

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

ZONING BOARD OF APPEALS MEETING

TUESDAY AUGUST 6, 2019 - 6:00 PM

COUNCIL CHAMBERS, CITY HALL

Agenda

1. Meeting called to order by Al Kupsik.
2. Roll Call.
3. Approve Minutes of the September 25, 2014 Zoning Board of Appeals meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Public Hearing and Action on an application for a Variance Request filed by Ed Kemper & Kathleen Linning, 1205 W. Main St. for a reduction in the required side and rear yard setback for the one car garage addition located at 1205 W. Main St., located in the Single-Family Residential -4 (SR-4) zoning district. Tax Key No. ZA464300001.
7. Public Hearing and Action on an application for a Variance Request filed by filed by TSMM, LLC. Brain Pollard, 875 Townline Rd. #103, Lake Geneva, for the reduction in the side yard setback for the proposed office addition for teh property located at 851 Park Dr., within the Planned Business Park (PBP) zoning district, Tax Key No. ZCOM00004.
8. Adjournment.

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

Posted 7/12/2019

**CITY OF LAKE GENEVA
ZONING BOARD OF APPEALS
INCLUDING THE ANNUAL MEETING**

THURSDAY SEPTEMBER 25, 2014 – 5:00 PM
COUNCIL CHAMBERS, CITY HALL

MINUTES

1. Meeting called to order at 5:00 PM by Secretary Gregoles.

2. Roll Call

Present: Ellyn Kehoe, Tom Anthony, Bob McCormick, Frank Marsala
Not Present: Bernie Williams, Mary Jane Jaros
Also Present: Attorney Dan Draper, Inspector Ken Robers, Secretary Gregoles

3. Elect an Acting Chairman

MOTION #1

Marsala/Anthony nominated Kehoe as acting Chairman.
The motion carried unanimously.

MOTION #2

Marsala/Kehoe moved to close the voting.
The motion carried unanimously.

4. Approve minutes of Zoning Board of Appeals meeting of October 15, 2013.

No minutes available.

5. Public Hearing and action on an application for Variance submitted by Richard & Marji Gray, 1133 Geneva Street, Lake Geneva, WI 53147 for a decrease in the required setbacks for the street yard for the construction of a new covered porch located at 1133 Geneva Street, Lake Geneva, WI 53147. Tax Key No. ZOP 00191.

DISCUSSION

Mr. Gray, Inspector Robers and the members of the board discussed the details of the variance. Essentially the request is to reconstruct the porch that was there and make it slightly bigger. Inspector Robers also provided an email from the Lake Geneva Historic Preservation Commission who unanimously agreed that they had no objections to the proposed addition.

PUBLIC SPEAKER - None

MOTION #3

McCormick/Anthony move to close the Public Hearing. The motion carried unanimously.

DISCUSSION

The board discussed the application in brief prior to voting.
See the attached five Conditions for Granting Variance document with roll call vote on each item.
All five were approved unanimously.

MOTION #4

Marsala/Anthony move to approve the application for variance submitted by Richard & Marji Gray, 1133 Geneva Street. Lake Geneva, WI 53147 for a decrease in the required setbacks for the street yard for the construction of a new covered porch located at 1133 Geneva Street. Lake Geneva, WI 53147. Tax Key No. ZOP 00191. The motion carried unanimously.

6. Adjournment

MOTION #5

McCormick/Anthony move to adjourn the meeting at 5:22 PM. The motion carried unanimously.

A QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Conditions for granting Variance

- 1. There exists a unique hardship, which is caused by special condition of the property and is not self created by the Applicant.** - The house was built on a particular lot and there were no setbacks at that time. The home now encroaches on the current setbacks which is the unique hardship and was not self created by the applicants.

ROLL CALL VOTE

Ellyn Kehoe	YES	Bob McCormick	YES
Tom Anthony	YES	Frank Marsala	YES

- 2. A literal enforcement of the provisions of the Ordinance will result in practical difficulty or undue hardship.**
Trying to enforce the zoning ordinance would make it difficult for them to do what they are trying to accomplish.

ROLL CALL VOTE

Ellyn Kehoe	YES	Bob McCormick	YES
Tom Anthony	YES	Frank Marsala	YES

- 3. Granting of the variance is within the spirit of the Zoning Code.**

ROLL CALL VOTE

Ellyn Kehoe	YES	Bob McCormick	YES
Tom Anthony	YES	Frank Marsala	YES

- 4. The Public's health, safety and welfare are secured.**

ROLL CALL VOTE

Ellyn Kehoe	YES	Bob McCormick	YES
Tom Anthony	YES	Frank Marsala	YES

- 5. Granting of the variance will result in justice being served. (Ord. No. 04-33 8/23/04)**

ROLL CALL VOTE

Ellyn Kehoe	YES	Bob McCormick	YES
Tom Anthony	YES	Frank Marsala	YES

STAFF REPORT
To Lake Geneva Zoning Board of Appeals
Meeting Date: August 6, 2019

Agenda Item: #6

Applicant:
Edward Kemper &
Kathleen Linning
1205 W. Main St.
Lake Geneva WI 53147

Request: Variance Review for setback reduction
Single-Family Residential - 4 (SR-4) zoning
district
1208 W. Main St. Tax Key No. ZA464300001

Description:

The applicant is submitting a request for a review by the Zoning Board of Review (ZBA) for a reduction in the required side and rear yard setback for the one car garage addition located at 1205 W. Main St., located in the Single-Family Residential -4 (SR-4) zoning district. Tax Key No. ZA464300001.

Action by the Zoning board of Review (ZBA):

Review on the proposed request for the reduction in the required side and rear yard setback determine if the request is warranted approval:

As part of the consideration of the requested, the ZBA is required to:

- Provide the applicant with a decision regarding the proposed request;
- Include *findings* required by the Zoning Ordinance for request; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

Minimal impacts to neighboring properties are anticipated, this request will provide the property indoor storage for vehicles.

Required ZBA Findings on the request:

A proposed setback reduction must be reviewed by the standards, below:

- A. If, after the public hearing, the ZBA wishes to *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed reduction in the required side and rear yard setback is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed reduction in the required side and rear yard setback is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive

Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed reduction in the required side and rear yard setback in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed reduction in the required side and rear yard setback maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed reduction in the required side and rear yard setback is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed reduction in the required side and rear yard setback outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the ZBA wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed reduction in the required side and rear yard setback is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed reduction in the required side and rear yard setback is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed reduction in the required side and rear yard setback in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed reduction in the required side and rear yard setback does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed reduction in the required side and rear yard setback is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed reduction in the required side and rear yard setback do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed reduction in the required side and rear yard setback:

1. Staff recommends that the ZBA recommend *approval* of the proposed reduction in the required side and rear yard setback as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the ZBA adopt the *affirmative set of findings* provided above.
3. Allowing the property the reduction to construct a garage addition utilizing the existing dwelling exterior finishes would enhance the use of the property with minimal impact on the neighboring properties.

July 1, 2019



Mr. Fred Walling
Building Inspector / Zoning Administrator
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

**Re: APPLICATION FOR VARIANCE REVIEW & APPROVAL
ADDITION & REMODELING OF EXISTING RESIDENCE
EDWARD KEMPER & KATHLEEN LINNING
1205 W. MAIN STREET
LAKE GENEVA, WISCONSIN 53147**

Dear Mr. Walling & Members of the Board of Appeals:

Ed Kemper and Kathy Linning own the *Existing Home* at 1205 W. Main Street in the City of Lake Geneva. They wish to add a *New Attached One Car Garage* at the northeast corner of their Home. The *Site* is currently zoned *SR-4 Single Family Residential District* under the City of Lake Geneva Zoning Ordinance. The *Existing Home* is a Craftsman Bungalow-style residence that was built around 1920 by a member of the Hammersley family and is a contributing structure in the *Maple Park National & State Historic District*. It currently has no Garage. *Due to the unusual lot configuration and the fact that the lot is non-conforming under the requirements of the SR-4 Zoning District, virtually any additions to the Existing Home require a variance.*

The *Existing Site* is 7,389 sq. ft. in area and the north lot line has been adjusted several times over the years. As a result, it is a non-conforming lot under the lot area requirements of the *SR-4 Zoning District*. *In addition, there is an existing agreement for a 13' wide Access Easement with the property immediately to the east. The Existing Home has an approximately 35.87' Street Yard Setback, an 11.08' Side Yard Setback on the west and a 13.28' Side Yard Setback on the east, and approximately a 3' Rear Yard Setback at the closest point on the north end. Due to the unusual lot configuration, the Access Easement Agreement, and the existing setbacks, this is a very unique property with very limited options for improvements. The Owners are, therefore, requesting that they be granted a variance to allow them to add a New Attached One Car Garage to their Home with reduced Side and Rear Yard Setbacks.*

As noted in the attached drawings, the Owners' intention is to add an approximately 18' X 28' *Attached One Car Garage* at the northeast corner of the *Existing House*. We believe this is one of the only options available to provide a protected parking space while maintaining the historic charm of this unique home.

McCormack + Etten / Architects, LLP

400 Broad Street, Lake Geneva, WI 53147
Email: contact@mccormacketten.com

Ph (262) 248-8391 Fax (262) 248-8392
<http://www.mccormacketten.com>

Included within this packet are the following:

- *Variance Review and Approval application and required fee.*
- *Lake Geneva Land Use Map showing generalized location of subject property.*
- *Copy of Lake Geneva Zoning Map showing location of subject property, zoning district and lands within 300' of property.*
- *Copy of survey of subject property showing graphic scale, north arrow, all lot dimensions and setbacks as per requirements.*
- *Written Justification of the Proposed Variance*
- *Prints of the Preliminary Building Floor Plans and Elevations.*

Thank you for your consideration of our project. Please let me know if you need additional information or have any questions.

Sincerely,



**Kenneth L. Etten A.I.A.
McCormack + Etten / Architects LLP
400 Broad Street
Lake Geneva, WI 53147
(T) (262) 248-8391 ext. 12
E-mail: ken@mccormacketten.com**

APPLICATION FOR VARIANCE

Name of Applicant: EDUARDO KEMPER + KATHLEEN LINNING
Address: 1205 W. MAIN ST.
LAKE GENEVA, WI. 53147
Telephone No. & Email: (715) (847) 997-5353
efkbuilder@aol.com
Property Owner: SAME AS ABOVE

Telephone No. & Email: _____

Legal description of property (include separate sheet if necessary):

LOT 1 CERTIFIED SURVEY NO. 4643 AS RECORDED IN VOL. 30
OF CHAN PAGE 276 WGR, LOCATED IN SW 1/4 NW 1/4 SEC. 36
T 2 N R 17 E 7389.39 SQ. FT., CITY OF LAKE GENEVA, WISCONSIN
ZON. 209 + ZON. 2011 / TAX KEY # Z A 4643 0001

Proposed Use: NEW ONE CAR GARAGE ADDITION TO EXISTING
SINGLE FAMILY RESIDENCE.

TERMS OF ORDINANCE:

SEC. 98.105(d) 3. a + b
SIDE YARD: 15' TOTAL, 6' MIN.
REAR YARD: 30'
MIN. LANDSCAPE SURFACE: 50%
MAX. BUILDING COVERAGE: 40%

VARIANCE REQUESTED:

SIDE YARD: 3'
REAR YARD: 3'
MAX. BUILDING COVERAGE: 33.75%

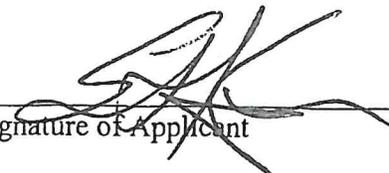
SEE ATTACHED CHECKLIST FOR SUBMITTAL REQUIREMENTS.

VARIANCE FEE: \$400.00 PAYABLE UPON FILING APPLICATION.

Date filed

7-1-2019

Signature of Applicant



EDWARD KEMPER _____ Cost Recovery # _____
1205 W. MAIN ST.
LAKE GENEVA, WI. 53147
Petitioner Name Project Address

OFFICE USE ONLY

Description of Request _____

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). An advanced deposit shall be required for the application related to Extraterritorial matters. Surplus deposits shall be returned to the Applicant at the conclusion of the project.

EDWARD KEMPER _____, as applicant/petitioner for

Project: VARIANCE REQUEST TO ADD NEW GARAGE
Project Address: 1205 W. MAIN ST., LAKE GENEVA, WI 53147
Parcel No. TAX. KEY # ZA 4643 00001
Name: EDWARD KEMPER
Address: 1205 W MAIN STREET
LAKE GENEVA, WI 53147

Cell Phone: 847-997-5399 Phone: () - -

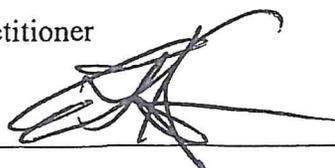
Email: efkbuilder@aol.com

Dated this 1 Day of JULY, 2019

Printed Name of Applicant / Petitioner

EDWARD KEMPER

Signature of Applicant/Petitioner



**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
VARIANCE REVIEW AND APPROVAL (Requirements per Section 98-910)**

This form should be used by the Applicant as a guide to submitting a complete application for a variance and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- Pre-submittal staff meeting scheduled:
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- Follow-up pre-submittal staff meetings scheduled for:
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- Application form filed with Zoning Administrator: Date: _____ by: _____
- Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____
- Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
 ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____
 ↓

- (a) A map of the subject property:
 - Showing all lands for which the variance is proposed;
 - Showing all other lands within 300 feet of the subject property;
 - Referencing a list of names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as determined by the City of Lake Geneva).
 - Indicating current zoning of the subject property and environs, and the jurisdiction(s) which maintains that control;
 - Map and all its parts are clearly reproducible with a photocopier;
 - Map scale not less than one inch equals 800 feet;
 - All lot dimensions of the subject property provided;
 - Graphic scale and north arrow provided.
- (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole;

- _____ (c) A written description of the proposed variance describing the type of specific requirements of the variance proposed for the subject property;
- _____ (d) A site plan of the subject property as proposed for development conforming to all requirements of Section 98-908(3). (See "Site Plan Approval checklist")
- _____ (e) Written justification for the requested variance consisting of the reasons why the Applicant believes the proposed variance is appropriate, particularly as evidenced by compliance with the standards set out Section 98-910(4)(c)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED VARIANCE

1. What exceptional or extraordinary circumstances or special factors are present which apply only to the subject property? The response to this question shall clearly indicate how the subject property contains factors which are not present on other properties in the same zoning district.

- a. Describe the hardship or difficulty that is peculiar to the subject property and different from that of other properties, and not one which affects all properties similarly. Such a hardship or difficulty shall have arisen because of the unusual shape of the original acreage parcel; unusual topography or elevation; or because the property was created before the passage of the current, applicable zoning regulations, and is not economically suitable for a permitted use or will not accommodate a structure of reasonable design for a permitted use if all area, yard, green space, and setback requirements are observed; PREVIOUS OWNERS OF THIS PROPERTY AND SEVERAL ADJACENT LOTS DIVIDED THEM INTO IRREGULAR LOTS (SEE ATTACHED INFORMATION). THE UNUSUAL LOT CONFIGURATION AND LIMITED STREET AND ALLEY ACCESS RESTRICTED POTENTIAL USE.

- NOTE:
- *Loss of profit or pecuniary hardship shall not, in and of itself, be grounds for a variance;
 - *Self-imposed hardship shall not be grounds for a variance. Reductions resulting from the sale of portions of a property reducing the remainder of said property below buildable size or cutting-off existing access to a public right-of-way or deed restrictions imposed by the owner's predecessor in title are considered to be such self-imposed hardships;
 - *Violations by, or variances granted to, neighboring properties shall not justify a variance;
 - *The alleged hardship shall not be one that would have existed in the absence of a zoning ordinance. (For example, if a lot were unbuildable because of topography in the absence of any or all setback requirements.)

2. In what manner do the factors identified in 1., above, prohibit the development of the subject property in a manner similar to that of other properties under the same zoning district? The response to this question shall clearly indicate how the requested variance is essential to make the subject property developable so that property rights enjoyed by the owners of similar properties can be enjoyed by the owners of the subject property.

BECAUSE THIS PROPERTY WAS DIVIDED BY A PREVIOUS OWNER INTO AN IRREGULAR SUBSTANDARD LOT UNDER CURRENT ZONING WITH NO ALLEY ACCESS, THE PROPOSED PLAN IS THE ONLY OPTION TO PROVIDE A ONE CAR GARAGE ON THE PROPERTY.

3. Would the granting of the proposed variance be of substantial detriment to adjacent properties? The response to this question shall clearly indicate how the proposed variance will have no substantial impact on adjacent properties.

MOST OF THE ADJACENT PROPERTIES ARE A SUBSTANDARD LOTS WITH REDUCED SETBACKS UNDER THE CURRENT ZONING. IN ADDITION, THE EXISTING LANDSCAPING BETWEEN THE ADJOINING LOTS PROVIDES A "GREEN WALL" TO SCREEN NEIGHBORS.

4. Would the granting of the proposed variance as depicted on the required site plan (see (d), above), result in a substantial or undue adverse impact on the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the intent, provisions, and policies of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide growth and development? The response to this question shall clearly indicate how the proposed variance will have no substantial impact on such long-range planning matters.

GIVEN THE UNUSUAL WAY THAT PROPERTIES IN THE HISTORIC MAPLE PARK NEIGHBORHOOD HAVE DEVELOPED OVER THE PAST 100+ YEARS, THE INCLUSION OF A ONE CAR GARAGE ADDITION SHOULD NOT HAVE A SIGNIFICANT IMPACT ON THE NEIGHBORHOOD.

5. Have the factors which present the reason for the proposed variance been created by the act of the Application or previous property owner or their agent (for example: previous development decisions such as building placement, floor plan, or orientation, lotting pattern, or grading) after the effective date of the Zoning Ordinance (see Section 98-011.) The response to this question shall clearly indicate that such factors existed prior to the effective date of the Ordinance and were not created by action of the Applicant, a previous property owner, or their agent.

THE CURRENT LOT DIVISIONS AND BUILDING PLACEMENTS HAVE DEVELOPED OVER THE PAST 100+ YEARS, WELL BEFORE THE CURRENT ZONING ORDINANCE WAS IN EFFECT. (THE EXISTING HOUSE WAS BUILT IN 1920.)

6. Does the proposed variance involve the regulations of Section 98-203 (Table of Land Uses)? The response to this question shall clearly indicate that the requested variance does not involve the provisions of this Section.

THE PROPOSED ONE CAR GARAGE ADDITION TO AN EXISTING HOUSE IS WELL WITHIN THE PERMITTED LAND USE REGULATIONS OF SECTION 98.203.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 Copies of Final Applications by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

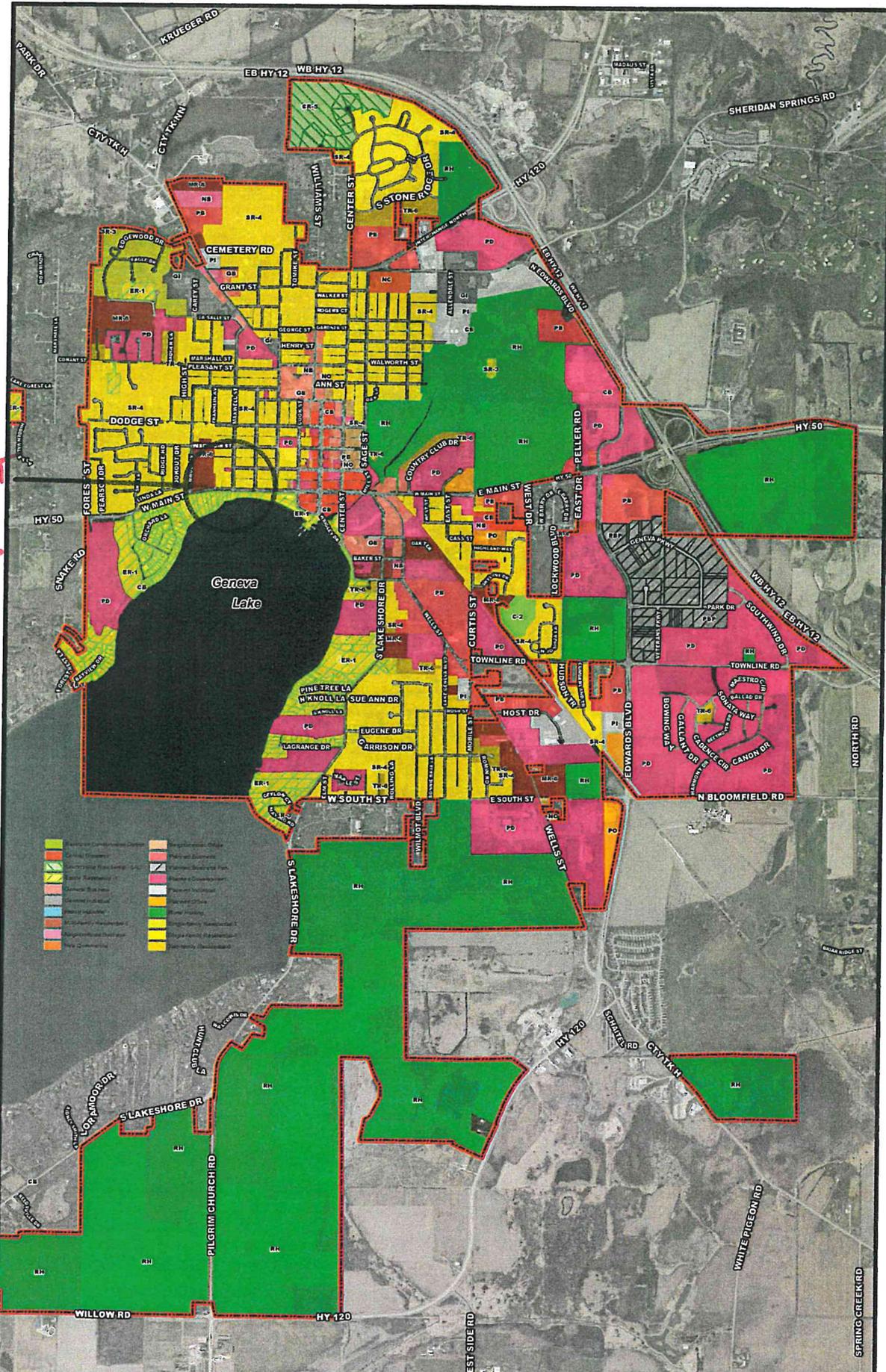
____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

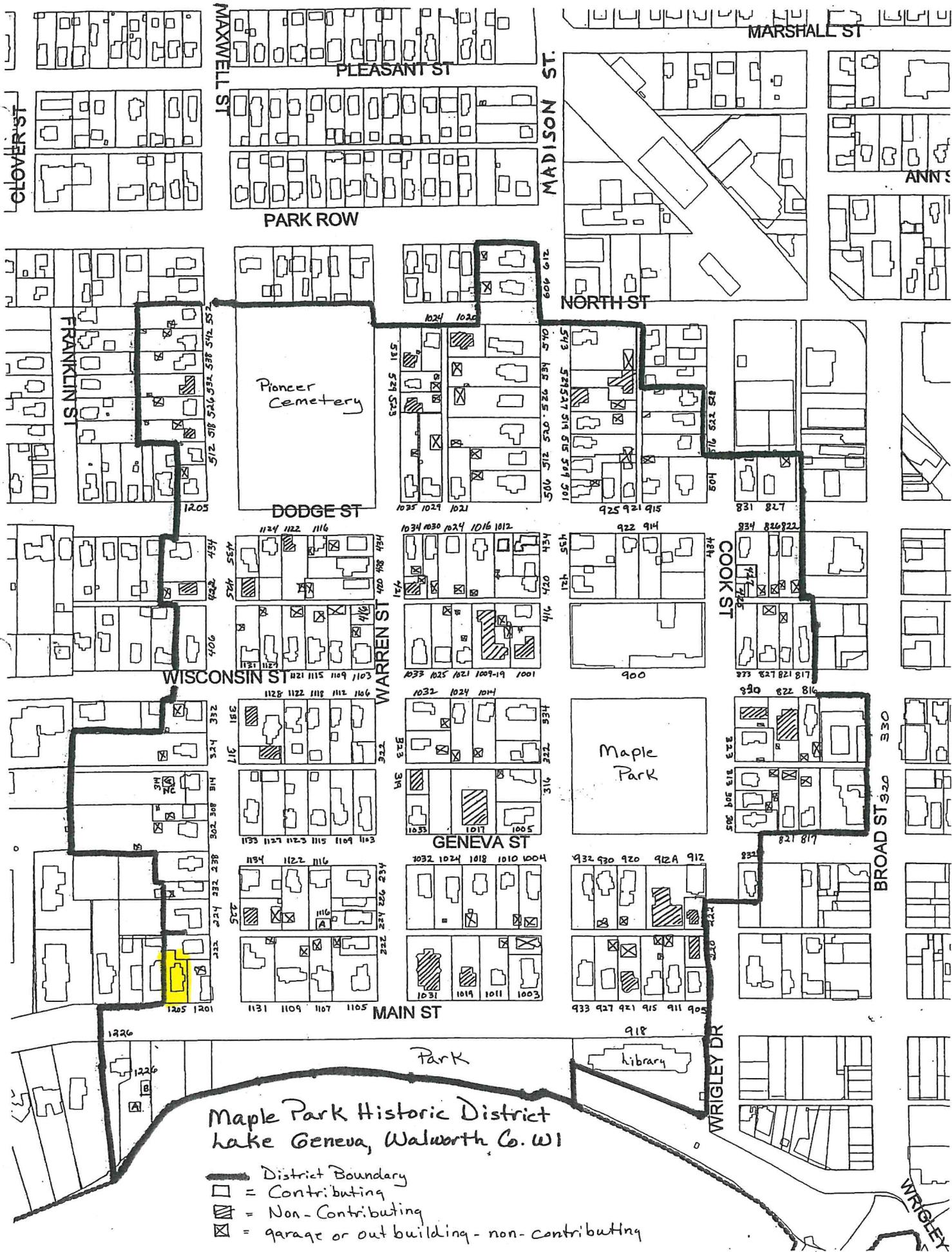
____ Class 2 Legal Notice published on _____ and _____ by: _____

A. MAP OF PROPOSED VARIANCE PROPERTY

SUBJECT
SITE
ZONING
SR-4



	General Commercial District		Residential Single-Family
	Community Center		Residential Medium-Density
	Community Office		Residential Single-Family
	Community Office		Residential Single-Family
	Community Office		Residential Single-Family
	Community Office		Residential Single-Family
	Community Office		Residential Single-Family
	Community Office		Residential Single-Family
	Community Office		Residential Single-Family
	Community Office		Residential Single-Family



Maple Park Historic District
Lake Geneva, Walworth Co. WI

-  District Boundary
-  = Contributing
-  = Non-Contributing
-  = garage or out building - non-contributing

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Maple Park Historic District
Section 7 Page 29 Lake Geneva, Walworth County, Wisconsin

BUILDING INVENTORY

<i>Address</i>	<i>Name</i>	<i>Style</i>	<i>Date of Construction</i>	<i>Status</i>
1003 Main St. Builder: C. O. LaSalle ¹²⁶	F. A. Buckbee	Second Empire	1890 ¹²⁵	C
1011 Main St.	P. H. Moore	Queen Anne/AF	1911 ¹²⁷	C
1019 Main St.	John C. Burt	Bungalow	1912-13 ¹²⁸	NC
1031 Main St.	Apartment Building	Contemporary	c.1970 ¹²⁹	NC
1105 Main St.	Alvin E. Tyler	Queen Anne	1886-87 ¹³⁰	C
1107 Main St.		Craftsman	c.1920 ¹³¹	C
1109 Main St.		Tudor Revival	c.1920 ¹³²	C
1131 Main St.	Seymour	Cross Gable	c.1900 ¹³³	C
1201 Main St.	W. H. Hammersley	Front Gable	1909 ¹³⁴	C
1205 Main St.	Hammersley	Bungalow	c.1920 ¹³⁵	C
1226 Main St.		Shingle	c.1882 ¹³⁶	C
1226A Main St.	Boat House	Astylistic	c.1882 ¹³⁷	C
1226B Main St.	Cottage	Craftsman	c.1915 ¹³⁸	C
222 Maxwell St.	Hammersley	Bungalow	c.1920 ¹³⁹	C
224 Maxwell St.		Craftsman	c.1920 ¹⁴⁰	C
225 Maxwell St.		Ranch	c.1970 ¹⁴¹	NC

¹²⁵ Tax Rolls, Sanborn-Perris Maps; *Lake Geneva Herald*, 15 August 1890, p. 5, 8 October 1890, p. 5, 31 October 1890, p. 5, 7 November 1890, p. 5, 12 December 1890, p. 5.

¹²⁶ *Lake Geneva Herald*, 8 October 1890, p. 5.

¹²⁷ Tax Rolls; *Lake Geneva Herald*, 21 April 1911, p. 1, 22 September 1911, p. 1, 29 September 1911, p. 6, 24 November 1911, p. 5.

¹²⁸ Tax Rolls, Sanborn-Perris Maps; *Lake Geneva Herald*, 23 August 1912, p. 5.

¹²⁹ City Directories.

¹³⁰ Tax Rolls; *Lake Geneva Herald*, 15 October 1886, p. 5; 14 January 1887, p. 5; 22 April 1887, p. 5.

¹³¹ Sanborn-Perris Maps.

¹³² *Ibid.*

¹³³ Tax Rolls; Sanborn-Perris Maps, Plat Maps, Bird's Eye Views.

¹³⁴ Although this house was built prior to 1900, it was extensively remodeled and expanded in 1909 and reflects that construction date; *Lake Geneva Herald*, 26 March 1909, p. 5.

¹³⁵ Sanborn-Perris Maps.

¹³⁶ "A Walking Tour."

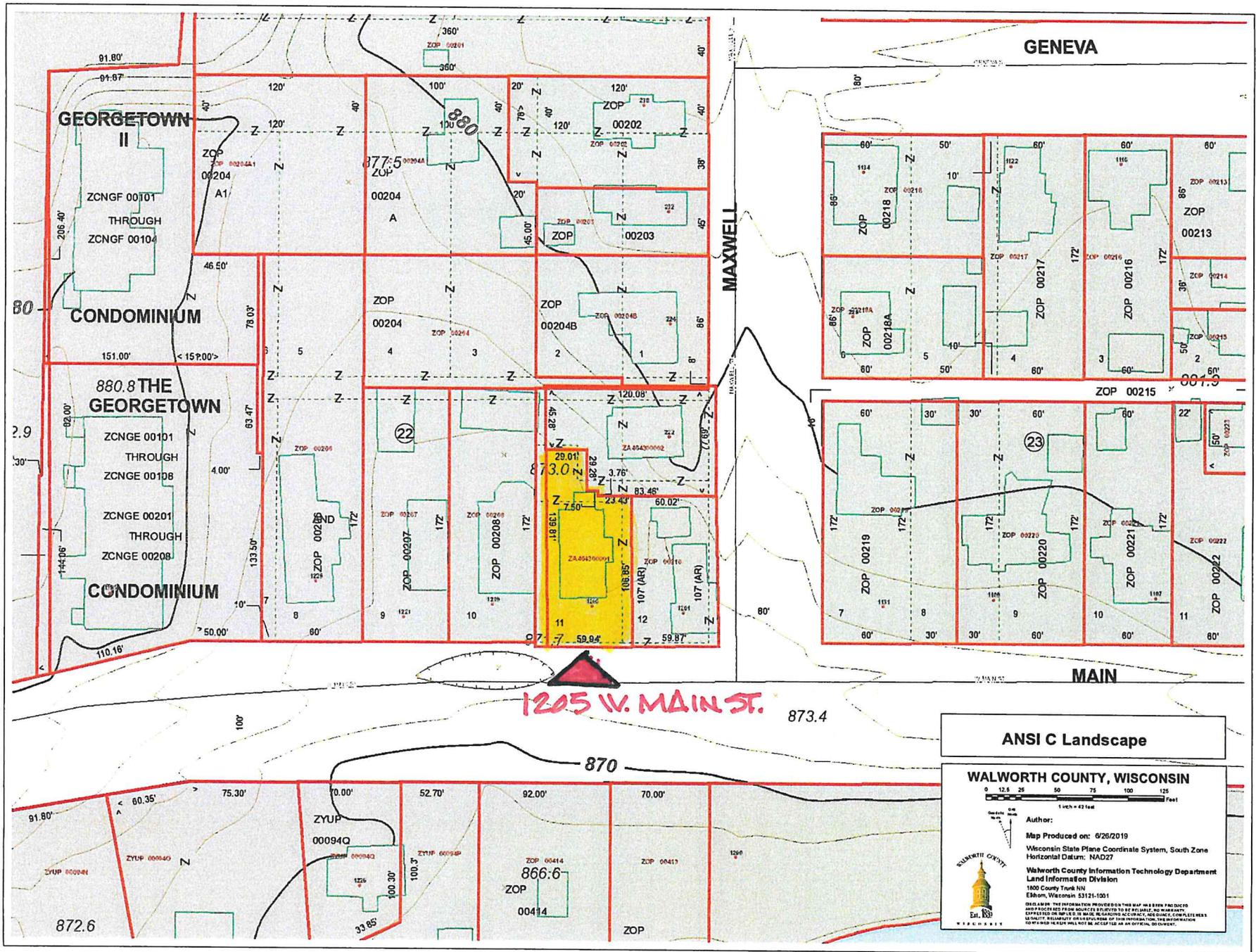
¹³⁷ *Ibid.*

¹³⁸ Field observation.

¹³⁹ *Ibid.*

¹⁴⁰ *Ibid.*

B. GENERALIZED LOCATION OF SUBJECT SITE



1205 W. MAIN ST.

873.4

870

ANSI C Landscape

WALWORTH COUNTY, WISCONSIN



Author:
 Map Produced on: 8/26/2019
 Wisconsin State Plane Coordinate System, South Zone
 Horizontal Datum: NAD27
 Walworth County Information Technology Department
 Land Information Division
 1000 County Trunk Hwy
 Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY IS EXPRESSED OR IMPLIED IN MADE REGARDING ACCURACY, RELIABILITY, COMPLETENESS, QUALITY, TIMELINESS OR OTHERWISE OF THE INFORMATION. THE INFORMATION CONTAINED HEREIN SHALL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.

Tax Key ZA 464300001

C. SITE PLAN

CERTIFIED SURVEY MAP NO. _____

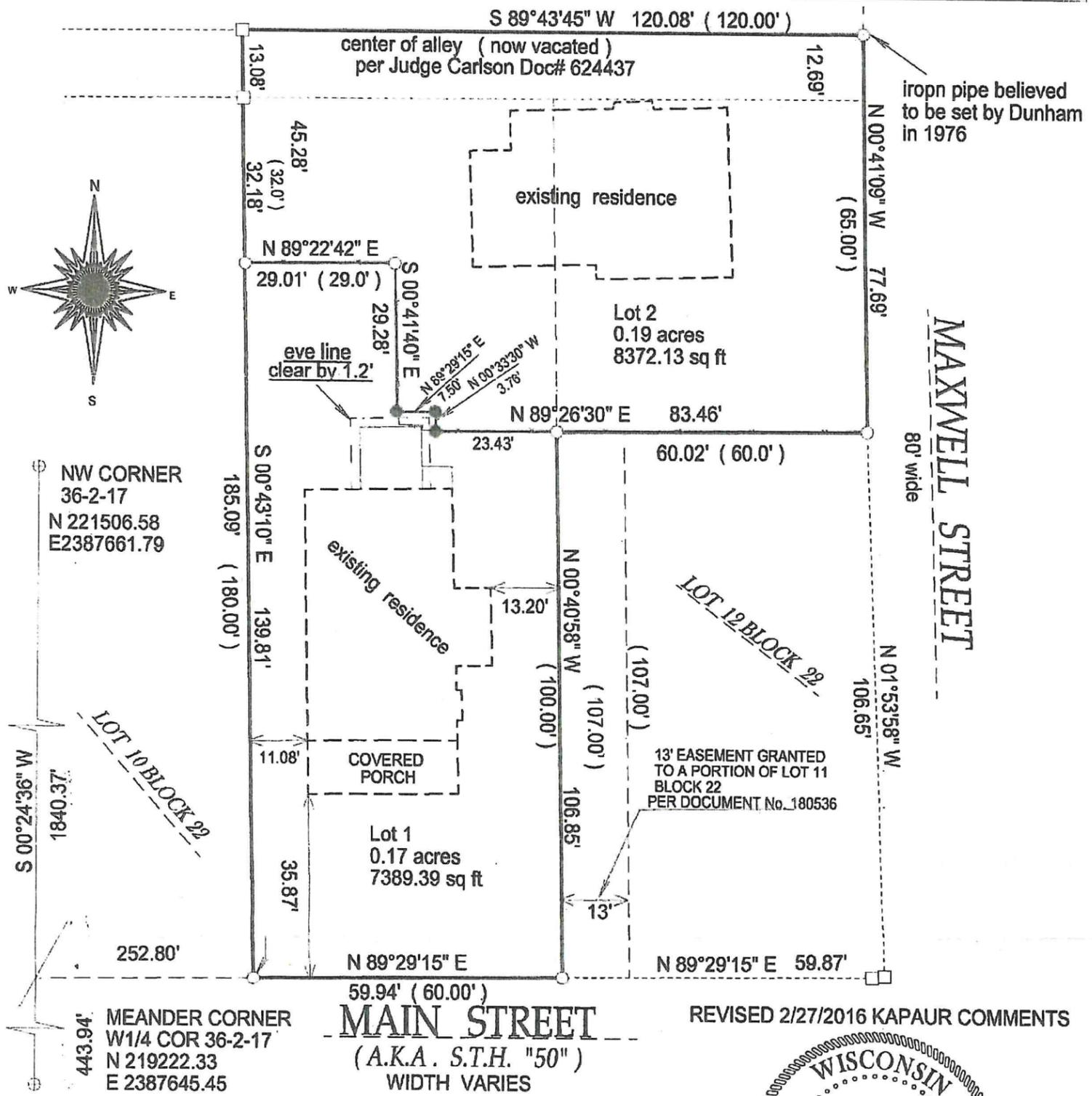
A REDIVISION OF ALL OF LOT 11 AND THE NORTH 65 FEET OF LOT 12, BLOCK 22 ORIGINAL PLAT OF THE VILLAGE (NOW CITY OF LAKE GENEVA) AND THE SOUTH 1/2 OF THE VACATED ALLEY LYING NORTH OF SAID LOTS 11 AND 12, BEING PART OF THE SW 1/4 OF THE NW 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, COUNTY OF WALWORTH AND STATE OF WISCONSIN.

" THIS A LOT LINE AGREEMENT BETWEEN ADJOINING LAND OWNERS .

SURVEYOR
 PATHFINDER SURVEYING INC.
 P.O. BOX 322
 LAKE GENEVA, WI, 53147
 262-248-8303

OWNERS
 DAVID AND CHERYL HAWKINS
 AND
 BARBARA LUCKSINGER

RECORDING DATA



- LEGEND**
- = found 5/8" iron bar
 - = found 1" O.D. iron pipe
 - ⊕ = found Walworth county concrete monument
 - () = recorded as
 - = set 1.25" OD iron pipe X 18" 1.68 LBS PER LIN FT

BASIS OF BEARING OF THIS MAP: THE US STATE PLANE COORDINATE SYSTEM SOUTH ZONE GRID NORTH NAD 88. THE WEST LINE OF THE NW 1/4 36-2-17 WAS ASSUMED TO BEAR N 0°24'36" E. WISCORS WAS USED.



EXISTING

**D. WRITTEN JUSTIFICATION OF THE
PROPOSED VARIANCE**

***APPLICATION FOR VARIANCE REVIEW & APPROVAL
ADDITION & REMODELING OF EXISTING RESIDENCE
EDWARD KEMPER & KATHLEEN LINNING
1205 W. MAIN STREET
LAKE GENEVA, WISCONSIN***

JUSTIFICATION OF THE PROPOSED VARIANCE

1. The Existing Property and Home were at one time part of several adjoining lots owned by one individual. This lot was subsequently divided by the previous owner before the adoption of the current Zoning Ordinance, resulting in a property having a unique configuration with the Home located with about 3' of the irregular north lot line and with a 13' Access Easement on the property immediately to the east. *As a result, under the present Zoning Ordinance, no significant improvements can be made on this House with the granting of a variance.*

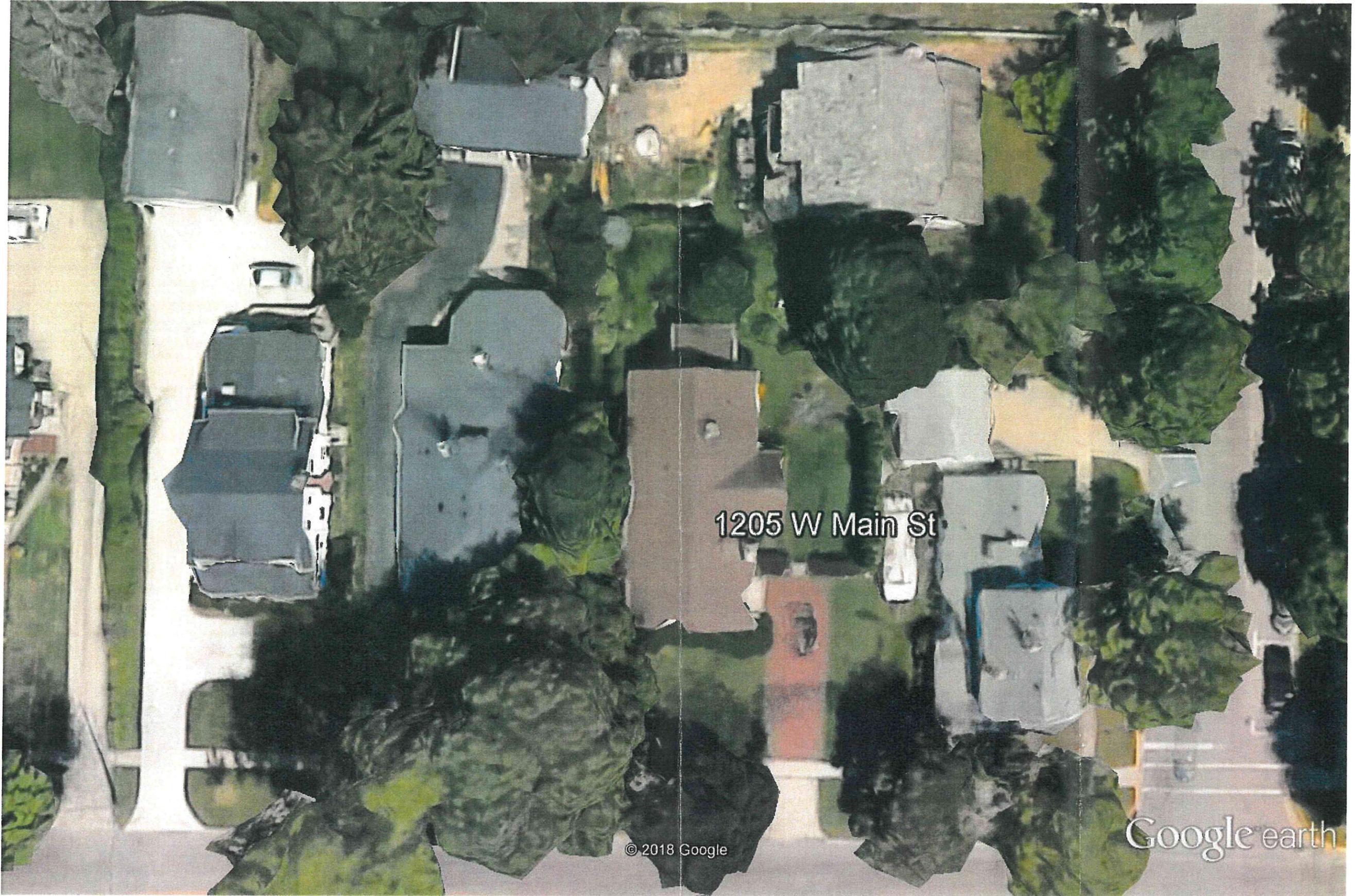
2. As noted, the unusual placement of this House on the site makes it extremely difficult to upgrade this property or to add a single car attached Garage. In particular, since the Owners do not wish to make use of the 13' Access Easement to the east and do not want to disrupt the historic Craftsman Bungalow style of the *Existing House, the possibility of tucking a One Car Attached Garage at the northeast corner of the site is the only option that exists.*

3. As noted above, the proposed additions and improvements would be consistent with some of the setbacks and building placements existing on the adjoining lots. The Owners have contacted the adjoining property Owners and these individuals have indicated no objections to the proposed remodeling. Again, the proposed remodeling would upgrade the property and provide a much-needed protected off-street parking space. *The granting of this proposed variance would not be a substantial detriment to the adjacent properties.*

4. The Lake Geneva Comprehensive Master Plan and the City Zoning Ordinance were created to maintain the character of quality, single-family homes, especially in the Maple Park National & State Historic District. The proposed improvements are intended to comply with that intent and to upgrade the character and value of this property. *The proposed variance would be in compliance with the long range plans of the City and would maintain the desired consistency of land uses as related to the environs of the subject property and the Maple Park Historic District.*

5. The unique placement of the existing Home on this site is the result of land divisions made by previous property owners substantially before the adoption of the current Comprehensive Master Plan and Zoning Ordinance. *It is not the result of actions of the Applicant.*

E. FLOOR PLANS & ELEVATIONS



1205 W Main St

© 2018 Google

Google earth

Google earth

feet
meters



CERTIFIED SURVEY MAP NO. _____

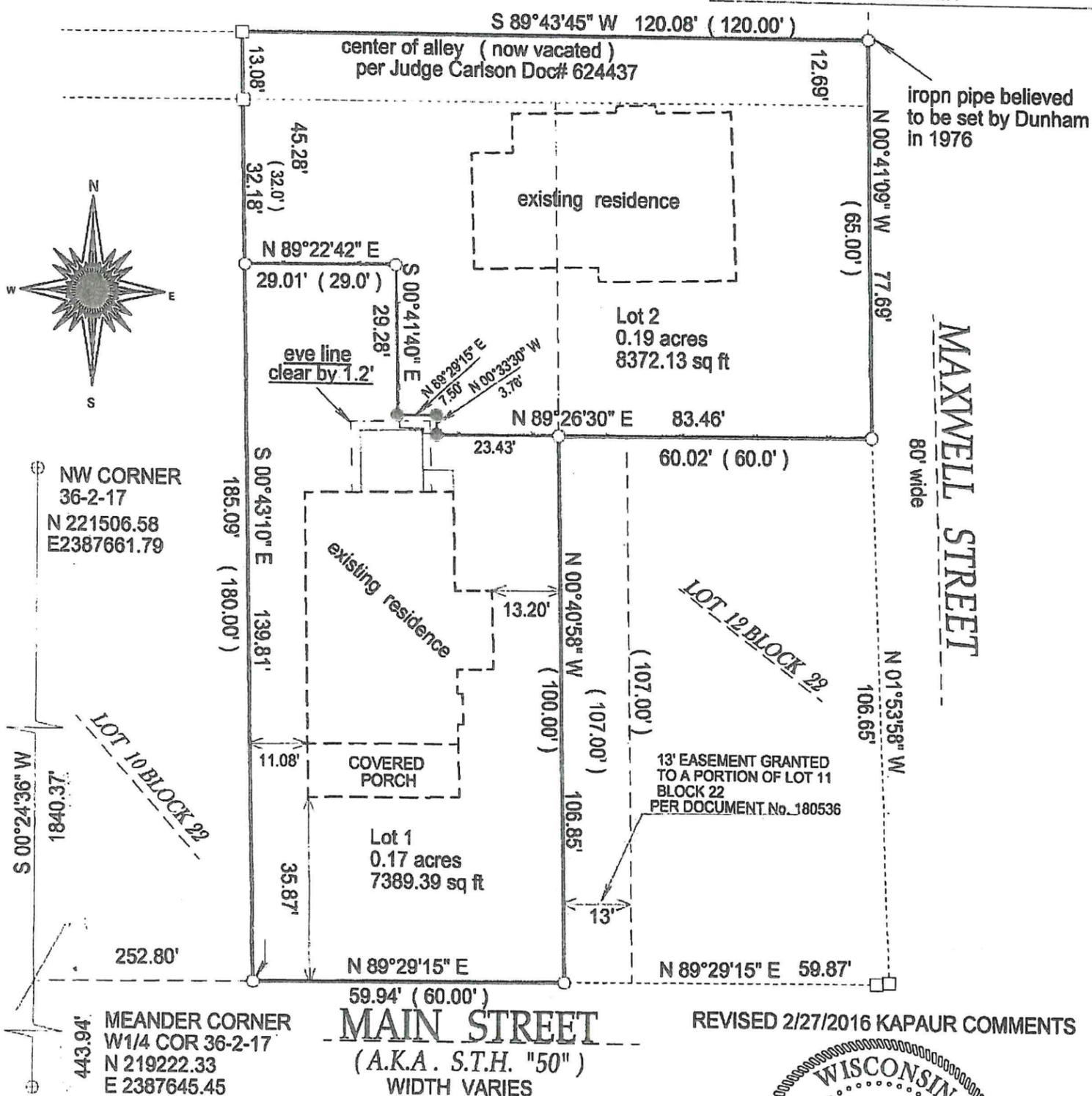
A REDIVISION OF ALL OF LOT 11 AND THE NORTH 65 FEET OF LOT 12, BLOCK 22 ORIGINAL PLAT OF THE VILLAGE (NOW CITY OF LAKE GENEVA) AND THE SOUTH 1/2 OF THE VACATED ALLEY LYING NORTH OF SAID LOTS 11 AND 12, BEING PART OF THE SW 1/4 OF THE NW 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, COUNTY OF WALWORTH AND STATE OF WISCONSIN.

" THIS A LOT LINE AGREEMENT BETWEEN ADJOINING LAND OWNERS .

SURVEYOR
 PATHFINDER SURVEYING INC.
 P.O. BOX 322
 LAKE GENEVA, WI, 53147
 262-248-8303

OWNERS
 DAVID AND CHERYL HAWKINS
 AND
 BARBARA LUCKSINGER

RECORDING DATA



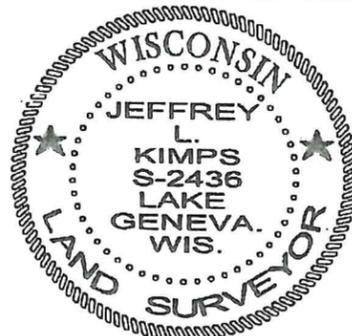
- LEGEND**
- = found 5/8" iron bar
 - = found 1" O.D. iron pipe
 - ⊕ = found Walworth county concrete monument
 - () = recorded as

BASIS OF BEARING OF THIS MAP: THE US STATE PLANE COORDINATE SYSTEM SOUTH ZONE GRID NORTH NAD 88. THE WEST LINE OF THE NW 1/4 36-2-17 WAS ASSUMED TO BEAR N 0°24'36" E. WISCORS WAS USED.

● = set 1.25" OD iron pipe X 18" 1.68 LBS PER LIN FT
 JOB# 14-176CSM
 THIS INSTRUMENT DRAFTED BY J. KIMPS W.R.L.S. S-2436

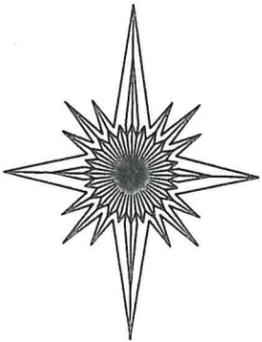
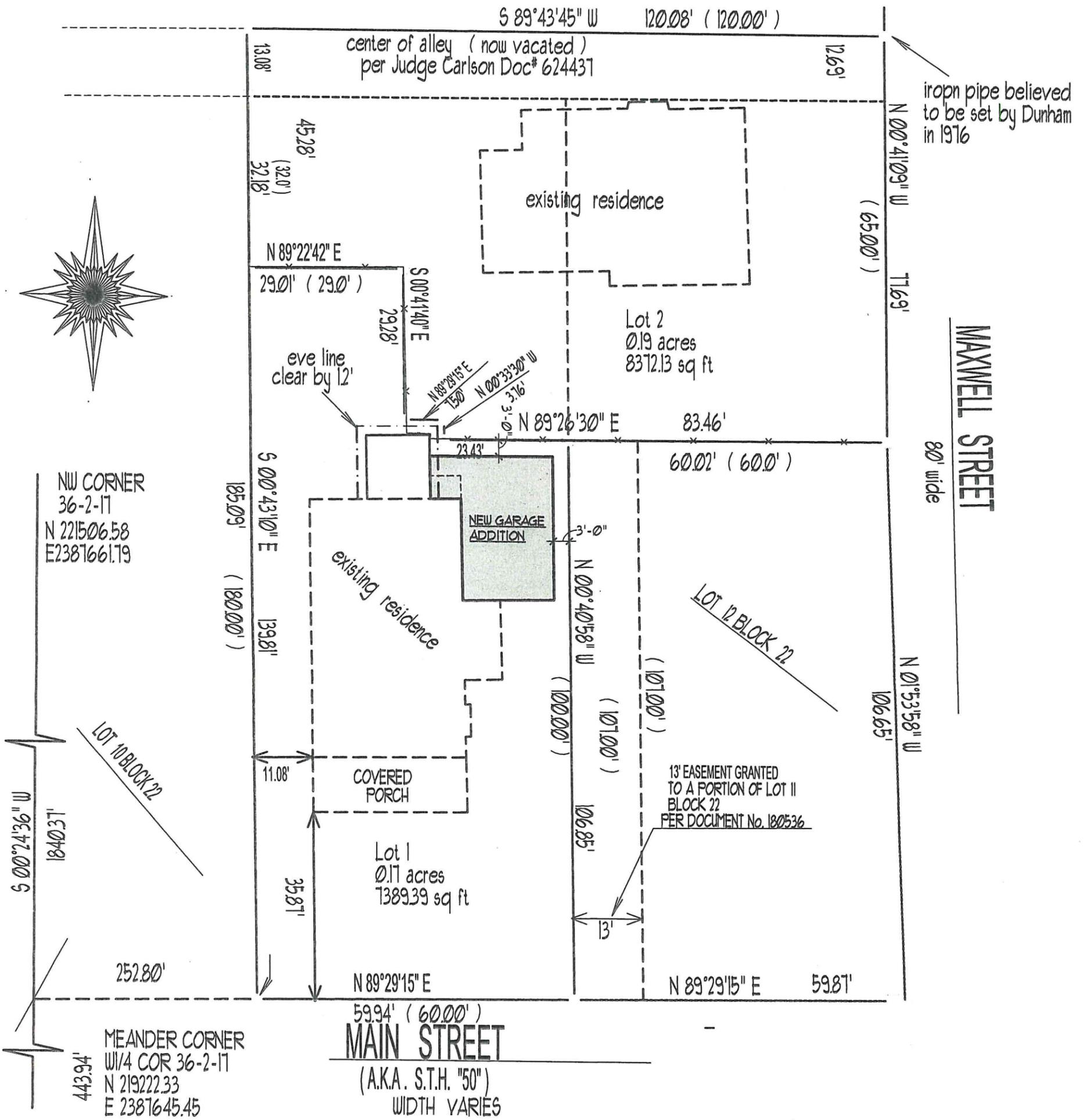
sheet 1 of 2

REVISED 2/27/2016 KAPAU R COMMENTS



JEFFREY L KIMPS S - 2436
 Wisconsin Professional Land Surveyor

EXISTING



PROPOSED ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'-0"



NEW



PRELIMINARY

SHEET

DATE
7-3-2019

PROJECT NO.
1924

R-1

OF

NEW GARAGE ADDITION TO AN EXISTING RESIDENCE FOR

ED & KATHY KEMPER

1205 W. MAIN STREET
LAKE GENEVA, 53141

COMMENTS: NONE

McCormack + Eiten / Architects™, LLP
400 Broad Street
Lake Geneva, WI 53147
Ph (262) 248-8391
contact@mccormackeiten.com
www.mccormackeiten.com
Fax (262) 248-8392



© McCormack + Eiten / Architects, LLP

STAFF REPORT
To Lake Geneva Zoning Board of Appeals
Meeting Date: August 6, 2019

Agenda Item: #7

Applicant:
TSM, LLC
851 Park Drive
Lake Geneva WI 53147

Request: Variance Review for setback reduction
For a commercial addition in the Planned
Business Park (PBP) zoning district
851 Park Drive Tax Key No. ZCOM00004

Description:

The applicant is submitting a request for a review by the Zoning Board of Review (ZBA) for a reduction in the required side yard setback for the one foot commercial building addition located at 851 Park Dr. Planned Business Park (PBP) zoning district. Tax Key No. ZCOM00004.

Action by the Zoning board of Review (ZBA):

Review on the proposed request for the reduction in the required side yard setback determine if the request is warranted approval:

As part of the consideration of the requested, the ZBA is required to:

- Provide the applicant with a decision regarding the proposed request;
- Include *findings* required by the Zoning Ordinance for request; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

Minimal impacts to neighboring properties are anticipated, this request will provide the property the 1 foot reduction to the side yard setback.

Required ZBA Findings on the request:

A proposed setback reduction must be reviewed by the standards, below:

- A. If, after the public hearing, the ZBA wishes to *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed reduction in the required side yard setback is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed reduction in the required side yard setback is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning

Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed reduction in the required side yard setback in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed reduction in the required side and rear yard setback maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed reduction in the required side yard setback is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed reduction in the required side yard setback outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the ZBA wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed reduction in the required side yard setback is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed reduction in the required side yard setback is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed reduction in the required side yard setback in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed reduction in the required side yard setback does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed reduction in the required side yard setback is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed reduction in the required side yard setback do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed reduction in the required side yard setback:

1. Staff recommends that the ZBA recommend *approval* of the proposed reduction in the required side yard setback as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the ZBA adopt the *affirmative set of findings* provided above.
3. Granting the property the reduction would allow the construct of the addition and infringing on the required setback by 1 foot would be minimal for the fact there is a public recreational path directly adjacent to the requested reduction.

APPLICATION FOR VARIANCE

Name of Applicant: TSMC, LLC
Address: 851 PARK DRIVE
LAKE GENEVA, WI
Telephone No. & Email: 262-248-5010 brian@fairwyn.com
Property Owner: TSMC LLC, Brian Pollard
875 TOWNLINE RD #103, LAKE GENEVA, WI
Telephone No. & Email: Same as above

Legal description of property (include separate sheet if necessary):
LOT 4 OF Commercial Ct. subdivision being a resubdivision
of Lot 19 in Lake Geneva BUSINESS PARK

Proposed Use: Office expansion

TERMS OF ORDINANCE:
30' set back

VARIANCE REQUESTED:
6' reduction

SEE ATTACHED CHECKLIST FOR SUBMITTAL REQUIREMENTS.

VARIANCE FEE: \$400.00 PAYABLE UPON FILING APPLICATION.

7/2/19

Date filed



Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ (a) A written description of the intended use describing in reasonable detail the:

- ___ Existing zoning district(s) (and proposed zoning district(s) if different);
- ___ Land use plan map designation(s);
- ___ Current land uses present on the subject property;
- ___ Proposed land uses for the subject property (per Section 98-206);
- ___ Projected number of residents, employees, and daily customers;
- ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- _____ (c) A written description of the proposed variance describing the type of specific requirements of the variance proposed for the subject property;
- _____ (d) A site plan of the subject property as proposed for development conforming to all requirements of Section 98-908(3). (See "Site Plan Approval checklist")
- _____ (e) Written justification for the requested variance consisting of the reasons why the Applicant believes the proposed variance is appropriate, particularly as evidenced by compliance with the standards set out Section 98-910(4)(c)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED VARIANCE

1. What exceptional or extraordinary circumstances or special factors are present which apply only to the subject property? The response to this question shall clearly indicate how the subject property contains factors which are not present on other properties in the same zoning district.

- a. Describe the hardship or difficulty that is peculiar to the subject property and different from that of other properties, and not one which affects all properties similarly. Such a hardship or difficulty shall have arisen because of the unusual shape of the original acreage parcel; unusual topography or elevation; or because the property was created before the passage of the current, applicable zoning regulations, and is not economically suitable for a permitted use or will not accommodate a structure of reasonable design for a permitted use if all area, yard, green space, and setback requirements are observed;

The building is situated on a corner lot next to a path near the setback line. The setback line is on the side of the building where we need to expand.

NOTE:

- *Loss of profit or pecuniary hardship shall not, in and of itself, be grounds for a variance;
- *Self-imposed hardship shall not be grounds for a variance. Reductions resulting from the sale of portions of a property reducing the remainder of said property below buildable size or cutting-off existing access to a public right-of-way or deed restrictions imposed by the owner's predecessor in title are considered to be such self-imposed hardships;
- *Violations by, or variances granted to, neighboring properties shall not justify a variance;
- *The alleged hardship shall not be one that would have existed in the absence of a zoning ordinance. (For example, if a lot were unbuildable because of topography in the absence of any or all setback requirements.)

2. In what manner do the factors identified in 1., above, prohibit the development of the subject property in a manner similar to that of other properties under the same zoning district? The response to this question shall clearly indicate how the requested variance is essential to make the subject property developable so that property rights enjoyed by the owners of similar properties can be enjoyed by the owners of the subject property.

This business needs to expand off the side of the building for expansion of an operating room and reception. This is a small expansion that abuts a path. It will have little or no impact on any of the neighbors.

3. Would the granting of the proposed variance be of substantial detriment to adjacent properties? The response to this question shall clearly indicate how the proposed variance will have no substantial impact on adjacent properties.

This will not impact the neighbors (the path is the closest neighbor) next building is 300' away and is screened by trees

4. Would the granting of the proposed variance as depicted on the required site plan (see (d), above), result in a substantial or undue adverse impact on the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the intent, provisions, and policies of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide growth and development? The response to this question shall clearly indicate how the proposed variance will have no substantial impact on such long-range planning matters.

The 400 SF addition will meet all of the factors above and will not cause a negative effect on neighbors

5. Have the factors which present the reason for the proposed variance been created by the act of the Application or previous property owner or their agent (for example: previous development decisions such as building placement, floor plan, or orientation, lotting pattern, or grading) after the effective date of the Zoning Ordinance (see Section 98-011.) The response to this question shall clearly indicate that such factors existed prior to the effective date of the Ordinance and were not created by action of the Applicant, a previous property owner, or their agent.

The building was built in 2001, at that time it was sufficient for the tenants needs. This expansion helps with the growth of the tenants building

6. Does the proposed variance involve the regulations of Section 98-203 (Table of Land Uses)? The response to this question shall clearly indicate that the requested variance does not involve the provisions of this Section.

I do not believe it does.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 Copies of Final Applications by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

- _____ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- _____ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- _____ Exterior building and fencing materials (Sections 98-718 and 98-720);
- _____ Possible future expansion and related implications for points above;
- _____ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

_____ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

_____ (c) A **Property Site Plan drawing** which includes:

- _____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- _____ The date of the original plan and the latest date of revision to the plan;
- _____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- _____ A reduction of the drawing at 11" x 17";
- _____ A legal description of the subject property;
- _____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- _____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- _____ All required building setback lines;
- _____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- _____ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- _____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- _____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- _____ The location of all outdoor storage areas and the design of all screening devices;
- _____ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- _____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- _____ All engineering requirements for utilities, site designs, etc;
- _____ The location and type of any permanently protected green space areas;
- _____ The location of existing and proposed drainage facilities for storm water;

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
VARIANCE REVIEW AND APPROVAL (Requirements per Section 98-910)**

This form should be used by the Applicant as a guide to submitting a complete application for a variance and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ (a) A map of the subject property:

- Showing all lands for which the variance is proposed;
- Showing all other lands within 300 feet of the subject property;
- ___ Referencing a list of names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as determined by the City of Lake Geneva).
- ___ Indicating current zoning of the subject property and environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map scale not less than one inch equals 800 feet;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole;

- _____ In the legend, data for the subject property on:
 - _____ Lot Area;
 - _____ Floor Area;
 - _____ Floor Area Ratio (b/a);
 - _____ Impervious Surface Area;
 - _____ Impervious Surface Ratio (d/a);
 - _____ Building Height.

- _____ (d) **A Detailed Landscaping Plan of the subject property:**
 - _____ Scale same as main plan (> or equal to 1" equals 100')
 - _____ Map reduction at 11" x 17"
 - _____ Showing the location of all required bufferyard and landscaping areas
 - _____ Showing existing and proposed Landscape Point fencing
 - _____ Showing berm options for meeting said requirements
 - _____ Demonstrating complete compliance with the requirements of Article VI
 - _____ Providing individual plant locations and species, fencing types and heights, and berm heights;

- _____ (e) **A Grading and Erosion Control Plan:**
 - _____ Same scale as the main plan (> or equal to 1" equals 100')
 - _____ Map reduction at 11" x 17"
 - _____ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

- _____ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
 - _____ Showing finished exterior treatment;
 - _____ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
 - _____ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III. FINAL APPLICATION PACKET INFORMATION

- _____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- _____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- _____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

ZCOM 00001 Town Bank
10 W Mifflin St
Madison, WI 53703

ZCOM 00002 Lake Geneva Professional Center LLC
PO Box 1300
Lake Geneva, WI 53147

ZCOM 00003 Stensland Investments LLC
501 Commercial Ct
Lake Geneva, WI 53147

ZA449600001 Beverly J Doud
Sandra L Swanson
6613 W Matankuska Tr
McHenry, IL 60050

ZA404000001 Lake Geneva Economic Development Corp
500 Commercial Ct
Lake Geneva, WI 53147

ZLGBP200028 Derrick Family Properties LLC
1750 Conant St
Lake Geneva, WI 53147

ZLGBP200029 Lake Geneva Tennis Club LLC
630 Veterans Pkwy
Lake Geneva, WI 53147



Walworth County, WI - OneView

Search for a Parcel or Address

The map shows several tax parcels with the following identifiers:

- ZCOM 00002 (Parcel 500)
- ZCOM 00003 (Parcel 501)
- ZCOM 00001 (Parcel 550)
- ZCOM 00004 (Parcel 851, highlighted with a red border)
- ZLGBP 00020 (Parcel 851)
- ZA404000001 (Parcel 851)
- ZA449600001 (Parcel 851)
- ZYUP 00198 (Parcel 800)
- ZLGBP200028 (Parcel 800)
- ZLGBP200029 (Parcel 800)
- ZLGBP200030 (Parcel 830)
- ZLGBP200031 (Parcel 830)
- ZLGBP200032 (Parcel 830)
- ZLGBP200033 (Parcel 830)
- ZLGBP200022 (Parcel 830)

The print overlay includes the following fields:

- Title: 851 park dr lake geneva
- Template: ANSI C Landscape
- Format: PDF
- Print Scale: Leave blank to print at current s...

Other map labels include: S EDWARDS BLVD, COMMERCIAL COURT, PARK DR, VETERANS PKWY, and CITY.

Expand for full view

Tax Parcels

ZCOM 00004



0 100 200ft



Future Landscaping



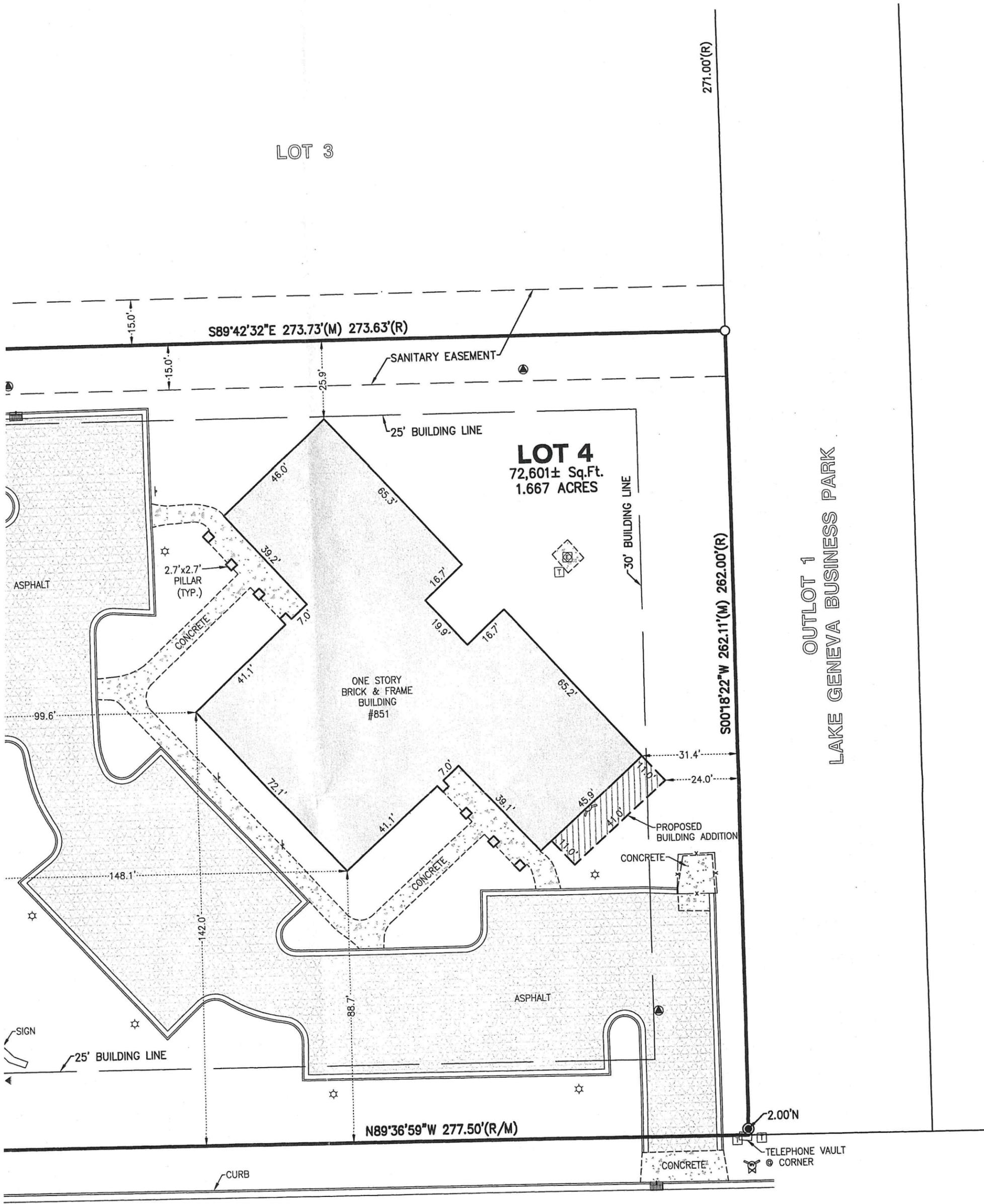
VIEW OF Neighbors
property





PLAT OF SURVEY

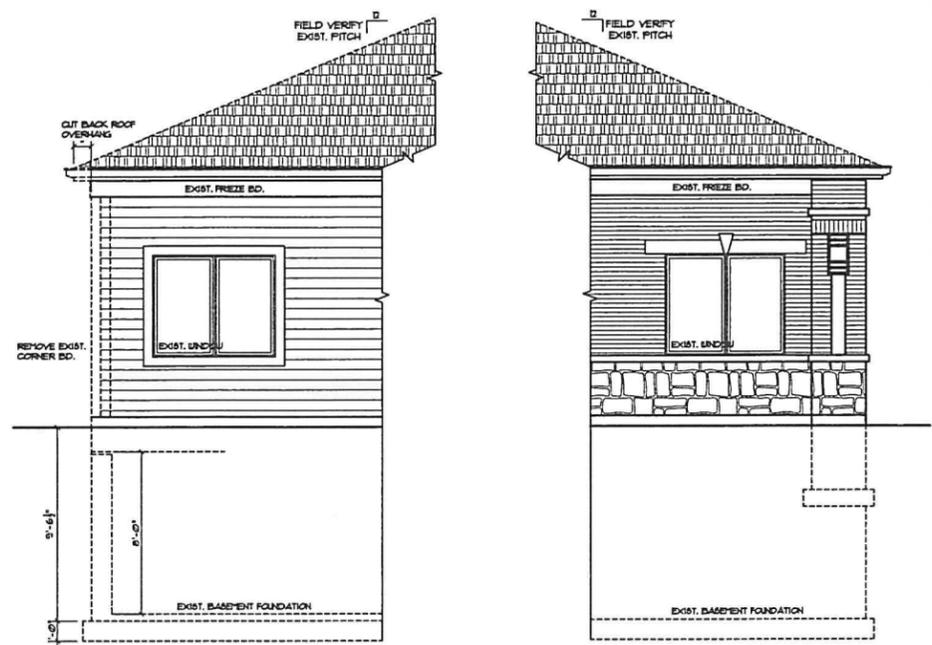
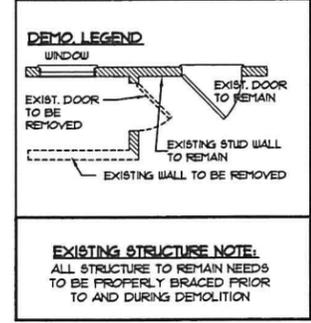
Lot 4 of Commercial Court Subdivision, being a resubdivision of Lot 19 in Lake Geneva Business Park, a subdivision located in Section 31 Township 2 North, Range 18 East, City of Lake Geneva, Walworth County, according to the plat thereof recorded June 19, 1998 as Document No. 385203.



BUILDING STATISTICS			BUILDING AUTHORITY & CODES	
CONST. TYPE: SQUARE FEET: USE GROUPS:	TYPE V-A (EXISTING) ADDITION SPACE: 425 SF D	IND. SPECIFICATIONS: ULTIMATE WIND SPEED: 10 MPH IND. RISK CATEGORY: II IND. EXPOSURE: D	CITY OF LAKE GENEVA PH: 262-248-3673 626 GENEVA STREET LAKE GENEVA WISCONSIN 53141	
FIRE PROTECTION: FIRE SUPPRESSION: FIRE DETECTION:	REQUIRED REQUIRED PER CURRENT NFPA	SNOW LOAD: FF - MPWF	BUILDING: ELECTRICAL: PLUMBING: MECHANICAL:	
BUSINESS INFO: DENTAL OFFICE ADDITION			2018 WISCONSIN UNIFORM COMMERCIAL BUILDING CODE, AND 2015 IBC	
DRAWING INDEX			ENERGY: 2015 INTERNATIONAL ENERGY CODE	
A1 BLDG. STATISTICS, EXIST. FLOOR PLAN, FOUNDATION, AND ELEVATIONS WITH DEMO. EXIST. ELECTRICAL DEMO.			ACCESSIBILITY: 2018 WISCONSIN UNIFORM COMMERCIAL BUILDING CODE, AND 2015 IBC	
B2 FLOOR PLAN WITH ADDITION, ROOM FINISH SCHEDULE, ACCESSIBLE CTR. DETAIL, TYPICAL WALL DETAILS, DOOR & WINDOW DETAILS AND GENERAL NOTES.			COMPLIANCE STATEMENT	
B3 ELEVATIONS AND ROOF PLAN WITH ADDITION. FOUNDATION PLAN W/ ADDITIONAL SECTIONS 'A' AND 'B'. TRUSS DETAIL, FLOOR CORNER DETAIL, AND SIDING DETAIL.			I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE 2018 WISCONSIN UNIFORM COMMERCIAL BUILDING CODE, AND 2015 IBC.	
B4 ELECTRICAL PLAN, GENERAL NOTES, ELECTRICAL KEY, EXIST. REFLECTIVE CLING. PLAN W/ DEMO, REFLECTIVE CLING. PLAN W/ ADDITION.				

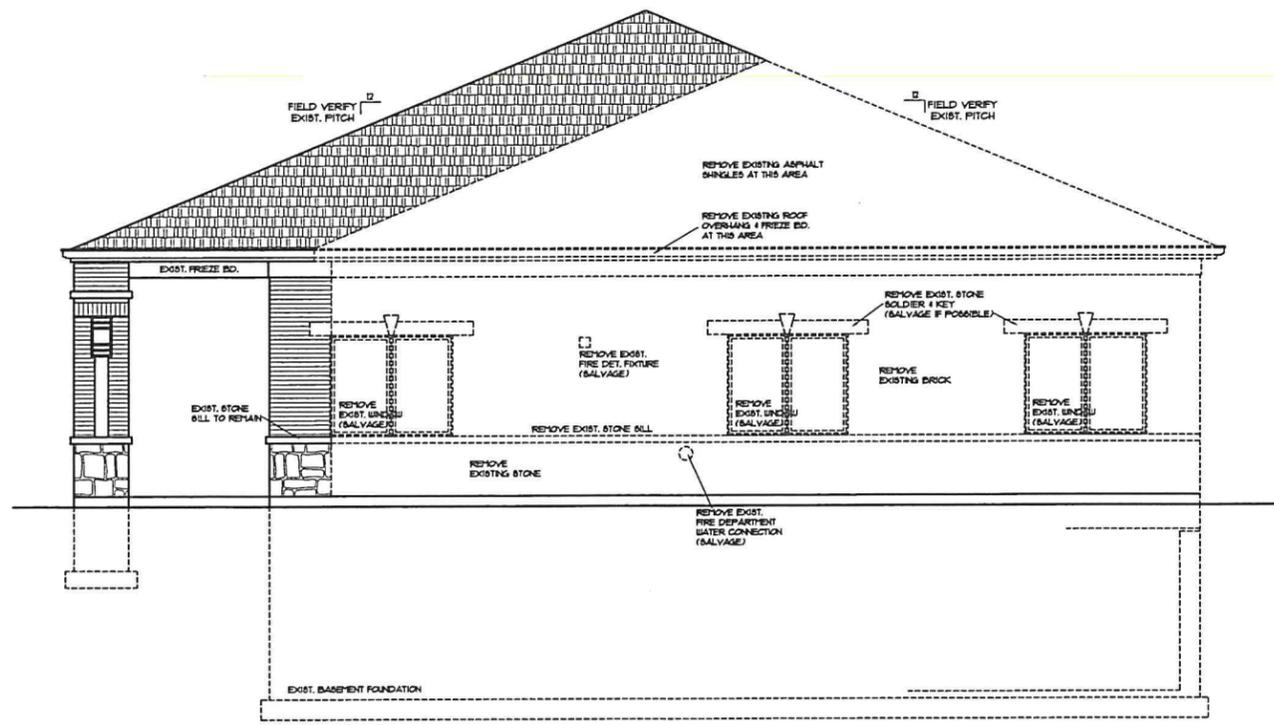
EXIST. ELECTRICAL POWER WITH DEMO:

- Ⓞ_E EXISTING LIGHT SWITCH
- Ⓞ_R REMOVE LIGHT SWITCH
- Ⓞ_{EW} EXISTING DUPLEX WALL RECEPTACLES.
- Ⓞ_{EW} EXISTING DUPLEX WALL RECEPTACLES TO BE REMOVED
- Ⓞ_{EL} EXIST. DUAL HEAD EMERGENCY LIGHT
- Ⓞ_{EXIT} EXIST. EMERGENCY EXIT SIGNAGE
- Ⓞ_{EH} EXIST. EMERGENCY HORN
- Ⓞ_R REMOVE REC. CAN
- Ⓞ_E EXIST. 2x4 LITE N SUSPENDED CEILING

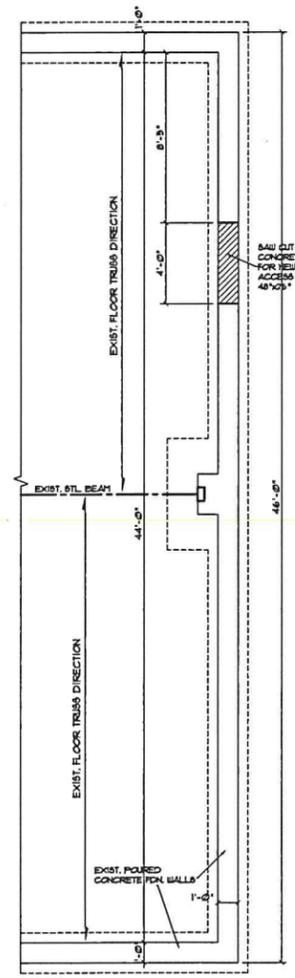


EXIST. REAR ELEVATION W/ DEMO.
 SCALE: 1/4" = 1'-0"

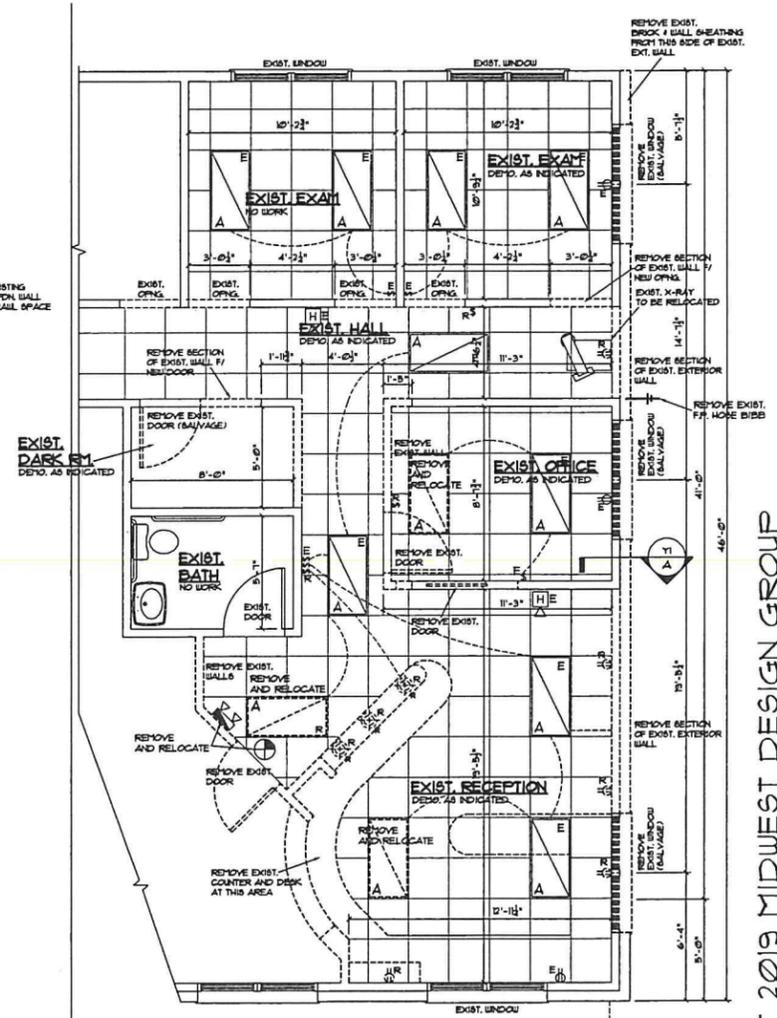
EXIST. FRONT ELEVATION W/ DEMO.
 SCALE: 1/4" = 1'-0"



EXIST. RIGHT ELEVATION W/ DEMO.
 SCALE: 1/4" = 1'-0"



EXIST. BASEMENT & FDN. PLAN W/ DEMO.
 SCALE: 1/4" = 1'-0"



EXIST. FLOOR PLAN W/ DEMO.
 SCALE: 1/4" = 1'-0"

DATE	REV#	DESCRIPTION OF REVISION
9-30-19	1	PRELIMINARY PLANS FOR REVIEW
8-18-19	2	FINAL PLANS FOR PERMIT

PERMIT CONDITIONS NOTES:

EACH PANE OF SAFETY GLAZING SHALL BE PERMANENTLY LABELED BY THE MANUFACTURER SPECIFYING THE MANUFACTURE NAME, AND THAT IT COMPLES WITH TEST STANDARDS CPSC 16 CFR 1601.

CARPET SHALL MEET WISCONSIN ACCESSIBILITY CODE REQUIREMENTS, BE SECURELY ATTACHED, TEXTURE TYPE, FIRM CUSHION PAD OR BACKING, OR NO CUSHION PAD OR BACKING, MAX 1/2" THICK PILE, AND TRIM ALONG EXPOSED EDGES THAT MEETS CHANGE OF LEVEL REQUIREMENTS.

DUCT JOINTS, SEAMS AND CONNECTIONS SHALL BE SECURELY FASTENED AND SEALED WITH TAPE AND OR MASTICS LABELED AS UL 181A (RIGID DUCTS) OR UL 181B (FLEXIBLE DUCTS). DUCT TAPE IS NOT PERMITTED.

SUBMIT A MECHANICAL SYSTEM TEST AND BALANCING REPORT PRIOR TO THE FINAL INSPECTION REPORT. REPORT SHALL INCLUDE SUPPLY, RETURN, EXHAUST AND OUTSIDE AIR FLOWS.

INSTALLATION OF A FIRE ALARM SYSTEM REQUIRES A SEPARATE SUBMITTAL AND PERMIT. WORK SHALL BE COMPLETED BY WISCONSIN STATE LICENSED CONTRACTOR. PLAN APPROVAL AND PERMIT IS REQUIRED PRIOR TO START OF WORK AND BEFORE THE ABOVE CEILING INSPECTION.

INSTALL FIRE EXTINGUISHERS PER NFPA 10 AND ACCESSIBILITY REQUIREMENTS DURING DEMOLITION, CONSTRUCTION, AND UPON OCCUPANCY APPROVAL. (48" FRONT REACH, 54" SIDE REACH)

GENERAL NOTES:

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION AND IN A PROFESSIONAL MANNER.

ALL INTERIOR PARTITION DIMENSIONS ON PLAN SHEETS ARE NOMINAL DIMENSIONS. THE GENERAL CONTRACTOR IS TO COORDINATE BETWEEN TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. ALL EXTERIOR WALLS ARE DIMENSIONED TO INTERIOR FACE OF STUDS AND EXTERIOR FACE OF SHEATHING. FINISHED DIMENSIONS AT CRITICAL AREAS SUCH AS CLOSETS, BATHS, ETC. MUST BE MAINTAINED.

THE SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY THE SUPERINTENDENT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

DO NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY THE ARCHITECT IF QUESTIONS OR DISCREPANCIES ARISE.

LOCATIONS AND ROUTING FOR ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK ARE TO BE COORDINATED BETWEEN TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. NO PLUMBING, MECHANICAL, OR ELECTRICAL INFORMATION IS TO BE SCALED FROM THE DRAWINGS.

ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH SUB-CONTRACTOR.

EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. AS REQUIRED TO COMPLETE THEIR WORK.

EACH CONTRACTOR IS TO CLEAN CONSTRUCTION DEBRIS THROUGHOUT THE BUILDING SITE THAT HAS BEEN GENERATED BY THEIR SCOPE OF WORK.

SUB-CONTRACTORS SHALL ATEND AND MAKE GOOD AT THEIR OWN EXPENSE ANY DEFECTS OR FAILURES IN WORKMANSHIP CAUSED BY THEIR WORK FOR A PERIOD OF ONE YEAR FROM DATE OF OCCUPANCY.

PER IBC 803.5 BASE BOARD TRIM AROUND OPENINGS SHALL NOT EXCEED 10% OF THE AGGREGATE WALL & CEILING AREA & SHALL BE OF CLASS I, II, OR III MATERIALS.

PER IBC 803.3.2 INTERIOR WALL & CEILING FINISH MATERIALS SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN CLASS II FOR ANY CORRIDOR PROVIDING EXIT ACCESS OR CLASS III FOR ROOMS OR ENCLOSED SPACES WHEN TESTED IN ACCORDANCE WITH ASTM E 84 (SEE 803.6-7).

THE ARCHITECT IS NOT SUPERVISING THE CONSTRUCTION OF THIS BUILDING. THE USE OF THESE DRAWINGS BY ANY CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN, OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING USER AND THE ARCHITECT. THE USER SHALL IN FACT AGREE TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN REGARDS TO THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES AND FOR ANY SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY ARISING FROM NEGLIGENCE OF THE CONTRACTOR(S) OR WORKERS ON THIS PROJECT.

THE GENERAL CONTRACTOR RETAINS THE RIGHT TO LOCATE AND/OR RE-LOCATE ANY MECHANICAL AND/OR ELECTRICAL SYSTEMS AND INDIVIDUAL COMPONENTS OF SUCH SYSTEMS IN ACCORDANCE WITH ACCEPTABLE STANDARDS OF APPLICABLE BUILDING TRADES AS TO THE SAFETY AND EFFICIENCY OF OPERATION AS DETERMINED BY THE GENERAL CONTRACTOR.

LOCATION OF MECHANICAL EQUIPMENT IS TO BE VERIFIED IN FIELD BASED UPON LAYOUT AND EQUIPMENT REQUIREMENTS. VERIFY EXACT LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.

THE FILING OF REGISTERED ARCHITECT'S PLANS WITH THE BUILDING DEPARTMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, TENANT OR OWNER. THIS SHALL BE AGREED BEFOREHAND AND INCORPORATED INTO THE LEASE, SUCH PARTY PAYING ALL FEES INCURRED.

THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND VILLAGE LAWS, ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE CONSTRUCTION OF THIS OFFICE. HE SHALL ALSO FILE NECESSARY PLANS AND APPLICATIONS WITH THE CITY DEPARTMENTS AND PAY FOR, AND OBTAIN, ALL CERTIFICATES OF APPROVAL.

DIMENSIONS ARE FROM EXISTING DRYWALLED WALLS TO ROUGH FLOORS, WALLS AND CEILINGS. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ACCURACY OF FIELD MEASUREMENTS AND CONDITIONS. WRITTEN SPECIFICATIONS SHALL HAVE PRECEDENCE OVER SCALED DRAWINGS.

ALL PLUMBING AND ELECTRICAL LINES ARE TO BE CONCEALED, UNLESS OTHERWISE SPECIFIED.

THE CONTRACTOR SHALL REMOVE RUBBISH AND DO ALL PATCHING AFTER ROUGHING IN IS COMPLETED.

HYAC NOTES: EXISTING SYSTEM TO REMAIN & MODIFY IF REQ'D.

ALL EXISTING SUPPLY AND RETURN DUCTWORK IS EXISTING, AND SHALL BE MODIFIED AS REQUIRED, AND SHALL MEET ALL CODE REQUIREMENTS.

PROVIDE ZONE DAMPERS BASED ON THE INDICATED AIR FLOW RATES.

OUTSIDE AIR REQUIREMENTS SHOWN ARE A PORTION OF THE TOTAL AIR REQUIREMENT.

SEE THE DESIGN DRAWINGS BY THE HYAC CONTRACTOR AND ADDRESS ALL REVIEW COMMENTS TO THE CONTRACTOR THAT IS SUPPLYING THESE SAID DOCUMENTS.

ALL NEW (IF ANY) DUCT WORK SHALL BE INSTALLED ABOVE FINISHED CEILING. ALL NEW (IF ANY) SUPPLY BRANCHES ARE TO BE DAMPNERED AND BALANCED. ALL NEW REGISTERS AND GRILLES (IF ANY) ARE TO BE HART & COOLEY OR EQUAL. ALL WORK SHALL MEET ALL APPLICABLE CODES.

MECHANICAL CONTRACTOR TO VERIFY ALL EXISTING DUCT SIZES AND CFM REQUIREMENTS FOR EACH NEW AREA. EXISTING AIR CONDITIONING AND HEATING SYSTEMS TO CHANGE AIR FLOW ASURE 62, AND MAINTAIN 48 TO 75 DEGREES THROUGHOUT THE SUITE. ONE REGISTER IN EACH ROOM, MINIMUM. CONTRACTOR SHALL DETERMINE SIZE AND LOCATION OF DUCTS AS NECESSARY.

EXISTING THERMOSTAT IS ACCESSIBLE BY FRONTAL APPROACH ONLY. THEN THE MOUNTING HEIGHT OF THE THERMOSTAT SHALL BE 4'-0" AFF. WHERE THE THERMOSTAT IS ACCESSIBLE FROM A SIDE APPROACH, THE EXISTING THERMOSTAT SHALL BE PROGRAMMABLE W/ A 1 DAY SCHEDULE & A MANUAL OVERRIDE UP TO 2 HOURS OR AN OCCUPANCY SENSOR, AND SHALL BE REPLACED IF IT DOES NOT MEET THIS REQ.

ANY NEW RIGID DUCTS SHALL BE SUPPORTED WITH APPROVED HANGERS THAT ARE SPACED AT NO MORE THAN 10'-0". ANY NEW FLEXIBLE DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

ALL SUPPLY DUCTS IN UNHEATED SPACES SHALL BE INSULATED WITH 3/4" THICK FIBERGLASS INSULATION OR APPROVED EQUAL. INSTALL INSULATION ON EXTERIOR OF DUCTWORK.

DESIGN LOADS

WIND SPEED LOAD: ONE HUNDRED FIFTEEN (15) MPH PER HOUR.
ROOF SNOW LOAD: LIVE LOAD, THIRTY (30) PSF.
FLOOR LIVE LOADS FOR SLEEPING, AND NON SLEEPING ROOMS ARE LISTED THIRTY (30) PSF, AND FORTY (40) PSF.

PENETRATION NOTE:

PENETRATIONS BETWEEN STORES AND THE ROOF SPACE SHALL BE FRESTOPPED AS WELL AS SOFFITS, DROPPED CEILING, ECT.

TRUSS NOTE:

TRUSS MANUFACTURER TO COORDINATE ROOF FRAMING WITH ARCHITECT. FRAMING PLANS TO BE SUBMITTED TO ARCHITECT PRIOR TO PERMIT SUBMITTAL.

ENGINEERED SYSTEMS NOTE:

THESE DRAWINGS WERE PREPARED UNDER THE ARCHITECT'S SUPERVISION. RESPONSIBILITY IS SAVED FOR ALL STRUCTURAL COMPONENTS, SUCH AS ENGINEERED FLOOR JOIST SYSTEMS AND ROOF TRUSSES WHICH HAVE SEPARATE DRAWINGS PREPARED BY LICENSED STRUCTURAL ENGINEERS EMPLOYED BY THE MANUFACTURER.

BRACING NOTE:

WALLS ARE REQUIRED TO BE BRACED AT A MAX OF 20'-0" O.C. BUT NOT TO BE LESS THAN 1/3 OF THE WALL LENGTH WITH 4" WIDE BY THE HEIGHT OF THE STORY WITH STRUCTURAL PANEL SHEATHING.

ENERGY CODE NOTES:

ALL WINDOWS AND GLAZED DOORS SHALL FOLLOW THE NOTED MAXIMUM U-FACTORS AND REQUIREMENTS NOTED BELOW.
MAXIMUM U-FACTOR FOR WINDOWS AND GLAZED DOORS - 0.33
MAXIMUM U-FACTOR FOR SKYLITES - 0.38
ALL NEW WINDOWS AND GLAZED DOORS MUST BEAR THE MANUFACTURER'S MARKING TO CONFIRMANCE CAN BE CONFIRMED.
BUILDING FRAMING CANNOT BE USED AS AIR SUPPLY DUCTS.
A MINIMUM OF 50% OF ALL LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES TO BE HIGH EFFICIENCY.
BLOWER DOOR TEST REQUIRED PER SECTION R402.12

WINDOW NOTE:

ALL WINDOWS SHOWN ARE UNITS IN FEET AND INCHES, AND SHALL MATCH EXISTING WINDOWS. ALL WINDOWS TO FOLLOW R402 OF THE 2015 IRC CODE.

GLAZING NOTE:

ALL GLAZING REQUIREMENTS TO FOLLOW IBC R-308 AND MANUFACTURER'S SPECIFICATIONS. WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH 2015 IBC SECTIONS R102.2 AND R102.2.2

FINISH NOTES:

INTERIOR WALLS: GYPSONUM WALL BOARD AS SPECIFIED IN PLAN AND THE INTERIOR PARTITIONS DETAILS.

CEILING: SUSPENDED CEILING TILE TO MATCH EXISTING.

FLOORS: ALL FLOORING SHALL BE SELECTED BY OWNER.

WALL LEGEND:

EXISTING WALLS TO REMAIN
NEW WALLS

STRUCTURAL FRAMING LUMBER

FLOOR JOISTS, CEILING JOISTS, HEADERS AND RAFTERS IN-GRADE BASE VALUE AS DETERMINED BY WESTERN WOOD PRODUCTS ASSOCIATION (USE NO MULTIPLIERS AGAINST BASE VALUE)

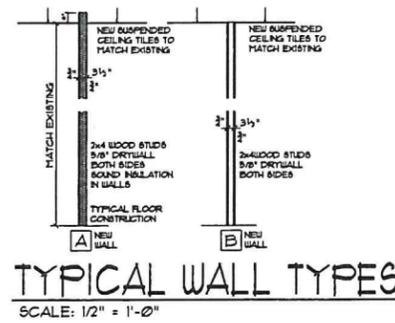
ENGINEERED WOOD PRODUCTS

MANUFACTURED STRUCTURAL WOOD PRODUCTS SUCH AS HEADERS AND BEAMS HAVE BEEN DESIGNED BASED UPON MICROLAMINATED AND PARALLAM'S AS MANUFACTURED BY TRUS-JOIST WEIHERHAUSER

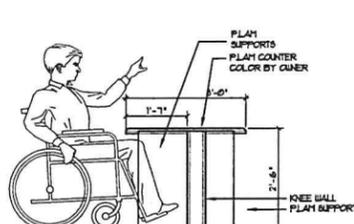
18 MICROLAM'S Pb = 2600 psi E = 1,000,000
24 PARALLAM'S Pb = 2900 psi E = 1,000,000

ROOM FINISH SCHEDULE

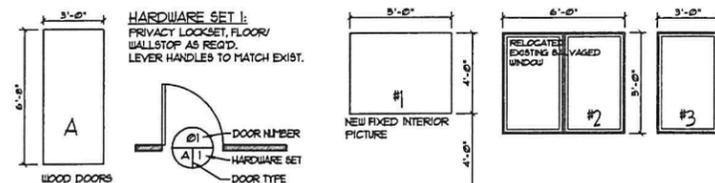
ROOM NAME	FLOOR	BASE	WALLS	CEILING	CLG' HGT
NEW RECEPTION	CARPET	WOOD	DRYWALL	SUSPENDED	MATCH EXISTING
NEW BUSINESS OFFICE	CARPET	WOOD	DRYWALL	SUSPENDED	MATCH EXISTING
NEW EXAM ROOMS	VNTL TO MATCH EXISTING	VNTL	DRYWALL	SUSPENDED	MATCH EXISTING



TYPICAL WALL TYPES
SCALE: 1/2" = 1'-0"



ACCESSIBLE COUNTER
SCALE: 1/2" = 1'-0"



DOOR - WINDOW TYPES

DOOR NOTES:

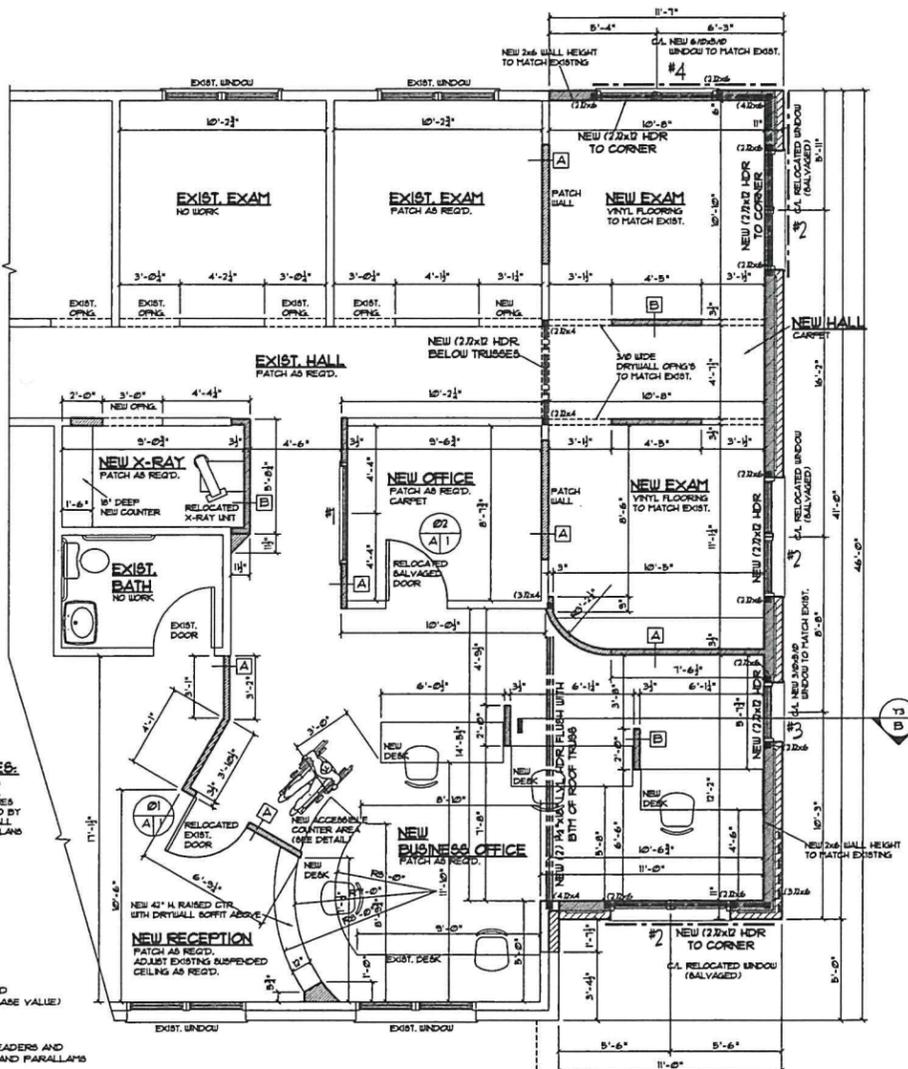
ALL DOORS TO BE (1) 3'-0"x6'-8"x1-3/4" FLUSH DOORS TO MATCH EXISTING WITH WOOD FRAMES.

DOOR HARDWARE AND LOCKING SCHEDULE TO MEET ALL ILLINOIS ACCESSIBILITY CODE AND 2012 IBC REQUIREMENTS. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.

CONTROLS & OPERATING MECHANISMS:

CONTROLS SUCH AS LIGHT SWITCHES, AND OPERATING MECHANISMS SHALL BE WITHIN ACCESSIBLE REACH RANGE OF 48" FORWARD REACH, AND 54" FOR SIDE REACH W/ 30"x48" CLEAR FLOOR SPACE. IF ANY OF THE ITEMS LISTED ABOVE ARE NOT IN COMPLIANCE, REPLACEMENT SHALL BE REQUIRED.

LOCKS & LATCHES: ALL EXTERIOR EXIT DOORS SHALL BE READILY OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. THE MAIN EXTERIOR EXIT DOOR IS PERMITTED TO BE EQUIPPED WITH A KEY OPERATED LOCKING DEVICE FROM THE INSIDE AS LONG AS THE LOCKING DEVICE IS A TYPE READILY DISTINGUISHABLE AS LOCKED. A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR. STATING THIS DOOR TO REMAIN UNLOCKED WHEN THIS BUILDING IS OCCUPIED. THE SIGN SHALL BE IN LETTERS 1" HIGH ON A CONTRASTING BACKGROUND, THE MAIN EXTERIOR DOOR IS A SINGLE DOOR WHICH WHEN UNLOCKED SWINGS FREE. (ALL EXISTING THAT DOES NOT COMPLY WITH NOTES ABOVE MUST BE REPLACED TO MEET ALL CODE REQ'S.)



FLOOR PLAN W/ ADDITION
SCALE: 1/4" = 1'-0"



DESIGNERS
HUNTLEY, IL 60142
OFFICE: 224-800-3039
EMAIL: ADAM.MCG@GMAIL.COM
PROFESSIONAL DESIGN FIRM
LICENSE# 184-004261

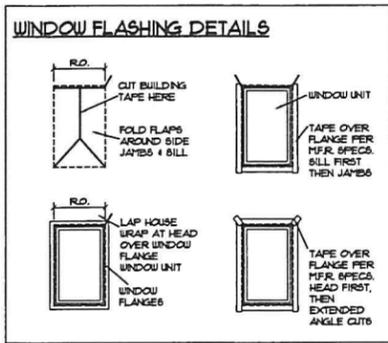
FAIRWYN HOMES
875 TOWNLINE ROAD
SUITE 103
LAKE GENEVA, WI 53147
P: 262.248.5010

ADDITION & RENOVATION TO:
GENEVA FAMILY DENTISTRY
851 PARK DRIVE SUITE 101
LAKE GENEVA WI. 53147

© COPYRIGHT 2019 MIDWEST DESIGN GROUP

DATE	DESCRIPTION OF REVISION
5-30-19	1 PRELIMINARY PLANS FOR REVIEW
6-10-19	2 FINAL PLANS FOR PERMIT

B1
X-DENTAL OFFICE.DWG

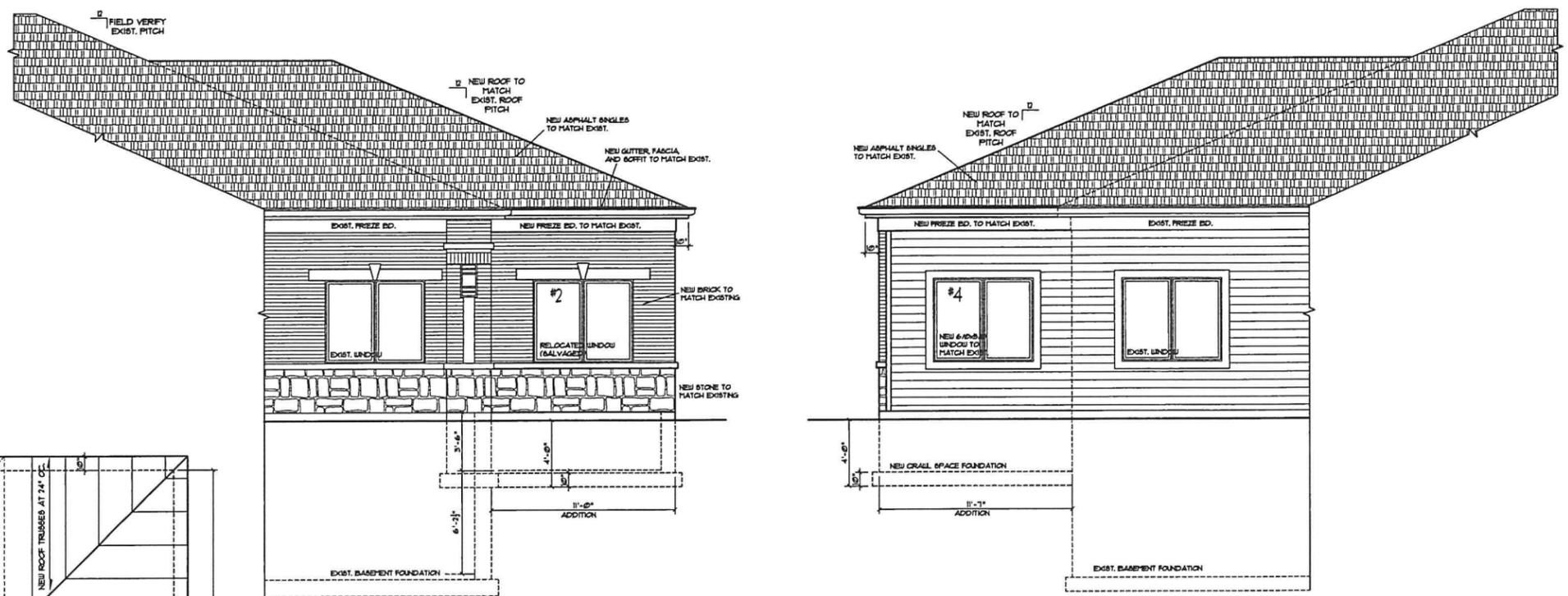


GUTTER NOTE:
 DOWNSPOUT LOCATIONS TO BE INSTALLED BY GUTTER CONTRACTOR PER LOCAL CODES.

GLAZING NOTE:
 ALL GLAZING REQUIREMENTS TO FOLLOW IRC R-308 AND MANUFACTURER'S SPECIFICATIONS. WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH IRC SECTIONS R02.21 AND R02.22.

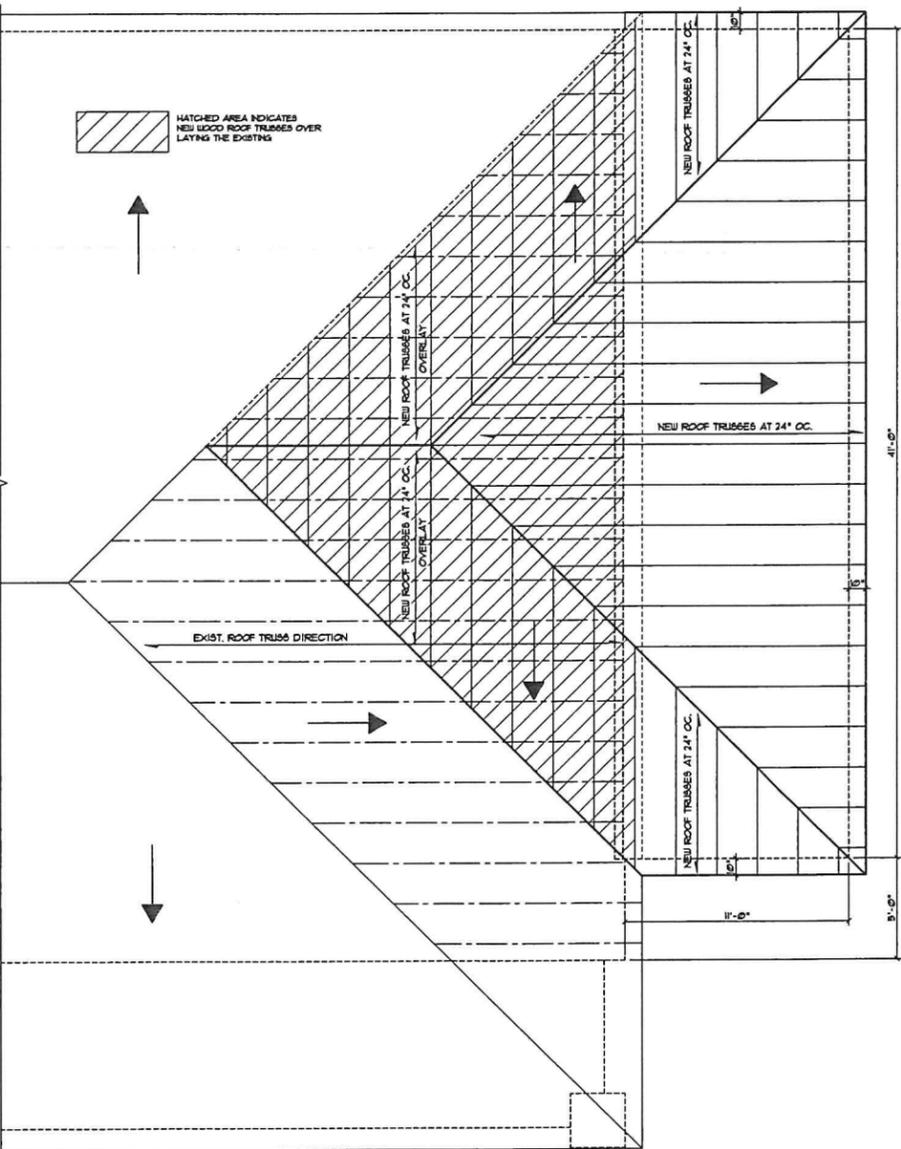
FLASHING NOTE:
 PROVIDE FLASHING AT ALL TOP AND SIDES OF WINDOWS, DOORS, SILLS, AND ROOF VALLEYS.
 FLASH ALL SILL CORNERS AT MASONRY VENEER OPENINGS.

ROOF SHEATHING
 ROOF SHEATHING NOTED APA RATED SHEATHING OVER STRUCTURAL MEMBERS AT NOTED SPACING. PROVIDE PLYWOOD CLIPS AT 24" O.C. UNLESS TONGUE AND GROOVE DECKING OR BLOCKING + PANEL EDGES IS USED.



FRONT ELEVATION W/ ADDITON
 SCALE: 1/4" = 1'-0"

REAR ELEVATION W/ ADDITON
 SCALE: 1/4" = 1'-0"

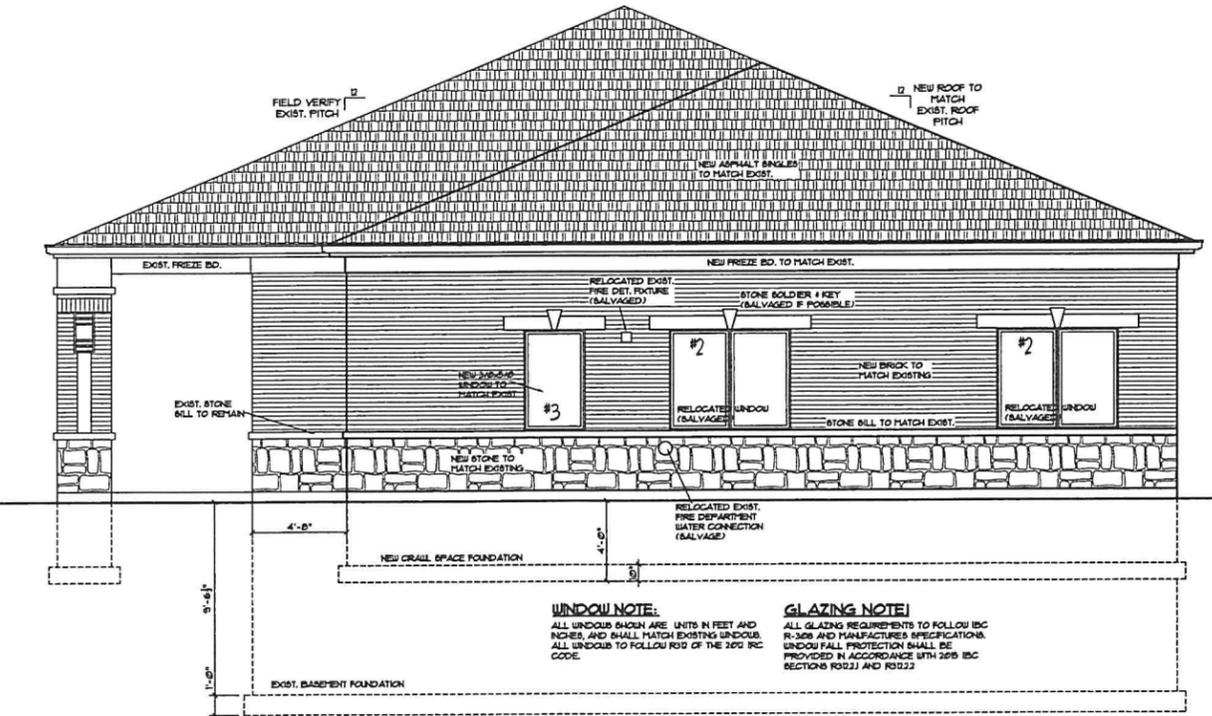


EXIST. ROOF PLAN W/ ADDITION
 SCALE: 1/4" = 1'-0"

ROOFER NOTE:
 HOUSEWRAP ON WALLS MUST LAP OVER TOP OF CONCEALED FLASHING & ICE BARRIERS. THEREFORE, AT ALL ROOF/WALL INTERSECTIONS IT IS THE ROOFER'S RESPONSIBILITY TO CUT (IF NECESSARY) AND UNFASTEN HOUSEWRAP ON WALLS SUCH THAT REQUIRED ICE BARRIERS WORK CONCEALED FLASHING CAN BE INSTALLED PROPERLY AGAINST WALL SHEATHING AND LAP THE HOUSEWRAP OVER IN A "WINGLE STYLE" EFFECT. IT IS ALSO THE ROOFER'S RESPONSIBILITY TO REPAIR HOUSEWRAP THAT WAS TORN OR CUT DURING INSTALLATION OF ROOFING MATERIALS, AND TO REFASTEN IT TO THE WALL SHEATHING. TAPE USED AT SEAMS MUST BE APPROVED FOR THAT HOUSEWRAP BY ITS MANUFACTURER.

ICE BARRIER:
 AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER FLOORED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ICE BARRIERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS NOT ONLY FROM THE LOWEST EDGES, BUT ALSO TO 24" OF EITHER SIDE OF ALL VALLEYS AND PITCH CHANGES, OVER ENTIRE SURFACE OF ALL ROOFS PITCHED LESS THAN 4:12, AND OVER ALL RAFTERS & CRACKERS REGARDLESS OF PITCH, WHERE ROOF SURFACES RUN ADJACENT TO WALLS. ICE BARRIER MUST BE EXTENDED TO RUN CONTINUOUSLY FROM ROOF SURFACE UP WALL SHEATHING A MINIMUM OF 2" UNLESS NOTED OTHERWISE.

ATTIC VENTILATION:
 WHEN DETERMINED BY THE BUILDING OFFICIAL DUE TO ATMOSPHERIC OR CLIMATIC CONDITIONS ENCLOSED ATTICS AND RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300, PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 36" ABOVE EAVE OR CORNICE VEIN. THE NET FREE CROSS-VENTILATING AREA MAY NOT BE LESS THAN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING.



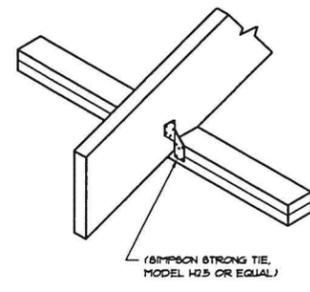
RIGHT ELEVATION W/ ADDITON
 SCALE: 1/4" = 1'-0"

WINDOW NOTE:
 ALL WINDOWS SHOWN ARE UNITS IN FEET AND INCHES, AND SHALL MATCH EXISTING WINDOWS. ALL WINDOWS TO FOLLOW R02 OF THE 2018 IRC CODE.

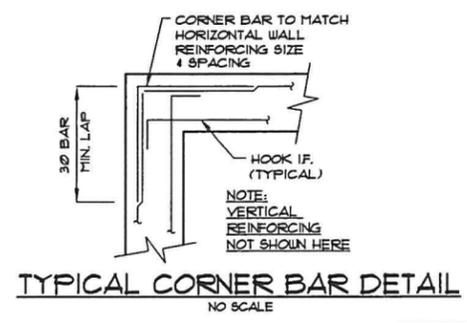
GLAZING NOTE:
 ALL GLAZING REQUIREMENTS TO FOLLOW IRC R-308 AND MANUFACTURER'S SPECIFICATIONS. WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH 2018 IRC SECTIONS R02.21 AND R02.22.

REV#	DATE	DESCRIPTION OF REVISION
1	8-26-19	PRELIMINARY PLANS FOR REVIEW
2	8-28-19	FINAL PLANS FOR PERMIT

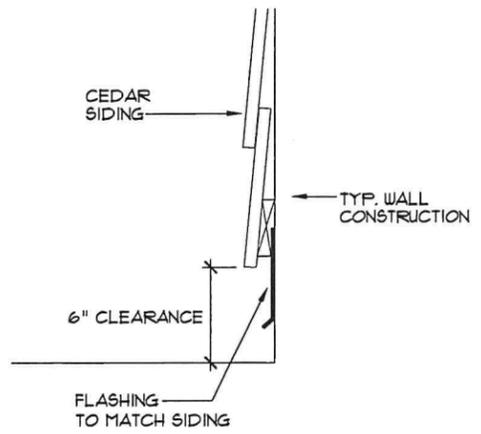
DATE	DESCRIPTION OF REVISION
5-30-19	1 PRELIMINARY PLANS FOR REVIEW
6-19-19	2 FINAL PLANS FOR PERMIT



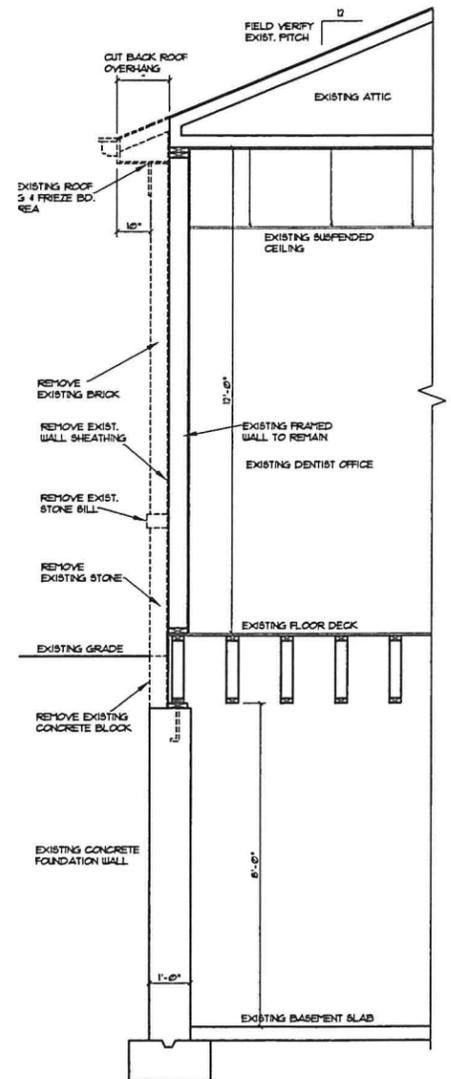
DETAIL - TRUSS TIE
 SCALE: 1/2" = 1'-0"
 NOTE:
 TRUSS TIES TO BE INSTALLED AT ALL NEW ROOF TRUSSES



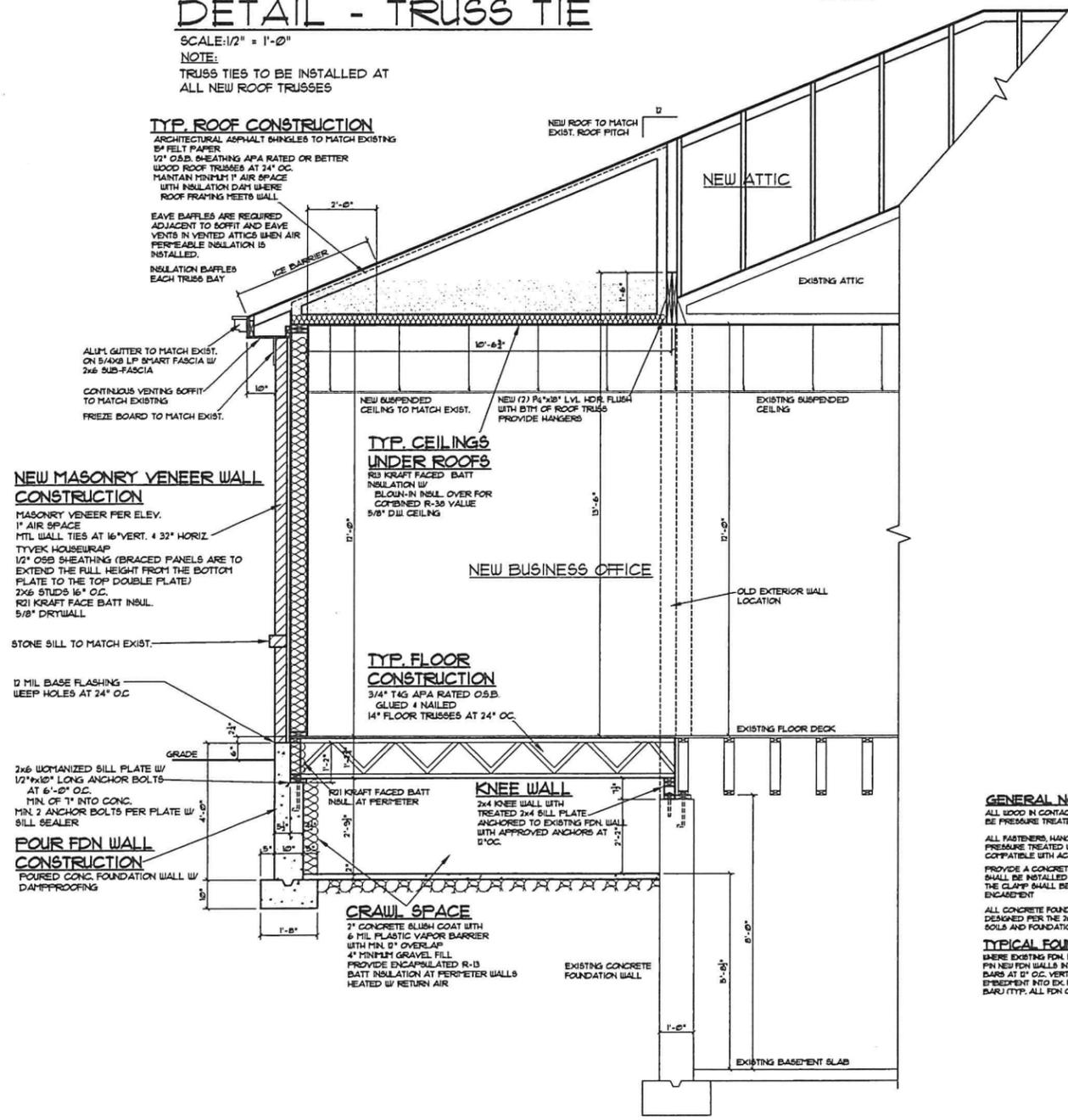
TYPICAL CORNER BAR DETAIL
 NO SCALE



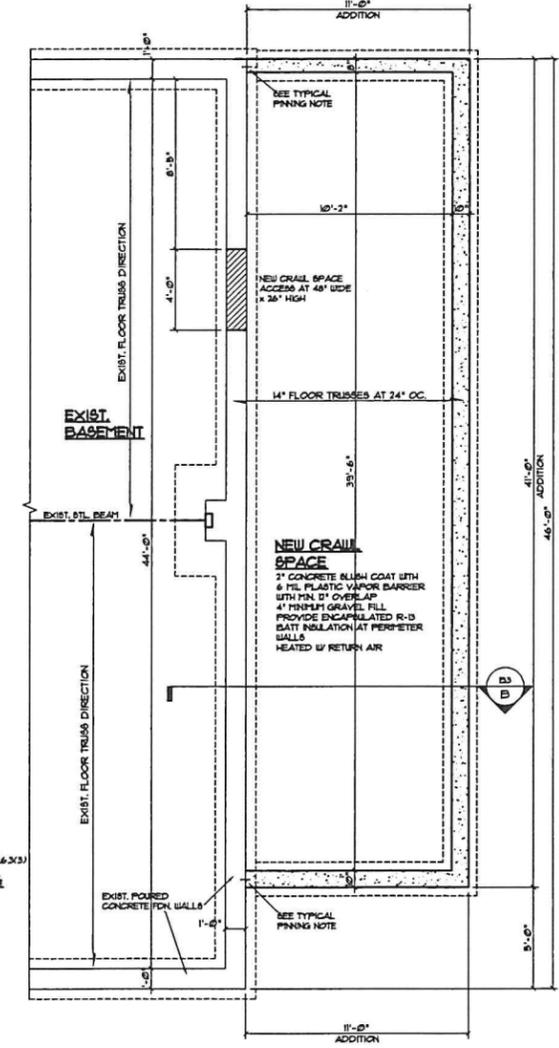
SIDING DETAIL
 SCALE: 3" = 1'-0"



WALL SECTION "A" WITH DEMO.
 SCALE: 1/2" = 1'-0"



WALL SECTION "B" W/ ADDITION
 SCALE: 1/2" = 1'-0"



FOUNDATION PLAN W/ ADDITION
 SCALE: 1/4" = 1'-0"

GENERAL NOTE:
 ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED MATERIAL.
 ALL FASTENERS, HANGERS, AND FLASHING FOR PRESSURE TREATED WOOD SHALL BE COMPATIBLE WITH ACQ TREATED LUMBER.
 PROVIDE A CONCRETE ENCASED ELECTRODE SHALL BE INSTALLED IN THE FOOTING INDICATE THE CLAMP SHALL BE LISTED FOR CONCRETE ENGAGEMENT.
 ALL CONCRETE FOUNDATION WALLS HAVE BEEN DESIGNED PER THE 2018 IBC CODE, CHAPTER 18 SOLLS AND FOUNDATIONS, TABLES 1807.2, 1807.6.3(3).
TYPICAL FOUNDATION FINNING
 WHERE EXISTING FDN IS POURED CONCRETE FIN NEW FDN WALLS INTO EXISTING FDN BY 4 BARS AT 12" O.C. VERT. 24" L W 8" MIN. EMBEDMENT INTO EX. FDN. (EPOXY SET EA. BAR) (TYP. ALL FDN CONNECTIONS).

ELECTRICAL NOTES:

OWNER SHALL MAKE ARRANGEMENTS FOR INSTALLATION OF TELEPHONES, INTERCOMMUNICATIONS AND MUSIC SYSTEMS BEFORE WALLS ARE CLOSED IN.

ALL LIGHT SWITCHES, THERMOSTATS, & OTHER OPERATING CONTROLS SHALL BE MOUNTED NO HIGHER THAN 54" FOR SIDE REACH & 48" HIGH FOR FORWARD REACH'S, AND SHALL MATCH EXISTING.

ALL OUTLETS SHALL BE 15" MINIMUM ABOVE FINISHED FLOOR.

BONDING TO OCCUR AT THE MAIN SWITCH

ALL MAIN LOAD RUNS MINIMUM 1" EMT

ANY NEW EXIT & EMERGENCY LIGHTING SHALL BE IN INDEPENDENT RACEWAY & WIRED TO LOCKED CIRCUIT BREAKERS GROUNDING OF METAL BUILDING TO BE THRU WATER MAIN

ANY NEW EXIT LIGHTS WIRE PER ARTICLE 100 NFPA 70 SYSTEM SHALL PICK UP LOAD WITHIN 10 SECONDS AFTER FAILURE OF NORMAL POWER SUPPLY, AND SHALL MATCH EXISTING.

VERIFY ALL EXISTING FIXTURE TYPES AND MANUFACTURERS EMERGENCY LIGHTS TO PROVIDE 1 FOOT-CANDLE MINIMUM.

PROVIDE EXIT LIGHT ALONG THE PATH OF EGRESS, AND MATCH EXISTING. ALL ELECTRICAL DEVICES, CONDUCTORS AND EQUIPMENT SHALL BE LISTED BY A RECOGNIZED AND APPROVED TESTING LABORATORY.

ACCESSIBLE TEMPORARY AND/OR ABANDONED WIRING CONDUCTORS, CONDUIT SYSTEMS, RACEWAYS, JUNCTION BOXES, ELECTRICAL MATERIALS AND ELECTRICAL EQUIPMENT SHALL BE COMPLETELY REMOVED.

IN NO CASE SHALL THERE BE MORE THAN 10 110-VOLT RECEPTACLES AND/OR LIGHT FIXTURES CONNECTED TO ANY BRANCH CIRCUIT.

ANY NEW SWITCHES AND OUTLETS SHALL BE CONNECTED TO THE BRANCH CIRCUIT BY USE OF SCREW TERMINALS. NO MORE THAN 1 CONDUCTOR SHALL BE CONNECTED TO AN ELECTRICAL DEVICE SCREW TERMINAL. CONDUCTORS CONNECTED TO SCREWLESS TERMINALS SHALL NOT BE PERMITTED.

ANY NEW FULL SIZE SINGLE-POLE, 2-POLE AND 3-POLE CIRCUIT BREAKERS SHALL BE ALLOWED ONLY 1 CONDUCTOR PER SCREW TERMINAL. MINI-CIRCUIT BREAKERS AND DOUBLE-SINGLE-POLE COMBINATION CIRCUIT BREAKERS SHALL NOT BE INSTALLED IN ANY MAIN SERVICE PANEL, SUB-PANEL OR DISCONNECT ENCLOSURE OF ANY SIZE OR TYPE.

ALL NEW CONDUCTOR MATERIAL SHALL BE COPPER

IN NO CASE SHALL ANY NEW COMMERCIAL OR INDUSTRIAL WIRING BE LESS THAN 12 COPPER WIRE AWG.

ANY NEW EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2102. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE FLOOR.

THE POWER SOURCE FOR ANY NEW EMERGENCY MEANS OF EGRESS LIGHTING SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM IN ACCORDANCE WITH NFPA 10.

A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE, TO MATCH EXISTING.

ALL EXISTING SMOKE DETECTORS SHALL BE 110-VOLT WITH BATTERY-BACKUP, INTERCONNECTED AND SUPPLIED BY A GENERAL LIGHTING CIRCUIT. WHEN SMOKE DETECTORS ARE INSTALLED ADJACENT TO UNCONDITIONED SPACES, CONDUIT SHALL HAVE A SIDE ENTRY TO THE JUNCTION BOX.

EACH AREA THAT IS REQUIRED TO HAVE MANUAL CONTROL OF THE LIGHTING SHALL ALSO ALLOW THE OCCUPANT TO REDUCE THE CONNECTED LIGHTING LOAD IN A REASONABLY UNIFORM ILLUMINATION PATTERN BY AT LEAST 50%. LIGHTING REDUCTION SHALL BE ACHIEVED BY CODE APPROVED METHODS AND MEET IECC, SECTION 209.2.2.1 REQUIREMENTS.

THE PROPOSED LIGHTS IN THE SUSPENDED CEILING SHALL BE INDEPENDENTLY SUPPORTED. AN APPROVED SUPPORT SYSTEM SHALL BE PROVIDED ON OPPOSING CORNERS OF THE LIGHT FIXTURE. THE FRAMING MEMBERS OF THE SUSPENDED CEILING SHALL NOT BE THE SOLE MEANS OF SUPPORT FOR THE FIXTURE.

OCCUPANCY SENSORS ARE REQUIRED IN ALL ROOMS 3000 SQUARE FEET OR LESS. THESE OCCUPANCY SENSORS SHALL BE MANUAL ON OR SHALL BE CONTROLLED TO AUTOMATICALLY TURN THE LIGHTING ON TO NOT MORE THAN 50 PERCENT POWER. FULL AUTOMATIC ON IS PERMITTED IN RECEPTION AREAS, AND CORRIDORS.

THE PROPOSED LIGHTING SHALL BE IN COMPLIANCE WITH THE ADOPTED ENERGY CONSERVATION CODE.

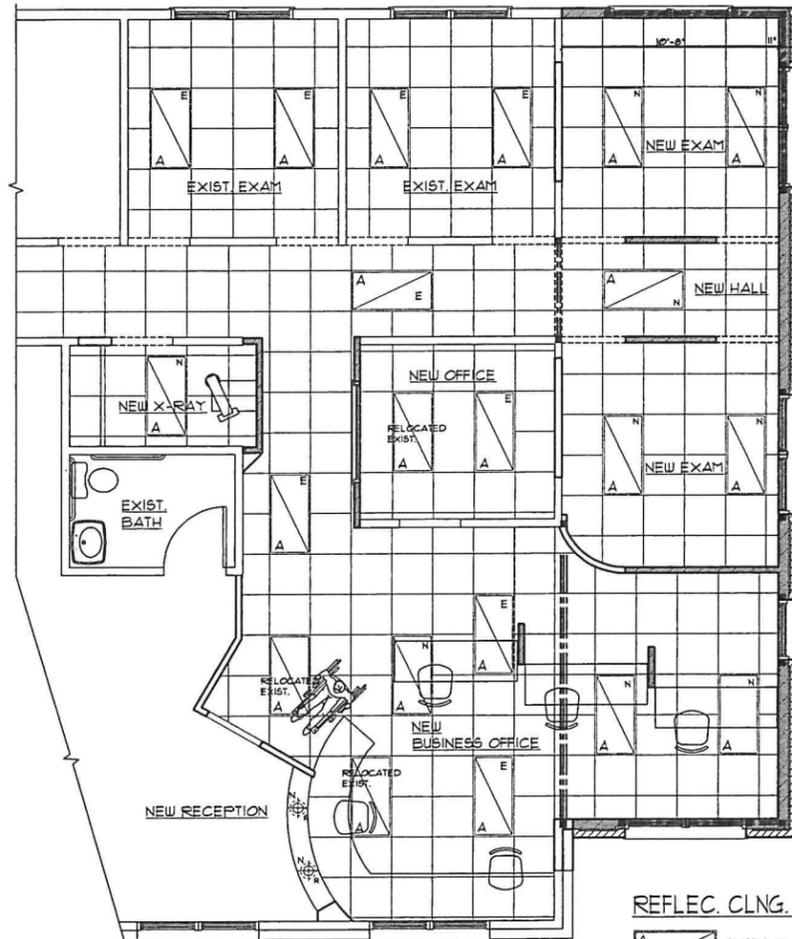
ANY NEW EMERGENCY LIGHTS AND EXIT UNIT EQUIPMENT REQUIRED TO BE CONNECTED TO THE SAME BRANCH CIRCUIT AS GENERAL LIGHTING IN THE AREA. PER NEC, SECTION 100-2(12)

OUTLETS SHALL NOT BE COMBINED WITH LIGHTING CIRCUITS.

ELECTRICAL POWER & FIRE ALARM KEY:

ELEC. CONTRACTOR NOTE: CIRCUIT BREAKER PANEL FOR THE SUITE TO BE LOCATED IN SUITE AND CONVENIENTLY ACCESSIBLE. ALL ELECTRICAL LINES TO BE CONCEALED. FLUORESCENT CEILING FIXTURES IN SUITE TO MEET EDISON REQUIREMENT LIGHTING RATIOS.

- EXIST. OUTLET
- DUPLEX WALL RECEPTACLE - INSTALL WITH GROUND PIN. HEIGHT AS DESIGNATED. (NEW)
- EXIST. DUAL HEAD EMERGENCY LIGHT
- DUAL HEAD EMERGENCY LIGHTS. VERIFY LAYOUT. BATTERY BACKUP. PROVIDE 1 FOOT-CANDLE MINIMUM OF EMERGENCY LIGHTING.
- EXIT
- EXIT. EMERGENCY EXIT SIGNAGE
- EXIT
- EMERGENCY EXIT SIGNAGE W/ BATTERY BACKUP, DIRECTIONAL WHERE REQ'D. "SURE-LITES" OR EQUAL.
- EXISTING LIGHT SWITCH
- NEW LIGHT SWITCH
- EXIST. 2x4 LITE IN SUSPENDED CEILING
- NEW 2x4 LITE TO MATCH EXIST.
- NEW REC. CAN
- NEW INTER CONNECTED SMOKE DETECTOR IN LINE WITH EXIST.
- NEW CEILING LITE (KEYLESS)



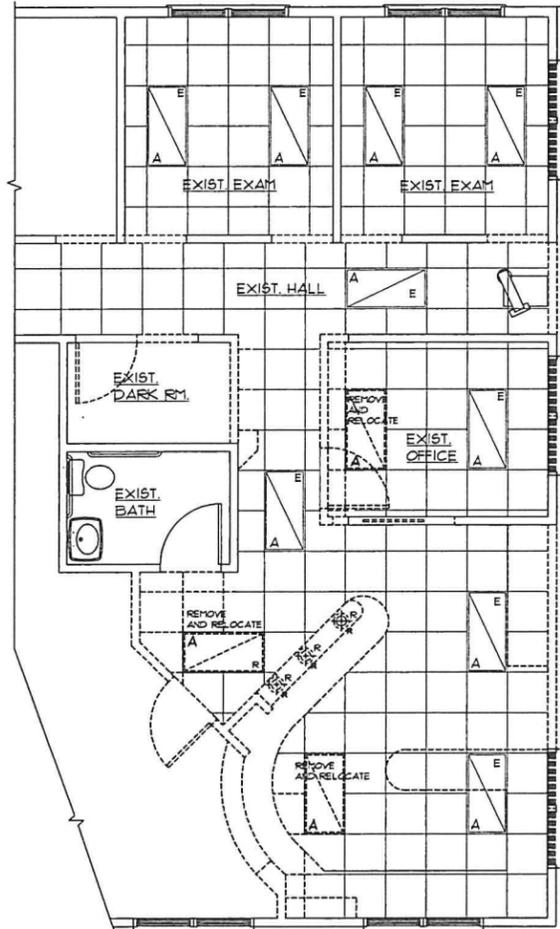
REFLEC. CLNG. KEY:

- EXIST. 2x4 LITE IN SUSPENDED CEILING
- NEW 2x4 LITE TO MATCH EXIST.
- NEW REC. CAN

LIGHT FIXTURES IN SUSPENDED CEILINGS SHALL BE MECHANICALLY FASTENED TO THE GRID. THE GRID AROUND EACH FIXTURE SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE (NOT ROOF DECK) AT A MINIMUM OF TWO (2) LOCATIONS THAT ARE WITHIN 6" OF OPPOSITE CORNERS OF THE LIGHT FIXTURE, AND SHALL MATCH EXISTING.

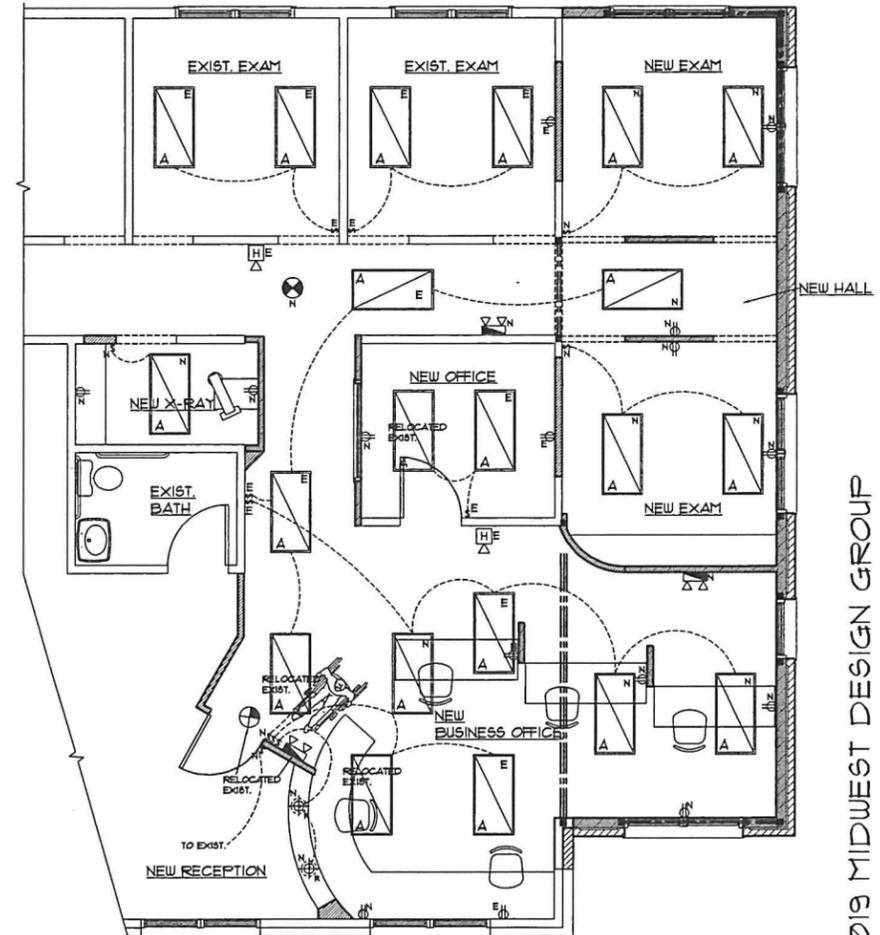
CEILING HEIGHT NOTE!
MATCH EXISTING CLNG. HT.
2x4 SUSPENDED CEILING TILES AT BUILD OUT.

RELECTIVE CLNG. PLAN W/ ADDITION
SCALE: 1/4" = 1'-0"



REMOVE EXISTING SUSPENDED CEILING TILES AND GRID AS INDICATED (SALVAGE IF POSSIBLE FOR REUSE)

RELECTIVE CLNG. PLAN W/ DEMO.
SCALE: 1/4" = 1'-0"



EMERGENCY LIGHTING NOTES:

1. BATTERY UNITS USED AS EMERGENCY SYSTEM TO COMPLY WITH 18-71-1000.
2. BATTERY UNITS SHALL BE CONNECTED TO THE LIGHTING CIRCUIT THAT ILLUMINATES THE AREA OF THE BATTERY UNIT.
3. CONNECT ALL BATTERY UNITS TO THE SAME BRANCH CIRCUIT THAT SERVES THE NORMAL ILLUMINATION IN THAT AREA AND CONNECT AHEAD OF ANY LOCAL SWITCHES.
4. PROVIDE LOCK-ON CIRCUIT BREAKERS ON CIRCUITS SERVING BATTERY UNITS 24 HOURS ON.
5. PROVIDE SEPARATE NEUTRAL FOR EXIT CIRCUITS AND EMERGENCY LIGHTING CIRCUITS.
6. ALL WIRING TO BE ENCLOSED IN SEPARATE RACEWAY SYSTEM, INDEPENDENT OF OTHER WIRING.
7. PROVIDE SEPARATE NEUTRAL FOR EXIT CIRCUITS AND EMERGENCY LIGHTING CIRCUITS.
8. MAXIMUM NUMBER OF CONNECTIONS PER CIRCUIT TO BE 10.
9. EXIT AND EMERGENCY LIGHTING TO BE PROTECTED BY 1/2" A.P.P. 1 POLE PLUG RIBS.

ELECTRICAL PLAN W/ ADDITION
SCALE: 1/4" = 1'-0"



DESIGNERS
HUNTLEY, IL 60142
OFFICE: 224-809-3010
EMAIL: ADAM.MDG@GMAIL.COM
PROFESSIONAL DESIGN FIRM
LICENSE # 184-004261

FAIRWAY HOMES
875 TOWNLINE ROAD
SUITE 103
LAKE GENEVA, WI 53147
P: 262.248.5010

ADDITION & RENOVATION TO:
GENEVA FAMILY DENTISTRY
851 PARK DRIVE SUITE 101
LAKE GENEVA WI. 53147

© COPYRIGHT 2019 MIDWEST DESIGN GROUP

REV#	DATE	DESCRIPTION OF REVISION
1	8-30-19	PRELIMINARY PLANS FOR REVIEW
2	8-15-19	FINAL PLANS FOR PERMIT



X-DENTAL OFFICE.DWG