

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING
MONDAY, DECEMBER 18, 2017 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Agenda

1. Meeting called to order by Mayor Kupsik.
2. Roll Call.
3. Approve Minutes of the November 20th Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review: Application by Judy Law, N2425 Laura Street, Delavan, to add a new sign above the door at 706 W Main Street, “All About the Gown”, Tax Key No. ZOP 00307.
7. Downtown Design Review: Application by Thomas George, 3389 S Shore Drive, Delavan, for exterior painting at 741 W Main Street, “E Street Denim”, Tax Key No. ZOP 00272.
8. Review and Recommendation of an Extraterritorial Jurisdiction (ETJ) CSM for Lots on Longwood Drive in the Town of Geneva filed by Martin Arenson, 23442 N. Wildwood Lane, Deerfield, IL 60015, filed by Lowell Management Services, PO Box 926, Lake Geneva, WI 53147, adjusting lot lines for lots 1, 2, & 3, Tax Key Nos. JLW 00001, JLW 00002, JLW 00003, JLW 00004, JLW 00008, JLA471100001.
9. Public Hearing and Recommendation to amend the existing Conditional Use Permit (CUP) filed by Lake Geneva 50120, LLC., 3000 Dundee Rd. Suite 408, Northbrook, IL, 60062 for 281 N Edwards Blvd. to allow the proposed exterior façade changes at Tax Key No. ZA297300001.
10. A. Review and Recommendation of a Petition for Annexation of 1.95 acres for Tax Key JG2500014A filed by Mark Larkin, 500 Stone Ridge Drive, Lake Geneva, WI 53147.
B. Review and Recommendation of a Request for Zoning Change filed by Mark Larkin, 500 Stone Ridge Drive, Lake Geneva, WI, to change A-3 County zoning to TR6 zoning for the northern part and PB zoning for the southern part. Tax Key JG2500014A
11. A. Public Hearing and Recommendation to amend the existing General Development Plan (GDP), application filed by Core Commercial Inc., for the property located at 753 Geneva Parkway, to allow for the construction of two commercial buildings approximately 22,000 square feet and 15,000 square feet Tax Key Nos. ZGBC 0001A & ZLGBP 00002.
B. Public Hearing and Recommendation on a Precise Implementation Plan (PIP), application filed by Core Commercial Inc., for the property located at 753 Geneva Parkway, to allow for the construction of two commercial buildings approximately 22,000 square feet and 15,000 square feet Tax Key Nos. ZGBC 0001A & ZLGBP 00002.

12. A. Public Hearing and Recommendation to amend the Existing General Development Plan (GDP), application filed by Fairwyn SB, Inc., 875 Townline Road, Lake Geneva, to allow for the relocation of the proposed Duplex Housing for the Symphony Bay Development, near Cadence Circle & Soprano Drive.

B. Public Hearing and Recommendation on a Precise Implementation Plan (PIP), application filed by Fairwyn SB, Inc., 875 Townline Road, Lake Geneva, to allow for the relocation of the proposed Duplex Housing for the Symphony Bay Development, near Cadence Circle & Soprano Drive.
13. A. Public Hearing and Recommendation to amend the existing General Development Plan (GDP), application filed by Southwind Prairie IV, LLC, 751 Geneva Parkway, Lake Geneva, to allow for the alteration of Building Exteriors and Design, Storage Structure, and Sign installations at 755 Southwind Drive, Tax Key No. ZPRW 00054A.

B. Public Hearing and Recommendation on a Precise Implementation Plan (PIP), application filed by Southwind Prairie IV, LLC, 751 Geneva Parkway, Lake Geneva, to allow for the alteration of Building Exteriors and Design, Storage Structure, and Sign installations at 755 Southwind Drive, Tax Key No. ZPRW 00054A.
14. Adjournment

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate accommodations.

Posted 11/14/2017

**PLAN COMMISSION MEETING
MONDAY, NOVEMBER 20, 2017 – 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Mayor Kupsik called the meeting to order at 6:01 p.m.

Roll Call. Present: Mayor Kupsik, Alderman Doug Skates, John Gibbs, Sarah Hill, Tyler Frederick. Absent (Excused) Ted Horne, Ann Esarco, City Planner Slavney. Also Present: City Attorney Draper, City Administrator Oborn, Building and Zoning Administrator Walling, Building & Zoning Administrative Assistant Follensbee.

Approve Minutes of the October 16th Joint City Council & Plan Commission Meeting and the October 16th Plan Commission meeting as distributed.

Skates/Hill motion to approve. Motion carried 5 to 0.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will to be limited to 5 minutes.

Acknowledgement of Correspondence. None.

Review and Recommendation of a CSM Lot Division filed by Paul Van Henkelum, Cardinal Engineering, on behalf of Mark Larkin, 500 Stone Ridge Drive, Lake Geneva, WI 53147, to divide a 6 acre parcel into 4 lots on the north side of Dodge Street, Tax Key No. ZYUP00053.

Ryan Cardinal, of Cardinal Engineering, on behalf of Mark Larkin, presented the request.

Zoning Administrator Walling stated all lots meet the zoning classification and is a simple land division CSM.

Skates/Hill motion to approve the CSM to comply with technical review comments by the city's consulting engineer.

Roll Call: Kupsik, Skates, Gibbs, Hill, Frederick voting "yes." Motion carried 5 to 0.

Review and Recommendation of a CSM Lot Combination filed by Paul Van Henkelum, Cardinal Engineering, on behalf of Chris Law, Geneva Lakes Christian Church, W2906 Willow Road, Lake Geneva, WI 53147, to combine 2 parcels at the SE corner of Bloomfield Road & Harmony Drive, Tax Key Nos. ZSF00232 and ZSF00231.

Ryan Cardinal, of Cardinal Engineering, on behalf of Geneva Lakes Christian Church, presented the request.

Zoning Administrator Walling said part of the agreement was to combine the 2 parcels into one lot.

Kupsik/Gibbs motion to approve the CSM to include all fact finding and staff recommendations.

Roll Call: Kupsik, Skates, Gibbs, Hill, Frederick voting "yes." Motion carried 5 to 0.

Review and Recommendation of a CSM Lot Combination filed by Paul Van Henkelum, Cardinal Engineering, on behalf of Golden Years, to combine 2 parcels on the SW corner of Bloomfield Road & Harmony Drive, Tax Key Nos. ZSF00074 & ZSF00085.

Ryan Cardinal, of Cardinal Engineering, on behalf of Golden Years, presented the request. Zoning Administrator Walling stated this agreement also required the combination of 2 parcels into one lot.

Kupsik/Skates motion to approve the CSM.

Roll Call: Kupsik, Skates, Gibbs, Hill, Frederick voting "yes." Motion carried 5 to 0.

Review and Recommendation of an Extraterritorial Jurisdiction (ETJ) CSM Lot Division in the Town of Geneva, filed by Douglas Olson, Olson Land Surveying, LLC, on behalf of Millard Properties, LLC, W6362 Dunham School Road, Elkhorn, WI, to divide a parcel at W2970 Springfield Road, Tax Key No. JG 1400001.

Bob Cook, Millard Properties, W6362 Dunham School Road, Elkhorn, presented his request.

Mr. Walling verified this request meets the Walworth County zoning requirements for a 5 acre parcel.

Skates/Hill motion to approve the CSM with all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Frederick voting “yes.” Motion carried 5 to 0.

Public Hearing and Recommendation for an amendment to an existing Conditional Use Permit (CUP) filed by Alan & Kathi Bosworth, 23 Windsor Drive, Elmhurst, IL, 60126 to add a landscape retaining wall at 1224 Main Street, Tax Key No. ZYUP 00094A.

John Forehand, architect, 914 Monroe, River Forrest, IL, and Al Bosworth, owner, presented their request. Mr. Walling clarified the fence would a maximum of 6’ from the mean average grade and asked Mr. Forehand to provide a rendering of the landscaping will look like from an at grade view. City Administrator Oborn said the Public Works director has a concern about snow removal for the driveway next to this proposed retaining wall and fence.

Hill/Kupsik motion to close the public hearing. Motion carried 5 to 0.

Gibbs/Frederick motion to approve the amendment to an existing Conditional Use Permit to include all staff recommendations and affirmative findings of fact.

Roll Call: Kupsik, Skates, Gibbs, Hill, Frederick voting “yes. Motion carried 5 to 0.

A. Public Hearing and Recommendation of the General Development Plan (GDP) filed by Steve Bieda, Mau & Associates, LLP, 400 Security Blvd, Green Bay, WI 54313, on behalf of Himansu Dhyani/Northern Management, to construct (4) four (8) eight unit multi-family buildings at 1150 Wells Street, Tax Key No. ZYUP00142B.

John Leroy, Mau and Associates, 400 Security Blvd, Green Bay, WI, presented their request with some modifications to the layout. Mr. Walling stated after meeting with staff and working through the issues of its layout, this project requires a couple exceptions which were stated but it does fall within the allowances. Mr. Walling said the engineering will continue on this project provided the GDP gets approved.

Speaker 1: Gerald Fischer, 250 Penny Lane, Lake Geneva, asked about the landscaping for the project.

Kupsik/Skates motion to close the public hearing. Motion carried 5 to 0.

Kupsik/Skates motion to approve the GDP to include all staff recommendations and fact finding with agreement to items 1 & 3. 1. The proposed GDP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA). 3. The proposed GDP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Roll Call: Kupsik, Skates, Gibbs, Hill, Frederick, Horne voting “yes. Motion carried 5 to 0.

B. Public Hearing and Recommendation of the Precise Implementation Plan (PIP), filed by Steve Bieda, Mau & Associates, LLP, 400 Security Blvd, Green Bay, WI 54313, on behalf of Himansu Dhyani/Northern Management, to construct (4) four (8) eight unit multi-family buildings at 1150 Wells Street, Tax Key No. ZYUP00142B.

John Leroy, Mau and Associates present the PIP request. Discussion indicated our city engineers need to verify the site works. Alderman Skates stated the application was lacking a landscaping plan, a lighting plan and building samples.

Skates/Gibbs motion to continue the Public Hearing & Recommendation for the PIP for 1150 Wells Street at the next Plan Commission meeting. Motion carried 5 to 0.

Public Hearing and Recommendation for a request to rezone the property currently zoned Planned Business Park to zoning classification of Planned Development, filed by Core Commercial Inc., for the property located at 753 Geneva Parkway to construct 2 Commercial structures, Tax Key Nos. ZGBC 0001A & ZLGBP 00002.

Kim Pischke, Core Commercial & Sandy Gulden CBRE Commercial Realtor, presented their request. Mr. Walling & City Attorney Draper clarified this request is for rezoning only.

Speaker 1: Andy Dammeir, 908 Wells Street, Lake Geneva, executive director of the Lake Geneva Economic Development Corporation, stated LGEDC board has concerns regarding their revised plans such as the traffic and change in the size of the plan which could impact the business park.

Speaker 2: Charlene Klein, 817 Wisconsin Street, Lake Geneva, asked for clarification of this request and questioned the need for additional big box stores in Lake Geneva.

Kupsik/Hill motion to close the public hearing. Motion carried 5 to 0.

Hill/Skates motion to approve and include all staff recommendations and fact finding in the affirmative.

Roll Call: Kupsik, Skates, Gibbs, Hill, Frederick, Horne voting "yes. Motion carried 5 to 0.

Adjournment. Skates/Hill motion to adjourn at 6:49 pm. Motion carried 5 to 0.

/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: December 18, 2017

Agenda Item #6

Applicant:

Judy Lew
N2425 Laura Street
Delavan, WI 53121

Request:

706 W Main St, Lake Geneva, WI 53147
Downtown Design Review of Signage

Description:

The applicant is submitting an application for Downtown Design Review for a sign for a building located at 706 Main Street. The City reviews all signs in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

The applicant proposes a 9.5-square-foot wall sign, would be constructed of aluminum with an inkjet laminate. Proposed sign colors include white background with imperial gray the sign size is within the maximum permitted square feet area permitted.

Staff Recommendations:

The colors submitted have been reviewed and comply with the Historic Colors of the Behr Williams color palette. The proposed wall sign meets the requirements of the Downtown Design Overlay Zoning district. As proposed, the projecting sign exceeds the maximum permitted area for projecting signs.

Staff recommends *approval* of the proposed sign in the location as submitted.



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

706 W. MAIN STREET LAKE GENEVA, WI 53147
Upper

Name & Address of Current Building Owner:

Angele Petros
26730 Hickory BLVD. 4A
Bonita BEACH, Florida 34134

Telephone Number of Current Building Owner: 262-212-1105

Name & Address of Applicant:

JUDY LEW
N 2425 LAURA ST.
Delavan, WI 53115

Telephone Number of Applicant: 262-903-1324

Proposed Design Change:

Sign

Zoning District: _____

Names & Address of Architect, Engineer, and/or Contractor of Project:

Signature Signs
W 2888 Krueger Road Phone: 262-248-3991
LAKE GENEVA, WI 53147

Description of Project:

Putting New Sign above the Doorway

Date: 12-8-17

Signature of Applicant:

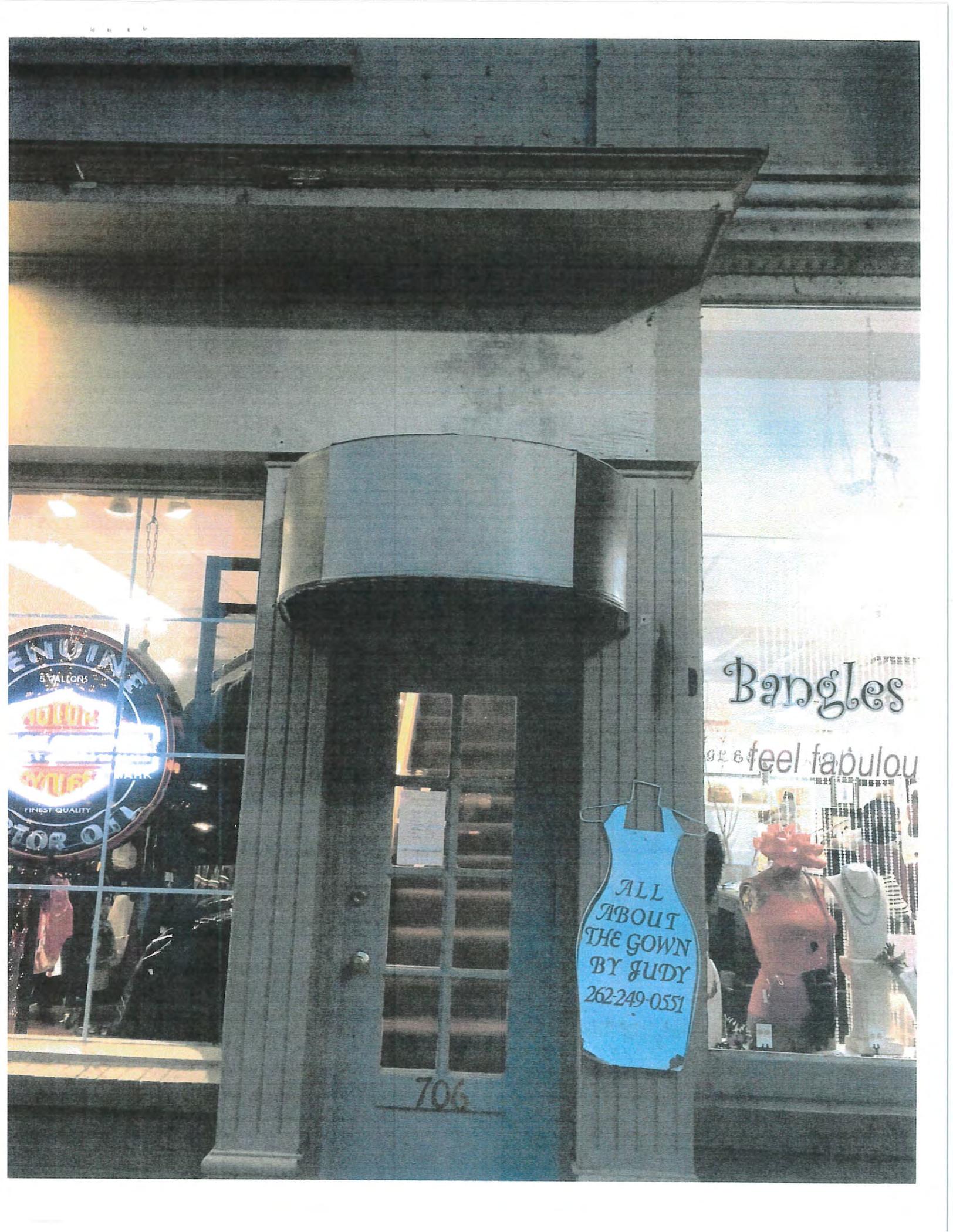
Judy Lew



57"x24"

3mm Aluminum composite covered with
Inkjet print with laminate

Colors - Antique White Background
with Slate Gray Copy.



GENUINE
5 GALLONS
JUDY'S
MARK
FINEST QUALITY
FOR OIL

706

ALL
ABOUT
THE GOWN
BY JUDY
262-249-0551

Bangles
feel fabulous

PPU24-14

PPU26-02

White Moderne
PPU24-14^U



Imperial Gray
PPU26-02^U



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: December 18, 2017

Agenda Item #7

Applicant:
Thomas George
3389 South Shore Drive
Delavan, WI 53121

Request:
741 W. Main St, Lake Geneva, WI 53147
Downtown Design Review Painting Exterior

Description:

The applicant is submitting an application for Downtown Design Review for the change of the exterior colors of the building located at 741 W. Main Street. The City reviews all exterior color changes in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly color requirements.

The applicant proposes the change in color to the trim, stucco, and iron beam with colors that are permitted within the Historic Colors allowed. The applicants have provided photos of the existing building as of now minus the awning as identified in the request by the applicant.

Staff Recommendations:

The colors submitted have been reviewed and comply with the Historic Colors palette. The proposed colors to be used as identified meets the requirements of the Downtown Design Overlay Zoning district.

Staff recommends *approval* of the proposed color additions to the building location as submitted, however would request clarification from the applicant “for the record” if the awning will be reinstalled once the painting has been completed.



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

741 WEST MAIN STREET
LAKE GENEVA, WI 53147

Name & Address of Current Building Owner:

ROGER WOLFF / Keefe office
751 Geneva PKwy N
LAKE GENEVA, WI 53147

Telephone Number of Current Building Owner: 262-903-3222

Name & Address of Applicant:

THOMAS GEORGE
3389 S SHORE DR
DELAWAN, WI 53115

Telephone Number of Applicant: cell #805-886-5263

Proposed Design Change:

PAINT

Zoning District: Business

Names & Address of Architect, Engineer, and/or Contractor of Project:

Titus Painting

Description of Project:

PAINTING TRIM of window surrounding

Date: 12/8/17

Signature of Applicant:

PAINT COLOR CHANGE

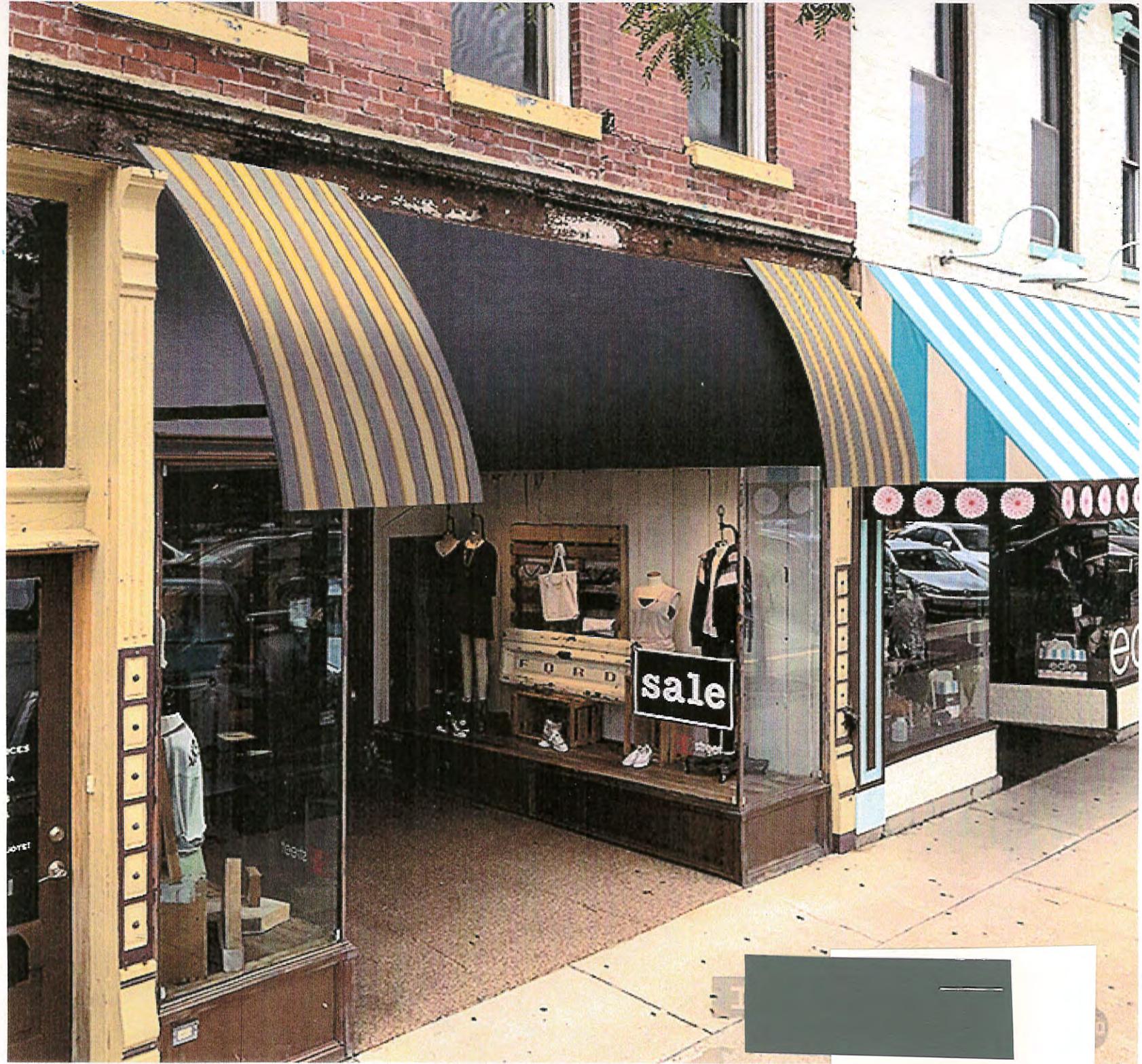
E STREET DENIM

741 WEST MAIN STREET

LAKE GENEVA, WI 53147

THE AWNING IN PICTURE IS NOT THERE AND IS NOT WHAT WE INTEND THIS REQUEST IS FOR
PAINT COLOR CHANGE ONLY.

- ALL YELLOW/BROWN WOOD TRIM WILL BE THE HC-166 KENDALL CHARCOAL
- ALL COPPER WINDOW TRIM WILL BE THE HC-166 KENDALL CHARCOAL
- IRON BEAM WILL BE THE HC-166 KENDALL CHARCOAL
- ALL WOOD TRIM AROUND AND INCLUDING FRONT DOOR WILL BE AF-15 STEAM WHITE
- ALL STUCCO IN AND AROUND FRONT WILL BE AF-15 STEAM WHITE



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: December 18, 2017

Agenda Item:#8

Applicant:

Lowell Custom Homes
401 Geneva National Ave.
Lake Geneva WI 53147

Request: ETZ Town of Geneva

Owner: Martin Arenson

Exterritorial Zoning request (ETZ) for a lot line adjustment for the parcels located within the Town of Geneva
Lake Geneva, WI 53147

Description:

This request is to approve a Certified Survey Map (CSM) to per density requirements of Walworth County Zoning and land division located in the Town of Geneva.

The parcels included in this CSM request are:

- Parcel JLW 00008
- Parcel JLW 00001
- Parcel JLW 00002
- Parcel JLW 00003
- Parcel JLW 00004
- Parcel JLA471100001

The result of this CSM will be parcels that will be in accordance with Walworth County Land Use and Zoning and standards. Combining with lot line adjustments lots Parcel JLW 00001&Parcel JLW 00002; Parcel JLW 00003&Parcel JLW 00004; Parcel JLW 00004&Parcel JLA471100001.

The reconfiguration of these 3 newly created parcels will remove the limited building areas from lots 1, 2, 3, and 4 in addition the septic easement area for lot 1 from lot 2 and the no access strip along the street side of lot 1 as identified on the document provided by the applicant prepared by Peter S. Gordon.

Project Details from CSM Submittal dated 8-04-17:

The proposed CSM drawing is provided on Sheet 2 of 3—project # 7192.17 depicts the proposed parcel after the lot reconfiguration.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Exterritorial Zoning request (ETZ) and review of the proposed Certified Survey Map (CSM):

As part of the consideration of the requested CSM, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CSM.

Staff Recommendation on the proposed Certified Survey Map (CSM):

1. Staff recommends that the Plan Commission recommend *approval* of the Exterritorial Zoning request (ETZ) and review of the proposed Certified Survey Map (CSM): as submitted, subject to approval for all parcels, and Walworth County Land Use Zoning.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW



CERTIFIED SURVEY MAP or



SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

MARTIN ARENSON
23442 N. WILDWOOD LN.
DEERFIELD, IL 60015

TELEPHONE NUMBER OF CURRENT OWNER: ()

NAME AND ADDRESS OF APPLICANT:

LOWELL CUSTOM HOMES
401 GENEVA NATIONAL AVES. P.O. Box 6
LAKE GENEVA, WI 53147

TELEPHONE NUMBER OF APPLICANT: (262) 245-9030

NAME AND ADDRESS OF SURVEYOR:

FARRIS, HANSEN & ASSOCIATES, INC. - PETER GORDON
7 RIDGWAY COURT P.O. Box 437
ELKHORN, WI 53121

TELEPHONE NUMBER OF SURVEYOR: (262) 723-2098

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

ADJUST LOT LINES FOR LOTS 1, 2 & 3. (ETJ)
REMOVE LIMITED BUILDING AREAS FOR LOTS 1, 2 & 3.

SUBMITTAL CHECKLIST

_____ LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.

X SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.

X CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.

X PROVIDE 5 FULL SETS AND 20 11" X 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

NOVEMBER 11, 2017
DATE


SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

TODD CAFFHAN (AGENT) as applicant/petitioner for:

Name: LEWELL CUSTOM HOMES
Address: 401 GENEVA NATIONAL AVES. P.O. BOX 6
LAKE GENEVA, WI 53147
Phone: 262-245-9030

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 14TH day of NOVEMBER, 2017.

TODD CAFFHAN (AGENT)
Printed name of Applicant/Petitioner

[Signature]
Signature of Applicant/Petitioner

Document Number

Document Title

RESTRICTION REMOVAL AFFIDAVIT

Recording Area

Name and Return Address

Farris, Hansen, & Associates
7 Ridgway Court - PO Box 437
Elkhorn, Wi. 53121

WALWORTH COUNTY APPROVAL

THE ABOVE AFFIDAVIT REMOVING THE PLATTED RESTRICTIONS IS APPROVED BY THE WALWORTH ZONING AGENCY.

DATED: _____

TIM BRELLENTHIN CHAIRPERSON

Parcel Identification Number (PIN)

TOWN OF GENEVA APPROVAL

THE ABOVE AFFIDAVIT EXTINGUISHING THE PLATTED RESTRICTIONS IS APPROVED BY THE TOWN BOARD OF THE TOWN OF GENEVA, WISCONSIN.

DATED: _____

TOWN BOARD CHAIRMAN
JOSEPH F. KOPECKY

TOWN CLERK
DEBRA KIRCH

CITY OF LAKE GENEVA APPROVAL

THE ABOVE AFFIDAVIT EXTINGUISHING THE PLATTED RESTRICTIONS LOCATEDD IN THE EXTRATERRITORIAL PLAT JURISDICTION AREA FOR THE CITY OF LAKE GENEVA, WISCONSIN IS APPROVED BY THE COMMON COUNCIL FOR THE CITY OF LAKE GENEVA, WISCONSIN.

DATED: _____

ALAN KUPSIK MAYOR

DEBRA KIRCH CITY CLERK

THIS INSTRUMENT WAS DRAFTED BY PETER S. GORDON

SHEET 2 OF 2

This information must be completed by submitter: Document title, name & return address, and PIN (if required). Other information such as the granting clauses, legal description, etc. may be placed on this first page of the document or may be placed on additional pages of the document. Note: Use of this cover page adds one page

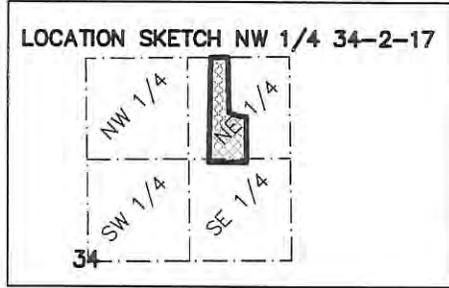
FARRIS, HANSEN & ASSOC. INC.

CERTIFIED SURVEY MAP NO. _____

7 RIDGWAY COURT- P.O. BOX 437
ELKHORN, WISCONSIN 53121
PHONE (262) 723-2098
FAX (262) 723-5886

OWNER: MARTIN A. ARENSON
23442 N. WILDWOOD LANE
DEERFIELD, IL. 60015

ZONING: R-1



A PARCEL CONSOLIDATION & LOT LINE ADJUSTMENT CSM, LOCATED IN PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 34, TOWN 2 NORTH, RANGE 17 EAST, WALWORTH COUNTY, WISCONSIN

SURVEY CERTIFICATE

I HEREBY CERTIFY THAT AT THE DIRECTION OF MARTIN A. ARENSON, OWNER, AND IN FULL COMPLIANCE WITH THE PROVISIONS OF S.236.34 OF WISCONSIN STATUTES, AND THE SUBDIVISION CONTROL ORDINANCE, WALWORTH COUNTY, WISCONSIN, I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING DESCRIBED LANDS AND THAT THIS MAP IS A TRUE REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND OF THE DIVISION THEREOF TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF:

A PARCEL CONSOLIDATION AND LOT LINE ADJUSTMENT CSM, LOCATED IN PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 34, TOWN 2 NORTH, RANGE 17 EAST, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 1, LOT 2, LOT 3, LOT 4, AND OUTLOT 1 OF LONGWOOD SUBDIVISION, RECORDED IN CABINET D ON SLIDE 146, AS DOCUMENT NO. 753976, TOGETHER WITH LOT 1 OF CERTIFIED SURVEY MAP NO. 4711, RECORDED AS DOCUMENT NUMBER 947401. CONTAINING 376,470 SQUARE FEET OF LAND (8.64 ACRES) MORE OR LESS.

DATED: AUGUST 4, 2017


PETER S. GORDON PLS 2101



NOTE: THIS LOT LINE ADJUSTMENT (PARCEL CONSOLIDATION) BETWEEN ADJOINING LAND OWNERS DOES NOT CREATE ADDITIONAL LOTS AND THE ORIGINAL PARCELS ARE NOT REDUCED BELOW THE MINIMUM SIZE REQUIRED BY THE WALWORTH COUNTY ZONING ORDINANCES.

LINE	BEARING	DISTANCE
L1	N 88°38'11" E	61.30
L2	S 46°21'49" E	45.25
L3	N 88°38'11" E	60.00
L4	S 01°21'49" E	102.71
L5	S 00°16'19" W	117.90
L6	S 01°21'49" E	111.45
L7	S 84°42'14" W	177.55
L8	N 01°19'42" W	129.14
L9	S 66°46'41" E	136.28
L10	S 81°44'51" E	115.56

OUTLOT 1 IS A STORM WATER MANAGEMENT AREA AND WILL BE OWNED BY THE TITLEHOLDERS OF LOTS 1 THROUGH 3 OF THIS CERTIFIED SURVEY MAP. EACH TITLEHOLDER SHALL HOLD A 1/3rd UNDIVIDABLE INTEREST IN OUTLOT 1. THE OWNERS OF OUTLOT 1 SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORM WATER MANAGEMENT PRACTICES. IN THE CASE OF NON-PERFORMANCE, ACCESS FOR MAINTENANCE OR REPAIR OF THE STORM WATER MANAGEMENT PRACTICES ON OUTLOT 1 SHALL BE GRANTED TO THE TOWN OF GENEVA AND WALWORTH COUNTY.

AREAS SHOWN AS "PROTECTED AREA AROUND WETLAND" SHALL BE KEPT FREE OF IMPERVIOUS SURFACES. THE PROTECTED AREAS MUST BE MAINTAINED IN SELF-SUSTAINING VEGETATION, SUFFICIENT TO FILTER POLLUTANTS.

CURVE/LOT	TANGENT IN	RADIUS	CENT. ANG.	CHORD BRG	CHORD DIST	ARC	TANGENT OUT
C-1	S 1-21-49.0 E	1967.00	1-38-08.0	S 0-32-45.0 E	56.15	56.15	S 0-16-19.0 W
C-2	S 0-16-19.0 W	2033.00	1-38-08.0	S 0-32-45.0 E	58.03	58.03	S 1-21-49.0 E
C-3	S 1-21-49.0 E	2033.00	6-11-08.0	S 4-27-23.0 E	219.37	219.48	S 7-32-57.0 E
C-3/LOT1			3-55-56.0	S 3-19-47.0 E	139.50	139.53	
C-3/LOT2			2-15-12.0	S 6-25-21.0 E	79.95	79.95	
C-4	S 7-32-57.0 E	60.00	38-08-42.0	S 11-31-24.0 W	39.21	39.95	S 30-35-45.0 W
C-5	S 30-35-45.0 W	60.00	258-21-53.0	N 81-24-48.5 E	93.02	270.56	N 47-46-08.0 W
C-5/LOT2			99-35-11.0	S 19-11-50.0 E	91.65	104.29	
C-5/LOT3			158-46-42.0	N 31-37-13.0 E	117.95	166.27	
C-6	N 47-46-08.0 W	60.00	40-19-15.0	N 27-36-30.5 W	41.36	42.22	N 7-26-53.0 W
C-7	N 7-26-53.0 W	1967.00	6-05-04.0	N 4-24-21.0 W	208.78	208.88	N 1-21-49.0 W
C-8	N 1-21-49.0 W	1967.00	0-30-54.0	N 1-06-22.0 W	17.68	17.68	N 0-50-55.0 W

THIS INSTRUMENT DRAFTED
BY PETER S. GORDON
PROJECT NO. 7192.17
DATED: 08-04-2017
SHEET 1 OF 3 SHEETS

CERTIFIED SURVEY MAP NO. _____

NW CORNER
34-2-17
{221,457.17 N.}
{2,408,678.58 E.}

N: 1/4 CORNER
34-2-17
{221,494.70 N.}
{2,411,325.49 E.}

UNPLATTED LANDS

UNPLATTED LANDS

S 89°11'16" W 2647.11' {2647.22'}

{66' WIDE R.O.W.}

MCDONALD ROAD

GRID NORTH
WISCONSIN STATE PLANE
COORDINATE SYSTEM
SOUTH ZONE (NAD-27)
N. LINE OF THE NW 1/4 OF
SECTION 34-2-17 BEARS
S 89°11'16" W

1625.85'

N 89°11'16" E 206.78'

1021.26'

S 00°49'23" W 33.02'

FOUND IRON REBAR STAKE

S 00°49'23" W, 0.47' FROM

RECORD CORNER

140.78'

50,560 S.F.

SEE NOTE SHEET 1

OUTLET 1

328.22'

112'

358.62'

8' UTILITY EASEMENT

66.00'

FOUND IRON PIPE STAKE

S 01°21'49" E, 0.56' FROM

RECORD CORNER

NOTE: UTILITIES TO RUN

INSIDE EDGE OF LONGWOOD

DRIVE RIGHT OF WAY.

NOTE: LONGWOOD DRIVE IS A

PRIVATE ROADWAY PER

DOC. 783418

NOTE: DRAINAGEWAY DETERMINED

NOT NAVIGABLE BY PAM

SCHENSE OF THE D.N.R.

NOTE: SET IRON REBAR STAKE,

3/4 x 18" x 1.50 lbs./ft.

{XXX} = RECORDED AS

NOTE: LONGWOOD DRIVE IS A

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3/4 x 18" x 1.50 lbs./ft.

{XXX} = RECORDED AS

NOTE: LONGWOOD DRIVE IS A

PRIVATE ROADWAY PER

DOC. 783418

LEGEND

- = FOUND CONCRETE COUNTY MONUMENT W/BRASS CAP
- = FOUND IRON PIPE STAKE 1 3/8" O.D.
- = FOUND IRON REBAR STAKE 1 5/16" DIA.
- ⊕ = SOIL TEST BORING LOCATED
- ⦿ = SET IRON REBAR STAKE, 3/4 x 18" x 1.50 lbs./ft.
- {XXX} = RECORDED AS

NOTE: LONGWOOD DRIVE IS A PRIVATE ROADWAY PER DOC. 783418



LOT 51
WILDWOOD
SUBDIVISION

LOT 49 WILDWOOD
SUBDIVISION

LOT 48
WILDWOOD
SUBDIVISION

LOT 47
WILDWOOD
SUBDIVISION

LOT 44
WILDWOOD
SUBDIVISION

LOT 42
WILDWOOD
SUBDIVISION

LOT 41
WILDWOOD
SUBDIVISION

(N 01°41'W)
N 00°49'23" E 1373.41'
1340.39'

LOT 1
98,990 S.F.
2.27 AC

LOT 2
69,656 S.F.
1.60 AC

LOT 4
255,343 S.F.
5.84 AC

LOT 1 CSM 4711

LOT 1
98,990 S.F.
2.27 AC

LOT 2
69,656 S.F.
1.60 AC

LOT 4
255,343 S.F.
5.84 AC

LOT 1 CSM 4711

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1.60 AC

LOT 4
255,343 S.F.
5.84 AC

LOT 1 CSM 4711

THIS INSTRUMENT DRAFTED
BY PETER S. GORDON
PROJECT NO. 7192.17
DATED: 08-04-2017
SHEET 2 OF 3 SHEETS

100 50 0 100 200 300 400
MAP SCALE IN FEET ORIGINAL 1" = 150'

A PARCEL CONSOLIDATION & LOT LINE ADJUSTMENT CSM, LOCATED IN PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 34, TOWN 2 NORTH, RANGE 17 EAST, WALWORTH COUNTY, WISCONSIN

A PARCEL CONSOLIDATION & LOT LINE ADJUSTMENT CSM **CERTIFIED SURVEY MAP NO.** _____
LOCATED IN PART
OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE
NORTHWEST 1/4 OF SECTION 34, TOWN 2 NORTH,
RANGE 17 EAST, WALWORTH COUNTY, WISCONSIN

OWNERS CERTIFICATE

AS OWNERS, WE HEREBY CERTIFY THAT WE HAVE CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED,
DIVIDED, AND MAPPED. WE ALSO CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE
SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION.

WALWORTH COUNTY ZONING AGENCY
TOWN OF GENEVA
CITY OF LAKE GENEVA (EXTRATERRITORIAL ZONING)

MARTIN A. ARENSON DATED _____

STATE OF WISCONSIN)
SS
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2017, THE ABOVE NAMED MARTIN A.
ARENSON, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND
ACKNOWLEDGED THE SAME.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC, _____, WISCONSIN

WALWORTH COUNTY APPROVAL

APPROVED BY RESOLUTION OF THE WALWORTH COUNTY ZONING AGENCY THIS _____ DAY OF _____, 2017.

TIM BRELLENTHIN, CHAIRPERSON

TOWN OF GENEVA APPROVAL

APPROVED THIS _____ DAY OF _____, 2017 BY THE TOWN OF GENEVA, WALWORTH COUNTY, WISCONSIN.

DEBRA L. KIRCH, TOWN CLERK

JOSEPH F. KOPECKY TOWN BOARD CHAIRMAN

CITY OF LAKE GENEVA EXTRATERRITORIAL PLAT APPROVAL

RESOLVED THAT THIS CERTIFIED SURVEY MAP, LOCATED IN THE EXTRATERRITORIAL PLAT JURISDICTION FOR THE
CITY OF LAKE GENEVA, IS HEREBY APPROVED THIS _____ DAY OF _____, 2017.

SABRINA WASWO, CITY CLERK

ALAN KUPSİK MAYOR

8/4/2017
[Handwritten Signature]



THIS INSTRUMENT DRAFTED
BY PETER S. GORDON
PROJECT NO. 7192.17
DATED: 08-04-2017
SHEET 3 OF 3 SHEETS

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #9

Applicant:

Lake Geneva 50120 LLC.
c/o GMX Real Estate Group LLC
3000 Dundee Road suite 408
Northbrook IL 60062

Request: Amend Existing CUP

281 Edwards Blvd, Lake Geneva, WI 53147
Conditional Use Permit Amendment Exterior
Building Façade Change

Description:

The applicant is submitting a request to amend the existing Conditional Use Permit (CUP) that was previously issued for the property located at 281 Edwards Blvd. for the exterior façade. The current design of the buildings is identified in the submittal as documents “Original Submittal”. The requested changes are reflected on the following pages whereas the request is a façade change from a flat parapet to an arched parapet and entry door configuration changes to accommodate possible rental clients. The City has previously approved the building, building locations, and site plan to include parking.

To clarify this request is only a non-structural building exterior façade change.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed amendment to the existing Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed amended conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any

other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed amended conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed amended conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed amended conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed amended conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed amended conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed amended conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed amended conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed amended conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed amended conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed amended conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed amended conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend *approval* of the proposed amended conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary)

281 N. Edwards Boulevard, Lake Geneva

Name and Address of Current Owner:

Lake Geneva 50120, LLC c/o GMX Real Estate Group, LLC located at 3000 Dundee Road, Suite 408, Northbrook, IL 60062

Telephone No. of Current Owner including area code: (312) 657-6418 / Andrew Goodman

Name and Address of Applicant:

see above - also the "Developer"

Telephone No. of Applicant including area code: see above

Proposed Use:

Development of second commercial building to the east of the new Starbucks-AT&T store building to be constructed for national dental, retail and/or restaurant/related occupants.

Zoning District in which land is located:

Planned Business Commercial Zoning District

Names and Addresses of architect, professional engineer and contractor of project

JTS Architects located at 450 E. Higgins Road, Suite 202, Elk Grove Village, IL 60007

RTM Engineering located at 715 Ridgeview Drive, McHenry, IL 60050

ICS I General Contractor located at 2167 S Gateway Drive, Brookfield, WI 53045

Short statement describing activities to take place on site:

The Starbucks-AT&T store building opened Summer - Fall, 2017. The proposed second building construction would commence Spring, 2018 for tenant openings in fall, 2018 which would complete the development project. The overall project design and plan were previously approved in fall, 2016 at which time the PIP Amendment was approved. Applicant is seeking another PIP Amendment in order to receive approval to make modifications to the previously approved building design.

PIP Amendment fee \$400.00, payable upon filing application.


Signature of Applicant

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Andrew Goodman, as applicant/petitioner for:

Name: Lake Geneva Solara, LLC
Address: c/o SMX Real Estate Group, LLC
3000 Dundee Road, Suite 408, Northbrook, IL 60062
Phone: (312) 607-6418

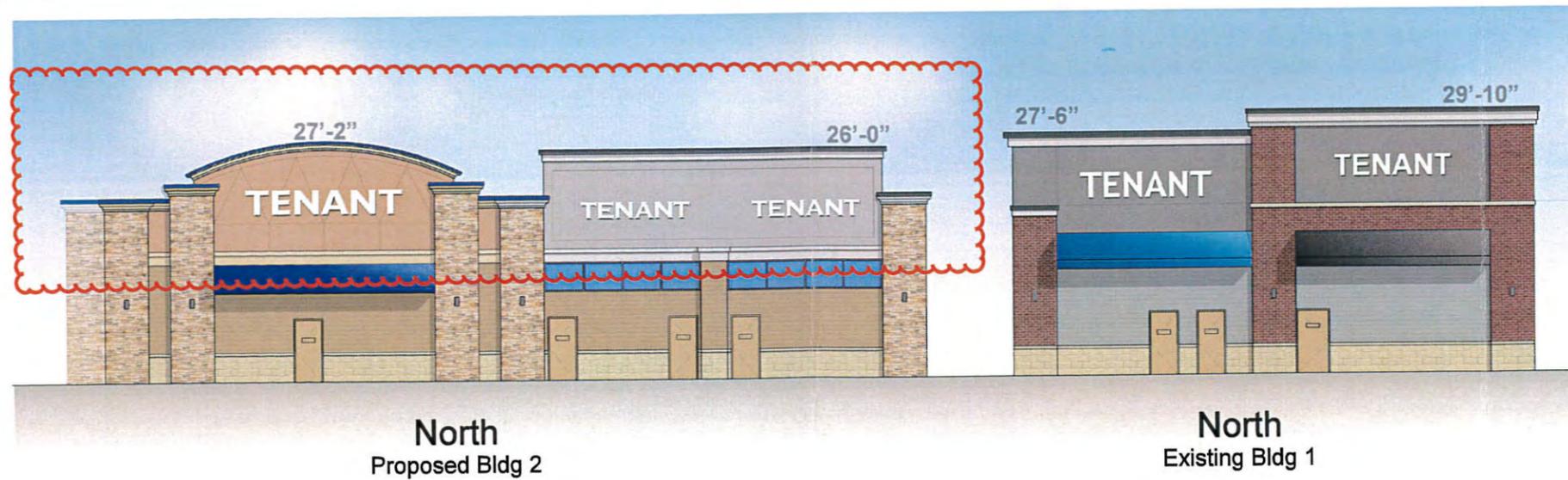
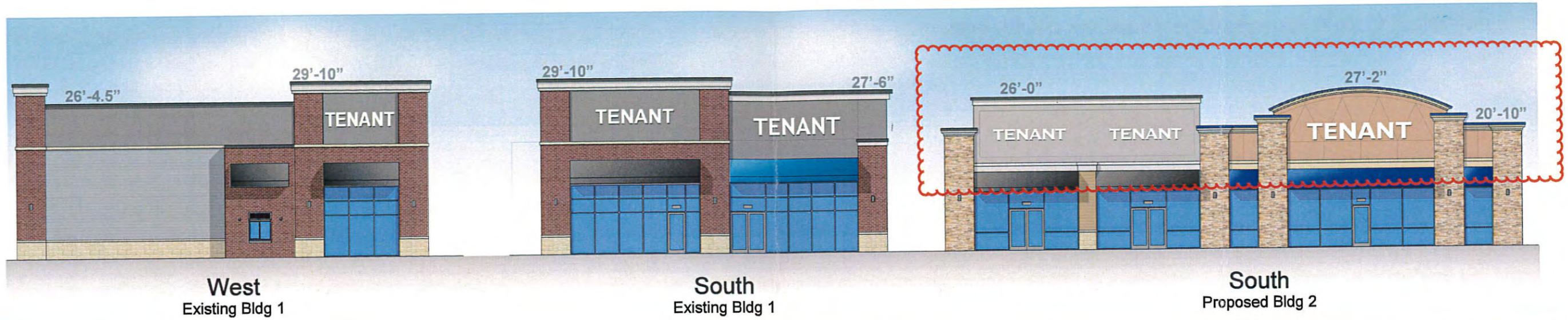
Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 9th day of November, 2017.

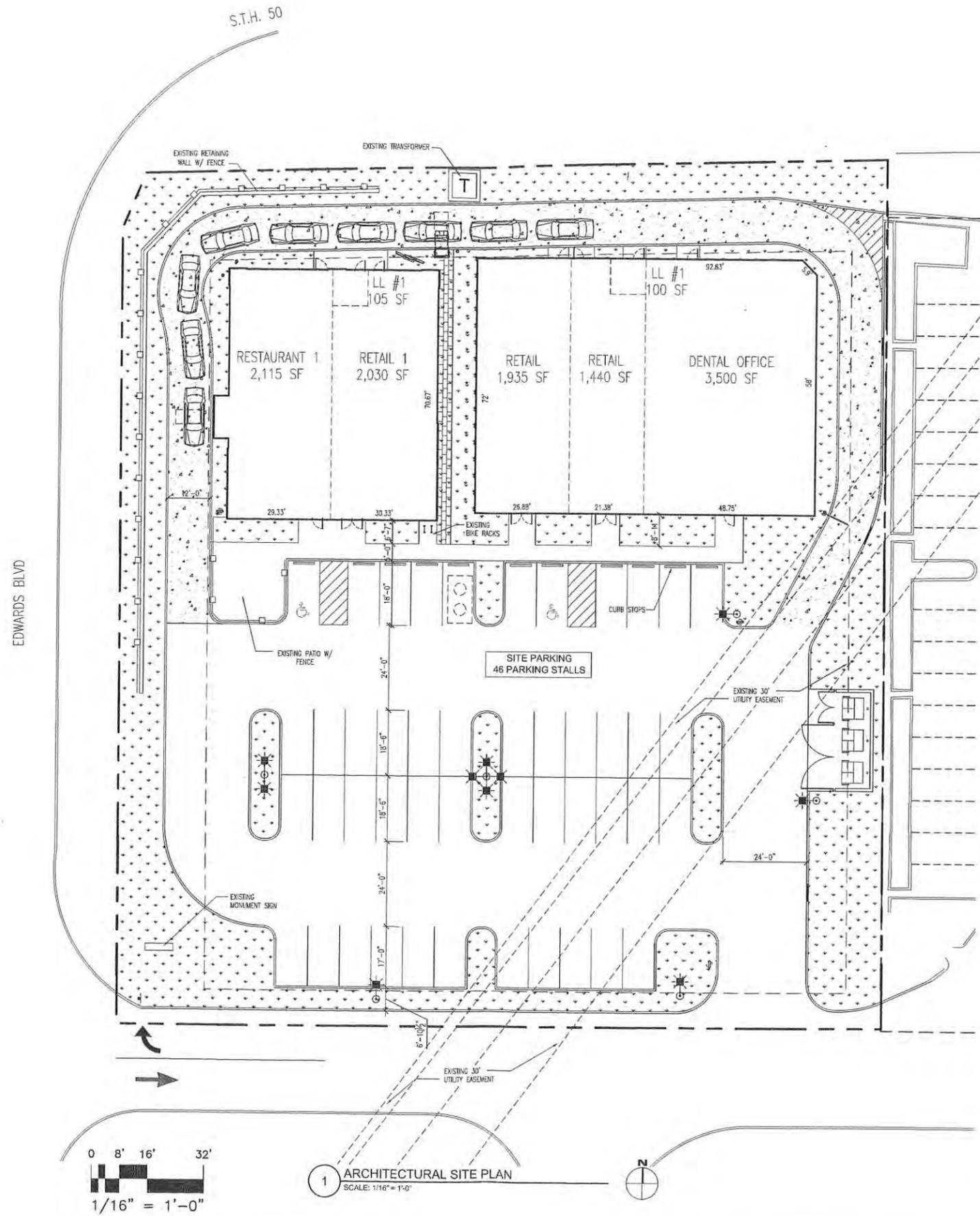
Andrew S. Goodman
Printed name of Applicant/Petitioner

[Signature]
Signature of Applicant/Petitioner

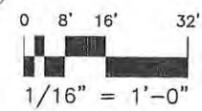




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LOT INFORMATION	
LAND USE:	COMMERCIAL
LAND AREA:	1.214 ACRES
LANDSCAPE AREA:	25.0%
BUILDING AREA	
RESTAURANT 1	2,115 SF
RETAIL 1	2,030 SF
LL ROOM 1	105 SF
LL ROOM 2	100 SF
RESTAURANT 2	1,935 SF
RESTAURANT 3	1,440 SF
DENTAL OFFICE	3,500 SF
TOTAL	11,225 SF
PARKING DATA	
NO. OF PARKING STALLS:	44
NO. ADA STALLS:	2
TOTAL STALLS PROVIDED:	46



1 ARCHITECTURAL SITE PLAN
 SCALE: 1/16" = 1'-0"



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: December 18, 2017

Agenda Item #10

Applicant:
Mark Larkin
500 South Stone Ridge Drive
Lake Geneva, WI 53147

Request:
ANNEXATION of Tax Key:
No. JG 2500014A

Description:

The applicant has submitted a petitioner for annexation by unanimous consent to the City of Lake Geneva. The subject property is currently part of the Town of Geneva.

The subject property contains 1.95 acres, and is adjacent to the City on the north, east, and west boundaries of the property. The property is part of a remnant island of unannexed property, fully surrounded by the City. The proposed annexation would shrink the size of the town island.

The subject property is depicted for future City expansion in the City's Comprehensive Plan on Map 5, the Future Land Use Map. As such, the proposed annexation of the subject property is consistent with the City of Lake Geneva Comprehensive Plan.

The Future Land Use Map designates the future development of the subject property in the Planned Business land use category for the south half, and in the Two-Family/Townhouse land use category for the north half. The zoning of the subject property will require a separate City review process.

Action by the Plan Commission:

The Plan Commission should provide a recommendation to the Common Council about the proposed annexation. The Plan Commission should provide an explanation for its recommendation.

Staff Review Comments:

Staff notes that the proposed annexation is consistent with the Future Land Use Map of the City's Comprehensive Plan, which shows a combination of the Planned Business and Two-Family/Townhouse future land use categories on the subject property. If the Plan Commission recommends annexation, this factor should be provided as an explanation for the favorable recommendation. Annexation zoning will be Rural Holding (RH) until such time as the applicant requests a future zoning map change to best identify with a plat or CSM the future parcels and their allowed land use.

If the Plan Commission does not recommend annexation, I believe the best explanation is that the timing of the requested annexation is not ideal, in that the adjacent territory remains in the Town.

Michael A. Slavney, FAICP
City Planning Consultant

ZONING MAP AMENDMENT

Name and address of Applicant:

Mark Larkin

500 South Stone Ridge Drive

Lake Geneva, WI 53147

Telephone No of Applicant: Area Code (262) 853-5576

Name and address of Current Owner:

Same as Applicant

Telephone No of Current Owner: Area Code () Same as Applicant

Address and legal description of property (required) - attach separate sheet if necessary:

South Stone Ridge Drive, Lake Geneva, Wisconsin

Legal description is attached hereto as Exhibit A.

Tax Key No. JG 2500014A

Zoning Classification change from A-3 (County zoning) to PB as to Southern portion
TR6 as to Northern portion

Reason for requesting Proposed Amendment: Annexation

Proposed use of property: Residential as to Northern portion and vacant/business
as to Southern portion

Fee of \$400.00 payable upon filing application.

Date

Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
AMENDMENT OF OFFICIAL ZONING MAP (Requirements per Section 98-903)**

This form should be used by the Applicant as a guide to submitting a complete application to amend the Official Zoning Map and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ **Pre-submittal staff meeting scheduled:**
- Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ **Follow-up pre-submittal staff meetings scheduled for:**
- Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ **Application form filed with Zoning Administrator:** Date: _____ by: _____
- ___ **Application fee of \$ _____ received by Zoning Administrator:** Date: _____ by: _____
- ___ **Reimbursement of professional consultant costs agreement executed:** Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
 ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____
 ↓

- ___ ___ (a) **A copy of the Current Zoning Map of the subject property and vicinity:**
 - ___ Showing all lands for which the zoning is proposed to be amended;
 - ___ Showing all other lands within 300 feet of the subject property;
 - ___ Referenced to a list of the names and addresses of the owners of said lands;
 - ___ Map and all its parts are clearly reproducible with a photocopier;
 - ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
 - ___ All lot dimensions of the subject property provided;
 - ___ Graphic scale and north arrow provided.
- ___ ___ (b) **A copy of the Land Use Plan Map of the subject property and vicinity:**
- ___ ___ (c) **Written justification for the proposed map amendment:**
 - ___ Indicating reasons why the Applicant believes the proposed map amendment is in harmony with the recommendations of the City of Lake Geneva Master Comprehensive Plan, particularly as evidenced by compliance with the standards set out in Section 98-903(4)(c)1.-3. (See following page.)

III. JUSTIFICATION OF THE PROPOSED ZONING MAP AMENDMENT

1. How does the proposed Official Zoning Map amendment further the purposes of the Zoning Ordinance as outlined in Section 98-005 (and, for floodplains or wetlands, the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA))?

Annexation would make the property consistant
with the surrounding zoning.

2. Which of the following factors has arisen that are not properly addressed on the current Official Zoning Map? (Please provide explanation in space below.)

- a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
- b. A mistake was made in mapping on the Official Zoning Map. (That is, an area is developing in a manner and purpose different from that for which it is mapped.) NOTE: If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the City may intend to stop an undesirable land use pattern from spreading;
- c. Factors have changed, (such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district;
- d. Growth patterns or rates have changed, thereby creating the need for an Amendment to the Official Zoning Map.

Annexation would conform to CP and surrounding
zoning.

3. How does the proposed amendment to the Official Zoning Map maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

It would conform to surrounding zoning.

IV. FINAL APPLICATION PACKET INFORMATION

- ____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice published on _____ and _____ by: _____

EXHIBIT A

Legal Description

A parcel of land located in the Northeast 1/4 of Section 25, Township 2 North, Range 17 East, Town of Geneva, Walworth County, Wisconsin, described as follows: Commencing at the Northeast corner of Section 25; thence West 1596.00 feet; thence South 1 degree 30' West, 1165.48 feet to the place of beginning; thence North 89 degrees 51' West, 100 feet; thence South 848.17 feet; thence East 100 feet; thence North 850.52 feet to the point of beginning.

Tax Parcel No. JG 2500014A

EGERT LAW, S.C.

835 Geneva Parkway North, Suite 1
Lake Geneva, WI 53147

Nicholas A. Egert, Attorney

Debora K. Arnold, Paralegal
Jean C. Rossmiller, Legal Assistant

Telephone: 262-248-6600
Facsimile: 262-248-6262
info@egertlawfirm.com

November 28, 2017

City of Lake Geneva
Attention: Fred Waller
626 Geneva Street
Lake Geneva, WI 53147

Re: Mark Larkin

Dear Fred:

Enclosed is the Zoning Map Amendment. We believe the property zoning designations are in line with the City's Comprehensive Master Plan and official zoning map.

Sincerely,



Nicholas A. Egert

NAE/jcr
Enclosure

cc: Mr. Mark Larkin (with copy of enclosure)

PETITION FOR ANNEXATION

The "Petitioner", Mark W. Larkin, does hereby petition the City of Lake Geneva, Wisconsin, to annex certain real estate, more fully described in Exhibit A, which is attached hereto and incorporated herein by this reference, hereinafter the "Property", to the City of Lake Geneva, which is to be detached from the Town of Geneva, County of Walworth, Wisconsin.

The Property, which is the subject of this Petition, is contiguous to the current boundaries of the City of Lake Geneva. A true and correct scaled map of the Property is attached hereto and incorporated herein by reference as Exhibit B.

Upon acceptance and approval of this Petition for direct annexation by unanimous consent of electors and property owners, subject to review by the State of Wisconsin, the property will be zoned TR6 (One-Two Family Residential) as to the Northern portion of the Property and PB (Planned Business) as to the Southern portion of the Property, as depicted on Exhibit C. The Petitioner notes that said requested zoning is in full conformance with the City of Lake Geneva's Comprehensive Plan.

In further support of the Petitioner's requests, a proposed annexation ordinance is attached hereto as Exhibit D.

Petitioner agrees to be responsible for five (5) years of property taxes that would otherwise be due by the City of Lake Geneva to the Town of Geneva. Petitioner has already further agreed to pay for services as set forth in Exhibit E.

This instrument constitutes a Petition for direct annexation pursuant to Section 66.0217(2), Wis. Stats. There are zero electors residing within the boundaries of the Property, and the Petitioner is the sole owner and fee title holder to the Property. Therefore, pursuant to Section 66.0217(4), Wis. Stats., no notice or publication is required.

A copy of this Petition is being mailed to the State of Wisconsin, Department of Administration, for review as required by Section 66.0217(6), Wis. Stats., along with the requisite Department of Administration annexation review fee.

Dated this 3rd day of November, 2017.

Mark W. Larkin
500 South Stone Ridge Drive
Lake Geneva, WI 53147
Telephone No. 262-853-5576
E-mail: mlarkin@keeferealestate.com

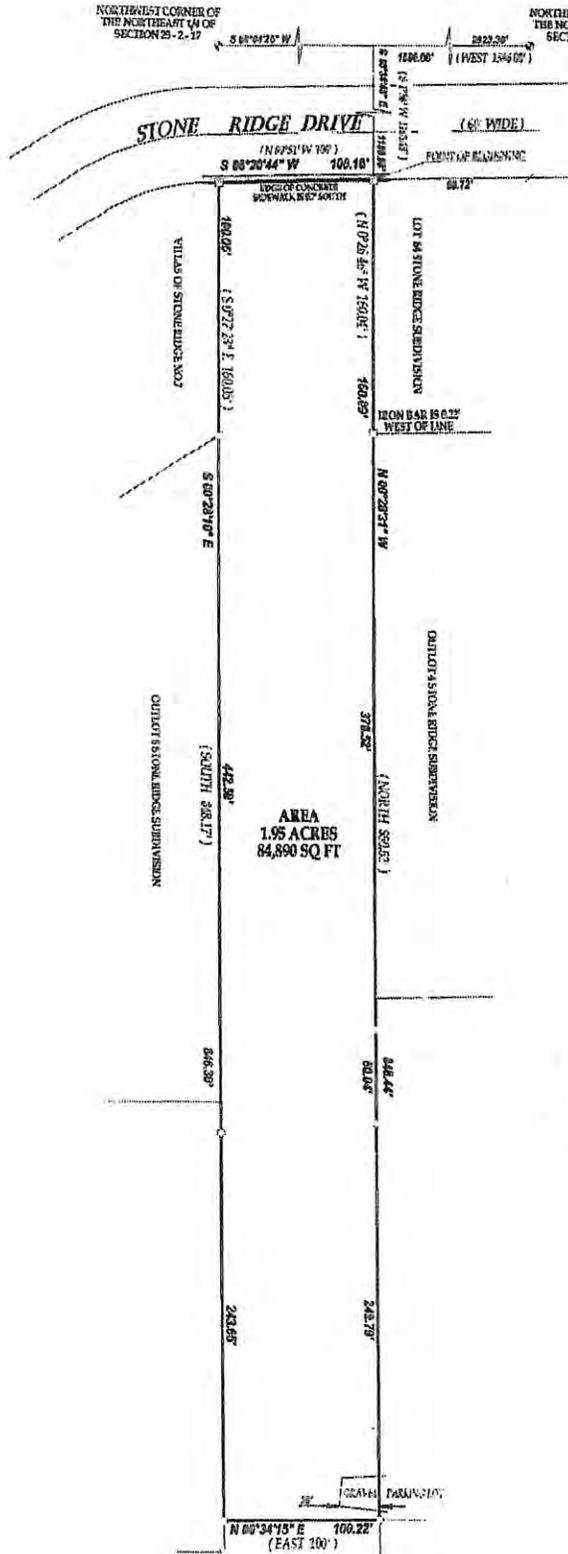
Legal Description

A parcel of land located in the Northeast 1/4 of Section 25, Township 2 North, Range 17 East, Town of Geneva, Walworth County, Wisconsin, described as follows: Commencing at the Northeast corner of Section 25; thence West 1596.00 feet; thence South 1 degree 30' West, 1165.48 feet to the place of beginning; thence North 89 degrees 51' West, 100 feet; thence South 848.17 feet; thence East 100 feet; thence North 850.52 feet to the point of beginning.

EXHIBIT A

PLAT OF SURVEY

-OF-
 A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 2 NORTH, RANGE 17 EAST, TOWN OF GENEVA, WAUKESHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS, COMMENCING AT THE NORTHEAST CORNER OF SECTION 25, THENCE WEST 1566.60 FEET; THENCE SOUTH 1°30' WEST, 1165.40 FEET TO THE PLACE OF BEGINNING; THENCE NORTH 88°51' WEST, 100 FEET; THENCE SOUTH 88.17 FEET; THENCE EAST 100 FEET; THENCE NORTH 850.52 FEET TO THE POINT OF BEGINNING.



SCALE 1"=80'
 0 60 120 180

NOTE: BEARINGS AND REFERENCES TO STONE RIDGE SUBDIVISION

- LEGEND**
- FOUND IRON PIPE
 - FOUND IRON BAR
 - FOUND CROSS IN SIDEWALK
 - CHISELED CROSS IN SIDEWALK
 - ★ COUNTY MONUMENT
 - (cc) RECORDED AS
 - TAX ID # K350034A
 - JOB # 13-030

I have surveyed the above-described property and the above map is a true representation thereof and shows the size and location of the property as the same is visible.

This is the profile of the survey.

EXHIBIT B



DATED THIS 16th DAY OF APRIL 2013

JOHN KROTT S-2258
 Wisconsin Registered Land Surveyor
 (original if signed in red)

217-3804

ORDINANCE NO. _____

AN ORDINANCE PROVIDING FOR DIRECT ANNEXATION BY UNANIMOUS CONSENT OF ELECTORS AND PROPERTY OWNERS OF TERRITORY LOCATED IN THE TOWN OF GENEVA, WALWORTH COUNTY, WISCONSIN, TO THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

WHEREAS, Mark Larkin ("Petitioner") has made and filed with the City Clerk of the City of Lake Geneva ("City") a Petition for Direct Annexation by unanimous consent of electors and property owners of territory located in the Town of Geneva, Walworth County, Wisconsin, to the City of Lake Geneva, Walworth County, Wisconsin, pursuant to Wis. Stat. §66.0217(2) ("Annexation Petition"), in the office of the City Clerk for the City of Lake Geneva, Walworth County, Wisconsin, on the day of ____ day of _____, 20____, requesting the annexation to the City of lands described in Exhibit A attached hereto and incorporated herein by reference ("Subject Territory"), which such lands are contiguous to the City; and

WHEREAS, it appears by acknowledgment of receipt on file herein that Petitioner has filed a duplicate original of the Annexation Petition, including a legal description and scale map of the Subject Territory, with the Town Clerk of the Town of Geneva, Walworth County, Wisconsin, and the State of Wisconsin, Department of Administration, within five (5) days after filing the Annexation Petition with the City Clerk; and

WHEREAS, it further appears that all of the requirements of Wis. Stat. §66.0217(2) have been fully complied with, and that the State of Wisconsin, Department of Administration, has reviewed the proposed annexation and, by letter, found it to be in the public interest, and said letter has been duly considered and reviewed by the City and/or the City's Counsel; and

WHEREAS, the proposed annexation was referred to the Plan Commission of the City and said Plan Commission has recommended annexing the Subject Territory to the City; and

WHEREAS, the Common Council of the City of Lake Geneva, Walworth County, Wisconsin, makes the following findings with respect to the Subject Territory:

1. That the annexation of the Subject Territory to the City of Lake Geneva, Walworth County, Wisconsin, is in the best interest of the City.
2. That the annexation of the Subject Territory will enable the City to regulate and control development of these lands which are contiguous to the City.
3. That, upon annexation, the Northern portion of the Subject Territory shall be temporarily zoned pursuant to Wis. Stat. §66.0217(8) in the One-Two Family Residential (TR6) Zoning District.

EXHIBIT D

4. That, upon annexation, the Southern portion of the Subject Territory shall be temporarily zoned pursuant to Wis. Stat. §66.0217(8) in the Planned Business (PB) Zoning District.
5. That the annexation of the Subject Territory does not create a town island under the provisions of Wis. Stat. §66.0221.
6. That the City is in need of additional lands suitable for business and residential development, as herein described, as and for this Subject Territory.

NOW, THEREFORE, the Common Council of the City of Lake Geneva, Walworth County, Wisconsin, does ordain as follows:

1. Those lands comprising the Subject Territory to be annexed, as described in Exhibit A attached hereto and incorporated herein by reference, be, and the same hereby are, annexed to the City of Lake Geneva, Walworth County, Wisconsin.

2. Those lands comprising the northern portion of the Subject Territory shall be temporarily zoned pursuant to Wis. Stat. §66.0217(8) in the TR6, One-Two Family Residential Zoning District.

3. Those lands comprising the southern portion of the Subject Territory shall be temporarily zoned pursuant to Wis. Stat. §66.0217(8) in the PB, Planned Business Zoning District.

4. Those lands comprising the Subject Territory shall be included within Supervisory District 11 of Walworth County and in Aldermanic District 3 of the City of Lake Geneva.

5. This Ordinance, and the annexation hereby effected, shall be in full force and effect from and after its passing and posting.

6. The City Clerk shall immediately, after the final enactment hereof, file such certified copies with all parties as required by State Statute to be so served.

7. All ordinances or parts of ordinances inconsistent with or contravening the provisions of this Ordinance are hereby repealed.

(signatures on following page)

Adopted, passed, and approved by the Common Council of the City of Lake Geneva,
Walworth County, Wisconsin, this _____ day of _____, 20_____.

Alan Kupsik, Mayor

Attest:

Sabrina Waswo, City Clerk

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Mark Larkin, as applicant/petitioner for:

Name: Mark Larkin

Address: 500 Stone Ridge Dr.
Lake Geneva, WI 53147

Phone: 262-853-5576

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 25th day of January, 2017.

Mark Larkin
Printed name of Applicant/Petitioner

Mal LK
Signature of Applicant/Petitioner

EXHIBIT E

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: December 18, 2017

Agenda Item: #11 A

Applicant:
Core Commercial Inc.
P.O. Box 1154
Appleton WI 54912

Request:
General Development Plan (GDP)
Construct Two Commercial Buildings at
753 Geneva Parkway

Description:

The applicant is submitting a request for the new construction of two commercial buildings recently rezoned with a comprehensive plan change from Planned Business Park (PBP) to Planned Business (PB). With the approval of this request it would consent to the proposed construction of two commercial buildings for the Commercial Indoor Sales land uses to occur at this location in consideration of the requested General Development Plan (GDP).

The requested GDP zoning approval will allow for the construction of a **22,000 square foot** indoor retail building & a proposed second multi-tenant building of **15,000 square foot** adjacent to the current Keefe property located at 751 Geneva Parkway.

Staff has met with the applicants on site considerations, building exterior materials, and site access. The applicant have requested to allow for reductions in parking stall sizes, foundation and parking lot landscaping with agreement from the city planner as being acceptable reductions.

The city engineer has been in contact with the designer for storm water designs and requests the motion include the statement as contingent on the final staff approval of the storm water designs.

A full plan description of the project (dated 10-27-17) is contained within the Plan Commission Packet. The property layout is included that depicts the lot dimensions. The applicant has also provided landscape plan, photometric plan, proposed building elevations to the primary building for Ross Dress for Less.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including General Development Plans) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map change recommends the Planned Business land use category for the subject property. The proposed GDP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the Planned Business zoning district provides that comparison zoning district. The project is requesting 3 such flexibilities:

1. The building foundation landscaping counts are permitted to be located on site however not directly at the foundation location.

2. The parking stall dimension reduction from 8'6" X 20' to 9'x18' feet with a 24' isle width from 26' isle widths.
3. Parking lot island reduction to be permitted to accommodate the revised stall dimensions.

All other zoning requirements of the current GDP remain.

Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / GDP:

As part of the consideration of a requested Planned Business / General Development Plan (GDP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to GDP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed GDP applicants have met with staff and have provided the information and plan to support the requested GDP.

Planning staff supports the requested flexibilities. Staff further notes that this flexibility is only being considered for the primary building. Approval of this proposed GDP does not set legal precedent.

Required Plan Commission Findings on the GDP for Recommendation to Common Council:

A proposed GDP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
 1. The proposed GDP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map. And;
 3. The proposed GDP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Or:

- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed GDP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
 3. The proposed GDP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the General Development Plan:

1. Staff recommends that the Plan Commission recommend *approval* of the GDP as submitted, including the granting of the requested zoning ordinance flexibilities.
2. Staff recommends the affirmative set of findings provided above, noting that the proposal meets Factor 3. Specifically, the proposal maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
3. Staff recommends that Plan Commission's recommendation is that storm water approval be contingent on review and satisfaction of the city engineer.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: December 18, 2017

Agenda Item: #11 B

Applicant:
Core Commercial Inc.
P.O. Box 1154
Appleton WI 54912

Request:
Precise Implementation Plan (PIP)
Construct Two Commercial Buildings at
753 Geneva Parkway

Description:

The applicant is submitting a request for the new construction of two commercial buildings recently rezoned with a comprehensive plan change from Planned Business Park (PBP) to Planned Business (PB). With the approval of this request it would consent to the proposed construction of two commercial buildings for the Commercial Indoor Sales land uses to occur at this location in consideration of the requested Precise Implementation Plan (PIP).

The requested PIP zoning approval will allow for the construction of a **22,000 square foot** indoor retail building & a proposed second multi-tenant building of **15,000 square foot** adjacent to the current Keefe property located at 751 Geneva Parkway.

Staff has met with the applicants on site considerations, building exterior materials, and site access. The applicant have requested to allow for reductions in parking stall sizes, foundation and parking lot landscaping with agreement from the city planner as being acceptable reductions.

The city engineer has been in contact with the designer for storm water designs and requests the motion include the statement as contingent on the final staff approval of the storm water designs.

A full plan description of the project (dated 10-27-17) is contained within the Plan Commission Packet. The property layout is included that depicts the lot dimensions. The applicant has also provided landscape plan, photometric plan, proposed building elevations to the primary building for Ross Dress for Less.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including Precise Implementation Plans) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map change recommends the Planned Business land use category for the subject property. The proposed PIP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the Planned Business zoning district provides that comparison zoning district. The project is requesting 3 such flexibilities:

1. The building foundation landscaping counts are permitted to be located on site however not directly at the foundation location.

2. The parking stall dimension reduction from 8'6" X 20' to 9'x18' feet with a 24' isle width from 26' isle widths.
3. Parking lot island reduction is permitted to accommodate the revised stall dimensions.

All other zoning requirements of the current PIP remain.

Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / PIP:

As part of the consideration of a requested Planned Business / Precise Implementation Plan (PIP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to PIP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed PIP applicants have met with staff and have provided the information and plan to support the requested PIP.

Planning staff supports the requested flexibilities. Staff further notes that this flexibility is only being considered for the primary building. Approval of this proposed PIP does not set legal precedent.

Required Plan Commission Findings on the PIP for Recommendation to Common Council:

A proposed PIP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
 1. The proposed PIP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed PIP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map. And;
 3. The proposed PIP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Or:

- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed PIP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed PIP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
 3. The proposed PIP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the Precise Implementation Plan (PIP):

1. Staff recommends that the Plan Commission recommend *approval* of the PIP as submitted, including the granting of the requested zoning ordinance flexibilities.
2. Staff recommends the affirmative set of findings provided above, noting that the proposal meets Factor 3. Specifically, the proposal maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
3. Staff recommends that Plan Commission's recommendation is that storm water approval be contingent on review and satisfaction of the city engineer.

APPLICATION FOR ZONING MAP AMENDMENT FOR PLANNED DEVELOPMENT ZONING INCLUDING GENEVRA DEVELOPMENT PLAN APPROVAL (PD/GDP) AND ONE PRECISE IMPLEMENTATION PLAN APPROVAL (PD/PIP)

Name of Applicant: Core Commercial, Inc.

Address of Applicant: P.O. Box 1154
Appleton, WI 54912

Telephone No. 920 205-9505

Fax and/or email: Kimj@corewis.com

Name of Owner: Geneva Business Centre, LLC

Address of Owner: 704 Main Street
P.O. Box 460
Lake Geneva, WI 53147

Telephone No. 262-903-3222

Fax and/or email: 262-249-8590

Subject property address and/or complete legal description (use attached sheet if necessary):

Please see attached.

Current Zoning District: Planned Industrial

Fee of \$750.00 payable upon filing application.

10-26-17
Date

Kim Fischler
Signature of Applicant

Subject property address and/or legal description:

Parcel # ZGBC 00001
751 Geneva Parkway
Lake Geneva, WI 53147

Parcel # ZGBC 00002
753 Geneva Parkway
Lake Geneva, WI 53147

Parcel # ZGBC 00001A

Parcel # ZLGBP 00002

Please note: Application for zoning map amendment for planned development zoning including General Development Plan approval (PD/GDP) and Precise Implementation Plan approval (PD/PIP) for Parcel # ZLGBP 00002, Parcel # ZGBC 00001A, Parcel # ZGBC 00002 and a portion of Parcel # ZGBC 00001, for a total of approximately 4.09 acres, includes the submittal for the site changes and proposed, revised legal description for 751 Geneva Parkway, Parcel # ZGBC 0000, for a total of approximately 1.5 acres.

Description of Total Parcel:

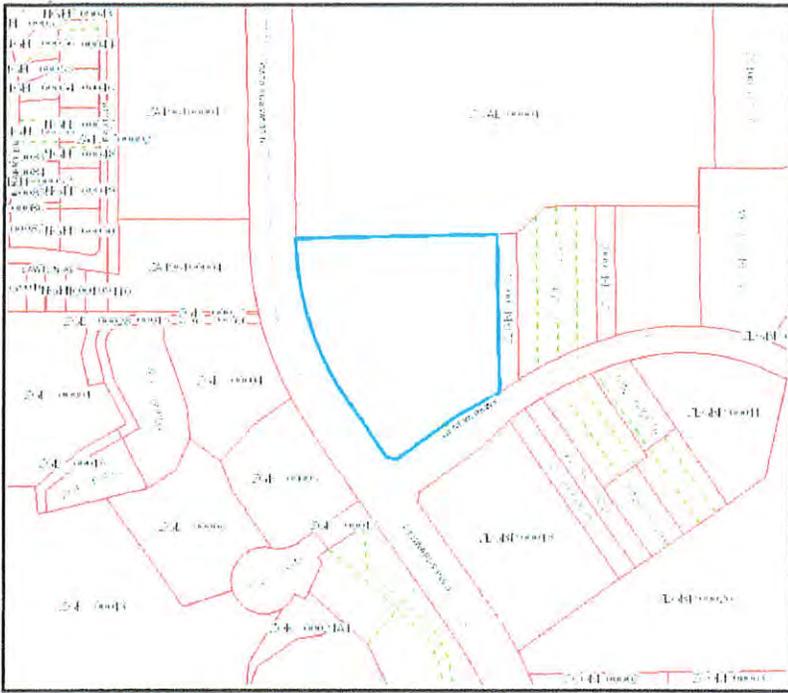
Being part Geneva Business Centre Condominium 1st amendment recorded as document 313695 in Cabinet A, Slide 269 and Lot 2 of Lake Geneva Business Park, a subdivision located in the SE ¼ of the NW ¼, the SW ¼ of the NE 1/4, the NW ¼ of the SE ¼, the NE ¼ of the SE ¼ and the SW ¼ of the SE ¼ of Section 31, Township 2 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin. Being further described as follows: Beginning at a point 100' South of the NE corner of said Lot 2; thence S00°58'25"E, 371.97' to a point on a curve; thence 59.28' along said curve to the left, said curve having a radius of 1024.08', a chord that bears S56°32'43"W for a length of 59.27'; thence S62°06'09"W, 119.73'; thence S54°54'19"W, 190.00'; thence N80°05'41"W, 28.28'; thence N80°05'41"W, 162.12'; thence N35°05'41"W, 162.12' to a point on a curve; thence 450.10' along said curve to the right, said curve having a radius of 758.51', a chord that bears N18°05'53"W, for a length of 443.52'; thence leaving said curve N88°54'19"E, 563.35' to the point of beginning. Said parcel contains 5.59 acres or 243,504.2 S.F. more or less.

Description of proposed Parcel 1:

Being part Geneva Business Centre Condominium 1st amendment recorded as document 313695 in Cabinet A, Slide 269 and Lot 2 of Lake Geneva Business Park, a subdivision located in the SE ¼ of the NW ¼, the SW ¼ of the NE 1/4, the NW ¼ of the SE ¼, the NE ¼ of the SE ¼ and the SW ¼ of the SE ¼ of Section 31, Township 2 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin. Being further described as follows: Commencing at a point 100' South of the NE corner of said Lot 2; thence S00°58'25"E, 371.97' to a point on a curve; thence 59.28' along said curve to the left, said curve having a radius of 1024.08', a chord that bears S56°32'43"W for a length of 59.27'; thence S62°06'09"W, 22.85' to the point of beginning; thence continuing S62°06'09"W, 93.88'; thence S54°54'19"W, 190.00'; thence N80°05'41"W, 28.28'; thence N35°05'41"W, 76.53'; thence N00°57'10"W, 173.83'; thence N88°55'14"E, 131.16'; thence N00°33'12"W, 58.29'; thence N88°54'17"E, 179.54'; thence S01°10'03"E, 152.35' to the point of beginning. Said parcel contains 1.50 acres or 65,406.06 S.F. more or less.

Description of proposed Parcel 2:

Being part Geneva Business Centre Condominium 1st amendment recorded as document 313695 in Cabinet A, Slide 269 and Lot 2 of Lake Geneva Business Park, a subdivision located in the SE ¼ of the NW ¼, the SW ¼ of the NE 1/4, the NW ¼ of the SE ¼, the NE ¼ of the SE ¼ and the SW ¼ of the SE ¼ of Section 31, Township 2 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin. Being further described as follows: Beginning at a point 100' South of the NE corner of said Lot 2; thence S00°58'25"E, 371.97' to a point on a curve; thence 59.28' along said curve to the left, said curve having a radius of 1024.08', a chord that bears S56°32'43"W for a length of 59.27'; thence S62°06'09"W, 25.85'; thence N01°10'03"W, 152.35'; thence S88°54'17"W, 179.54'; thence S00°33'12"E, 58.29'; thence S88°55'14"W, 131.16'; thence S00°57'10"E, 173.83'; thence N35°05'41"W, 85.59' to a point on a curve; thence 450.09' along said curve to the right, said curve having a radius of 758.51', a chord that bears N18°05'53"W for a length of 443.52'; thence N88°54'19"E, 563.35' to the point of beginning. Said parcel contains 4.09 acres or 178,099.44 S.F. more or less.



Walworth County, WI Land Information Division

Property Details

Municipality: CITY OF LAKE GENEVA
 Parcel Number: ZGBC 00001
 School District: 2885-LAKE GENEVA J1 SCHOOL DIS
 Zoning District:

Owner Information

Owner Name: GENEVA BUSINESS CENTRE LLC
 Owner Name 2:
 Mailing Address: 704 MAIN ST
 PO BOX 460
 LAKE GENEVA WI, 531470000

2016 Valuation Information

Land: \$48,000.00
 Improvements: \$936,900.00
 Total: \$984,900.00
 Acres: 0.0000
 Fair Market Value: \$983,400.00
 Assessment Ratio: 1.0014714530
 Mill Rate: 0.0212805480

Tax Information

First Dollar Credit: \$80.38	School Credit: \$2,109.55
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$50.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$20,928.83	Woodland Tax Law Taxes: \$0.00
Net Tax: \$20,878.83	

Tax Jurisdictions

CITY OF LAKE GENEVA \$5870.35
 GATEWAY TECHNICAL \$790.87
 SCH LAKE GENEVA J 1 \$5874.81
 UHS LG-GENOA CITY \$3833.59
 STATE OF WISCONSIN \$167.18
 WALWORTH COUNTY \$4422.41

Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)
 State Representative: Tyler August(R) (32nd District)
 State Senator: Stephen Nass(R) (11th District)
 US Representative: Paul Ryan(R) (1st District)
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

Special Assessments / Charges

OTHER-SPECIAL CHARGE \$50.00

Soil Classification

<u>Soil Type</u>	<u>Soil Name</u>	<u>Acres</u>
MpB	MCHENRY SILT LOAM, 2 TO 6 PERCENT SLOPES	2.4784
MxC2	SANDY LOAM SUBSTRATUM, 6 TO 12 PERCENT SLOPI	1.5101
CyA	CONOVER SILT LOAM, 1 TO 3 PERCENT SLOPES	1.1568

Property Address

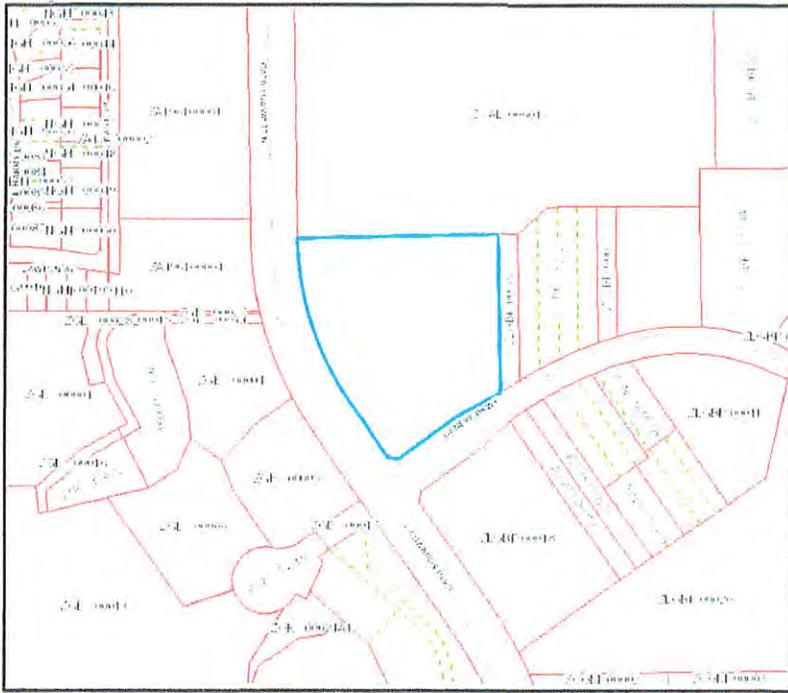
751 GENEVA PKWY LAKE GENEVA

Legal Description

UNIT 1 GENEVA BUSINESS CENTRE CONDOMINIUM AS RECORDED UNDER DOC. NO. 313695. LOCATED IN SECTION 31 T2N R18E. AMENDMENT NO. 1 RECORDED UNDER DOC. #324083. (THIS IS AN EXPANDABLE CONDO) CITY OF LAKE GENEVA OMITTS ZLGBP-1

Disclaimer

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Walworth County, WI Land Information Division

Property Details

Municipality: CITY OF LAKE GENEVA
 Parcel Number: ZGBC 00002
 School District: 2885-LAKE GENEVA J1 SCHOOL DIS
 Zoning District:

Owner Information

Owner Name: GENEVA BUSINESS CENTRE LLC
 Owner Name 2:
 Mailing Address: 704 MAIN ST
 PO BOX 460
 LAKE GENEVA WI, 531470000

2016 Valuation Information

Land: \$48,000.00
 Improvements: \$934,000.00
 Total: \$982,000.00
 Acres: 0.0000
 Fair Market Value: \$980,500.00
 Assessment Ratio: 1.0014714530
 Mill Rate: 0.0212805480

Tax Information

First Dollar Credit: \$80.38	School Credit: \$2,103.34
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$125.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$20,942.11	Woodland Tax Law Taxes: \$0.00
Net Tax: \$20,817.11	

Tax Jurisdictions

STATE OF WISCONSIN \$166.69
 GATEWAY TECHNICAL \$788.54
 CITY OF LAKE GENEVA \$5853.06
 UHS LG-GENOA CITY \$3822.30
 WALWORTH COUNTY \$4409.38
 SCH LAKE GENEVA J 1 \$5857.52

Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)
 State Representative: Tyler August(R) (32nd District)
 State Senator: Stephen Nass(R) (11th District)
 US Representative: Paul Ryan(R) (1st District)
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

Special Assessments / Charges

OTHER-SPECIAL CHARGE \$125.00

Soil Classification

Soil Type	Soil Name	Acres
MpB	MCHENRY SILT LOAM, 2 TO 6 PERCENT SLOPES	2.4784
MxC2	SANDY LOAM SUBSTRATUM, 6 TO 12 PERCENT SLOPI	1.5101
CyA	CONOVER SILT LOAM, 1 TO 3 PERCENT SLOPES	1.1568

Property Address

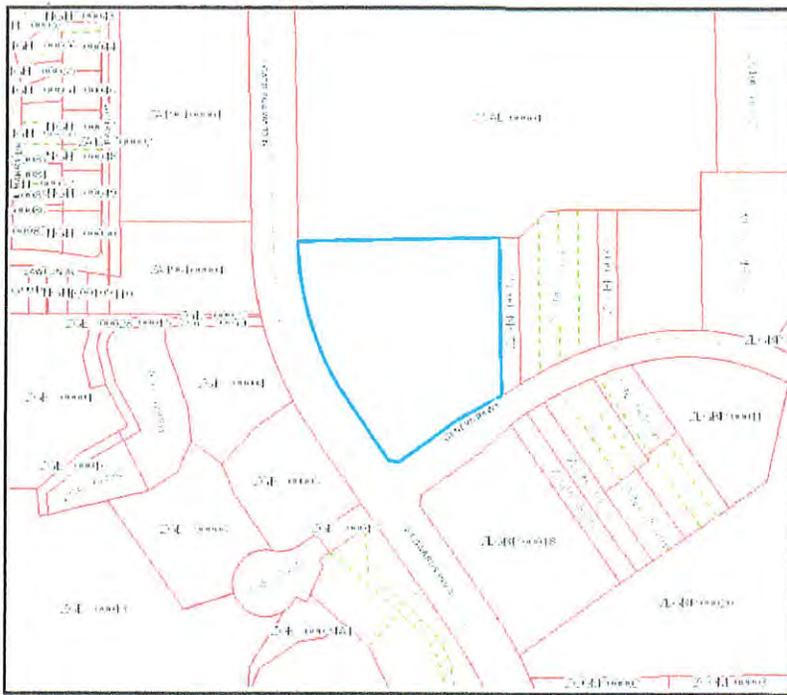
753 GENEVA PKWY LAKE GENEVA

Legal Description

UNIT 2 GENEVA BUSINESS CENTRE CONDOMINIUM AS RECORDED UNDER DOC. NO. 313695. LOCATED IN SECTION 31 T2N R18E. AMENDMENT NO. 1 RECORDED UNDER DOC. #324083. (THIS IS AN EXPANDABLE CONDO) CITY OF LAKE GENEVA OMITTS ZLGBP-1

Disclaimer

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Walworth County, WI Land Information Division

Property Details

Municipality: CITY OF LAKE GENEVA
 Parcel Number: ZGBC 00001A
 School District: 2884-LAKE GENEVA-GENOA CITY U
 Zoning District:

Owner Information

Owner Name: GENEVA BUSINESS CENTRE LLC
 Owner Name 2:
 Mailing Address: 704 MAIN ST
 PO BOX 460
 LAKE GENEVA WI, 531470000

2016 Valuation Information

Land: \$81,600.00
 Improvements: \$0.00
 Total: \$81,600.00
 Acres: 1.7100
 Fair Market Value: \$81,500.00
 Assessment Ratio: 1.0014714530
 Mill Rate: 0.0212805480

Tax Information

First Dollar Credit: \$0.00	School Credit: \$174.78
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$0.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$1,736.48	Woodland Tax Law Taxes: \$0.00
Net Tax: \$1,736.48	

Tax Jurisdictions

WALWORTH COUNTY \$366.40
 GATEWAY TECHNICAL \$65.52
 CITY OF LAKE GENEVA \$486.36
 STATE OF WISCONSIN \$13.85
 SCH LAKE GENEVA J 1 \$486.74
 UHS LG-GENOA CITY \$317.61

Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)
 State Representative: Tyler August(R) (32nd District)
 State Senator: Stephen Nass(R) (11th District)
 US Representative: Paul Ryan(R) (1st District)
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

Special Assessments / Charges

Soil Classification

Soil Type	Soil Name	Acres
MpB	MCHENRY SILT LOAM, 2 TO 6 PERCENT SLOPES	2.4784
MxC2	SANDY LOAM SUBSTRATUM, 6 TO 12 PERCENT SLOPE	1.5101
CyA	CONOVER SILT LOAM, 1 TO 3 PERCENT SLOPES	1.1568

Property Address

Legal Description

EXPANSION UNITS IN GENEVA BUSINESS CENTRE CONDOMINIUM AS RECORDED UNDER DOC. #313695. LOCATED IN SEC 31 T2N R18E. CITY OF LAKE GENEVA OMTS ZLGBP-1 EXC LAND FOR WALMART SUB DESC UNDER #537140 BEING THE N 100'

Disclaimer

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Walworth County, WI Land Information Division

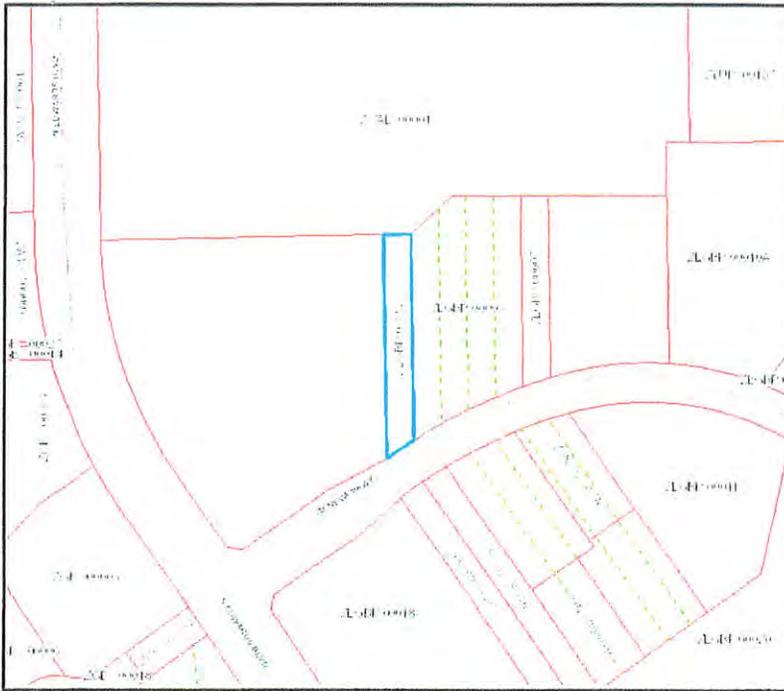
Property Details

Municipality: CITY OF LAKE GENEVA
 Parcel Number: ZLGBP 00002
 School District: 2885-LAKE GENEVA J1 SCHOOL DIS
 Zoning District:

Owner Information

Owner Name: GENEVA BUSINESS CENTRE LLC
 Owner Name 2:
 Mailing Address: PO BOX 460

 LAKE GENEVA WI, 531470000



2016 Valuation Information

Land: \$36,000.00
 Improvements: \$0.00
 Total: \$36,000.00
 Acres: 0.4400
 Fair Market Value: \$35,900.00
 Assessment Ratio: 1.0014714530
 Mill Rate: 0.0212805480

Tax Information

First Dollar Credit: \$0.00	School Credit: \$77.11
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$0.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$766.10	Woodland Tax Law Taxes: \$0.00
Net Tax: \$766.10	

Tax Jurisdictions

STATE OF WISCONSIN \$6.11
 UHS LG-GENOA CITY \$140.12
 CITY OF LAKE GENEVA \$214.57
 GATEWAY TECHNICAL \$28.91
 WALWORTH COUNTY \$161.65
 SCH LAKE GENEVA J 1 \$214.74

Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)
 State Representative: Tyler August(R) (32nd District)
 State Senator: Stephen Nass(R) (11th District)
 US Representative: Paul Ryan(R) (1st District)
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

Special Assessments / Charges

Soil Classification

<u>Soil Type</u>	<u>Soil Name</u>	<u>Acres</u>
CyA	CONOVER SILT LOAM, 1 TO 3 PERCENT SLOPES	0.2831
MpB	MCHENRY SILT LOAM, 2 TO 6 PERCENT SLOPES	0.1619

Property Address

Legal Description

LOT 2 LAKE GENEVA BUSINESS PARK AS RECORDED IN CAB B SLIDE 117 WCR. LOCATED IN SE 1/4 NW 1/4, SW 1/4 NE 1/4, NW 1/4 SE 1/4, NE 1/4 SE 1/4 & SW 1/4 SE 1/4 SECTION 31 T2N R18E. EXC LAND FOR WALMART SUB DESC UNDER #537140 BEING N 100' OF LOT 2 CITY OF LAKE GENEVA OMITS ZA2010-2, ZYUP-154 & OUT OF ZYUP-169

Disclaimer

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AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Kim Pischke, Core Commercial, Inc., as applicant/petitioner for:
Name: Kim Pischke, Core Commercial, Inc.
Address: P.O. Box 1154
Appleton, WI 54912
Phone: 920-205-9505

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 28th day of August, 2017.

Kim Pischke, Core Commercial, Inc.
Printed name of Applicant/Petitioner

Kim Pischke
Signature of Applicant/Petitioner



Properties w/i 300'

WALWORTH COUNTY, WISCONSIN



Author:

Map Produced on: 6/16/2017

Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27

Walworth County Information Technology Department
Land Information Division
1820 County Trunk 101
Eshcon, Wisconsin 53124-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION SHOWN ON THIS MAP. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR RIGHTS OF WAY FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR RIGHTS OF WAY FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR RIGHTS OF WAY FROM THE APPROPRIATE AGENCIES.





October 27, 2017

City of Lake Geneva
Building & Zoning Administrator
Mr. Fred Walling
626 Geneva Street
Lake Geneva, WI 53147

Re: Redevelopment of Keefe Site
Edwards Blvd and Geneva Parkway
PD-GDP/PIP joint submittal

On behalf of the development team, we are submitting this letter of intent for a new retail development to occur on the northeast corner of N. Edwards Boulevard and Geneva Parkway, Lake Geneva.

Development Team

Developer:

Core Commercial, Inc.
Kim Pischke
P.O. Box 1154
Appleton, WI 54912
920-205-9505
kimp@corewis.com

General Contractor:

MJI Building Services
Mark Ihlenfeldt
5017 Applebend Drive
Appleton, WI 54913
920-422-0015
mark@buildwithmji.com

Architect:

Sketchworks Architecture, LLC
Steve Shulfer
7780 Elmwood Avenue, Suite 208
Middleton, WI 53562
608-836-7570
sshulfer@sketchworksarch.com

Civil Engineer:

Cardinal Engineering
Ryan Cardinal
N6786 Avataia Trail
Elkhorn, WI 53121
262-379-0270
ryan@cardinalengineeringwi.com

Landscape Architect:

Jeff Delaura, RLA
801 Bear Claw Way
Madison, WI 53717
608-334-7949
jeffreylaura@gmail.com



Subject Properties:

Parcel #'s ZGBC 00001A, ZGBC 0002, and ZLGBP00002.
Proposed new legal description included with application form.

Also refer to new Certified Survey Map submitted with this application.
4.09 acres for retail Lot 2
1.50 acres for office Lot 1

Current Zoning: Planned Industrial

Project Description:

The proposed project consists of razing an existing office building, and constructing two new retail use buildings on the site. Building #1 will be a single-occupant, 22,000 square foot retail building with Ross Dress for Less as the primary tenant. Building #2 will be a multi-tenant retail building of approximately 15,000 square feet. Two primary tenants will be national brand retail stores, and are in negotiations with the owner, but not yet named.

Buildings heights are shown on the attached drawings, and are approximately 42' tall to the canopy parapet of Building 1, and 27' to the parapet of building 2.

Materials will be decorative concrete masonry units (CMU) to 6' tall minimum on building 1, and same on building 2 where in proximity to pedestrian contact. A field of horizontal ribbed metal panel and EIFS will be used. Decorative piers, sign bands, and glazing will comprise each building.

Serving the site will be surface parking for 191 vehicles, as well as bicycle parking for approximately 20 bicycles (rack for 10 at each building 1 and building 2).

Access to the site is gained from the north, via a cross-access easement with the existing driveway serving Walmart. From the south, vehicles (including truck deliveries) will access the site from Geneva Parkway, as well as a cross-access easement with the existing Keefe office development site. Pedestrian access is gained via a new sidewalk / bike path entering the site from Edwards Boulevard, as well as from the existing shared sidewalk on Walmart property.



A new stormwater retention pond designed per code to treat runoff and restrict stormwater flow from the site will be created at the Southwest corner of the site. (refer to civil engineering documents for additional design criteria).

Organizational Structure:

There will be a cross access and cross parking agreement between proposed Parcel 1 and proposed Parcel 2 (per the legal description, and as described above).

Request:

As our team has been working with City staff for almost two years on this project, we believe the process and site requirements have been thoroughly vetted. We are seeking both a Planned Development, General Development Plan (GDP) and Precise Implementation Plan (PIP) approval with our submittal. The site is currently part of the Lake Geneva Business Park, and requires a zoning amendment to allow the retail planned development.

The zoning of this property would closely resemble that of the Walmart property directly adjacent to and north of this development.

Signage:

Two monument signs are proposed for the site, one for each building, located along Edwards Boulevard beyond building setbacks and out of any easements. Sign designs are included in this packet. A request for this flexibility is noted explained below in "considerations".

Building 1 signage is proposed by the Ross Dress For Less corporate standards. A sign design package is included with this submittal. Flexibility and approval of the proposed signage is further explained in the "considerations" below.

Building 2 signage areas are shown on the enclosed elevations. The design of tenant signs is pending and will be submitted at a later date. It is anticipated that these will be back-lit channel letter signs.

Site Lighting:

Site lighting will be provided in accordance with City ordinance.

Parking lot lighting will be accommodated via pole-mounted LED cut-off style area lighting fixtures on poles 20 feet in height. Building, entry/exit, and sidewalk lighting will be



accommodated by building-mounted LED wall-pack fixtures of a cut-off / down-light style. Entry canopies will have recessed LED can lights to illuminate entry points.

A full photometric diagram of the site lighting design will be coordinated with City staff for approval.

Landscaping:

The landscape plan is provided herein, meeting the City landscape ordinance. Slight flexibility is being requested with the parking lot islands and foundation plantings to best accommodate the site constraints (see considerations below).

The existing office building, to be located on Lot 1, will remain with sufficient landscape and greenspace per drawings.

Considerations:

The development will be in compliance with the majority of zoning standards. However, in order to satisfy tenant and owner needs, we are requesting this planned development allow some slight flexibility in the PD to the normal city zoning requirements for similar retail uses.

1. Parking lot design standards: We request a reduction in parking dimensional standards. Parking on site is to be angled parking or 90-degree perpendicular parking with 9'x18' stall size, and 24' wide drive aisles. The City zoning code requires 8'-6" x 20' deep stalls and 26' wide drive aisles. The size of our design is what is conventional in most other municipalities and is proven to be good practice. Meeting the City standard would require excessive paving and prevent the necessary 5:1000 ratio of parking to building square footage.
2. Foundation plantings: Due to site constraints, some foundation plantings have been omitted along the storefronts of each building. This will allow flexibility in door placement for tenants, and allow a wider and safer pedestrian walk between storefront and parking lot. Plantings are utilized along all exposed non-storefront sides of the building. Furthermore, we request flexibility to adjust foundation plantings to accommodate future storefront and retail entrances.
3. Parking lot landscape islands: similar to the dimensional challenges requested in the parking lot, we request a reduction to the minimum landscape island size to meet the proposed design.
4. Signage: we request that the elevations as submitted be approved with respect to signage sizes and locations. Signage would be calculated by using the area of the channel letters. The signage shown is proportional to the building sizes and would otherwise be compliant with the zoning code.
 - a. On building 1, We request a transfer of allowable quantity of signs from the east elevation to the West (front) elevation, as there are no signs proposed



on the east, but three proposed on the west – which is one more than allowable.

5. Monument Signage: 98-105(2)(a)3a We request that two monument signs allowed for the proposed development. During our initial pre-development meeting, the previous building inspector and zoning administrator felt that two monument signs for this location would be acceptable due to the following factors; the size of the site, the two separate buildings and while we are combining the parcels, the proposed development is currently located on two separate parcels and a portion of a third parcel.
6. Masonry at base of wall: The preferred architectural design for Building 2 has accents of ribbed metal panel which extend to the ground. These locations are all behind landscape foundation plantings, and would not be in contact with pedestrians or vehicles. We request that this be allowed, and that a masonry base not be required in these locations. Note that we do have a masonry base at all other locations of both buildings.
7. Building materials and colors: we request the building materials, and colors, both accent and field colors represented in the elevations be approved as shown.

Thank you for your consideration in your review of this project. We look forward to meeting and discussing as we finalize our plans and progress the development.

Respectfully,

A handwritten signature in black ink, appearing to read "Steve Shulfer", written in a cursive style.

Steve Shulfer, AIA.
Sketchworks Architecture, LLC

CERTIFIED SURVEY MAP NO.

Being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva., Walworth County, Wisconsin

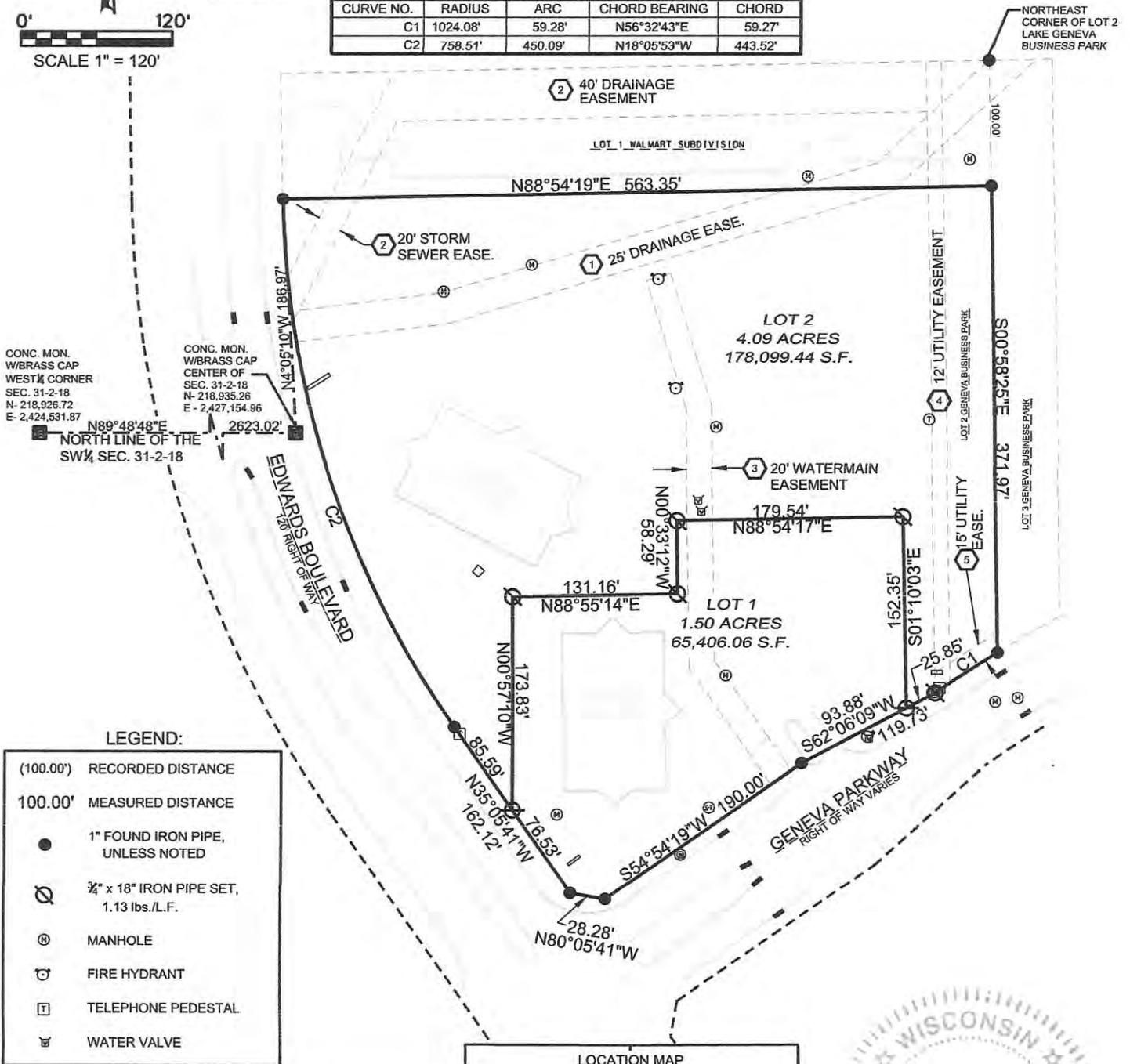
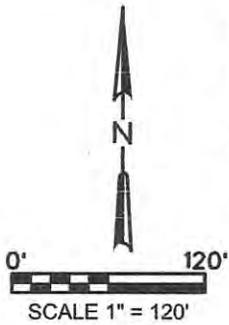
BASIS OF BEARING:
THE NORTH LINE OF
THE SW 1/4 OF SEC. 31,
T 2 N - R 18 E WAS TAKEN
TO BEAR N89°48'32"E.

OWNER:
KIM PISCHKE
CORE COMMERCIAL, INC.
P.O. BOX 1154
APPLETON, WI 54912

SURVEYOR:
V2G SURVEYING LLC.
550 BAY VIEW ROAD SUITE B
MUKWONAGO, WI 53149
262-378-5097

CURVE INFORMATION

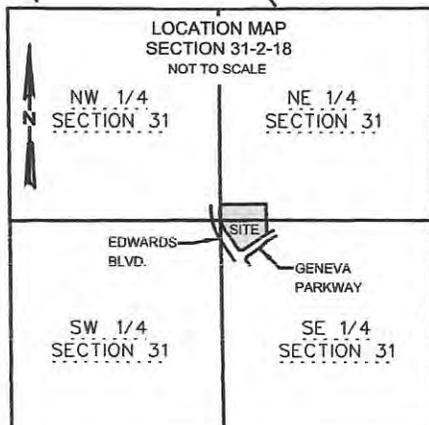
CURVE NO.	RADIUS	ARC	CHORD BEARING	CHORD
C1	1024.08'	59.28'	N56°32'43"E	59.27'
C2	758.51'	450.09'	N18°05'53"W	443.52'



LEGEND:

(100.00')	RECORDED DISTANCE
100.00'	MEASURED DISTANCE
●	1" FOUND IRON PIPE, UNLESS NOTED
⊙	3/4" x 18" IRON PIPE SET, 1.13 lbs./L.F.
⊗	MANHOLE
⊕	FIRE HYDRANT
⊞	TELEPHONE PEDESTAL
⊟	WATER VALVE

No.	EASEMENT DESCRIPTION	DOCUMENT No.
1	25' DRAINAGE EASEMENT	227992, 313695
2	STORM SEWER AND DRAINAGE	313695
3	20' PUBLIC WATERMAIN EASEMENT	313695
4	EASEMENT FOR UNDERGROUND ELECTRIC LINES	323067
5	EASEMENT FOR UNDERGROUND ELECTRIC LINES	323068



NOTES:

LANDLORD TO PROVIDE:

- ADEQUATE ACCESS BEHIND LOGO LETTERS FOR INSTALLATION AND MAINTENANCE, PER ARTICLE 600 OF THE N.E.C.
- ONE (1) 20 AMP 120V ISOLATED SIGN CIRCUIT AND JUNCTION BOX TO AREA BEHIND SIGN LETTERS CONNECTED TO THE ENERGY MANAGEMENT SYSTEM
- AT LEAST 5/8" THICK PLYWOOD BACKING BEHIND ALL E.I.F.S. WALL SYSTEMS FOR SIGN AND BANNER SUPPORT

SIGN FASCIA TO BE FREE OF JOINTS & REVEALS, AND OF A LIGHT COLOR (MINIMUM 80% L.R.V.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.

ALL COLORS ARE SUBJECT TO ROSS STORES, INC. REVIEW AND APPROVAL. COLOR APPEARANCE MAY BE ALTERED BY PRINTING. SEE APPROVED FINAL CONSTRUCTION DRAWINGS FOR COLOR SPECIFICATIONS.

IF ANY SIGNAGE PROPOSED IN THIS EXHIBIT IS ALTERED BY LOCAL GOVERNMENT AUTHORITIES, ROSS STORES INC. RESERVES THE RIGHT TO, AT NO COST, ADJUST ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE

- (A)** 72"H INDIVIDUAL "ROSS" PAN CHANNEL LETTER-LOK LOGO LETTERS:
 FACES: TUF-GLAS SG 21210-E4 MATTE BLUE
 RETURNS: 8"D ALUM. W/ WHITE FINISH
 TRIM CAP: 2" WHITE JEWELITE
 LETTER BACKS: ALUMINUM
 LEDS: INSEM SS-KDL2CL-RW 9000K WHITE
 MOUNTING: 1/4"-20 GALV. THRU BOLTS
 PEG OFF: 1/2" SPACERS

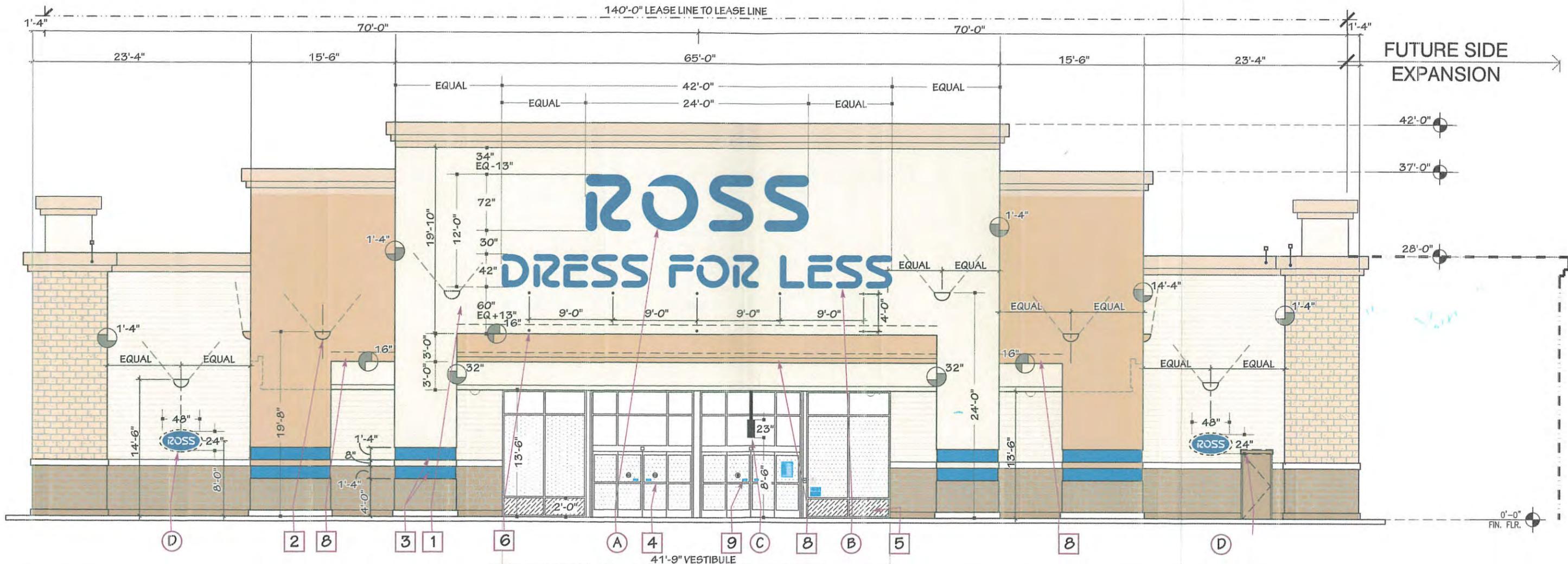
- (B)** 42"H INDIVIDUAL "DFL" LOGO LETTERS:
 ALL CALLOUTS SAME AS "ROSS" EXCEPT:
 RETURNS: 5"D ALUM. W/ WHITE FINISH
 TRIM CAP: 1" WHITE JEWELITE

- (C)** 23"H X 46"W X 10"D DOUBLE-FACE INTERNALLY ILLUMINATED UNDER-CANOPY SIGN, SEE SHEET UCH FOR DETAILS.

- (D)** 24"H X 48"W X 1"D SINTRA OVAL "ROSS" LOGO WALL PLAQUES
 SEE SHEET EL FOR DETAILS.

- 1 SIGN FASCIA BY LANDLORD, SEE NOTES
- 2 TYPICAL ARCHITECTURAL LIGHTING BY LANDLORD MATCH SCONCE COLOR TO BACKGROUND
- 3 TYPICAL ROSS BLUE IDENTITY BANDS BY LANDLORD
- 4 CLEAR ANODIZED ALUMINUM STOREFRONT & DOORS BY LANDLORD
- 5 FROSTED FILM BY LANDLORD

- 6 (2) SETS OF FIVE (5) EYE-BOLTS FOR BANNER ATTACHMENT BY LANDLORD. TWO (2) SETS REQUIRED AS SHOWN.
- 8 RECESSED ILLUMINATED NICHE BY LANDLORD
- 9 STORE HOURS, ENTRY/EXIT, ETC. DECALS BY ROSS STORES.



1 STOREFRONT • WEST • EDWARDS BOULEVARD • ELEVATION

SCALE: 3/32" = 1'-0"

TK-N

SHEET

S172 42

VARIANCE REQUIRED

ROSS	SIGN AREA ALLOWED :140.00 S.F.
DRESS FOR LESS	SIGN AREA USED: 264.72 S.F.
ROSS DFL	241.50 \$F
(2) WALL PLAQUES UNDER CANOPY	16.00 \$F
TOTAL	7.22 \$F
ROSS	264.72 \$F
UC SIGN:	1.9 X 3.8' = 7.22 S.F.

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ROSS
 DRESS FOR LESS

#2085 LAKE GENEVA
 Geneva Parkway Shoppes
 SEC Edwards Boulevard and Main Street
 Lake Geneva, Wisconsin

drawn 02/14/17
 REV TO SUPPLIED ELEVATION 7/5/17
 Per Y'S mark-up 7/11/17
 Rev per supplied elev. 9/28/17

NOTES:

LANDLORD TO PROVIDE:

- ADEQUATE ACCESS BEHIND LOGO LETTERS FOR INSTALLATION AND MAINTENANCE, PER ARTICLE 600 OF THE N.E.C.
- ONE (1) 20 AMP 120V ISOLATED SIGN CIRCUIT AND JUNCTION BOX TO AREA BEHIND SIGN LETTERS CONNECTED TO THE ENERGY MANAGEMENT SYSTEM
- AT LEAST 5/8" THICK PLYWOOD BACKING BEHIND ALL E.I.F.S. WALL SYSTEMS FOR SIGN AND BANNER SUPPORT

SIGN FASCIA TO BE FREE OF JOINTS & REVEALS, AND OF A LIGHT COLOR (MINIMUM 80% L.R.V.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.

ALL COLORS ARE SUBJECT TO ROSS STORES, INC. REVIEW AND APPROVAL. COLOR APPEARANCE MAY BE ALTERED BY PRINTING, SEE APPROVED FINAL CONSTRUCTION DRAWINGS FOR COLOR SPECIFICATIONS.

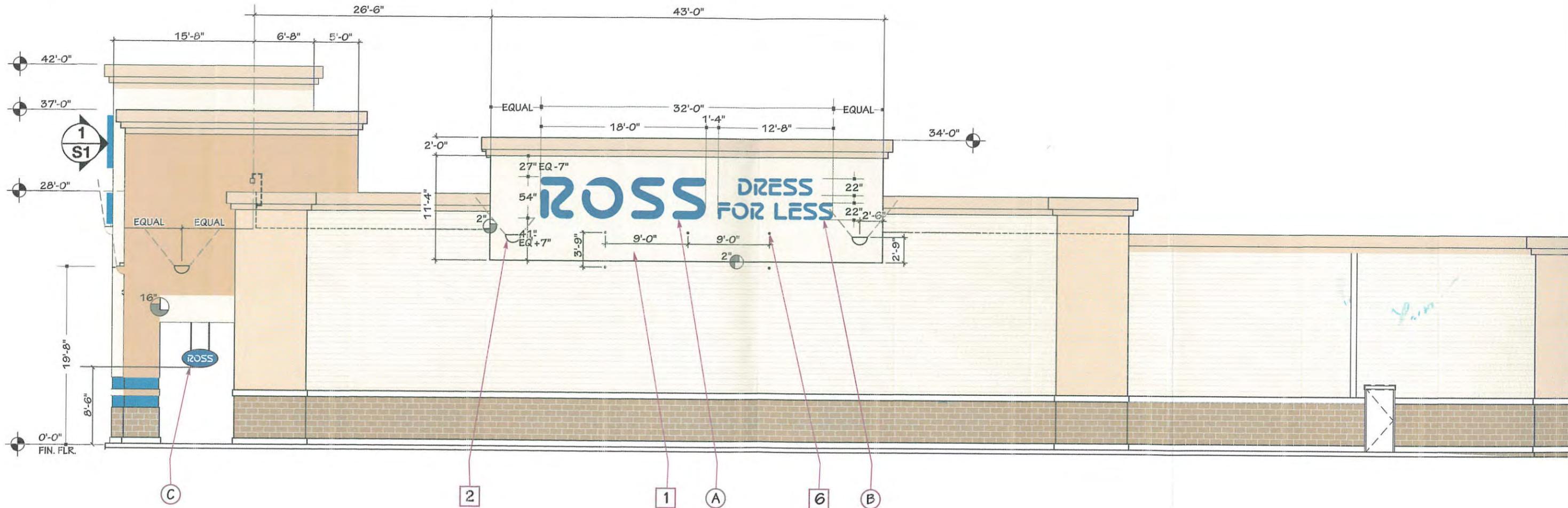
IF ANY SIGNAGE PROPOSED IN THIS EXHIBIT IS ALTERED BY LOCAL GOVERNMENT AUTHORITIES, ROSS STORES INC. RESERVES THE RIGHT TO, AT NO COST, ADJUST ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE

- (A) 54"H INDIVIDUAL "ROSS" PAN CHANNEL LETTER-LOK LOGO LETTERS:
 FACES: TUF-GLAS 5G 21210-E4 MATTE BLUE
 RETURNS: 8"D ALUM. W/ WHITE FINISH
 TRIM CAP: 2" WHITE JEWELITE
 LETTER BACKS: ALUMINUM
 LEDS: INSEM 55-KDL2CL-RW 9000K WHITE
 MOUNTING: 1/4"-20 GALV. THRU BOLTS
 PEG OFF: 1/2" SPACERS

- (C) 23"H X 46"W X 10"D DOUBLE-FACE INTERNALLY ILLUMINATED UNDER-CANOPY SIGN, SEE SHEET UCH FOR DETAILS.

- 1 SIGN FASCIA BY LANDLORD, SEE NOTES
 2 TYPICAL ARCHITECTURAL LIGHTING BY LANDLORD MATCH SCENCE COLOR TO BACKGROUND

- 6 (1) SET OF FIVE (5) EYE-BOLTS FOR BANNER ATTACHMENT BY LANDLORD. ONE (1) SET REQUIRED AS SHOWN.



VARIANCE REQUIRED

		SIGN AREA USED: 101.34 S.F.
ROSS DFL	101.34 SF	
TOTAL	101.34 SF	

① SIDE • SOUTH • GENEVA PARKWAY NORTH • ELEVATION

SCALE: 3/32" = 1'-0"

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B72146C

#2085 LAKE GENEVA
 Geneva Parkway Shoppes
 SEC Edwards Boulevard and Main Street
 Lake Geneva, Wisconsin

drawn	02/14/17
REV TO SUPPLIED ELEVATION	7/5/17
Per YS mark-up	7/11/17
Rev per supplied elev.	9/28/17

TK-N
 SHEET
S2⁵⁴
 22

NOTES:

LANDLORD TO PROVIDE:

- ADEQUATE ACCESS BEHIND LOGO LETTERS FOR INSTALLATION AND MAINTENANCE, PER ARTICLE 600 OF THE N.E.C.
- ONE (1) 20 AMP 120V ISOLATED SIGN CIRCUIT AND JUNCTION BOX TO AREA BEHIND SIGN LETTERS CONNECTED TO THE ENERGY MANAGEMENT SYSTEM
- AT LEAST 5/8" THICK PLYWOOD BACKING BEHIND ALL E.I.F.S. WALL SYSTEMS FOR SIGN AND BANNER SUPPORT

SIGN FASCIA TO BE FREE OF JOINTS & REVEALS, AND OF A LIGHT COLOR (MINIMUM 80% L.R.V.) TO PROVIDE HIGH CONTRAST AND VISIBILITY FOR THE SIGN.

ALL COLORS ARE SUBJECT TO ROSS STORES, INC. REVIEW AND APPROVAL. COLOR APPEARANCE MAY BE ALTERED BY PRINTING, SEE APPROVED FINAL CONSTRUCTION DRAWINGS FOR COLOR SPECIFICATIONS.

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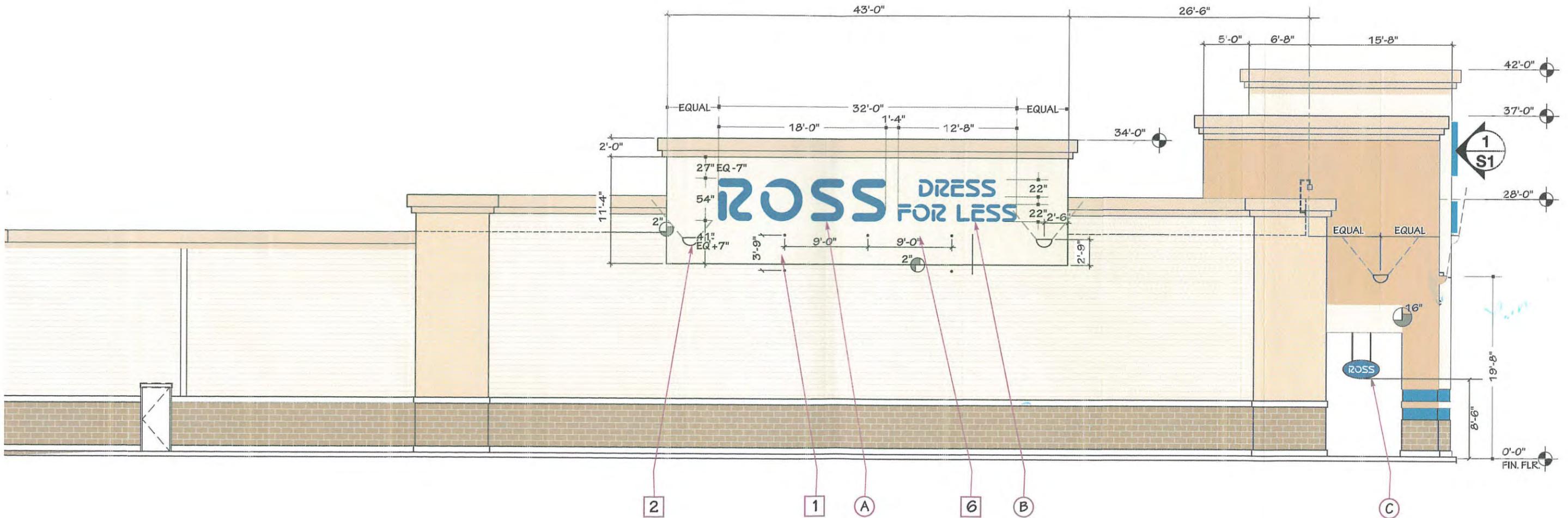
- (A) 54"H INDIVIDUAL "ROSS" PAN CHANNEL LETTER-LOK LOGO LETTERS:
 FACES: TUF-GLAS SG 21210-E4 MATTE BLUE
 RETURNS: 8"D ALUM. W/ WHITE FINISH
 TRIM CAP: 2" WHITE JEWELITE
 LETTER BACKS: ALUMINUM
 LEDS: INSEM SS-KDL2CL-RW 9000K WHITE
 MOUNTING: 1/4"-20 GALV. THRU BOLTS
 PEG OFF: 1/2" SPACERS

- (C) 23"H X 46"W X 10"D DOUBLE-FACE INTERNALLY ILLUMINATED UNDER-CANOPY SIGN, SEE SHEET UCH FOR DETAILS.

- (B) 22"H INDIVIDUAL "DFL" LOGO LETTERS:
 ALL CALLOUTS SAME AS "ROSS" EXCEPT:
 RETURNS: 5"D ALUM. W/ WHITE FINISH
 TRIM CAP: 1" WHITE JEWELITE

- 1 SIGN FASCIA BY LANDLORD, SEE NOTES
 2 TYPICAL ARCHITECTURAL LIGHTING BY LANDLORD MATCH SCENCE COLOR TO BACKGROUND

- 6 (1)SET OF FIVE (5) EYE-BOLTS FOR BANNER ATTACHMENT BY LANDLORD. ONE (1) SET REQUIRED AS SHOWN.



VARIANCE REQUIRED

ROSS DRESS FOR LESS	SIGN AREA USED: 101.34 S.F.
ROSS DFL	101.34 SF
TOTAL	101.34 SF

1 SIDE • NORTH • MAIN STREET • ELEVATION

SCALE: 3/32" = 1'- 0"

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ROSS DRESS FOR LESS

#2085 LAKE GENEVA
 Geneva Parkway Shoppes
 SEC Edwards Boulevard and Main Street
 Lake Geneva, Wisconsin

drawn	02/14/17
REV TO SUPPLIED ELEVATION	7/5/17
Per YS mark-up	7/11/17
Rev per supplied elev.	9/28/17

TK-N
 SHEET
S3⁵⁴
 22

creative Sign
company inc.

650 Eastman Dr. P.O. Box 924115
Waukegan, IL 60092-4115
815-491-1800 creative@creativesign.com

CLIENT: CORE COMMERCIAL

Multi-Tenant Building
Ross anchored development
Edwards Blvd
Lake Geneva, WI

REVISION LOG:	INTL	DATE	DESCRIPTION

MONUMENT SIGN

QUANTITY: 1
SIDES: D/F
CABINET: FABRICATED ALUM (24")
CAB SQ FT: 60 SQ FT

LIGHTING: LED (WHITE)
RETAINER: 2" STANDARD FOR LEXAN
FACES: LEXAN

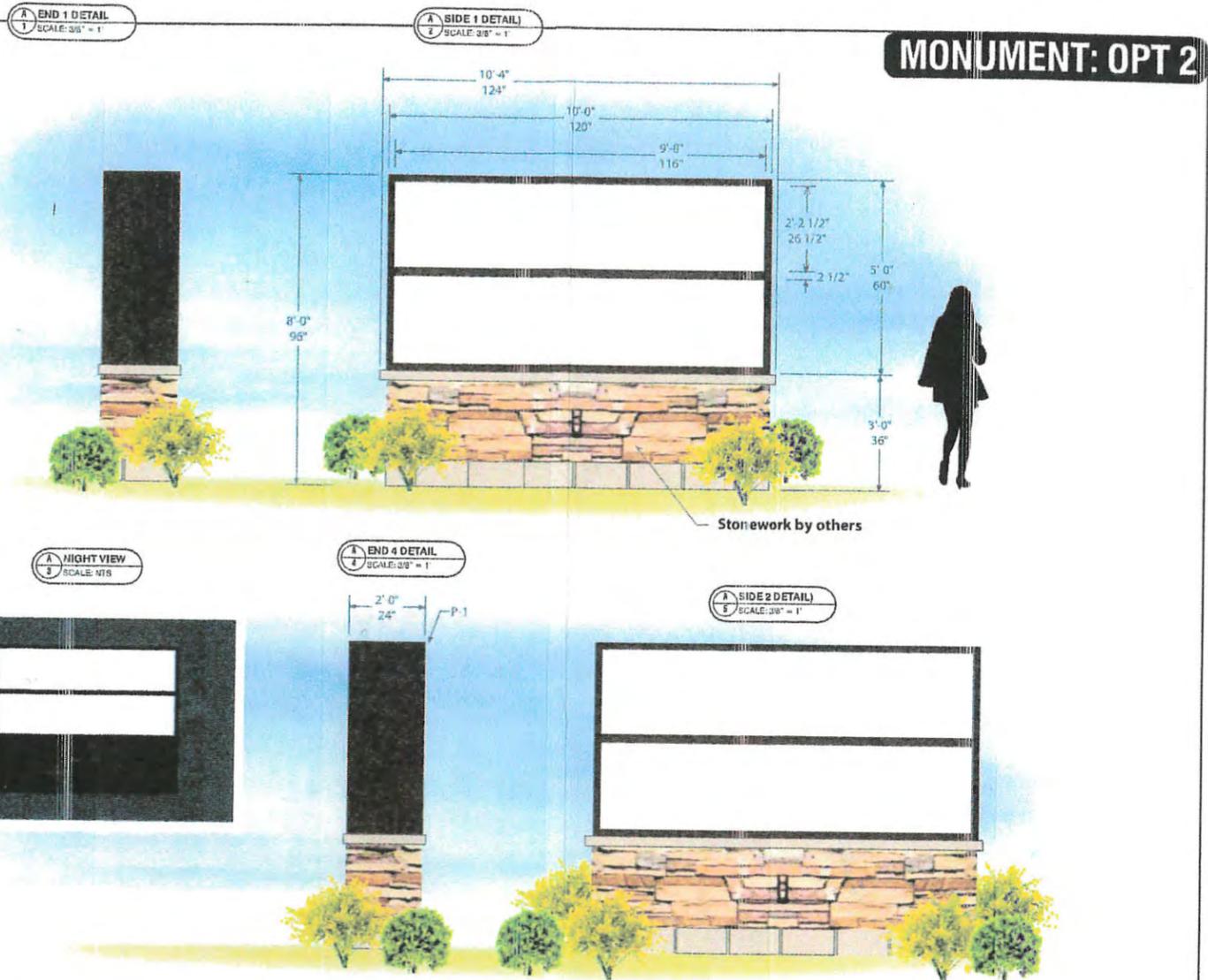
INSTRUCTION: CSC TO PRODUCE & INSTALL CABINET.
BASE/STONEWORK BY OTHERS

COLORS:

■ P-1 BROWN TBD
□ P-2 BROWN TBD

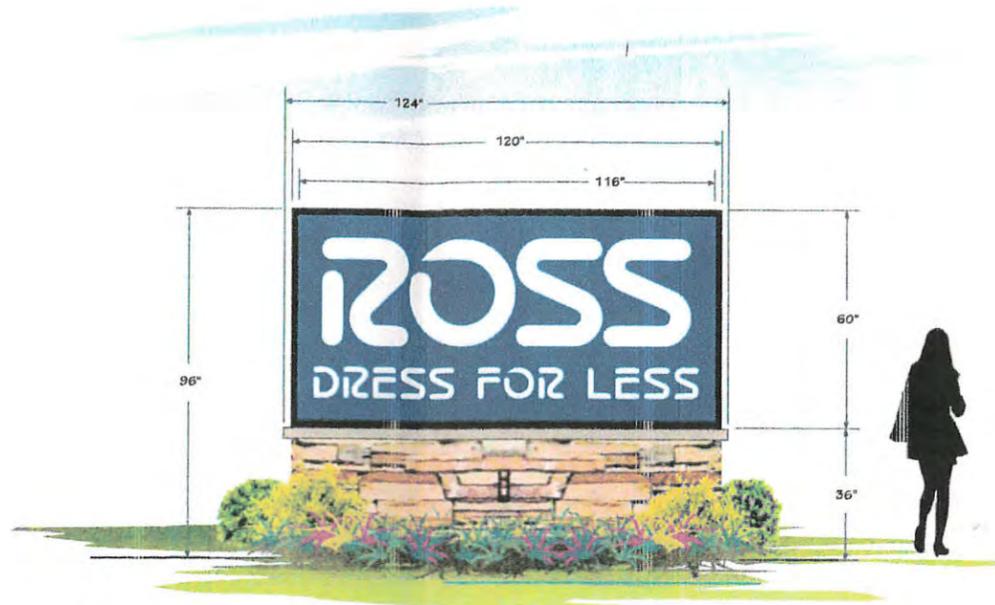
CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

DATE

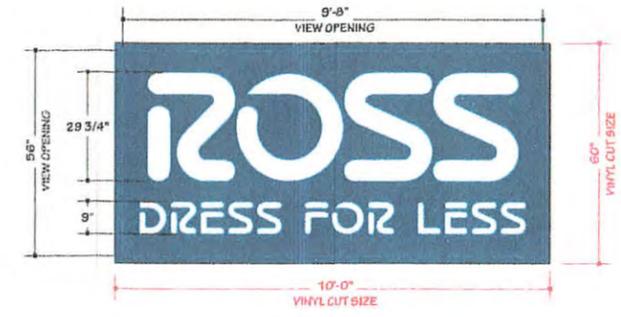


CONCEPTUAL DRAWING ONLY - NOT FOR FABRICATION PURPOSES (SIZES ARE APPROX)

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① MONUMENT SIGN • EDWARDS BOULEVARD
SCALE: 3/8" = 1'-0"



VINYL GRAPHICS
 (2) Required Scale: 3/8" = 1'-0"

General Description
 (2) SETS OF FIRST SURFACE APPLIED VINYL GRAPHICS, INSTALLED ONTO EXISTING PANELS. SEE COLOR SCHEDULE FOR VINYL SPECIFICATIONS AND DETAILS.

Color Schedule
 Vinyl
 3M #3630-157
 Sultan Blue

EXHIBIT _____
 PAGE _____ OF _____

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#2085 LAKE GENEVA
 The Shoppes on Geneva Parkway
 SEC Edwards Boulevard and Main Street
 Lake Geneva, Wisconsin

drawn 07/06/17

TK-N
 SHEET
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DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.

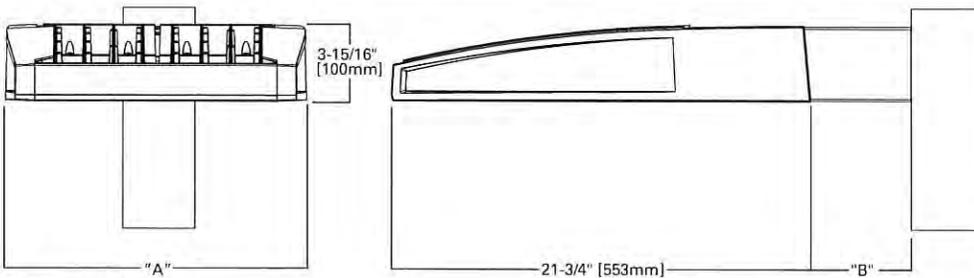


GLEON GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS

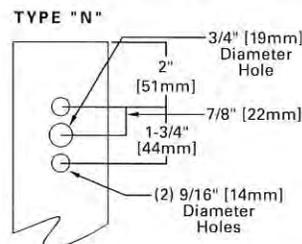


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA

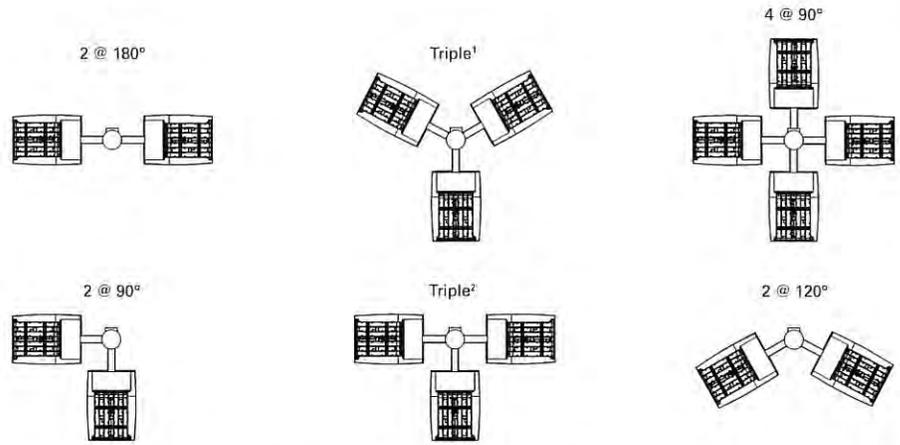
UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

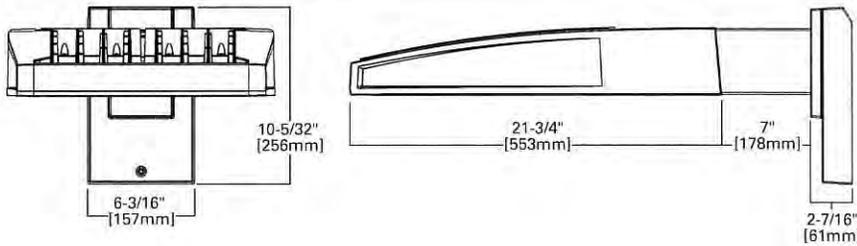
ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLEON-AF-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AF-10	16" Extended Arm (Required)	16" Extended Arm (Required)

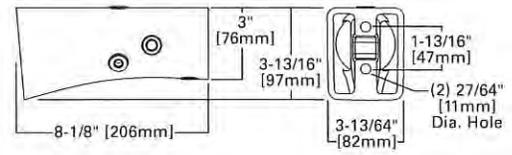


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°

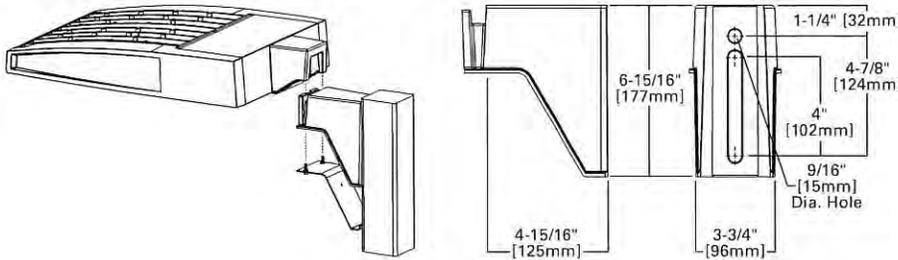
STANDARD WALL MOUNT



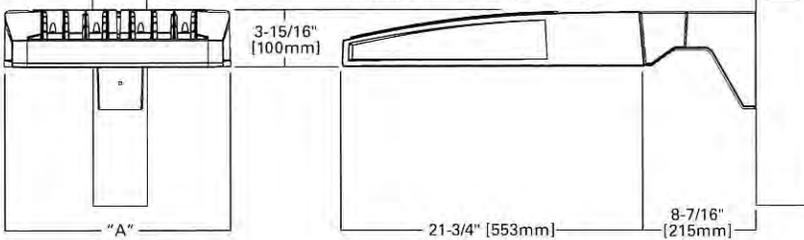
MAST ARM MOUNT



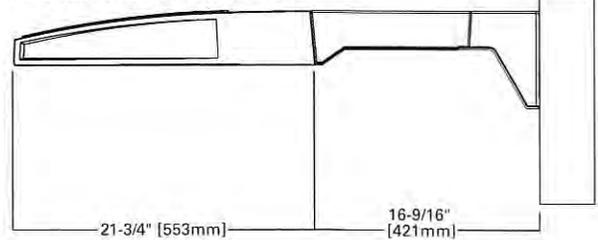
QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)



QM Quick Mount Arm (Standard)



QMEA Quick Mount Arm (Extended)

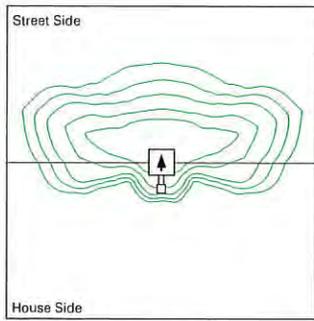


QUICK MOUNT ARM DATA

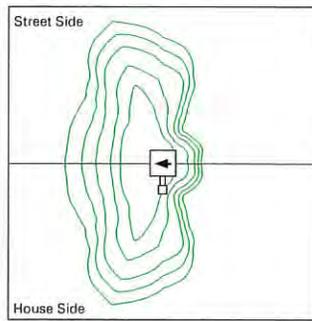
Number of Light Squares ^{1,2}	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6 ³	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	59 (26.82 kgs.)	

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.

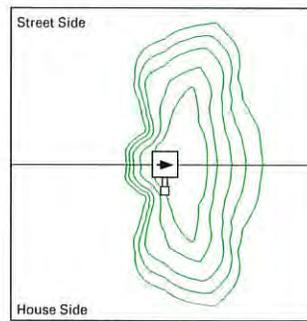
OPTIC ORIENTATION



Standard



Optics Rotated Left @ 90° [L90]



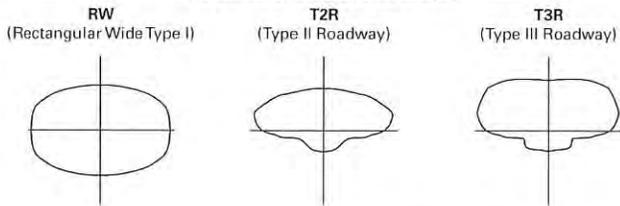
Optics Rotated Right @ 90° [R90]

OPTICAL DISTRIBUTIONS

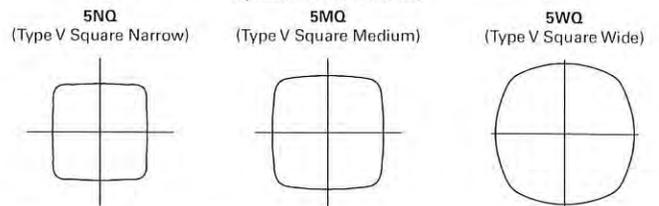
Asymmetric Area Distributions



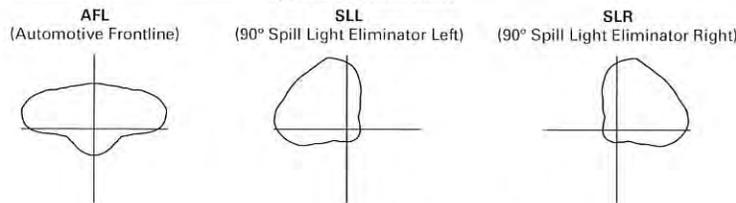
Asymmetric Roadway Distributions



Symmetric Distributions



Specialized Distributions

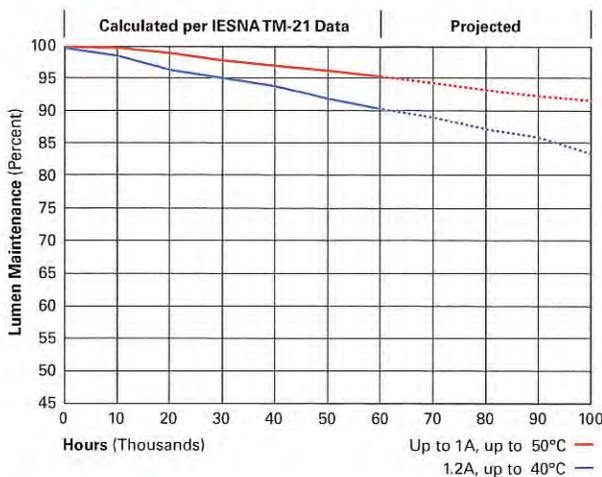


LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	416,000
1.2A	Up to 40°C	> 90%	205,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97



CONTROL OPTIONS

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (P, R and PER7)

Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

After Hours Dim (AHD)

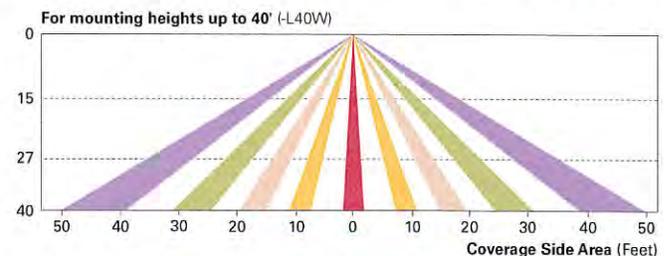
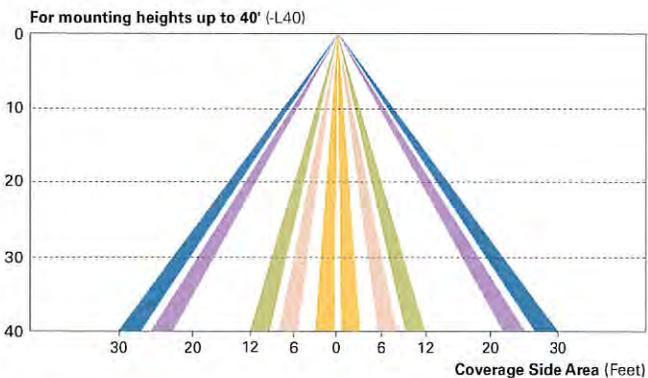
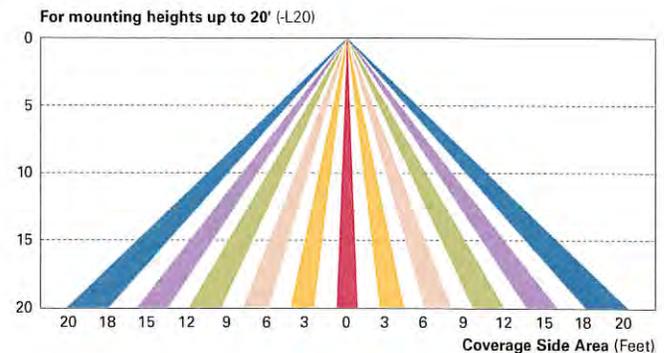
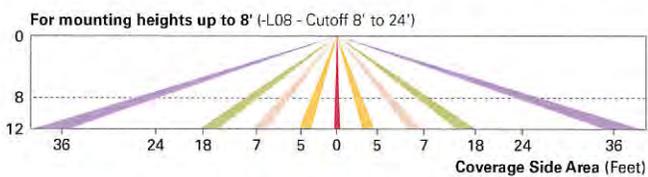
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX, MS/X-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

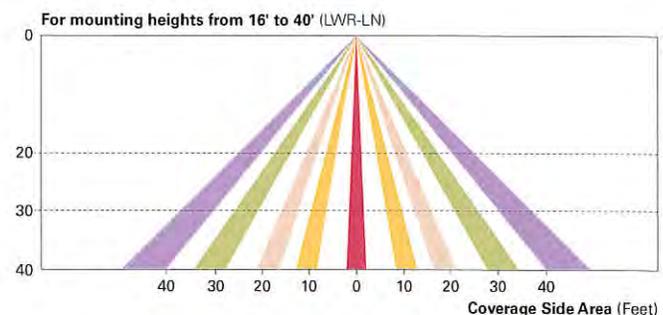
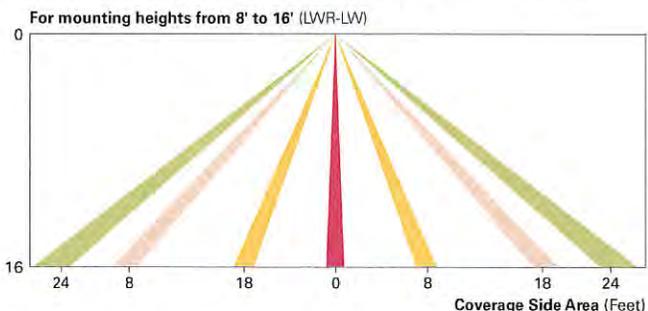
These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.

**LumaWatt Wireless Control and Monitoring System (LWR-LW and LWR-LN)**

The LumaWatt system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt product guides.



ORDERING INFORMATION

Sample Number: GLEON-AF-04-LED-E1-T3-GM-QM

Product Family ^{1,2}	Light Engine	Number of Light Squares ³	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	AF=1A Drive Current	01=1 02=2 03=3 04=4 05=5 06=6 07=7 ⁴ 08=8 ⁴ 09=9 ⁵ 10=10 ⁵	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V ⁶ 480=480V ^{6,7}	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5NQ=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	[Blank]=Arm for Round or Square Pole EA=Extended Arm ⁸ MA=Mast Arm Adapter ⁹ WM=Wall Mount QM=Quick Mount Arm (Standard Length) ¹⁰ QMEA=Quick Mount Arm (Extended Length) ¹¹
Options (Add as Suffix)					Accessories (Order Separately)		
<p>7030=70 CRI 3000K¹² 8030=80 CRI 3000K¹³ 7050=70 CRI 5000K¹² 7060=70 CRI 6000K¹² 600=Drive Current Factory Set to Nominal 600mA¹⁴ 800=Drive Current Factory Set to Nominal 800mA¹⁴ 1200=Drive Current Factory Set to Nominal 1200mA^{14,15} F=Single Fuse (120, 277 or 347V. Must Specify Voltage) FF=Double Fuse (208, 240 or 480V. Must Specify Voltage) 2L=Two Circuits^{16,17} DIM=External 0-10V Dimming Leads P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle R=NEMA Twistlock Photocontrol Receptacle AHD145=After Hours Dim, 5 Hours¹⁸ AHD245=After Hours Dim, 6 Hours¹⁸ AHD255=After Hours Dim, 7 Hours¹⁸ AHD355=After Hours Dim, 8 Hours¹⁸ HA=50°C High Ambient¹⁹ MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height^{20,21} MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height^{20,22} MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height^{20,23} MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range)^{20,24} MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height^{20,21,25} MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height^{20,22,25} MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height^{20,23,25} MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range)^{20,24,25} MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height^{20,21} MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height^{20,22} MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height^{20,23} MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range)^{20,24} LWR-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height²⁶ LWR-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height²⁶ L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top TH=Tool-less Door Hardware LCF=Light Square Trim Plate Painted to Match Housing²⁷ HSS=Factory Installed House Side Shield²⁸ CE=CE Marking²⁹</p>					<p>OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2 @ 180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2 @ 180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3 @ 120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor³⁰ GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares GLEON-MT2=Field Installed Mesh Top for 5-6 Light Squares GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares GLEON-QM=Quick Mount Arm Kit GLEON-QMEA=Quick Mount Extended Arm Kit LS/HSS=Field Installed House Side Shield^{28,29}</p>		

NOTES:

- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
- DesignLights Consortium™ Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Standard 4000K CCT and minimum 70 CRI.
- Not compatible with extended quick mount arm (QMEA).
- Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
- Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
- Factory installed.
- Maximum 8 light squares.
- Maximum 6 light squares.
- Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
- Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
- 1 Amp standard. Use dedicated IES files for 600mA, 800mA and 1200mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
- Not available with HA option.
- 2L is not available with MS, MS/X or MS/DIM at 347V or 480V. 2L in AF-02 through AF-04 requires a larger housing, normally used for AF-05 or AF-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
- Not available with LumaWatt wireless sensors.
- Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
- 50°C lumen maintenance data applies to 600mA, 800mA and 1A drive currents.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Approximately 22' detection diameter at 8' mounting height.
- Approximately 40' detection diameter at 20' mounting height.
- Approximately 60' detection diameter at 40' mounting height.
- Approximately 100' detection diameter at 40' mounting height.
- Replace X with number of Light Squares operating in low output mode.
- LumaWatt wireless sensors are factory installed only requiring network components RF-EM-1, RF-GW-1 and RF-ROUT-1 in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
- Not available with house side shield (HSS).
- Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.
- CE is not available with the LWR, MS, MS/X, MS/DIM, P, R or PER7 options. Available in 120-277V only.
- One required for each Light Square.

DESCRIPTION

The Galleon™ wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UPLIGHTING: Specify with the UPL option for inverted mount upright housing with additional protections to maintain IP rating.

Optics

Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90%

lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

Electrical

LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in -30°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for -20°C ambient environments and occupancy sensor available.

Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.

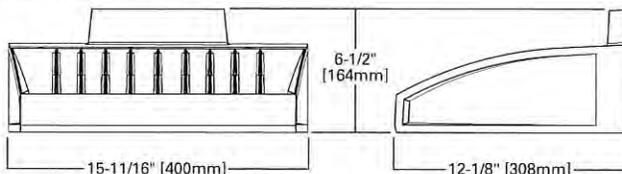


GWC GALLEON WALL LUMINAIRE

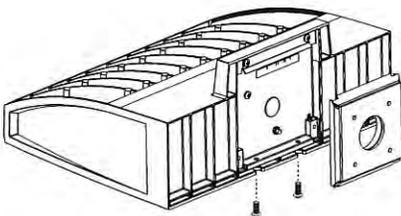
1-2 Light Squares
Solid State LED

WALL MOUNT LUMINAIRE

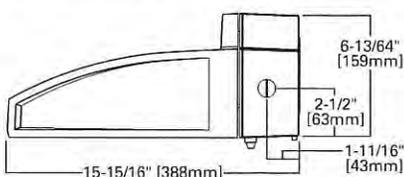
DIMENSIONS



HOOK-N-LOCK MOUNTING



BATTERY BACKUP AND THRU-BRANCH BACK BOX



CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 Housing
ISO 9001
DesignLights Consortium® Qualified*

ENERGY DATA

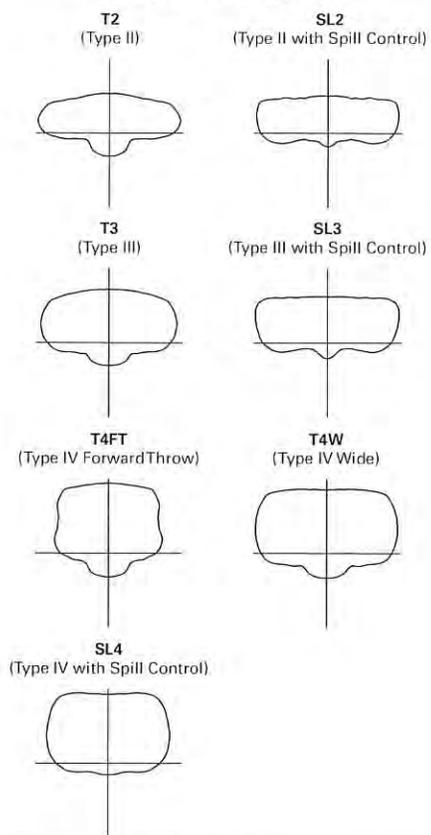
Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-30°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

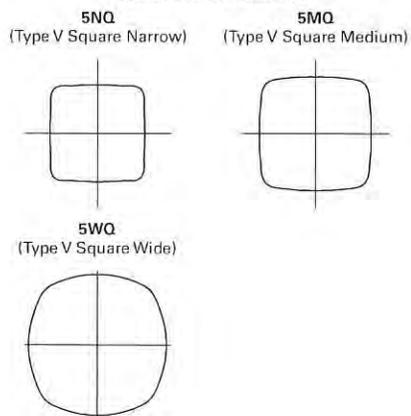
Approximate Net Weight:
27 lbs. (12.2 kgs.)

OPTICAL DISTRIBUTIONS

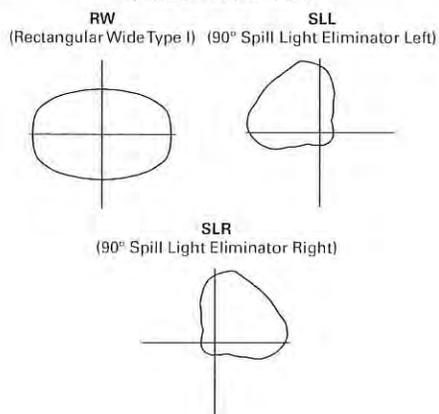
Asymmetric Area Distributions



Symmetrical Distributions

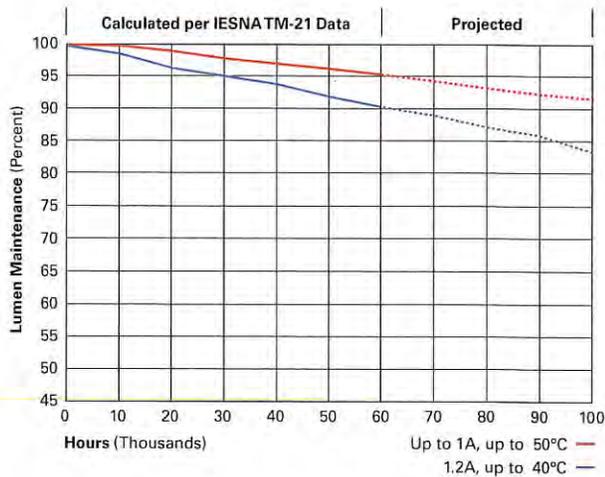


Specialized Distributions



LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

CONTROL OPTIONS

0-10V

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (P, R and PER7)

Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

After Hours Dim (AHD)

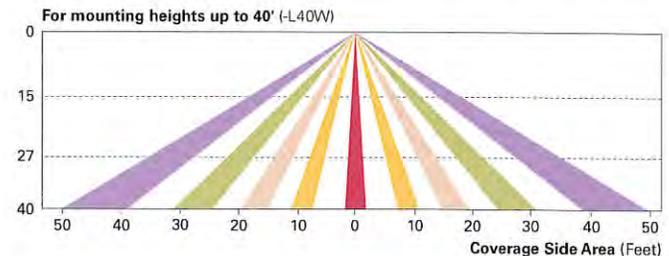
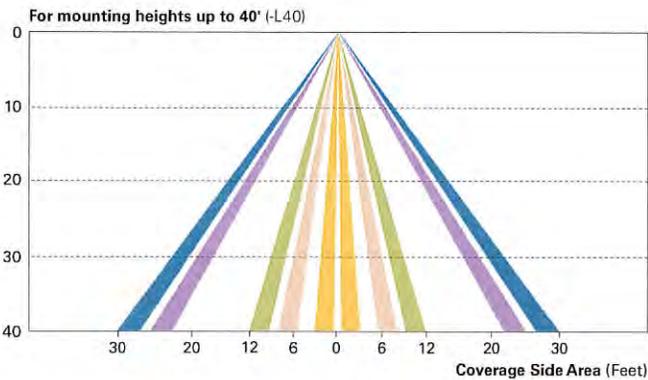
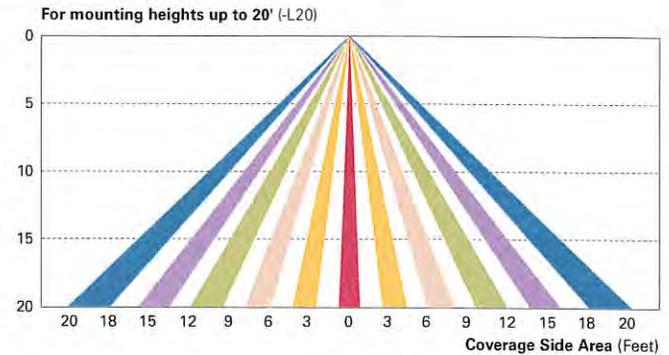
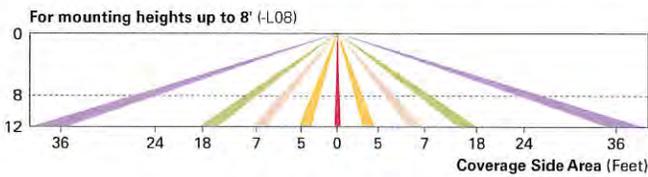
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a “dusk-to-dawn” period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for “dusk-to-dawn” control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

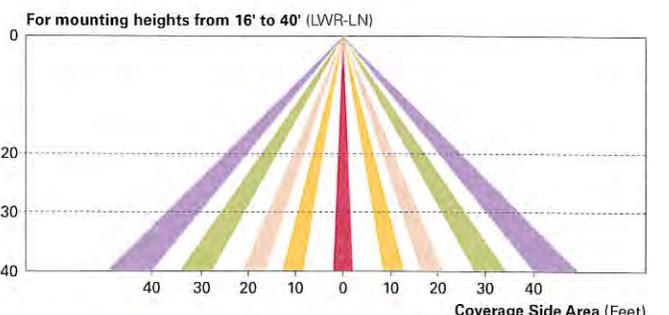
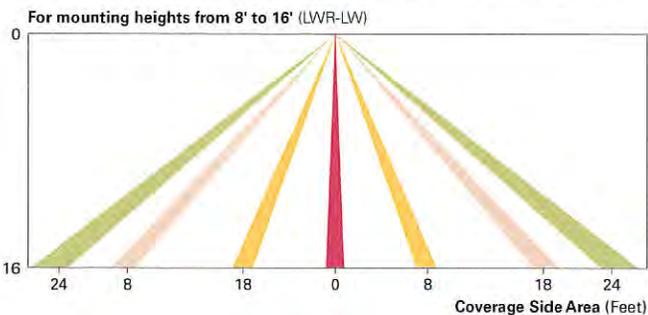
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The LumaWatt Pro system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt Pro software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt Pro product guides.



ORDERING INFORMATION

Sample Number: GWC-AF-02-LED-E1-T3-GM

Product Family ¹	Light Engine	Number of Light Squares ²	Lamp Type	Voltage	Distribution	Color	Mounting Options
GWC=Galleon Wall	AF=1A Drive Current	01=1 02=2 ²	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V ⁴ 480=480V ^{4,5}	T2=Type II T3=Type III T4FT=Type IV Forward Throw T4W=Type IV Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I 5NQ=Type V Square Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White CC=Custom Color ⁶	[BLANK]=Surface Mount
Options (Add as Suffix)					Accessories (Order Separately)		
7030=70 CRI / 3000K ⁷ 8030=80 CRI / 3000K ⁷ 7050=70 CRI / 5000K ⁷ 7060=70 CRI / 6000K ⁷ 600=Drive Current Factory Set to 600mA 800=Drive Current Factory Set to 800mA 1200=Drive Current Factory Set to 1200mA ⁸ F=Single Fused (120, 277 or 347V. Must Specify Voltage) FF=Double Fused (208, 240 or 480V. Must Specify Voltage) 10K=10kV Surge Module DIM=0-10V Dimming Leads ^{9,10} DALI=DALI Driver ¹¹ HA=50°C High Ambient ¹² UPL=Uplight Housing ¹³ BBB=Battery Pack with Back Box ^{3,8,9,14} CWB=Cold Weather Battery Pack with Back Box ^{3,8,9,14} P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) R=NEMA Twistlock Photocontrol Receptacle PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁵ AHD145=After Hours Dim, 5 Hours ¹⁶ AHD245=After Hours Dim, 6 Hours ¹⁶ AHD255=After Hours Dim, 7 Hours ¹⁶ AHD355=After Hours Dim, 8 Hours ¹⁶ MS-LXX=Motion Sensor for On/Off Operation ^{17,18,19} MS/DIM-LXX=Motion Sensor for Dimming Operation ^{17,18,19} LWR-LW=LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ^{19,20,21} LWR-LN=LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ^{19,20,21} L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top LCF=Light Square Trim Plate Painted to Match Housing ²² HSS=Factory Installed House Side Shield ²³ CE=CE Marking and Small Terminal Block ²⁴					OA/RA1013=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V MA1252=10kV Circuit Module Replacement MA1059XX=Thru-branch Back Box (Must Specify Color) FSIR-100=Wireless Configuration Tool for Occupancy Sensor ¹⁷ LS/HSS=Field Installed House Side Shield ^{23,25}		

- NOTES:
- DesignLight Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
 - Standard 4000K CCT and minimum 70 CRI.
 - Two light squares with BBB or CWB options limited to 25°C, 120-277V only.
 - Requires the use of a step down transformer. Not available in combination with sensor options at 1200mA.
 - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
 - Custom colors are available. Setup charges apply. Paint chip samples required. Extended Lead times apply.
 - Extended lead times apply. Use dedicated IES files when performing layouts.
 - Not available with HA option.
 - Cannot be used with other control options.
 - Low voltage control lead brought out 18" outside fixture.
 - Only available with BBB or CWB in single light square. HA option available for single light square only. Limited to 1A and below.
 - Not available with 1200, UPL, BBB and CWB options. Available for single light square only.
 - Not available with SL2, SL3, SL4, HA, BBB, CWB, R, or PER7 options.
 - Operates a single light square only. Cold weather option operates -20°C to +40°C, standard 0°C to +40°C. Backbox is non-IP rated.
 - Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.
 - Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
 - The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
 - Replace LXX with mounting height in feet for proper lens selection (e.g., L8=8' mounting height). L8, L20, L40, and L40W are available options.
 - Includes integral photosensor.
 - LumaWatt Pro wireless sensors are factory installed requiring network components in appropriate quantities. See www.eaton.com/lighting for LumaWatt Pro application information.
 - Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
 - Not available with HSS option.
 - Only for use with SL2, SL3 and SL4 distributions. The light square trim plate is painted black when the HSS option is selected.
 - CE is not available with the 1200, DALI, LWR, MS, MS/DIM, P, R or PER7 options. Available in 120-277V only.
 - One required for each light square.

DESCRIPTION

The Entri LED luminaire features a classic and stylish design with the added benefits of solid state lighting technology, offering outstanding uniformity and energy savings. Using Eaton's proprietary LED LightBAR™ technology and AccuLED Optics™ system, the Entri LED luminaire offers designers vast versatility in system design, function and performance. Use Entri LED for wall mount architectural lighting applications and egress lighting requirements. UL/cUL listed for use in wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

HOUSING: Heavy wall, one-piece, die-cast aluminum construction for precise tolerance control and repeatability in manufacturing. Integral extruded aluminum heat sink provides superior thermal heat transfer in +40°C ambient environments. **FACEPLATE / DOOR:** One-piece, die-cast aluminum construction. Captive, side hinged faceplate swings open via release of one flush mount die-cast aluminum latch on housing side panel. **GASKET:** One-piece molded silicone gasket mates perfectly between the door and housing for repeatable seal. **LENS:** Uplight lens is impact-resistant, 5/32" thick tempered frosted glass sealed to housing with continuous bead silicone gasket. Downlight lens is LED board integrated acrylic over-optics, each individually sealed for IP66 rating. **HARDWARE:** Stainless steel mounting screws and latch hardware allow access to electrical components for installation and servicing.

Optics

Choice of six patented, high-efficiency AccuLED Optic distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in

4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT and 5000K CCT.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightBARs feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments, occupancy sensor and dimming options available.

Mounting

JUNCTION BOX: Standard with zinc-plated, quick-mount junction box plate that mounts directly to 4" J-Box. LightBARs mount facing downward. Fixture slides over mounting plate and is secured with two stainless steel fasteners. Mounting plate features a one-piece EPDM gasket on back side of plate to firmly seal fixture to

wall surface, forbidding entry of moisture and particulates. Optional mounting arrangements utilize a die-cast mounting adaptor box to allow for LED battery pack, surface conduit and through branch wiring. The Entri LED luminaire is approved for mounting on combustible surfaces.

Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty

Five-year warranty.



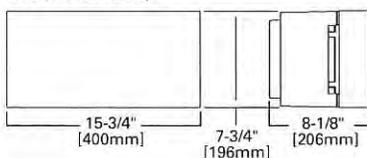
ENC/ENT/ENV ENTRI LED

1 - 2 LightBARs
Solid State LED

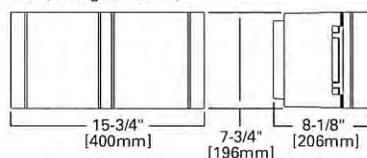
ARCHITECTURAL WALL
LUMINAIRE

DIMENSIONS

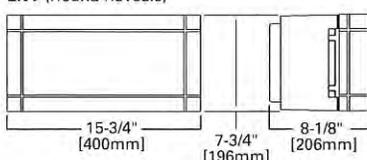
ENC (Round Clean)



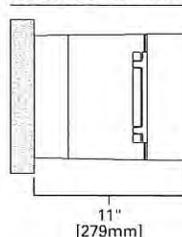
ENT (Triangle Reveals)



ENV (Round Reveals)



CONDUIT MOUNT / BATTERY BACK BOX



CERTIFICATION DATA

UL/cUL Listed
ISO 9001
IP66 LightBARs
LM79 / LM80 Compliant

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-30°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

Approximate Net Weight:
16 lbs. (7.3 kgs.)

CONTROL OPTIONS

0-10V

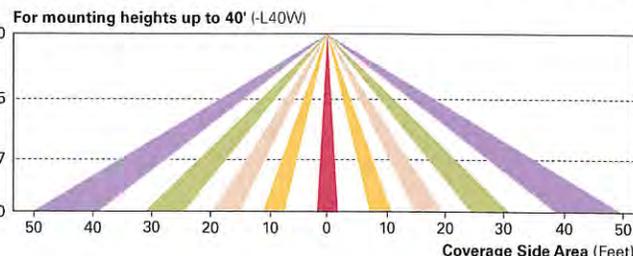
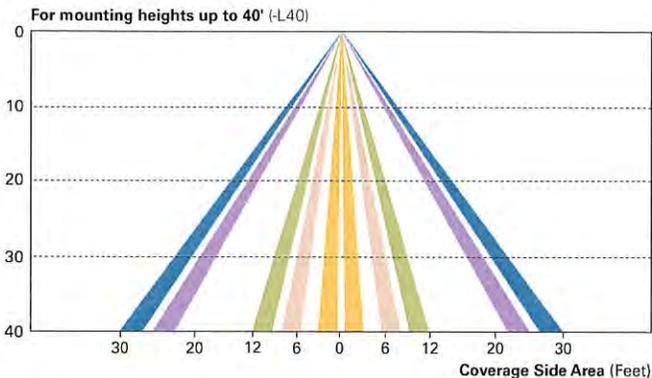
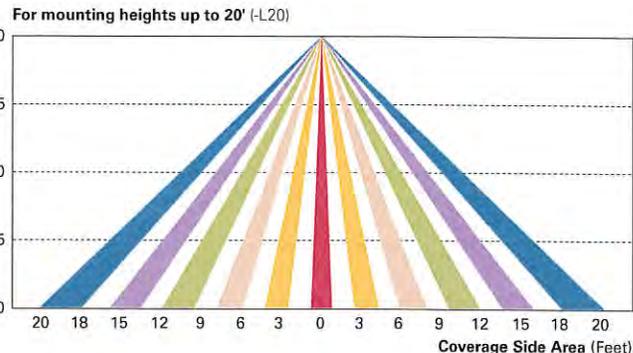
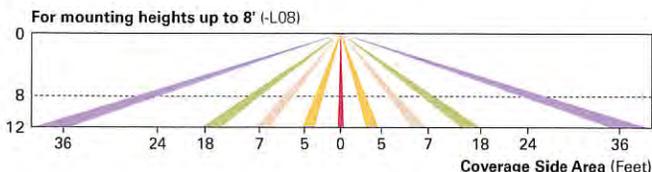
This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Dimming Occupancy Sensor (MS/DIM-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

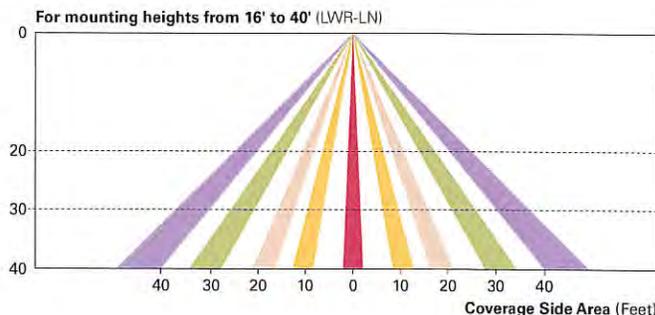
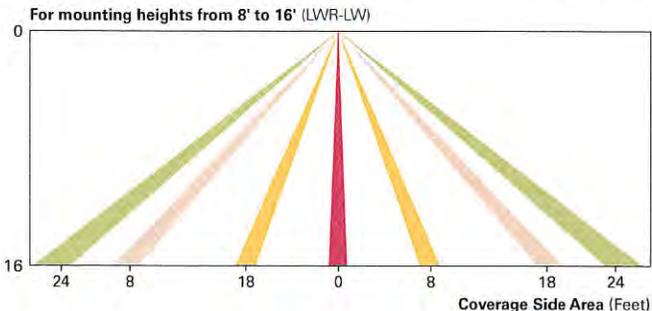
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The LumaWatt Pro system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt Pro software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt Pro product guides.



POWER AND LUMENS BY BAR COUNT

Number of LightBARs	E01	E02	F01	F02	
	21 LED LightBAR		7 LED LightBAR		
Drive Current	350mA		1A		
Power (Watts)	120-277V	25W	47W	26W	50W
Current (A)	120V	0.22	0.40	0.22	0.42
	277V	0.10	0.18	0.10	0.19
Power (Watts)	347V or 480V	31W	52W	32W	55W
Current (A)	347V	0.11	0.16	0.11	0.17
	480V	0.16	0.18	0.16	0.18
Optics					
BL2	Lumens	2,738	5,476	2,260	4,521
	Bug Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
BL3	Lumens	2,702	5,405	2,231	4,462
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G1
BL4	Lumens	2,613	5,225	2,157	4,313
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G1
GZW	Lumens	2,785	5,570	2,299	4,598
	Bug Rating	B2-U0-G2	B3-U0-G3	B1-U0-G1	B2-U0-G2
SLR/SLL	Lumens	2,435	4,869	2,010	4,020
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G2

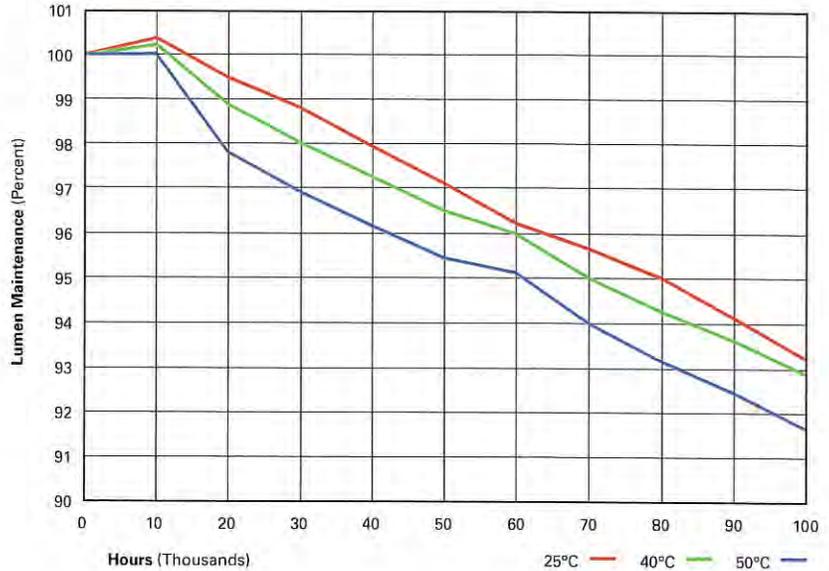
LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

* Per IESNA TM-21 data.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



ORDERING INFORMATION

Sample Number: ENC-E02-LED-E1-BL3-GM

Product Family	Number of LightBARs ¹	Lamp Type	Voltage	Distribution	Color ³
ENC=Entri Round Clean ENT=Entri Triangle Reveals ENV=Entri Round Reveals	E01=(1) 21 LED LightBAR E02=(2) 21 LED LightBARs F01=(1) 7 LED LightBAR F02=(2) 7 LED LightBARs	LED=Solid State Light Emitting Diodes	E1=Electronic (120-277V) 347=347V 480=480V ²	BL2=Type II w/Back Light Control BL3=Type III w/Back Light Control BL4=Type IV w/Back Light Control GZW=Wall Grazer Wide SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Options (Add as Suffix)			Accessories (Order Separately) ⁹		
ULG=Uplight Glow (For Uplight Only) PC=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) WG=Wire Guard TP=Tamper Resistant Hardware LCF=LightBAR Cover Plate Matches Housing Finish 7030=70 CRI / 3000K CCT ⁴ 7050=70 CRI / 5000K CCT ⁴ 8030=80 CRI / 3000K CCT ⁴ OSB=Occupancy Sensor with Back Box (Specify 120V or 277V) ⁵ BBB=Battery Pack with Back Box (Specify 120V or 277V) ⁶ CWB=Cold Weather Battery Pack with Back Box (Specify 120V or 277V) ⁷ DIM=0-10V Dimming Driver LWR-LW=LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ⁸ LWR-LN=LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ⁸			VA2001-XX=Thru-Way Conduit Box VA6172=Wire Guard VA6173=Tamper-Resistant Driver Bit MA1253=10kV Circuit Module Replacement		

- NOTES:**
- Standard 4000K CCT and greater than 70 CRI. LightBARs for downlight use only.
 - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Lag Delta and Three Phase Corner Grounded Delta systems)
 - Custom and RAL color matching available upon request. Consult your lighting representative at Eaton for more information.
 - Extended lead times apply.
 - Available with E02 or F02, only one bar on street side will be wired to sensor. Time delay factory setting 15-minutes. When ordered with PC option, both bars are connected to photocontrol as primary switching means. Standard sensor lens covers 8' mounting height, 360° coverage, maximum 48' diameter. Not available in all configurations or with BBB or CWB options.
 - Specify 120V or 277V. LED standard integral battery pack is rated for minimum operating temperature 32°F (0°C). Operates one bar for 90-minutes. Not available in all configurations or with OSB option. Consult factory.
 - Specify 120V or 277V. LED cold weather integral battery pack is rated for minimum operating temperature -4°F (-20°C). Operates one bar for 90-minutes. Not available in all configurations or with OSB option. Consult factory.
 - LumaWatt Pro wireless sensors are factory installed only, order with OSB backbox, requiring network components LWP-EM-1, LWP-GW-1, LWP-PoE9 in appropriate quantities. See www.eaton.com/lighting for LumaWatt Pro application information.
 - Replace XX with color suffix.

DESCRIPTION

Lanterra 9004-W1 (Up or Down) and 9004-W2 (Up and Down) are 4.25" O.D., line voltage cylinder fixtures with dimmable LED. The luminaire comes in various mountings, surface mount with integral driver in the housing, remote driver mount with round and square wall plates and square wall integral driver, all of which can be mounted over standard 4 inch j-box. The luminaire also comes with various beam optics and premium color tuning option. It also comes with various lens, louvers and colors or dichroic filters, which can combine up to two at once to create multiple lighting effects. The fixture may be used indoors or outdoors and carries IP66 rating.

SPECIFICATION FEATURES

Material

Housing, hood and mounting stem are precision-machined from corrosion resistant billet stock 6061-T6 aluminum.

Finish

Fixtures constructed from 6061-T6 aluminum are double protected by an ROHS complaint chemical film undercoating and polyester powder coat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

Hood

Hood is removable and accepts up to two internal accessories at once (lenses, louvers and filters) to achieve multiple lighting effects. Weep holes prevents water and mineral stains from collecting on the lens, even in the straight up position. The flush lens design reduces fixture length, minimizes debris collection and prevents water and mineral stains from collecting on the lens.

Gasket

Housing and hood are sealed with a high

temperature silicone O-ring gasket to prevent water intrusion.

Lens

Tempered glass lens, factory sealed with high temperature silicone O-ring to prevent water intrusion and breakage due to thermal shock.

Hardware

Stainless steel hardware is standard to provide maximum corrosion resistance.

Electrical

Long life LED system coupled with electronic driver (120-277V/50-60Hz) is compatible with TRIAC, ELV and 0-10V dimming to deliver optical performance. It will operate in -30°C to 50°C unless noted otherwise. The driver incorporates surge protection. The color tuning module is compatible with 0-10V dimming standard. LED's are available in 2700K, 3000K, 3500K at 90CRI and 97CRI, 4000K at 80CRI and 97CRI, 5000K at 80CRI and are industry leading high output with 87% lumen maintenance at 60,000hrs.

Compliance

Components are UL recognized and luminaires are cULus listed for 50°C ambient environments unless noted otherwise, wet location listed, and ROHS compliant. IP66 Rated.

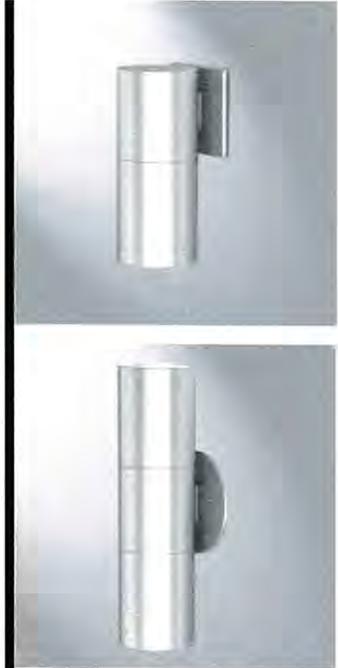
LED Color Tuning Module

Color tuning modules mix five colors of LED's to deliver tunable and dimmable white light at 90+ CRI and color consistency across a tuning range of 1650-4000K. Light can be dimmed from 100-1% while maintaining constant CCT. Compatible with 0-10V wired control. Offered in Bluetooth, remote controlled and warm dim color module.

Warranty

Lumiere warrants the Lanterra series of fixtures against defects in material and workmanship for five (5) years. Auxiliary equipment such as LED drivers carries the original manufacturer's warranty.

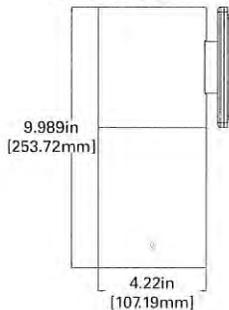
Catalog #		Type
Project		
Comments		Date
Prepared by		



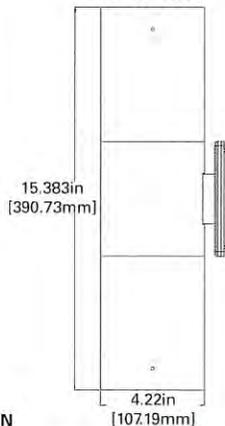
Lanterra 9004

LED
 INTERIOR / EXTERIOR
 CYLINDER FLOOD LIGHT
 CERTIFICATION DATA
 cULus - 1598
 Wet Location Listed - IP66
 LM79/LM80 Compliant
 ROHS Compliant

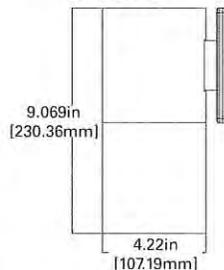
9003-W1-RW



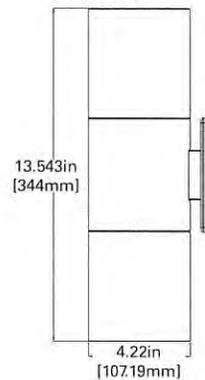
9003-W2-RW



9003-W1-FL



9003-W2-FL



ORDERING INFORMATION

SERIES	DIRECTION	HOOD	LED CCT & CRI	OPTIC 1	OPTIC 2 ¹	FINISH	LIGHT LEVEL	VOLTAGE	MOUNTING	OPTIONS
9004	W1	RW Standard-Recessed Lens with weep holes - Outdoor RI Recessed Lens with no weep holes - Indoor FL Flush lens hood	Standard CRI LED2790 - 2700K, 90 CRI LED 3090 - 3000K, 90 CRI LED 3590 - 3500K, 90 CRI LED 4080 - 4000K, 80 CRI LED 5080 - 5000K, 80 CRI Premium CRI LED 2797 - 2700K, 97 CRI LED 3097 - 3000K, 97 CRI LED 3597 - 3500K, 97 CRI LED 4097 - 4000K, 97 CRI Premium Color Tuning ** LEDCB - Bluetooth Color Module LEDCR ¹ - Remote Color Module LEDCW - Warm Dim Color Module	S Spot	S Spot	Standard Paint Finish BK Black BZ Bronze CS City Silver WT White	L1 Light Level 1 (10W)	Univ 120-277V	Surface Mount - Wall, Ceiling, Ground RSM Round Surface Mount-mounts directly to junction box Thermal Limitations (unless otherwise noted 50C) 9004-W1-xxx-L3-xxx-WRx (45C) 9004-W2-xxx-L3-xxx-WRx (35C) 9004-W2-xxx-LC2-xxx-WRx (40C) Remote Driver Housing WRR Remote Driver Housing - Round Wall Plate WRS Remote Driver Housing - Square Wall Plate Thermal Limitations (unless otherwise noted 50C) 9004-W1-xxx-L3-xxx-WRx (45C) 9004-W2-xxx-L3-xxx-WRx (35C) 9004-W2-xxx-LC2-xxx-WRx (40C) Integral Driver Mount WIS ^{3,4} Wall Integral Driver Plate Thermal Limitations (unless otherwise noted 45C) 9004-(W1,W2)-xx-L1-xx-WIS (50C)	SVPD2 ² Standalone integral sensor
	W2 ³			M Medium	M Medium		F Flood			
				W Wide	W Wide		L3 Light Level 3 (30W)			
					Flood		LC1 Light Level (12W)			
							LC2 Light Level (20W)			

Notes: 1. Order LC remote separately
 2. Only available for double head option (W2)
 3. 9004-W1 not available in L2, L3
 4. 9004-W2 not available in L2, L3, LC1 and LC2
 5. Only available for Single head, Up or down (W1) with RSM only
 6. W2 doubles input wattage listed
 7. Only available for LEDCR
 ** Available Q1, 2018

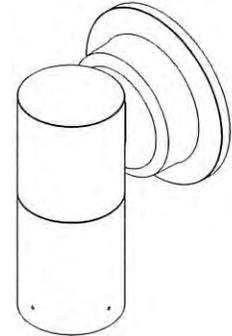
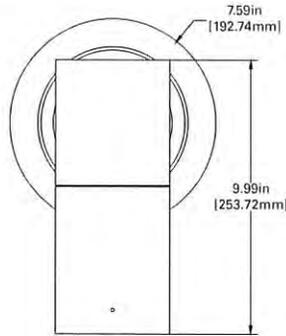
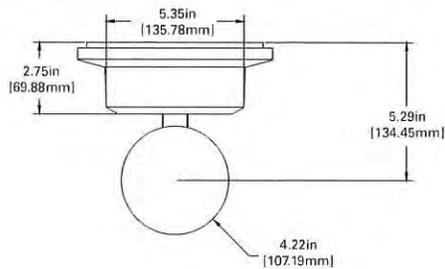
Specifications and dimensions subject to change without notice.

		ACCESSORIES			OPTICS	
LCTL1R2RT452L-PK	Light Commissioning Tool (LCT)	Filters	Lens	Louwer	LLR-S-3-4	15° Spot
ISHH01LUM	Programming Remote for sensor	F71-4	LSL-4	LVR-4	LLR-M-3-4	25° Medium
ISHH02LUM	Personal Control Remote for sensor	F72-4	DIF-4		LLR-F-3-4	36° Flood
		F73-4	OSL-4		LLR-W-3-4	60° Wide Flood
		F74-4			LLR-K-3-4	Spot, Medium, Flood, Wide Flood Optic Kit
		F75-4				
		F76-4			LLR-S-LC-3-4	20° Spot - Color tuning optic
		F77-4			LLR-M-LC-3-4	32° Medium - Color tuning optic
		F78-4			LLR-F-LC-3-4	42° Flood - Color tuning optic
		F79-4			LLR-W-LC-3-4	56° Wide Flood - color tuning optic
		F80-4			LR-K-LC-3-4	Spot, Medium, Flood, Wide Flood Color tuning optic Kit
		F22-4				
		F33-4				
		F44-4				
		F55-4				
		F66-4				

MOUNTINGS

ROUND SURFACE MOUNT (RSM)

RSM-W1 (Up or down)



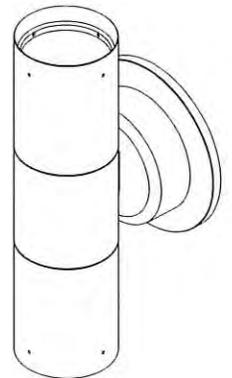
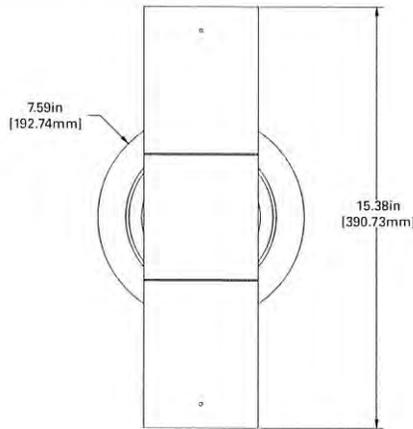
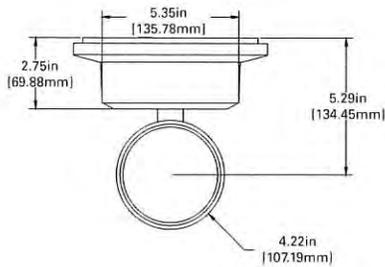
TOP VIEW

FRONT VIEW

ISO VIEW

ROUND SURFACE MOUNT (RSM)

RSM-W2 (Up and down)



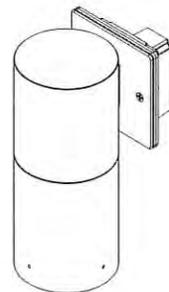
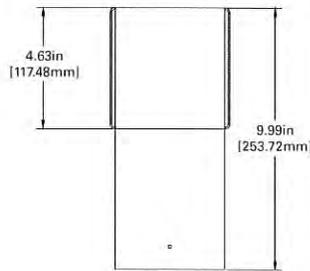
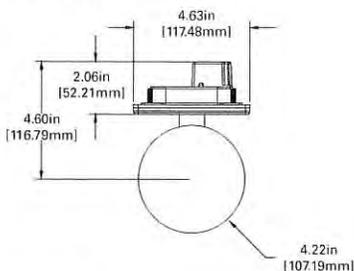
TOP VIEW

FRONT VIEW

ISO VIEW

WALL INTEGRAL DRIVER PLATE (WIS)

WIS-W1 (Up or down)



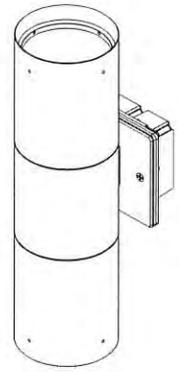
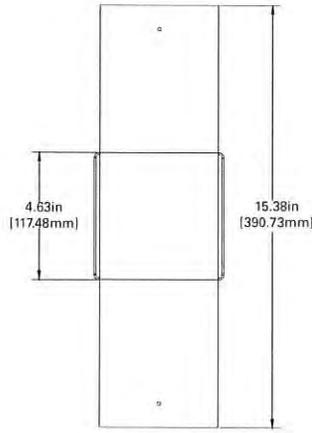
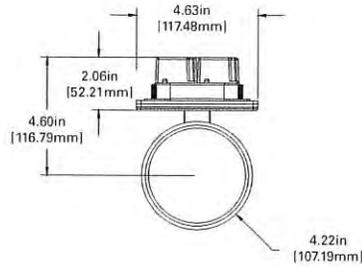
TOP VIEW

FRONT VIEW

ISO VIEW

WALL INTEGRAL DRIVER PLATE (WIS)

WIS-W2 (Up and down)



TOP VIEW

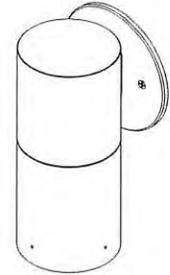
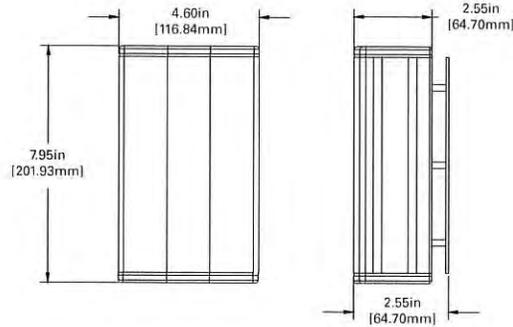
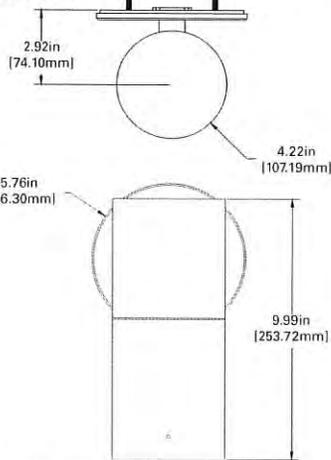
FRONT VIEW

ISO VIEW

REMOTE DRIVER HOUSING ROUND WALL (WRR)

WRR-W1 (Up or down), as shown
WRS-W1 (Square option also available)

TOP VIEW



FRONT VIEW

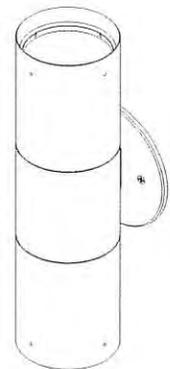
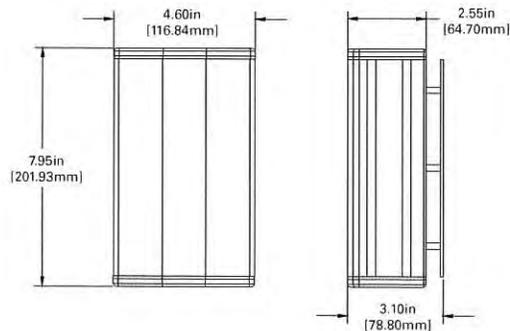
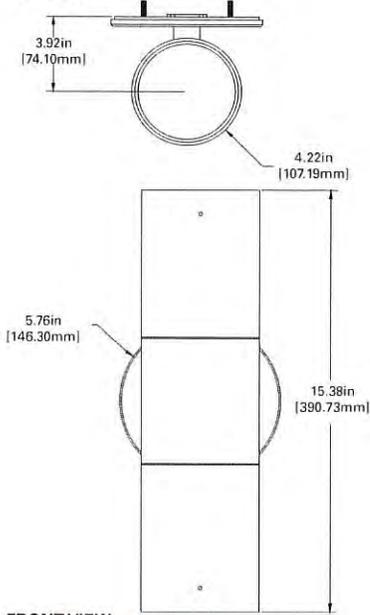
REMOTE BOX

ISO VIEW

REMOTE DRIVER HOUSING ROUND WALL (WRR)

WRR-W2 (Up and down)
WRS-W2 (Square option also available)

TOP VIEW



FRONT VIEW

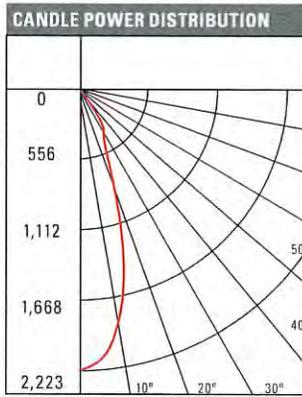
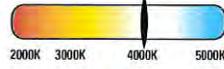
REMOTE BOX

ISO VIEW

PHOTOMETRICS

Test Number	P29498
Lumcat	9004-[W1]-X-FL-LED4080-F-BK-L3-UNV
Lumens	2871 Lm
Watts	28.5 W
LPW	100.7 Lm/W
CCT	4000K
SC (0/90/45)	0.58 / 0.58 / 0.56
Beam Angle	35.1°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

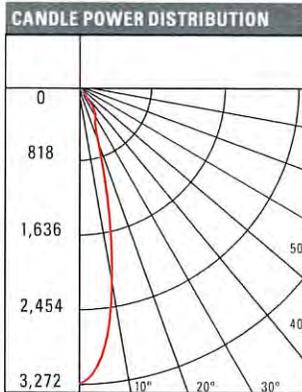
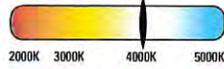


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	1595.8	1	1	
4'	398.9	2.2	2.2	
6'	177.3	3.4	3.4	
8'	99.7	4.6	4.6	
10'	63.8	5.8	5.8	
15'	28.4	8.6	8.6	
20'	16	11.6	11.6	
30'	7.1	17.4	17.4	
40'	4	23.2	23.2	

CANDELA TABLE	
Angle	0-deg
0	6383
5	6141
10	5345
15	4027
20	2423
30	1153
40	178
50	6
60	4
70	1
80	0
90	0

Test Number	29497
Lumcat	9004-[W1]-X-FL-LED4080-M-BK-L3-UNV
Lumens	2826 Lm
Watts	28.6 W
LPW	98.8 Lm/W
CCT	4000K
SC (0/90/45)	0.43 / 0.43 / 0.44
Beam Angle	25.5°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

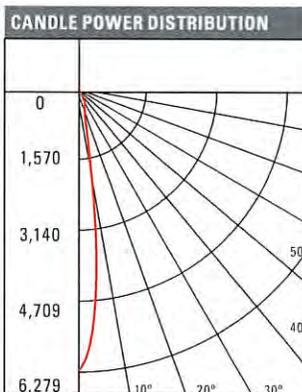
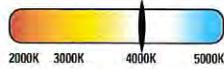


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	2311.8	0.8	0.8	
4'	577.9	1.6	1.6	
6'	256.9	2.4	2.4	
8'	144.5	3.4	3.4	
10'	92.5	4.2	4.2	
15'	41.1	6.4	6.4	
20'	23.1	8.6	8.6	
30'	10.3	12.8	12.8	
40'	5.8	17.2	17.2	

CANDELA TABLE	
Angle	0-deg
0	9247
5	8453
10	6140
15	3506
20	1860
30	1098
40	170
50	13
60	4
70	1
80	0
90	0

Test Number	P29496
Lumcat	9004-[W1]-X-FL-LED4080-S-BK-L3-UNV
Lumens	2801 Lm
Watts	28.6 W
LPW	97.9 Lm/W
CCT	4000K
SC (0/90/45)	0.27 / 0.27 / 0.27
Beam Angle	15.9°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

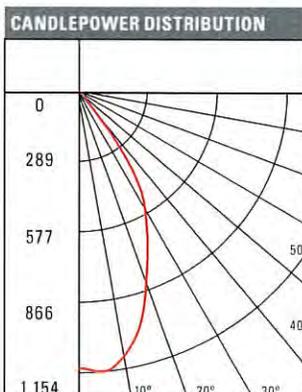
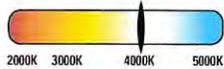


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	4397.5	0.4	0.4	
4'	1099.4	1	1	
6'	488.6	1.6	1.6	
8'	274.8	2	2	
10'	175.9	2.6	2.6	
15'	78.2	4	4	
20'	44	5.4	5.4	
30'	19.5	8.2	8.2	
40'	11	10.8	10.8	

CANDELA TABLE	
Angle	0-deg
0	17590
5	13640
10	5616
15	2329
20	1555
30	1057
40	161
50	11
60	4
70	1
80	0
90	0

Test Number	P29499
Lumcat	9004-[W1]-X-FL-LED4080-W-BK-L3-UNV
Lumens	2790 Lm
Watts	28.5 W
LPW	97.9 Lm/W
CCT	4000K
SC (0/90/45)	0.86 / 0.86 / 0.91
Beam Angle	58.5°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4



CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	796.9	1.6	1.6	
4'	199.2	3.4	3.4	
6'	88.5	5	5	
8'	49.8	6.8	6.8	
10'	31.9	8.4	8.4	
15'	14.2	12.8	12.8	
20'	8	17	17	
30'	3.5	25.6	25.6	
40'	2	34.2	34.2	

CANDELA TABLE	
Angle	0-deg
0	3173
5	3220
10	3082
15	2784
20	2321
30	1560
40	366
50	95
60	25
70	3
80	0
90	0

CCT/CRI	LED2790	LED3090	LED3590	LED4080	LED5080	LED2797	LED3097	LED3597	LED4097
FC Multiplier	0.754	0.798	0.808	1.000	1.039	0.699	0.706	0.801	0.793

Light Level	L1	L2	L3
FC Multiplier	0.418	0.772	1.000

Note: Photometric tables show lumen output for W1 only. For W2 (Up and Down) option, uplight and downlight both match lumen output as W1.

DESCRIPTION

Recessed 6-inch LED shallow lens downlight is available in various distributions, lumen and CRI/CCT options. Suitable for shallow commercial construction and can be used for both new or renovation work. Optional non-conductive polymer "Dead Front" trim available. Use for general area lighting where high efficiency and visual comfort are required.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

MECHANICAL

Frame

Boat shaped galvanized steel frame with adjustable plaster lip accommodates ceilings up to 1/2" - 2" thick. May be used for new construction or remodeling installations. Provided with (2) remodel clips to secure frame when installed from below the ceiling.

Mounting Brackets

Bar hanger receivers adjusts 2" vertically from above the ceiling or thru the aperture. Use with No Fuss™ bar hangers or with 1/2" EMT. Removable to facilitate installation from below the ceiling.

No Fuss™ Bar Hangers

Captive preinstalled bar hanger locks to tee grid with a screwdriver or pliers. Centering mechanism allows consistent positioning of fixtures.

OPTICAL

LED Module

Proximity phosphors over chip on board LEDs provide a uniform source with high efficiency and no pixilation. Available in 80 or 90 CRI minimum, accuracy within 3 SDCM provides color uniformity. See ordering information for available CRI / CCT options. Passive thermal management achieves L70 at 50,000 hours in non IC applications. Integral diffuse lens provides visual shielding. Integral connector allows quick connection to housing flex.

Beam Forming Optics

Optional beam forming optics replace diffuse lens and provide narrow flood or flood distribution for long throws of light.

Reflector

Standard one piece parabolic aluminum reflector combines high optical efficiency with visual comfort. Non-conductive polymer "Dead Front" trim also available. Attaches to LED module with (3) speed clamps minimizing light leaks to lens. Self-flanged standard with an optional white painted flange.

Trim Retention

Reflectors are retained with two torsion springs holding the flange tightly to the finished ceiling surface.

ELECTRICAL

Junction Box

(6) 1/2" and (2) 3/4" trade size pry outs positioned to allow straight conduit runs. Listed for (12) #12 AWG (six in, six out) 90°C conductors and feed thru branch wiring.

Driver

Integral UNV 120 - 277V 50/60 Hz constant current driver provides noise free operation. For 347V input use Halo transformer H347 or H347200. Continuous, flicker-free dimming from 100% to 1% with 0 -10V analog control. Optional low voltage DC driver for use with Eaton's distributed low voltage power system.

Emergency Option

Provides 90 minutes of standby lighting meeting most life safety codes for egress lighting. Available with remote charge indicator and test switch.

Compliance

- cULus listed for wet location
- IP66 Ingress Protection Rated
- Non-IC rated for 2000 and 3000 Lumen fixtures. Certified for wet locations, insulation must be kept 3" from top and sides.
- IC rated for 1000 and 1500 Lumen fixtures.
- Airtight per ASTM-E283.
- Optional City of Chicago environmental air (CCEA) marking for plenum applications.
- EMI/RFI emissions per FCC 47CFR Part 18 non-consumer limits.
- Contains no mercury or lead and RoHS compliant.
- Photometric testing in accordance with IES LM-79-08.
- Lumen maintenance projections in accordance with IES LM-80-08 and TM-21-11.
- 80 CRI:
Can be used to comply with California Title 24 Non-Residential Lighting Controls requirements as a LED Luminaire.
- ENERGY STAR® listed for commercial applications, reference database for current listings.

WARRANTY

Limited 5-year warranty, see website for details.
www.eaton.com/lighting/legal



PD610
PD615
PD620
PD630

PDM6B

64V
64VDFW

1000, 1500,
2000 & 3000
Lumen Series

LED
6-Inch Aperture
Shallow Lens
Downlight



THD: ≤ 20%
PF: ≥ 0.90
T Ambient -30 - +40°C
Sound Rating ≤ 20 dba

Lumens	1000 Series	
Input Voltage	120V	277V
Input Current	0.083 A	0.041 A
Input Power	9.9 W	10.8 W
Efficacy	125 LPW	125 LPW
Inrush Current	0.53 A	1.3 A

Lumens	1500 Series	
Input Voltage	120V	277V
Input Current	0.114 A	0.053 A
Input Power	13.7 W	14.3 W
Efficacy	125 LPW	125 LPW
Inrush Current	0.63 A	1.7 A

Lumens	2000 Series	
Input Voltage	120V	277V
Input Current	0.166 A	0.079 A
Input Power	19.9 W	20.5 W
Efficacy	120 LPW	120 LPW
Inrush Current	0.59 A	2.7 A

Lumens	3000 Series	
Input Voltage	120V	277V
Input Current	0.232 A	0.103 A
Input Power	27.7 W	27.5 W
Efficacy	115 LPW	115 LPW
Inrush Current	0.73 A	2.9 A

ORDERING INFORMATION

SAMPLE NUMBER: PD610D010BREM-PDM6B827-64VC

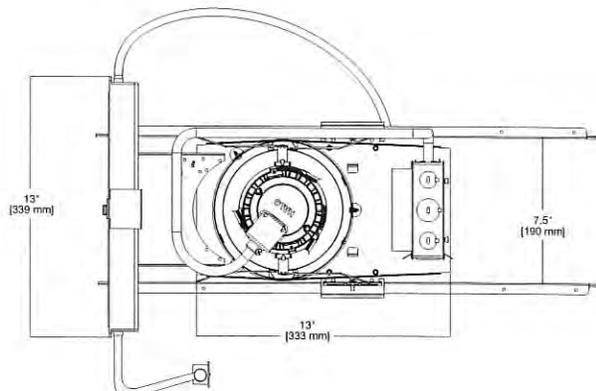
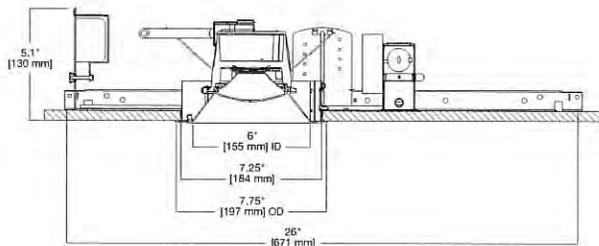
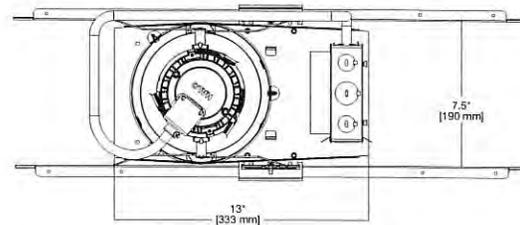
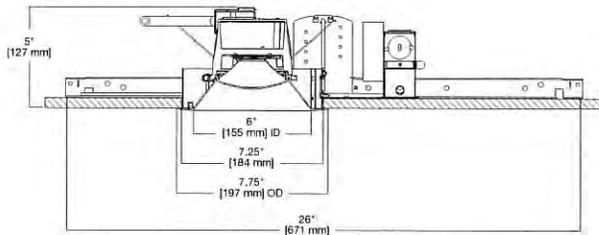
A complete luminaire consists of a housing, LED module and reflector, order separately.

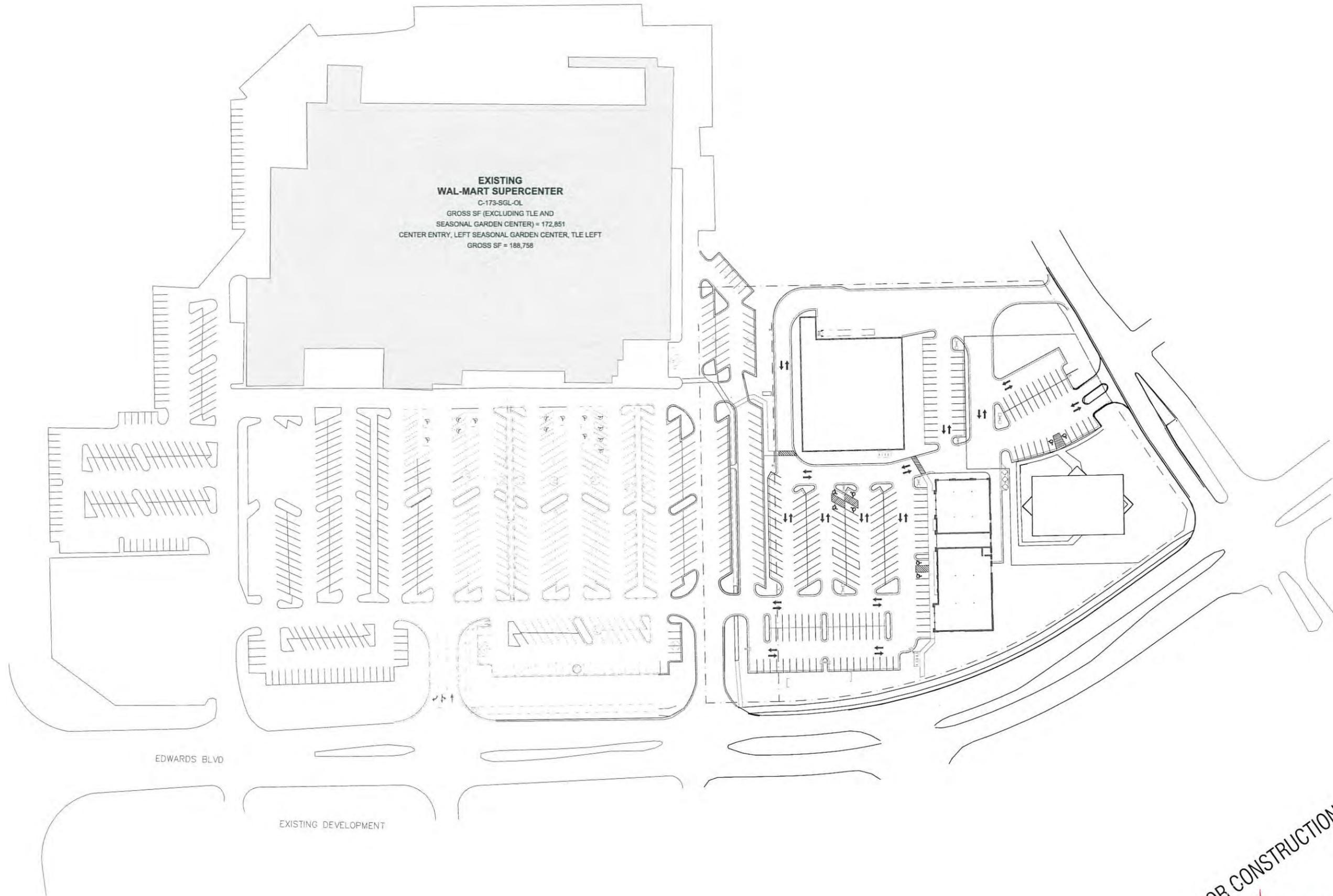
Housing	Lumens	Driver	Options	LED Module	CRI/CCT
PD6 = 6" aperture LED downlight PD6CP = 6" aperture LED downlight, CCEA listed for City of Chicago plenum requirements	10 = 1,000 lumens (nominal) 15 = 1,500 lumens (nominal) 20 = 2,000 lumens (nominal) 30 = 3,000 lumens (nominal)	D010B = 120-277V 50/60Hz, 0-10V dimming DLV = Low voltage dimming driver	REM = Emergency operation with remote indicator and test switch (not available with PD6CP housing) ^{1,2} IEMV7 = 7W low voltage emergency module with integral test switch ^{1,2} IEMV14 = 14W low voltage emergency module with integral test switch ^{1,2} LWTPD1 = Factory installed LumaWatt Pro Wireless Sensor Kit (0-10V only) SWPD1 = Factory installed WaveLinX tilemount daylight sensor (includes control module, sensor, cable and tile mount)	PDM6B = Downlight LED module for PD6 housing, provides 1,000, 1,500, 2,000, or 3,000 lumens (nominal) depending on connected housing type	827 = 80 CRI, 2700K CCT 927 = 90 CRI, 2700K CCT 830 = 80 CRI, 3000K CCT 930 = 90 CRI, 3000K CCT 835 = 80 CRI, 3500K CCT 935 = 90 CRI, 3500K CCT 840 = 80 CRI, 4000K CCT 940 = 90 CRI, 4000K CCT

Reflector	Finish Option	Flange Option	Accessories
64V = 6" shallow parabolic reflector 64VDFW = 6" non-conductive polymer shallow parabolic reflector (white finish only)	C = Specular clear G = Specular gold H = Semi-specular clear W = White (white flange)	Blank = Polished flange standard with C, G, & H reflector finishes Blank = White flange standard with W WF = White flange option available with C, G, & H reflector finishes	HB128APK = L channel hanger bar, 26", 'No-Fuss', pair (replacement) RMB22 = 22" long wood joist mounting bars, pair BFR56NFL = Beam forming reflector kit, narrow flood distribution BFR56FL = Beam forming reflector kit, flood distribution BFR56MH = Media holder, accepts one 3.45" lens L345SF = 3.45" diameter soft focus lens H347 = Step down transformer for 347V input, 75VA max H347200 = Step down transformer for 347V input, 200VA max PORLWTPD1 = LumaWatt Pro Wireless Sensor Kit (0-10V only) TMSWPD1 = WaveLinX tilemount daylight sensor (includes control module, sensor, cable and tile mount)

Notes: 1. Not available with CP version. 2. UL qualified for US only (not Canada).

DIMENSIONS





**EXISTING
WAL-MART SUPERCENTER**
C-173-SGL-01
GROSS SF (EXCLUDING TLE AND
SEASONAL GARDEN CENTER) = 172,851
CENTER ENTRY, LEFT SEASONAL GARDEN CENTER, TLE LEFT
GROSS SF = 188,758

EDWARDS BLVD

EXISTING DEVELOPMENT

1 OVERALL COMMERCIAL SITE
1"=60'-0"



NOT FOR CONSTRUCTION



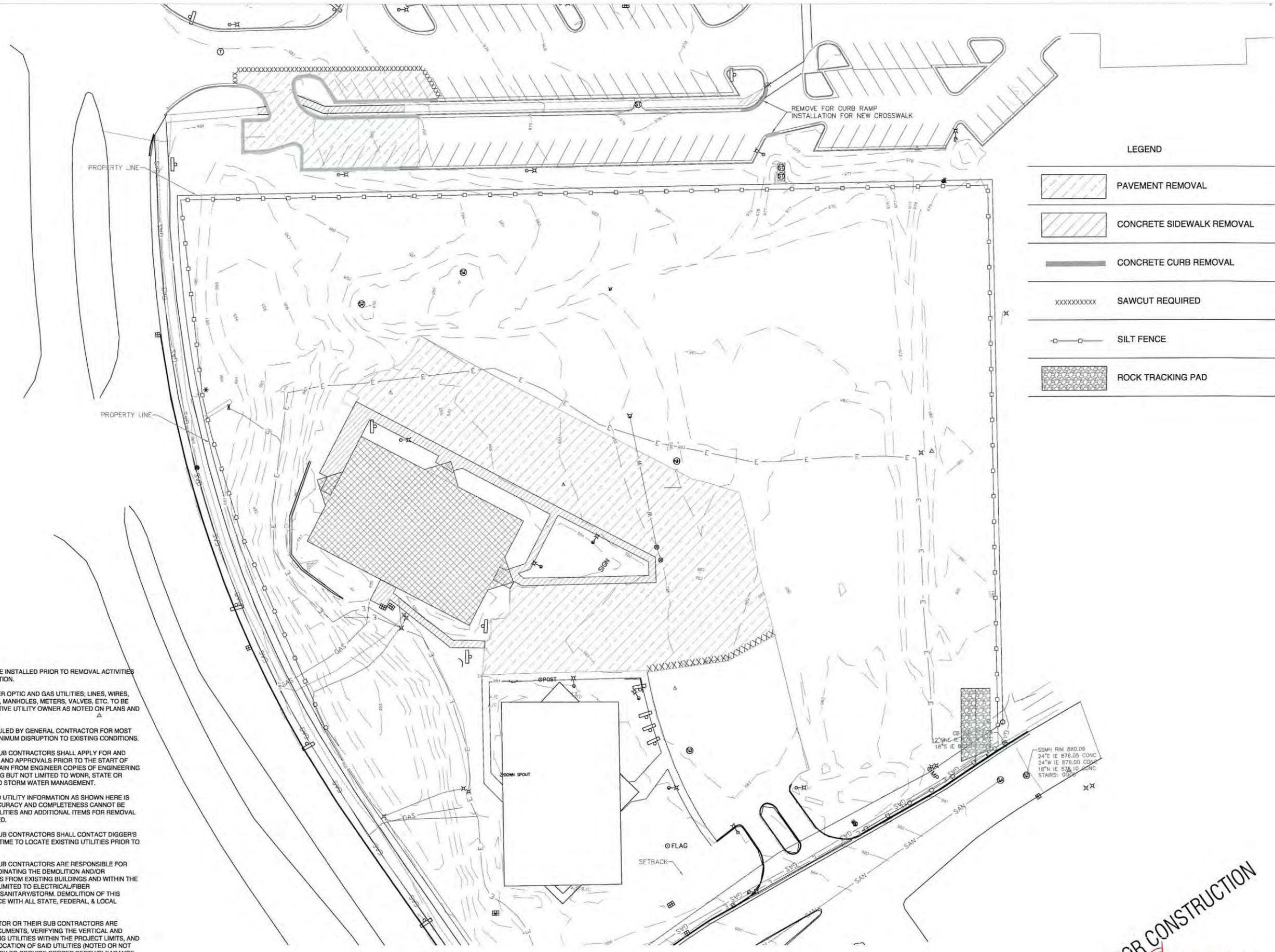
C-1

**CITY OF LAKE GENEVA
LAND USE PLAN MAP**

**LAKE GENEVA
RETAIL DEVELOPMENT**
LAKE GENEVA, WISCONSIN

10/27/17
PLAN COMMISSION

Sketchworks
architecture llc
7785 ELAMWOOD AVENUE, SUITE 208 MIDDLETON WISCONSIN 53522



REMOVE FOR CURB RAMP
INSTALLATION FOR NEW CROSSWALK

PROPERTY LINE

PROPERTY LINE

LEGEND

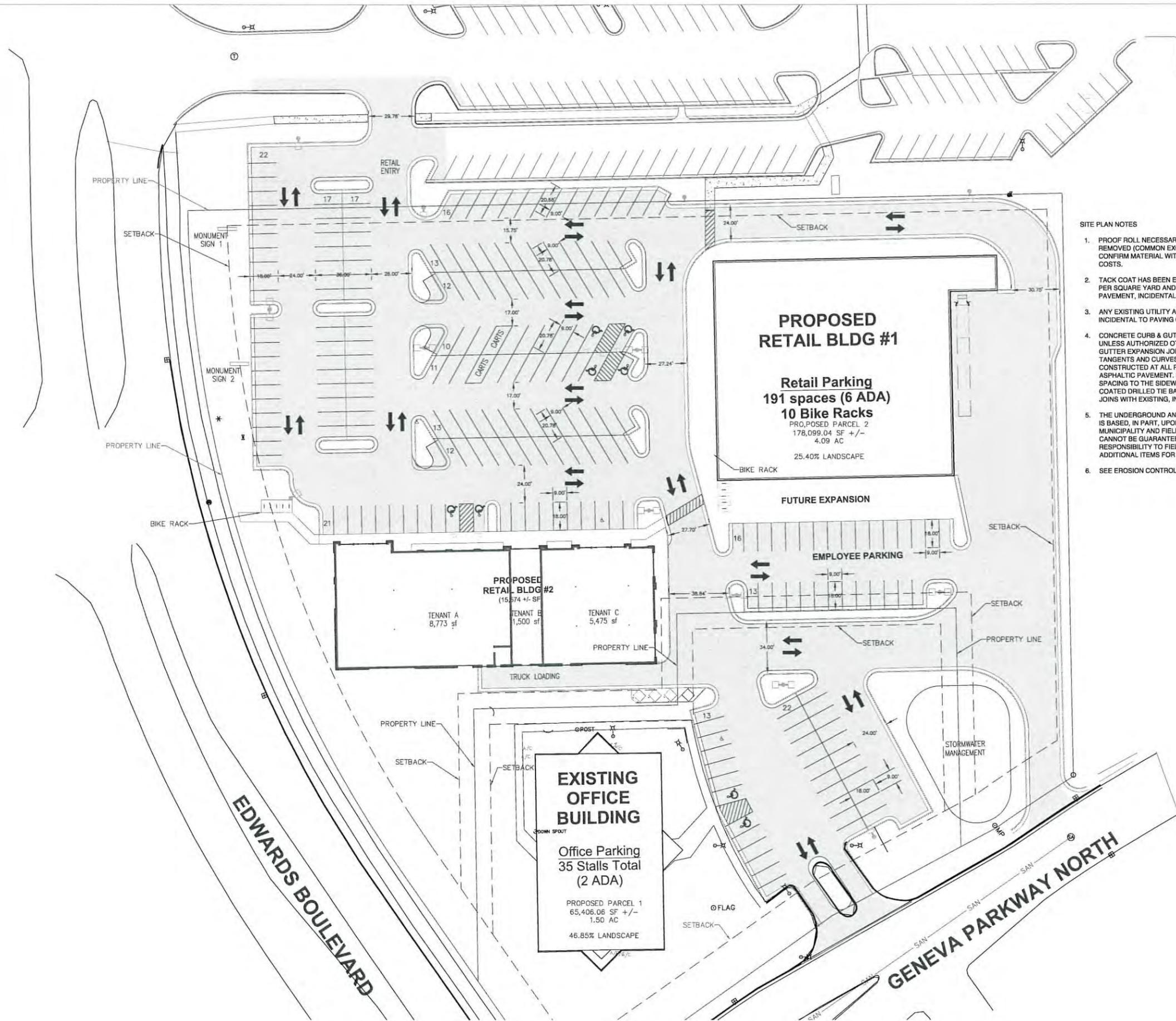
	PAVEMENT REMOVAL
	CONCRETE SIDEWALK REMOVAL
	CONCRETE CURB REMOVAL
	SAWCUT REQUIRED
	SILT FENCE
	ROCK TRACKING PAD

- DEMOLITION NOTES**
1. EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO REMOVAL ACTIVITIES TO ENSURE ENVIRONMENTAL PROTECTION.
 2. ELECTRIC, TELEPHONE, CABLE, FIBER OPTIC AND GAS UTILITIES; LINES, WIRES, SERVICES, POLES, PEDESTALS, BOXES, MANHOLES, METERS, VALVES, ETC. TO BE REMOVED OR RELOCATED BY RESPECTIVE UTILITY OWNER AS NOTED ON PLANS AND AS DIRECTED BY ENGINEER.
 3. REMOVAL ACTIVITIES TO BE SCHEDULED BY GENERAL CONTRACTOR FOR MOST EFFICIENT SCHEDULE & TO ENSURE MINIMUM DISRUPTION TO EXISTING CONDITIONS.
 4. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDNR, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.
 5. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HERE IS BELIEVED TO BE RELIABLE BUT ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO. UTILITIES AND ADDITIONAL ITEMS FOR REMOVAL TO BE DETERMINED IN FIELD AS NEEDED.
 6. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
 7. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND/OR RELOCATION OF ALL EXISTING UTILITIES FROM EXISTING BUILDINGS AND WITHIN THE PROJECT LIMITS, INCLUDING BUT NOT LIMITED TO ELECTRICAL/FIBER OPTIC/TELEPHONE/CABLE/GAS/WATER/SANITARY/STORM. DEMOLITION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, & LOCAL REGULATIONS.
 8. FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.
 9. CONCRETE SIDEWALK AND CURB & GUTTER TO BE REMOVED TO NEAREST JOINT OR AS DIRECTED BY THE ENGINEER. MINIMUM LENGTH OF SIDEWALK SLAB NOT TO BE LESS THAN 3 FEET, OR HALF THE WIDTH, WHICHEVER IS GREATER. REMOVING SIDEWALK AND CURB & GUTTER TO INCLUDE SAW-CUTTING FULL DEPTH, AS NEEDED, INCIDENTAL TO ITEM.

1 DEMOLITION PLAN
1"=20'-0"



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SITE PLAN NOTES

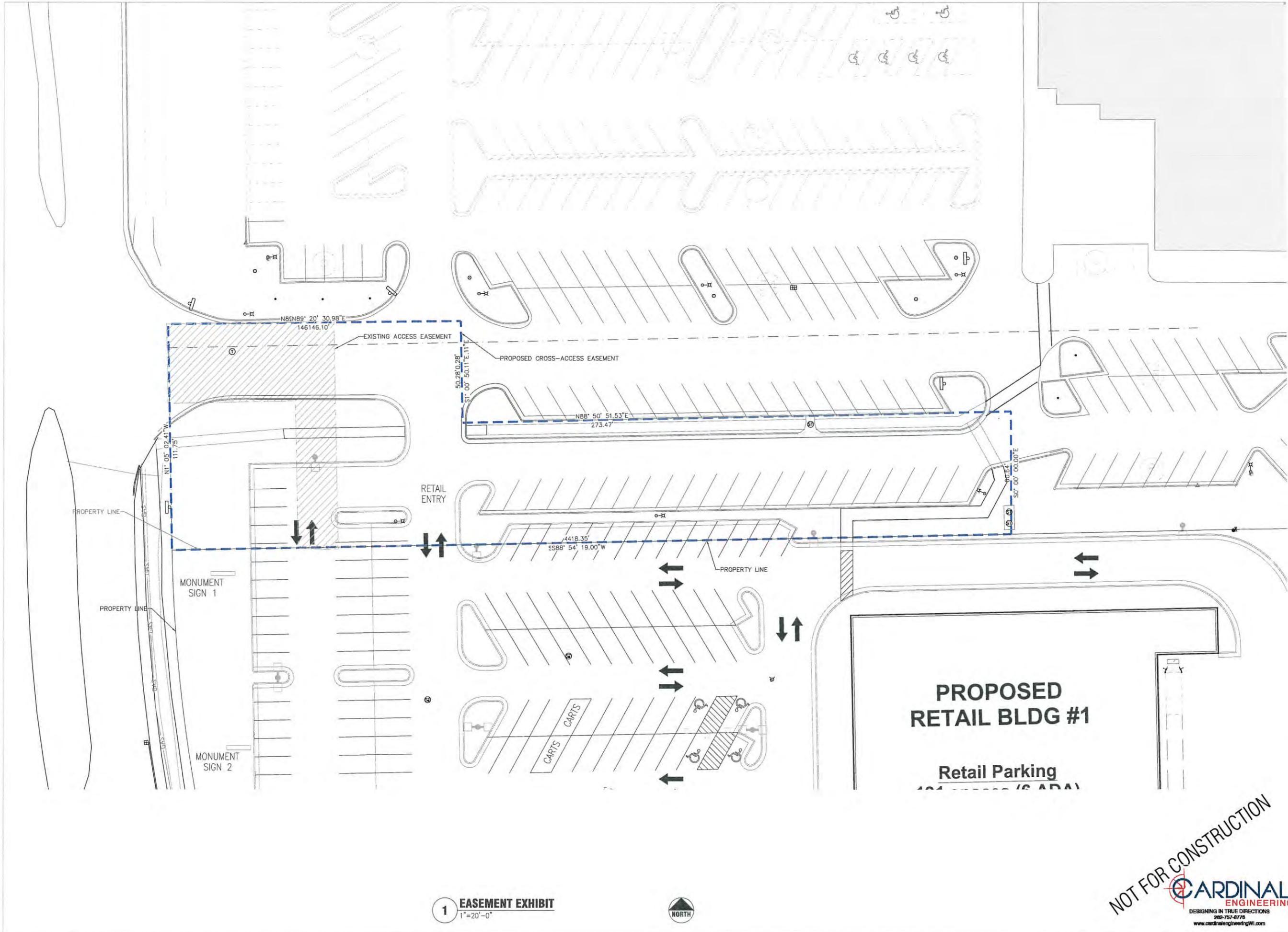
1. PROOF ROLL NECESSARY PRIOR TO PAVING. POOR MATERIAL SHALL BE REMOVED (COMMON EXCAVATION) AND REPLACED WITH SUITABLE MATERIAL. CONFIRM MATERIAL WITH ENGINEER. PROOF ROLL INCIDENTAL TO PAVING COSTS.
2. TACK COAT HAS BEEN ESTIMATED AT AN APPLICATION RATE OF 0.025 GALLONS PER SQUARE YARD AND WILL BE PLACED BETWEEN LAYERS OF ASPHALTIC PAVEMENT, INCIDENTAL TO PAVING COSTS.
3. ANY EXISTING UTILITY ADJUSTMENTS (WATER VALVE, MANHOLE, ETC.) ARE INCIDENTAL TO PAVING COSTS UNLESS NOTED OTHERWISE.
4. CONCRETE CURB & GUTTER CONTROL JOINT SPACING SHALL BE 10 FEET UNLESS AUTHORIZED OTHERWISE BY THE ENGINEER. CONCRETE CURB & GUTTER EXPANSION JOINT SPACING SHALL BE 300 FEET MAXIMUM ALONG TANGENTS AND CURVES. 1/2-INCH FELT EXPANSION JOINTS ARE TO BE CONSTRUCTED AT ALL RADIUS POINTS IN CURB & GUTTER ADJACENT TO ASPHALTIC PAVEMENT. MATCH CURB & GUTTER PERPENDICULAR JOINT SPACING TO THE SIDEWALK. JOINT SPACING WHERE APPLICABLE. PROVIDE COATED DRILLED TIE BARS AT EACH LOCATION WHERE NEW CURB & GUTTER JOINS WITH EXISTING, INCIDENTAL TO CURB & GUTTER COSTS.
5. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY THE LOCAL MUNICIPALITY AND FIELD LOCATES. ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO. IT IS CONTRACTORS RESPONSIBILITY TO FIELD VERIFY UTILITY INFORMATION. UTILITIES AND ADDITIONAL ITEMS FOR REMOVAL TO BE DETERMINED IN FIELD AS NEEDED.
6. SEE EROSION CONTROL NOTES SHEET FOR SEEDING RESTORATION NOTES.

1 SITE PLAN
1"=20'-0"



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1 EASEMENT EXHIBIT
 1"=20'-0"



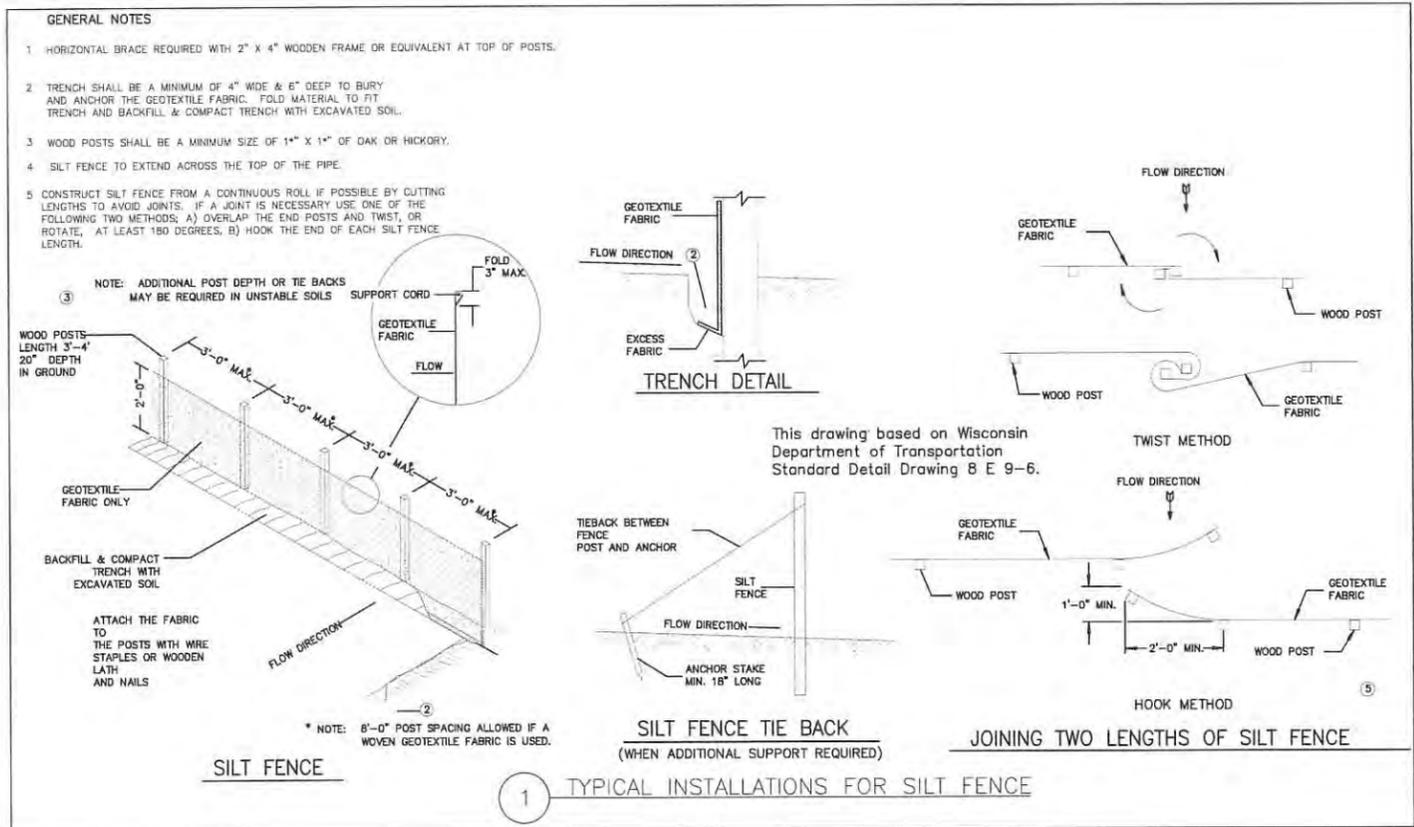
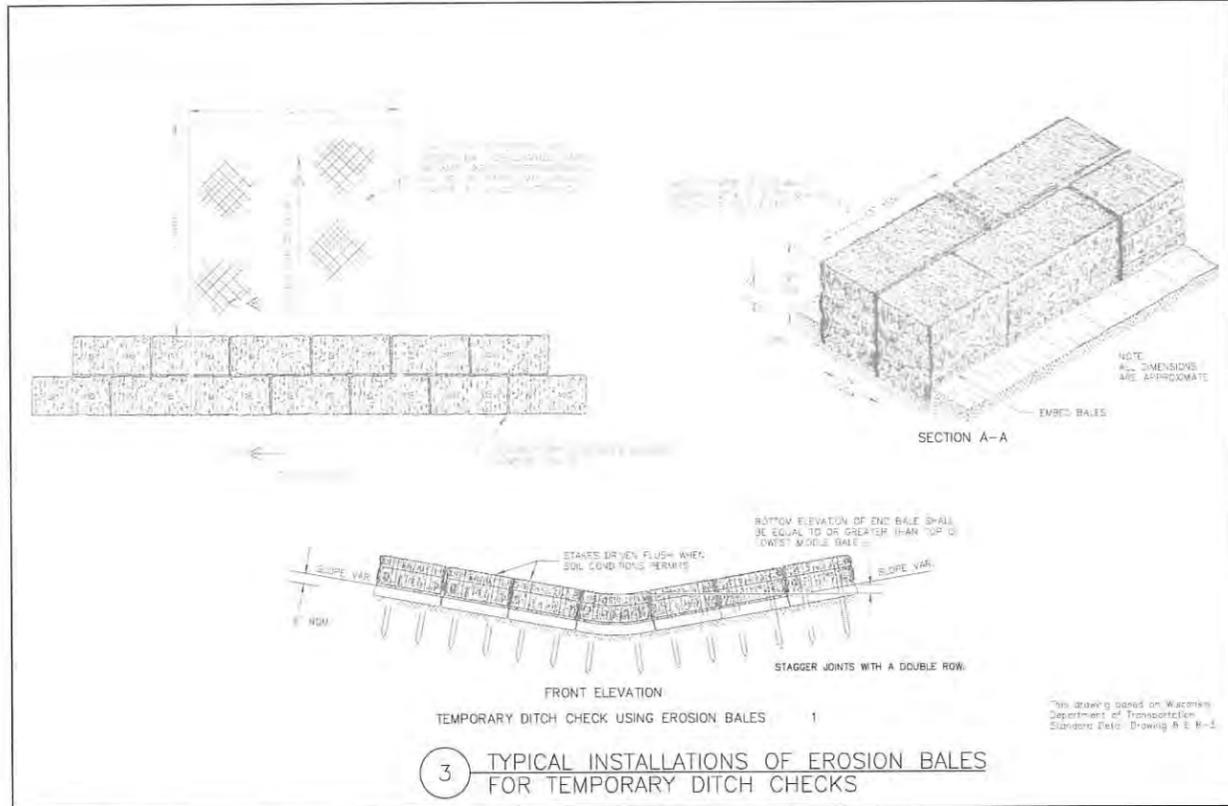
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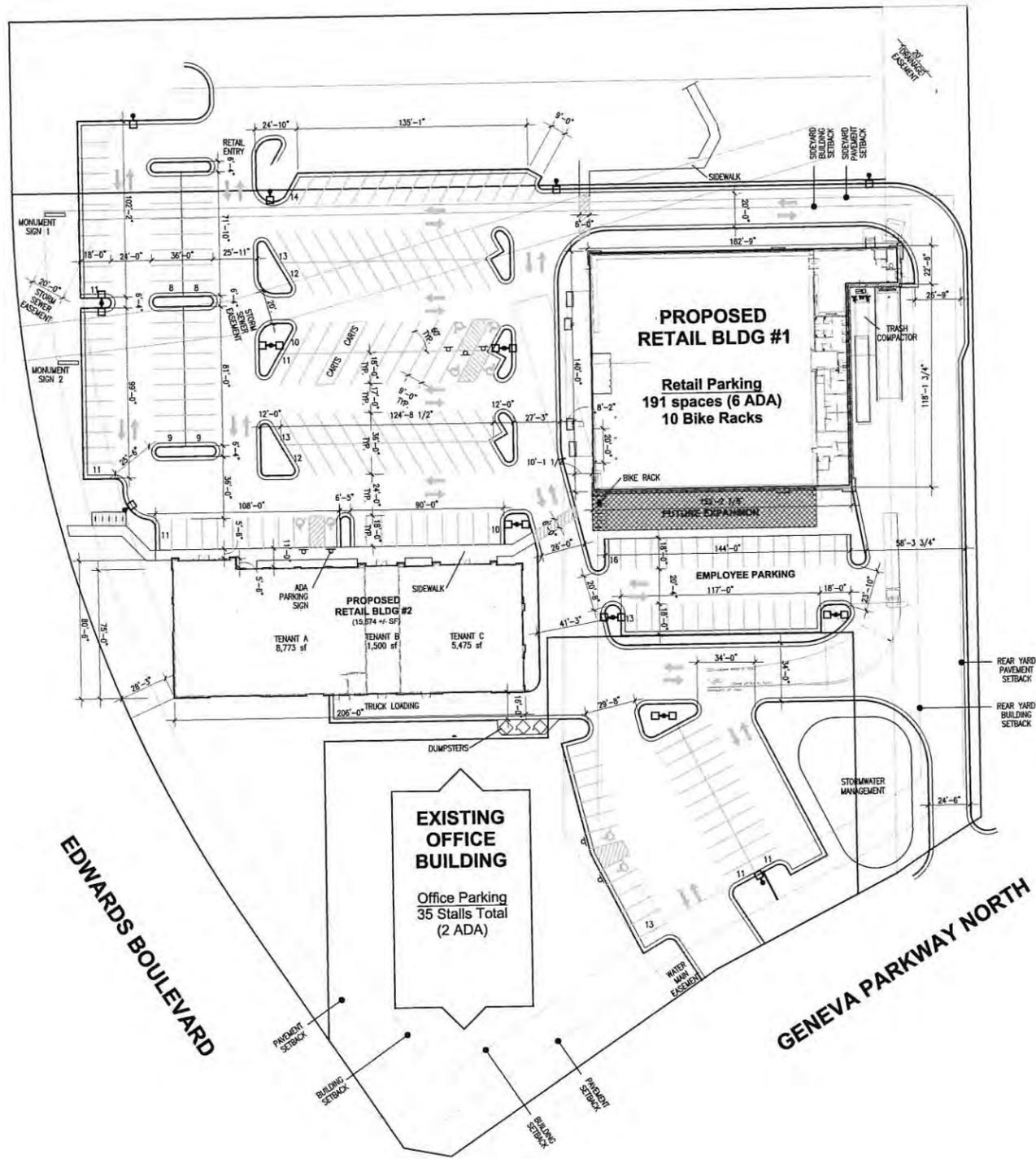
CONSTRUCTION NOTES

1. THE LANDOWNER OR THEIR AUTHORIZED AGENT SHALL KEEP APPROVED PLAN, WORK PERMIT, AND EROSION CONTROL INSPECTION RECORDS ON-SITE AT ALL TIMES UNTIL THE SITE IS STABILIZED AND NOTICE OF TERMINATION FILED.
2. CHANGES TO THIS PLAN MUST BE APPROVED BY WALWORTH COUNTY, WORK, AND ENGINEER, PRIOR TO IMPLEMENTATION.
3. AT A MINIMUM, CONSTRUCTION SITE EROSION CONTROL INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND WITHIN 24 HOURS OF AFTER A PRECIPITATION EVENT OF 0.5 INCH OR GREATER. A PRECIPITATION EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION IN ANY CONTIGUOUS 24-HOUR PERIOD. CONTINUE THROUGH STABILIZATION.
4. MAINTAIN INSPECTION RECORDS WITH FORM 3400-017, CURRENT REVISION, OR DOCUMENT WITH EQUIVALENT INFORMATION AS PER NR 216.48(4)(a). RECORDS SHALL BE KEPT ON-SITE AND AVAILABLE UPON REQUEST.
5. ALL EQUIPMENT USED FOR THE PROJECT SHALL BE DECONTAMINATED FOR INVASIVE AND EXOTIC WEEDS AND SPECIES PRIOR TO AND AFTER USE. FOLLOW MOST RECENT DEPARTMENT APPROVED WASHING AND DECONTAMINATION PROTOCOLS AND DEPARTMENT APPROVED BEST MANAGEMENT PRACTICES.
6. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. IN THE EVENT DEWATERING BECOMES NECESSARY, NOTIFY ENGINEER IMMEDIATELY, AND OBTAIN APPROPRIATE PERMITS PRIOR TO CONTINUING WORK. REMAIN INACTIVE FOR 7 DAYS OR LONGER.
8. IMMEDIATELY STABILIZE STOCKPILES AND SURROUNDING STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERMETER CONTROL. STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
9. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER, BETWEEN SEPTEMBER 15 AND OCTOBER 15; STABILIZE WITH MULCH, TACKLER, AND A PERENNIAL SEED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
10. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE. MONITOR FOR ONE YEAR AFTER PROJECT COMPLETION. DURING MONITORING PERIOD, THE GRADING SITE SHALL BE INSPECTED REGULARLY, AND ANY AREAS REQUIRING ADDITIONAL STABILIZATION OR REVEGETATION SHALL BE ADDRESSED TO ENSURE FINAL STABILIZATION.
11. EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE AREAS THEY SERVE HAVE ESTABLISHED VEGETATIVE COVER, OR 70% GROWTH.
12. ONE YEAR AFTER PROJECT COMPLETION, A REPORT AND PHOTOGRAPHS SHALL BE SUBMITTED TO THE DEPARTMENT TO DEMONSTRATE THAT THE GRADING SITE IS STABILIZED. IF AFTER ONE YEAR, FINAL STABILIZATION HAS NOT BEEN ACHIEVED OR MAINTAINED, THE DEPARTMENT MAY REQUIRE THE LANDOWNER TO SUBMIT A REVISED VEGETATION PLAN TO THE DEPARTMENT AND IMPLEMENT THE REVISED PLAN.
13. SWEEP/LEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE CITY OF LAKE GENEVA. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
14. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO RECEIVING CHANNEL.
15. MAKE PROVISIONS FOR WATERING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
16. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, MATS, SWALES, ETC.), OR AS DIRECTED BY THE ENGINEER, WALWORTH COUNTY, OR WORK.
17. THIS PLAN INCLUDES SEQUENCE OF EROSION CONTROL SHALL BE FOLLOWED:
18. INSTALL PERIMETER EROSION CONTROL AND ROCK TRACKING PAD CONSTRUCTION GRADING STAGED TO MINIMIZE EXPOSED AREA. REPAIR OF BREACHES AND GAPS IN SILT FENCE IMMEDIATELY. TEMPORARY AND FINAL STABILIZATION AND EROSION MATTING.
19. ALL GRADES SHOWN ARE TO CURB FLANGE, UNLESS OTHERWISE NOTED. ALL FLOW LINES AND BACK OF CURB GRADES SHALL BE PER THE APPROPRIATE DETAIL.
20. ALL RADIIUS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES

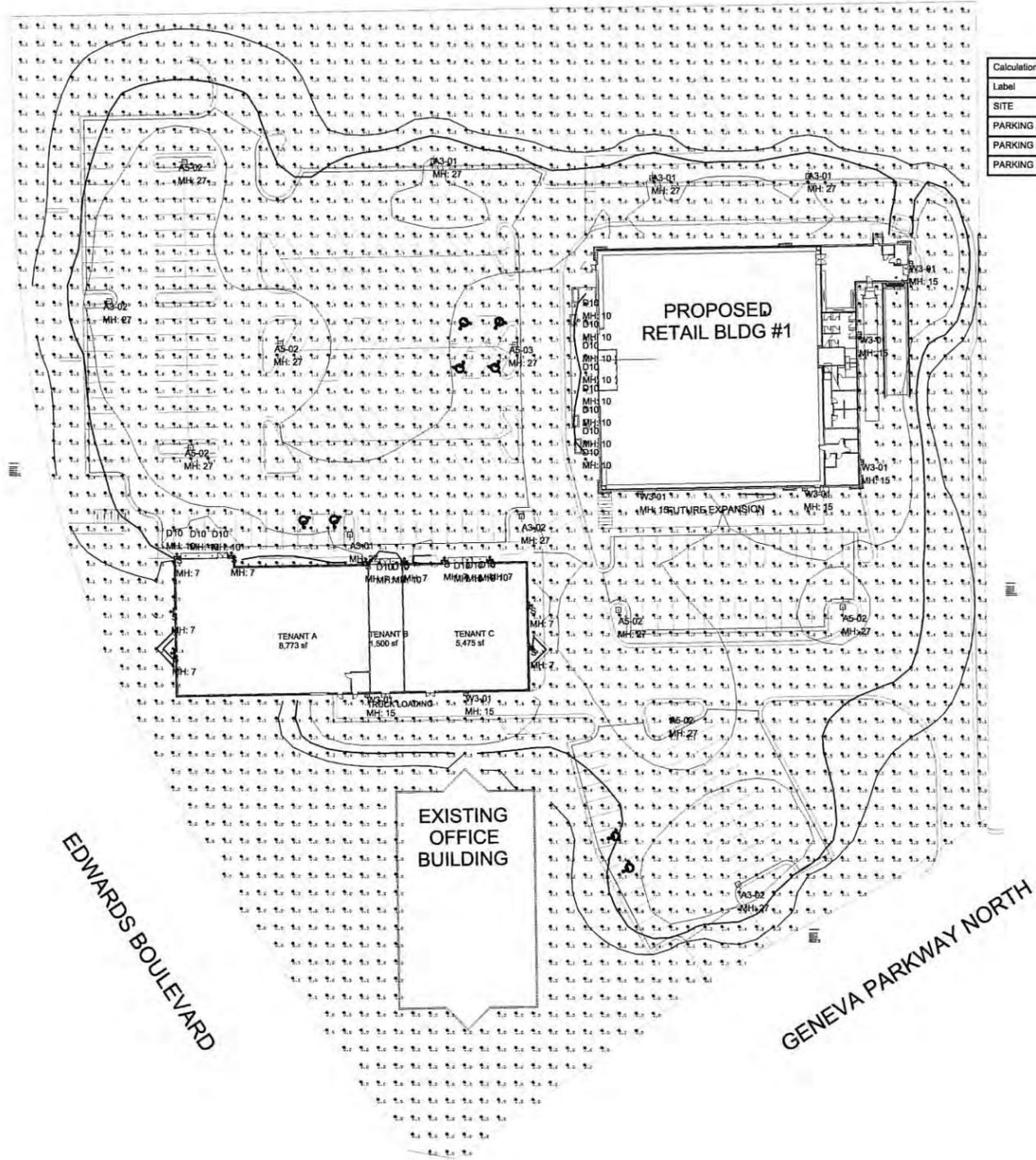
1. THE FOLLOWING EROSION CONTROL SPECIFICATIONS SHALL BE FOLLOWED FOR THIS PROJECT.
1. THESE BEST MANAGEMENT PRACTICES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.
- 1.1. SILT FENCE: SEE TECHNICAL STANDARD 1056 FOR FURTHER GUIDANCE.
 - 1.1.A. SILT FENCE SHALL BE PLACED ON THE CONTOUR, NOT PERPENDICULAR TO THE CONTOUR.
 - 1.1.B. THE ENDS OF THE FENCE SHALL BE EXTENDED UP-SLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
 - 1.1.C. INSTALLED SILT FENCE SHALL BE MINIMUM 14 INCHES HIGH AND SHALL NOT EXCEED 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
 - 1.1.D. SILT FENCES SHALL BE SUPPORTED BY WOOD SUPPORTS. FOR STEEL SUPPORTS, SEE FURTHER GUIDANCE IN WORK TECHNICAL STANDARD 1056.
 - 1.1.E. THE FULL HEIGHT SHALL BE SUPPORTED BY 1-1/2" BY 1-1/2" AIR OR KILN DRIED POSTS OF HICKORY OR OAK.
 - 1.1.F. THE FABRIC SHALL BE STAPLED USING AT LEAST 60-INCH STAPLES TO THE UP-SLOPE SIDE OF THE POSTS IN AT LEAST 3 PLACES. THE POSTS SHALL BE A MINIMUM 3 FEET LONG FOR 24-INCH SILT FENCE AND 4 FEET FOR 36-INCH SILT FENCE FABRIC.
 - 1.1.G. THE SILT FENCE SHALL BE ANCHORED BY SPACERS AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH HOLES BY 8-INCH DEEP TRENCH, OR A 5-8 INCH DEEP V-TRENCH ON THE UP-SLOPE SIDE OF THE FENCE. THE TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED MORE AND DEEPER THAN NECESSARY FOR PROPER INSTALLATION. ON THE TERMINAL ENDS OF SILT FENCE, THE FABRIC SHALL BE STAPLED AROUND THE POST SUCH THAT THE STAPLES ARE NOT VISIBLE.
 - 1.1.H. THE GEOTEXTILE FABRIC SHALL BE LISTED ON THE MSDOT PAL OR AS DETAILED ON WORK TECHNICAL STANDARD 1056.
 - 1.1.I. SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION.
- 1.2. TRACKING PAD: SEE TECHNICAL STANDARD 1057 FOR FURTHER GUIDANCE.
 - 1.2.A. THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
 - 1.2.B. THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 8 INCH CLEAR OR WASHED STONE. ALL MATERIAL TO BE RETAINED ON A 3-INCH SIEVE.
 - 1.2.C. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WESDOT TYPE II GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
 - 1.2.D. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE CORRES. POINT. THE TRACKING PAD SHALL BE AT A MINIMUM 50 FEET LONG.
 - 1.2.E. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR DIVERTED UNDER AND AROUND THEM BY USING A VARIETY OF PRACTICES, SUCH AS CURBS, WATER BARS, OR OTHER SIMILAR PRACTICES.
 - 1.2.F. CONDITIONS ON THE SITE ARE SUCH THAT THE SEDIMENT NOT REMOVED FROM VEHICLE TIRES BY THE TRACKING PAD, THEN TIRES SHALL BE WASHED.
 - 1.2.G. PRESSURIZED WATER BEFORE ENTERING A PUBLIC ROAD.
 - 1.2.H. THE WASHING STATION SHALL BE LOCATED ON-SITE IN AN AREA THAT IS STABILIZED AND DRAINS INTO SUITABLE SEDIMENT TRAPPING OR SETTLING DEVICE.
 - 1.2.I. THE WASH RACK SHALL CONSIST OF A HEAVY GRATING OVER A LOWERED AREA. THE RACK SHALL BE STRONG ENOUGH TO SUPPORT THE VEHICLES THAT WILL CROSS IT.
 - 1.2.J. ROCKS LOADED BETWEEN THE TIRES OF DUAL WHEEL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE CONSTRUCTION SITE.
2. THE FOLLOWING MEASURES SHALL BE FOLLOWED DURING ALL LAND DISTURBING OPERATIONS.
 - 2.1. DUST CONTROL: SEE TECHNICAL STANDARD 1058 FOR FURTHER GUIDANCE.
 - 2.1.A. THE IMPLEMENTATION OF DUST CONTROL SHALL LIMIT THE AREA EXPOSED FOR DUST GENERATION.
 - 2.1.B. ASPHALT AND PETROLEUM BASED PRODUCTS CANNOT BE USED FOR DUST CONTROL.
 - 2.1.C. MUCH VEGETATION - MUCH OR SEED AND MULCH MAY BE APPLIED TO PROTECT EXPOSED SOIL FROM BOTH THE WIND AND WATER EROSION, PER APPROPRIATE TECHNICAL STANDARDS.
 - 2.1.D. WATER - WATER UNTIL THE SURFACE IS WET AND REPEAT AS NEEDED. WATER SHALL BE APPLIED AT RATES SO THAT RUNOFF DOES NOT OCCUR. TREATED SOIL SURFACES THAT RECEIVE VEHICLE TRAFFIC REQUIRE A STONE TRACKING PAD OR TIRE WASHING AT ALL POINTS OF ACCESS.
 - 2.1.E. TILLAGE - A CONTROL MEASURE PERFORMED WITH CHisel TYPE PLOWS ON EXPOSED SOILS. TILLAGE SHALL BEGIN ON THE WINDWARD SIDE OF THE SITE. TILLAGE IS ONLY APPLICABLE TO PLANT AREAS.
 - 2.1.F. POLYMERS - POLYMERS CAN BE AN EFFECTIVE PRACTICE FOR AREAS THAT DO NOT RECEIVE VEHICLE TRAFFIC. DRY APPLIED POLYMERS MUST BE INITIALLY WASHED FOR ACTIVATION. TO BE EFFECTIVE FOR DUST CONTROL.
 - 2.1.G. TACKLERS AND SOIL STABILIZERS TYPE A - PRODUCTS MUST BE SELECTED FROM AND INSTALLED AT RATES CONFORMING TO THE MSDOT EROSION CONTROL PAL.
 - 2.1.H. CHLORIDES - CHLORIDES SHALL BE APPLIED ACCORDING TO THE MOST RECENT VERSION OF THE WESDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND GRADE CONSTRUCTION.
 - 2.1.I. BARRIERS - BARRIERS SHALL BE PLACED AT RIGHT ANGLES TO PREVAILING WIND CURRENTS AT INTERVALS OF ABOUT 10 TIMES THE BARRIER HEIGHT. SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND BLOWN SOIL.
 - 2.2. THE FOLLOWING MEASURES SHALL BE FOLLOWED UPON TEMPORARY AND FINAL SITE RESTORATION.
 - 2.2.1. SITE SEEDING: SEE TECHNICAL STANDARD 1059 FOR FURTHER GUIDANCE.
 - 2.2.1.A. TEMPORARY SEEDING REQUIRES A SEEDBED OF LOOSE SOIL TO A MINIMUM DEPTH OF 2-INCHES.
 - 2.2.1.B. FERTILIZER APPLICATION IS NOT GENERALLY REQUIRED FOR TEMPORARY SEEDING. HOWEVER, ANY APPLICATION OF FERTILIZER OR LIME SHALL BE BASED ON SOIL TESTING RESULTS.
 - 2.2.1.C. THE SOIL SHALL HAVE A PH RANGE OF 5.5 TO 8.0.
 - 2.2.1.D. TOPSOIL INSTALLATION SHALL BE COMPLETED PRIOR TO PERMANENT SEEDING.
 - 2.2.1.E. PERMANENT SEEDING REQUIRES A SEEDBED OF LOOSE TOPSOIL TO A MINIMUM DEPTH OF 4-INCHES WITH THE ABILITY TO SUPPORT A DENSE VEGETATIVE COVER.
 - 2.2.1.F. APPLICATION RATES OF FERTILIZER OR LIME SHALL BE BASED ON SOIL TESTING RESULTS.
 - 2.2.1.G. PREPARE A TILLED, FINE BUT FIRM SEEDBED. REMOVE ROCKS, TWIGS, FOREIGN MATERIAL, AND CLOSURE OVER TWO INCHES THAT CANNOT BE BROKEN DOWN.
 - 2.2.1.H. THE SOIL SHALL HAVE A PH RANGE OF 5.5 TO 8.0.
 - 2.2.1.I. SEE MIXTURES THAT WILL PRODUCE DENSE VEGETATION SHALL BE SELECTED BASED ON SOIL AND SITE CONDITIONS AND INTENDED FINAL USE.
 - 2.2.1.J. SEED MIXTURES THAT CONTAIN POTENTIALLY INVASIVE SPECIES OR SPECIES THAT MAY BE HARMFUL TO NATIVE PLANT COMMUNITIES SHALL BE AVOIDED.
 - 2.2.1.K. SEED SHALL NOT BE USED LATER THAN ONE YEAR AFTER THE TEST DATE THAT APPEARS ON THE LABEL.
 - 2.2.1.L. SEED RATES, INOCULATION, AND SOWING, SHALL ALL CONFORM TO THE TECHNICAL STANDARD, MANUFACTURERS RECOMMENDATIONS, AND THE WESDOT PAL.
 - 2.2.2. NON-CHANNEL EROSION MAT: SEE TECHNICAL STANDARD 1052 FOR FURTHER GUIDANCE.
 - 2.2.2.A. ONLY WESDOT PAL APPROVED MATS WILL BE ACCEPTED FOR THIS PROJECT. SEE THE PAL FOR ACCEPTABLE SLOPE AND SLOPE LENGTH APPLICATIONS. TO DIFFERENTIATE APPLICATIONS, EROSION MATS ARE ORGANIZED INTO THREE CLASSES OF MATS, WHICH ARE FURTHER BROKEN DOWN INTO VARIOUS TYPES. FOLLOW THE INFORMATION CALLED FOR IN THE PLANS AND SPECIFICATIONS PROVIDED HEREIN AND IN THE WESDOT PAL.
 - 2.2.2.B. ERM'S SHALL BE INSTALLED AFTER ALL TOPSOILING, FERTILIZING, LIMING, AND SEEDING IS COMPLETE.
 - 2.2.2.C. THE MAT SHALL BE IN FIRM AND INTIMATE CONTACT WITH THE SOIL. IT SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S RECOMMENDATION.
 - 2.2.2.D. TRM SHALL BE INSTALLED IN CONJUNCTION WITH THE TOPSOILING OPERATION AND SHALL BE FOLLOWED BY ERM INSTALLATION.
 - 2.2.2.E. AT TIME OF INSTALLATION, DOCUMENT THE MANUFACTURER AND MAT TYPE BY RETENTION OF MATERIAL LABELS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. RETAIN THIS DOCUMENTATION UNTIL THE SITE HAS BEEN STABILIZED.





1 OVERALL SITE PLAN
 1"=40'-0"
 0 20 40 80
 NORTH

NOT FOR CONSTRUCTION



Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts	Lum. Lumens
4	A3-01	SINGLE	0.980	McGRAW-EDISON + GLEON-AF-01-LED-E1-T3	59	236	8234
3	A3-02	SINGLE	0.980	McGRAW-EDISON + GLEON-AF-02-LED-E1-T3	113	339	12181
6	A5-02	SINGLE	0.980	McGRAW-EDISON + GLEON-AF-02-LED-E1-5WQ	113	678	12628
1	A5-03	SINGLE	0.980	McGRAW-EDISON + GLEON-AF-03-LED-E1-5WQ	166	166	19141
16	D10	SINGLE	0.900	HALO + PD61000108- PDM6B8xx-61VW	9.9	158.4	1212
7	W3-01	SINGLE	0.900	McGRAW-EDISON + GWC-AF-01-LED-E1-T3	59	413	6359
10	S	SINGLE	0.900	LUMIERE + 9004-W1-IRW, RIJ-LEDxx90-W-xx-L1-UNV	9.85	98.5	807

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.78	16.1	0.0	N.A.	N.A.
PARKING AREA 1	Illuminance	Fc	1.17	4.2	0.4	2.93	10.50
PARKING AREA 2	Illuminance	Fc	1.00	1.4	0.7	1.43	2.00
PARKING AREA 3	Illuminance	Fc	1.11	2.2	0.3	3.70	7.33

Sketchworks
 architecture
705 LUMINOUS DRIVE, SUITE 208, MADISON, WISCONSIN 53706

ROSS DRESS FOR LESS
 RETAIL DEVELOPMENT
 LAKE GENEVA, WISCONSIN

SITE LIGHTING PLAN

11/30/2017
 FINAL SUBMITTAL

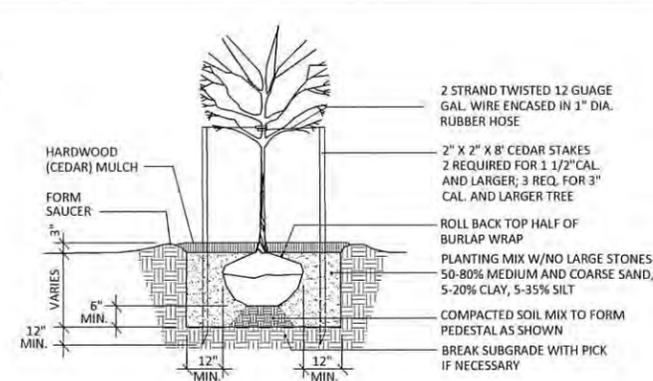
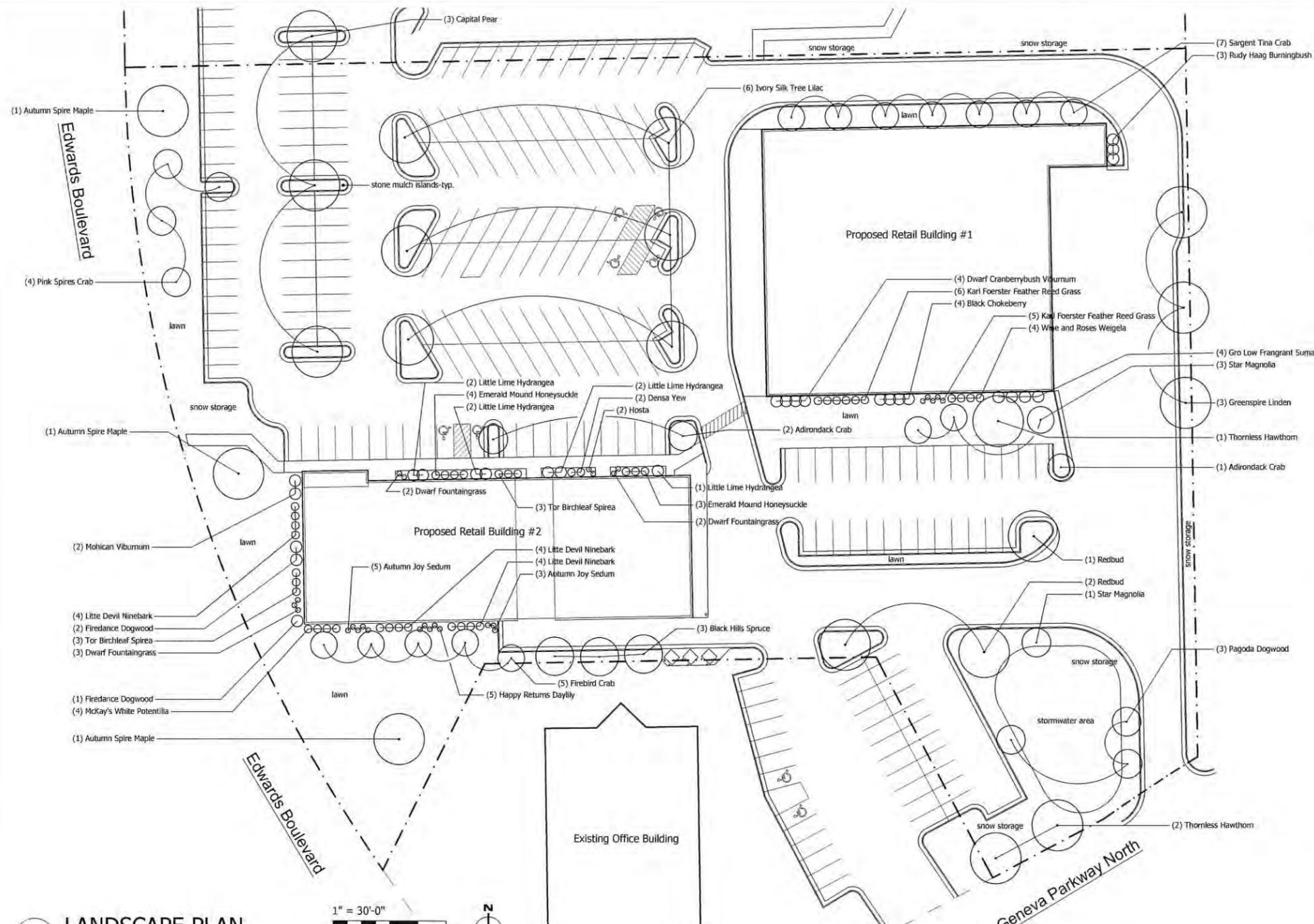
Enterprise Lighting LTD

**ROSS
LAKE GENEVA**

**SITE
LIGHTING LAYOUT**

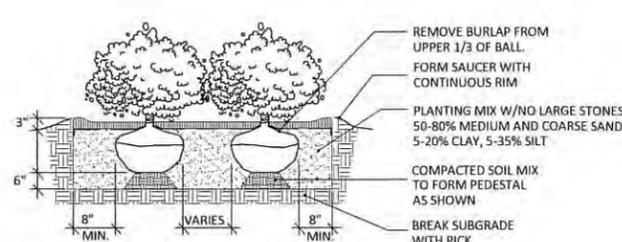
DATE NOV. 28, 2017	SCALE 1" = 40'- 0"	SHEET NUMBER E1
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E1



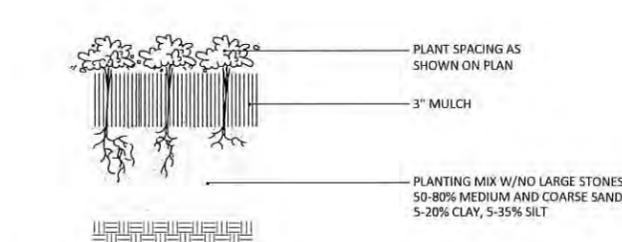
2 TREE PLANTING

NTS



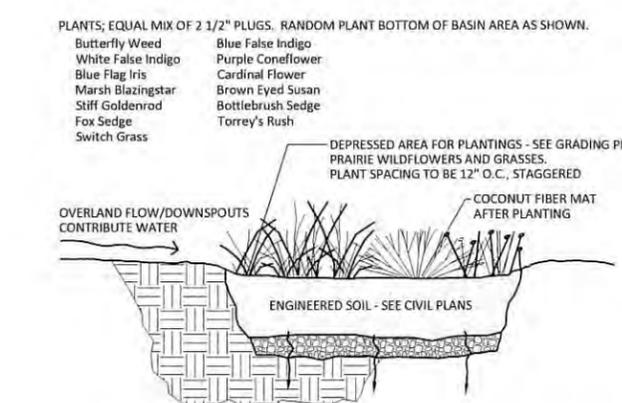
3 SHRUB PLANTING

NTS



4 PERENNIAL PLANTING

NTS



5 BIOINFILTRATION AREA PLANTS

NTS

1 LANDSCAPE PLAN

- Notes:**
- Individual tree and shrub groupings found within lawn areas are to receive wood mulch rings and/or wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
 - "Edging" to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design: Valley View Black Diamond, Valley View Industries. (www.valleyviewind.com/professional/)
 - "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix, EarthCarpet Corporation. (www.seedsolutions.com)
 - "Fabric" to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design: Valley View Black Diamond, Valley View Industries. (www.valleyviewind.com/professional/)
 - Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

Article VI: Landscaping and Bufferyard Regulations
Zoning: Planned Business Development

Landscape Requirement Measurements		Site	Min. Required Points
Building Foundations:	40 landscape points per 100 lf	1206 lf	482.4
Developed Lot:	10 landscape points per 1,000 gross floor area	36,970 sf	370
Street Frontage:	40 landscape points per 100 lf	575 lf	230
Area of Paved Areas:	80 landscape points per 10,000 sf	104,380 sf	835
Total Points Required			1,918

Landscaping Points and Min. Installation Sizes:		Proposed
Plant Category	Min. size	Qty. Points
Climax Tree	2" cal.	18 1350
Tall Deciduous Tree	1 1/2" cal.	5 150
Med. Deciduous Tree	6" tall	15 285
Tall Evergreen Tree	5" tall	3 120
Tall Deciduous Shrub	36" tall	8 40
Low Deciduous Shrub	18" tall	54 54
Total Points Proposed		1,999

- TREES**
- Redbud
 - Pink Spires Crab
 - Fire Bird Crab
 - Pagoda Dogwood
 - Black Hills Spruce
 - Capital Pear
 - Ivory Silk Tree Lilac
 - Sargent Tina Crab
 - Autumn Spire Maple
 - Greenspire Littleleaf Linden
 - Thornless Cockspur Hawthorn
 - Adirondack Crab
- SHRUBS**
- Dwarf Cranberrybush Viburnum
 - Rudy Haag Burningbush
 - Alpine Currant
 - Little Devil Ninebark
 - Wine and Roses Weigela
 - McKay's White Potentilla
 - Gro low Fragrant Sumac
 - Star Magnolia
 - Black Chokeberry
 - Little Lime Hydrangea
 - Emerald Mound Honeysuckle
 - Mohican Viburnum
 - Tor Birchleaf Spirea
 - Firedance Dogwood
 - Goldmound Spirea
 - Densa Yew
- PERENNIALS**
- Karl Foerster Feather Reed Grass
 - Autumn Joy Sedum
 - Dwarf Fountaingrass
 - Happy Returns Daylily
 - Varieted Hosta
- Trees (continued)**
- Cercis canadensis 'Columbus Strain'
 - Malus Pink Spires
 - Malus sergentii 'Select A'
 - Cornus alternifolia
 - Picea glauca densata
 - Malus sergentii 'Select A'
 - Syringa reticulata 'Ivory Silk'
 - Malus sergentii 'Tina'
 - Acer rubrum 'Autumn Spice'
 - Tilia cordata 'Greenspire'
 - Crataegus crus-galli 'Inermis'
 - Malus 'Adirondack'
- Shrubs (continued)**
- Viburnum trilobum 'Compactum'
 - Euonymus alatus 'Rudy Haag'
 - Ribes alpinum
 - Physocarpus opulifolius 'Little Devil'
 - Weigela florida 'Alexandra'
 - Potentilla fruticosa 'McKay's White'
 - Rhus aromatica
 - Magnolia stellata
 - Aronia melanocarpa
 - Hydrangea paniculata 'Little Lime'
 - Lonicera xylosteum 'Emerald Mound'
 - Viburnum lantana 'Mohican'
 - Spiraea betulifolia 'Tor'
 - Cornus sericea 'Bailadeline'
 - Spiraea japonica 'Goldmound'
 - Taxus cuspidata 'Densata'
- Perennials (continued)**
- Calamagrostis acutiflora 'Karl Foerster'
 - Sedum spectabile 'Autumn Joy'
 - Pennisetum alopecuroides 'Hameln'
 - Hemerocallis 'Happy Returns'
 - Hosta sieboldiana 'Elegans'



1 WEST EXTERIOR ELEVATION
1/8"=1'-0"



2 EAST EXTERIOR ELEVATION
1/8"=1'-0"

SIGN FASCIA IS TO:
 1) HAVE AN APPROPRIATE SUBSTRATE FOR SIGN INSTALLATION.
 2) BE CLEAR OF JOINTS AND REVEALS BEHIND SIGN.
 3) HAVE AN ENCLOSED REAR ACCESS INSTALLATION WORK AREA BEHIND SIGN (DETAIL 3/A3.0 FOR PRIMARY FEATURE). ARCHITECT OF RECORD MUST OBTAIN ACCEPTANCE OF PROPOSED CONFIGURATION FROM ROSS SIGN CONSULTANT.

ADJACENT CONSTRUCTION MAY NOT BE HIGHER THAN THE PARAPET OF THE ROSS BASE BUILDING OR EXTEND OVER THE ROSS LEASE LINE.
 MIN. HEIGHT (WHERE WHERE RECD TO CLEAR ADJACENT BUILDINGS) 28'-0" MIN.

CORRUGATED HORIZONTAL METAL PANEL: MCELROY METALS - MEGA RB, COLOR: ALMOND

DOOR DRIP EDGE
 ROSS LOGO PLAQUE, SEE DETAIL 12/A3.0
 CONCRETE BASE (TYP)
 ROSS L.P. SURFACE MOUNTED DOME CAMERA (TYP OF 2 AT FRONT)

DOUBLE-FACED INTERNALLY ILLUMINATED UNDER CANOPY LOGO SIGN, G.C. TO PROVIDE 120V PRIMARY ELECTRICAL SERVICE AND J-BOX ABOVE CEILING AND WITHIN 5'-0" OF SIGN. COORDINATE STRUCTURAL SUPPORT WITH ROSS SIGN CONSULTANT.

5 THREADED EYE-BOLTS FOR ATTACHMENT OF TEMPORARY BANNERS, SEE DETAIL 16/A3.0 FOR CONSTRUCTION AND AET TENANT PLAN ELEVATION FOR SITE SPECIFIC LOCATIONS, SHOWN HERE FOR CONCEPT ONLY.

1 EFS / STUCCO
 2 3" RADIUS, STUCCO/EPS HALF-ROUND NOSING, SEE DETAIL 1/A3.0
 3 3" RADIUS, STUCCO/EPS HALF-ROUND NOSING, SEE DETAIL 1/A3.0
 4 RECESSED ILLUMINATED NICHE
 5 DASHED LINE INDICATES CONCEALED NEON TUBES TO 1/2" FROM WALL @ END CONDITION. INSTALLATION TO MEET US STANDARDS FOR NEON TUBING, SEE 1/A3.0
 6 BLUE IDENTITY BANDS SEE DETAIL 2/A3.0, TYP.

ROSS LOGO PLAQUE, SEE DETAIL 12/A3.0

CONCRETE BASE (TYP)

DOOR DRIP EDGE

ROSS L.P. SURFACE MOUNTED DOME CAMERA (TYP OF 2 AT FRONT)

CONCRETE BASE (TYP)

DOOR DRIP EDGE

ROSS LOGO PLAQUE, SEE DETAIL 12/A3.0

CONCRETE BASE (TYP)

DOOR DRIP EDGE

ROSS L.P. SURFACE MOUNTED DOME CAMERA (TYP OF 2 AT FRONT)

CONCRETE BASE (TYP)

DOOR DRIP EDGE

ROSS LOGO PLAQUE, SEE DETAIL 12/A3.0

CONCRETE BASE (TYP)

DOOR DRIP EDGE

ROSS L.P. SURFACE MOUNTED DOME CAMERA (TYP OF 2 AT FRONT)

CONCRETE BASE (TYP)

COLOR LEGEND BY LRV% (LRV% = LIGHT REFLECTIVE VALUE)

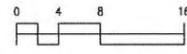
THESE COLORS ARE BASED ON THE SHERWIN-WILLIAMS INTERIOR COLOR DECK. THEY REPRESENT TONE AND VALUE BY LRV. ONLY ACTUAL LRV IS AFFECTED BY THE SURFACE APPLICATION AND TEXTURE. HEAVY TEXTURE SURFACES MUST BE LIGHTENED TO GIVE EQUIVALENT LRV LEVELS. EPS TEXTURE TO MATCH 130 STOUT 1.0 UNLESS OTHERWISE NOTED.

COLORS:

NO.	COLOR NAME	SW NUMBER	STRIP	LRV%
1	DOVER WHITE	SW 6385	C	83%
2	TATAMI TAN	SW 6116	17	30%
11	BLUE IDENTITY BANDS: TK PRODUCTS "TK 6010-40" COLOR PMS 300 "ROSS BLUE" MATTE FINISH LATEX PAINT OVER SMOOTH SURFACE EPS SUBSTRATE TO PROVIDE A SMOOTH AND UNIFORM APPEARANCE; RECESSED 1". SOURCE: TK PRODUCTS, ATTENTION: MIKE BOULKA; PHONE: 1-800-441-2129; EMAIL: MBOLKA@TKPRODUCTS.COM			
13	LOWER WALL & BASE ARCHITECTURAL SPLIT FACE CMU			
14	CAST STONE CAP			



1 SOUTH EXTERIOR ELEVATION
1/8"=1'-0"

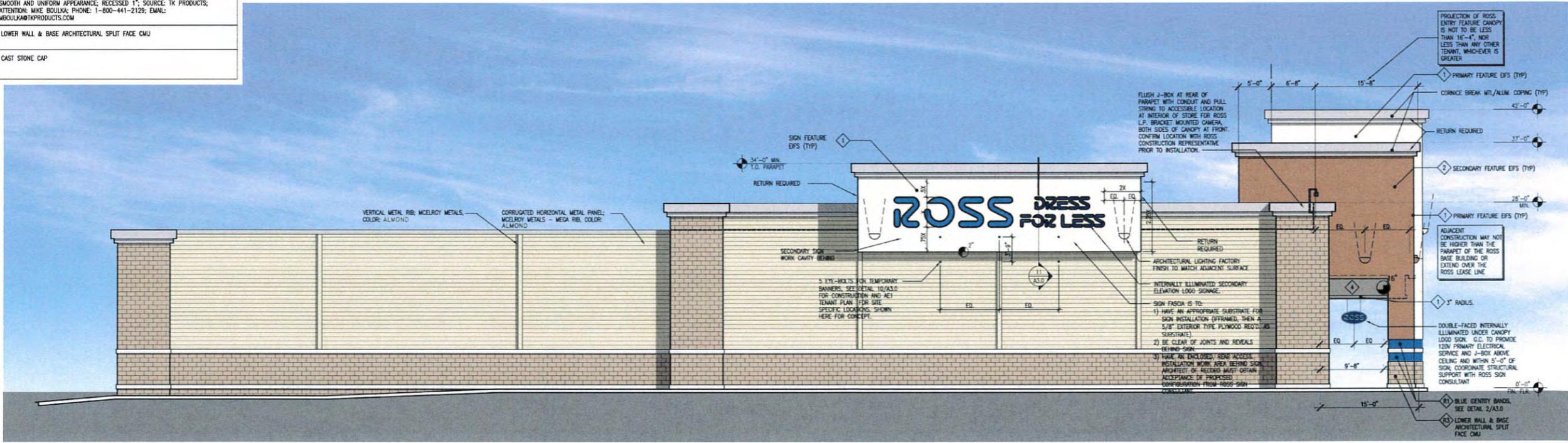


COLOR LEGEND BY LRV% (LRV% = LIGHT REFLECTIVE VALUE)

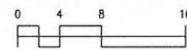
THESE COLORS ARE BASED ON THE SHERWIN-WILLIAMS INTERIOR COLOR DECK. THEY REPRESENT TONE AND VALUE BY LRV % ONLY. ACTUAL LRV IS AFFECTED BY THE SURFACE APPLICATION AND TEXTURE. HEAVY TEXTURE SURFACES MUST BE LIGHTENED TO GIVE EQUIVALENT LRV LEVELS. EPS TEXTURE TO MATCH 130 STOUT 1.0 UNLESS OTHERWISE NOTED.

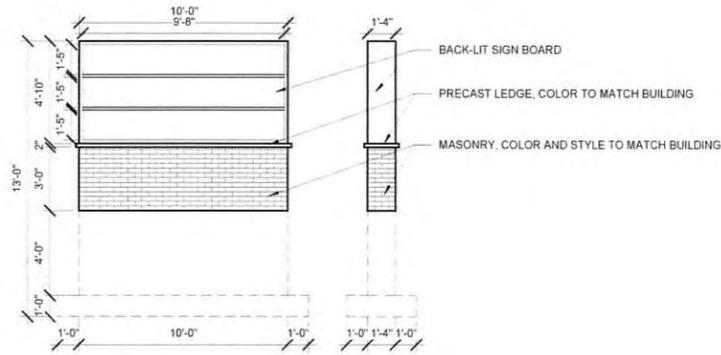
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4	LOWER WALL & BASE ARCHITECTURAL SPLIT FACE CMU			
5	CAST STONE CAP			



2 NORTH EXTERIOR ELEVATION
1/8"=1'-0"





1 MONUMENT SIGN
1/4" = 1'-0"

#	Comment
1	EIFS CORNICE, COLOR: DRYVIT: NATURAL WHITE (103)
2	EIFS CORNICE, COLOR: CITYSCAPE (SW7067)
3	SIGNAGE BY TENANT, 77.67 SF SHOWN OUT OF 200 MAX FOR ELEVATION
4	EIFS, COLOR: DRYVIT: AMARILLO WHITE (113)
5	EIFS, COLOR: FROSTY WHITE (SW6196)
6	WOOD FRAMED AWNING, WRAPPED IN BREAK METAL, COLOR: PREWEATHERED GALVALUME
7	ALUMINUM CLEAR ANODIZED STOREFRONT
8	PRECAST LEDGE, COLOR: TBD
9	STANDARD BRICK, GREY COLOR, MFG: TBD

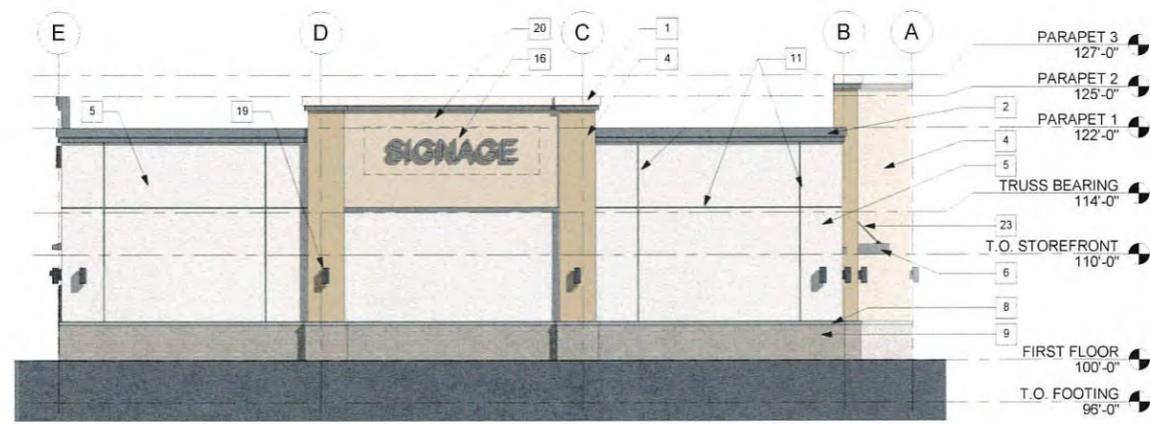
#	Comment
10	JUMBO RIB METAL PANEL, McELROY METALS, COLOR: TUTOR BROWN
11	1" EIFS REVEALS
16	SIGNAGE BY TENANT, 75 SF SHOWN - 75 SF MAX
19	WALL SCONCE/WALL PACK, SEE LIGHTING PLAN
20	EIFS, COLOR: DRYVIT: SAND (473A)
21	SIGNAGE BY TENANT, 45 SF SHOWN OUT OF 200 MAX FOR ELEVATION
22	SIGNAGE BY TENANT, 65 SF SHOWN OUT OF 200 MAX FOR ELEVATION
23	CANOPY SUPPORTS, PRIMED AND PAINTED TO MATCH STOREFRONT



2 NORTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"



5 SOUTH ELEVATION
1/8" = 1'-0"



MULTI-TENANT RETAIL
NEW DEVELOPMENT
LAKE GENEVA, WI 53147

EXTERIOR ELEVATIONS

10/27/2017
FINAL SUBMITTAL

PRELIMINARY

A3.1

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: December 18, 2017

Agenda Item: 12 A

Applicant:
Fairwyn SB, Inc.
875 Townline Road
Lake Geneva, WI 53147

Request:
From the current General Development Plan
To a new General Development Plan

Description:

The applicant is submitting a request to amend the existing General Development Plan (GDP) zoning request with the revisions to re-subdivide 39 single family lots into 21 duplex lots. With this request the developer “is not” increasing the dwelling counts for the entire development. The proposed change will move the proposed duplex dwellings from a future phase of construction to the current phase of the development.

The applicants have identified in the proposal the project density as previously approved single family unit counts of 369 and duplex units of 58, with the amendment as submitted single family 369 and 58 duplex. As submitted there is no increase in dwelling units, the change if approved will not require any changes to already platted roadways.

The applicants have met with staff and the City Engineers to identify any items of issue in which no changes to the existing platted roadways will minimally change any issues with the alteration of building size on the proposed lots.

A full description of the project (dated November 14, 2017) is contained within the Plan Commission Packet. The Subdivision layout is included that depicts the lot dimensions and plat boundaries.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including General Development Plans) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the Single-Family land use category for the subject property. The proposed GDP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. -None needed

All other zoning requirements of the current GDP remain.

Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / GDP:

As part of the consideration of a requested General Development Plan (GDP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to GDP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed amendments to the existing GDP are minimal if none at all by moving the duplex units from a future phase of the development to the initial phase without increasing the entire development unit count.

Required Plan Commission Findings on the GDP for Recommendation to Common Council:

A proposed GDP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed GDP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map. And;
 3. The proposed GDP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Or:

- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed GDP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.

3. The proposed GDP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the General Development Plan:

1. Staff recommends that the Plan Commission recommend *approval* of the GDP as submitted.
2. Staff recommends the affirmative set of findings provided above, noting that the proposal meets Factor 3.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: December 18, 2017

Agenda Item: 12 B

Applicant:
Fairwyn SB, Inc.
875 Townline Road
Lake Geneva, WI 53147

Request:
Amending Precise Implementation Plan (PIP)

Description:

The applicant is submitting a request to amend the existing Precise Implementation Plan (PIP) zoning request with the revisions to re-subdivide 39 single family lots into 21 duplex lots. With this request the developer “is not” increasing the dwelling counts for the entire development. The proposed change will move the proposed duplex dwellings from a future phase of construction to the current phase of the development.

The applicants have identified in the proposal the project density as previously approved single family unit counts of 369 and duplex units of 58, with the amendment as submitted single family 369 and 58 duplex. As submitted there is no increase in dwelling units, the change if approved will not require any changes to already platted roadways.

The applicants have met with staff and the City Engineers to identify any items of issue in which no changes to the existing platted roadways will minimally change any issues with the alteration of building size on the proposed lots.

A full description of the project (dated November 14, 2017) is contained within the Plan Commission Packet. The Subdivision layout is included that depicts the lot dimensions and plat boundaries.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including Precise Implementation Plan) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the Single-Family land use category for the subject property. The proposed PIP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. -None needed

All other zoning requirements of the current PIP remain.

Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / PIP:

As part of the consideration of a requested Precise Implementation Plan (PIP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to PIP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed amendments to the existing PIP are minimal if none at all by moving the duplex units from a future phase of the development to the initial phase without increasing the entire development unit count.

Required Plan Commission Findings on the PIP for Recommendation to Common Council:

A proposed PIP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed PIP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
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 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed PIP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map. And;
 3. The proposed PIP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Or:

- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed PIP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
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 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed PIP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.

3. The proposed PIP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the Precise Implementation Plan:

1. Staff recommends that the Plan Commission recommend *approval* of the Precise Implementation Plan as submitted.
2. Staff recommends the affirmative set of findings provided above, noting that the proposal meets Factor 3.



**DUPLEX AREA REQUEST FOR
AMENDMENT TO GDP AND PIP**

**APPLICATION FOR ZONING MAP AMENDMENT FOR PLANNED DEVELOPMENT
ZONING INCLUDING GENEVRAL DEVELOPMENT PLAN APPROVAL (PD/GDP) AND
ONE PRECISE IMPLEMENTATION PLAN APPROVAL (PD/PIP)**

Name of Applicant: Fairwyn SB, Inc.

Address of Applicant: 875 Townline Road

Suite 103

Lake Geneva, WI 53147

Telephone No. (262) 248.5010

Fax and/or email: (262) 248.8082 / rickzirk@gmail.com

Name of Owner: Same as Applicant

Address of Owner: Same as Applicant

Telephone No. ()

Fax and/or email: ()

Subject property address and/or complete legal description (use attached sheet if necessary):

Current Zoning District: PD

Fee of \$750.00 payable upon filing application.

10-31-17
Date


Signature of Applicant

Symphony Bay GDP / PIP Amendment Request Summary

The Symphony Bay development is an age targeted, active adult style community approved for a total of 427 single family attached (duplex) and detached homes. The General Development Plan for Symphony Bay was approved on July 27, 2015, and the PIP for the majority of the property was approved by the City Council on March 14, 2016.

A legal description for the amendment area is attached at Exhibit 1. The general property location, and adjacent property information is attached at Exhibit 2. The property is located within the corporate limits of the City of Lake Geneva, south of Townline Road and north of Bloomfield Road. Current zoning is PD Planned Development.

- a) **Amendment Sought:** The developer, Fairwyn SB, is requesting departure from the approved GDP / PIP to construct 42 (21 lots) of the duplex in Phase 1. The Developer IS NOT seeking an increase in project density. The revised PIP re-subdivides 39 single family detached home lots, specifically lots 259 through 297, into 21 lots for duplex construction. A copy of the approved PIP, and a revised PIP for this section of the property is attached at Exhibit 3. A map depicting the location of the exiting duplex area and the proposed duplex area is also attached at Exhibit 3
- b) **Project Description and Status:** Fairwyn SB is in the process of developing the first 100 single family detached home lots. Two display homes are to be constructed during the winter, with a sales center grand opening slated for spring 2018. The Developer would like to offer the 14 duplex units that will abut Cadence Circle for sale when the display homes open this spring.
- c) **Project Density:** The project plans contemplate 427 total dwelling units on 145.35 acres of land. Project density remains at 2.94 dwelling units per acre. Unit type distribution remains unchanged as outlined below

Home Style	Previously Approved	Current
Single Family	369	369
Duplex	58	58

- d) **Impact on Nearby Properties and Streets:** Existing rights of way were not impacted by the re-platting of this area. Adjustments will be made to lots in future phases to reconcile the lot count to provide for no more than 427 units.
- e) **General Relationship to Approved GDP :** The proposed amendment DOES NOT increase project density. Fairwyn SB is seeing authority to construct 42 of the duplex units in the first phase of the development. The revision is consistent with the goals of the current PD Zoning and General Development Plan
- f) **Zoning Standards:** There is no request for additional zoning standard relief from what was previously approved for Symphony Bay.
- g) **Zoning Exemptions:** There is no request for additional zoning exemption relief from what was previously approved for Symphony Bay.

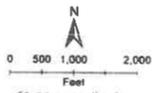
Exhibit 1
Legal Description

A redivision of Lots 229 thru 267 of Symphony Bay Subdivision, located in the Northeast 1/4 of Northeast 1/4, the Southeast 1/4 of the Northeast 1/4 of Section 6 and the Northwest 1/4 of the Northwest 1/4 Section 5, all in Township 1 North, Range 18 East, in the City of Lake Geneva, Walworth County, State of Wisconsin. Containing 348,910 Square Feet on 8.010 acres, more or less.

Exhibit 2
Property Maps and Adjacent Property Data

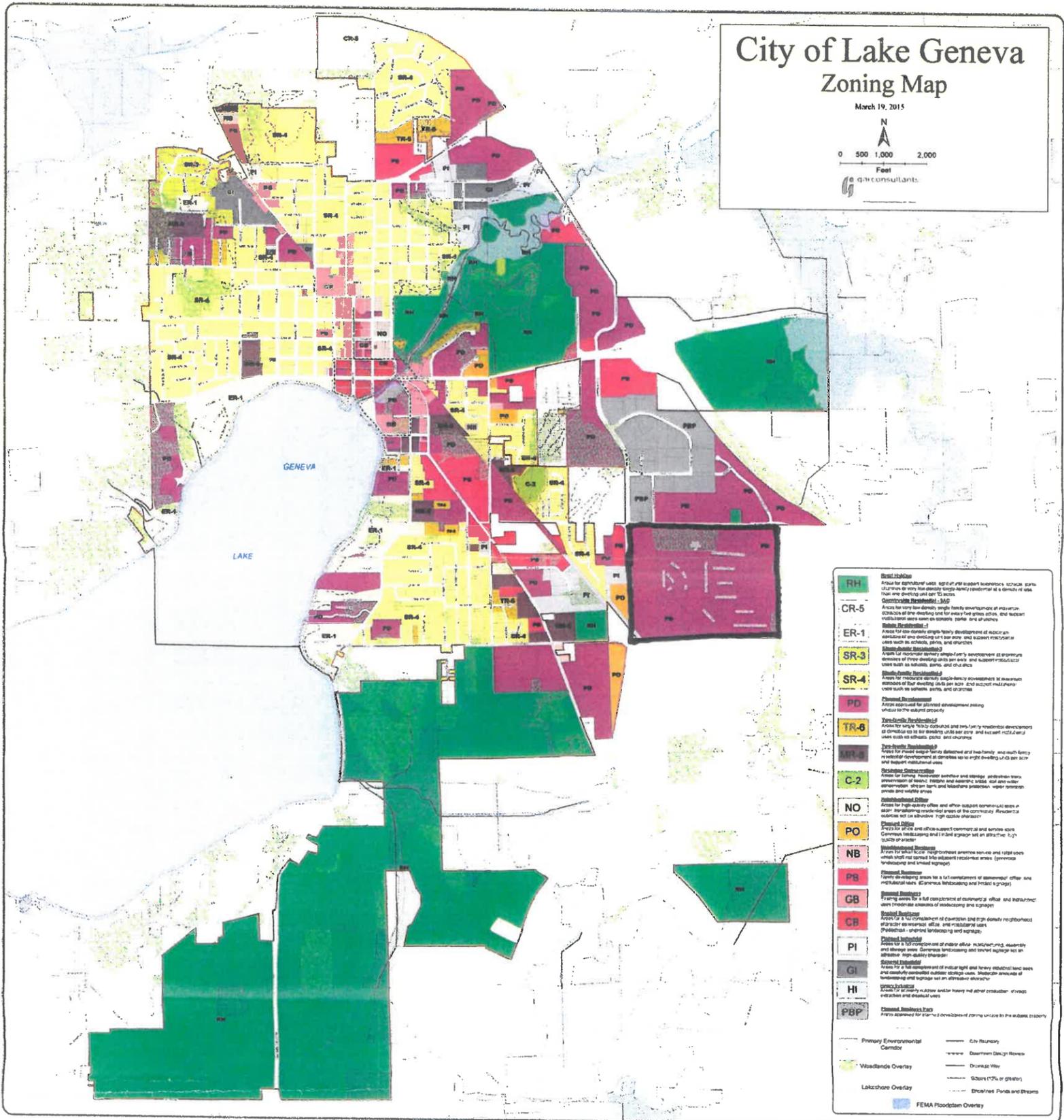
City of Lake Geneva Zoning Map

March 19, 2015



0 500 1,000 2,000
Feet

gqr consultants



RH	Rural Residential Areas for agricultural uses, agritourism, equestrian, schools, churches or very low density single-family residential at a density of less than one dwelling unit per 10 acres.
CR-5	Community Residential - Single-Family Areas for very low density single-family development at an average density of one dwelling unit per acre, and support structures such as schools, parks, and churches.
ER-1	Executive Residential Areas for low density single-family development at an average density of one dwelling unit per acre, and support structures such as schools, parks, and churches.
SR-3	Single-Family Residential Areas for moderate density single-family development at an average density of three dwelling units per acre, and support structures such as schools, parks, and churches.
SR-4	Single-Family Residential Areas for moderate density single-family development at an average density of four dwelling units per acre, and support structures such as schools, parks, and churches.
PD	Planned Development Areas approved for planned development pending review by the Planning Commission.
TR-6	Transit Residential Areas for single-family detached and two-family residential development at densities up to six dwelling units per acre, and support structures such as schools, parks, and churches.
RR-2	Rural Residential Areas for moderate density single-family development at an average density of two dwelling units per acre, and support structures such as schools, parks, and churches.
C-2	Community Center Areas for medium density office and retail, professional services, and other uses, including schools, day care, and other community uses.
NO	Neighborhood Office Areas for low density office and other support commercial uses at an average density of one dwelling unit per acre, and support structures such as schools, parks, and churches.
PO	Office Office Areas for medium density office and other support commercial uses at an average density of one dwelling unit per acre, and support structures such as schools, parks, and churches.
NB	Neighborhood Business Areas for low density neighborhood commercial and other uses, including schools, day care, and other community uses.
PB	Planned Business Areas for medium density neighborhood commercial and other uses, including schools, day care, and other community uses.
GB	General Business Areas for a full complement of commercial, office, and industrial uses, including schools, day care, and other community uses.
CB	Community Business Areas for a full complement of commercial and high density neighborhood office and residential uses, including schools, day care, and other community uses.
PI	Professional Institute Areas for a full complement of professional, executive, and other uses, including schools, day care, and other community uses.
GI	General Industrial Areas for a full complement of industrial and heavy industrial uses, including schools, day care, and other community uses.
HI	Heavy Industrial Areas for a full complement of heavy industrial and other uses, including schools, day care, and other community uses.
PBP	Planned Business Park Areas approved for planned development pending review by the Planning Commission.

	Primary Environmental Corridor		City Boundary
	Wetlands Overlay		Downtown Design Review
	Lakeshore Overlay		Drainage Way
			Other (12% or greater)
			Drainage Ponds and Streams
			FEMA Floodplain Overlay

Tax Key	Owner 1	Owner 2	Address 1	Address 2	City	State	Zip
MB 500003	Bloomfield Holdings LLC		617 E Walworth Ave		Delavan	WI	53115
MB 500006	Maple Glen LLC		W1951 N Bloomfield Rd		Lake Geneva	WI	53147
MB 500007	David J. Adams		W1951 N Bloomfield Rd		Lake Geneva	WI	53147
MB 500007A	David J. Adams		W1951 N Bloomfield Rd		Lake Geneva	WI	53147
MB 500007C	David J. Adams	Sherry L. Adams	W1951 N Bloomfield Rd		Lake Geneva	WI	53147
MB 600009	Maple Glen LLC		W1951 N Bloomfield Rd		Lake Geneva	WI	53147
ZA197400001	Robert B. Jurewicz	Judy M. Jurewicz	1201 E Townline Rd		Lake Geneva	WI	53147
ZA284300001	Greg Baird		215 W. Walnut		Hinsdale	IL	60521
ZPRW 00001	Ronald J. Schroeder	Susan C. Shroeder	1151 E Townline Rd	Unit 101	Lake Geneva	WI	53147
ZPRW 00002	Bernard J. Nels Trust		3411 Ashley Dr		Glenview	IL	60025
ZPRW 00003	Nicholas J. Helmer		505 Kewaunee Ct		Prospect Heights	IL	60070
ZPRW 00004	Walter D. Denton	Lynn A. Denton	N3161 Center St		Lake Geneva	WI	53147
ZPRW 00005	Megan N. Richter		1151 E Townline Rd	Unit 105	Lake Geneva	WI	53147
ZPRW 00006	Thomas E. Walentosky	Rebecca A. Walentosky	1151 E Townline Rd	Unit 106	Lake Geneva	WI	53147
ZPRW 00007	Brett J. Stanczak		530 S Boulder Ridge Dr		Lake Geneva	WI	53147
ZPRW 00008	William Katsoolias	Maria Katsoolias, et al	5285 Mardjetko Dr		Hoffman Estates	IL	60192
ZPRW 00009	Janet Yunker		1151 E Townline Rd	Unit 203	Lake Geneva	WI	53147
ZPRW 00010	Scott A. Fricke	Katherine D. Fricke	2330 N Brighton Place		Arlington Heights	IL	60004
ZPRW 00011	Jennie A. Nagode		1909 91 st St		Pleasant Prairie	WI	53158
ZPRW 00012	Dianne J. Passarella Trust		1151 E Townline Rd	Unit 206	Lake Geneva	WI	53147
ZPRW 00013	Sharon Johnson		123 Selwyn Ln		Buffalo Grove	IL	60089
ZPRW 00014	William Johnson		123 Selwyn Ln		Buffalo Grove	IL	60089
ZPRW 00015	Marilyn H. Hedberg Trust	c/o M&I Wealth Management	401 N Segoe Rd	Unit 2N	Madison	WI	53705
ZPRW 00016	Jessica A. Petersen		1151 E Townline Rd	Unit 304	Lake Geneva	WI	53147
ZPRW 00017	Joy L. Williamson	Joseph Roth	9718 E Karen Dr		Scottsdale	AZ	85260
ZPRW 00018	Wayne R. Gripman		7105 N Kenton Ave		Lincolnwood	IL	60712
ZPRW 00019	Donald W. Hanley	Eileen M. Hanley	6 S Bruner St		Hinsdale	IL	60521
ZPRW 00020	Kerry Cates		1151 E Townline Rd	Unit 402	Lake Geneva	WI	53147
ZPRW 00021	Leonard R. Burke	Mary F. Burke	1441 Ramsey Close		Rockford	IL	61107
ZPRW 00022	Rosa Family Trust		5032 N Merrimac		Chicago	IL	60630
ZPRW 00023	Amy M. Wojtalewic		3793 Raptor Ct		Colgate	WI	53017
ZPRW 00024	Alexander Katsoolias	Donna Katsoolias	916 Cheswick Dr		Gurnee	IL	60031
ZPRW 00054A	McMurr I LLC		414 N Orleans St	Ste 610	Chicago	IL	60610
ZSWP 00001	Southwind Prairie II LLC		751 Geneva Pkwy		Lake Geneva	WI	53147
ZSWP 00002	Southwind Prairie II LLC		751 Geneva Pkwy		Lake Geneva	WI	53147
ZSWP 00003	Southwind Prairie II LLC		751 Geneva Pkwy		Lake Geneva	WI	53147
ZSWP 00004	Southwind Prairie II LLC		751 Geneva Pkwy		Lake Geneva	WI	53147

ZSWP 00005	Southwind Prairie II LLC		751 Geneva Pkwy		Lake Geneva	WI	53147
ZSWP 00006	Southwind Prairie II LLC		751 Geneva Pkwy		Lake Geneva	WI	53147
ZSWP 00007	Southwind Prairie II LLC		751 Geneva Pkwy		Lake Geneva	WI	53147
ZSWP 00008	Southwind Prairie II LLC		751 Geneva Pkwy		Lake Geneva	WI	53147
ZSWP 000010	Southwind Prairie IV LLC		751 Geneva Pkwy		Lake Geneva	WI	53147
Several	City of Lake Geneva		626 Geneva St		Lake Geneva	WI	53147
Several	Fairwyn SB Inc		875 Townline Rd	Ste 103	Lake Geneva	WI	53147

Exhibit 3
Approved PIP and Amended PIP Data

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: December 18, 2017

Agenda Item: 13A

Applicant:

Southwind Prairie IV, LLC.
751 Geneva Parkway
Lake Geneva, WI 53147

Request:

Amending General Development Plan (GDP)

Description:

The applicant is submitting a request to amend the existing General Development Plan (GDP) zoning request with the revised:

- Building shape and design
- Storage / Maintenance Structure
- New Sign

The original General Development Plan (GDP) was started with different ownership of the property and since has changed owners again with the current applicant owning the adjacent multi-family development. The applicant is requesting the review for the amendment request to reflect the unit construction that is currently developed on the Southwind Drive properties.

The applicants have met with staff to identify any possible issues and in finding none other than building design the review was fairly straight forward.

A full description of the project (dated October 12, 2017) is contained within the Plan Commission Packet. The Subdivision layout is included that depicts the lot dimensions and plat boundaries.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including General Development Plan) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the Single-Family land use category for the subject property. The proposed GDP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. -None needed

All other zoning requirements of the current GDP remain.

Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / GDP:

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Staff Review Comments:

The proposed amendments to the existing GDP are minimal if none at all by changing the shape and exterior finishes of the buildings.

Required Plan Commission Findings on the GDP for Recommendation to Common Council:

A proposed GDP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
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Staff Recommendation on the General Development Plan:

1. Staff recommends that the Plan Commission recommend *approval* of the General Development Plan (GDP) as submitted.
2. Staff recommends the affirmative set of findings provided above, noting that the proposal meets Factor3.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: December 18, 2017

Agenda Item: 13B

Applicant:

Southwind Prairie IV, LLC.
751 Geneva Parkway
Lake Geneva, WI 53147

Request:

Amending Precise Implementation Plan (PIP)

Description:

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Action by the Plan Commission:

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Staff Review Comments:

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Staff Recommendation on the Precise Implementation Plan:

1. Staff recommends that the Plan Commission recommend *approval* of the Precise Implementation Plan as submitted.
2. Staff recommends the affirmative set of findings provided above, noting that the proposal meets Factor 3.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):
755 Southwind Drive, Lake Geneva, WI 53147

Tax Parcel No. ZPRW 00054A; see legal description attached

Name and Address of Current Owner:

McMurr I, LLC, 351 West Hubbard Street, Suite 610, Chicago, IL 60654;

Telephone No. of Current Owner including area code: 312-965-2807

Name and Address of Applicant:

Southwind Prairie IV, LLC, 751 Geneva Parkway North, Lake Geneva, WI 53147

Telephone No. of Applicant including area code: 262-903-3222 (Roger Wolff)

Proposed Use:

New multi-family residential apartment homes as described in Exhibit A.

Zoning District in which land is located: PD Planned Development

Names and Addresses of architect, professional engineer and contractor of project:

Farris, Hansen & Associates, Inc., 7 Ridgway Drive, Elkhorn, WI 53121

Short statement describing activities to take place on site:

See Exhibit A including:

1. Revised building shape and design
2. Storage/maintenance structure
3. New sign at Park Drive

PIP Amendment fee \$400.00, payable upon filing application.

Southwind Prairie IV, LLC by Roger Wolff

By: Nicholas A. Egert
Signature of Applicant

Nicholas A. Egert, Attorney-in-Fact

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Roger Wolff, as applicant/petitioner for:

Name: Southwind Prairie IV, LLC
Address: 751 Geneva Parkway North
Lake Geneva, WI 53147
Phone: 262-903-3222

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 14 day of November, 2017.

Southwind Prairie IV, LLC, by Roger Wolff
Printed name of Applicant/Petitioner

By: Nicholas A. Egert
Signature of Applicant/Petitioner

Nicholas A. Egert, Attorney-in-Fact

**SOUTHWIND PRAIRIE APARTMENT COMMUNITY II
PRAIRIE TOWNHOME CONDOMINIUM**

NARRATIVE

The property described in the attached Exhibit B and incorporated herein ("Prairie") is zoned by the City of Lake Geneva ("City") as PD, Planned Development Zoning District, to permit the development of a multifamily community of up to sixteen (16) residential structures. The PIP Site Plan for Prairie Wind is attached as Exhibit C and incorporated herein ("Site Plan").

The area in question along with the surrounding built of structures are planned by the City for Multi-Family Residential future use under the City's Comprehensive Plan, adopted August 30, 2011.

This Application provides for the build out of six (6) multifamily residential structures comprised of six (6) units in each structure. The design shape of the structures has changed over prior approval; however, the footprint and location within the site remains within the parameters of prior approvals. Please see Exhibit C is attached hereto and incorporated herein by this reference, hereinafter referred to as the "Plans".

The Plans, supplemented by additional construction detail building plans, have been approved by the State of Wisconsin Department of Safety and Professional Services, Industry Services Division.

The Applicant seeks to move the location of a presently approved but not built accessory storage and maintenance shed structure, all as depicted on Exhibit D, which is attached hereto and incorporated herein by this reference.

The Applicant seeks to add one additional sign on the eastern side of the street at the t-shaped intersection of Park Road and South Wind Drive, all as depicted on Exhibit E, which is attached hereto and incorporated herein by this reference.

Density will remain within previously approved levels with less than 5 dwelling units per acre. Prairie Lane and traffic management plans will be implemented as per prior submissions.

Concurrently herewith, the Applicant is filing with the City the Plat and Declaration for the creation of Prairie Townhome Condominium, as per Exhibit F which is attached hereto and incorporated herein by this reference. The land submitted to condominium ownership was formerly part of the expansion area for Prairie Wind Condominium and now represents a distinct and separate condominium.

A map of Prairie, showing all lands within three hundred (300) feet, and a list of the names and addresses of the owners of all lands on said map, will be provided by the Zoning Administrator and attached as Exhibit G and incorporated herein.

EXHIBIT A

Except as modified by this Amendment to the PIP for Prairie Wind, the PIP remains unchanged. The landscaping, lighting, organizational structure, and the consistency of the PIP, as amended hereby, with the GDP, are not materially changed.

Because virtually all of the public infrastructure improvements for Prairie Wind are installed, no proof of financing capability is needed. The Applicant will provide proof of financing capability, in the form of a letter of credit or other surety, for the construction of any additional public improvements as requested by the City.

The Applicant believes that this amendment to the PIP will allow Prairie to be a more viable and improved in-fill development for the City.

LEGAL DESCRIPTION

LEGAL DESCRIPTION DECLARED AREA PARCEL A

LANDS LOCATED IN PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663, RECORDED IN VOLUME 22 ON PAGE 10 AS DOCUMENT NO. 593854; LOCATED IN PART OF THE NORTHWEST 1/4, SOUTHWEST 1/4, AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 1 OF C.S.M. 3663 AT THE NORTHERLY RIGHT-OF-WAY OF TOWN LINE ROAD; THENCE S 89 DEGREES 54 MINUTES 50 SECONDS W, 198.99 FEET ALONG THE SAID NORTHERLY RIGHT-OF-WAY LINE TO AN IRON PIPE STAKE; THENCE CONTINUE, S 00 DEGREES 05 MINUTES 10 SECONDS E, 15.01 FEET; THENCE CONTINUE, S 89 DEGREES 54 MINUTES 50 SECONDS W, 218.94 FEET TO THE EAST LINE OF CERTIFIED SURVEY MAP NO. 1974 (C.S.M. 1974); THENCE ALONG SAID EAST LINE, N 00 DEGREES 05 MINUTES 10 SECONDS W, 318.00 FEET TO THE NORTHEAST CORNER OF SAID C.S.M. 1974 AND THE POINT OF BEGINNING; THENCE S 89 DEGREES 54 MINUTES 50 SECONDS W, 243.35 FEET TO THE NORTHWEST CORNER OF SAID C.S.M. 1974; THENCE N 00 DEGREES 05 MINUTES 10 SECONDS W, 122.25 FEET; THENCE N 89 DEGREES 54 MINUTES 50 SECONDS E, 70.00 FEET; THENCE N 44 DEGREES 54 MINUTES 50 SECONDS E, 137.95 FEET; THENCE S 56 DEGREES 07 MINUTES 23 SECONDS E, 37.21 FEET; THENCE 66.91 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 119.00 FEET AND A CHORD WHICH BEARS S 40 DEGREES 00 MINUTES 58 SECONDS E, 66.03 FEET; THENCE S 23 DEGREES 54 MINUTES 32 SECONDS E, 17.37 FEET; THENCE 125.23 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 244.00 FEET AND A CHORD WHICH BEARS S 09 DEGREES 12 MINUTES 19 SECONDS E, 123.86 FEET; THENCE S 05 DEGREES 29 MINUTES 54 SECONDS W, 10.23 FEET; THENCE S 89 DEGREES 54 MINUTES 50 SECONDS W, 23.09 FEET TO THE POINT OF BEGINNING. CONTAINING 42,313 SQUARE FEET (0.97 ACRES) OF LAND, MORE OR LESS.

LEGAL DESCRIPTION DECLARED AREA PARCEL B

LANDS LOCATED IN PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663, RECORDED IN VOLUME 22 ON PAGE 10 AS DOCUMENT NO. 593854; LOCATED IN PART OF THE NORTHWEST 1/4, SOUTHWEST 1/4, AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1 OF C.S.M. 3663 AT THE NORTHERLY RIGHT-OF-WAY OF TOWN LINE ROAD; THENCE S 89 DEGREES 54 MINUTES 50 SECONDS W, 370.18 FEET; THENCE N 00 DEGREES 05 MINUTES 10 SECONDS W, 236.54 FEET; THENCE N 05 DEGREES 29 MINUTES 54 SECONDS E, 73.97 FEET; THENCE 141.14 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 275.00 FEET AND A CHORD WHICH BEARS N 09 DEGREES 12 MINUTES 19 SECONDS W, 139.60 FEET; THENCE N 23 DEGREES 54 MINUTES 32 SECONDS W, 17.37 FEET; THENCE 84.34 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 150.00 FEET AND A CHORD WHICH BEARS N 40 DEGREES 00 MINUTES 58 SECONDS W, 83.23 FEET; THENCE N 56 DEGREES 07 MINUTES 23 SECONDS W, 54.50 FEET; THENCE 57.79 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 300.00 FEET AND A CHORD WHICH BEARS N 50 DEGREES 36 MINUTES 17 SECONDS W, 57.70 FEET; THENCE N 45 DEGREES 05 MINUTES 10 SECONDS W, 23.42 FEET; THENCE N 38 DEGREES 39 MINUTES 48 SECONDS E, 178.55 FEET TO THE NORTHEASTERLY LINE OF SAID C.S.M. 3663; THENCE ALONG SAID NORTHEASTERLY LINE, S 48 DEGREES 38 MINUTES 27 SECONDS E, 280.59 FEET; THENCE CONTINUE, S 29 DEGREES 03 MINUTES 47 SECONDS E, 511.18 FEET; THENCE CONTINUE, S 08 DEGREES 33 MINUTES 06 SECONDS W, 119.09 FEET TO THE POINT OF BEGINNING. CONTAINING 200,513 SQUARE FEET (4.60 ACRES) OF LAND, MORE OR LESS.

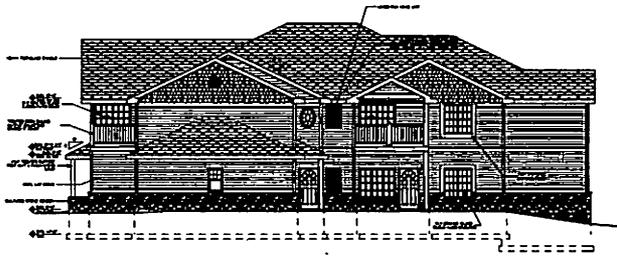
EXHIBIT B



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

GENERAL SPECIFICATIONS

GENERAL REQUIREMENTS

A. DEFINITIONS

The location of the building and the nature of the work shall be as shown on the drawings and specifications. The contractor shall be responsible for obtaining all necessary permits and for securing all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

B. EXISTING CONDITIONS AND SITE

Before starting work, the contractor shall verify the location and extent of all existing structures and utilities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

C. ORDINANCES, RULES AND REGULATIONS

All work shall conform to the applicable ordinances, rules and regulations of the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

D. QUALITY OF MATERIALS AND WORK

All materials and workmanship shall conform to the applicable standards and specifications. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

E. SUBCONTRACTOR COOPERATION

The contractor shall be responsible for coordinating all subcontractors and ensuring that all work is completed in a timely and efficient manner. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

2. SCOPE OF DRAWINGS AND SPECIFICATIONS

The drawings and specifications shall be read in conjunction with each other. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

3. UNITS OF MEASURE

All measurements shall be in feet and inches. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

4. ORDER OF WORK

The contractor shall be responsible for determining the order of work and for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

5. CLEANUP

The contractor shall be responsible for maintaining a clean and safe work site at all times. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

6. PROTECTION OF EXISTING UTILITIES

The contractor shall be responsible for identifying and protecting all existing utilities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

7. INTERFERENCES AND OTHER CONDITIONS

The contractor shall be responsible for identifying and resolving all interferences and other conditions. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

8. UNITS OF MEASURE

All measurements shall be in feet and inches. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

9. ORDER OF WORK

The contractor shall be responsible for determining the order of work and for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

10. CLEANUP

The contractor shall be responsible for maintaining a clean and safe work site at all times. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

11. PROTECTION OF EXISTING UTILITIES

The contractor shall be responsible for identifying and protecting all existing utilities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

12. GUARANTEE

The contractor shall be responsible for providing a written guarantee for all work. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

13. INTERFERENCES

The contractor shall be responsible for identifying and resolving all interferences. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

14. ORDER OF WORK

The contractor shall be responsible for determining the order of work and for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

15. CLEANUP

The contractor shall be responsible for maintaining a clean and safe work site at all times. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

16. PROTECTION OF EXISTING UTILITIES

The contractor shall be responsible for identifying and protecting all existing utilities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

17. FINISHES

The contractor shall be responsible for providing all finishes in accordance with the specifications. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

18. ORDER OF WORK

The contractor shall be responsible for determining the order of work and for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

19. CLEANUP

The contractor shall be responsible for maintaining a clean and safe work site at all times. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

20. PROTECTION OF EXISTING UTILITIES

The contractor shall be responsible for identifying and protecting all existing utilities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

21. GUARANTEE

The contractor shall be responsible for providing a written guarantee for all work. The contractor shall be responsible for obtaining all necessary approvals from the local authorities. The contractor shall be responsible for obtaining all necessary approvals from the local authorities.

BUILDING SUMMARY

BUILDING HEIGHT MAX = 32'-0"

UNIT AREAS

UNIT 100 & 102 = 1,008 SF LIVING AREA - GARAGE = 508 SF
 UNIT 100 & 102 = 1,022 SF LIVING AREA - GARAGE = 505 SF
 UNIT 100 & 100A = 1,027 SF LIVING AREA - GARAGE = 507 SF
 TOTAL BUILDING FOOTPRINT AREA = 6,096 SF INCLUDING ENTRY PORCHES

NO.	ITEM	QTY	UNIT PRICE		TOTAL	REMARKS
			UNIT PRICE	AMOUNT		
1	Excavation	100	1.00	100.00		
2	Foundation	100	1.00	100.00		
3	Concrete	100	1.00	100.00		
4	Formwork	100	1.00	100.00		
5	Reinforcing Steel	100	1.00	100.00		
6	Brickwork	100	1.00	100.00		
7	Masonry	100	1.00	100.00		
8	Plaster	100	1.00	100.00		
9	Paint	100	1.00	100.00		
10	Roofing	100	1.00	100.00		
11	Insulation	100	1.00	100.00		
12	Windows	100	1.00	100.00		
13	Doors	100	1.00	100.00		
14	Interior Finishes	100	1.00	100.00		
15	Electrical	100	1.00	100.00		
16	Plumbing	100	1.00	100.00		
17	Mechanical	100	1.00	100.00		
18	Landscaping	100	1.00	100.00		
19	Site Work	100	1.00	100.00		
20	Permits	100	1.00	100.00		
21	Contingency	100	1.00	100.00		
22	Subtotal			2,000.00		
23	Tax			100.00		
24	Profit			100.00		
25	Total			2,200.00		

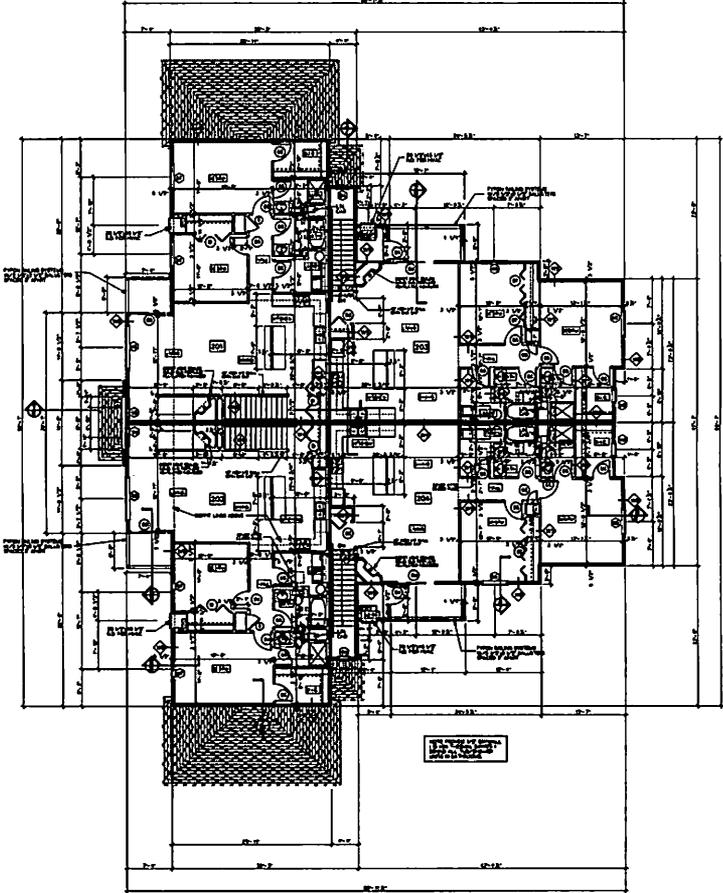


FARRIS HANSEN & ASSOCIATES, INC.
 Engineering, Architecture, Surveying
 7 Progress Court, P.O. Box 237
 Littleton, Colorado 80120
 PHONE: (303) 732-7098
 FAX: (303) 732-0888

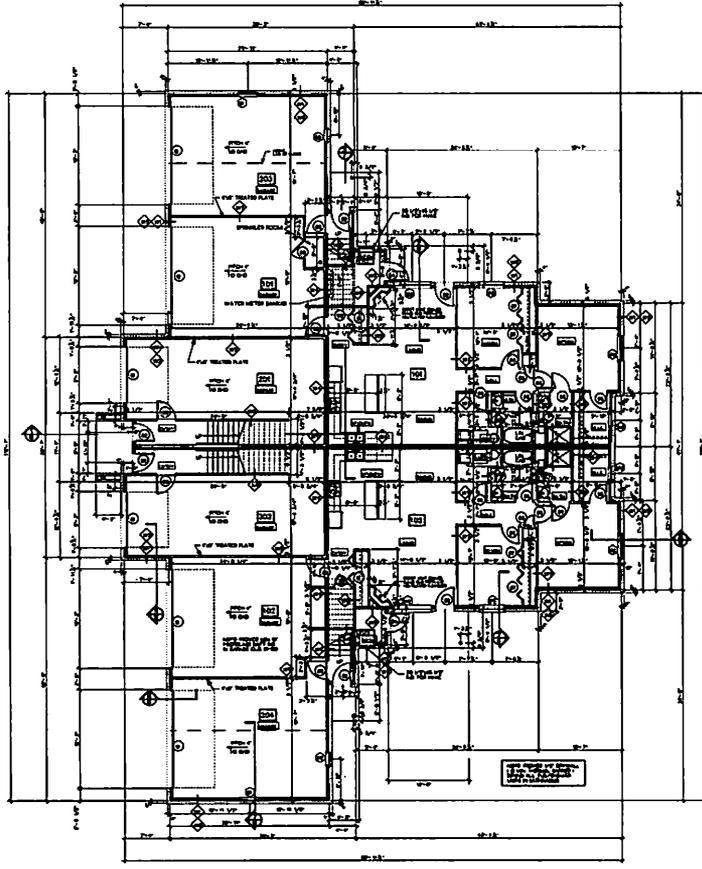
**EXTERIOR ELEVATIONS
 GENERAL SPECIFICATIONS
 DOOR SCHEDULE**

FARRIS HANSEN & ASSOCIATES, INC.
 Engineering, Architecture, Surveying
 7 Progress Court, P.O. Box 237
 Littleton, Colorado 80120
 PHONE: (303) 732-7098
 FAX: (303) 732-0888

PLANNING AND DESIGN SERVICES, INC. 2518 N.W. 11TH AVENUE, SUITE 200, MIAMI, FL 33142-3121



SECOND FLOOR PLAN



FIRST FLOOR PLAN

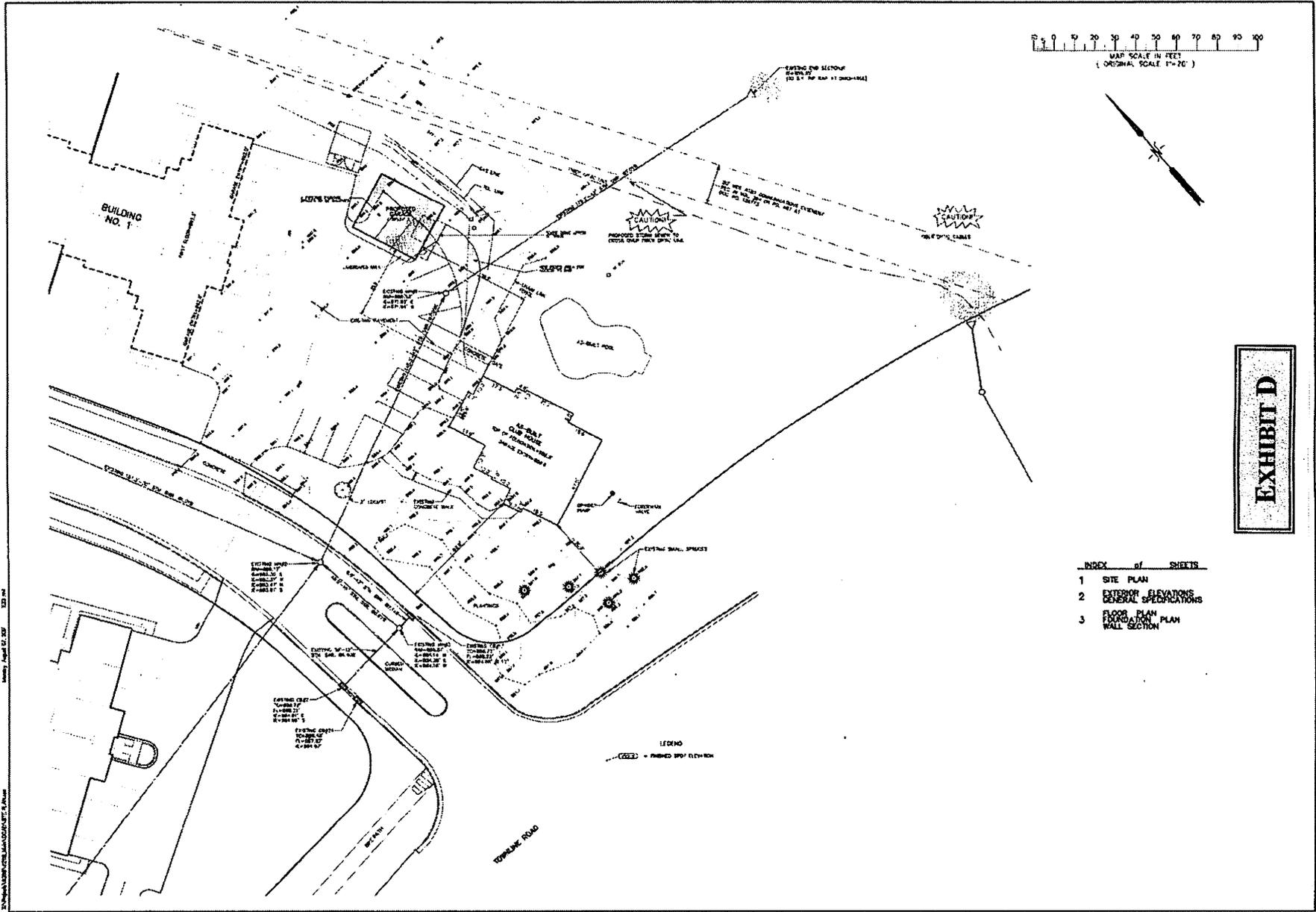


FARRIS HANSEY & ASSOCIATES, INC.
ENGINEERING, ARCHITECTURE, SURVEYING
6 UNIT - BUILDING
EAST SCULPE AVENUE
CITY OF LAKE GENEVA, WILMARTH CO., WISCONSIN

FIRST FLOOR PLAN
SECOND FLOOR PLAN

FARRIS HANSEY & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Progress Court, P.O. Box 437
Lake Geneva, WI 53151
Office (262) 232-2000
Fax (262) 232-2666

PROJECT NO.
6266PW.17
DATE
12/12/17
SHEET NO.
3 of 3



0 10 20 30 40 50 60 70 80 90 100
 MAP SCALE IN FEET
 (ORIGINAL SCALE 1"=20')



EXHIBIT D

- INDEX of SHEETS
- 1 SITE PLAN
 - 2 EXTERIOR ELEVATIONS
GENERAL SPECIFICATIONS
 - 3 FLOOR PLAN
FOUNDATION PLAN
WALL SECTION

LEGEND
 (---) = FINISHED SPOT ELEVATION



**SOUTHWIND PRAIRIE COMMUNITY
 MAINTENANCE GARAGE**
 CITY OF LAKE CROWN, WASHINGTON COUNTY, MISSOURI

SITE PLAN

FAIRBANKS, MAHONEY & ASSOCIATES, INC.
 Professional Mechanical, Electrical
 & Plumbing Engineers, Inc.
 1000 North 10th Street
 Des Moines, IA 50319
 Phone: (515) 281-8888

NO.	DESCRIPTION	DATE
1	PRELIMINARY	11/10/00
2	REVISED	11/10/00
3	REVISED	11/10/00
4	REVISED	11/10/00
5	REVISED	11/10/00
6	REVISED	11/10/00
7	REVISED	11/10/00
8	REVISED	11/10/00
9	REVISED	11/10/00
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47	REVISED	11/10/00
48	REVISED	11/10/00
49	REVISED	11/10/00
50	REVISED	11/10/00

0280.MAN
 02/25/2000
 1 of 3



SOUTHERN PRAIRIE COMMUNITY
MAINTENANCE GARAGE
CITY OF LAKE GENA, WASHINGTON CO. WISCONSIN

EXTERIOR ELEVATIONS
GENERAL SPECIFICATIONS

FAIRBANK, HANSEN & ASSOCIATES, INC.
Engineers, Architects, Surveyors
Professional Office No. 2000 1st St.
Decorah, IA 52001
Phone (562) 771-1018
Fax (562) 771-1008

DESIGNED BY
BOGEMAN
DRAWN BY
D. D. DUFF
SHEET NO.
2 of 3

GENERAL SPECIFICATIONS

EARTHWORK

- A. Existing Utilities - Locate by hand excavation and provide protection from damage. Coordinate with G.C. to verify locations by staking and marking. Do not locate utilities by electronic means unless G.C. is advised of their location and providing complete temporary protection.
- B. Street Closures - To existing utilities as directed by City Engineer.
- C. Site to be worked shall be a general subgrade 2" of finish material (bank sand) and topsoil 2" thick.
- D. Base 4" for drive on grade shall be a minimum and 6" for all other areas. 2" of topsoil shall be placed over base. Base material shall be approved by G.C.
- E. Subgrade materials shall be approved by G.C. and tested for load to be used.
- F. Materials to be used shall be approved by G.C. and tested for load to be used.
- G. Excavate for foundation to establish and determine depth, including excavation to sufficient depth to avoid shifting and settling of other work and for foundation. This includes, but is not limited to, excavation for foundation, retaining walls, etc.
- H. Excavate for foundation to depth indicated to correct any existing foundation. This includes, but is not limited to, excavation for foundation, retaining walls, etc.

- I. Remove existing walls, concrete, foundation, retaining walls, etc. and replace with new. This includes, but is not limited to, foundation, retaining walls, etc.
- J. Verify the G.C. is correct in quantities and location of work and is not in excess with the work to be done.
- K. Excavate for foundation to depth indicated to correct any existing foundation. This includes, but is not limited to, excavation for foundation, retaining walls, etc.
- L. Do not use frozen material as material appearing to be in place. If frozen material is found, it shall be removed and replaced with approved material.
- M. Place all materials in 6" layers, compacting each layer to meet the minimum compaction specified. This includes, but is not limited to, foundation, retaining walls, etc.
- N. Base 4" for drive on grade shall be a minimum and 6" for all other areas. 2" of topsoil shall be placed over base. Base material shall be approved by G.C.
- O. Finish surface of work to be approved by G.C.
- P. Foundation work shall be done with a minimum of 2000 psi concrete. This includes, but is not limited to, foundation, retaining walls, etc.

- CAST-IN-PLACE CONCRETE
- A. COCCES AND STANCHIONS
- ACI 308 ACI 308 specify with appropriate provisions except as otherwise indicated.
- B. MIX PROPORTIONS AND DESIGN
- Proportion used by owner. Refer to ACI 308 or ACI 308.1 for design details and mixing instructions.
- C. CONCRETE MATERIALS
- Portland cement - ASTM C 151, type I or II, unless otherwise specified.
- Water - Clean, potable.
- Aggregates - ASTM C 33.
- D. REINFORCING MATERIALS
- Deformed reinforcing bars - ASTM A 615, Grade 60, unless otherwise specified.
- Welded wire fabric - ASTM A 95.
- E. CONCRETE PLACEMENT
- Hot and cold weather concrete with AC 308.
- F. CONCRETE STRENGTH
- Concrete strength for walls to be 3000 psi at 28 days and for floors to be 3000 psi at 28 days, except as noted.
- G. COVER ON REINFORCING BARS
- Cover on reinforcing shall be 3 inches and to be placed at 2 inches and to be placed at 2 inches.
- H. FINISHES AND CURING CONCRETE
- Reinforcing steel shall be coated with rust inhibitor and shall be protected from rust.
- Reinforcing steel shall be coated with rust inhibitor and shall be protected from rust.

- Other finish surfaces by steel decking shall be reserved.
- Steel shall have a 24 hour rust inhibitor. Provide protection to prevent rust. Refer to ACI 308.1 for details.
- MASONRY - SEE DRAWINGS
- A. Cultural Stone Masonry - Installed by G.C. installed by mason contractor. Color and style to be selected by OWNER.
- B. Cultural Stone Masonry - Installed by G.C. installed by mason contractor. Color and style to be selected by OWNER.

CONCRETE

- A. GENERAL
- All construction shall be done in accordance with Wisconsin Code, Section 102.01, and the Wisconsin Building Code, Section 102.01.
- B. LAYOUTS
- 1. Layouts shall be in accordance with the Wisconsin Building Code, Section 102.01.
- 2. Foundations shall be in accordance with the Wisconsin Building Code, Section 102.01.
- 3. Foundations shall be in accordance with the Wisconsin Building Code, Section 102.01.
- 4. Foundations shall be in accordance with the Wisconsin Building Code, Section 102.01.
- 5. Foundations shall be in accordance with the Wisconsin Building Code, Section 102.01.
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- 7. Foundations shall be in accordance with the Wisconsin Building Code, Section 102.01.
- 8. Foundations shall be in accordance with the Wisconsin Building Code, Section 102.01.
- 9. Foundations shall be in accordance with the Wisconsin Building Code, Section 102.01.
- 10. Foundations shall be in accordance with the Wisconsin Building Code, Section 102.01.

- MASONRY PROTECTION
- A. VAPOR BARRIER
- Clear polyethylene sheathing, 4 mil thick.
- B. BUILDING WRAP
- Protective TYPAR building wrap on all exterior walls. Building wrap to be installed in accordance with manufacturer's instructions.
- C. D.I.L. BLENDS
- 1. One layer of D.I.L. Blend to be installed on exterior walls.
- D. DRIVABLE ROOFING
- 1. Single
- 2. Double
- 3. Triple
- 4. Quadruple
- 5. Quintuple
- 6. Sextuple
- 7. Septuple
- 8. Octuple
- 9. Nonuple
- 10. Decuple
- 11. Undecuple
- 12. Duodecuple
- 13. Tredecuple
- 14. Quatuordecuple
- 15. Quindecuple
- 16. Sexdecuple
- 17. Septuaginta
- 18. Octoginta
- 19. Nonaginta
- 20. Centuple

- E. EXTERIOR FINISHES
- See quality control sheet with 17 specimens. Contractor to submit samples to Owner for approval. Owner to select color.
- F. EXTERIOR TRIM
- All trim to be installed in accordance with manufacturer's instructions. All trim to be installed in accordance with manufacturer's instructions.
- G. SHEET METAL WORK
- 1. Flashing & Drip Caves
- 2. Gutters & Downspouts
- 3. Chimneys
- 4. Skylights
- 5. Roofing
- 6. Siding
- 7. Windows
- 8. Doors
- 9. Stairs
- 10. Balconies
- 11. Decks
- 12. Fences
- 13. Retaining Walls
- 14. Foundations
- 15. Foundations
- 16. Foundations
- 17. Foundations
- 18. Foundations
- 19. Foundations
- 20. Foundations

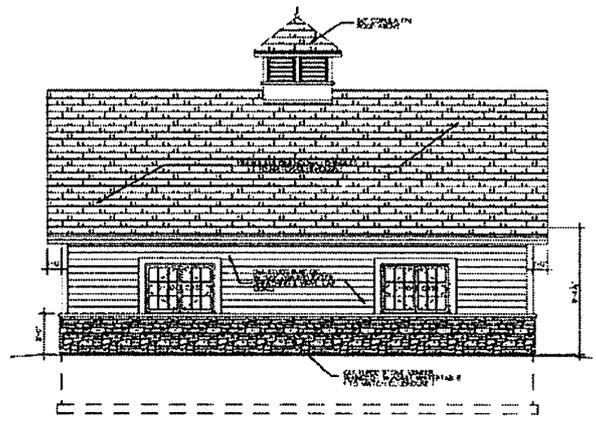
- 1. Single
- 2. Double
- 3. Triple
- 4. Quadruple
- 5. Quintuple
- 6. Sextuple
- 7. Septuple
- 8. Octuple
- 9. Nonuple
- 10. Decuple
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- 12. Duodecuple
- 13. Tredecuple
- 14. Quatuordecuple
- 15. Quindecuple
- 16. Sexdecuple
- 17. Septuaginta
- 18. Octoginta
- 19. Nonaginta
- 20. Centuple

- 1. Single
- 2. Double
- 3. Triple
- 4. Quadruple
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- 17. Septuaginta
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- 20. Centuple

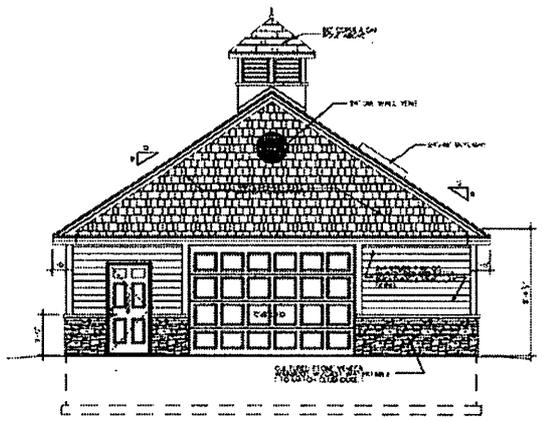
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- 8. Octuple
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- 15. Quindecuple
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- 19. Nonaginta
- 20. Centuple

- 1. Single
- 2. Double
- 3. Triple
- 4. Quadruple
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- 13. Tredecuple
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- 15. Quindecuple
- 16. Sexdecuple
- 17. Septuaginta
- 18. Octoginta
- 19. Nonaginta
- 20. Centuple

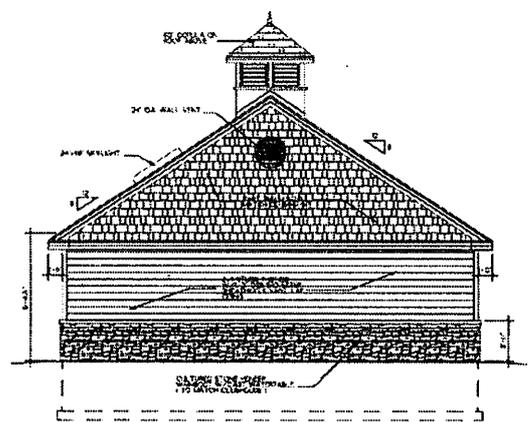
- 1. Single
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- 3. Triple
- 4. Quadruple
- 5. Quintuple
- 6. Sextuple
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- 8. Octuple
- 9. Nonuple
- 10. Decuple
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- 20. Centuple



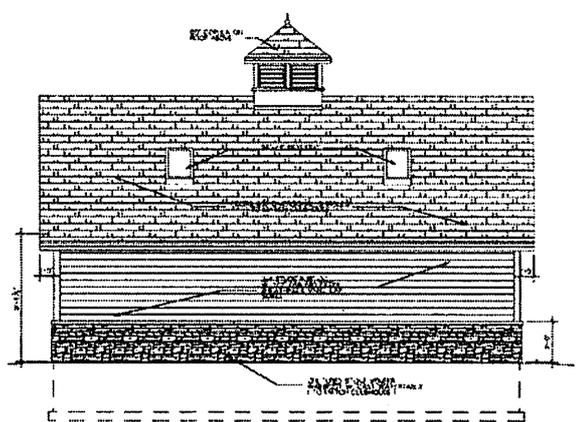
WEST ELEVATION



SOUTH ELEVATION

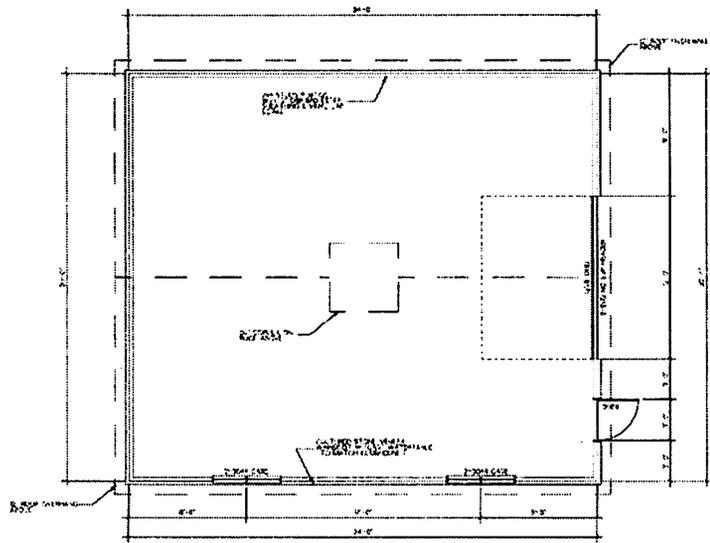


NORTH ELEVATION

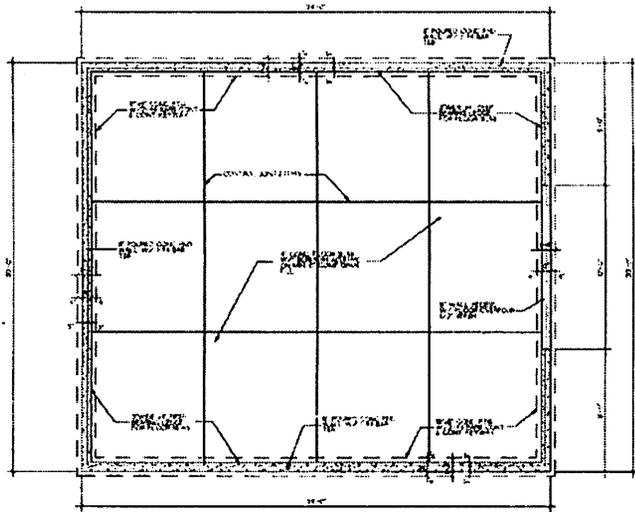


EAST ELEVATION

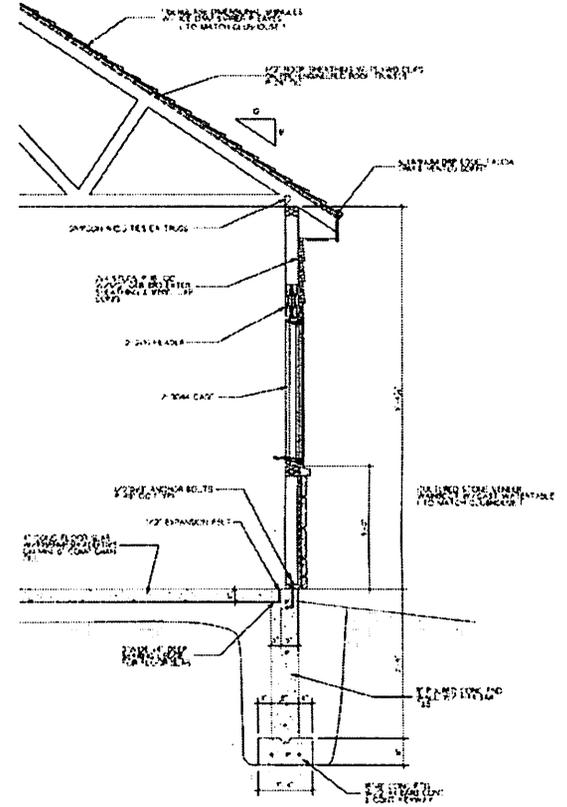
1. 1/2" = 1'-0" (Scale)
 2. 1/4" = 1'-0" (Scale)
 3. 1/8" = 1'-0" (Scale)
 4. 1/16" = 1'-0" (Scale)



FLOOR PLAN
SCALE 1/4" = 1'-0"



FOUNDATION PLAN
SCALE 1/4" = 1'-0"



WALL SECTION
SCALE 3/4" = 1'-0"



SOUTHWIND PRABE COMMUNITY
MAINTENANCE GARAGE
CITY OF LAKE GENEV, WAINWORTH CO., WISCONSIN

FLOOR PLAN
FOUNDATION PLAN
WALL SECTION

PAULSON, HANSEN & ALDRIDGE, INC.
Engineering, Architecture, Surveying
10000 Highway 52, P.O. Box 417
Madison, Wisconsin 53711
Tel: 608/271-2211 Fax: 608/271-2212

PROJECT NO. 02333MAN
DATE 05/04/07
SHEET NO. 2 of 3

South Wind

PRAIRIE

APARTMENT HOMES

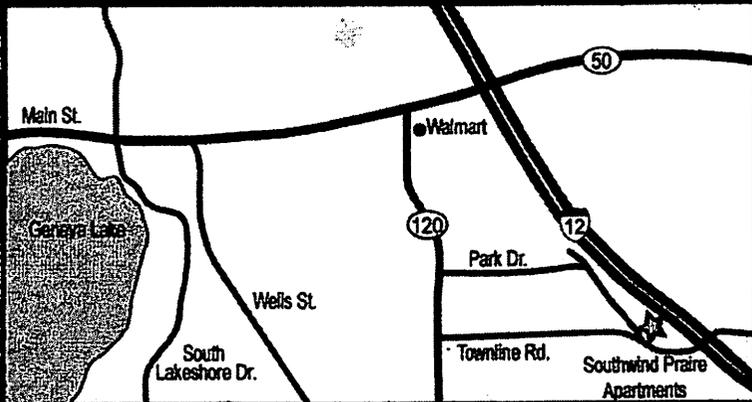
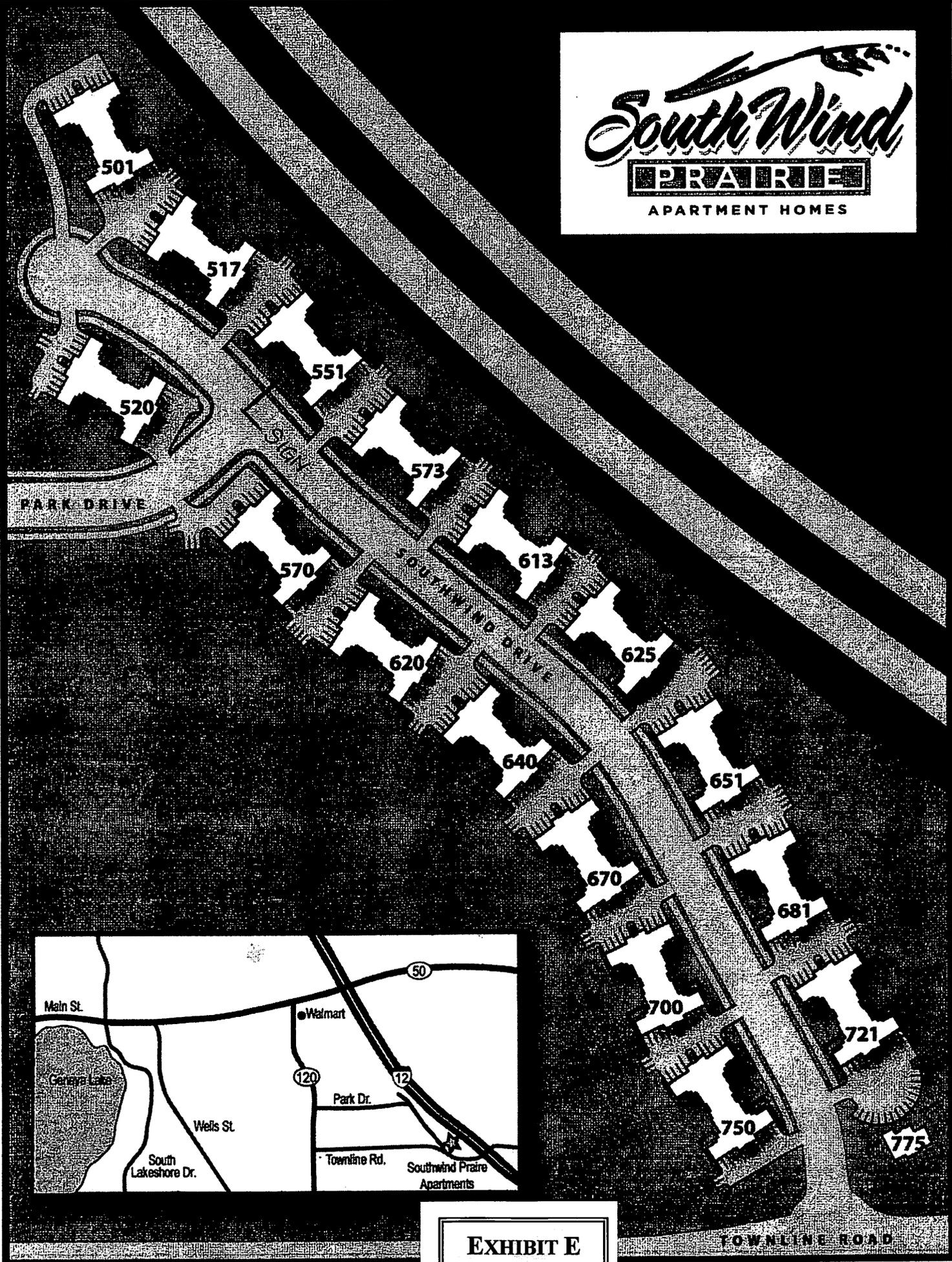


EXHIBIT E

TOWNLINER ROAD



TIMBER LINE SIGN
— CO., INC. —

www.timberlinesign.com



Southwind Prairie
6' x 5.5'

Hand-carved no. 1 Cedar.
21 sq.ft total = \$2510.00
Posts as shown \$ 165.00
Installation \$ 125.00

\$2600.00 total - Discount of
\$ 260.00 = \$2340.00 + tax.
One Half Down, balance on Completion.

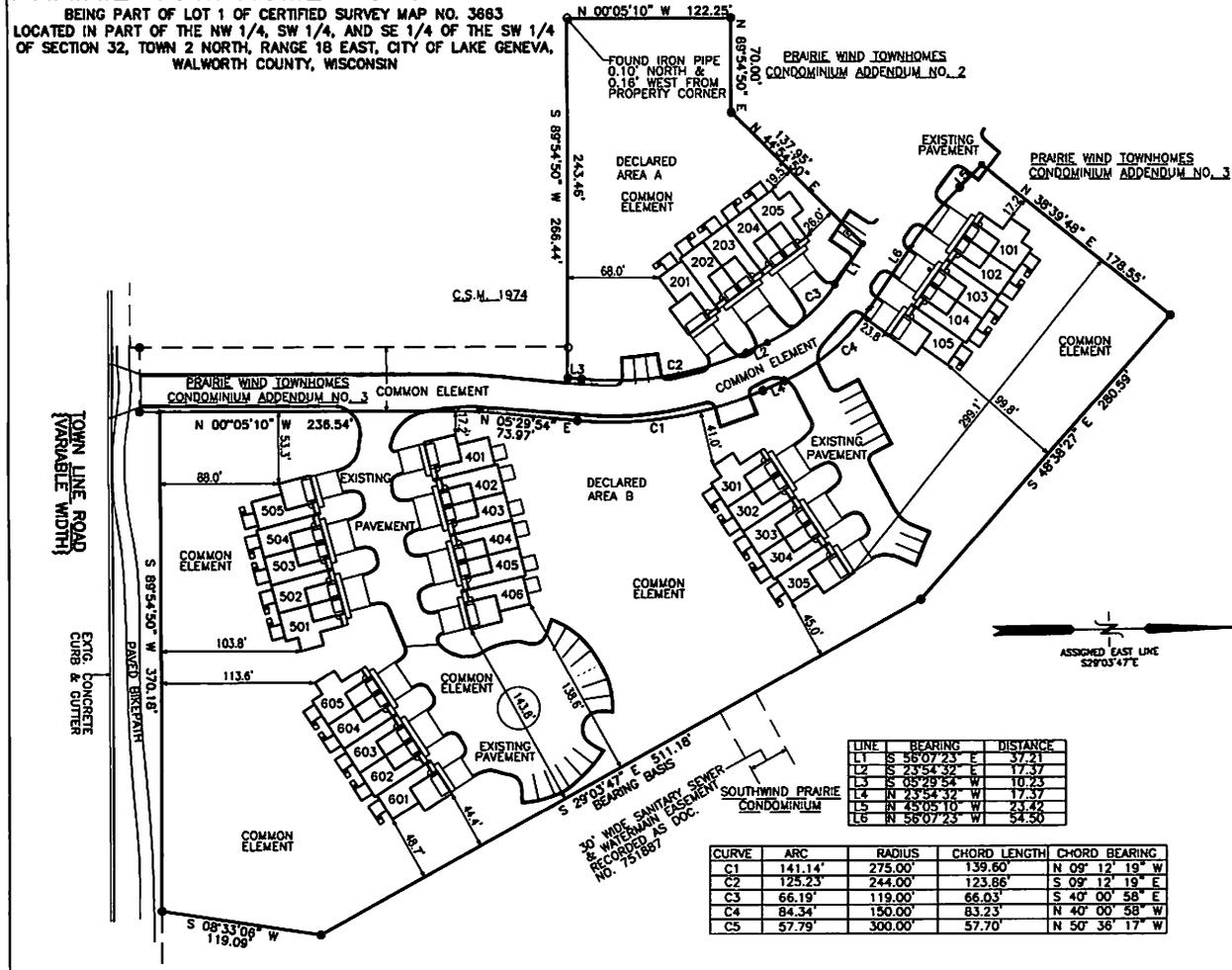
Timber Line Sign Co., Inc.
N3211 St. Rd. 87
Lake Geneva, WI 53147

APPROVED BY _____ DATE _____

Phone 262-245-8898
Fax 262-245-8898

PRAIRIE TOWNHOME CONDOMINIUM

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3683
 LOCATED IN PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF THE SW 1/4
 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA,
 WALWORTH COUNTY, WISCONSIN



- LEGEND**
- = FOUND IRON PIPE STAKE
 - = FOUND IRON REBAR STAKE
 - {XXX} = RECORDED AS
 - CE = COMMON ELEMENT

COMMON ELEMENTS = ALL THE CONDOMINIUM EXCEPT THE UNITS.

SOME IMPROVEMENTS SHOWN WITHIN THE DECLARED AREA REPRESENT PROPOSED CONSTRUCTION NOT COMPLETED AS OF THE DATE OF THIS MAP.

ALL BALCONIES AND PATIOS, DECKS, AND ALL STEPS AND PORCHES PLACED AT THE ENTRANCES TO ANY UNIT SHALL BE A PART OF THE COMMON ELEMENT AS A LIMITED COMMON ELEMENT AND NOT PART OF ANY INDIVIDUAL UNIT. HOWEVER, EACH RESPECTIVE UNIT OWNER SHALL BE ENTITLED TO THE EXCLUSIVE USE AND POSSESSION OF ANY SUCH BALCONY, PATIO, DECK, AND SUCH STEPS AND PORCH. DIRECT ACCESS TO WHICH IS PROVIDED FROM THE RESPECTIVE UNIT AND LOCATED OUTSIDE OF AND ADJOINING EACH RESPECTIVE UNIT.

SEE SHEET 2 FOR LEGAL DESCRIPTIONS AND CERTIFICATIONS

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
 7 RIDGWAY COURT, PO BOX 437
 ELKHORN, WISCONSIN 53121
 PHONE: (262) 723-2098
 FAX: (262) 723-5886

PROJ. 6269.2013 | DATE: 09/08/2017 | SHEET 1 OF 6

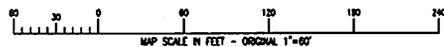


EXHIBIT F

X:\PROJECTS\6269\6269_2017\ACAD\6269_2017 Condo.dwg

PRAIRIE TOWNHOME CONDOMINIUM

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663
LOCATED IN PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF THE SW 1/4
OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA,
WALWORTH COUNTY, WISCONSIN

LEGAL DESCRIPTION DECLARED AREA PARCEL A

LANDS LOCATED IN PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663, RECORDED IN VOLUME 22 ON PAGE 10 AS DOCUMENT NO. 593854; LOCATED IN PART OF THE NORTHWEST 1/4, SOUTHWEST 1/4, AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 1 OF C.S.M. 3663 AT THE NORTHERLY RIGHT-OF-WAY OF TOWN LINE ROAD; THENCE S 89DEG 54MIN 50SEC W, 198.99 FEET ALONG THE SAID NORTHERLY RIGHT-OF-WAY LINE TO AN IRON PIPE STAKE; THENCE CONTINUE, S 00DEG 05MIN 10SEC E, 15.01 FEET; THENCE CONTINUE, S 89DEG 54MIN 50SEC W, 218.94 FEET TO THE EAST LINE OF CERTIFIED SURVEY MAP NO. 1974 (C.S.M. 1974); THENCE ALONG SAID EAST LINE, N 00DEG 05MIN 10SEC W, 318.00 FEET TO THE NORTHEAST CORNER OF SAID C.S.M. 1974 AND THE POINT OF BEGINNING; THENCE S 89DEG 54MIN 50 SEC W, 243.35 FEET TO THE NORTHWEST CORNER OF SAID C.S.M. 1974; THENCE N 00DEG 05MIN 10SEC W, 122.25 FEET; THENCE N 89DEG 54MIN 50SEC E, 70.00 FEET; THENCE N 44DEG 54MIN 50SEC E, 137.95 FEET; THENCE S 56DEG 07MIN 23SEC E, 37.21 FEET; THENCE 66.91 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 119.00 FEET AND A CHORD WHICH BEARS S 40DEG 00MIN 58SEC E, 66.03 FEET; THENCE S 23DEG 54MIN 32SEC E, 17.37 FEET; THENCE 125.23 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 244.00 FEET AND A CHORD WHICH BEARS S 09DEG 12MIN 19SEC E, 123.86 FEET; THENCE S 05DEG 29MIN 54SEC W, 10.23 FEET; THENCE S 89DEG 54MIN 50SEC W, 23.09 FEET TO THE POINT OF BEGINNING. CONTAINING 42,313 SQUARE FEET (0.97 ACRES) OF LAND, MORE OR LESS.

LEGAL DESCRIPTION DECLARED AREA PARCEL B

LANDS LOCATED IN PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3663, RECORDED IN VOLUME 22 ON PAGE 10 AS DOCUMENT NO. 593854; LOCATED IN PART OF THE NORTHWEST 1/4, SOUTHWEST 1/4, AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1 OF C.S.M. 3663 AT THE NORTHERLY RIGHT-OF-WAY OF TOWN LINE ROAD; THENCE S 89DEG 54MIN 50SEC W, 370.18 FEET; THENCE N 00DEG 05MIN 10SEC W, 236.54 FEET; THENCE N 05DEG 29MIN 54SEC E, 73.97 FEET; THENCE 141.14 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 275.00 FEET AND A CHORD WHICH BEARS N 09DEG 12MIN 19SEC W, 139.60 FEET; THENCE N 23DEG 54MIN 32SEC W, 17.37 FEET; THENCE 84.34 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 150.00 FEET AND A CHORD WHICH BEARS N 40SEC 00MIN 58SEC W, 83.23 FEET; THENCE N 56DEG 07MIN 23SEC W, 54.50 FEET; THENCE 57.79 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 300.00 FEET AND A CHORD WHICH BEARS N 50DEG 38MIN 17SEC W, 57.70 FEET; THENCE N 45DEG 05MIN 10SEC W, 23.42 FEET; THENCE N 38DEG 39MIN 48SEC E, 178.55 FEET TO THE NORTHEASTERLY LINE OF SAID C.S.M. 3663; THENCE ALONG SAID NORTHEASTERLY LINE, S 48DEG 38MIN 27SEC E, 280.59 FEET; THENCE CONTINUE, S 29DEG 03MIN 47SEC E, 511.18 FEET; THENCE CONTINUE, S 08DEG 33MIN 06SEC W, 119.09 FEET TO THE POINT OF BEGINNING. CONTAINING 200,513 SQUARE FEET (4.60 ACRES) OF LAND, MORE OR LESS.

I, PETER S. GORDON, A WISCONSIN PROFESSIONAL LAND SURVEYOR, S-2101, DO HEREBY CERTIFY THAT THIS CONDOMINIUM PLAT IS A CORRECT REPRESENTATION OF THE CONDOMINIUM DESCRIBED AND THE IDENTIFICATION AND LOCATION OF EACH UNIT AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THIS PLAT.

DATED: SEPTEMBER 6, 2017

PETER S. GORDON P.L.S. 2101

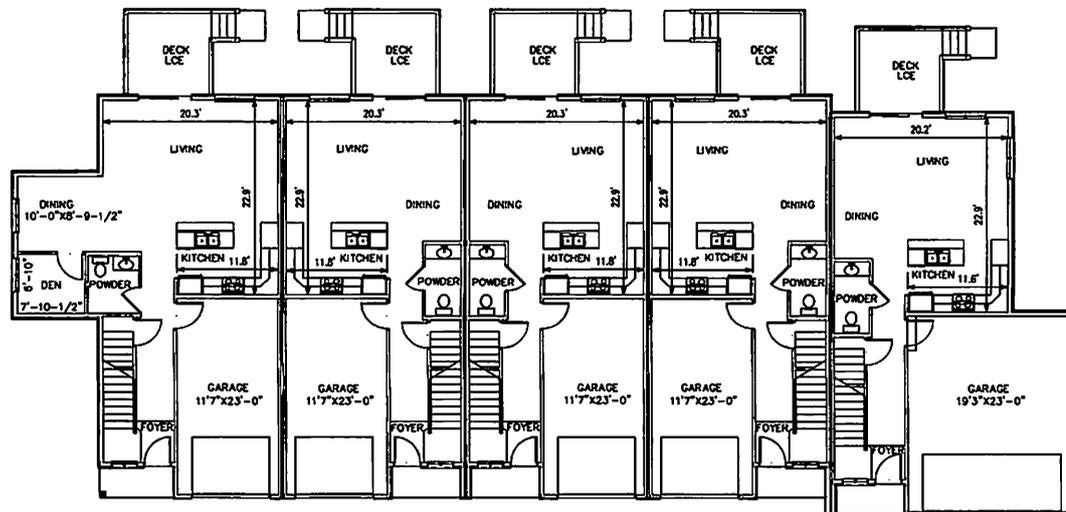
FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT, PO BOX 437
ELKHORN, WISCONSIN 53121
PHONE: (262) 723-2098
FAX: (262) 723-5888

PROJ. 6269.2013 | DATE: 09/06/2017 | SHEET 2 OF 6

PRAIRIE TOWNHOME CONDOMINIUM

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3863
 LOCATED IN PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF THE SW 1/4
 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA,
 WALWORTH COUNTY, WISCONSIN

5 UNIT BUILDING - FIRST FLOOR PLAN



UNIT 101	UNIT 102	UNIT 103	UNIT 104	UNIT 105
UNIT 501	UNIT 502	UNIT 503	UNIT 504	UNIT 505
UNIT 205 - MIRROR	UNIT 204 - MIRROR	UNIT 203 - MIRROR	UNIT 202 - MIRROR	UNIT 201 - MIRROR
UNIT 305 - MIRROR	UNIT 304 - MIRROR	UNIT 303 - MIRROR	UNIT 302 - MIRROR	UNIT 301 - MIRROR
UNIT 605 - MIRROR	UNIT 604 - MIRROR	UNIT 603 - MIRROR	UNIT 602 - MIRROR	UNIT 601 - MIRROR
FIRST FLOOR AREA=849 f12 SECOND FLOOR AREA=1063 f12 TOTAL LIVING AREA=1,912 f12 GARAGE AREA=283 f12 TOTAL UNIT AREA=2,195 f12	FIRST FLOOR AREA=873 f12 SECOND FLOOR AREA=781 f12 TOTAL LIVING AREA=1,454 f12 GARAGE AREA=283 f12 TOTAL UNIT AREA=1,737 f12	FIRST FLOOR AREA=873 f12 SECOND FLOOR AREA=781 f12 TOTAL LIVING AREA=1,454 f12 GARAGE AREA=283 f12 TOTAL UNIT AREA=1,737 f12	FIRST FLOOR AREA=873 f12 SECOND FLOOR AREA=781 f12 TOTAL LIVING AREA=1,454 f12 GARAGE AREA=283 f12 TOTAL UNIT AREA=1,737 f12	FIRST FLOOR AREA=873 f12 SECOND FLOOR AREA=821 f12 TOTAL LIVING AREA=1,494 f12 GARAGE AREA=475 f12 TOTAL UNIT AREA=1,969 f12

NOTE: THESE FLOOR PLANS HAVE BEEN PREPARED USING INFORMATION SHOWN ON THE ARCHITECTURAL PLANS FOR THIS BUILDING AND DO NOT REPRESENT MEASUREMENTS OF THE BUILDING IN PLACE. ANY PHYSICAL BOUNDARIES OF ANY UNIT OR COMMON ELEMENTS CONSTRUCTED OR RECONSTRUCTED IN SUBSTANTIAL CONFORMITY WITH THE CONDOMINIUM PLAT SHALL BE PRESUMED TO BE ITS BOUNDARIES, REGARDLESS OF THE SHIFTING, SETTLEMENT, OR LATERAL MOVEMENT OF ANY BUILDING AND REGARDLESS OF MINOR VARIATIONS BETWEEN THE PHYSICAL BOUNDARIES AS DESCRIBED IN THE DECLARATION OR SHOWN ON THE CONDOMINIUM PLAT AND THE ACTUAL PHYSICAL BOUNDARIES OF ANY SUCH UNIT OF COMMON ELEMENT AS FINALLY CONSTRUCTED.

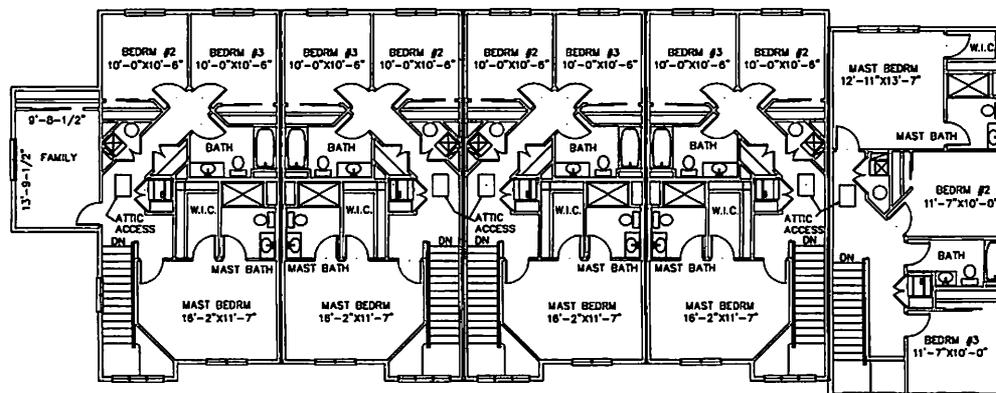
LCE = LIMITED COMMON ELEMENT

DIAGRAMATIC FLOOR PLANS
 SCALE: 1" = 10'

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
 7 RIDGWAY COURT, PO BOX 437
 ELKHORN, WISCONSIN 53121
 PHONE: (262) 723-2098
 FAX: (262) 723-5888
 PROJ: 6269.2013 | DATE: 09/06/2017 | SHEET 3 OF 6

PRAIRIE TOWNHOME CONDOMINIUM

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3683
 LOCATED IN PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF THE SW 1/4
 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA,
 WALWORTH COUNTY, WISCONSIN



UNIT 101	UNIT 102	UNIT 103	UNIT 104	UNIT 105
UNIT 501	UNIT 502	UNIT 503	UNIT 504	UNIT 505
UNIT 205 - MIRROR	UNIT 204 - MIRROR	UNIT 203 - MIRROR	UNIT 202 - MIRROR	UNIT 201 - MIRROR
UNIT 305 - MIRROR	UNIT 304 - MIRROR	UNIT 303 - MIRROR	UNIT 302 - MIRROR	UNIT 301 - MIRROR
UNIT 605 - MIRROR	UNIT 604 - MIRROR	UNIT 603 - MIRROR	UNIT 602 - MIRROR	UNIT 601 - MIRROR

5 UNIT BUILDING - SECOND FLOOR PLAN

NOTE: THESE FLOOR PLANS HAVE BEEN PREPARED USING INFORMATION SHOWN ON THE ARCHITECTURAL PLANS FOR THIS BUILDING AND DO NOT REPRESENT MEASUREMENTS OF THE BUILDING IN PLACE. ANY PHYSICAL BOUNDARIES OF ANY UNIT OR COMMON ELEMENTS CONSTRUCTED OR RECONSTRUCTED IN SUBSTANTIAL CONFORMITY WITH THE CONDOMINIUM PLAT SHALL BE PRESUMED TO BE ITS BOUNDARIES, REGARDLESS OF THE SHIFTING, SETTLEMENT, OR LATERAL MOVEMENT OF ANY BUILDING AND REGARDLESS OF MINOR VARIATIONS BETWEEN THE PHYSICAL BOUNDARIES AS DESCRIBED IN THE DECLARATION OR SHOWN ON THE CONDOMINIUM PLAT AND THE ACTUAL PHYSICAL BOUNDARIES OF ANY SUCH UNIT OF COMMON ELEMENT AS FINALLY CONSTRUCTED.

LCE = LIMITED COMMON ELEMENT

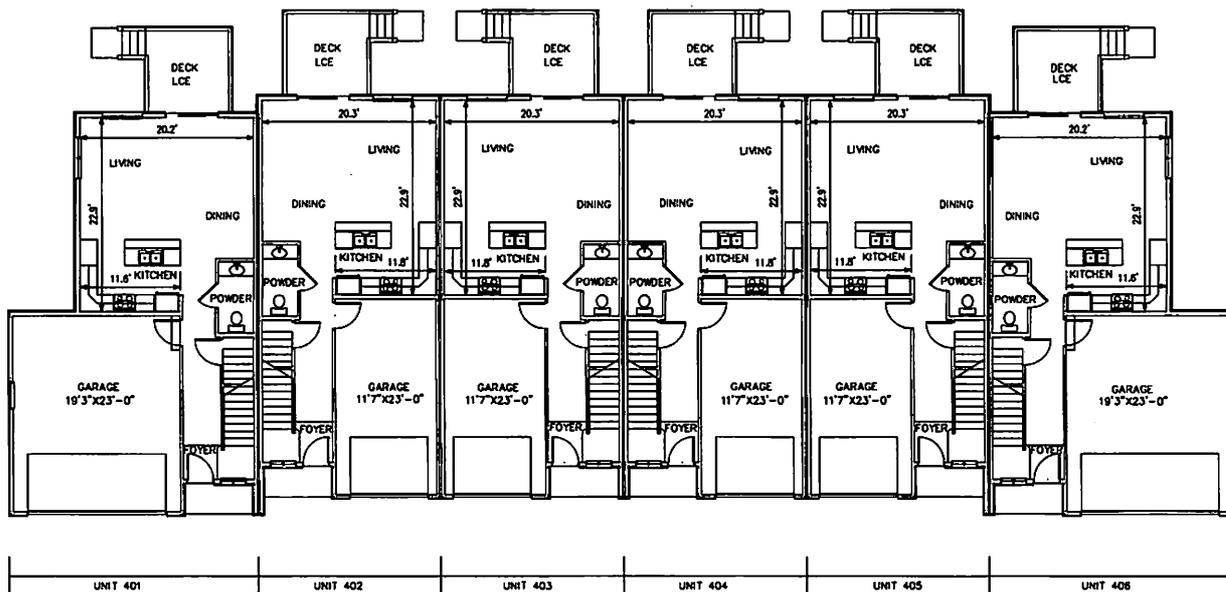
DIAGRAMATIC FLOOR PLANS
 SCALE: 1" = 10'

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
 7 RIDGWAY COURT, PO BOX 437
 ELKHORN, WISCONSIN 53121
 PHONE: (262) 723-2098
 FAX: (262) 723-5866
 PROJ. 6269.2013 | DATE: 09/08/2017 | SHEET 4 OF 6

PRAIRIE TOWNHOME CONDOMINIUM

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3683
 LOCATED IN PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF THE SW 1/4
 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA,
 WALWORTH COUNTY, WISCONSIN

6 UNIT BUILDING - FIRST FLOOR PLAN



UNIT 401
 FIRST FLOOR AREA=873 f12
 SECOND FLOOR AREA=821 f12
 TOTAL LIVING AREA=1,494 f12
 GARAGE AREA=475 f12
 TOTAL UNIT AREA=1,969 f12

UNIT 402
 FIRST FLOOR AREA=873 f12
 SECOND FLOOR AREA=781 f12
 TOTAL LIVING AREA=1,454 f12
 GARAGE AREA=283 f12
 TOTAL UNIT AREA=1,737 f12

UNIT 403
 FIRST FLOOR AREA=873 f12
 SECOND FLOOR AREA=781 f12
 TOTAL LIVING AREA=1,454 f12
 GARAGE AREA=283 f12
 TOTAL UNIT AREA=1,737 f12

UNIT 404
 FIRST FLOOR AREA=873 f12
 SECOND FLOOR AREA=781 f12
 TOTAL LIVING AREA=1,454 f12
 GARAGE AREA=283 f12
 TOTAL UNIT AREA=1,737 f12

UNIT 405
 FIRST FLOOR AREA=873 f12
 SECOND FLOOR AREA=781 f12
 TOTAL LIVING AREA=1,454 f12
 GARAGE AREA=283 f12
 TOTAL UNIT AREA=1,737 f12

UNIT 406
 FIRST FLOOR AREA=873 f12
 SECOND FLOOR AREA=821 f12
 TOTAL LIVING AREA=1,494 f12
 GARAGE AREA=475 f12
 TOTAL UNIT AREA=1,969 f12

NOTE: THESE FLOOR PLANS HAVE BEEN PREPARED USING INFORMATION SHOWN ON THE ARCHITECTURAL PLANS FOR THIS BUILDING AND DO NOT REPRESENT MEASUREMENTS OF THE BUILDING IN PLACE. ANY PHYSICAL BOUNDARIES OF ANY UNIT OR COMMON ELEMENTS CONSTRUCTED OR RECONSTRUCTED IN SUBSTANTIAL CONFORMITY WITH THE CONDOMINIUM PLAT SHALL BE PRESUMED TO BE ITS BOUNDARIES, REGARDLESS OF THE SHIFTING, SETTLEMENT, OR LATERAL MOVEMENT OF ANY BUILDING AND REGARDLESS OF MINOR VARIATIONS BETWEEN THE PHYSICAL BOUNDARIES AS DESCRIBED IN THE DECLARATION OR SHOWN ON THE CONDOMINIUM PLAT AND THE ACTUAL PHYSICAL BOUNDARIES OF ANY SUCH UNIT OF COMMON ELEMENT AS FINALLY CONSTRUCTED.

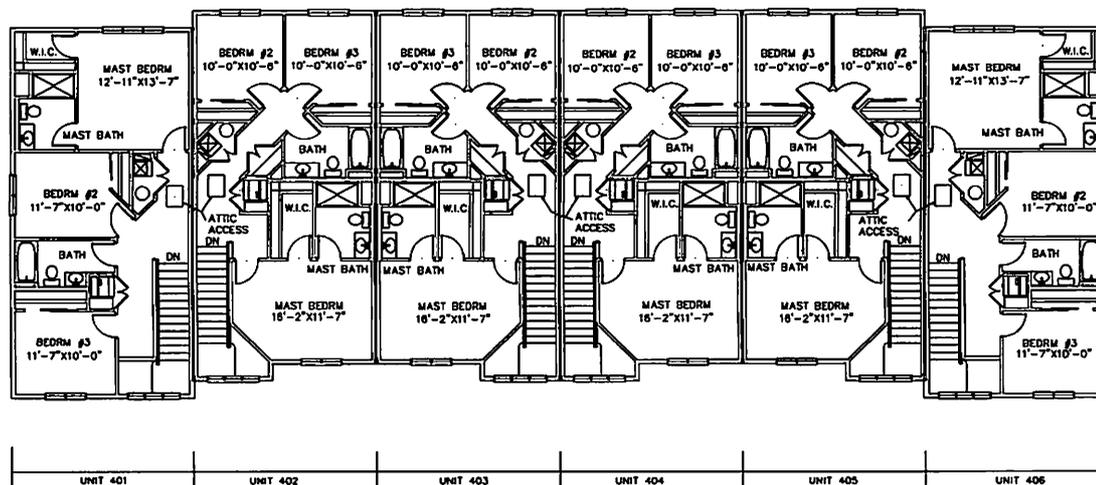
LCE = LIMITED COMMON ELEMENT

DIAGRAMATIC FLOOR PLANS
 SCALE: 1" = 10'

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
 7 RIDGWAY COURT, PO BOX 437
 ELKHORN, WISCONSIN 53121
 PHONE: (262) 723-2098
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 PROJ. 6269.2013 | DATE: 09/08/2017 | SHEET 5 OF 6

PRAIRIE TOWNHOME CONDOMINIUM

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3863
 LOCATED IN PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF THE SW 1/4
 OF SECTION 32, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA,
 WALWORTH COUNTY, WISCONSIN



6 UNIT BUILDING - SECOND FLOOR PLAN

NOTE: THESE FLOOR PLANS HAVE BEEN PREPARED USING INFORMATION SHOWN ON THE ARCHITECTURAL PLANS FOR THIS BUILDING AND DO NOT REPRESENT MEASUREMENTS OF THE BUILDING IN PLACE. ANY PHYSICAL BOUNDARIES OF ANY UNIT OR COMMON ELEMENTS CONSTRUCTED OR RECONSTRUCTED IN SUBSTANTIAL CONFORMITY WITH THE CONDOMINIUM PLAT SHALL BE PRESUMED TO BE ITS BOUNDARIES, REGARDLESS OF THE SHIFTING, SETTLEMENT, OR LATERAL MOVEMENT OF ANY BUILDING AND REGARDLESS OF MINOR VARIATIONS BETWEEN THE PHYSICAL BOUNDARIES AS DESCRIBED IN THE DECLARATION OR SHOWN ON THE CONDOMINIUM PLAT AND THE ACTUAL PHYSICAL BOUNDARIES OF ANY SUCH UNIT OF COMMON ELEMENT AS FINALLY CONSTRUCTED.

LCE = LIMITED COMMON ELEMENT

DIAGRAMATIC FLOOR PLANS
 SCALE: 1" = 10'

FARRIS, HANSEN & ASSOCIATES, INC.

ENGINEERING - ARCHITECTURE - SURVEYING

7 RIDGWAY COURT, PO BOX 437

ELKHORN, WISCONSIN 53121

PHONE: (262) 723-2098

FAX: (262) 723-5886

PROJ. 6269.2013 | DATE: 09/08/2017 | SHEET 6 OF 6

Southwind Prairie Apts, Community II
 Landscaper Plans, 12, 12, 2017

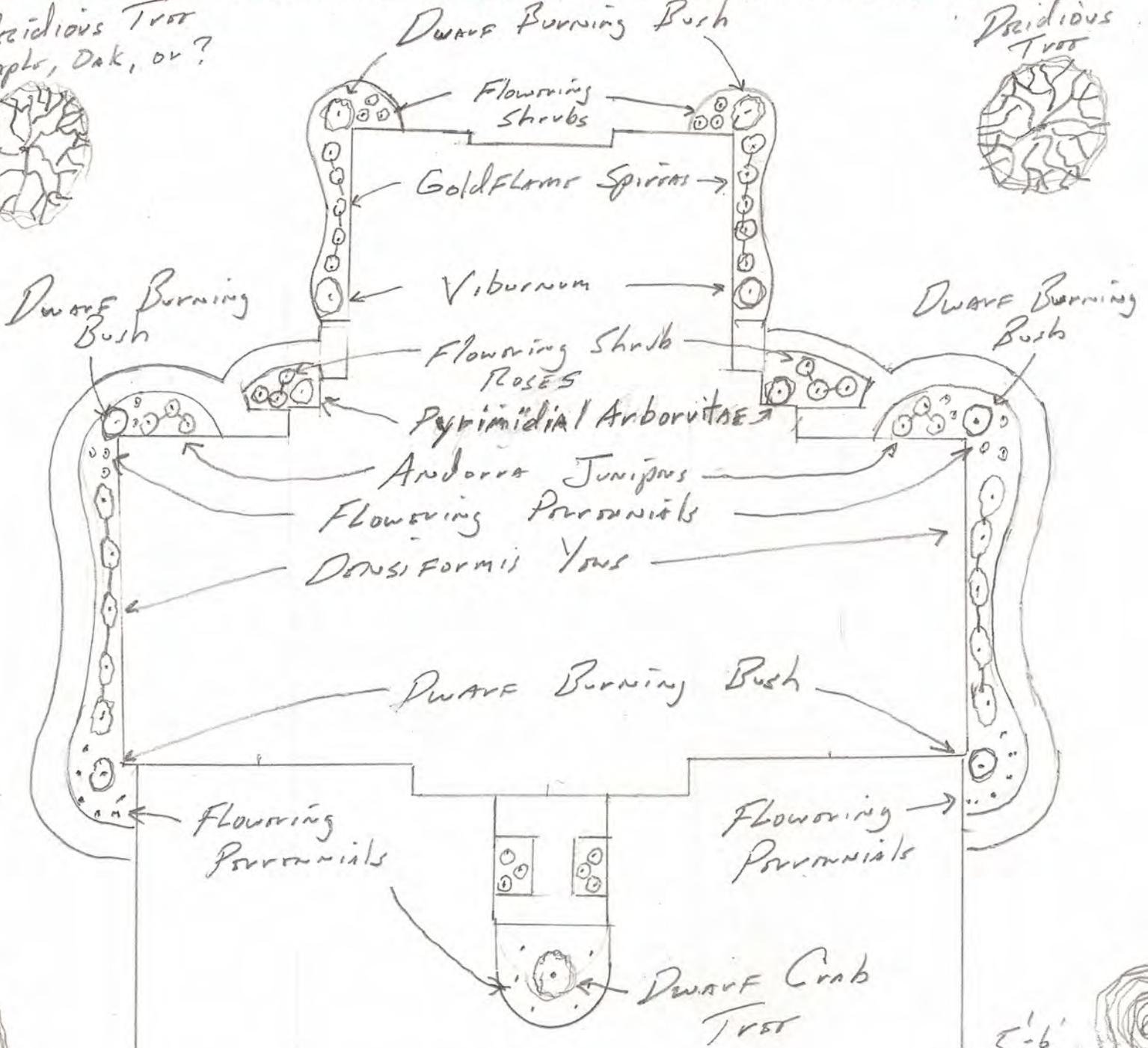


1301 West Puetz Road • Oak Creek, WI 53154 • Telephone 414-571-1811 • Fax 414-571-1810 • hickorylandscape@wi.rr.com

Deciduous Tree
 Maple, Oak, or?



Deciduous Tree



5'-6' Tall Spruce

All Beds Edged With Black Poly Edging,
 Fabric + Mississippi Stone in Beds

5'-6' Tall Spruce



