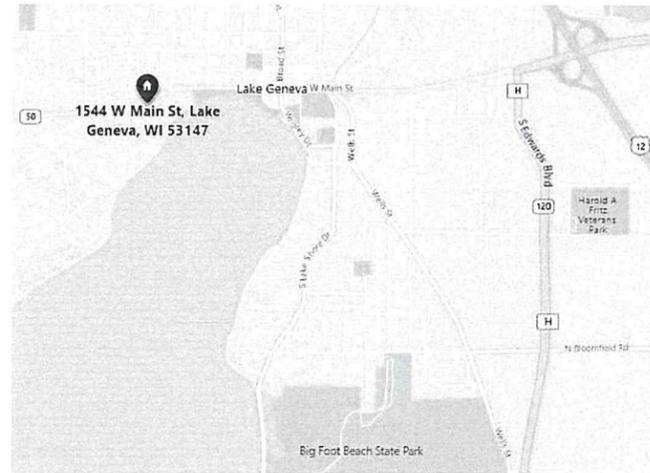
ARCHITECT
DANIEL LESUS ARCHITECTS, P.C.

HOME ADDITION/REMODEL

1544 W. MAIN STREET
LAKE GENEVA, WI. 53147
SINGLE-FAMILY RESIDENCE

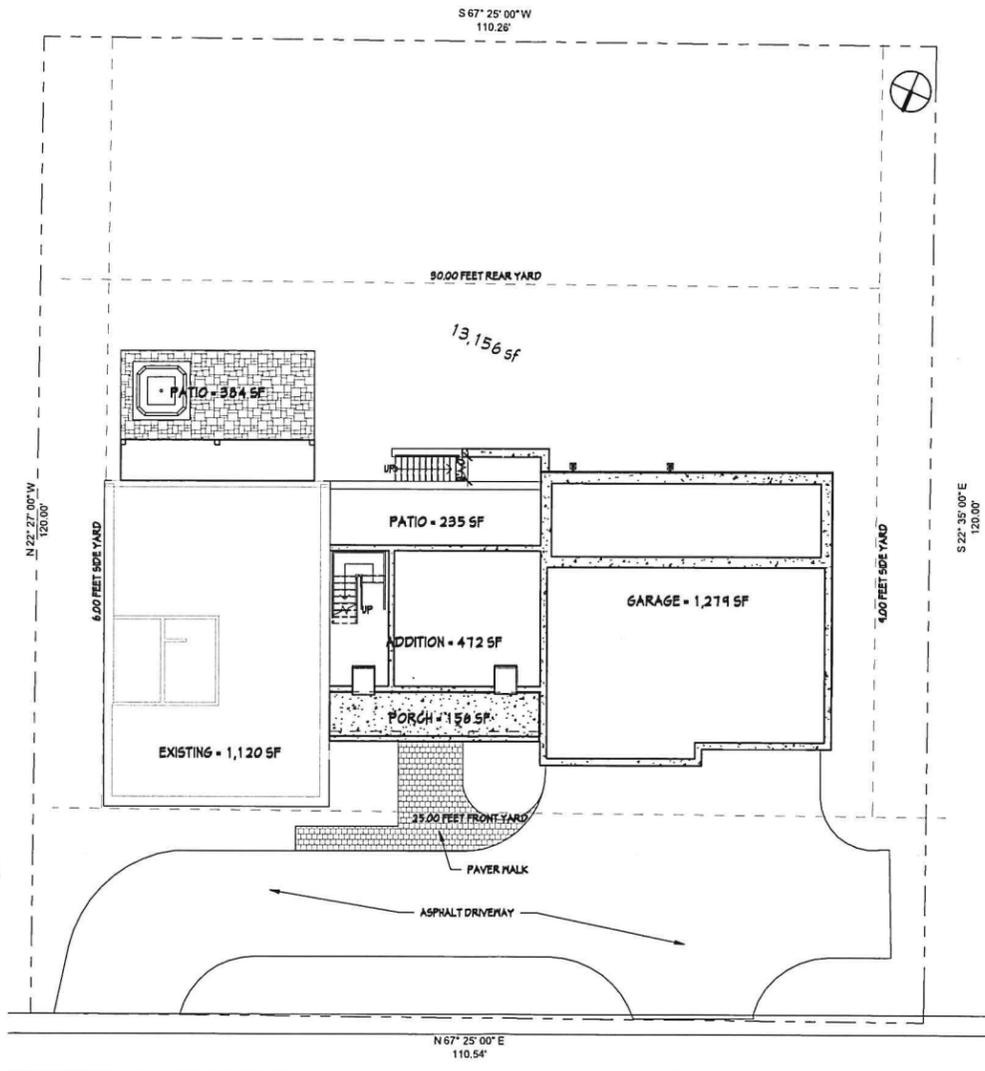
GENERAL CONTRACTOR
TBD

AREA MAP:



DRAWING INDEX

SHEET NUMBER	SHEET NAME
T1.0	TITLE SHEET
A1.0	DEMOLITION PLANS
A2.0	FOUNDATION PLAN
A2.1	FIRST FLOOR
A2.2	SECOND FLOOR
A3.0	FRONT ELEVATION
A3.1	RIGHT ELEVATION
A3.2	LEFT ELEVATION
A3.3	REAR ELEVATION
1.0	NORTHEAST PERSPECTIVE
2.0	FRONT VIEW
3.0	NORTHWEST PERSPECTIVE
4.0	ENTRY DETAIL
5.0	AERIAL VIEW
6.0	WEATHER VIEW



ZONING INFORMATION

CONDITIONAL USE SR-4 DISTRICT
FRONT YARD: 25 FEET
SIDE YARD: 6 FEET MINIMUM
COMBINED: 15 FEET
REAR YARD: 90 FEET
MAX. BLDG. HT: 9.5 FEET

GENERAL NOTES

- ALL WORK TO CONFORM TO THE WISCONSIN ADMINISTRATIVE AND UNIFORM BUILDING CODES AND ALL OTHER ADOPTED CODES AND AMENDMENTS BY THE CITY OF LAKE GENEVA.
- ALL SUB-CONTRACTORS ARE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH LOCAL BUILDING CODES, REQUIREMENTS FOR LICENSE, INSURANCE, ETC. AS WELL AS PROVIDING EVIDENCE OF COMPLIANCE PRIOR TO THE COMMENCEMENT OF ANY WORK.
- VERIFY ALL DIMENSIONS AND SITE CONDITIONS IN THE FIELD PRIOR TO THE COMMENCEMENT OF ANY WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES AND OBTAIN CLARIFICATION PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL MATERIALS AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF ALL GOVERNING CODES, ORDINANCES, LAW REGULATIONS, AND SAFETY ORDERS AND DIRECTIVES RELATING TO THE PROJECT.
- EACH SUB-CONTRACTOR SHALL INSPECT THE SITE, EXAMINE AND OBTAIN COMPLETE FIELD DATA WHICH MAY AFFECT THE COST OF THE WORK, INCLUDING EXISTING CONDITIONS, THE PROPOSED CONSTRUCTION, THE PROTECTION TO BE AFFORDED ADJACENT PARTS, TREES, SHRUBS, ETC. THE NATURE AND LOCATION OF THE WORK AND ALL MATTERS WHICH MAY IN ANY WAY AFFECT THE WORK OR ITS PERFORMANCE.
- EACH SUB-CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND FOLLOWING UP ON ALL REQUIRED INSPECTIONS.
- DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DRAWINGS.
- ALL TRADES ARE TO VERIFY THE LOCATIONS OF ALL EQUIPMENT AND FIXTURES PRIOR TO THEIR INSTALLATION.
- ALL CONCRETE PIERS AND FOOTINGS SHALL BEAR ON 3,000 P.S.F. MINIMUM BEARING SOIL CAPACITY, 5'-6" MINIMUM BELOW ADJACENT GRADE OR AS NOTED.
- ALL FOUNDATION WALLS, PIERS, AND FOOTINGS SHALL BE POURED-IN-PLACE CONCRETE WITH A MINIMUM Fc=3,000 P.S.I. AT 28 DAYS.
- ALL FRAMING LUMBER INCLUDING BEAMS, JOISTS, AND RAFTERS SHALL BE NO. 2 OR BETTER DOMESTIC SOUTHERN PINE FIR (SPF) OR AS NOTED.
- PROVIDE DOUBLE FRAMING AT ALL OPENINGS - DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO THE FLOOR JOISTS.
- ALL EXTERIOR AND INTERIOR HEADERS TO BE (2) 2X12S OR AS NOTED.
- AT ALL EXTERIOR CORNERS, PROVIDE 1/2" PLYWOOD SHEATHING AT 8'-0" PLATE HEIGHTS, AT WALLS OVER 8'-0" HIGH USE 1X4 LET-IN DIAGONAL BRACING OR APPROVED EQUAL.
- ALL GLAZING TO FOLLOW R308 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) AS REQUIRED.
- ALL STRUCTURAL I-BEAMS TO BE ASTM A412 STEEL WITH Fy=50 KSI AND Fu=65 KSI.

1 ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'-0"

CERTIFICATIONS:

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I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH ALL BUILDING CODES HAVING JURISDICTION WITH THE COUNTY OF WALNORTH, THE CITY OF WISCONSIN, AND THE STATE OF WISCONSIN.

DAVID WILDE
DANIEL LESUS ARCHITECTS, P.C.

WISCONSIN LICENSE NO. 0001-018110

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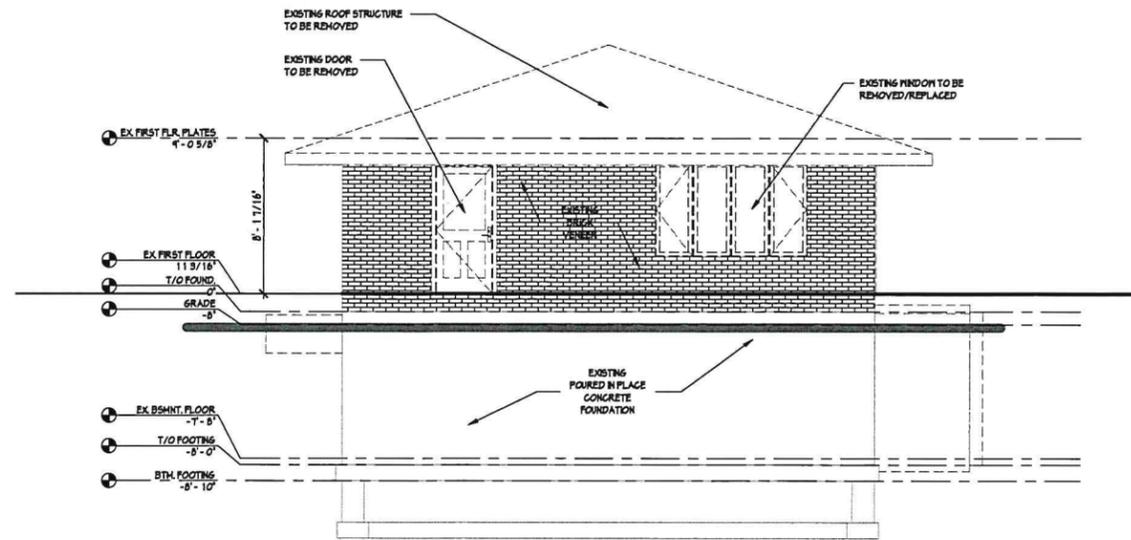
HOME ADDITION/REMODEL
1544 W. MAIN STREET
LAKE GENEVA, WI. 53147

DATE:	JULY 05, 2014
DRAWN BY:	DVL
CHECKED BY:	DVL
PERMIT:	
REVISION:	
REVISION:	
REVISION:	
PROJECT NO.	14.730

CONDITIONAL USE
SUBMITTAL

SHEET:
T1.0
TITLE SHEET

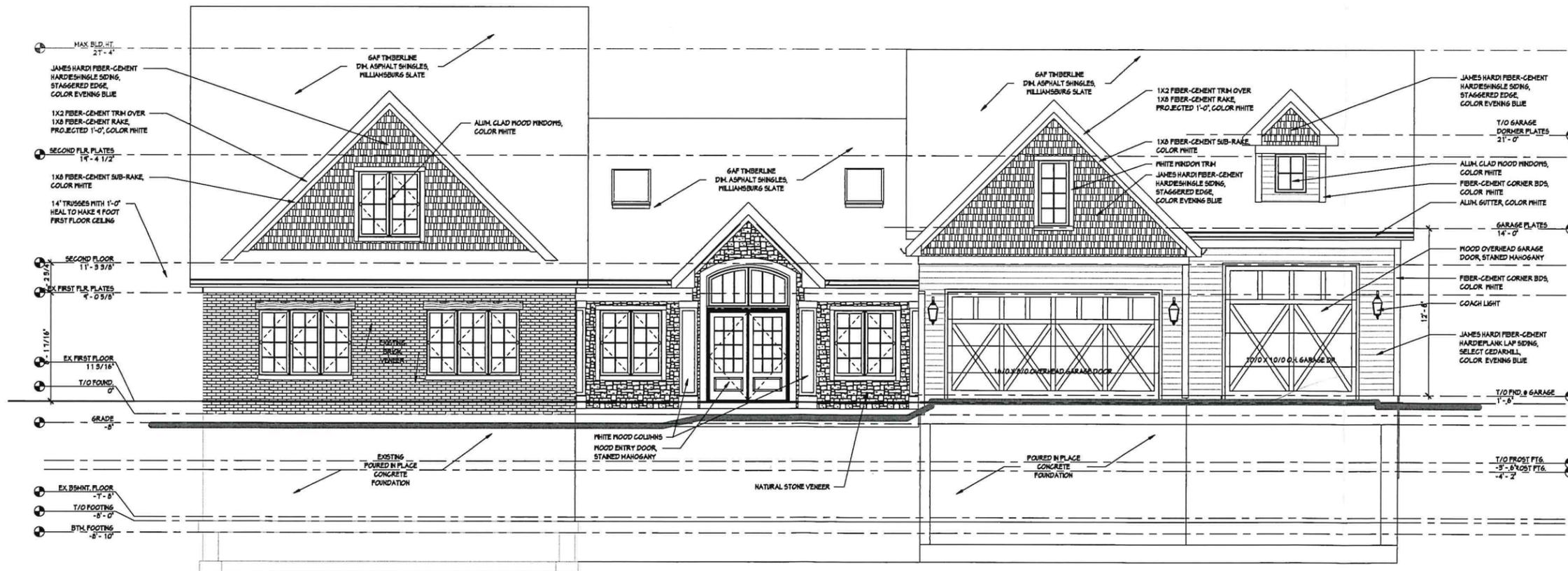
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1 FRONT ELEVATION - DEMO
SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR MATERIALS

ROOFING	COLOR	PAINTED EXISTING BRICK	COLOR
6/4F TIMBERLINE DIMENSIONAL ASPHALT SHINGLES	MILLIANSBURG SLATE	EXTERIOR PAINT	EVENING BLUE
GUTTERS & DOWNSPOUTS	COLOR	ENTRY STONE	COLOR
ALUMINUM	WHITE	CULTURED STONE	COUNTRY LEDGESTONE, ASPEN
SOFFITS/FASCIA/TRIM	COLOR	ENTRY DOOR/GARAGE DOORS	COLOR
JAMES HARDI FIBER-CEMENT TRM BDS.	ARCTIC WHITE	WOOD	DARK HANOGANY
GABLE SIDING	COLOR	WINDOWS	COLOR
JAMES HARDI FIBER-CEMENT HARDSHINGLE, STAGGERED EDGE	EVENING BLUE	ALUMINUM GLAD, WOOD	WHITE
TYPICAL SIDING	COLOR		
JAMES HARDI FIBER-CEMENT HARDSHINGLE, STAGGERED EDGE	EVENING BLUE		
JAMES HARDI FIBER-CEMENT HARDFLANK LAP, CEDARHILL	COLOR		
	EVENING BLUE		



2 FRONT ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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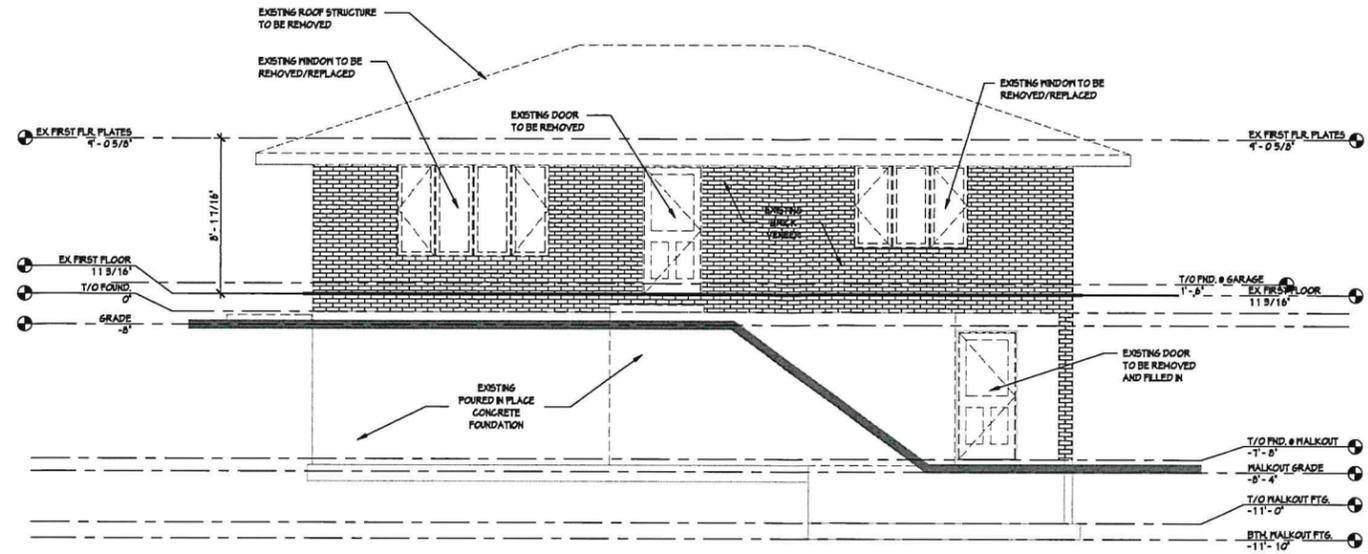
HOME ADDITION/REMODEL
1544 W. MAIN STREET
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DATE: JULY 05, 2019
DRAWN BY: DVL
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REVISION:
PROJECT NO. 19.730

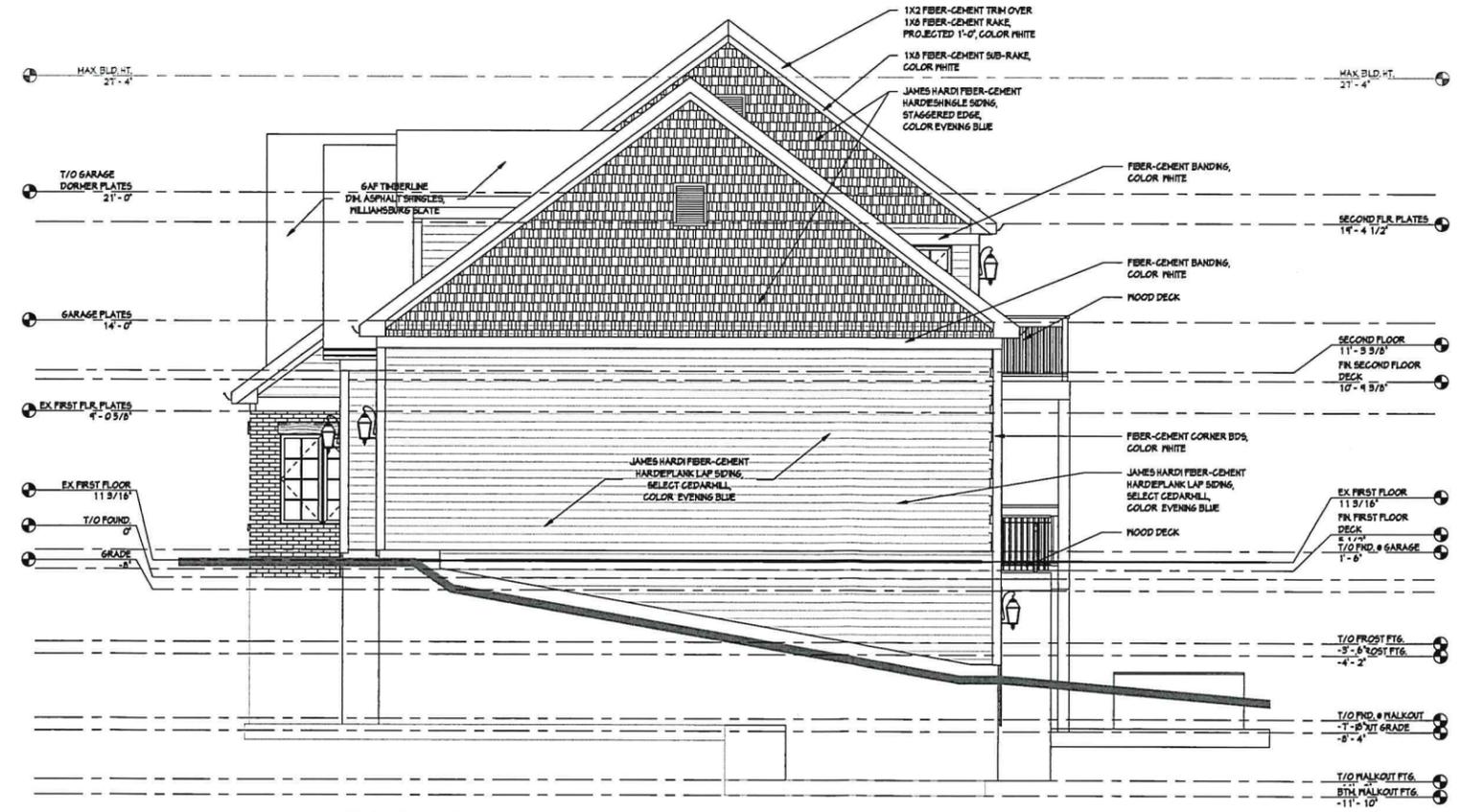
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SHEET:
A3.0
FRONT ELEVATION

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1 RIGHT ELEVATION - DEMO
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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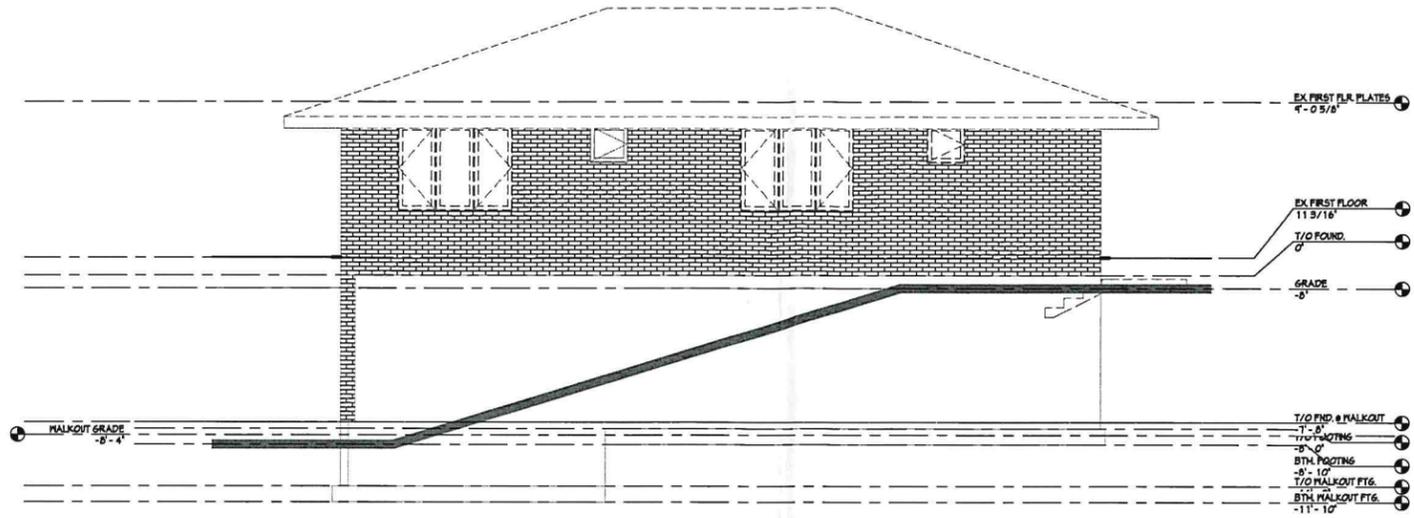
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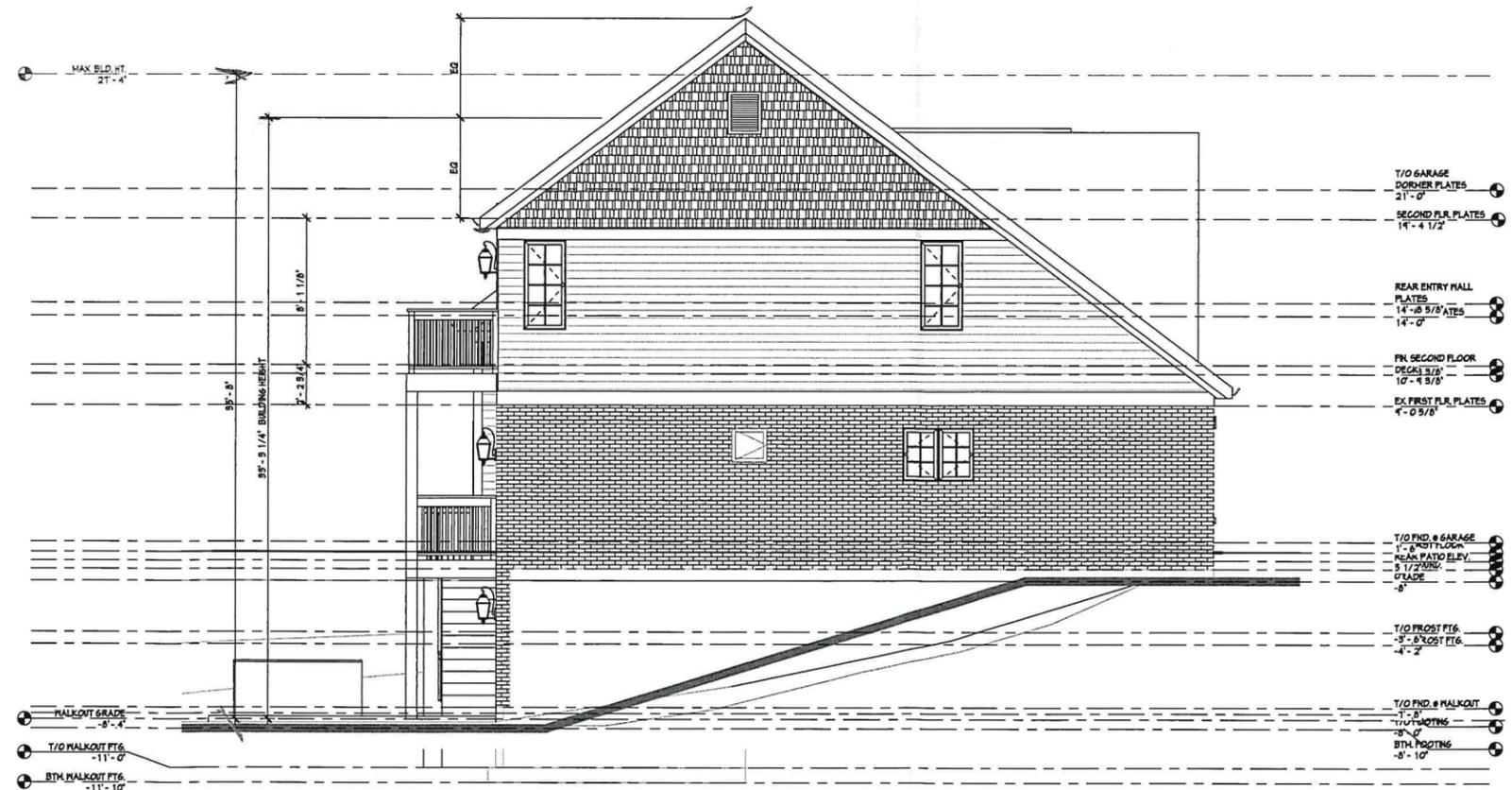
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REVISION:	
REVISION:	
PROJECT NO.	14130

CONDITIONAL USE
SUBMITTAL

SHEET:
A3.1
RIGHT ELEVATION



1 LEFT ELEVATION - DEMO
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

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PROJECT NO.	14.130

CONDITIONAL USE SUBMITTAL

SHEET:
A3.2
LEFT ELEVATION

7/3/2019 3:32:31 PM



E:\Projects\19730\1544 W Main Street, Lake Geneva.rvt

CONDITIONAL
USE
SUBMITTAL

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REVISION:	
REVISION:	
PROJECT NO.	19.130

SHEET: **1.0**
 NORTHEAST PERSPECTIVE

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CONDITIONAL
USE
SUBMITTAL

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REVISION:
REVISION:
PROJECT NO. 19730

SHEET:
2.0
FRONT VIEW



CONDITIONAL
USE
SUBMITTAL

DANIEL LESUS ARCHITECTS, P.C.

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LAKE GENEVA, WI. 53147

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REVISION:

REVISION:

PROJECT NO.

19.730

SHEET:

3.0

NORTHWEST PERSPECTIVE

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DANIEL LESUS ARCHITECTS, P.C.



CONDITIONAL
USE
SUBMITTAL

DANIEL LESUS ARCHITECTS, P.C.

DESIGN • PLANNING • CONSULTING

1033 Holly Circle P: 847.550.0972
Lake Zurich, IL. 60047 F: 847.550.1075

dlarchitectspc.com

**HOME ADDITION/REMODEL
1544 W. MAIN STREET
LAKE GENEVA, WI. 53147**

PERMIT:	
REVISION:	
REVISION:	
PROJECT NO.	19.730

SHEET:
4.0
ENTRY DETAIL



CONDITIONAL
USE
SUBMITTAL

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**HOME ADDITION/REMODEL
1544 W. MAIN STREET
LAKE GENEVA, WI. 53147**

PERMIT:	
REVISION:	
REVISION:	
PROJECT NO.	19.730

SHEET: **5.0**
AERIAL VIEW



CONDITIONAL
USE
SUBMITTAL

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HOME ADDITION/REMODEL
1544 W. MAIN STREET
LAKE GENEVA, WI. 53147

PERMIT:	
REVISION:	
REVISION:	
PROJECT NO.	19.730

SHEET:
6.0
WEATHER VIEW

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: August 19, 2019

Agenda Item: 11

Applicant:
CDS Investments LLC
1840 International Parkway
Woodridge, Il 60517

Request: 1550 Lake Shore Dr.
Conditional Use Permit (CUP)
Raze & Rebuild Residence
Tax Key No. ZLM00048

Description:

The applicant is submitting a request for a Conditional Use Permit (CUP) that would allow for the applicant to move forward on the proposed Raze and Rebuild of the existing residence that is located in the Estate Residential – 1 (ER-1) zoning district, for the residence located at 1550 Lake Shore.

The residence will not be any closer to any property line as currently situated today. This project was originally reviewed for an addition and remodel, however after further review the owners decided to raze the current home and rebuild with conventional construction material.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

1550 Lake Shore Dr, Lake Geneva, WI 53147; Parcel No. ZLM 00048;
LOT 3 BLK 19 LAKE GENEVA MANOR (TRACT #17) CITY OF LAKE GENEVA

Name and Address of Current Owner:

CDS Investments, LLC

1840 International Parkway, Woodridge, IL 60517

Telephone No. with area code & Email of Current Owner: (630) 755-4232

tom@champakinc.com

Name and Address of Applicant:

Lowell Custom Homes

401 Geneva National Avenue S, Lake Geneva, WI 53147

Telephone No. with area code & Email of Applicant: (262) 245-9030

tcauffman@lowellcustomhomes.com

Proposed Conditional Use: Raze and rebuild previously approved remodel
plan. Height to match existing/approved. Shoreyard footprint to
be in existing/approved footprint.

Zoning District in which land is located: ER-1

Names and Addresses of architect, professional engineer and contractor of project:

Lowell Custom Homes, 401 Geneva Nat'l Ave S, Lake Geneva, WI 53147

Todd Cauffman, Architect

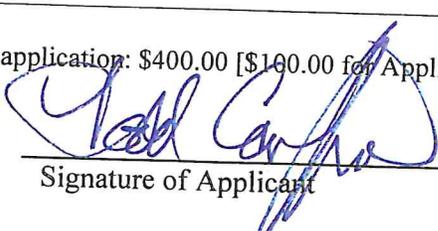
Short statement describing activities to take place on site:

Raze and rebuild previously approved remodel plan. Height to
match existing/approved. Shoreyard footprint to be in existing/
approved footprint.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

6/25/2019

Date


Signature of Applicant

Lowell Custom Homes 1550 Lake Shore Drive Cost Recovery #

Petitioner Name Project Address

OFFICE USE ONLY Description of Request

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). An advanced deposit shall be required for the application related to Extraterritorial matters. Surplus deposits shall be returned to the Applicant at the conclusion of the project.

Lowell Custom Homes, as applicant/petitioner for

Project: Remodel of Single Family Residence

Project Address: 1550 Lake Shore Drive

Parcel No. ZLM 00048

Name: CDS Investments, LLC

Address: 1840 International Parkway Woodridge, IL 60517

Cell Phone: () - - Phone: (630) - 755 - 4232

Email: tom@champakinc.com

Dated this 8th Day of February, 20 19

Rich Kinter (Agent/Lowell Custom Homes)

Printed Name of Applicant / Petitioner

[Handwritten Signature]

Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

___ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

___ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ *by:* _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ *by:* _____

↓

___ (a) **A map of the proposed conditional use:**

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
- _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed structure is non-conforming in the ER-1 Zoning District but conforms more closely to SR-4 Zoning under the Lake Geneva Zoning Ordinance, with Lot: 7,868 SF (Req'd: 9,000 SF); Landscape Ratio: 61:05% (Req'd: 50%); Side Setbacks: 7.5' & 7.5' (Req'd: 15' combined)

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed structure more closely conforms to SR-4 Zoning under the Lake Geneva Zoning Ordinance. Conditional Use required to raze building.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No negative impacts of renovation/addition. Will follow current zoning & architectural requirements. No change in lot size, lakeside setback, public property, or rights-of-way.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Lot size is currently non-conforming for ER-1 Zoning District. Lot: 7,868 SF (Req'd for ER-1: 40,000 SF). Per policies & standards of the City of Lake Geneva Comprehensive Plan, proposed structure more closely conforms as an SR-4 Zoning Lot: 7,868 SF (Req'd for SR-4: 9,000 SF); Side Setbacks: 7.5' & 7.5' (Req'd for SR-4: 15' combined).

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The improvements, facilities, utilities and services provided by public agencies serving the subject property will remain unchanged. The renovation and addition of the subject property will result in a similar footprint to the existing single-family residence.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

The proposed structure will be up to all ADA requirements and meet all current zoning and architectural requirements. Note: Final building plans meeting all current zoning and architectural standards will be provided at a later date.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 1550 Lake Shore Drive, Lake Geneva, WI 53147
Applicant name Lowell Custom Homes (Agent for CDS Investments, LLC)
Applicant email tcauffman@lowellcustomhomes.com Phone Number (262) 245-9030

Architect/Contractor/Designer Name Todd Cauffman, Lowell Custom Homes
Architect/Contractor/Designer Email same as above Phone Number _____

Type of Construction: New _____ Addition X Remodel X
Type of Development: Single-family X Multi-family _____ Commercial _____ Industrial _____
Type of Business _____

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? _____
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms _____
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____

1550 Lake Shore Drive –

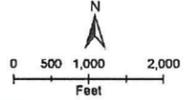
Surrounding Neighbors within 300' of the Subject Property –

ZA134100001	Summer Wind VII LLC c/o Tom Ryan 763 N Mayflower Rd Lake Forest, IL 60045-2311
ZLM 00025	Michael G Culhane Sally A Culhane 166 Liberty Pl Princeton, NJ 08540
ZLM 00026	Thomas W Schwartz Katherine G Schwartz 1550 Evergreen Ln Lake Geneva, WI 53147
ZLM 00027	Joseph F Piscioti Cheryl A Piscioti 6554 W Archer Ave Chicago, IL 60638
ZLM 00028	Jacquelyn E Getzen Trust 15 Lakeview Dr Lake Geneva, WI 53147
ZLM 00029	JLB Maintenance LLC 14040 Boxwood Lane Orland Park, IL 60462
ZLM 00030	Reuter Family Trust 1002 Ingraham Ave #3 Delray Beach, FL 33483
ZLM 00031	Jay H Kleiman Georgianna M Kleiman 60 E Monroe St #3101 Chicago, IL 60603
ZLM 00032	James M Wojcik Sharon L Wojcik 12 Debbie Ln Streamwood, IL 60107
ZLM 00033	Bruce Gold Sarah Gold 2901 Kingston Dr Buffalo Grove, IL 60089
ZLM 00046	Roy Kaiser 51 Warwick Rd Winnetka, IL 60093
ZLM 00047	Douglas Powell Trust 1014 W Altgeld St Chicago, IL 60614

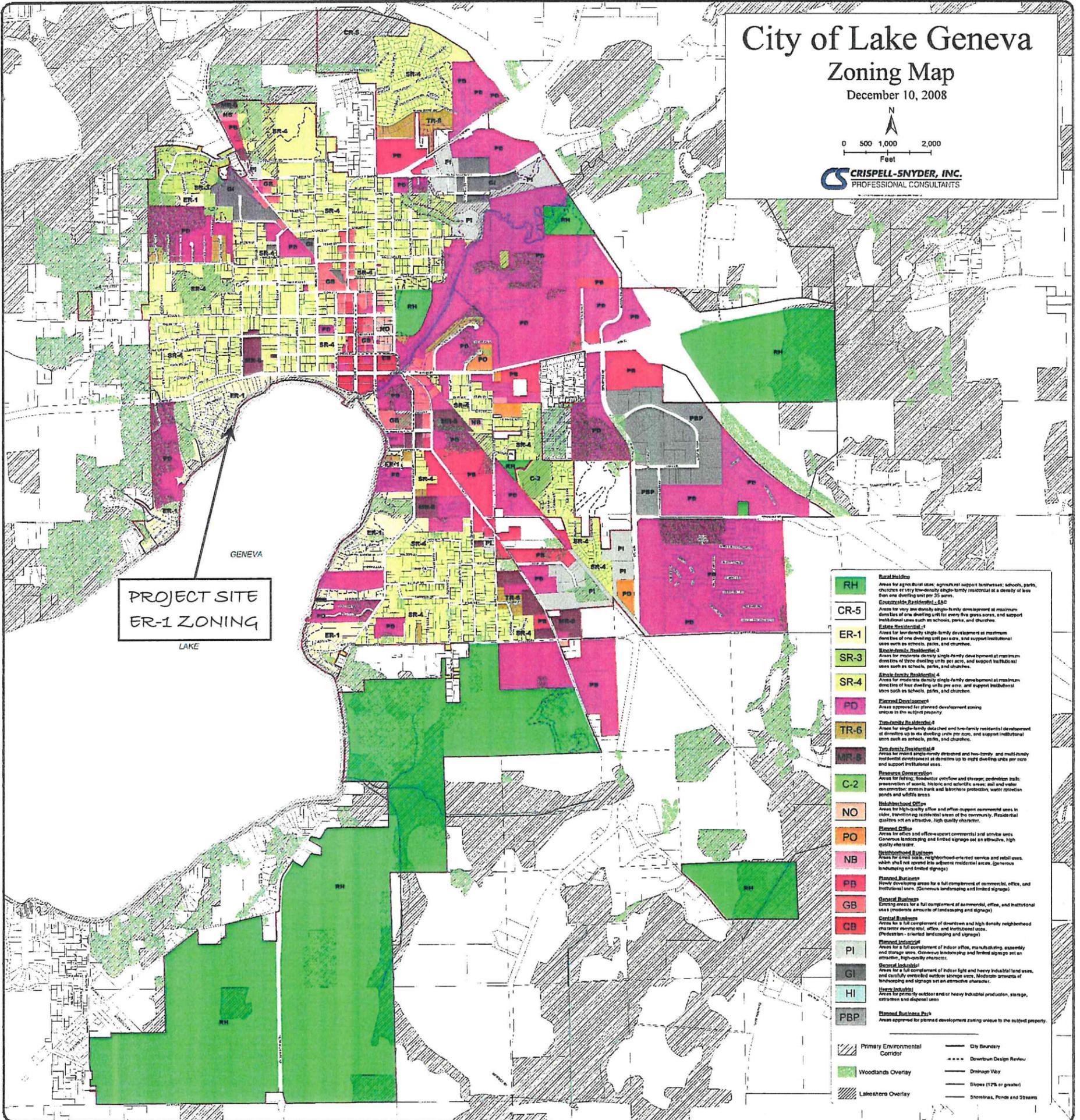
ZLM 00049	1554 Lake Shore LLC 6006 Hazelwood Dr Crystal Lake, IL 60012
ZLM 00050	Megan McNerney Richard M Longnecker 1562 Lake Shore Dr Lake Geneva, WI 53147
ZLM 00051	Gregory M Licht 3517 Majestic Oaks Dr St Charles, IL 60174
ZLM 00087	Lake Geneva Manor Association c/o Catherine Green 1615 Lakeshore Dr Lake Geneva, WI 53147
ZLM 00088	Paul N Sepe Susan Y Sepe 16 Lakeview Dr Lake Geneva, WI 53147
ZLM 00089	Marya F Gibbons Trust 211 S Sunnyside Elmhurst, IL 60126
ZLM 00089A	Catherine T Green 1615 Lake Shore Dr Lake Geneva, WI 53147
ZYUP 00094J	James W Owens Jr Trust 497 S Arlington Ave Elmhurst, IL 60126

City of Lake Geneva Zoning Map

December 10, 2008

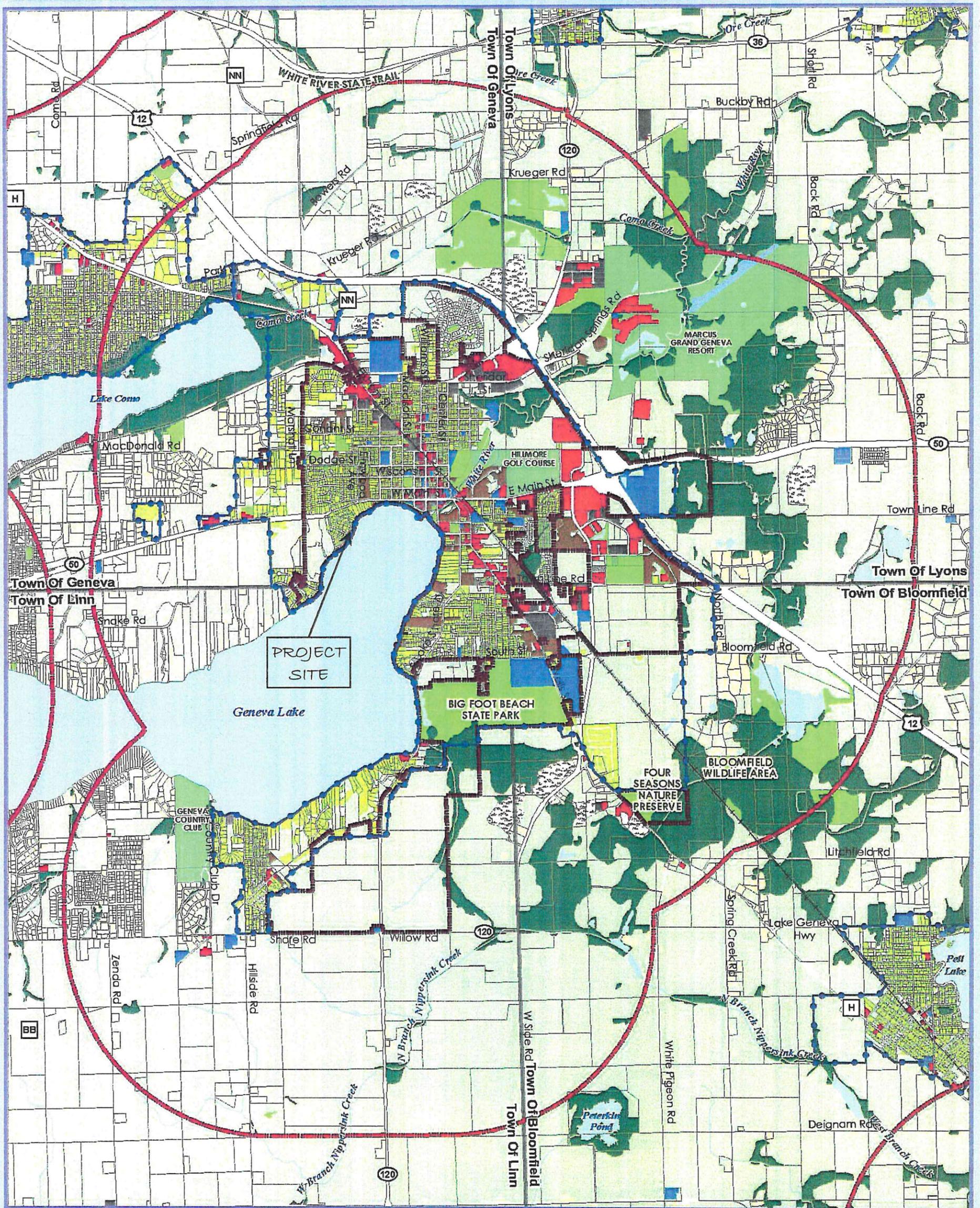


CRISPELL-SNYDER, INC.
PROFESSIONAL CONSULTANTS

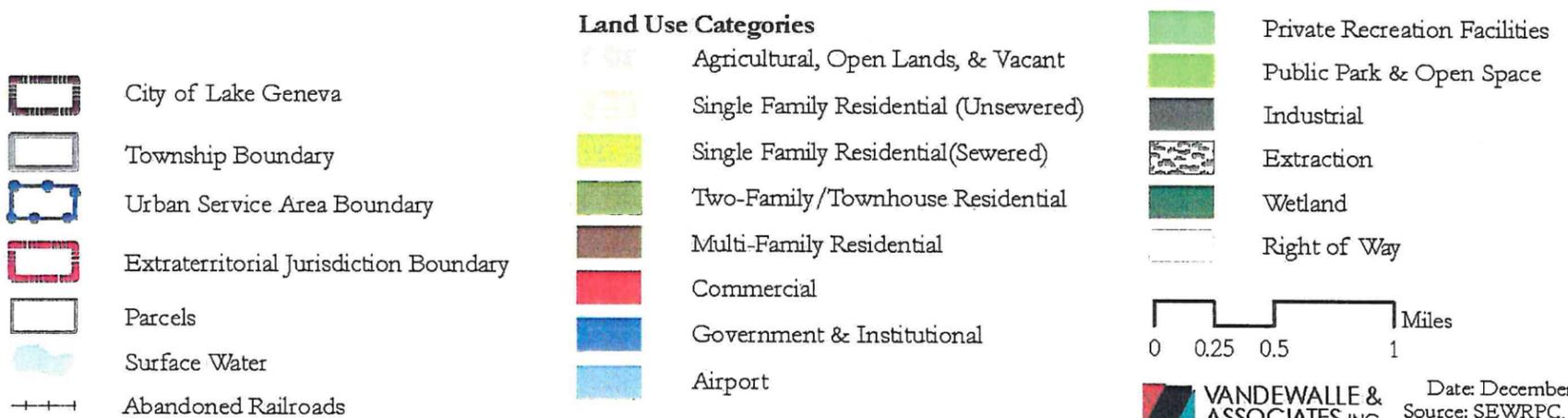


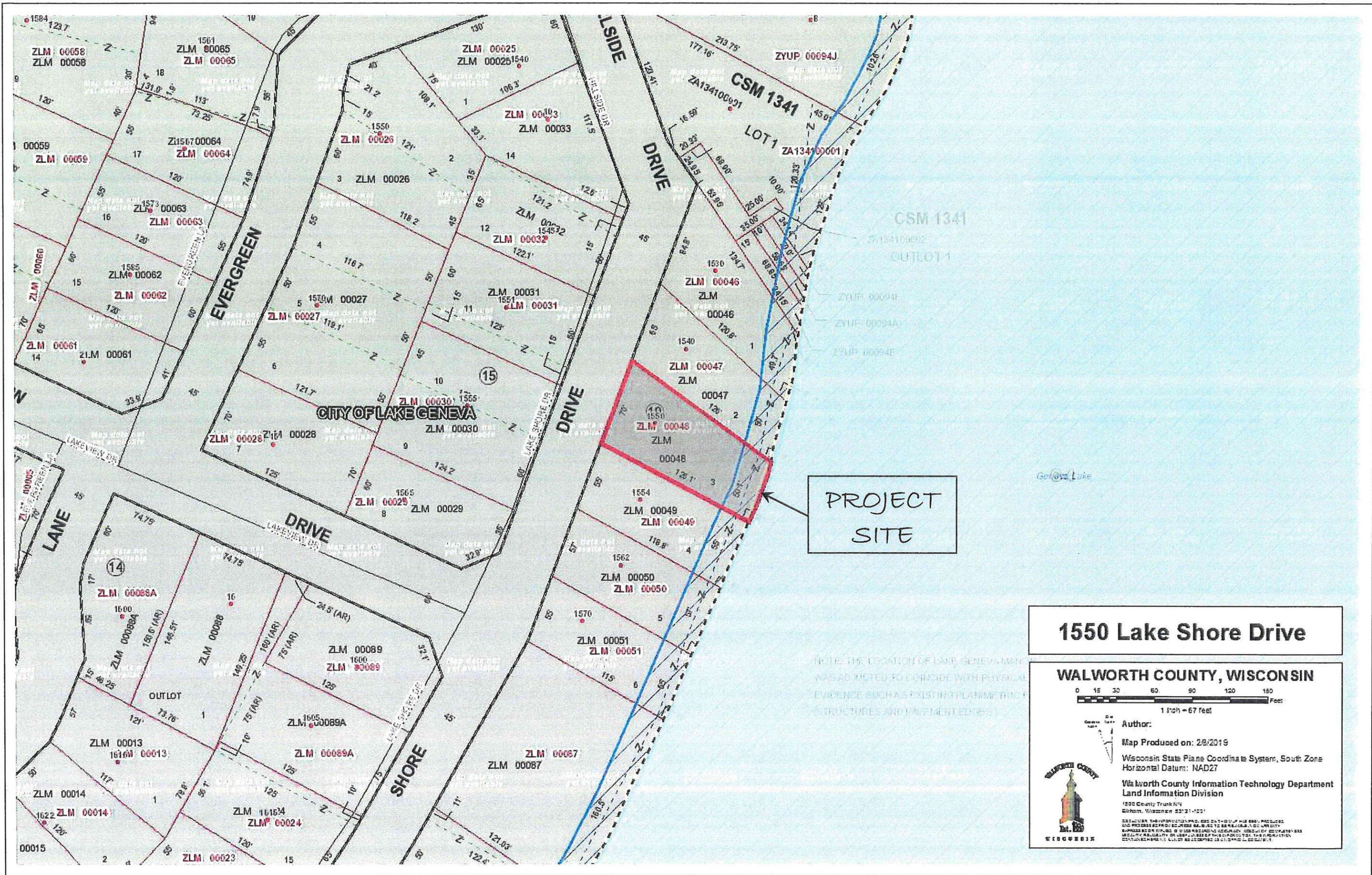
PROJECT SITE
ER-1 ZONING

RH	Rural Residence Areas for agricultural uses, agricultural support businesses, schools, parks, churches or very low-density single-family residential at a density of less than one dwelling unit per 25 acres.
CR-5	Conservation Residential - LDC Areas for very low density single-family development at maximum densities of one dwelling unit per five to six acres, and support institutional uses such as schools, parks, and churches.
ER-1	Executive Residential - 1 Areas for low-density single-family development at maximum densities of one dwelling unit per six to eight acres, and support institutional uses such as schools, parks, and churches.
SR-3	Single-Family Residential - 3 Areas for moderate density single-family development at maximum densities of three dwelling units per acre, and support institutional uses such as schools, parks, and churches.
SR-4	Single-Family Residential - 4 Areas for moderate density single-family development at maximum densities of four dwelling units per acre, and support institutional uses such as schools, parks, and churches.
PD	Planned Development Areas approved for planned development zoning unique to the subject property.
TR-6	Two-Family Residential - 6 Areas for single-family detached and two-family residential development at densities up to six dwelling units per acre, and support institutional uses such as schools, parks, and churches.
MR-6	Multi-Family Residential - 6 Areas for low-density multi-family detached and two-family and multi-family residential development at densities up to eight dwelling units per acre and support institutional uses.
C-2	Community Center/Office Areas for high-density office and office support uses; pedestrian traffic; preservation of scenic, historic and wildlife areas; and water conservation; green park and laboratory protection; water retention ponds and wildlife areas.
NO	Neighborhood Office Areas for high-density office and office support uses in older, transitioning residential areas of the community. Residential character is an attribute. High quality character.
PO	Professional Office Areas for office and office support commercial and service uses. Generous landscaping and limited signage set an attractive, high quality character.
NB	Neighborhood Business Areas for small scale, neighborhood-oriented service and retail uses, suitable and not opened into adjacent residential areas. (Generous landscaping and limited signage)
PB	Planned Business Areas approved for planned development zoning unique to the subject property.
GB	General Business Areas for a full complement of commercial, office, and institutional uses. (Moderate landscaping and limited signage)
CB	Central Business Areas for a full complement of downtown and high density neighborhood character commercial, office, and institutional uses. (Pedestrian-oriented landscaping and signage)
PI	Planned Industrial Areas for a full complement of indoor office, manufacturing, assembly and storage uses. Generous landscaping and limited signage set an attractive, high-quality character.
GI	General Industrial Areas for a full complement of indoor light and heavy industrial land uses, and carefully restricted outdoor storage uses. Moderate amounts of landscaping and signage set an attractive character.
HI	Heavy Industrial Areas for primarily outdoor and/or heavy industrial production, storage, extraction and disposal uses.
PBP	Planned Business Park Areas approved for planned development zoning unique to the subject property.
	Primary Environmental Corridor
	City Boundary
	Woodlands Overlay
	Lakeshore Overlay
	Downtown Design Review
	Drainage Way
	Slopes (12% or greater)
	Shorelines, Ponds and Streams



Map 4: Existing Land Use - City of Lake Geneva Comprehensive Plan





PROJECT SITE

1550 Lake Shore Drive

WALWORTH COUNTY, WISCONSIN

0 15 30 60 90 120 150 Feet
1 inch = 67 feet

Author:

Map Produced on: 2/8/2019

Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27

Walworth County Information Technology Department
Land Information Division
1200 County Trunk NW
Elkhorn, Wisconsin 53121-1001

CONDUCTOR THE INFORMATION PROVIDED ON THIS MAP WAS PREPARED AND PROVIDED AS PROVIDED. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION. THE INFORMATION IS PROVIDED AS IS AND WITHOUT WARRANTY OF ANY KIND, INCLUDING MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION. THE INFORMATION IS PROVIDED AS IS AND WITHOUT WARRANTY OF ANY KIND, INCLUDING MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE.

NOTE: THE LOCATION OF LAKE GENEVA MAP WAS ADJUSTED TO COINCIDE WITH PHYSICAL EVIDENCE SUCH AS EXISTING PLANNING METRIC (STRUCTURES AND PAVEMENT EDGES)

PROPOSED FLOOR LEVELS:
 EXISTING FIRST FLOOR: 105.175' ± 100'-0" ON ARCHIT.
 T/FOUNDATION @ : 103.821' ± 98'-7 3/4"
 EXISTING GARAGE FLOOR @ DR: 100.3' ± 95'-1 1/2" ON ARCHIT.
 EXISTING LOWER LEVEL: 94.175' ± 89'-0" ON ARCHIT.
 NEW FRONT PORCH: 104.595' ± 99'-5"
 NEW REAR DECK: 105.008' ± 99'-10"

AVERAGE STREET YARD SETBACK
 $(20.2 + 20.1 + 19.3 + 14.6 + 22.3 + 17.6)/6 = 19.0'$

- LEGEND**
- FOUND IRON REBAR STAKE
 - ⊠ FOUND CONCRETE COUNTY MONUMENT W/BRASS CAP
 - ⊞ LOCATED H.P. GAS
 - ⊠ 12" X 3/4" SOLID STEEL PIN SET
 - XXXXX RECORDED AS
 - Q HYD PROPOSED HYDRANT W/6" AIDV VALVE & BOX
 - ⊠ PROPOSED 8" GATE VALVE & BOX
 - ⊠ PROPOSED CURB VALVE
 - ⊠ PROPOSED CLEAN OUT WITH FROST SLEEVE
 - FF PROPOSED FIRST FLOOR ELEVATION
 - GE PROPOSED GARAGE ENTRY ELEVATION
 - WO PROPOSED WALK OUT ELEVATION
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - ⊗ EXISTING TREE TO BE REMOVED
 - * PROPOSED POST LIGHT

NOTE: ALL EARTHWORK SHALL BE IN GENERAL ACCORDANCE WITH THE STATE OF WI. STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND SITE

NOTE: ALL SANITARY SEWER, STORM SEWER, AND WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

NOTE: UNLESS OTHERWISE NOTED ON THE PLAN, ALL SANITARY SEWER, STORM SEWER, WATER MAINS, ELECTRIC SERVICES, MANHOLES, CATCH BASINS, ETC. REPRESENT PROPOSED CONSTRUCTION.

NOTE: A DOUBLE RING OF SILT FENCE SHALL BE INSTALLED AROUND ALL MANHOLES AND CATCH BASIN INLETS.

NOTE: ALL STORM SEWER TO BE ADS N-12 GASKETED PIPE, ALL WATER MAIN TO BE C-9090 PVC, AND SANITARY SEWER TO BE SDR-35 PVC. ALL WATER SERVICES SHALL BE 1 1/2" TYPE "K" COPPER, 4 1/8" SANITARY SEWER LATERALS AS NOTED (TYP).

NOTE: ALL PAVED SURFACES SHALL CONSIST OF 8" COMPACTED CRUSHED AGGREGATE BASE MATERIAL IN TWO LIFTS, WITH 3" OF BITUMINOUS CONCRETE PAVEMENT PLACED IN TWO LIFTS 1 3/4" BINDER, 1 1/4" SURFACE.

NOTE: TOPSOIL STOCK PILES WILL BE DETERMINED BY THE ENGINEER AT TIME OF CONSTRUCTION.
 TOP CURB = 0.13' THAN CL

GENERAL NOTES:

1. DO NOT SCALE PLANS.
2. CONTRACTORS AND TRADES SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS ON THE JOB AS THEY RELATE TO INFORMATION SHOWN ON THE DRAWINGS, AND SHALL IMMEDIATELY NOTIFY G.C. OF ANY ERRORS OR DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR SHALL BE RESPONSIBLE FOR SAME.
3. ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES AND ORDINANCES AND REGULATIONS.
4. EXTERIOR DIMENSIONS SHOWN ON PLANS ARE REFERENCED TO THE EXTERIOR FACE OF FOUNDATIONS, EXTERIOR FACE OF MASONRY, AND EXTERIOR FACE OF STUDS AT THE FRAME WALLS. NOTE THAT WALL SHEATHING AT FRAME WALLS WILL EXTEND BEYOND THE EXTERIOR FACE OF FOUNDATION. REFER TO WALL SECTIONS.

THE PROJECT IS BEING BUILT WITHIN AN ESTABLISHED NEIGHBORHOOD, WITH NEIGHBORS LIVING ON ONE OR MORE ADJACENT SIDES. AS SUCH THE FOLLOWING REQUIREMENTS MUST BE ADHERED TO BY THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS.

- NO DRIVING THROUGH ROADWAY DITCH ALLOWED.
- NO PARKING OR STORAGE OF MATERIALS ON NEIGHBORS PROPERTY
- NO ON-STREET PARKING IN FRONT OF NEIGHBORS HOMES ALLOWED
- JOB SITE MUST BE KEPT CLEAN
- ALL TRASH AND DEBRIS MUST BE CONTAINED IN DUMPSTERS
- NO USE OF NEIGHBORS WATER OR ELECTRICITY ALLOWED

THE SITE PLAN CONTAINED IN THIS SET OF DRAWINGS SHALL BE CONSIDERED SCHEMATIC ONLY, AND WILL IN FACT BE USED TO CONSIDER THE ARCHITECTURAL APPROVAL AND SITE ENGINEERING PHASES OF THE WORK ONLY.

REFER TO THE SITE ENGINEERED DRAWING AS PREPARED FOR THE OWNER BY A LICENSED ENGINEER FOR MORE EXACT INFORMATION CONCERNING:

- PRECISE BUILDING LOCATION
- TOP OF FOUNDATION ELEVATIONS AND BENCHMARKS
- NORMAL AND HIGH WATER LEVELS
- FINISH GRADING AND CONTOURS
- EROSION CONTROL PROVISIONS
- SEWER AND WATER CONNECTIONS

THE SITE ENGINEERING DRAWING SHALL CONSTITUTE THE OFFICIAL SITE PLAN FOR THIS PROJECT IN THE EYES OF THE MUNICIPALITY HAVING JURISDICTION AND SHALL CONTROL ALL CONDITIONS LISTED ABOVE.

UTILITY NOTE:

THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY NOTIFICATION LOCATING SERVICE (DIGGERS HOT-LINE) AT LEAST 48 HOURS BEFORE COMMENCING ANY DIGGING WORK IN AREAS WITH UNDERGROUND UTILITY FACILITIES SO THAT ALL NECESSARY ON-SITE STAKING OR MARKINGS CAN BE ACCOMPLISHED.

SITE PLAN INFORMATION:
 THE SITE PLAN REPRESENTS A COMBINATION OF INFORMATION WITH ALL SITE RELATED INFORMATION COMING FROM THE SITE AND GRADING PLAN PREPARED BY FARRIS, HANSEN AND ASSOCIATES, INC. AND DATED 11-28-18. WITH ALL RELEVANT INFORMATION BEING SUPERIMPOSED UPON IT BY LOWELL MANAGEMENT.

COMPARE ALL SURVEY POINTS WITH ONE ANOTHER BEFORE CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY.

DISTANCES SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF. DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.

INFORMATION CONTAINED HEREIN HAS BEEN OBTAINED FROM THE OWNER OF THE PROPERTY OR FROM OTHER SOURCES THAT WE DEEM RELIABLE. WE HAVE NO REASON TO DOUBT ITS ACCURACY, BUT WE DO NOT GUARANTEE IT.

SITE NOTES:

1. ALL TREES AND SHRUBBERY OUTSIDE OF 10' (TEN) PERIMETER OF THE BUILDING STRUCTURE SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES, UNLESS OTHERWISE DIRECTED WITHIN THE OWNERS LINE OF ANY TREES TO REMAIN. DO NOT STORE ANY MATERIALS, STOCKPILE SOIL, PARK OR DRIVE VEHICLES OR EQUIPMENT, CHANGE EXISTING GRADE, WATER LEVEL, OR DRAINAGE PATTERNS, UNLESS SPECIFICALLY PERMITTED TO DO SO BY LOWELL MANAGEMENT. DAMAGED TREES SHALL BE REPLACED BY NEGLIGENT PARTY WITH STOCK OF EQUAL SIZE OR VALUE.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS. VERIFY GRADES AND RELATIVE FLOOR LEVELS IN FIELD PRIOR TO EXCAVATION AND MAKE ADJUSTMENTS AS REQUIRED TO ENSURE PROPER DRAINAGE.

SURVEY INFORMATION:
 AFTER THE FOUNDATION HAS BEEN PAIRED THE LOCATION TO BE LOCATED AND DRAWN BY A LICENSED WISCONSIN LAND SURVEYOR.

SHEET INDEX

NO.	DESCRIPTION
BS-1	OVERALL SITE PLAN BUILDING SITE NOTES & LEGENDS
AB-1	AS-BUILT PLANS
AB-2	AS-BUILT ELEVATIONS
AB-3	AS-BUILT ELECTRICAL PLANS
AB-4	DEMOS PLANS
D-1	FOUNDATION PLAN NOTES
A-1	LOWER LEVEL PLAN NOTES/ 1ST FLOOR FRAMING
A-2	FIRST FLOOR PLAN CEILING & 2ND FLOOR FRAMING/ NOTES/ LEGENDS
A-3	SECOND FLOOR PLAN NOTES, LEGENDS
A-4	ROOF PLAN, FRAMING/ USD BRACING PLAN/ NOTES
A-5	ELEVATION
A-6	WALL DETAILS
ME-1	LOWER LEVEL & FIRST FLOOR ELECTRICAL PLAN/ ELECT. & PLUMBING NOTES & LEGENDS
ME-2	SECOND FLOOR ELECTRICAL PLAN/ ELECTRIC NOTES & LEGENDS

LANDSCAPE SURFACE RATIO

LOT:	7,876.85 SQ. FT. - .18 ACRES
2150.18 SQ. FT. - NEW HOUSE WITH GARAGE, REAR DECK, FRONT PORCH	
92.78 SQ. FT. - NEW FRONT WALKWAY	
197.28 SQ. FT. - EXISTING DRIVEWAY	
228.88 SQ. FT. - NEW DRIVEWAY	
347.38 SQ. FT. - WALK AND STAIR TO LAKE	
52.21 SQ. FT. - PATIO	
100.5 SQ. FT. - EXISTING SHORELINE PATH	
TOTAL RATIO 3068.28 / 7,876.85 = .4028	
MINIMUM LANDSCAPE SURFACE RATIO (LSR) REQ'D 50%	
PROPOSED LANDSCAPE RATIO (LSR) 59.77% (GREENSPACE)	

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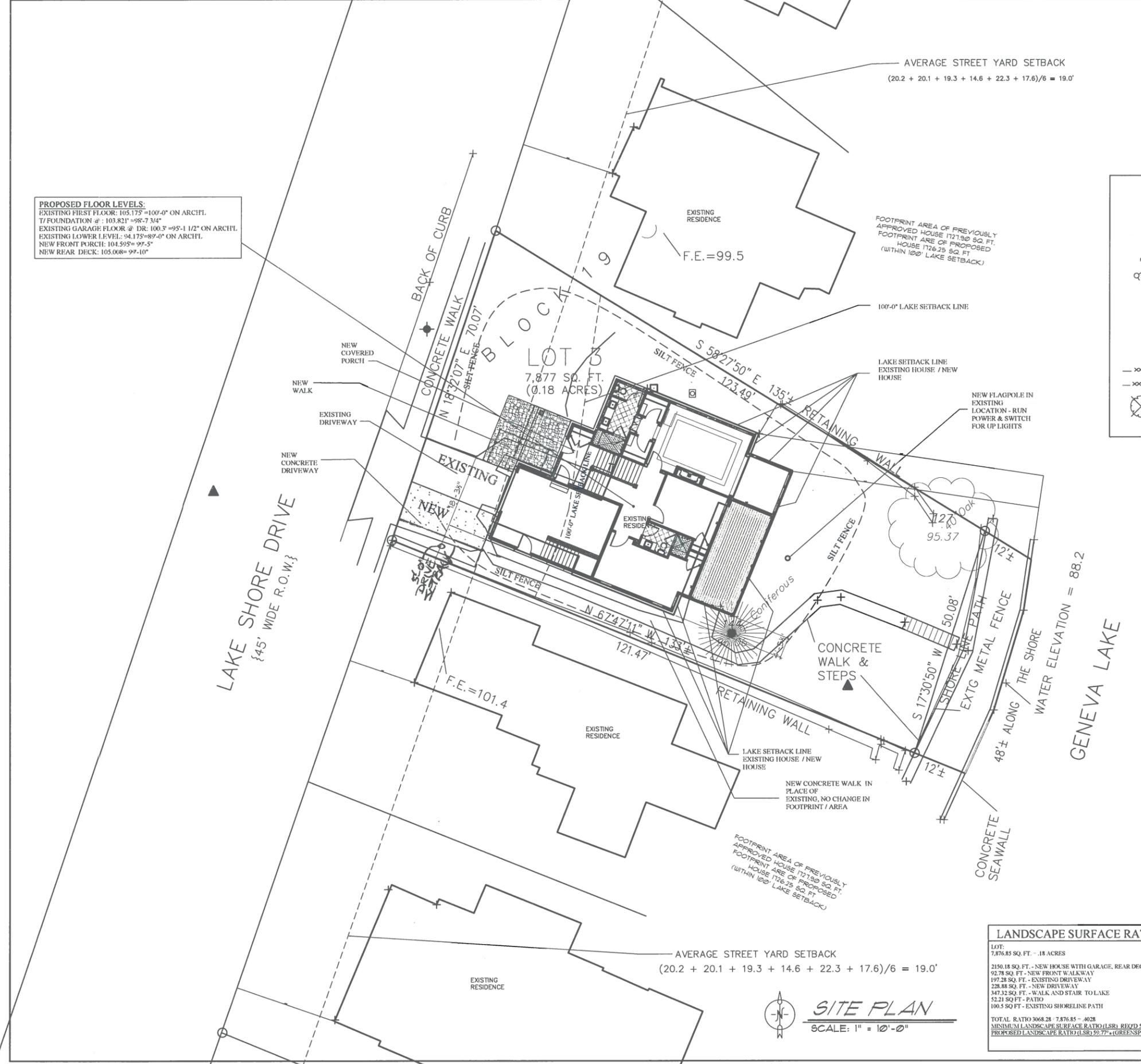
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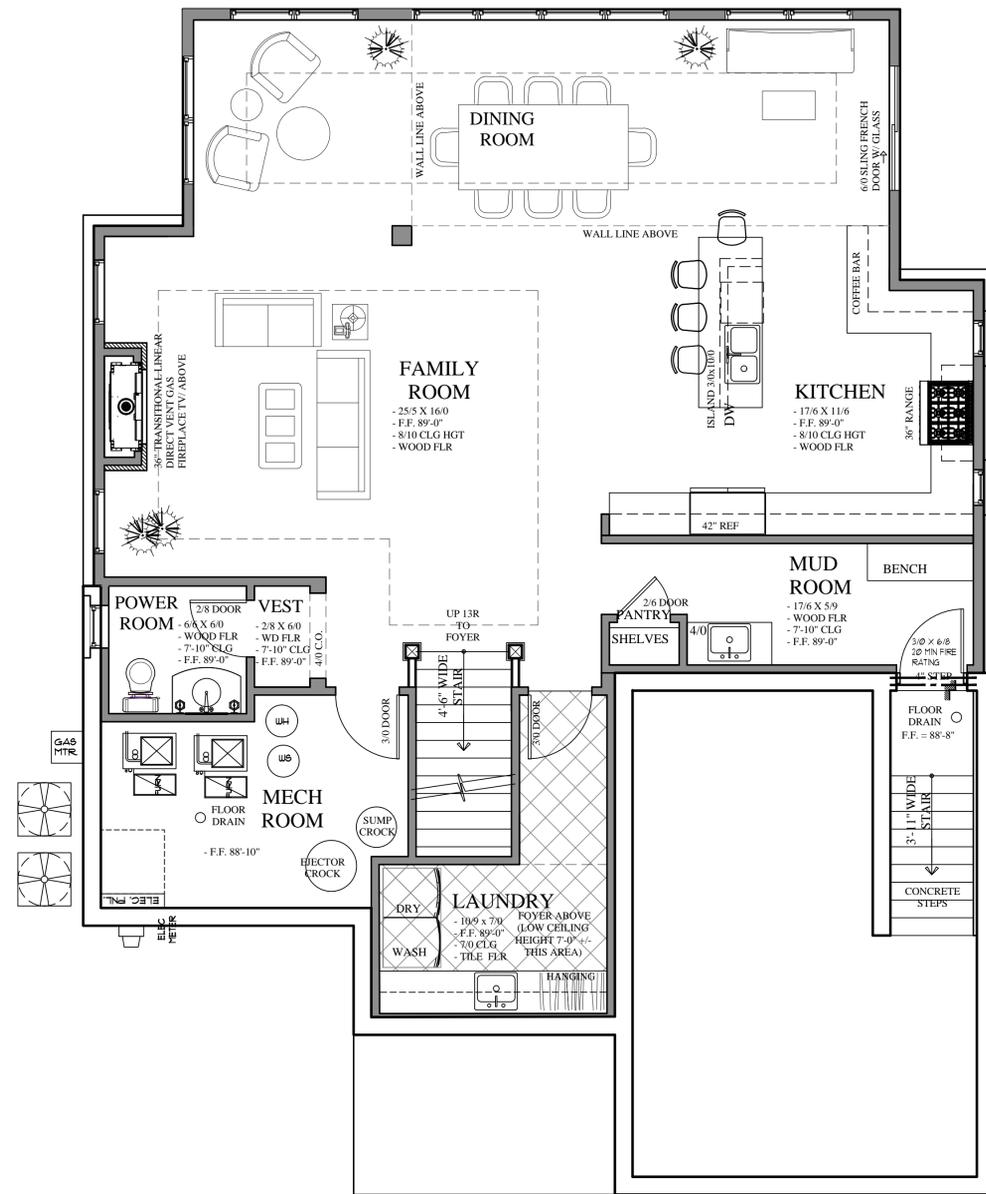


the PECORA RESIDENCE
 1550 LAKE SHORE DRIVE
 LAKE GENEVA, WI 53147

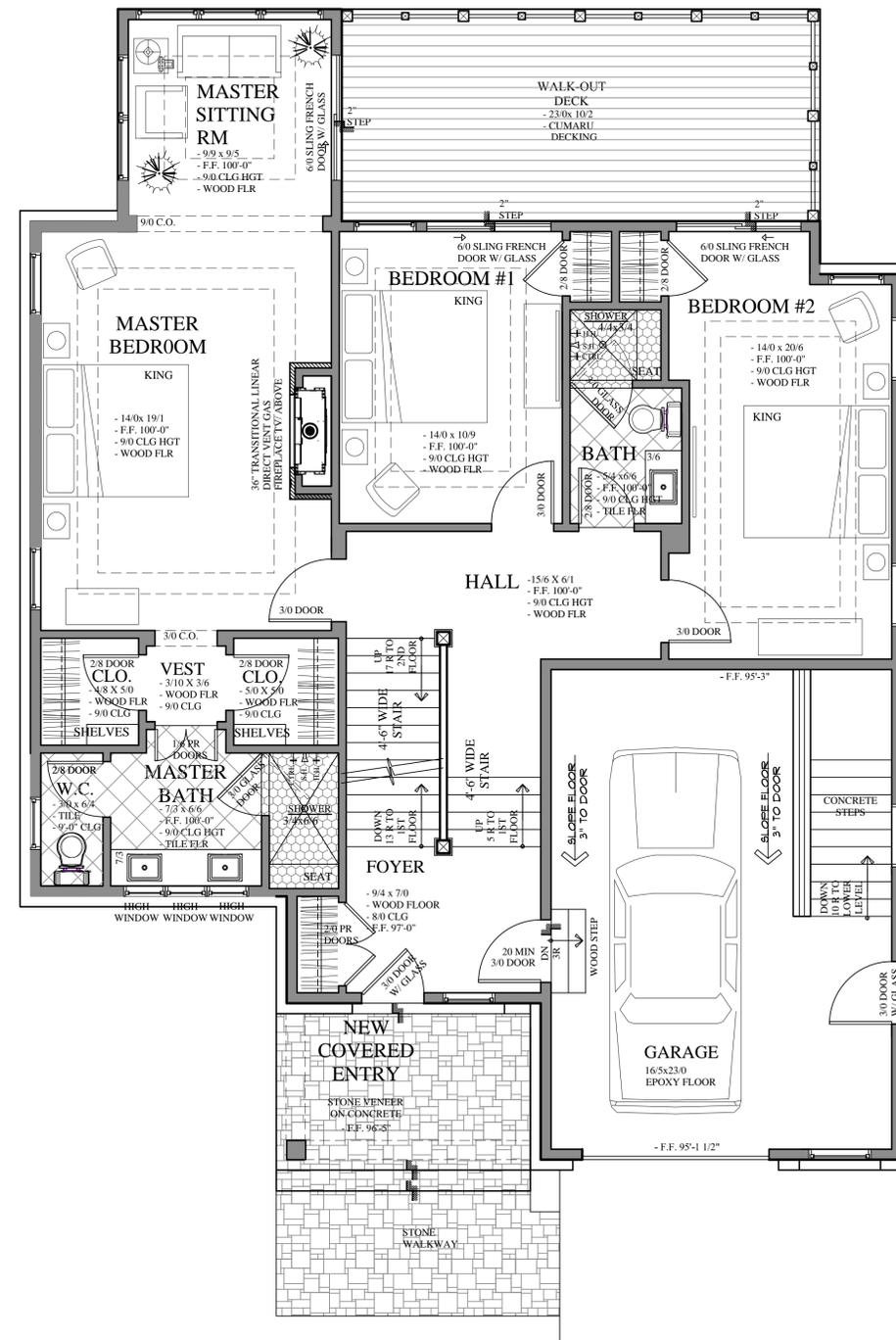
APPROVAL SET	08-01-19
PROJECT NUMBER	0000
DATE	08-01-19
S-1	

SITE PLAN
 SCALE: 1" = 10'-0"





LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"
APPROXIMATE



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
APPROXIMATE

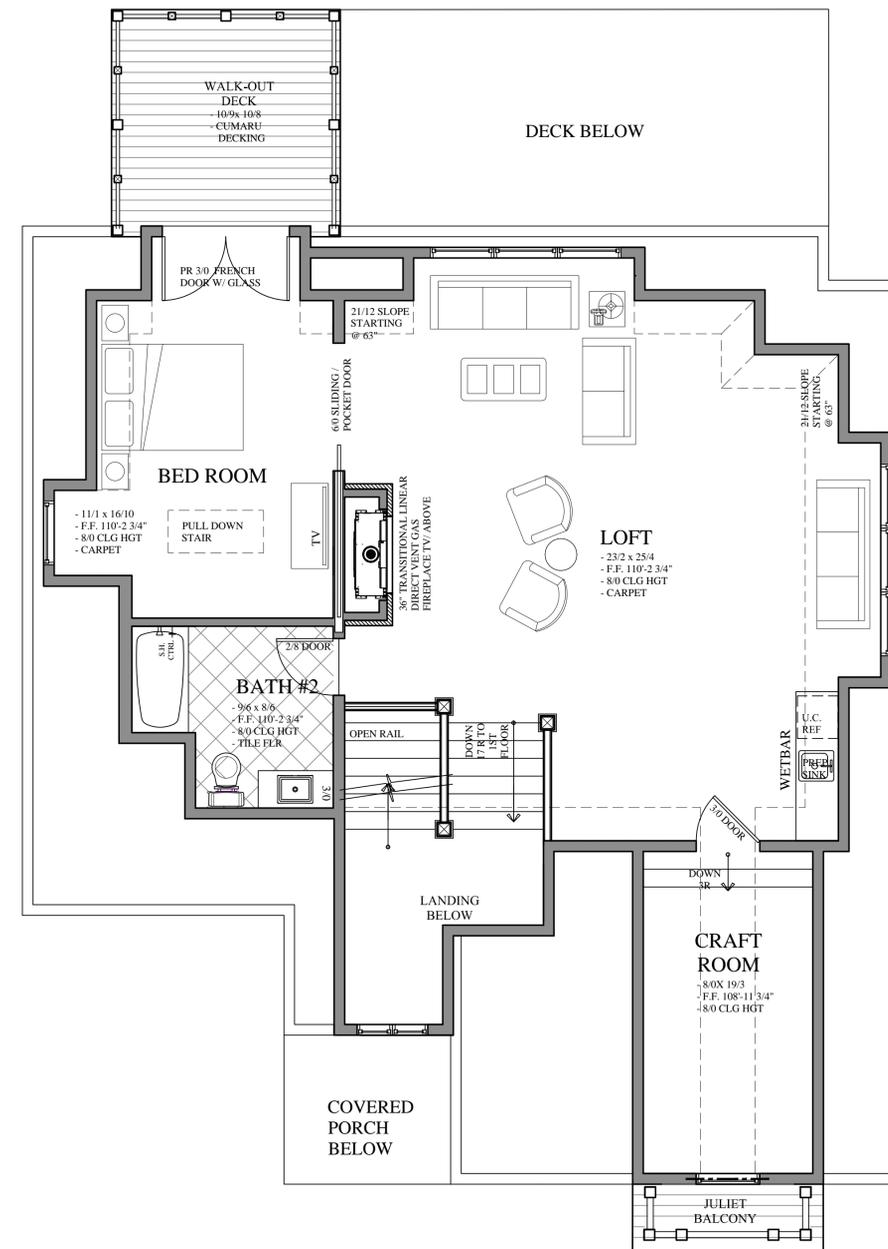
NEW SQUARE FOOTAGE	
L.L. FLR:	1,409 SQ. FT.
1ST FLR:	1,341 SQ. FT.
2ND FLR:	1,052 SQ. FT.

TOTAL:	3,802 SQ. FT.

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SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 APPROXIMATE

NEW SQUARE FOOTAGE	
L.L. FLR:	1,409 SQ. FT.
1ST FLR:	1,341 SQ. FT.
2ND FLR:	1,052 SQ. FT.

TOTAL:	3,802 SQ. FT.

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the PECORA RESIDENCE
 1550 LAKE SHORE DRIVE
 GENEVA MANOR LAKE GENEVA, WI 53147

PROJECT NUMBER	0000
DATE	08-01-19
A-3	

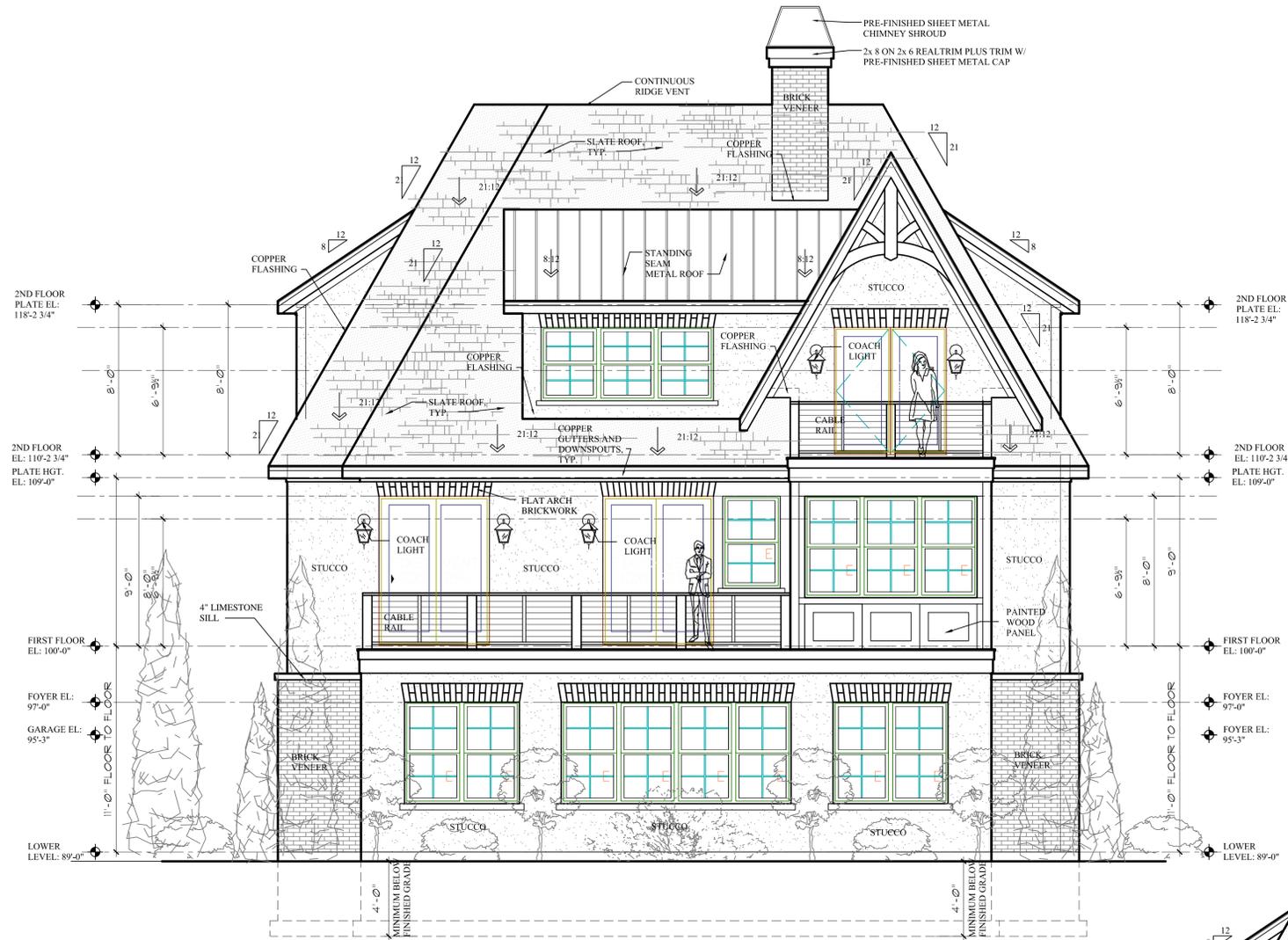
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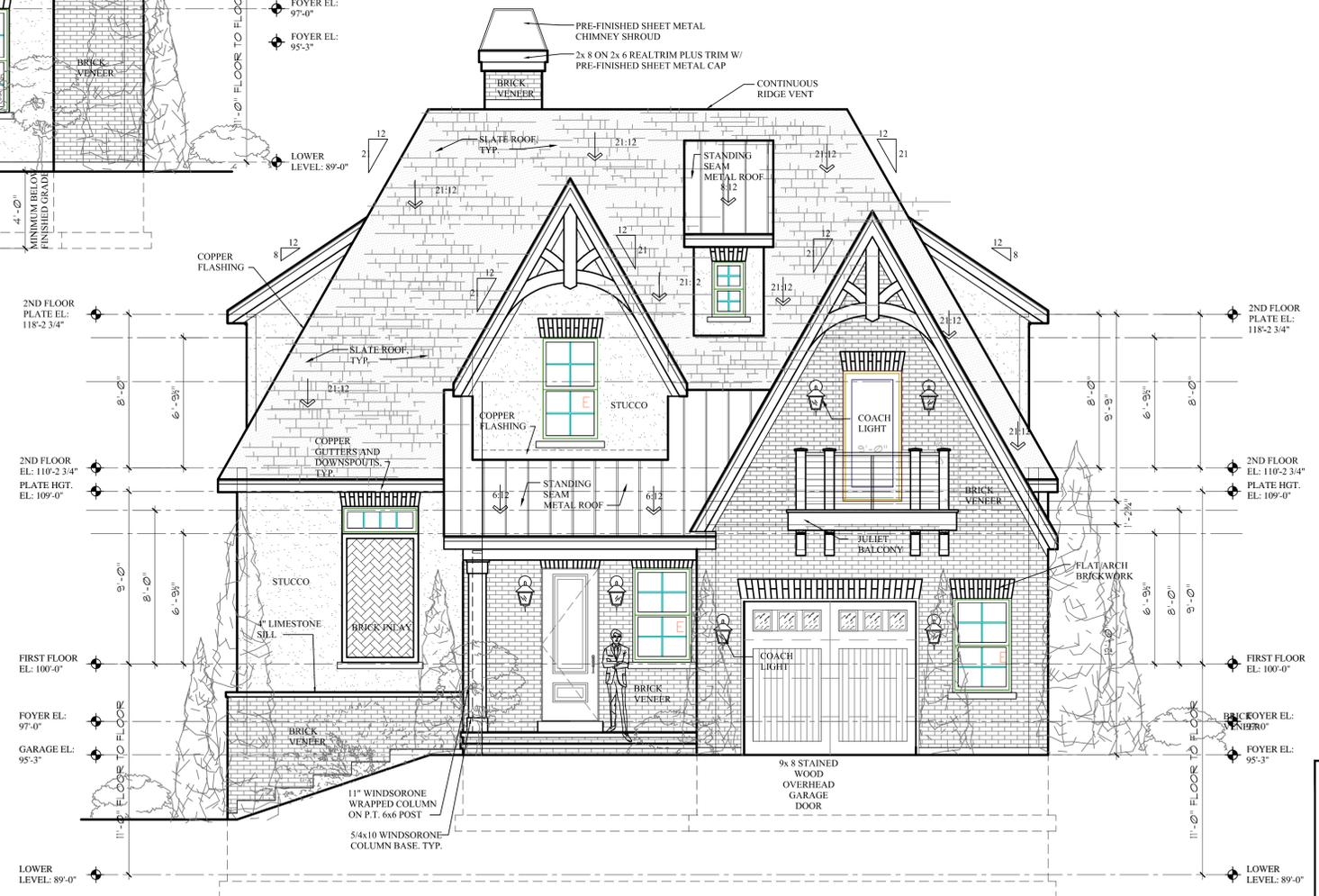


the PECORA RESIDENCE
 1550 LAKE SHORE DRIVE
 GENEVA MANOR LAKE GENEVA, WI 53147

PROJECT NUMBER	0000
DATE	08-01-19
A-5	



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

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EAST ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"

the PECORA RESIDENCE
 1550 LAKE SHORE DRIVE
 GENEVA MANOR LAKE GENEVA, WI 53147

PROJECT NUMBER	0000
DATE	08-01-19
A-6	

STRUCTURAL STEEL NOTES:

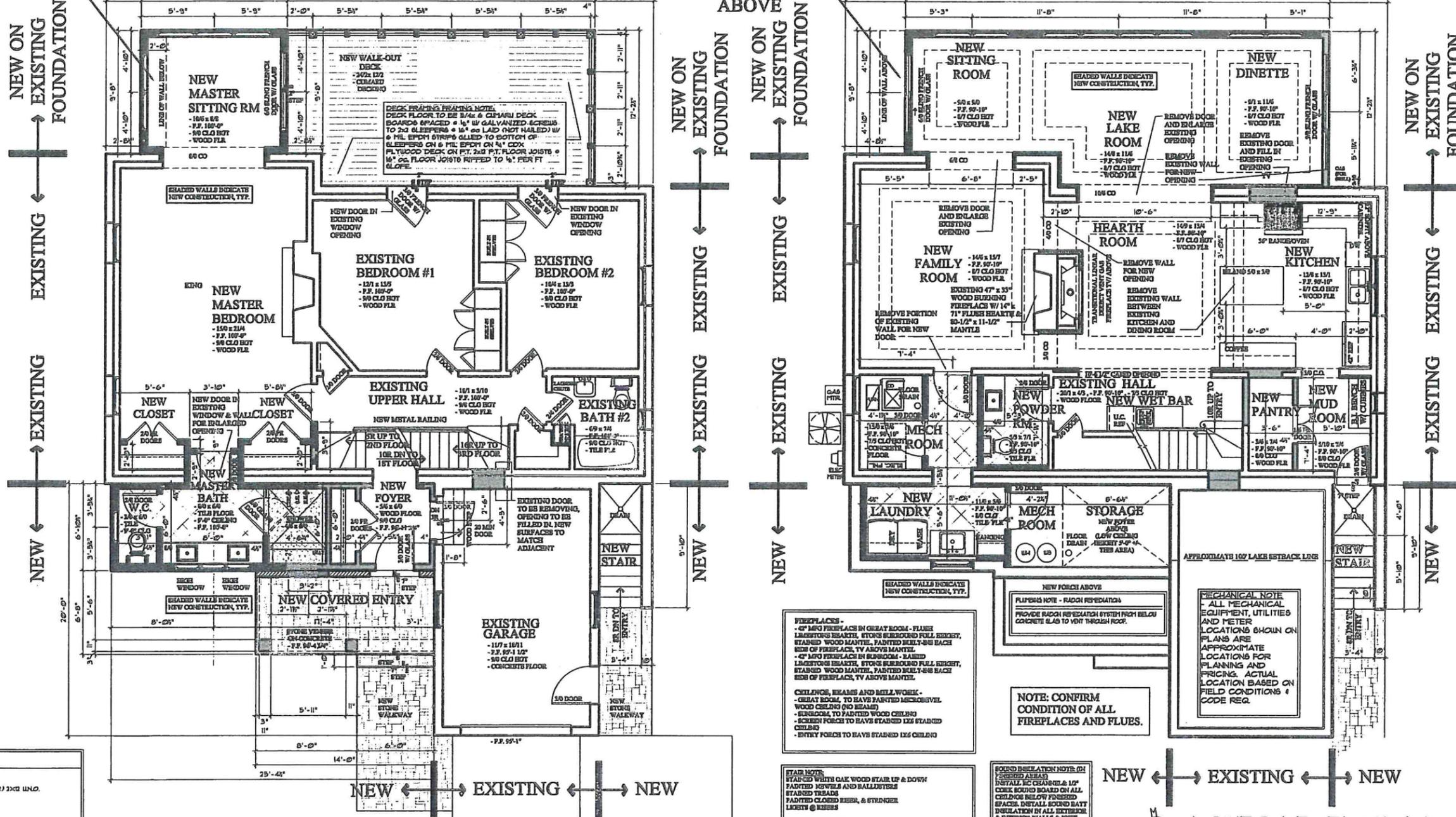
1. THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATION FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDITION FOR A-36 STEEL.
2. ALL STEEL SHALL BE SHOP PRIMED WITH RUST-INHIBITIVE PRIMER.
3. REINFORCING STEEL FOR FORMED-IN-PLACE CONCRETE SHALL BE ASTM A63 GRADE 40 FOR #5 AND #4 BARS, AND GRADE 60 FOR #3 BARS AND LARGER.
4. ALL WELDED WIRE REINFORCING MESH SHALL BE ASTM A-185.
5. REINFORCING STEEL SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE UNLESS OTHERWISE NOTED.
6. LAP ALL REINFORCING 30 DIAMETERS. LAP WELDED WIRE MESH 6".
7. PROVIDE 3'-0" X 3'-0" CORNER BARS OF THE SAME SIZE AND NUMBER AS THE EXISTING HORIZONTAL WALL REINFORCING UNLESS OTHERWISE DETAILED.
8. PROVIDE FOR EACH LAYER OF WALL OR SLAB STEEL, TWO (2) BARS DIAGONALLY AT ALL OPENING CORNERS, UNLESS OTHERWISE SPECIFIED.
9. WHENEVER AN APPROVED PIPE OR CONDUIT EXTENDS THROUGH A BEAM, PROVIDE ONE ADDITIONAL STRIP ON EACH SIDE OF THE OPENING.
10. A CONCRETE PROTECTION FOR REINFORCING BARS TO BE AS FOLLOWS:
FOOTINGS: 3" SLAB + GULLS 3/4"
OTHER BEAMS AND COLUMNS:
1. FABRICATION AND ERECTION OF STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO THE AISC CODE OF STANDARD PRACTICE UNLESS OTHERWISE DETAILED.
2. ALL WELDING SHALL COMPLY WITH THE AISC STRUCTURAL STEEL CODE. ALL WELDING SHALL BE DONE BY AISC PRE-QUALIFIED WELDERS, CERTIFIED FOR WELDING.
3. COLUMN BASE PLATES WITH OVERLAP HOLES SHALL HAVE PLATE BUSHERS PROVIDED WITH FLANGES ON BOTH ENDS.
4. UNLESS OTHERWISE DETAILED, BEAMS SHALL RUN CONTINUOUSLY OVER PIPE COLUMNS.
5. BOLTED CONNECTIONS SHALL BE MADE WITH A-235 HIGH STRENGTH BOLTS. CONNECTIONS SHALL BE SUPPORTED AS A MINIMUM ONE-HALF THE TOTAL UNIFORM CAPACITY (UHC) IN THE AISC TABLES OF UNIFORM LOAD CONSTANTS FOR THE GIVEN BEAM SPAN AND STEEL SPECIFIED, UNLESS OTHERWISE DETAILED. BEAM-TO-BEAM AND BEAM-TO-COLUMN JOINT CONNECTIONS SHALL BE MADE WITH DOUBLE ANGLES UNLESS OTHERWISE DETAILED.
6. WHERE JOISTS ARE WELDED TO SUPPORTING BEAMS, THE WELDING FIELD SHALL BE 3/4" X 7" EACH SIDE.
7. WHERE BEAMS SUPPORT JOISTS FROM ONLY ONE SIDE, JOIST SEAT SHALL EXTEND ONE INCH (1") BEYOND BEAM CENTERLINE.

CONCRETE AND EARTHWORK

1. LABORED SOIL BEARING CAPACITY - 2500 PSF - SOIL TYPES G2 AND G3 (SANDY GRAVEL AND/OR GRAVEL). IF ACTUAL CONDITIONS ARE DIFFERENT (SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL - TYPES G1, G1.5, G1.5.1, G1.5.2, G1.5.3, G1.5.4, G1.5.5, G1.5.6, G1.5.7, G1.5.8, G1.5.9, G1.5.10, G1.5.11, G1.5.12, G1.5.13, G1.5.14, G1.5.15, G1.5.16, G1.5.17, G1.5.18, G1.5.19, G1.5.20, G1.5.21, G1.5.22, G1.5.23, G1.5.24, G1.5.25, G1.5.26, G1.5.27, G1.5.28, G1.5.29, G1.5.30, G1.5.31, G1.5.32, G1.5.33, G1.5.34, G1.5.35, G1.5.36, G1.5.37, G1.5.38, G1.5.39, G1.5.40, G1.5.41, G1.5.42, G1.5.43, G1.5.44, G1.5.45, G1.5.46, G1.5.47, G1.5.48, G1.5.49, G1.5.50, G1.5.51, G1.5.52, G1.5.53, G1.5.54, G1.5.55, G1.5.56, G1.5.57, G1.5.58, G1.5.59, G1.5.60, G1.5.61, G1.5.62, G1.5.63, G1.5.64, G1.5.65, G1.5.66, G1.5.67, G1.5.68, G1.5.69, G1.5.70, G1.5.71, G1.5.72, G1.5.73, G1.5.74, G1.5.75, G1.5.76, G1.5.77, G1.5.78, G1.5.79, G1.5.80, G1.5.81, G1.5.82, G1.5.83, G1.5.84, G1.5.85, G1.5.86, G1.5.87, G1.5.88, G1.5.89, G1.5.90, G1.5.91, G1.5.92, G1.5.93, G1.5.94, G1.5.95, G1.5.96, G1.5.97, G1.5.98, G1.5.99, G1.5.100, G1.5.101, G1.5.102, G1.5.103, G1.5.104, G1.5.105, G1.5.106, G1.5.107, G1.5.108, G1.5.109, G1.5.110, G1.5.111, G1.5.112, G1.5.113, G1.5.114, G1.5.115, G1.5.116, G1.5.117, G1.5.118, G1.5.119, G1.5.120, G1.5.121, G1.5.122, G1.5.123, G1.5.124, G1.5.125, G1.5.126, G1.5.127, G1.5.128, G1.5.129, G1.5.130, G1.5.131, G1.5.132, G1.5.133, G1.5.134, G1.5.135, G1.5.136, G1.5.137, G1.5.138, G1.5.139, G1.5.140, G1.5.141, G1.5.142, G1.5.143, G1.5.144, G1.5.145, G1.5.146, G1.5.147, G1.5.148, G1.5.149, G1.5.150, G1.5.151, G1.5.152, G1.5.153, G1.5.154, G1.5.155, G1.5.156, G1.5.157, G1.5.158, G1.5.159, G1.5.160, G1.5.161, G1.5.162, G1.5.163, G1.5.164, G1.5.165, G1.5.166, G1.5.167, G1.5.168, G1.5.169, G1.5.170, G1.5.171, G1.5.172, G1.5.173, G1.5.174, G1.5.175, G1.5.176, G1.5.177, G1.5.178, G1.5.179, G1.5.180, G1.5.181, G1.5.182, G1.5.183, G1.5.184, G1.5.185, G1.5.186, G1.5.187, G1.5.188, G1.5.189, G1.5.190, G1.5.191, G1.5.192, G1.5.193, G1.5.194, G1.5.195, G1.5.196, G1.5.197, G1.5.198, G1.5.199, G1.5.200, G1.5.201, G1.5.202, G1.5.203, G1.5.204, G1.5.205, G1.5.206, G1.5.207, G1.5.208, G1.5.209, G1.5.210, G1.5.211, G1.5.212, G1.5.213, G1.5.214, G1.5.215, G1.5.216, G1.5.217, G1.5.218, G1.5.219, G1.5.220, G1.5.221, G1.5.222, G1.5.223, G1.5.224, G1.5.225, G1.5.226, G1.5.227, G1.5.228, G1.5.229, G1.5.230, G1.5.231, G1.5.232, G1.5.233, G1.5.234, G1.5.235, G1.5.236, G1.5.237, G1.5.238, G1.5.239, G1.5.240, G1.5.241, G1.5.242, G1.5.243, G1.5.244, G1.5.245, G1.5.246, G1.5.247, G1.5.248, G1.5.249, G1.5.250, G1.5.251, G1.5.252, G1.5.253, G1.5.254, G1.5.255, G1.5.256, G1.5.257, G1.5.258, G1.5.259, G1.5.260, G1.5.261, G1.5.262, G1.5.263, G1.5.264, G1.5.265, G1.5.266, G1.5.267, G1.5.268, G1.5.269, G1.5.270, G1.5.271, G1.5.272, G1.5.273, G1.5.274, G1.5.275, G1.5.276, G1.5.277, G1.5.278, G1.5.279, G1.5.280, G1.5.281, G1.5.282, G1.5.283, G1.5.284, G1.5.285, G1.5.286, G1.5.287, G1.5.288, G1.5.289, G1.5.290, G1.5.291, G1.5.292, G1.5.293, G1.5.294, G1.5.295, G1.5.296, G1.5.297, G1.5.298, G1.5.299, 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G1.850, G1.851, G1.852, G1.853, G1.854, G1.855, G1.856, G1.857, G1.858, G1.859, G1.860, G1.861, G1.862, G1.863, G1.864, G1.865, G1.866, G1.867, G1.868, G1.869, G1.870, G1.871, G1.872, G1.873, G1.874, G1.875, G1.876, G1.877, G1.878, G1.879, G1.880, G1.881, G1.882, G1.883, G1.884, G1.885, G1.886, G1.887, G1.888, G1.889, G1.890, G1.891, G1.892, G1.893, G1.894, G1.895, G1.896, G1.897, G1.898, G1.899, G1.900, G1.901, G1.902, G1.903, G1.904, G1.905, G1.906, G1.907, G1.908, G1.909, G1.910, G1.911, G1.912, G1.913, G1.914, G1.915, G1.916, G1.917, G1.918, G1.919, G1.920, G1.921, G1.922, G1.923, G1.924, G1.925, G1.926, G1.927, G1.928, G1.929, G1.930, G1.931, G1.932, G1.933, G1.934, G1.935, G1.936, G1.937, G1.938, G1.939, G1.940, G1.941, G1.942, G1.943, G1.944, G1.945, G1.946, G1.947, G1.948, G1.949, G1.950, G1.951, G1.9

NEW 2'-0"
CANTILEVERED
ADDITION

NEW 2'-0"
CANTILEVERED
ADDITION
ABOVE
EXISTING
FOUNDATION



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

FRAMING LEGEND

BEAMS

ALL HEADERS TO BE A MIN. OF (2) 2X12 UNO.

B-1 2 - 2x6
B-2 2 - 2x6
B-3 2 - 2x6
B-4 2 - 2x6 w/ 1/2" PLYWOOD FLITCH PLATE
B-5 2 - 2x6 w/ 1/2" STEEL FLITCH PLATE THRU-BOLTED 24" O.C. STAGGERED
B-6 2 - 2x6

M-1 2 - 1 3/4" x 9 1/2" MICROLAM LVL
M-2 2 - 1 3/4" x 9 1/2" MICROLAM LVL
M-3 2 - 1 3/4" x 11 7/8" MICROLAM LVL
M-4 2 - 1 3/4" x 11 7/8" MICROLAM LVL
M-5 2 - 1 3/4" x 11 7/8" MICROLAM LVL
M-6 2 - 1 3/4" x 11 7/8" MICROLAM LVL
M-7 4 - 1 3/4" x 11 7/8" MICROLAM LVL

LINTELS

ALL MASONRY LINTELS FOR SPANS UP TO 6'-0" SHALL CONSIST OF ONE 4"x4"x14" ANGLE BEARING A MIN. OF 6" ON ADJACENT MASONRY UNO. SEE PLAN FOR SPAN OVER 6'-0", OR CONSULT ARCHITECT.

L-1 4x4x14" STEEL ANGLE LOOSE LINTEL
L-2 6x4x14" STEEL ANGLE LOOSE LINTEL (LLV)
L-3 6x4x14" STEEL ANGLE LOOSE LINTEL (LLV)

COLUMNS / POINT LOADS

C-1 3 - 2x4 COLUMN UNLESS NOTED OTHERWISE
C-2 3 - 2x6 COLUMN UNO, EXTERIOR WALL
C-3 POINT LOAD FROM ABOVE. SEE PLAN.
C-4 POINT LOAD FROM ABOVE. SEE PLAN.

TYPICAL PLAN NOTE:

SEE SHEET G1 FOR GENERAL PLAN NOTES
SEE SHEET ME-1 FOR ELECTRICAL LEGEND, ELECTRICAL SCHEDULE AND NOTES.
SEE SHEET A2 FOR FRAMING NOTES & LEGEND.

TYPICAL INTERIOR PARTITION - 2x4 STUDS w/ 1/2" GYP ED EACH SIDE EXCEPT AT NEW BATHROOM WALLS WHERE 1/2" WATER RESISTANT GYP ED IS TO BE USED. OTHER STD WALLS AS DETAIL.

TYPICAL EXTERIOR PARTITION - 2x6 STUDS w/ 1/2" GYP ED INTERIOR SIDE w/ 7/8" SHEATHING PER DETAILS. EXTERIOR FINISH PER ELEV & DETAILS.

ALL DIMENSIONS ARE TO EXTERIOR FACE OF MASONRY, SHEATHING, OR CONC FDN WALL UNO.

PROVIDE SOUND BATT INSULATION AT ALL FLOORS, WALLS AND CEILING OF LIVING SPACES.

FLOORING NOTE:

FLOORING FEATURES TO BE POLISHED CIRCLES
SEE LEVEL SCHEDULE (TYPICAL)
POLISHED CIRCLES HARDWARE
POLISHED CIRCLES FIXTURES
TOILETS: TOTO, WHITE

CABINETS AND COUNTERTOPS NOTE:

FRUIT CABINETS, FINISHES AND COUNTERS PER GCC PLANS
PAINTED CABINETS TERROUCE-OUT
KITCHEN CABINETS, PAINTED WHITE WITH ROSET DOORS
PAINTED CLOSET DOORS, 1/2" STRONGER
PAINTED FLOORS IN MECHANICAL ROOMS
TRIM:
- 1 1/2" BASE ALL FLOORS, PAINTED WHITE
- 4 1/2" CASING & DOOR TRIM, PAINTED
- PAINTED CROWN IN MAIN LIVING SPACES
- 1x4 WOOD CEILING ON FRONT COVERED & REAR SCREEN PORCHES

EXTERIOR DOOR NOTE:

ALL EXTERIOR DOORS 1 3/4" THICK DOORS, 3 PANEL PAINTED DOORS, ALL FLOORS
- 60 DOORS ON FIRST FLOOR
- 70 DOORS ON 2ND FLOOR, AND LOWER LEVEL
- ALL DOORS & CASING ORNEMENTS TO BE 60 ON FIRST FLOOR AND 70 ON 2ND FLOOR, AND LL, PAINTED JAMES
- METE HARDWARE, OED KNOBS

FIREPLACES -
- 4" MFG FIREPLACES IN GREAT ROOM - FLAME LAMINATORS BRACKET, STONE SURROUNDED FULL HEIGHT, STAINED WOOD MANTLE, PAINTED BUILT-UP BACK SIDE OF FIREPLACE, TV ABOVE MANTLE.
- 4" MFG FIREPLACE IN SUNROOM - BRACKET LAMINATORS BRACKET, STONE SURROUNDED FULL HEIGHT, STAINED WOOD MANTLE, PAINTED BUILT-UP BACK SIDE OF FIREPLACE, TV ABOVE MANTLE.

CEILING, BEAMS AND BELL WORK -
- GREAT ROOM, TO HAVE PAINTED MICROBEVEL WOOD CEILING (NO BEAMS)
- SUNROOM TO PAINTED WOOD CEILING
- SCREEN PORCH TO HAVE STAINED 1x2 STAINED CEILING
- ENTRY PORCH TO HAVE STAINED 1x2 CEILING

MECHANICAL NOTE:
- ALL MECHANICAL EQUIPMENT, UTILITIES AND PETER LOCATIONS SHOWN ON PLANS ARE APPROXIMATE LOCATIONS FOR PLANNING AND PRICING. ACTUAL LOCATION BASED ON FIELD CONDITIONS & CODE REQ.

STAIR NOTE:
STAINED WHITE OAK WOOD STAIR UP & DOWN
PAINTED NEWELS AND BALUSTERS
STAINED TREADS
PAINTED CLOSET RISER, & STRONGER
LEGHS @ RISERS
STAINED HANDRAIL
STAINED MATERIAL TO MATCH FLOOR FINISH

SOUND INSULATION NOTE (ON 2ND FLOOR):
INSTALL 1/2" GYPSUM & 1/2" CORE BOARD BOARD ON ALL CEILING BELOW FINISHED SPACES. INSTALL SOUND BATT INSULATION IN ALL INTERIOR & EXTERIOR WALLS & JOIST SPACES STANDARD.

INTERIOR TRIM & FINISH NOTES:
- 3/4" WHITE OAK FLOOR, DARK STAINED.
- CASEY, BEDROOMS, PER PLANS
- CERAMIC TILE FLOORS IN BATHS AND LAUNDRY ROOM, LOCATIONS PER PLANS
- PAINTED FLOORS IN MECHANICAL ROOMS
TRIM:
- 1 1/2" BASE ALL FLOORS, PAINTED WHITE
- 4 1/2" CASING & DOOR TRIM, PAINTED
- PAINTED CROWN IN MAIN LIVING SPACES
- 1x4 WOOD CEILING ON FRONT COVERED & REAR SCREEN PORCHES

APPLIANCE NOTE:
- DISHWASHER / WOLF PACKAGE
- 50" RANGE
- 50" REFRIGERATOR
- DISHWASHER
- MICROWAVE
LAUNDRY:
- FULL SIZE W/D ON MAIN FLOOR

SQUARE FOOTAGE TABULATION

	EXISTING	NEW	TOTAL
LOWER LEVEL:	1254 SF	+ 150 SF	= 1404 SF
FIRST FLOOR:	967 SF	+ 297 SF	= 1264 S.F.
SECOND FLOOR:	666 SF	+ 42 SF	= 708 ST
TOTAL:	2,887 SF	+ 489 SF	= 3,376 TOTAL

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LOWELL MANAGEMENT, INC.
CUSTOM HOMES - ARCHITECTURAL SERVICES - LAND DEVELOPMENT
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LOWELL
— CUSTOM HC #5 —

the PECORA RESIDENCE
1550 LAKE SHORE DRIVE
LAKE GENEVA, WI 53147

APPROVAL
EST 02/02/19

PROJECT NUMBER
0000

DATE
01-08-19

A-2

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: August 19, 2019

Agenda Item: 12

Applicant:

Lake Geneva Public Library
918 W. Main St
Lake Geneva, WI 53147

Request:

Conditional Use Permit (CUP)
Reduction in message display to 30 seconds
Tax Key No. ZOP00348

Description:

The Lake Geneva Public Library is requesting for the reduction in message display to 30 seconds from the current 60 second time limit 98-802 sign zoning code.

The Library requests approval of a Conditional Use Permit (CUP) that would allow for the reduction on the display restrictions the library is located in the Estate Residential – 1 (ER-1) zoning district with the allowed approval of 98-802(3)(a) restrictions identified below.

- In accordance with zoning section 98-802(3)(a) Such sign shall only display information regarding events and information of general interest to the residents of Lake Geneva. Copy which may be considered as advertising a product, private or restricted participation event, or activity for private profit shall be prohibited.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning

Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance

adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

20P00348

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

918 W Main St
Lake Geneva WI 53147

NAME AND ADDRESS OF CURRENT OWNER:

Lake Geneva Public Library
918 W Main St, Lake Geneva WI 53147

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: 262-249-5299

ekornak@lakegeneva.lib.wi.us

NAME AND ADDRESS OF APPLICANT:

Emily Kornak - Library Director
918 W Main St, Lake Geneva WI 53147

TELEPHONE NUMBER & EMAIL OF APPLICANT: 262-249-5283

PROPOSED CONDITIONAL USE:

Digital sign for library events + announcements
30 second message display for static text messages
Complying with code 98-802 (3) community information signs.

ZONING DISTRICT IN WHICH LAND IS LOCATED:

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Bauer Sign Company
Bob Hacker
2500 S. 170th St, New Berlin WI 53151

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Electrical work + sign installation

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]:

Requesting waiver of \$400 fee.

10-4-18
DATE

Emily Kornak
SIGNATURE OF APPLICANT

MEMORANDUM

To: City of Lake Geneva
From: Mike Slavney, FAICP, City Planner
Date: August 13, 2019 for the August 19, 2019 Plan Commission Meeting
Re: Introduction to Property Owner Proposed Amendments to the City of Lake Geneva Comprehensive Plan's Future Land Use Map (Maps 5a and 5b) for 2019

Introduction

Every year, the City of Lake Geneva holds a Comprehensive Plan Amendment Cycle to consider property owner requests to change the Plan's Future Land Use Map (Maps 5a and 5b). In most years, this Cycle runs from May through October or November. This year's cycle began a month later, so as to coordinate with the Ten-Year Update of the entire Comprehensive Plan required by state law. This approach will allow the Plan Commission's review and recommendations for parcel-specific amendments to be folded into the Ten-Year Update process.

This year's Annual Plan Amendment Cycle allows for informal Plan Commission review of property owner Plan amendment proposals during the month of August. An agenda item is provided to allow property owners (including contract purchasers) to present their proposals to the Plan Commission, and why the proposed changes are beneficial to the property, the surrounding area, and the community as a whole. The Commission members may ask questions of the applicants, may discuss the proposals with one-another, and may invite members of the public to identify questions and concerns about the proposal. A motion to approve or deny the request can be made for the entire parcel, or for each proposed change within a parcel. State Law requires that amendments to a Comprehensive Plan be approved by both the Plan Commission, and (following a public hearing) by the Common Council.

Proposed Amendment to the Future Land Use Map for 2019

During this year's proposal period, one Comprehensive Plan amendment has been requested for formal review. It involves proposed changes to the Future Land Use Map for the "Bender Property" at the northwest quadrant of the Edwards Boulevard intersection with Townline Road (ZYUP00198). If the proposed amendment is approved by the Plan Commission and Common Council, then a paragraph describing the approved land use concept will be added to Comprehensive Plan's Land Use Chapter, in addition to the changes on the Future Land Use Map.

The attached materials include the application, a conceptual layout of the property, and three versions of the Future Land Use Map, including:

1. The current version of the Future Land Use Map;
2. The pattern of Land Use Categories proposed within amendment area; and,
3. The resulting Future Land Use Map if the proposed property owner amendments are approved by the Plan Commission and Common Council.

2019 Property Owner Proposed Amendments to the Future Land Use Map:

Proposed Amendments to the Future Land Use Map

(See attached Map 5b Central City Area Coverage):

1. **Parcel Number ZYUP00198:** Approximately 39 acres. Located at the northwest quadrant of the intersection of Edwards Boulevard and Town Line Road:

Current Future Land Use Map Designations for this Parcel:

The current Future Land Use Map has the entire parcel designated for the **Planned Neighborhood** land use category. This land use category is intended to result in a typical suburban neighborhood dominated by single-family detached homes, with some two-family and multi-family dwelling units, as well as some small-scale office and commercial land uses. The Comprehensive Plan's description of this land use category is found on attached pages 61-62.

Under the Plan's **Housing and Neighborhood Development Goals, Objectives, and Policies**, (found on attached pages 104-105), a minimum of 60% of all dwelling units must be single-family detached, while a maximum of 15% of the dwelling units could be two-family dwellings, and a maximum of 25% of the dwelling units could be in multi-family buildings. Small-scale institutional land uses (such as houses of worship or elementary schools), parks, and small-scale office and commercial buildings (in house-sized buildings using residential exterior materials) are also potentially allowed. The City controls the precise location and mix of land uses through the Zoning Map amendment process.

Proposed Future Land Use Map Designations for this Parcel:

Four specific land use categories are requested for this parcel:

1. Western Edge of the Parcel: The **Single-Family** land use category.

The proposed single-family land use category would enable the Single-Family zoning districts (SR-3 and SR-4) in this part of the property.

The resulting development would match the single-family development immediately to the west. This land use was requested by residents of the neighborhood at the neighborhood land use workshop in the fall of 2018.

2. West-Central and Northern Edge of the Parcel: The **Two-Family** land use category.

The proposed Two-Family land use category would enable the Two-Family zoning district (TR-6) in this part of the property.

The resulting duplex development would have higher densities than the proposed single-family development to the west, and lower densities than the proposed multi-family buildings in the south-central part of the parcel. This land use was recommended as a transition to multi-family by residents of the neighborhood at the neighborhood land use workshop in the fall of 2018.

3. South-Central Portion of the Parcel: The **Multi-Family** land use category.

The proposed Multi-Family land use category would enable the Multi-Family zoning district (MR-8) in this part of the property.

The resulting development would have a higher density than the single-family and duplex areas, and would form a transition to the proposed Planned Mixed Use development along Edwards Boulevard. This land use was proposed along the western edge of the property in the 2018 Plan Amendment cycle. That requested amendment was not approved by the Plan Commission. This year's proposal has much less land area proposed for the Multi-Family land use category, and separates this area from the single-family neighborhood to the west with transitions of single-family and duplex land uses. A Group Development conditional use permit, a Zoning Map amendment to the Multi-Family zoning district, or a Planned Development, would be required to approve a specific multi-family project.

4. Frontage of Edwards Boulevard: The **Planned Mixed-Use** land use category.

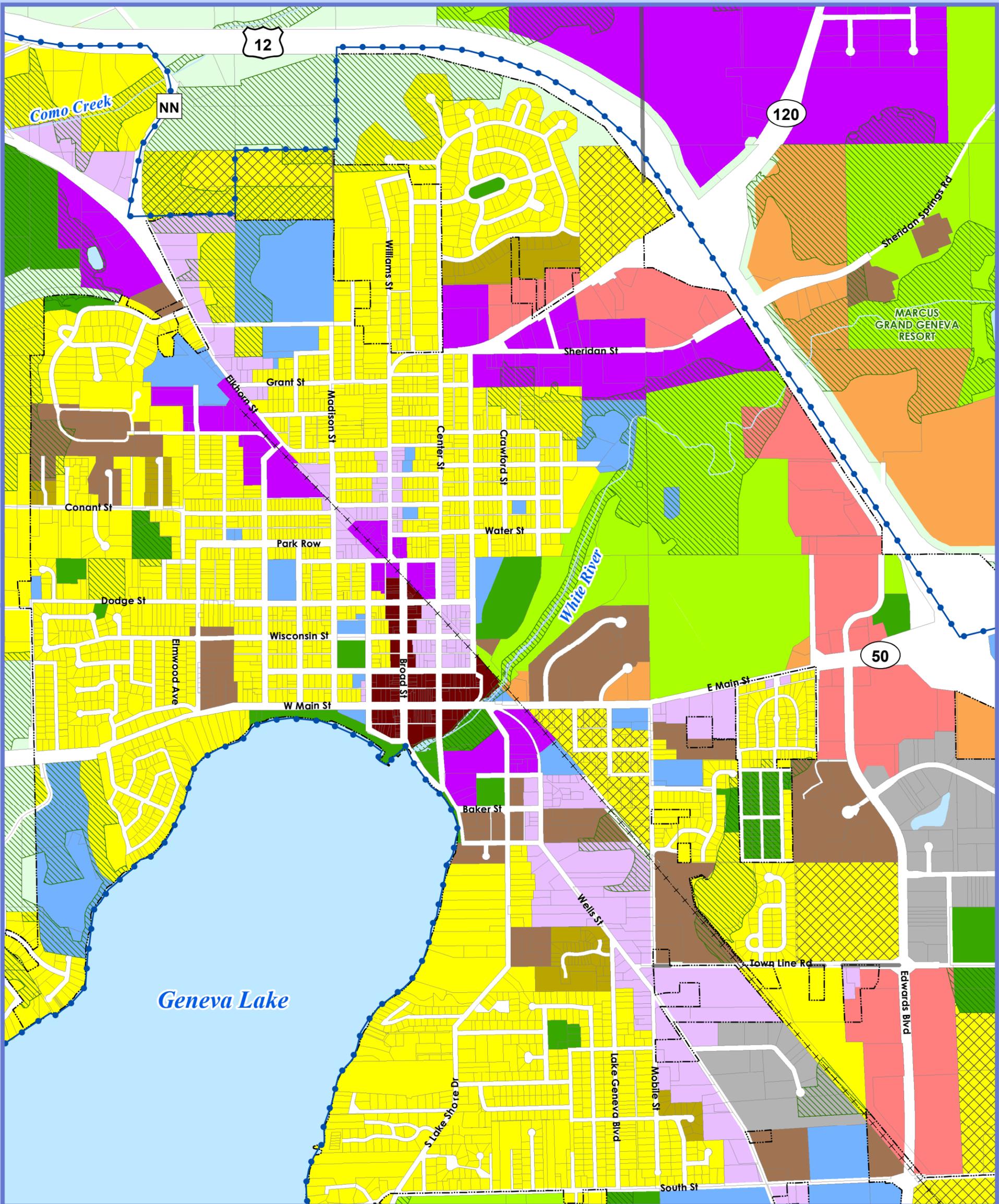
The proposed Planned Mixed-Use land use category would enable the Planned Office (PO), Planned Business (PB), or Institutional (I) Zoning Districts in this part of the property.

The resulting development would have the same range of land uses as the current Neighborhood Mixed Use land use category, but building floor areas could exceed 5,000 square feet. The Comprehensive Plan's description of this land use category is found on attached pages 62-63. The design and exterior materials of these buildings are *not* required to match those typical in single-family residences. Unlike the Planned Neighborhood land use category, there is no formula in the Plan that the mix of land uses must adhere to. The City controls the precise location and mix of land uses through the Zoning Map amendment process.

I suggest the following steps for the Plan Commission to follow these steps to consider this for agenda item:

1. Introduction by the City Planner
2. Presentation of the proposed Future Land Use Map Amendment by the applicant
3. Questions of the Applicant and City Staff by the Plan Commission
4. Comments from the Public
5. Discussion by the Plan Commission, including with City Staff

Note that no action will be taken by the Plan Commission at its meeting on August 19th.



Map 5b: Future Land Use - City of Lake Geneva Comprehensive Plan

Land Use Categories

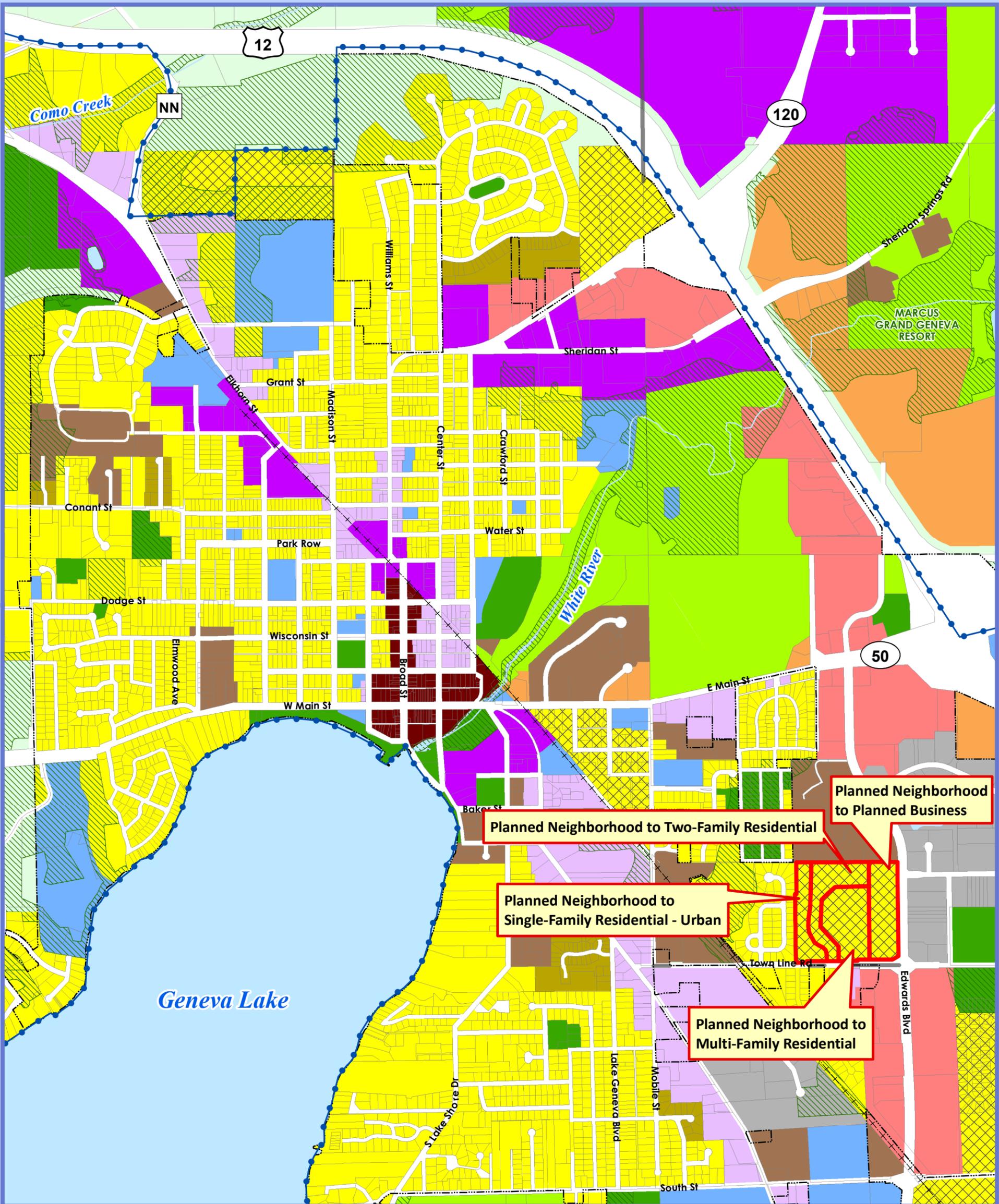
-  Agricultural & Rural
 -  Single Family Residential - Exurban
 -  Single Family Residential - Urban
 -  Two-Family/Townhouse Residential
 -  Multi-Family Residential
 -  Planned Neighborhood
 -  Neighborhood Mixed Use
 -  Planned Office
 -  Planned Business
- *Each "Planned Neighborhood" may include a mix of:
1. Single Family - Urban (predominate land use)
 2. Two-Family/Townhouse
 3. Multi-Family Residential
 4. Institutional & Community Services
 5. Neighborhood Mixed Use
 6. Public Park & Recreation
- 

-  Central Business District
 -  Planned Mixed Use
 -  Planned Industrial
 -  General Industrial
 -  Institutional & Community Services
 -  Private Recreation Facilities
 -  Public Park & Recreation
 -  Environmental Corridor
 -  Long Range Exurban Growth Area
- *Each "Planned Mixed Use Area" may include mix of:
1. Planned Office
 2. Multi-Family Residential
 3. Institutional & Community Services
 4. Planned Business
- 

-  City of Lake Geneva
-  Township Boundary
-  Urban Service Area Boundary
-  Extraterritorial Jurisdiction Boundary
-  Parcels
-  Surface Water
-  Abandoned Railroad



Adopted: December 14, 2009
 Amended: November 13, 2017
 Source: SEWRPC, WIDNR,
 Walworth County LIO, V&A



Map 5b: Future Land Use - City of Lake Geneva Comprehensive Plan

Land Use Categories

DRAFT

-  Agricultural & Rural
-  Single Family Residential - Exurban
-  Single Family Residential - Urban
-  Two-Family/Townhouse Residential
-  Multi-Family Residential
-  Planned Neighborhood
-  Neighborhood Mixed Use
-  Planned Office
-  Planned Business

-  Central Business District
-  Planned Mixed Use
-  Planned Industrial
-  General Industrial
-  Institutional & Community Services
-  Private Recreation Facilities
-  Public Park & Recreation
-  Environmental Corridor
-  Long Range Exurban Growth Area

*Each "Planned Mixed Use Area" may include mix of:

- 1. Planned Office
- 2. Multi-Family Residential
- 3. Institutional & Community Services
- 4. Planned Business

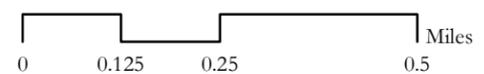


*Each "Planned Neighborhood" may include a mix of:

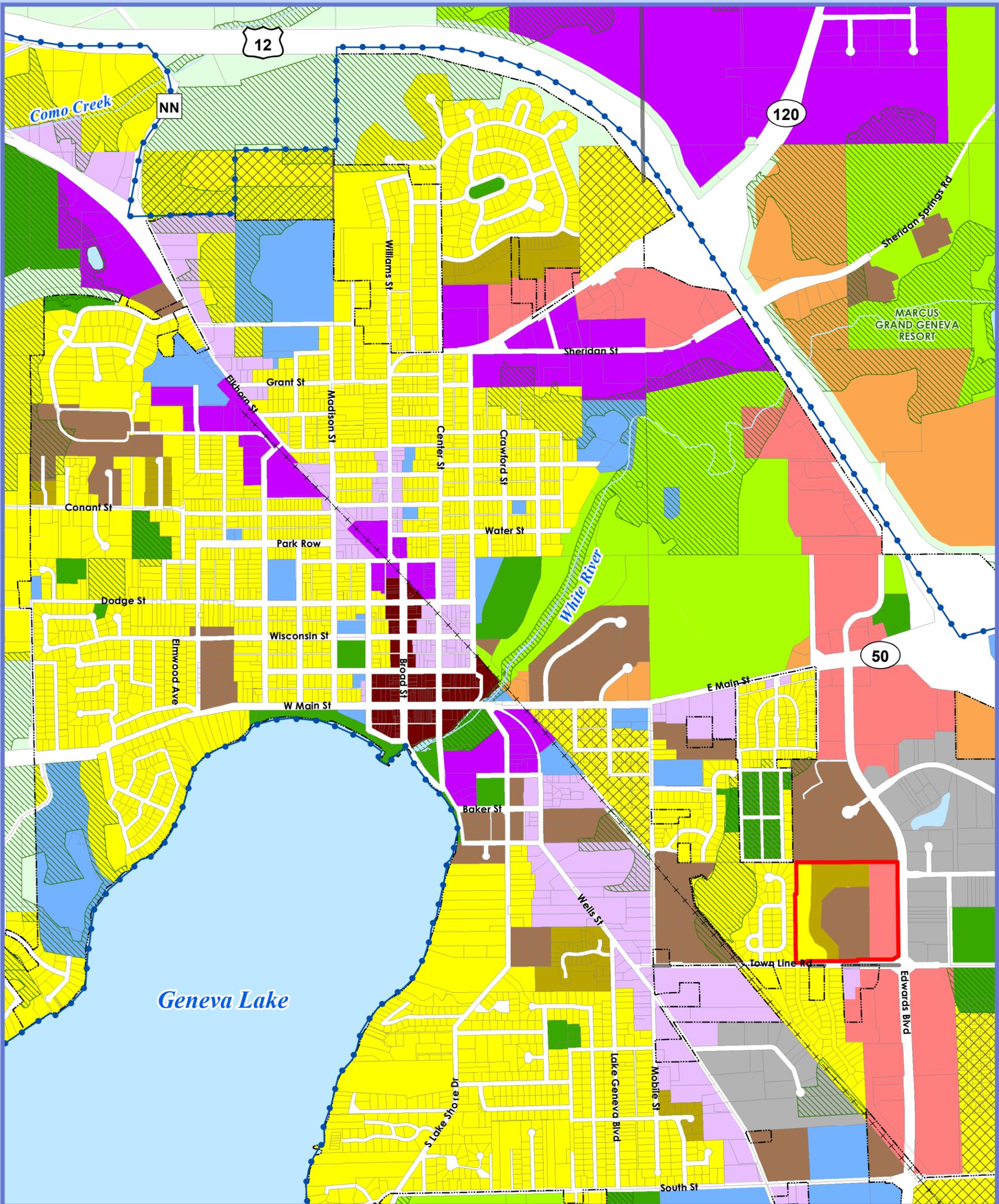
- 1. Single Family - Urban (predominate land use)
- 2. Two-Family/Townhouse
- 3. Multi-Family Residential
- 4. Institutional & Community Services
- 5. Neighborhood Mixed Use
- 6. Public Park & Recreation



-  City of Lake Geneva
-  Township Boundary
-  Urban Service Area Boundary
-  Extraterritorial Jurisdiction Boundary
-  Parcels
-  Surface Water
-  Abandoned Railroad



DRAFT: August 8, 2019
 Adopted: December 14, 2009
 Amended: November 13, 2017
 Source: SEWRPC, WIDNR, Walworth County LIO, V&A



Map 5b: Future Land Use - City of Lake Geneva Comprehensive Plan

Land Use Categories

DRAFT

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-  Neighborhood Mixed Use
-  Planned Office
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-  Central Business District
-  Planned Mixed Use
-  Planned Industrial
-  General Industrial
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-  Public Park & Recreation
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-  Long Range Exurban Growth Area

*Each "Planned Mixed Use Area" may include mix of:

- 1. Planned Office
- 2. Multi-Family Residential
- 3. Institutional & Community Services
- 4. Planned Business



-  City of Lake Geneva
-  Township Boundary
-  Urban Service Area Boundary
-  Extraterritorial Jurisdiction Boundary
-  Parcels
-  Surface Water
-  Abandoned Railroad



DRAFT: August 8, 2019
 Adopted: December 14, 2009
 Amended: November 13, 2017
 Source: SEWRPC, WIDNR,
 Walworth County LIO, V&A

**City of Lake Geneva
Amendment to the Comprehensive Plan
APPLICATION FORM**

PETITION: I, 120 PROPERTIES LLC hereby petition the City of Lake Geneva consider the following request for amendment to the Lake Geneva Comprehensive Plan:

Please check those that apply:

- Future Land Use Map (Map 5)
- Other Maps (Transportation Facilities Map, etc.)
- Text Amendment (policies, programs, etc.)
- Other

PROPERTY BEING APPLIED FOR: ZYUP #00198

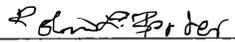
Name of Applicant: Person(s) or Firm	120 PROPERTIES LLC, RON AND ROBIN BEUDER, Members
Address:	W3167 WILDWOOD LANE, LAKE GENEVA, WI 53147
Daytime Telephone:	RON (847-775-9101) ROBIN (262) 215-4030 GARY DUNHAM (262) 215-3619
Email or Fax:	RON (reb1250@gmail) ROBIN (rvb727@gmail) (gdunham@keefeconsulting.com)
Property Owner Name and Address: If different from applicant	
Description of Property, Parcel Number, or Street Address: If request is related to a particular property	38.5 +/- ACRES LOCATED AT TOWNLINE/EDWARDS Blvd.
Summary of the Proposed Amendment Request: Please describe here (or on a separate sheet) your specific request for a Comprehensive Plan amendment. Provide any necessary maps or supporting data as needed, including conceptual development plans, if applicable.	SUBDIVISION OF LAND TO FOLLOWING ZONING DISTRICTS (SEE ATTACHED PROJ. LAYOUT) APPR 12 +/- APPR 11.5 +/- AMR-8 MULTI-FAMILY ZONING APPR 6 +/- SFR SINGLE FAMILY RESIDENTIAL APPR 9 +/-
Present Zoning: If applicable	RURAL HOLDING
Future Proposed Use: Attach additional pages and/or concept plan as appropriate.	CONCEPT PLAN AS ATTACHED

The Lake Geneva Plan Commission will consider the following criteria when making recommendations regarding amendments to the Comprehensive Plan. Please respond to the following questions:

If additional space is needed for your response, please attach additional sheets to this form.

1. How will the proposed amendment to the Comprehensive Plan benefit the public, City, and/or surrounding neighbors or neighborhoods?	
2. How does the request advance the goals, objectives and policies of the Comprehensive Plan?	
3. As it affects the amendment request, what circumstances have changed or what new information is now available since the 2009 adoption of the City's Comprehensive Plan, or in the case of a previously requested amendment, what circumstances have changed since the last amendment request?	
4. Is there any additional information that the City of Lake Geneva should consider in its evaluation of this request?	

The deadline for requests to amend the Comprehensive Plan is **Wednesday, July 31, 2019 at 4:00 p.m.**
Requests shall be submitted to City Hall or via email to bzclerk@cityoflakegeneva.com.

DocuSigned by:


Signature of Applicant

July 2, 2019

Date

Ten-Year Comprehensive Plan Update Timeline Incorporating the Annual Comprehensive Plan Amendment Process

Items shaded in grey are related to the Annual Comprehensive Plan Amendment Process. Dates subject to change.

	Task Description	Date
✓	Kickoff Meeting with City Staff	January 21
✓	Project Kickoff with Plan Commission and City Council	April 8
✓	Stakeholder Interviews & Focus Groups	May 14
✓	Community Vision Workshop #1	May 15
✓	Adopt Public Participation Plan	May 27
	Plan Commission Meeting to Open Comprehensive Plan Amendment Process	June 17
	City Clerk Accepts Plan Amendment Nominations	June 18-July 31
	Additional Public Outreach	mid July
	Plan Commission Meeting to Review Comprehensive Plan Amendment Nominations	August 19
	Plan Commission Meeting to Review Draft #1 of Comprehensive Plan Update and Continue Review of Amendment Nominations	September 16
	Approved Amendments Incorporated into Draft Comprehensive Plan	September 17-30
	Draft Comprehensive Plan Open House	October
	Plan Commission Recommends Setting Public Hearing	October
	Council Sets Public Hearing (approx. 6 weeks ahead)	October
	City Clerk Distributes Draft Plan to Surrounding Jurisdictions	October
	30-Day Review Period	~ November 1-30
	Committee of the Whole Review of Draft Plan	December 2
	Joint City Council and Plan Commission Public Hearing and Adoption of Comprehensive Plan	December 9
	City Clerk Distributes Adopted Comprehensive Plan to Surrounding Jurisdictions	After Adoption



Walworth County, WI Land Information Division

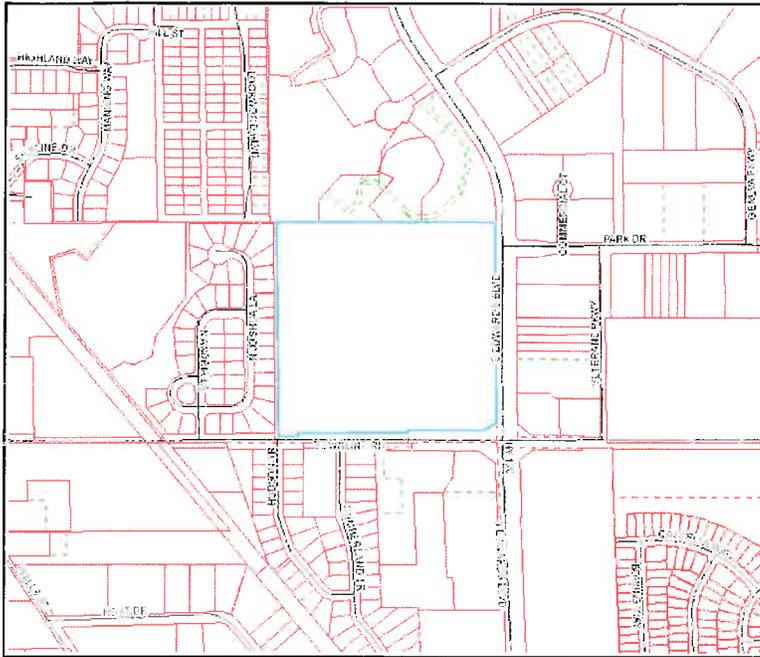
Property Details

Municipality: CITY OF LAKE GENEVA
 Parcel Number: ZYUP 00198
 School District: 2885-LAKE GENEVA J1 SCHOOL DISTRICT
 Zoning District:

Owner Information

Owner Name: 120 PROPERTIES LLC
 Owner Name 2:
 Mailing Address: PO BOX 935

LAKE GENEVA WI, 53147



2018 Valuation Information

Land: \$51,100.00
 Improvements: \$0.00
 Total: \$51,100.00
 Acres: 38.5300
 Fair Market Value: \$52,200.00
 Assessment Ratio: 0.9787828660
 Mill Rate: 0.0197785430

Tax Information

First Dollar Credit: \$0.00	School Credit: \$112.10
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$0.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$1,010.67	Woodland Tax Law Taxes: \$0.00
Net Tax: \$1,010.67	

Tax Jurisdictions

WALWORTH COUNTY \$204.77
 LAKE GENEVA J1 SCHOOL DIST \$297.92
 STATE OF WISCONSIN \$0.00
 CITY OF LAKE GENEVA \$284.03
 GATEWAY TECHNICAL \$42.09
 LAKE GENEVA-GENOA CITY UHS \$181.86

Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)
 State Representative: Tyler August(R) (32nd District)
 State Senator: Stephen Nass(R) (11th District)
 US Representative: Bryan Steil(R) (1st District)
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

Soil Classification

<u>Soil Type</u>	<u>Soil Name</u>	<u>Acres</u>
MxE2	SANDY LOAM SUBSTRATUM, 20 TO 35 PERCENT SLOP	8.0130
MpB	MCHENRY SILT LOAM, 2 TO 6 PERCENT SLOPES	7.1097
MxC2	SANDY LOAM SUBSTRATUM, 6 TO 12 PERCENT SLOPI	6.0941
MpC	MCHENRY SILT LOAM, 6 TO 12 PERCENT SLOPES	5.8370

Special Assessments / Charges

Property Address

Legal Description

PT SE1/4 SW1/4 & SW1/4 SE1/4 SEC 31 T2N R18E DESC AS BEG S 1/4 COR SEC 31; S89D51'55"W 772.80'; N00D43'37"W 1321.83'; N89D51'51"E 1298.69'; S00D41'51"E 1207.65'; S59D59'34"W 91.36'; S89D53'32"W 444.85'; S00D06'59"E 68.90' TO POB.

Disclaimer

The information provided in this property information page is not official information. All official tax information is recorded in the Walworth County Treasurer's Office. To verify tax payment/payoff status, contact the Walworth County Treasurer's Office at 262-741-4251.

June 26th, 2019

120 Properties LLC, Application for Amendment to the Comprehensive Plan

120 Properties hereby petitions the City of Lake Geneva consider the following request for amendment to the Lake Geneva Comprehensive Plan:

X Future Land Use Map (Map 5)

Name of Applicant: Ronald Bender and Robin Bender, Members, 120 Properties LLC, Taxkey ZYUP 00198, and Gary Dunham, Agent Representative, Keefe Real Estate

Address: Edwards Boulevard South and Townline Road (38.5+/- Acres)

Daytime Telephone: Please contact our agent, Gary Dunham at 262-248-4492 (Office) or 262-215-3619 (cell)

Email or Fax: gdunham@keeferealestate.com

Property Owner Name and Address if different from Applicant:

120 Properties LLC, P O Box 935, Lake Geneva, WI 53147

Summary of Proposed Amendment Request:

Subdivision of Land, and Rezone to the following,

Approximately 12+/- Acres to be zoned Neighborhood Commercial on Edwards Blvd, Approximately 11.5+/- Acres to be Zoned MR-8, Multi Family Housing, Approximately 6+/- Acres to be Zoned Single Family Residential (SFR) and 9+/- Acres to be Zoned Duplex. Please see layout as attached as a representative sample of a layout plan.

Present Zoning: Rural Holding (RH)

Future Proposed Use: See attached Concept Plan

How will the proposed amendment to the comprehensive plan benefit the public, City, and/or surrounding neighbors or neighborhoods?

The property is located in a transition zone on the Edwards Boulevard Corridor. The 4 lane boulevard already contains commercial both on the East and West side as it continues south on Edwards Boulevard. Across the street is the existing Business Park, which is over 95% complete with only a few lots remaining. The protective covenants of the LGBP do not allow retail components within the Business Park specifically.

As the City continues its main growth toward the south, it is expected that additional commercial frontage will be needed for neighborhood businesses and other service related enterprises. It is assumed that this zone will continue at a minimum to the corner of Edwards and Townline and more likely to the corner of Edwards and Bloomfield Road over time.

It is expected the businesses could encompass retail, banking, food and entertainment, and other local, regional or national service related businesses. Additionally, it is expected that perhaps a convenience store, automotive brand or even a national flag branded motel could be an addition to either this property or another located to its south. As such, the applicants will ask for that zoning classification which allows for each of these uses.

A residential buffer will generally occur in an L shape along the Northern perimeter as it is contiguous to The Oaks, and to The Meadowlands on its Western boundary. At the Western perimeter, it is most likely single family residential will be developed to the Joshua Lane historic curb cut entrance and potentially could go as far as the most northern boundary of The Meadowlands. At the Northern property line, the applicant envisions side by side high end attached duplex housing which most likely would cater to retirees interested in having all exterior maintenance handled by a professional management association. There is a remote possibility that we could envision all of these residential projects potentially sharing features such as recreational facilities at a common area space once developers have been decided upon.

The infill piece located between the residential and commercial is requested to be MR-8, Multi Family Residential housing. We expect that the units would be most like those units which already exist on the Highway 12 and Townline MR-8 project now in its final stages.

All of the Zoning Classes are buffers to the current uses as both adopted under the current master plan, and as currently developed in each of the contiguous neighborhoods. It is expected that this will help to predict how the land to the South on Edwards Boulevard will continue to get developed in the coming years.

How does the request advance the goals, objectives and policies of the Comprehensive Plan?

The Edwards Boulevard Corridor was developed over 25 years ago with the main idea that this is the path that the City will grow in the coming decades. The City tends to be land locked to their East and North by significant topography or existing main roadways which naturally define the borders of the City. There are significant land holdings to the West of the City which act as a natural border wherein the current owners have signaled their desire to not want to develop at any point in the foreseeable future. As such, Edwards Boulevard was designed to allow the City to grow, and transition out to the Townships to the South and West (Linn and Bloomfield) wherein it might be expected that the residences at some point will only exist on less modest lot size lots and be built to convene more within the natural pastoral settings.

The design as attached utilizes these ideas to allow this property to transition to the next piece of Southern frontage which jumps over Townline and already has single family homes and a few existing retail/service related businesses both on the Eastern and Western sides of the boulevard.

As it affects the amendment request, what circumstances have changed.....

The lands South of Highway 50 are largely developed as it comes to the retail classification. There is a parcel contiguous to the Walmart on its South. Most infill pieces have been built on and future inventory for this classification for the neighborhoods to the South is necessary. Also, all of the current housing stock of multi family will be constructed and leased within the coming 12 months based upon our discussions with the developers on those projects. There is need in the future for both of these zoning classifications, and now is the time to plan these projects as developers have been in discussions with us as owners as to future land sites. In 2009, the economy was in a major downfall, and all projects were put on hold and there was an adequate supply of these types of lots. However, in the past 36 months these sites have been either purchased or purchased and developed and inventory has dwindled.

Is there any additional information the City of Lake Geneva should consider in its evaluation of this request?

The Applicant believes they have outlined all pertinent information for this application and looks forward to working with the City in relation to this rezoning request

Legal Description of Proposed Lot 1

A parcel of land located in the Southeast 1/4 of the Southwest 1/4 and the Southwest 1/4 of the Northeast 1/4 of Section 31, Town 2 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin, described as follows:

Begin at the South 1/4 corner of said Section 31; thence North 0°00'56" West, 58.00 feet, to a point on the North line of Town Line Road and the Point of Beginning; thence South 89°51'55" West, along said North line of Town Line Road, 300.00 feet; thence South 89°12'06" West, along said North line, 443.40 to an iron nail at the Southeast corner of Lot 23 of Meadowland Subdivision; thence North 0°42'37" West, along the East line of said Meadowland Subdivision, 1268.83 feet to the South line of Geneva East Subdivision; thence North 51°15'17" East, along said South line of Geneva East Subdivision, the South line of the First Addendum to the Oaks of Geneva East Condominium, and the South line of the Oaks of Geneva East Condominium, 931.45 feet; thence South 0°41'31" East, 123.01 to a point on the North line of Town Line Road; thence South 89°53'32" West, along said North line, 157.26 feet; thence South 0°08'59" East 110.90 feet to the Point of Beginning.

Said parcel contains 27,000 acres (1,176,124 sq-ft) of land, more or less.

Note:

The contours on this drawing are shown as legend items by Walworth County digital mapping and have not been field verified.

ALTA/NSPS Land Title Survey

A parcel of land described in Title Commitment File No. WA-0796, prepared by Chicago Title Insurance Company, dated June 26, 2017, as shown below.

A parcel of land located in the Southeast 1/4 and the Southwest 1/4 of Section 31, Town 2 North, Range 18 East, Town of Lyons, Walworth County, Wisconsin, described as follows:

Begin at the South 1/4 corner of said Section 31; thence South 89°11'55" West, along the South line of said Subdivision 1/4 and the centerline of Town Line Road, 458.18 feet; thence North 0°42'37" East, 123.01 feet to the South line of Geneva East Subdivision; thence North 89°12'06" East, along said South line of Geneva East, the South line of the First Addendum to the Oaks of Geneva East Condominium, and the South line of the Oaks of Geneva East Condominium, 1740.43 feet to a point on the West line of Edwards Boulevard; thence South 89°12'06" East, along said West line of Edwards Boulevard, 1207.65 feet; thence South 59°30'34" West, 91.36 feet; along said West line of Edwards Boulevard, 446.57 feet; thence South 0°22'59" East, 35.98 feet to a point on the South line of Town Line Road; thence South 89°51'55" West, along said North line, 112.22 feet to a point on the North line of Edwards Boulevard; thence North 0°42'37" East, 123.01 feet to a point on the North line of Edwards Boulevard; thence North 89°12'06" East, 443.40 feet; thence South 0°42'37" East, 123.01 feet to the North line of Town Line Road; thence North 89°12'06" East, along said North line of Town Line Road, 644.27 feet; thence North 0°42'37" East, 123.01 feet; along said North line of Town Line Road, 112.22 feet; thence South 0°22'59" East, 35.98 feet to the Point of Beginning.

A-50, a parcel of land located in the Southwest 1/4 of Section 31, Town 2 North, Range 18 East, Town of Lyons, Walworth County, Wisconsin, described as follows:

Commence at the South 1/4 corner of said Section 31; thence South 89°11'55" West, along the South line of said Subdivision 1/4 and the centerline of Town Line Road, 655.18 feet to the Point of Beginning; thence along said South line of said Town Line Road, 655.18 feet to the Southeast corner of Meadowland Subdivision; thence North 0°42'37" West, along the East line of said Meadowland Subdivision, 1268.83 feet to the South line of Geneva East Subdivision; thence North 51°15'17" East, along said South line of Geneva East, 118.35 feet to a point on the West line of the East 1/2 of the Southwest 1/4 of the Northeast 1/4 of said Section 31; thence South 0°41'31" East, along said West line of the East 1/2 of the Southwest 1/4 of the Northeast 1/4 of said Section 31, 123.01 feet to the Point of Beginning.

Tax Key No. Part of Z/UP/00198

Address: Vacant land, South Edwards Boulevard and Townline Road

Schedule B - II of Title Commitment File No. WA-0796, prepared by Chicago Title Insurance Company, dated June 26, 2017, has the following survey related encumbrances and restrictions:

1. Encumbrance(s) for the proposed parcel and rights incidental thereto, as granted in a document, recorded in Wisconsin Public Records, recorded on 10/12/1993, in Volume 623 of Records on Page 1621 in Document No. 201038. SHOWN
2. Encumbrance(s) for the proposed parcel and rights incidental thereto, as granted in a document, recorded in Wisconsin Public Records, recorded on 12/12/1994, in Volume 624 of Records on Page 1427 in Document No. 264972. SHOWN
3. Encumbrance, conditions and restrictions but containing any easements or restrictions, if any, including but not limited to those based on race, color, religion, sex, marital status, national origin, familial status, ancestry, handicap, national origin, ancestry, source of income, gender, gender identity, sexual orientation, marital status, or the prohibition of genetic information, as set forth in applicable state or federal laws, except to the extent that any encumbrance, restriction or limitation is prohibited by applicable law, as set forth in the documents recorded on March 24, 2008, in Volume 674 of Records on page 2274 in Document No. 437926. SHOWN
4. Rights of the public to use portions of the Land lying within the area commonly known as Edwards Boulevard, a US State Highway 120P and Townline Road. SHOWN



Boundaries shown on the South line of the Southwest 1/4 of Section 31, 31-2-18, recorded as NW 1/4-27-19, in the Geneva East First Condominium System, South Zone (SAD-27)

Contours are referenced to the Wisconsin State Plane Coordinate System, South Zone (NASD-27)



- Notes:
1. According to Flood Insurance Rate Map (FIRM) No. 1102700301B for Walworth County Unincorporated Areas, Effective date: October 2, 2009, this site is in Zone X. Areas determined to be outside the 0.2% annual chance floodplain.
 2. There are 0 marked parking spaces on this site.
 3. In regards to Table A item 11, visible utility easements, the approximate location of easements shown are shown as indicated by the utility markings from tickets no. 20172491241 and 20172491046. No plans were requested or provided.
 4. No buildings observed.

To: Kenneth Systems Homes Limited Partnership
120 Prospects, LLC
Chicago Title Insurance Company

This is a true and correct copy of the survey, on which it is based, was made in accordance with the Wisconsin Statutes and the rules of the Board of Surveyors, and is hereby established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b), 8, 9, 10, 11, 13, 14, 15 and 17 of Table A, Section 1.0.

The field work was completed on October 2, 2017.

September 15, 2017. Douglas M. Olson
Wisconsin Professional Land Surveyor - 2017

Survey Date: September 8, 2017.
Revisions:
Rev. 1 - General Notes
Rev. 2 - Proposed Property



45 South Wisconsin Street, P.O. Box 322
Lafayette, WI 53122
Telephone: (262) 723-3434
Facsimile: (262) 723-3434
E-mail: info@olsonland.com
Website: www.olsonland.com

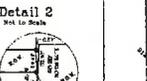
OLSON

LAND SURVEYING, LLC
Residential | Commercial

Legend of Symbols & Abbreviations:
- Surveyed Boundary
- Unsurveyed Boundary
- Easement
- Right-of-Way
- Utility Easement
- Fenced Area
- Iron Nail
- Iron Pipe
- Iron Stake
- Iron Cap
- Iron Bolt
- Iron Washer
- Iron Nut
- Iron Plate
- Iron Band
- Iron Ring
- Iron Chain
- Iron Link
- Iron Strap
- Iron Wire
- Iron Tape
- Iron Cloth
- Iron Paper
- Iron Card
- Iron Tag
- Iron Marker
- Iron Stake
- Iron Nail
- Iron Pipe
- Iron Stake
- Iron Cap
- Iron Bolt
- Iron Washer
- Iron Nut
- Iron Plate
- Iron Band
- Iron Ring
- Iron Chain
- Iron Link
- Iron Strap
- Iron Wire
- Iron Tape
- Iron Cloth
- Iron Paper
- Iron Card
- Iron Tag
- Iron Marker

Sheet 1 of 1 Sheets
Drawing Name
Job Reference Number
2017077

2017077



EXOP - 197

CC-7-5937



PARCEL 1, 15.28 ACRES
30 DUPLEX LOTS, 60 UNITS; 3.93 D.U./ACRE

PARCEL 3, 11.56 ACRES
MR-8 ZONING; 16.6 UNIT RENTAL RESIDENTIAL;
96 UNITS; 8.30 D.U./ACRE
PARK DRIVE

PARCEL 2, 10.57 ACRES
PLANNED BUSINESS, 5 LOTS

S EDWARDS BOULEVARD

PRIVATE 24' ROAD
(IN PARCEL 2 AND 3)

ANDRIA DRIVE

N JOSHUA LANE

DEDICATED 60' ROAD R.O.W.

PROPOSED BIKE ROUTE

50' HALF R.O.W. DEDICATION ALONG TOWNLINE ROAD

TOWNLINE ROAD

HUDSON TRAIL

GUNNSLAND TRAIL

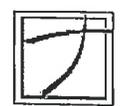
**-CONCEPTUAL SITE PLAN-
S. EDWARDS BLVD. TOWNLINE RD. PROPERTY**

Townline Rd. & Edwards Blvd./ Hwy 120 Lake Geneva, WI

ISSUED: 2019.04.22



Keefe Real Estate, Inc.
791 Geneva Parkway
P.O. Box 409
Lake Geneva, WI, 53147
262-248-4192



Professional Association
627 Geneva Street
Evansville, Illinois