



## FINANCE, LICENSE & REGULATION COMMITTEE

MONDAY, DECEMBER 28, 2015 – 6:00 PM

### COUNCIL CHAMBERS, CITY HALL

#### AGENDA

1. Call to Order by Alderman Kupsik
2. Roll Call
3. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda except for public hearing items. Comments will be limited to 5 minutes.
4. Approve the Finance, License and Regulation Committee Meeting minutes of December 14, 2015, as prepared and distributed.
5. **LICENSES & PERMITS**
  - a. Original Class “A”/”Class A” Intoxicating Liquor and Fermented Malt Beverage License application filed by Gaur Enterprises Inc d/b/a GT66, 605 Williams Street, Lake Geneva, E. Thomas Kaczmarek, Agent, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, clearance of any Department of Revenue holds by all parties, and contingent upon Geneva Country Store surrendering their license
  - b. Original 2015-2016 Operator’s (Bartender) License application filed by Emily Bailey, Rebecca Gritzuk, Ashley Key, and Kevin Smith
6. Discussion/Recommendation on **Resolution 15-R60**, a resolution to write off Accounts Receivable deemed uncollectible to Breakaway Event Productions in the amount of \$6,366.17 and William McCarron in the amount of \$19,911.80
7. Discussion/Recommendation on **Resolution 15-R61**, a resolution implementing position pay increases including effective date of City Administrator and amending Comptroller salary per contract
8. Discussion/Recommendation on **Resolution 15-R62**, a resolution amending the City’s Schedule of Fees to increase resident and non-resident boat launch fees (*recommended Dec. 14, 2015 by Piers, Harbors & Lakefront*)
9. Discussion/Recommendation on upgrading parking enforcement handheld equipment with United Public Safety in the amount of \$14,005 for capital and annual costs of \$8,967 funded by the Parking Fund
10. Discussion/Recommendation on Shoreline Rip-Rap repair funding for South Lakeshore Drive along Big Foot State Park (*recommended Dec. 10, 2015 by Public Works Committee*)
11. **Presentation of Accounts**
  - a. Purchase Orders (none)
  - b. Prepaid Bills in the amount of \$3,436.42
  - c. Regular Bills in the amount of \$86,061.33
  - d. Acceptance of Monthly Treasurer’s Report for July 2015

#### 12. Adjournment

*Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk’s office in advance so the appropriate accommodations can be made.*

**FINANCE, LICENSE & REGULATION COMMITTEE**  
**MONDAY, DECEMBER 14, 2015 – 6:00 PM**  
**COUNCIL CHAMBERS, CITY HALL**

Chairperson Kupsik called the meeting to order at 6:00 p.m.

**Roll Call.** Present: Aldermen Howell, Kupsik, Kordus and Wall. Absent (Arrived Late): Alderman Gelting. Also Present: City Administrator Oborn, Comptroller Pollitt and City Clerk Waswo.

**Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.** None.

**Approval of Minutes.** Wall/Kordus motion to approve the Finance, License and Regulation Committee Meeting minutes of November 23, 2015, as prepared and distributed. Motion carried 4 to 0.

**LICENSES & PERMITS**

**Kordus/Wall motion to recommend approval of Original 2015-2016 Operator's (Bartender) License application filed by Sindee Benson, Andrea Brabazon, Carrie Brockmeyer, Danielle Jansen, Sabrina Mace, Anthony Mutter, and Amy Yachik.** Motion carried 4 to 0.

**Kordus/Howell motion to recommend approval of Resolution 15-R59, a resolution implementing position wage grades and pay increases.** City Administrator Oborn stated there are 3 different types of actions: a 2% increase, a mid-low increase which is the halfway point between the low and the mid, and there are two positions that would not get an increase as they are above the maximum. All are full-time positions except the Fire Chief. The grade implementations and pay increases will be effective January 1.

Alderman Wall questioned why the Fire Chief is graded at a 17, the Police Chief a 19, the Comptroller an 18 and the Assistant Police Chief a 17. Mr. Oborn explained he recommended the Fire Chief at an 18. There is a significant increase on that position as it is going to the middle grade. This is an ongoing process and will be looked at every year. There will be some movement as they look at complexity between grades. Mr. Wall questioned why the Assistant City Clerk is only at a 6 and stated the City Clerk deserves to be a 12, but doesn't think there should be such a disparity between the two. Mr. Oborn replied the option is certainly there. When this was done for Personnel he included positions that could possibly go up a grade and the Assistant City Clerk was one with the consideration of a higher level. We did not give that position a step up to the middle which could be done or bump that one up between the minimum and the mid grade. Mr. Kupsik stated there was a discussion at Personnel and they were all agreeable to what was presented.

Mr. Kupsik questioned if the City Administrator's raise would be effective on his one year anniversary. In the past, employees were not eligible for increases until their one year mark. Mr. Oborn said that could be done but it is not currently written that way. His one year anniversary is on May 24.

Mr. Kordus hoped this will be the last time for across the board increases. He would like to make a concerted effort to get into a pay for performance system. Mr. Oborn said the next step is implementation. Mr. Kupsik noted the whole purpose of this was to get everyone on an even level. Motion carried 4 to 0.

**Wall/Kordus motion to recommend approval of award of Bid to Peck & Weis of Elkhorn, Wisconsin for the current ceiling heating system repairs in the 1065 and 1070 Carey Street buildings in the amount of \$15,444 (Recommended Dec. 10, 2015 by Public Works).** This is a change as they will be replacing some of the tubing. Funding is available and still within the budget. Alderman Wall was happy the bid went to a local company versus an outsider. Motion carried 4 to 0.

**Howell/Kordus motion to recommend approval of award of Bid to Dan Larsen Landscaping of Cedarburg, Wisconsin for the 2015 Fall Tree Planting in the amount of \$29,651 funded from TIF #4 (Recommended Dec. 10, 2015 by Public Works).** Three bids were returned with Dan Larsen being the lowest by a significant margin. The next closest bid was in the \$42,000-\$45,000 range. It covers approximately 100 trees with planting, funded from TIF. The company has done good work with the City in the past and provides a warranty. Motion carried 4 to 0.

**Discussion/Action on TIF Grant and Developer's Agreement for demolition of Traver Hotel**

Kordus/Kupsik motion to accept the Developer's Agreement per the amended form presented. The Traver Hotel redevelopment is earmarked for \$300,000 but estimates are coming in around \$150,000. Mr. Oborn recommended approval of the agreement and noted it has all the safeguards they wanted. It puts a lien on the property and the City only reimburses for the cost of demolition. The amount not spent will go back to the other taxing districts or it can be reassigned. In the development agreement they have 5 years and the goal is to get \$500,000 of tax increment going on the tax roll. This project would not be possible but for the City contributing funds for demolition. They hope once they have a clear lot, they will market the property and get over a half a million dollars on the tax roll. Motion carried 4 to 0.

Alderman Gelting arrived at 6:17pm.

**Presentation of Accounts – Alderman Kupsik**

Purchase Orders. None.

Wall/Kordus motion to recommend approval of Prepaid Bills in the amount of \$11,834.08. Unanimously carried.

Kordus/Wall motion to recommend approval of Regular Bills in the amount of \$190,677.09. Unanimously carried.

Kordus/Gelting motion to accept monthly Treasurer's Report for June 2015. Unanimously carried.

**Adjournment**

Kordus/Gelting motion to adjourn at 6:20 p.m. Unanimously carried.

/s/ Sabrina Waswo, City Clerk

**THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE  
FINANCE, LICENSE & REGULATION COMMITTEE**



**REGULAR CITY COUNCIL MEETING**  
**MONDAY, DECEMBER 28, 2015 – 7:00 PM**  
**COUNCIL CHAMBERS, CITY HALL**

**AGENDA**

1. Mayor Connors calls the meeting to order
2. Pledge of Allegiance – Alderman Kordus
3. Roll Call
4. Awards, Presentations, and Proclamations
5. Re-consider business from previous meeting
6. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will to be limited to 5 minutes.
7. Acknowledgement of Correspondence
8. Approve Regular City Council Meeting minutes of December 14, 2015, and Special Joint City Council and Planning and Zoning Commissioners minutes of August 17, 2015, October 19, 2015 and November 30, 2015, as prepared and distributed
9. **CONSENT AGENDA.** Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.
  - a. Original Class “A”/“Class A” Intoxicating Liquor and Fermented Malt Beverage License application filed by Gaur Enterprises Inc d/b/a GT66, 605 Williams Street, Lake Geneva, E. Thomas Kaczmarek, Agent, contingent upon payment of all outstanding liabilities and delinquencies with the City of Lake Geneva and wholesaler invoices, clearance of any Department of Revenue holds by all parties, and contingent upon Geneva Country Store surrendering their license
  - b. Original 2015-2016 Operator’s (Bartender) License applications filed by Emily Bailey, Rebecca Gritzuk, Ashley Key, and Kevin Smith
10. Item removed from the Consent Agenda
11. **Finance, License and Regulation Committee Recommendations – Alderman Kupsik**
  - a. **Resolution 15-R60**, a resolution to write off Accounts Receivable deemed uncollectible to Breakaway Event Productions in the amount of \$6,366.17 and William McCarron in the amount of \$19,911.80

- b. **Resolution 15-R61**, a resolution implementing position pay increases including effective date of City Administrator and amending Comptroller salary per contract
- c. **Resolution 15-R62**, a resolution amending the City's Schedule of Fees to increase resident and non-resident boat launch fees (*recommended Dec. 14, 2015 by Piers, Harbors & Lakefront*)
- d. Discussion/Action on upgrading parking enforcement handheld equipment with United Public Safety in the amount of \$14,005 for capital and annual costs of \$8,967 funded by the Parking Fund
- e. Discussion/Action on Shoreline Rip-Rap repair funding for South Lakeshore Drive along Big Foot State Park (*recommended Dec. 10, 2015 by Public Works Committee*)

**12. Plan Commission Recommendations – Alderman Kupsik**

- a. **Resolution 15-R64**, pursuant to the adopted findings of fact authorizing the issuance of a Conditional Use Application filed by Kelly C. Frazier of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Bruce & Joy Irussi, 13481 Edgewater Drive, Lakewood, OH 44107, to construct an addition to a Single Family Residence using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at 145 Lakeview Drive, Lake Geneva, WI, Tax Key No. ZLM 00074, subject to City staff comments, and with the provisions that the owner construct the drainage system as presented, approved, and inspected by the City Engineer, verify if an additional manhole cover is needed, deed the portions of storm sewer constructed in the City right of way (ROW) to the City, restore all areas constructed in the ROW to pre-existing conditions, check that storm sewer does not interfere with the ability to supply utilities to undeveloped lots on the west side of Lakeview Drive, provide a sequence of construction to the Building Inspector and City Engineer, and agreement to maintain the storm sewer inlets on the owners property in perpetuity.
- b. Discussion/Action on a Precise Implement Plan (PIP) Amendment for additions to an existing building filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Geneva Professional Group, 312 Center Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00161 subject to any City Staff Comments.
- c. **Resolution 15-R65**, pursuant to the adopted findings of fact authorizing the issuance of a Conditional Use Application filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Edith G. Andrew Trust for the installation of a decorative fence in excess of three feet (six feet), in the front street yard on property line and in Right of Way at 1322 W. Main Street, Lake Geneva, WI 53147, Tax Key No. ZYUP 00094L, and subject to City staff comments with the provisions that the owner obtain a right of way occupancy permit from the Public Works department, annually provide a certificate of insurance naming the City of Lake Geneva as an additional insured, and agreement that the fence be removed at the owners expense if deemed necessary by the city at some future date.
- d. Discussion/Action on a Precise Implement Plan (PIP) Amendment filed by Tom Howald, ALDI, Inc. Oak Creek Division, 9342 South 13th Street, Oak Creek, WI 53154 for Interra-Sky Lake Geneva LLC, 2400 Augusta Drive, Suite 330, Houston TX, 77057 for the building at 200 N Edwards Blvd., Lake Geneva, WI 53147 to modify the entrance over an existing tenant space and add a loading dock to rear of building, Tax Key No. ZA196100001, subject to City staff comments and with the provision that staff approve brick colors to match existing units.
- e. **Resolution 15-R66**, pursuant to the adopted findings of fact authorizing the issuance of a Conditional Use Application filed by Lake Geneva Architects, 201 Broad Street for Dean Athans, W3155 Snake Road, Lake Geneva, WI 53147 to exceed the Twenty foot wide passive recreational corridor in the Shore Yard Setback for new construction at W3155 Snake Road, Lake Geneva, WI 53147, Tax Key No. ZWIL 00004, subject to City staff comments, and with the provision that the owner use the main driveway into the property for all construction activity.

- 13. Resolution 15-R63, a resolution appointing Election Inspectors for the 2016 – 2017 term**
- 14. Discussion/Action on request from Alderman Chappell and Alderman Hedlund to amend Zoning Ordinance Sections 98-206(b) and 98-206(p)**
- 15. Presentation of Accounts**
  - a. Purchase Orders (none)
  - b. Prepaid Bills in the amount of \$3,436.42
  - c. Regular Bills in the amount of \$86,061.33
  - d. Acceptance of Monthly Treasurer’s Report for July 2015
- 16. Mayoral Appointments.** None.
- 17. Closed Session**

Motion to go into Closed Session pursuant to Wis. Stat. 19.85(1)(e) for purposes of conducting other specified public business, whenever competitive bargaining reasons require a closed session concerning Police Union Negotiations (City Administrator Oborn)
- 18. Motion to return to open session pursuant to Wisconsin Statutes 19.85 (2) and take action on any items discussed in closed session**
- 19. Adjournment**

*Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk’s office in advance so the appropriate accommodations can be made.*

12/23/2015 1:03 pm

cc: Aldermen, Mayor, Administrator, Attorney, Department Heads, Media

**REGULAR CITY COUNCIL MEETING  
MONDAY, DECEMBER 14, 2015 – 7:00 PM  
COUNCIL CHAMBERS, CITY HALL**

Mayor Connors called the meeting to order at 7:00 p.m.

**Roll Call.** Present: Mayor Connors, Aldermen Chappell, Wall, Kordus, Hill, Gelting, Kupsik, Hedlund, Howell. Also Present: City Attorney Draper, City Administrator Oborn and City Clerk Waswo.

The Pledge of Allegiance was led by Alderman Wall.

**Awards, Presentations, and Proclamations.** Mayor Connors thanked everyone who helped with the Electric Light Parade on behalf of the Chamber and City.

**Re-consider business from previous meeting.** None.

**Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will to be limited to 5 minutes.**

David Williams spoke on the Hillmoor project stating there were lies and false statements made to residents about the project such as running the lake through the sewer system. They did not propose a big box store and never intend to. He gave the application to Mr. Slavney to verify they were asking for the right comprehensive plan category before submitting to the City, who agreed they were. If he thought something else was better, Mr. Slavney would have presented it.

Mary Jo Fesenmaier, 955 George Street, acknowledged the Plan Commission's vote of denial and encouraged the Council to vote unanimously to deny it as well. The City changes its planning map when there is a wrong estimate, which has not happened. She noted there are several approved developments that have not been fully developed; and there is no justification to change the comprehensive map.

Sherri Ames, 603 Center Street, agreed with Ms. Fesenmaier. She commented on Mr. Williams' statements, saying nobody twisted her arm to sign a petition or put a sign in her yard. She hopes the Council votes on what the constituents want and requested they vote no.

Penny Roehrer, 951 S. Lake Shore Drive, commented the developer's agreement says Lake Geneva Development Corporation which doesn't exist. On item 13 the Smart Growth Comprehensive Master Plan adopted in 2009 included the Hillmoor property as private recreation with rural holding. It should remain that way as the proposed development is not a compelling enough reason to change it. She hopes the Council values the public input and Plan Commission's decision to not make the change, but wait for something that is right.

Maureen Marks, 834 Dodge Street, is a proponent to maintain the comprehensive map plan the way it is with no change in planning or zoning. The improvement of Hillmoor as some type of citizens' group might actually help the current developers sell their lots. She feels Lake Geneva is overbuilt. The desire for increased tax revenue is a systemic problem in the City. She stated the property should have been put on the historic national register.

Dick Malmin, N1991 S. Lake Shore Drive, lives in the extraterritorial zone of Lake Geneva. He challenged what Mr. Williams said in regards to the lake system, stating it would have to use either City sewer or the White River. The lake would collect toxic storm water and must be flushed. He questioned if it would be dumped in the White River.

**Acknowledgement of Correspondence.** The City received an email on Dec. 3 from James Good hoping the rejection of the Hillmoor rezone will be the final outcome for this matter, on Dec. 14 a letter from Daniel Dooley in support of the Tempo Development, an email from Michael Ford requesting the use described be modified to Neighborhood Mixed use

from Planned Mixed use, and an email from Tanya Martinez and Charlene Klein in opposition of the Comprehensive plan change.

**Approval of Minutes.** Kordus/Kupsik motion to approve the Regular City Council Meeting minutes of November 23, 2015, and Special Council Meeting minutes of December 2, 2015, as prepared and distributed. Unanimously carried.

### **Consent Agenda**

**Original 2015-2016 Operator's (Bartender) License application filed by Sindee Benson, Andrea Brabazon, Carrie Brockmeyer, Danielle Jansen, Sabrina Mace, Anthony Mutter, and Amy Yachik**  
Kupsik/Wall motion to approve. Unanimously carried.

**Items removed from the Consent Agenda.** None.

**Gelting/Chappell motion to approve Ordinance 15-15 adding a stop sign on Lake View Drive at the first intersection with Orchard Lane.**

Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting "yes." Unanimously carried.

### **Finance, License and Regulation Committee Recommendations – Alderman Kupsik**

**Kupsik/Gelting motion to approve Amended Resolution 15-R58, correcting scriveners' error in the County Supervisory District.** This is correcting the County Supervisory District from 1 to 11.

Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting "yes." Unanimously carried.

**Kupsik/Hill motion to approve Resolution 15-R59, a resolution implementing position wage grades and pay increases.** This resolution implements raises and the wage scale. Alderman Wall questioned the wage grades of the Fire Chief, Police Chief, Comptroller, and Assistant Police Chief. Mr. Oborn initially proposed the Fire Chief as a grade 18 and the Personnel Committee recommended it be a 17 as the position is part-time. Mr. Wall respectfully disagreed. He questioned the disparity between the City Clerk graded as a 13 and the Assistant City Clerk as a 6; they should be more comparable. Alderman Hill agreed and felt the Assistant City Clerk is not half. Alderman Chappell said the pay scale grades mean nothing as within those grades there are ranges. They are not paid that much different depending where they are paid within those ranges. The grade scale does not mean they are qualified, it is an arbitrary number associated with a wide pay range. The Springsted Study's initial grade was a 5, and Mr. Oborn recommended it be raised to a 6. Ms. Hill has been very critical of the Springsted Study but feels they have to start somewhere. Mr. Oborn confirmed he discussed all the position grades with Department Heads who had conversations with their subordinates.

There was discussion on the WMCA survey of Deputy Clerk positions. Mr. Kordus stated just because the job is ranked at a 6 and another job is ranked at a 12 doesn't mean it's an exact proportion. It does not mean double the responsibility and double the salary. Ms. Chappell thinks it may be taken the next step further in Personnel over time. Right now it doesn't necessarily represent the complexity of the job.

Kupsik/Kordus motion an amendment to implement City Administrator rate change effective on his one year anniversary, May 24, 2016. Mr. Kupsik noted in the past most raises were granted to employees after one year of being employed. Ms. Hill questioned the step increases asking if the City Clerk should be removed from the motion. Mr. Draper stated this resolution could be approved with an amended resolution at the next meeting. Mr. Kordus asked if anything is specified in the employment contract regarding increases for the Administrator position. Mr. Draper answered he didn't believe steps were established in that specific contract. He is subject to review. Discussion followed relating to policies and past practice for employee raises before their one year anniversary. It was questioned if the Personnel Committee is intending to do this for all positions on an annual basis on the anniversary of hire. The understanding has been the first year employee would receive an increase on their first year anniversary and then annually on the first of the year after that. Mr. Oborn would get an increase on May 24 and get the annual increase on January, 2017. Mayor Connors noted this is an arbitrary decision and is not documented anywhere. Ms. Hill asked Mr. Oborn to discuss the policy on paying out increases relating to anniversary dates with the Comptroller and report

back to Personnel. Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting “yes.” Unanimously carried.

Roll Call Main Motion with Amendment: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting “yes.” Unanimously carried.

**Kupsik/Wall motion to approve award of Bid to Peck & Weis of Elkhorn, Wisconsin for the current ceiling heating system repairs in the 1065 and 1070 Carey Street buildings in the amount of \$15,444 funded from capital (Recommended Dec. 10, 2015 by Public Works).** The Assistant Director of Public Works went out for bids as the heating system is repairable. There was a previous approved expenditure that evaluated upgrading versus new. This amount came in under budget. It is actually two phases. They added air exchangers to remove the diesel and truck fumes from the building, and they had enough money left over to address the problems with the heating system.

Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting “yes.” Unanimously carried.

**Kupsik/Kordus motion to approve award of Bid to Dan Larsen Landscaping of Cedarburg, Wisconsin for the 2015 Fall Tree Planting in the amount of \$29,651 funded from TIF#4 (Recommended Dec. 10, 2015 by Public Works)**

Alderman Kupsik explained Dan Larsen Landscaping is highly recommended and had the low bid.

Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting “yes.” Unanimously carried.

#### **Discussion/Action on TIF Grant and Developer’s Agreement for demolition of Traver Hotel**

Kupsik/Wall motion to approve not to exceed \$150,000. Mayor Connors stated a draft agreement was included in the packet. The Council received an amended agreement with corrections. City Attorney Draper stated the changes were based upon negotiations with Mr. Torhorst who represents Lake Geneva Economic Development Corporation. He did forget to put Economic in the name. Essentially the agreement would give them a grant to demolish the building, regrade it, and reseed the property. There will be a lien against the property for \$150,000. In the event they do not build a project there worth at least \$500,000 within 5 years, they will be deemed to have defaulted on the agreement. In which case, we can foreclose that lien and receive the property back. Ms. Chappell questioned why grant the money versus loaning which gives some kind of insurance. Mr. Draper said they wouldn’t have time to get a loan with the TIF closing.

The recourse is the City would get the property back, not the money. Mr. Draper confirmed it is a first lien position mortgage. Mr. Gelting questioned if the development corporation would sell the lot is there a clause that we would recover excess proceeds of what they spent on the property. Mr. Draper replied no; most likely they are going to transfer the project to someone who will put it up. The lien will continue with the next buyer. The offer to purchase is contingent on TIF funds.

Alderman Hill questioned if asbestos is going to be part of the abatement. Mayor Connors said an independent firm was hired to go through the building. They came back with a preliminary report which was submitted to the DNR. The DNR asked them to test for a couple more substances, which they did. They brought in some abatement firms with two bids submitted. There were multiple bids on the demolition of the property. There was also a bid from an independent abatement firm offering to do an inspection to make sure everything was done correctly during the abatement and demolition. Tentatively what the development corporation recommended was the lowest priced firm on the abatement, the lowest priced firm on the demolition, and hiring an independent third party to supervise that no asbestos or other products were present. After the demolition there will be a vacant lot with grass on it. The current utilities will be capped off during the demolition and disconnected. As part of the demolition permit, they are required to do certain things to restore the property back to a proper condition. The property is currently zoned as general business.

Mr. Draper stated the reason the grant is being given is there would be nothing done to the property without it because of the expense of the property and demolition. There is no way to restore it ‘but for’ this particular grant; no one will jump into this structure. Ms. Hill questioned why they were not able to condemn the property. Mr. Draper stated the previous Building Inspector indicated there was not enough loss of value as a result of the condition of the structure to get a condemnation action. Mayor Connors added condemnation and raising a building is a long process they went through before on Marshall.

Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting “yes.” Unanimously carried.

## **Plan Commission Recommendations – Alderman Kupsik**

**Kupsik/Kordus motion to deny Amendment to the Comprehensive Plan on five parcels of land located at Tax Key No's. ZOP 00001, ZYUP 00001A, ZYUP 00001C, ZYUP 00131 & ZYUP 00153, Lake Geneva, Wisconsin, from Private Recreation Facilities to Planned Mixed Use. The change in the Comprehensive Plan may allow a change in Zoning from Rural Holding to Planned Development (PD).** *(Recommended for Denial by Plan Commission on Nov. 30, 2015).* Ms. Hill recused herself as she has a professional relationship with potential buyers for the property. Mr. Kupsik went over comments from Plan Commission members and the public hearing as noted in the joint Plan Commission minutes. Mr. Kordus feels there is a better use for the property and this development was a bit of a stretch. Mr. Wall is uncomfortable with the planned mixed use. He doesn't think the plan itself is that bad, but certainly is against the City purchasing the property. Roll Call: Chappell, Wall, Kordus, Gelting, Kupsik, Hedlund, Howell voting "yes." Motion carried 7 to 0 with Alderman Hill "abstaining."

## **Presentation of Accounts – Alderman Kupsik**

Purchase Orders. None.

## **Kupsik/Wall motion to approve Prepaid Bills in the amount of \$11,834.08.**

Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting "yes." Unanimously carried.

## **Kupsik/Kordus motion to approve Regular Bills in the amount of \$190,677.09.**

Alderman Hill questioned if the Cemetery tractor cab was a capital item in the 2015 budget. Mr. Oborn believes it was funded all out of the Cemetery. Mr. Kordus stated it was budgeted and paid for this year.

Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting "yes." Unanimously carried.

## **Kupsik/Kordus motion to acceptance of Monthly Treasurer's Report for June 2015.**

Alderman Hill commented it is difficult to budget when you are not sure how your current year is performing. She is curious when they will close out the year. Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting "yes." Unanimously carried.

**Mayoral Appointments.** Kupsik/Wall motion to appoint Linda Boilini to the Library Board as the Joint #1 Board representative, replacing Barb Dinan. Mayor Connors thanked Ms. Dinan for her work. Unanimously carried.

**Closed Session.** Kupsik/Kordus motion to go into Closed Session pursuant to Wis. Stat. 19.85(1)(c) considering employment, promotion, compensation or performance evaluation data of public employee Municipal Court Clerk Deanna Crisman, City Clerk Sabrina Waswo and Comptroller Peggy Pollitt over which the governmental body has jurisdiction or exercises responsibility.

Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting "yes." Unanimously carried.

The Council entered into closed session at 8:18 pm.

**Return to Open Session.** Hill/Howell motion to return to open session pursuant to Wisconsin Statutes 19.85 (2) and take action on any items discussed in closed session.

Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting "yes." Unanimously carried.

The Council reconvened in open session at 8:46 p.m.

**Hill/Kordus motion to instruct staff to move forward with Comptroller Peggy Pollitt's contract as presented in closed session and authorize the Mayor's signature for approval.**

Roll Call: Chappell, Wall, Kordus, Gelting, Hill, Kupsik, Hedlund, Howell voting "yes." Unanimously carried.

**Adjournment.** Kordus/Gelting motion to adjourn at 8:48 p.m. Unanimously carried.

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/s/ Sabrina Waswo, City Clerk

**THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE COMMON COUNCIL**

**CITY OF LAKE GENEVA  
SPECIAL JOINT MEETING OF CITY COUNCIL &  
PLANNING & ZONING COMMISSIONERS**

MONDAY, AUGUST 17, 2015- 5:30 PM  
COUNCIL CHAMBERS, CITY HALL

**MINUTES**

- 1. City Council meeting called to order by Mayor Connors at 5:30 pm.**
- 2. Planning & Zoning Commission meeting called to order by Mayor Connors at 5:30 pm.**
- 3. Roll Call of members of City Council**  
Present: Mayor Connors, Aldermen Chappell, Aldermen Wall, Aldermen Kupsik, Aldermen Hedlund, Aldermen Howell, Aldermen Hill and Aldermen Gelting  
Absent: Aldermen Kordus  
Also Present: City Administrator Oborn, City Attorney Draper, Assistant Gregoles
- 4. Roll Call of members of Planning and Zoning Commission**  
Present: Al Kupsik, John Gibbs, Doug Skates, Cindy Flower, Tyler Frederick, Sarah Adams  
Also Present: Planner Mike Slavney, Atty. Dan Draper, Mayor Connors, Inspector Robers, Assistant Gregoles
- 5. Election of Joint Committee Chairperson**  
Wall/Kupsik nominated Mayor Connors to be the joint committee chairperson.  
The motion carried unanimously approved.
- 6. Comments from the public, limited to 5 minutes per person for any items on the agenda except for public hearing items.** None
- 7. Acknowledgement of Correspondence submitted to the Council and Commission regarding the Comprehensive Plan Amendment**

Correspondence received prior to the meeting against the Comp Plan Amendment:

8-14-15 Protest Petitions received from James McIntosh, Maureen A. Marks and Mark Immer with a total of 132 signatures

8-17-15 Received handout – “Chapter 34 Historical Preservation”

8-17-15 Received handout – “Wisconsin State Statute 120.12 (21)”

8-17-15 Received a letter from Kris Kukla against the comp plan amendment

8-17-15 Protest Petition received from Virgil & Sharon Wuttke with 9 signatures

8-17-15 Received 3 photographs of the alley area across from the comp plan amendment area

8-17-15 Received optional new parking lot plan located on school property

Correspondence received prior to the meeting in support the Comp Plan Amendment:

8-17-15 Received a letter in support of the comp plan amendment from David C Williams

**8. Consultant presents a summary of the Comprehensive Plan**

Planner Slavney gave a summary presentation to the joint council and public.

Slavney expressed what the meeting is for in detail, clarifying the process with the Aldermen and the Planning Commissioners.

**9. Opening of the Public Hearing regarding an Amendment to the Comprehensive Plan on a parcel of land located at 833 Wisconsin Street, Lake Geneva, Wisconsin, Tax Parcel No. ZOP00100 changing the land use from Single Family Urban to Institutional and Community Services. The change in the Comprehensive Plan will allow a change in Zoning from Single-Family Residential -4 (SR-4) to Planned Development (PD) to allow an off-site parking lot on the premises for Central-Denison Elementary School.**

DISCUSSION

Mr. Henry presented a power point with handouts to the joint council members. Henry also clarified some comments made at the recent COW meeting. (*Handouts will be saved with these minutes.*)

Mr. Flitcroft also addressed the joint council members. He stated that the Bottom line is it is about safety for the children. In addition he also gave tow handouts (letters) to the joint council for consideration. (*Handouts will be saved with these minutes.*) He clarified that the extenuating circumstances are the limited timeline given by the property owner, for the purchasing of the property.

It was further concluded, that this would certainly not solve all of the traffic issues at the school but it could be a start. Other options have been and continue to be looked into with regards to parking in and around the school. (ie widening the streets to accommodate angled parking, switching LGMS and Central Dennison students, adding parking in Maple Park green area, etc.)

**10. Public Testimony**

PUBLIC SPEAKER #1 –Casy Sheekey -LG

He voiced his concerns and opposition to agenda item #8.

PUBLIC SPEAKER #2 – Maureen Marks -834 Dodge Street, LG

She voiced her concerns and opposition to agenda item #8.

PUBLIC SPEAKER #3 – George Stephen -1316 Pleasant St, LG

Speaker voiced his support for agenda item #8.

PUBLIC SPEAKER #4 – Rob Schulte – Douseman Transport – (bus co), LG

He voiced his support for agenda item #8.

He gave 12 letters in support from himself and his colleagues.

(*Letters attached to these minutes*)

PUBLIC SPEAKER #5 – Mr. Perez

He voiced his concerns and opposition to agenda item #8.

He is the son of mother who lives there.

PUBLIC SPEAKER #6 – Mark Immers - 821 Wisconsin, LG

Mr. Immers voiced his concerns and opposition to agenda item #8. He handed out photo's of the home in question. *(Photos are attached to these minutes)* He brought up concerns about possible asbestos in the home and proper removal of it.

PUBLIC SPEAKER #7 – Tara Trent -1105 Geneva St, LG

She voiced her concerns and opposition to agenda item #8.

PUBLIC SPEAKER #8 – Penny Roeher – S Lake Shore Dr, LG

Roeher voiced her concerns and opposition to agenda item #8.

PUBLIC SPEAKER #9 – Becky Buehler-Principle at Central Dennison, LG

She voiced her support for agenda item #8.

PUBLIC SPEAKER #10 – Virgil Wuetke -3954 Bray Rd, Elkhorn

Owner of apt bldg - He voiced his concerns and opposition to agenda item #8 for himself and his tenants.

PUBLIC SPEAKER #11 – Carolyn Eiseman - 1600 Linda Lane, LG

She is an 11 yr teacher at Central Dennison. She voiced her support for agenda item #8.

PUBLIC SPEAKER #12 – Charlene Klein – 817 Wisconsin St, LG

She voiced her concerns and opposition to agenda item #8.

She gave some handouts at the beginning of the meeting for the joint council.

- Protest Petitions with a total of 132 signatures
- “Chapter 34 Historical Preservation”
- “Wisconsin State Statute 120.12 (21)”

She read state statute and the city ordinances. She also stated that she has been in contact with Congressman Paul Ryan and is requesting his assistance in this matter.

PUBLIC SPEAKER #13 – Sharon M Jolly -5<sup>th</sup> Generation Resident, LG

She voiced her support for agenda item #8.

PUBLIC SPEAKER #14 – Demitra Condos -101 Summerhaven Lane, LG

She is a 4<sup>th</sup> yr teacher at Central Dennison. Speaker voiced their support for agenda item #8.

PUBLIC SPEAKER #15 – Gail Gygax -316 Geneva St, LG

She voiced her concerns and opposition to agenda item #8.

PUBLIC SPEAKER #16 – Jim Gottinger –Joint 1 - Superintendent of Schools, LG

He voiced his support for agenda item #8.

PUBLIC SPEAKER #17 – Kris Kukla -434 Madison St, LG

He voiced his concerns and opposition to agenda item #8.

PUBLIC SPEAKER #18 – Ken Etten -1109 Wisconsin, LG

He voiced his concerns and opposition to agenda item #8. He gave a map handout with alternative parking plan to the joint council prior to the meeting. *(Attached to these minutes)*

PUBLIC SPEAKER #19 – Teri O’Neil - 954 George St, LG

He voiced his concerns and opposition to agenda item #8.

PUBLIC SPEAKER #20 – Mary Jo Fesenmeyer - 955 George St, LG

She voiced her concerns and opposition to agenda item #8.

PUBLIC SPEAKER #21 – Jan Ecola - LG

She voiced her support for agenda item #8.

PUBLIC SPEAKER #22 –Megan Van Dyke – Fontana (teacher)

She voiced her support for agenda item #8.

PUBLIC SPEAKER #23 – Kyle Nugent –Asst Principal at Central Dennison, LG

He voiced his support for agenda item #8.

PUBLIC SPEAKER #24 – Tami Martin –Former Asst Principle at Central Dennison, LG

She voiced her support for agenda item #8.

PUBLIC SPEAKER #25 – Marcie Holman – Orchard St, LG

She voiced her support for agenda item #8.

PUBLIC SPEAKER #26 – Alderman Elizabeth Chappell – 513 Broad St, LG

She offered a suggestion to flip flop LGMS and Central Dennison students.

PUBLIC SPEAKER #27 – Barbara Dynon – S Edwards Blvd, LG

Speaker voiced their support for agenda item #8.

\*Additional packets of letters in support of the comp plan amendment were received during the public speaking session. (Letters are attached to these minutes) Names are listed below:

\*Joe Railton \*Jenni Weber \*Kristina Brown \*Meghan Guerra \*Arleen Krohn  
\*Bub & Dena Hansen \*Timothy Sireno \*Terry & Roxanne Krohn \*Edith Draper  
\*Andy & Stacy Smith \*Becky Buhler \*Mrs. Kory Garlock \*Bonnie Anderson  
\*Tuscan Tavern & Grill \*Ralph Bradden \*Scott Reiff \*David Reiff

#### DISCUSSION

There was discussion on several items that needed clarification, between Mr. Henry, Mr. Flitcroft, the Mayor and joint Council members. The alley width was confirmed at 16’ wide with a paved width of 14’ wide. Mr. Henry stated that the home itself is not on any type of listed registry. It is merely included with the Maple Park district and noted as a contributing structure. Drainage was discussed in detail. Mr. Flitcroft clarified that the funding for the parking lot project will come from the District’s existing fund balance (outside of the schools operating budget) and will not increase anyone’s taxes. Flower asked about other alternatives and there was some discussion on several previous ideas that have been and continue to be looked into with regards to parking in and around the school. (ie widening the streets to accommodate angled parking, switching LGMS and Central Dennison students, adding parking in Maple Park green area, houses behind the alley etc.) . Flitcroft concluded that this was the first workable solution.

Dr. Gottinger and Flower discussed the change to the younger aged children at Central Dennison. It was stated that the #1 reason for the change was Economic Desparity. To balance out the low income and free lunch children between Central Dennison and Eastview. Eastview had been at aprox 70%, while Central Dennison was at 50%. The change helped to balance these numbers out. Alderman Hill noted perhaps a bigger issue to be looked at is why there is such a high poverty level amongst the cities children. Hill further questioned the planning priorities to renovate the interior of the school with the parking safety issues of such concern. Flitcroft stated that the #1 issues were the heating and cooling and with the renovations that were recently completed the building should be running for another 40 years.

**11. Closing of the Public Hearing**

MOTION #1

Hill/Chapell moved to close the public hearing. The motion carried unanimously.

**12. Adjourn City Council**

MOTION #2

Hill/Wall moved to adjourn the Council Members only.

The motion carried unanimously. The Council was adjourned 7/0 at 8:17 pm.

*/s/Jackie Gregoles, B&Z Administrative Assistant*

**THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE CITY COUNCIL.**

**CITY OF LAKE GENEVA  
SPECIAL JOINT MEETING OF CITY COUNCIL &  
PLANNING & ZONING COMMISSIONERS**

MONDAY, OCTOBER 19, 2015- 5:30PM  
COUNCIL CHAMBERS, CITY HALL

**MINUTES**

- 1. City Council meeting called to order by Mayor Connors at 5:42 pm.**
- 2. Planning & Zoning Commission meeting called to order by Mayor Connors at 5:30 pm.**
- 3. Roll Call of members of City Council**  
Present: Mayor Connors, Aldermen Chappell, Aldermen Wall, Aldermen Kordus, Aldermen Hill, Aldermen Kupsik, Aldermen Hedlund, Aldermen Howell and Aldermen Gelting  
Also Present: City Administrator Oborn, City Attorney Draper, Assistant Gregoles
- 4. Roll Call of members of Planning and Zoning Commission**  
Present: Al Kupsik, John Gibbs, Doug Skates, Cindy Flower, Tyler Frederick  
Also Present: Planner Mike Slavney, Atty. Dan Draper, Mayor Connors, Inspector Robers, Assistant Gregoles  
**Absent:** Sarah Adams
- 5. Election of Joint Committee Chairperson**  
Wall/Kupsik nominated Mayor Connors to be the joint committee chairperson.  
The motion carried unanimously approved.
- 6. Comments from the public, limited to 5 minutes per person for any items on the agenda except for public hearing items. None**
- 7. Acknowledgement of Correspondence submitted to the Council and Commission regarding the Comprehensive Plan Amendment**

Correspondence received prior to the meeting against the Comp Plan Amendment:

- 9-22-15 Received an email letter from Mary Jo Fesenmaier against the comp plan amendment, along with suggestions for other uses for the property.
- 10-9-15 Received an email letter from Julie Whalen against the comp plan amendment.
- 10-14-15 Received an email letter from Charlene Klein against the comp plan amendment, along with several suggestions for other uses for the property.
- 10-16-15 Received a letter from Don and Alice Ogden against the comp plan amendment.
- 10-16-15 Received a letter from Paula J. Porubcan against the comp plan amendment.
- 10-19-15 Received a letter from Henry and Mary Sibbing against the comp plan amendment, along with suggestions for returning it to a municipally owned golf course.
- 10-19-15 Received 15 pages of Petitions against the comp plan amendment from Mary Jo Fesenmaier.
- 10-19-15 Received an email letter from Chad Hart against the comp plan amendment.*(rec'd after the mtg)*
- 10-19-15 Received an email letter from Nora Kilborn against the comp plan amendment.*(rec'd after the mtg)*
- 10-19-15 Received a letter from Thomas J. Anthony, MS against the comp plan amendment.

**8. Consultant presents a summary of the Comprehensive Plan**

Planner Slavney gave a summary presentation to the joint council and public.

Slavney expressed what the meeting is for in detail, clarifying the process with the Aldermen and the Planning Commissioners and the public.

**9. Opening of the Public Hearing regarding an Amendment to the Comprehensive Plan on four parcels of land located on Highway 50 East at Tax Key No's. ZOP 00001, ZYUP 00001C, ZYUP 00131 & ZYUP 00153, Lake Geneva, Wisconsin, changing the land use from Private Recreation Facilities to Neighborhood Mixed Use. The change in the Comprehensive Plan may allow a change in Zoning from Rural Holding (RH) to Planned Development (PD) to allow for a residential planned unit development with limited commercial lots around a 35+ acre lake setting.**

DISCUSSION – Atty David Williams, Lake Geneva (agent for Tempo Development Inc, Palos Pk, IL)

Applicant gave a brief summary of the request for Amendment to the Comp Plan to the joint council members and public.

Chuck Platz - Shorewest Real Estate, Lake Geneva

Platz gave a brief presentation to the joint council and public. He referenced other city projects that have already been done and well received by these developers. He spoke about the previous Developers who tried to develop the property but it did not go forward. He spoke about this new development idea and the positive impact it will have on the community of Lake Geneva.

Mike Ford - Tempo Development Inc., SW side of Chicago, IL

Ford addressed the joint council, planning members and public. He discussed the details of the proposed development and preliminary plan for Lake Hillmoor.

Mark Landstrom – Engineer

Landstrom gave a handout to the joint council and plan commission members showing the preliminary plan for Lake Hillmoor. He discussed the parcels for Single Family, Multi Family residences and also retail buildings. He discussed the plan for how to fill the lake and more.

*(Handout regarding Lake Hillmoor is attached to these minutes.)*

Alderman Hill asked when this was originally brought to the attention of the city or Plan Commission.

Slavney confirmed to Hill the original conceptual plan was brought before the Plan Commission in May 2015.

Per Hill's request, Slavney gave a step by step guideline of what this meeting determines and what will happen after this meeting.

Atty Draper stated that the published agenda and public notice were incorrect. Due to this fact his recommendation is to continue the meeting to a future date in the near future after a corrected agenda and notice can be published. The public hearing would be held at that time as well.

MOTION #1

Hill/Kupsik move to continue the meeting and the Public Hearing to a new meeting date in the near future after a corrected agenda and notice can be published. The motion carried unanimously.

**10. Public Testimony**

Not applicable due to the continuation of the meeting and public hearing.

It will be held at the rescheduled meeting.

**11. Closing of the Public Hearing**

Not applicable due to the continuation of the meeting and public hearing.  
It will be held at the rescheduled meeting.

**12. Adjourn City Council**

MOTION #2

Kordus/Wall moved to adjourn the Council Members only.

The motion carried unanimously. The Council was adjourned at 7:09 pm.

*/s/Jackie Gregoles, B&Z Administrative Assistant*

**THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE CITY COUNCIL.**

**CITY OF LAKE GENEVA  
SPECIAL JOINT MEETING OF CITY COUNCIL &  
PLANNING & ZONING COMMISSIONERS**

MONDAY, NOVEMBER 30, 2015- 6:00PM  
COUNCIL CHAMBERS, CITY HALL

**MINUTES**

- 1. City Council meeting called to order by Mayor Connors at 6:02 pm.**
- 2. Planning & Zoning Commission meeting called to order by Mayor Connors at 6:02 pm.**
- 3. Roll Call of members of City Council**  
Present: Mayor Connors, Aldermen Chappell, Aldermen Kordus, Aldermen Hill, Aldermen Kupsik, Aldermen Hedlund, Aldermen Howell and Aldermen Gelting  
Also Present: City Administrator Oborn, City Attorney Draper, Assistant Gregoles  
**Absent:** Aldermen Wall
- 4. Roll Call of members of Planning and Zoning Commission**  
Present: Al Kupsik, John Gibbs, Doug Skates, Cindy Flower, Tyler Frederick  
Also Present: Planner Mike Slavney, Atty. Dan Draper, Mayor Connors, Inspector Robers, Assistant Gregoles  
**Absent:** Sarah Adams
- 5. Election of Joint Committee Chairperson**  
Kupsik/Gelting nominated Mayor Connors to be the joint committee chairperson.  
The motion carried unanimously approved.
- 6. Comments from the public, limited to 5 minutes per person for any items on the agenda except for public hearing items.** None
- 7. Acknowledgement of Correspondence submitted to the Council and Commission regarding the Comprehensive Plan Amendment.**

Additional correspondence was received after the Joint meeting packet was distributed but prior to the meeting. A full list and copy of the additional seven letters are attached to the additional correspondence packet for these minutes.

- 8. Consultant presents a summary of the Comprehensive Plan**  
Planner Slavney gave a brief summary presentation to the joint council and public.  
Slavney expressed what the meeting is for in detail, clarifying the process with the Aldermen, the Planning Commissioners and the public.

**9. Opening of the Public Hearing regarding an Amendment to the Comprehensive Plan on five parcels of land located at Tax Key No's. ZOP 00001, ZYUP 00001A, ZYUP 00001C, ZYUP 00131 & ZYUP 00153, Lake Geneva, Wisconsin, from Private Recreation Facilities to Planned Mixed Use. The change in the Comprehensive Plan may allow a change in Zoning from Rural Holding to Planned Development (PD).**

DISCUSSION – Atty. David Williams, Lake Geneva (agent for Tempo Development Inc, Palos Park, IL)

Atty. Williams gave a brief summary of the request for Amendment to the Comp Plan to the joint council members and public. In addition he spoke to the confusion he has seen in the community of the general public in regards to the true purpose of the meeting. Mainly pointing out that this is not a meeting for rezoning or the final meeting but rather just the start of the needed approval processes and meetings. He also pointed out that in early 2006 this same property was approved for 275 units of residential housing, 19,000 sq ft of retail space, a hotel with a banquet facility, a bank and certain other amenities. In total it was somewhat more intense than what he and his client are proposing. At that time the change was from rural holding as well.

Williams stated that the desire for the city to purchase the property does not answer the question of where those funds would come from to purchase and also maintain it. He mentioned the benefits of this new development for the community, including the additional tax revenue and business revenue for the downtown area that it would generate. He commented that the developers could possibly even lose money with this development. However, they do believe it will be profitable or they would not be here tonight. In addition to the revenue benefits, he mentioned that more than half of the property they cannot develop on and would become a private or public park or some combination of the two. If the amendment is not approved, Williams said it is unlikely that the property owner would give up any to the city until the next potential buyer comes along.

Williams talked about his client being a successful developer despite the market. His client has hired an engineer that has extensive experience working on an even larger artificial lake. Williams pointed out some local artificial lakes as examples, Whitewater Lake, some of the Lauderdale Lakes. These were originally created as artificial lakes and are now known as natural lakes because people don't know the history. He said that artificial lakes are common and generally result in higher home prices.

In reference to the Comp Plan as it reads now, Atty. Williams stated that it says it can remain open space, or a golf course however, it also says that the future as a golf course is in doubt. In addition it reads that one opportunity is a traditional neighborhood development.

He also stated that sooner or later the owner of this property is going to bring up an inverse condemnation lawsuit, basically stating that the way the property is zoned and under the Comprehensive Plan there is no economically viable use for the property and 'you' in effect have taken it and have to buy it from us at its value. Williams was implying that this could happen in the future if the amendment is not approved.

Chuck Platz - Shorewest Real Estate, Lake Geneva

Mr. Platz gave a brief presentation to the joint council and public. Platz stated that both he and Mr. Ford's group have no intention to bring a lawsuit against the City as mentioned by Atty. Williams. He spoke about the Lake Hillmoor development idea and the positive impact it would have on the community of Lake Geneva and he also addressed the idea of the artificial lake stating that this is not a new idea and can be found in many communities. He briefly referenced and addressed the 'group' that is against Lake Hillmoor and stated that he understands they are not his opponents but concerned citizens. He briefly discussed the flooding issues that the Golf View residents have now and the Hwy 50 traffic concerns, stating that the new development would only be beneficial to both of these situations.

Bryan Wolf – Agent for owner/lender of the property

Mr. Wolf stated that they have been involved with this property for the past 7 years, noting that the bad economy had much to do with why they acquired it. Wolf said they have written 11 letters of intent and offers to purchase. In the end either their concepts were not in line or they did not feel they had adequate time to accomplish their concept or a various combination of things. Wolf stated that they felt that Mr. Ford's plan was unique, as well as beneficial for the area. This was the best plan they had seen come through to date and they are in support of it.

Mike Ford - Tempo Development Inc., SW side of Chicago, IL

Ford addressed the joint council, planning members and public briefly stating that he would like the opportunity to do this development. Ford stated that he feels it is something that 'we' can do together to make it a place that people will want to be, just as they want to be on Geneva Lake. Not quite to that extent but a very quality location for people to be able to enjoy.

**10. Public Testimony**

PUBLIC SPEAKER #1 –Tom Anthony, 42 Country Club Drive, LG

Anthony voiced his concerns and opposition to the Comp Plan Amendment regarding Hillmoor. His main concerns were regarding the flooding issues Golf View already has and that this would only add to that existing problem as well as the congested Hwy 50 traffic issues. He mentioned they had a 30 pg study done by an engineer showing there is insufficient drainage in that area. He would like to see a committee created to come up with a better plan for the Hillmoor property.

PUBLIC SPEAKER #2 –Maureen Marks, 834 Dodge Street, LG

Marks voiced her concerns and opposition to the Comp Plan Amendment regarding Hillmoor. She also read/referenced comments that she submitted in previous letters to the joint staff.

PUBLIC SPEAKER #3 –James Wilson, 1120 Park Row, LG

He voiced his concerns and opposition to the Comp Plan Amendment regarding Hillmoor. He would like to see something else done with the property.

PUBLIC SPEAKER #4 –Rick Steinburg, 1032 Williams, LG

He voiced his concerns and opposition to the Comp Plan Amendment regarding Hillmoor.

PUBLIC SPEAKER #5 –Bob Shroeder, LG

He voiced his concerns and opposition to the Comp Plan Amendment regarding Hillmoor.

PUBLIC SPEAKER #6 –Mary Jo Fesenmeier, 955 George Street, LG

She voiced her concerns and opposition to the Comp Plan Amendment regarding Hillmoor. She gave a handout showing the developments that are currently underway in Lake Geneva as well as a 16 pg petition of signatures prior to the meeting.

*\*Copies attached to the additional correspondence packet for these minutes.*

PUBLIC SPEAKER #7 –Dick Melman, N1991 S Lake Shore Drive, LG

He voiced his concerns and opposition to the Comp Plan Amendment regarding Hillmoor. Chris Schulz of the Regional News reported that the head of GLEA Ted Peters admitted that man-made lakes are a nightmare. They cannot be used for both recreation and storm water management.

PUBLIC SPEAKER #8 –Sheri Ames, 603 Center Street, LG

She voiced her concerns and opposition to the Comp Plan Amendment regarding Hillmoor.

PUBLIC SPEAKER #9 –Dee Fiske, 324 Sage Street, LG

She voiced her concerns and opposition to the Comp Plan Amendment regarding Hillmoor.

PUBLIC SPEAKER #10 –Penny Roehra, 951 S. Lake Shore Drive, Unit #1, LG

She voiced her concerns and opposition to the Comp Plan Amendment regarding Hillmoor.

PUBLIC SPEAKER #11 –Terri O’Neil, 954 George Street, LG

He voiced his concerns and opposition to the Comp Plan Amendment regarding Hillmoor.

**11. Closing of the Public Hearing**

MOTION #1

Kordus/Flower moved to close the public hearing. The motion carried unanimously.

**12. Adjourn City Council**

MOTION #2

Kordus/Hill moved to adjourn the Council Members only.

The motion carried unanimously. The Council was adjourned at 8:09 pm.

*/s/Jackie Gregoles, B&Z Administrative Assistant*

**THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE CITY COUNCIL.**

# ORIGINAL ALCOHOL BEVERAGE RETAIL LICENSE APPLICATION

Submit to municipal clerk.

For the license period beginning JANUARY 1 20 16 ;  
ending JUNE 30 20 16 ;

Applicant's Wisconsin Seller's Permit Number.	
Federal Employer Identification Number (FEIN):	
LICENSE REQUESTED ▶	
TYPE	FEE
<input checked="" type="checkbox"/> Class A beer ✓	\$
<input type="checkbox"/> Class B beer	\$
<input type="checkbox"/> Class C wine	\$
<input checked="" type="checkbox"/> Class A liquor	\$
<input type="checkbox"/> Class B liquor	\$
<input type="checkbox"/> Reserve Class B liquor	\$
Publication fee	\$ <u>25.00</u>
<b>TOTAL FEE</b>	\$

TO THE GOVERNING BODY of the:  Town of } Lake Geneva  
 Village of }  
 City of }  
County of Walworth Aldermanic Dist. No. \_\_\_\_\_ (if required by ordinance)

1. The named  INDIVIDUAL  PARTNERSHIP  LIMITED LIABILITY COMPANY  
 CORPORATION/NONPROFIT ORGANIZATION

hereby makes application for the alcohol beverage license(s) checked above.

2. Name (individual/partners give last name, first, middle; corporations/limited liability companies give registered name): ▶ GAUR ENTERPRISES INC

An "Auxiliary Questionnaire," Form AT-103, must be completed and attached to this application by each individual applicant, by each member of a partnership, and by each officer, director and agent of a corporation or nonprofit organization, and by each member/manager and agent of a limited liability company. List the name, title, and place of residence of each person.

President/Member PRESIDENT ALOK M. SHARMA Home Address 2947 Scott Court Post Office & Zip Code Lisle IL 60532  
Vice President/Member \_\_\_\_\_  
Secretary/Member \_\_\_\_\_  
Treasurer/Member \_\_\_\_\_  
Agent ▶ E. THOMAS Kaczmarek - 33105-76th St, Burlington, WI 53105  
Directors/Managers \_\_\_\_\_

3. Trade Name ▶ d/b/a GT66 Business Phone Number 630-248-8955  
4. Address of Premises ▶ 605 Williams St Lake Geneva, WI Post Office & Zip Code ▶ Lake Geneva 53147

5. Is individual, partners or agent of corporation/limited liability company subject to completion of the responsible beverage server training course for this license period? Completed  Yes  No  
6. Is the applicant an employe or agent of, or acting on behalf of anyone except the named applicant?  Yes  No  
7. Does any other alcohol beverage retail licensee or wholesale permittee have any interest in or control of this business?  Yes  No  
8. (a) Corporate/limited liability company applicants only: Insert state WI and date 12/4/2015 of registration.  
(b) Is applicant corporation/limited liability company a subsidiary of any other corporation or limited liability company?  Yes  No  
(c) Does the corporation, or any officer, director, stockholder or agent or limited liability company, or any member/manager or agent hold any interest in any other alcohol beverage license or permit in Wisconsin?  Yes  No

(NOTE: All applicants explain fully on reverse side of this form every YES answer in sections 5, 6, 7 and 8 above.)

9. Premises description: Describe building or buildings where alcohol beverages are to be sold and stored. The applicant must include all rooms including living quarters, if used, for the sales, service, and/or storage of alcohol beverages and records. (Alcohol beverages may be sold and stored only on the premises described.) Retail Store ~~WALKIN~~ WALKIN Cooler - Lockable Cooler Door

10. Legal description (omit if street address is given above): Liquor Behind Sales Counter  
11. (a) Was this premises licensed for the sale of liquor or beer during the past license year?  Yes  No  
(b) If yes, under what name was license issued? GENEVA COUNTRY STORE

12. Does the applicant understand they must file a Special Occupational Tax return (TTB form 5630.5) before beginning business? [phone 1-800-937-8864]  Yes  No  
13. Does the applicant understand a Wisconsin Seller's Permit must be applied for and issued in the same name as that shown in Section 2, above? [phone (608) 266-2776]  Yes  No  
14. Does the applicant understand that they must purchase alcohol beverages only from Wisconsin wholesalers, breweries and brewpubs?  Yes  No

**READ CAREFULLY BEFORE SIGNING:** Under penalty provided by law, the applicant states that each of the above questions has been truthfully answered to the best of the knowledge of the signers. Signers agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another. (Individual applicants and each member of a partnership applicant must sign; corporate officer(s), members/managers of Limited Liability Companies must sign.) Any lack of access to any portion of a licensed premises during inspection will be deemed a refusal to permit inspection. Such refusal is a misdemeanor and grounds for revocation of this license.

SUBSCRIBED AND SWORN TO BEFORE ME  
this 11 day of December, 20 15  
DUANES MIKAELIAH  
(Clerk/Notary Public)  
My commission expires 10/1/2016

**"OFFICIAL SEAL"**  
(Official Commission Expires 10/1/2016)  
DUANES MIKAELIAH  
Notary Public, State of Illinois  
PRESIDENT  
(Additional Partner(s)/Member/Manager of Limited Liability Company if Any)

Date received and filed with municipal clerk	Date reported to council/board	Date provisional license issued	Signature of Clerk / Deputy Clerk
<u>12/11/2015</u>			<u>[Signature]</u>
Date license granted	Date license issued	License number issued	

12/11/15

# SCHEDULE FOR APPOINTMENT OF AGENT BY CORPORATION/NONPROFIT ORGANIZATION OR LIMITED LIABILITY COMPANY

Submit to municipal clerk.

All corporations/organizations or limited liability companies applying for a license to sell fermented malt beverages and/or intoxicating liquor must appoint an agent. The following questions must be answered by the agent. The appointment must be signed by the officer(s) of the corporation/organization or members/managers of a limited liability company and the recommendation made by the proper local official.

Town

To the governing body of:  Village of Lake Geneva County of Walworth

City

The undersigned duly authorized officer(s)/members/managers of Gaur Enterprises INC  
(registered name of corporation/organization or limited liability company)

a corporation/organization or limited liability company making application for an alcohol beverage license for a premises known as d/b/a GT66  
(trade name)

located at 605 WILLIAMS STREET LAKE GENEVA, WI 53147

appoints E. Thomas Kaczmarek  
(name of appointed agent)  
33105 76TH STREET Burlington, WI 53105  
(home address of appointed agent)

to act for the corporation/organization/limited liability company with full authority and control of the premises and of all business relative to alcohol beverages conducted therein. Is applicant agent presently acting in that capacity or requesting approval for any corporation/organization/limited liability company having or applying for a beer and/or liquor license for any other location in Wisconsin?

Yes  No If so, indicate the corporate name(s)/limited liability company(ies) and municipality(ies).

Is applicant agent subject to completion of the responsible beverage server training course?  Yes  No

How long immediately prior to making this application has the applicant agent resided continuously in Wisconsin? 45 years

Place of residence last year 33105 76TH STREET Burlington, WI 53105

For: GAUR ENTERPRISES INC  
(name of corporation/organization/limited liability company)

By: 12/11/15 Ovanes A. Mikaelian  
(signature of Officer/Member/Manager)

And: PRESIDENT  
(signature of Officer/Member/Manager)



### ACCEPTANCE BY AGENT

I, E. Thomas Kaczmarek, hereby accept this appointment as agent for the  
(print/type agent's name)

corporation/organization/limited liability company and assume full responsibility for the conduct of all business relative to alcohol beverages conducted on the premises for the corporation/organization/limited liability company.

E. Thomas Kaczmarek x 2/10/15  
(signature of agent) (date)

Agent's age \_\_\_\_\_

33105 76TH ST Burlington, WI  
(home address of agent)

Date of birth \_\_\_\_\_

### APPROVAL OF AGENT BY MUNICIPAL AUTHORITY (Clerk cannot sign on behalf of Municipal Official)

I hereby certify that I have checked municipal and state criminal records. To the best of my knowledge, with the available information, the character, record and reputation are satisfactory and I have no objection to the agent appointed.

Approved on 12-22-15 by \_\_\_\_\_ Title Chief of Police  
(date) (signature of proper local official) (town chair, village president, police chief)

# AUXILIARY QUESTIONNAIRE ALCOHOL BEVERAGE LICENSE APPLICATION

Submit to municipal clerk.

Individual's Full Name (please print) (last name) <b>SHAPMA</b>		(first name) <b>ALOK</b>		(middle name) <b>M.</b>	
Home Address (street/route) <b>2947 SCOTT</b>		Post Office	City <b>KISLE</b>	State <b>IL</b>	Zip Code <b>60532</b>
Home Phone Number -		Age	Date of Birth	Place of Birth	

The above named individual provides the following information as a person who is (check one):

Applying for an alcohol beverage license as an **individual**.

A member of a **partnership** which is making application for an alcohol beverage license.

**PRESIDENT** of **GAUR ENTERPRISES INC**  
(Officer/Director/Member/Manager/Agent) (Name of Corporation, Limited Liability Company or Nonprofit Organization)

which is making application for an alcohol beverage license.

The above named individual provides the following information to the licensing authority:

- How long have you continuously resided in Wisconsin prior to this date? N/A
- Have you ever been convicted of any offenses (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of any other states or ordinances of any county or municipality?  Yes  No  
 If yes, give law or ordinance violated, trial court, trial date and penalty imposed, and/or date, description and status of charges pending. (If more room is needed, continue on reverse side of this form.)
- Are charges for any offenses presently pending against you (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of other states or ordinances of any county or municipality?  Yes  No  
 If yes, describe status of charges pending.
- Do you hold, are you making application for or are you an officer, director or agent of a corporation/nonprofit organization or member/manager/agent of a limited liability company holding or applying for any other alcohol beverage license or permit?  Yes  No  
 If yes, identify. \_\_\_\_\_  
(Name, Location and Type of License/Permit)
- Do you hold and/or are you an officer, director, stockholder, agent or employe of any person or corporation or member/manager/agent of a limited liability company holding or applying for a wholesale beer permit, brewery/winery permit or wholesale liquor, manufacturer or rectifier permit in the State of Wisconsin?  Yes  No  
 If yes, identify. \_\_\_\_\_  
(Name of Wholesale Licensee or Permittee) (Address By City and County)

6. Named individual must list in chronological order last two employers.

Employer's Name <b>R Haroldway</b>	Employer's Address <b>2000 N Naperville</b>	Employed From <b>OWNER</b>	To
Employer's Name <b>Naperdille, ILLINOIS</b>	Employer's Address <b>60565</b>	Employed From <b>2000 -</b>	To <b>Current</b>

The undersigned, being first duly sworn on oath, deposes and says that he/she is the person named in the foregoing application; that the applicant has read and made a complete answer to each question, and that the answers in each instance are true and correct. The undersigned further understands that any license issued contrary to Chapter 125 of the Wisconsin Statutes shall be void, and under penalty of state law, the applicant may be prosecuted for submitting false statements and affidavits in connection with this application.

Subscribed and sworn to before me

this 11 day of December, 2015

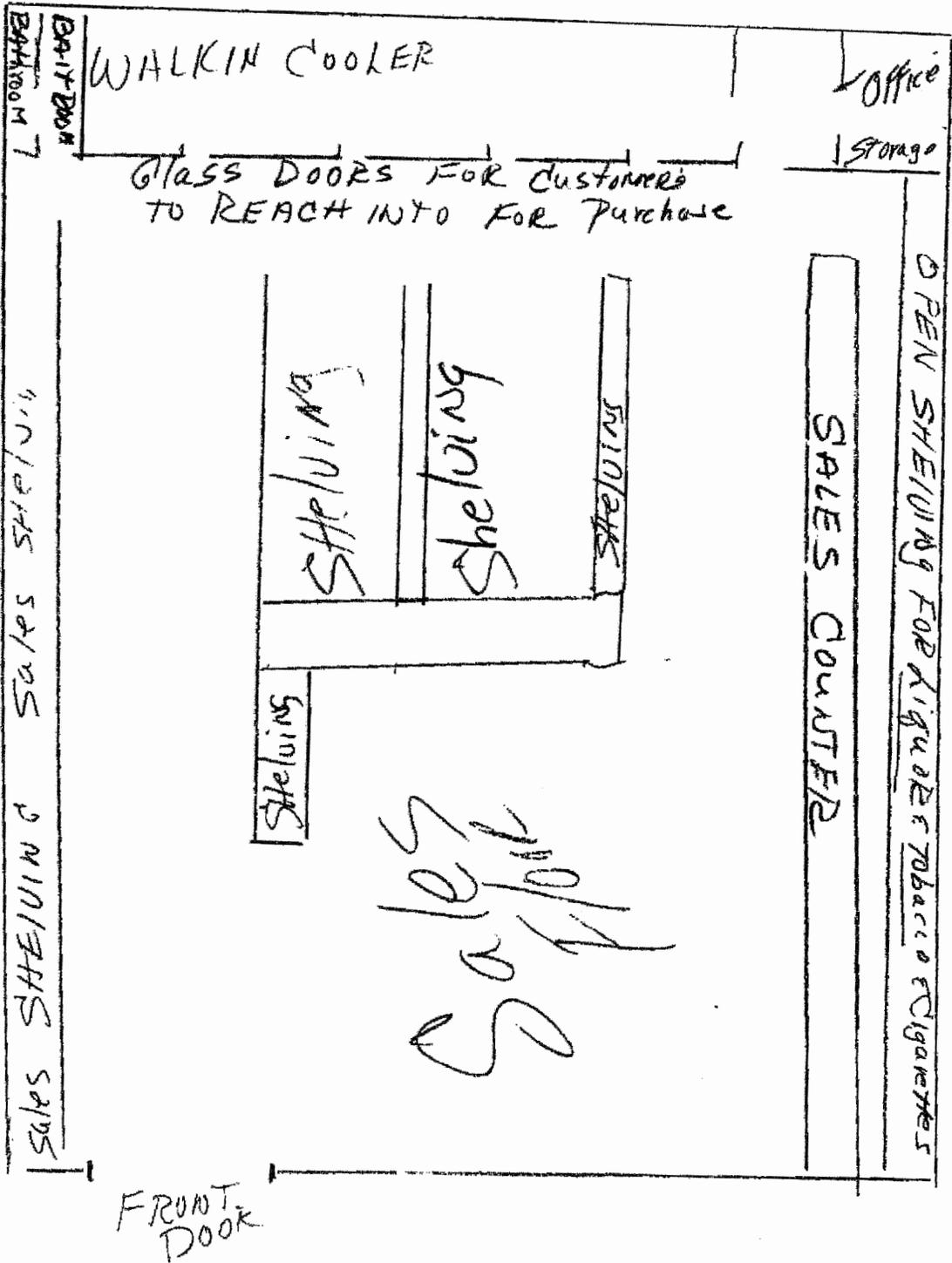
**OVANES MIKAEALIAN**  
(Clerk/Notary Public)

**ALO K**  
10/11/15 **PRESIDENT**  
**Ovanes Mikaelian**  
(Signature of Named Individual)

My commission expires 10/1/2016



605 Williams Street



# City of Lake Geneva

Licenses Issued Between: 12/28/2015 and 12/28/2015

Date: 12/22/2015

Time: 8:52 AM

Page: 1

Agenda Item 9.b.

## Operator's Regular

<u>Issued</u>	<u>License No</u>	<u>Customer</u>	<u>Address</u>		<u>Total</u>
12/28/2015	2015 -293	Emily A. Bailey Employer: Sandal Inc dba Lake Geneva Lan	N3126 Poplar Rd 192 E. Main St.	Lake Geneva, WI 53147	50.00
12/28/2015	2015 -294	Rebecca Gritzuk Employer: Oakfire LLC d/b/a Oakfire Pizz	N1102 Walnut Road 831 Wrigley Dr	Genoa City, WI 53147	50.00
12/28/2015	2015 -295	Ashley Lynn Key Employer: Walgreens #5600	321 N Wisconsin St 351 N. Edwards Blvd.	Elkhorn, WI 53121 Lake Geneva, WI 53147	50.00
12/28/2015	2015 -296	Kevin Smith Employer: Midwest Fuel Inc dba Northside	7841 McHenry Street 501 Interchange N	Burlington, WI 53147 Lake Geneva, WI 53147	50.00

**Operator's Regular**

**Count: 4**

**Resolution 15-R60**

WHEREAS, the Common Council approved the 2015 operating budget for the General Fund, and

WHEREAS, it was determined, in discussions with the City attorney, that there are two accounts receivable invoices that are deemed doubtful to be collected, and

WHEREAS, it is the desire to have the City's accounts be current to report the financial status of the city in accordance with Generally Accepted Accounting Principles, and

WHEREAS, the contingency account has a balance of \$88,444 which could be used to offset this proposed write off,

BE IT THEREFORE RESOLVED, that the Common Council adopt a resolution to write off the two invoices listed below in the total of \$26,277.97 in the fiscal year 2015:

Invoice 6664	8/31/10	Breakaway Event Productions	\$6,366.17
Invoice 9235	12/21/13	William McCarron	\$19,911.80

Adopted this 28<sup>th</sup> day of December, 2015.

APPROVED:

\_\_\_\_\_  
James A. Connors, Mayor

ATTEST:

\_\_\_\_\_  
Sabrina Waswo, City Clerk

**Resolution 15-R61**

The Common Council of the City of Lake Geneva hereby establishes the following Wages, Salaries, Benefits, and Pay Scale Grades and the attached Pay Scale for the following Non-Represented Employees for the 2016 Budget Year effective January 1, 2016, **unless otherwise noted:**

Position	2015 Annual or Hourly Rate	11 Holidays Pay	Clothing Allowance	2015 Total Annual Wage/Salary /Benefit	Action	Assigned Pay Scale Grade	2016 Annual Wage/Salary with increase
<b>Full Time Contracted Staff:</b>							
City Administrator <b>*Effective 5/27/2015</b>	103,000.00			103,000.00	2% Increase	21	<b>105,060.00</b>
Police Chief	89,250.98	3,776.00	850.00	93,876.98	2% Increase	19	<b>91,036.00</b>
Comptroller	69,527.50			69,527.50	<b>Per Contract</b>	18	<b>76,500.00</b>
Assistant Police Chief	82,905.13	3,507.52	850.00	87,262.65	Freeze	17	<b>82,905.13</b>
Police Lieutenant	73,779.89	3,121.46	850.00	77,751.35	2% Increase	16	<b>75,255.49</b>
Assistant Director of Public Works	71,050.00			71,050.00	2% Increase	15	<b>72,471.00</b>
Police Sergeant Hall	65,553.94	2,922.76	850.00	69,326.70	2% Increase	14	<b>66,847.02</b>
Police Sergeant Way	65,344.00	2,913.27	850.00	69,107.27	2% Increase	14	<b>66,632.88</b>
Police Sergeant Derrick	65,281.02	2,910.42	850.00	69,041.45	2% Increase	14	<b>66,568.64</b>
Building & Zoning Administrator	63,945.00			63,945.00	2% Increase	14	<b>65,223.90</b>
City Clerk	50,000.00			50,000.00	Mid Low Incr	13	<b>56,272.12</b>
Parking Manager	45,675.00			45,675.00	Mid Low Incr	12	<b>53,086.90</b>
PD Communications Supervisor	48,977.05	2,173.38	375.00	51,525.43	2% Increase	10	<b>49,938.59</b>
PD Administrative Assistant	45,675.00	1,932.40	375.00	47,982.40	Freeze	6	<b>45,675.00</b>
<b>Full time Non-Contracted Staff:</b>							
Street Dept. Working Foreman	23.1522		600.00		Mid Low Incr	12	<b>25.5225</b>
Street Dept. Arborist	22.6447		600.00		2% Increase	11	<b>23.0976</b>
Financial Analyst/Treasurer	20.3000				Mid Low Incr	9	<b>21.4292</b>
Cemetery Sexton	21.7819		600.00		2% Increase	8	<b>22.2175</b>
Heavy Equipment Operators	21.6297		600.00		2% Increase	8	<b>22.0623</b>
Equipment Operators	19.4667		600.00		2% Increase	7	<b>19.8560</b>
Cemetery Equipment Operator	21.6297		600.00		2% Increase	7	<b>22.0623</b>
Building & Grounds Administrator	21.6297		600.00		2% Increase	7	<b>22.0623</b>
Municipal Court Clerk	17.3768				Mid Low Incr	7	<b>19.0719</b>
PD Data Systems Administrator	41,995.62	1,776.74	375.00	44,147.35	2% Increase	7	<b>42,835.53</b>
Assistant City Clerk	17.2550				2% Increase	6	<b>17.6001</b>
PD Dispatchers	41,995.59	1,898.46	375.00	44,269.05	2% Increase	6	<b>42,835.50</b>
PD Data Entry	37,388.42	1,581.82	375.00	39,345.23	2% Incr & Step	6	<b>40,332.25</b>
Parking Clerk	16.2400				2% Increase	4	<b>16.5648</b>
Building/Zoning Admin Assistant	15.7325				2% Increase	4	<b>16.0472</b>
<b>Permanent Part-time Staff:</b>							
Fire Chief (1/2 Time)	23,986.73			23,986.73	Mid Low Incr	17	<b>35,521.12</b>

Adopted this 28th day of December, 2015.

\_\_\_\_\_  
JAMES R. CONNORS, Mayor

\_\_\_\_\_  
SABRINA WASWO, City Clerk

Resolution 15-R61  
 Pay Scale, Effective January 1, 2016  
 Annual Salaries

			Salary Range		
Pts		Grade	Min	Mid	Max
0	- 75	1	26,014.43	47,682.52	33,818.77
76	- 96	2	27,575.30	31,711.60	35,847.89
97	- 118	3	29,229.82	33,614.29	37,998.76
119	- 142	4	30,983.61	35,631.15	40,278.69
143	- 166	5	32,842.62	37,769.02	42,695.41
167	- 193	6	34,813.18	40,035.16	45,257.14
194	- 221	7	36,901.97	42,437.27	47,972.56
222	- 250	8	39,116.09	44,983.51	50,850.92
251	- 282	9	41,463.06	47,682.52	53,901.97
283	- 315	10	43,950.84	50,543.47	57,136.09
316	- 351	11	46,587.89	53,576.07	60,564.26
352	- 388	12	49,383.16	56,790.64	64,198.11
389	- 428	13	52,346.15	60,198.08	68,050.00
429	- 471	14	55,486.92	63,809.96	72,133.00
472	- 516	15	58,816.14	67,638.56	76,460.98
517	- 564	16	62,345.11	71,696.87	81,048.64
565	- 615	17	66,085.81	75,998.69	85,911.56
616	- 665	18	70,050.96	80,558.61	91,066.25
666	- 718	19	74,254.02	85,392.12	96,530.23
719	- 775	20	78,709.26	90,515.65	102,322.04
776	- 834	21	83,431.82	95,946.59	108,461.36
835	- 897	22	88,437.73	101,703.38	114,969.04

Resolution 15-R61  
 Pay Scale, Effective January 1, 2016  
 Hourly (2080 Annual Hours) Salaries

			Salary Range		
Pts	Grade		Min	Mid	Max
		0.1	7.4028	8.5133	9.7903
		0.2	7.8470	9.0241	10.3777
		0.3	8.3178	9.5655	11.0003
		0.4	8.8169	10.1394	11.6603
		0.5	9.3459	10.7478	12.3600
		0.6	9.9067	11.3927	13.1016
		0.7	10.5011	12.0762	13.8877
		0.8	11.1311	12.8008	14.7209
		0.9	11.7990	13.5688	15.6042
0 -	75	1	12.5069	22.9243	16.2590
76 -	96	2	13.2574	15.2460	17.2346
97 -	118	3	14.0528	16.1607	18.2686
119 -	142	4	14.8960	17.1304	19.3648
143 -	166	5	15.7897	18.1582	20.5266
167 -	193	6	16.7371	19.2477	21.7582
194 -	221	7	17.7413	20.4025	23.0637
222 -	250	8	18.8058	21.6267	24.4476
251 -	282	9	19.9342	22.9243	25.9144
283 -	315	10	21.1302	24.2997	27.4693
316 -	351	11	22.3980	25.7577	29.1174
352 -	388	12	23.7419	27.3032	30.8645
389 -	428	13	25.1664	28.9414	32.7163
429 -	471	14	26.6764	30.6779	34.6793
472 -	516	15	28.2770	32.5185	36.7601
517 -	564	16	29.9736	34.4697	38.9657
565 -	615	17	31.7720	36.5378	41.3036
616 -	665	18	33.6783	38.7301	43.7819
666 -	718	19	35.6990	41.0539	46.4088
719 -	775	20	37.8410	43.5171	49.1933
776 -	834	21	40.1115	46.1282	52.1449
835 -	897	22	42.5181	48.8959	55.2736

City of Lake Geneva  
2016 Daily Launch Fee Charges

Boat	City Resident				Non-Resident			
	Current Rate	Proposal	Maximum	Fontana	Current Rate	Proposal	Maximum	Fontana
Non-trailer / Non motorized	\$7.00	\$7.00	\$8.44	\$8.00	\$7.00	<b>\$8.00</b>	\$8.44	\$8.00
Less than 20' in length	\$10.00	\$10.00	\$11.82	\$11.25	\$10.00	<b>\$11.00</b>	\$11.82	\$11.25
20' to 25' 11"	\$12.00	<b>\$14.00</b>	\$14.35	\$13.75	\$18.00	<b>\$21.00</b>	\$21.52	\$20.50
26' and over	\$14.00	<b>\$16.00</b>	\$16.88	\$16.00	\$22.00	<b>\$24.00</b>	\$25.32	\$24.00

One IN/OUT per Calendar Day

A seasonal pass is available at City Hall for 10 times the daily rate.

Revisiting due to not capturing the State increase maximums last month.



## Resolution 15-R62

The Common Council of the City of Lake Geneva does hereby establish the following revised schedule of fees, effective December 28, 2015.

# SCHEDULE OF FEES

CITY OF LAKE GENEVA, WISCONSIN

**The City of Lake Geneva may retain overpayments of taxes, fees, licenses, and similar charges when the overpayment is \$2 or less, unless such refund is specifically requested by the remitter.**

<b>LICENSES &amp; PERMITS</b>	
<b>ALCOHOL LICENSE FEES * STATUTORY LIMITS</b>	
Temporary Retailer's	\$10.00 Each
Provisional/Temp. Operator (60 days)	\$15.00 each
Operator	\$50.00 Annual Prorated after January 1 to \$30.00
Class A Liquor	\$500.00
Class A Beer	\$100.00
Class C Wine	\$100.00
Class B Liquor (Quota License)	\$500.00
Class B Beer	\$100.00
Reserve Class B Liquor	\$10,000.00
Change of Agent	\$10.00
Publication Fee	\$25.00
Extension of Premises	\$25.00
<b>ANNEXATION FILING FEE - DUE UPON PETITION</b>	<b>\$200.00</b>
<b>AMUSEMENTS</b>	
Coin Operated music machine/juke box	\$20.00 per machine
<b>ASSESSMENT REQUEST LETTER</b>	<b>\$35.00 each</b>
<b>BANNER PERMIT</b>	<b>\$20.00 per banner per two-week time period</b>
<b>BUSINESS LICENSE</b>	<b>\$25.00 Annual</b>
Late fee after July 1	\$20.00 (in addition to license fee)
<b>CAT LICENSE</b>	
Not Spayed/Neutered	\$8.00 Annual
Spayed/Neutered	\$4.00 Annual
Late fee after April 1, or 30 days after adoption of new animal if adoption occurs after April 1	\$5.00 (in addition to license fee)
<b>DOG LICENSE</b>	
Not Spayed/Neutered	\$25.00 Annual
Spayed/Neutered	\$13.00 Annual
Late fee after April 1, or 30 days after adoption of new animal if adoption occurs after April 1	\$5.00 (in addition to license fee)
<b>BOWLING ALLEY</b>	<b>\$20.00 per lane</b>
<b>BILLIARDS OR POOL TABLE</b>	<b>\$40.00 per table</b>
<b>CARRIAGE COMPANY LICENSE</b>	<b>\$50.00 Annual</b>
Each Additional Carriage	\$25.00
<b>CLOSING OUT SALE</b>	<b>\$25.00 event</b>
<b>CIGARETTE/TOBACCO LICENSE * STATUTORY</b>	<b>\$100.00 Annual</b>

<b>DIRECT SELLERS PERMIT</b>	\$50.00 nonrefundable application fee
<b>MASSAGE ESTABLISHMENT</b>	
Investigation	\$50.00 Annual
Transfer	\$50.00
<b>MOBILE HOME PARK LICENSE</b>	\$100.00 Annual
<b>PARADE PERMITS</b>	\$25.00 nonrefundable application fee
<b>CITY PARK PERMITS</b>	
RENTAL FEES ARE PER DAY, PER LOCATION	\$25.00 nonrefundable application fee
49 Attendees or less	
Non-Profit Organization	\$50.00 deposit, \$30.00 Rental
Resident	\$50.00 deposit, \$30.00 Rental
Non-Resident	\$100.00 deposit, \$75.00 Rental
50 to 149 Attendees	
Non-Profit Organization	\$100.00 deposit, \$55.00 Rental
Resident	\$100.00 deposit, \$55.00 Rental
Non-Resident	\$150.00 deposit, \$125.00 Rental
150 or more Attendees	
Non-Profit Organization	Deposit Determined by Park Board, \$105.00 Rental
Resident	Deposit Determined by Park Board, \$105.00 Rental
Non-Resident	Deposit Determined by Park Board, \$225.00 Rental
<b>ADDITIONAL PARK AMENITIES</b>	
Brunk Pavilion Rental	\$250.00 Resident/Non-Profit \$500.00 Non-Resident
Benches	\$50.00 deposit, \$5.00 each
Picnic Tables	\$50.00 deposit, \$15.00 each
Barricades	\$50.00 deposit, \$5.00 each
Fencing - Snow	\$30.00 per 50 feet
Trash Receptacles	\$50.00 deposit, \$8.00 each
<b>PARKING STICKERS</b>	
Resident & Non-Resident Residence Owners - Lasts 2 years (even) - 2 hours free parking	4 free per residence each additional \$25.00
Resident Replacement Sticker (Requires City Administrator Approval)	\$25.00
Business Owner - 2 hours free parking	\$25.00 Lasts 2 years (even) \$15.00 for 1 year
Walworth County Resident - 2 hours free parking	\$160.00 Lasts 2 years (even) \$80.00 for 1 year
Parking Lot Permit	\$400.00 Annual
<b>PARKING RATES</b>	
Space rate	\$1.00 per hour
Parking Meter Bags/Contractor Permits	\$10.00 administrative fee \$25.00 deposit per locked bag March 1 - Nov 14: \$20.00 daily per bag Nov 15 - Feb 29: \$10.00 daily per bag

<b>PARKING TICKETS</b>	
Expired Stall (Over 2 hours; Over 5 hours; Over 25 min.)	\$20.00
More than 3 motorcycles	\$20.00
Backed into parking stall	\$25.00
Compact Car Only	\$25.00
No Parking Zone	\$25.00
Parking by fire hydrant	\$40.00
Handicap Zone	\$150.00
<b>LATE FEES</b>	
Expired Stall After 10 days	\$40.00
More than 3 motorcycles After 10 days	\$40.00
Backed into parking stall After 10 days	\$50.00
Compact Car Only After 10 days	\$50.00
No Parking Zone After 10 days	\$50.00
Parking by fire hydrant	\$80.00
Handicap Zone	\$300.00
Second Collection Letter Fee	\$6.00
Vehicle Suspension Release Fee	\$20.00
<b>PUBLIC ASSEMBLY PERMIT</b>	Free
<b>PUBLIC RECORDS REQUESTS * STATUTORY</b>	
Photocopies (can include hourly wage for gathering data)	\$0.25 per page
<b>REISSUE CHECK FEE</b>	\$25.00
<b>RETURNED CHECK FEE (NSF)</b>	\$30.00 each
<b>ROOM TAX LICENSE</b>	\$10.00 Annual
<b>SHOWS, CIRCUS, CARNIVALS</b>	
Circus	\$50.00 per day
Tent Show - Day 1	\$15.00
Tent Show - Each Additional Day	\$10.00
All Other	\$2.00 per day
<b>SIDEWALK CAFÉ PERMIT</b>	\$15.00 per seat Annual
<b>STREET USE PERMIT</b>	\$25.00 nonrefundable application fee
Up to two days	\$40.00
More than two days	\$100.00
<b>TAX EXEMPT REPORT FILING (every other year)</b>	\$20.00
Late Fee	\$20.00
<b>TAXI CAB COMPANY LICENSE</b>	\$50.00 Annual
Each Additional Car	\$25.00
<b>TAXI CAB DRIVER LICENSE</b>	\$25.00 Annual
<b>THEATER LICENSE</b>	
Up to 1,200 seats	\$200.00
Over 1,200 seats	\$275.00
<b>TRAPPING PERMIT</b>	\$25.00 Annual
<b>CITY HALL MEETING ROOM RENT</b>	\$25 per event

<b>LAKEFRONT</b>		
<b>BEACH</b>		
(Open Memorial Day thru Labor Day - no glass containers allowed)		
Children age 6 and under	Free	
Children age 7-12	\$4.00 per day	
Ages 13 to Adult	\$7.00 per day	
Resident Beach Tags (Maximum 6 per Household)	\$3.00 per tag	
Seasonal Pass Adult 13 and up	\$70.00 per year	
Seasonal Pass Child 7-12	\$40.00 per year	
<b>Beach Use Permits</b>		
Rental Excludes Beach Operating Hours		
Memorial Day through Labor Day 9:00am to 5:00pm		
Rental Fees are Per Day		
\$25.00 nonrefundable application fee		
49 Attendees or less		
Non-Profit Organization	\$50.00 deposit, \$30.00 Rental	
Resident	\$50.00 deposit, \$30.00 Rental	
Non-Resident	\$100.00 deposit, \$75.00 Rental	
50 to 149 Attendees		
Non-Profit Organization	\$100.00 deposit, \$55.00 Rental	
Resident	\$100.00 deposit, \$55.00 Rental	
Non-Resident	\$150.00 deposit, \$125.00 Rental	
150 or more Attendees		
Non-Profit Organization	Deposit Determined by Piers, Harbors & Lakefront, \$105.00 Rental	
Resident	Deposit Determined by Piers, Harbors & Lakefront, \$105.00 Rental	
Non-Resident	Deposit Determined by Piers, Harbors & Lakefront, \$225.00 Rental	
Beach Bathrooms - Opening/Cleaning	Hourly Rate	
<b>BOAT LAUNCH PERMIT</b>		
<b>One-Time Launch</b>	<b>Resident</b>	<b>Non-Resident</b>
Non-Trailer Non-Motor	\$7.00	<del>\$7.00</del> \$8.00
Less than 20 feet	\$10.00	<del>\$10.00</del> \$11.00
20 feet to 25 feet 11 inches	<del>\$12.00</del> \$14.00	<del>\$18.00</del> \$21.00
26 feet and over	<del>\$14.00</del> \$16.00	<del>\$22.00</del> \$24.00
<b>Season Launch Permit</b>	<b>Resident</b>	<b>Non-Resident</b>
Non-Trailer Non-Motor	\$70.00	<del>\$70.00</del> \$80.00
Less than 20 feet	\$100.00	<del>\$100.00</del> \$110.00
20 feet to 25 feet 11 inches	<del>\$120.00</del> \$140.00	<del>\$180.00</del> \$210.00
26 feet and over	<del>\$140.00</del> \$160.00	<del>\$220.00</del> \$240.00
<b>BUOY/SLIP RATES ESTABLISHED ANNUALLY BY RESOLUTION</b>		
Season Launch Pass for Kayaks, Canoes and Paddleboards (non-trailer, non-motor)	\$30.00 per year	

<b>RIVIERA RENTALS</b>	
<i>Maximum attendees is 380</i>	
Security Deposit	\$1,000.00
Resident Rental Fee (Friday, Saturday, Sunday)	\$2,500.00
Non-Resident Rental Fee (Friday, Saturday, Sunday)	\$3,000.00
Resident & Non-Resident Weekday Rental Fee (Monday - Thursday)	\$500.00
Not-for-Profit Group Rental Fee	\$400.00
Per Hour Set Up Fee	\$20.00 per hour
Security Guards for Event (2)	Additional Renter Expense- Hourly Rate
Extra Security Guard over 250 attendees	Additional Renter Expense - Hourly Rate
<b>BUILDING &amp; ZONING</b>	
<b>Building</b>	
Minimum permit fee for all building permits	\$50.00
Residences -	
One & Two family & attached garage (new, addition and alterations)	\$0.31 / sq. ft.
Accessory buildings & garages	\$0.22 / sq. ft.
Decks	\$0.10 / sq. ft., or \$50.00 minimum
Residences - Apartments, Three family & over, Row Housing, Multiple Family Dwellings, Institutional (new, addition and alterations)	\$0.31 / sq. ft.
Local Business, Office Building (new, addition or alteration)	\$0.30/ sq. ft.
Manufacturing or Industrial (new, addition or alteration)	\$0.25 / sq. ft.
Permit to start construction	\$100.00 (1-2 family) \$150.00 (all others)
Residential Roofing and Siding	\$50.00
All other buildings, structures, alterations, residing, reroofing, repairs, where square footage cannot be calculated	\$10.00 / \$1,000.00 valuation
Commercial/Industrial Exhaust Hoods and Exhaust Systems	\$75.00 / Unit
New Residential Heating	\$100.00 first unit, \$50.00 each additional unit.
Replacement Residential Heating	\$50.00 / unit
Commercial New or Replacement Heating	\$100.00 / unit, up to and including 150,000 BTU units. Additional fee of \$16.00 / each 50,000 BTU fraction thereof up to a maximum of \$750 / unit.
Heating and Air Conditioning Distribution Systems	\$2.00 / 100 sq. ft. of conditioned area with a minimum fee of \$50.00
Commercial Air Conditioning - Other than Wall Units (new or replacement)	\$100.00/ unit up to 5tons or 60,000 BTU's. Additional fee of \$16.00 each ton or 12,000 BTU's or fraction thereof up to a maximum of \$750.00 / unit.

Residential Air Conditioning - Other than Wall Units (new or replacement)	\$50.00 / unit
Permanently installed Wall unit	\$20.00 / unit
Wrecking or Razing - Building Inspector may waive fee if structure is condemned	\$75.00 (One or Two Family Residences and Accessory Structure over 250 sq. ft.)
Commercial / Industrial Razing	\$250.00
Moving buildings over public right-of-ways	\$150.00 plus \$0.03 / sq. ft.
Fuel Tanks	\$50.00 administrative fee / tank for installation or removal
Re-Inspections	\$50.00 / inspection
Commercial Electrical Re-Inspections	\$100.00 / Inspection
Plan Examination:	
One and Two Family Residence	\$100.00
Apartments, Three Family Residence, Row Housing, Multiple family Building	\$75.00 plus \$10.00 /unit
State Approved Plans	\$50.00
Commercial, Industrial, Institutional & Additions	\$150.00
State Approved Plans	\$50.00
Heating Plans, Energy Calculations, or Lighting Plans submitted separately	\$75.00 / Plan
Additions, Alterations to 1 & 2 Family Dwellings	\$50.00
Accessory building over 240 sq. ft., and decks for 1 & 2 family dwellings	\$40.00
Special Inspections and Reports	\$100.00 / inspection
Wisconsin Uniform Building Permit Seal	\$35.00
Occupancy Permit - Residential	\$50.00
Commercial and Industrial	\$100.00
Temporary (6 months or less)	\$75.00
Plumbing Permit	\$12.00 / fixture, drain or device, \$50.00 minimum. \$1.00 / lineal foot of sewer or private water main, \$50.00 minimum.
Residential Electrical Permit - for minor installations with fees not exceeding \$5.00, the permit fee may be waived by the inspector.	\$0.10 / sq. ft. of area served or \$1.00 per device box - If area cannot be calculated, \$50.00 minimum.
Commercial Electrical Permit - for minor installations with fees not exceeding \$5.00, the permit fee may be waived by the inspector.	\$0.10 / sq. ft. of area served or \$1.00 per device box - If area cannot be calculated, \$100.00 minimum.
New Residential Electrical Service	\$100.00 / Service
Residential Service Update	\$75.00 / Service
Residential Sub-Panel	\$50.00 / Panel
Residential Generator	\$75.00 (includes gas piping)
Commercial Service (New or Update)	\$150.00 First 200 Amps, \$25.00 each

Commercial Sub-Panel	additional 100 Amps. \$50.00 First 100 Amps, \$10.00 each
Commercial Generator	additional 100 Amps. \$150.00 (includes gas piping)
Commercial Low Voltage	\$1.00 / Device, \$75.00 Minimum
Commercial Exterior Light Fixture Replacement	\$100.00 per site
Erosion control fees:	
New One and Two Family Buildings	\$100.00 / lot
One and Two Family Additions and Accessory Structures	\$50.00
Multi-Family Residential, Commercial, Industrial and Institutional	\$150.00/Building, plus \$5.00/1,000 sq. ft. disturbed lot area up to \$2,000.00 max.
Other	\$40.00
Triple Fees: Upon failure to obtain a permit before work on a building has been started, except in emergency cases, the total fee shall be triple the total fees charged.	
NOTE: Fees shall be charged on gross square footage defined as follows:	
<ul style="list-style-type: none"> <li>• The exterior dimensions, including attached garage and each floor level</li> <li>• Unfinished areas of basements of one and two family dwellings are not included.</li> </ul>	
NOTE: In determining costs, all construction shall be included with the exception of heating, air conditioning, electrical or plumbing work.	
NOTE: All fee amounts shall be rounded up to the next full dollar amount.	
NOTE: An additional fee for plan review may be assessed at the time of application for renewal of the permit.	
<b>Zoning</b>	
Text Amendment (per Section 98-902)	\$300.00
Zoning Map Amendment (per Section 98-903)	\$400.00
Conditional Use (per Section 98-905 )	\$400.00
Per Section 98-407(3)	\$100.00
Temporary Use (per Section 98-906)	\$50.00
Sign Permit (per Section 98-907)	\$50.00 minimum or \$0.35 / sq. ft. of sign area *
Site Plan (per Section 98-908)	\$400.00 *
Certificate of Occupancy (per Section 98-909)	\$50.00 *
Variance (per Section 98-910)	\$300.00 *
Interpretation (per Section 98-911)	\$150.00 *
Appeal (per Section 98-912)	\$300 *
Filing or Recording fee with City Clerk, plus actual recording	\$10.00

fee.	
Zoning Permit	\$50.00
PD Zoning Map Amendment	\$750.00 (Includes 1 PIP Review)
PIP Review	\$400.00
* Base fee may be modified by Subsection (4) of Section 98-935, Fees of the Zoning Code	
<b>CEMETERY FEES</b>	
Opening Grave - Weekdays (Full Burial)	\$675.00
Opening Grave - Saturdays (Full Burial)	\$800.00
Opening Grave - Weekdays (Cremation)	\$450.00
Opening Grave - Saturdays (Cremation)	\$525.00
Two cremations buried in same grave at one time	\$100.00 extra charge
Opening Grave - Weekdays - Baby Under 1 Year	\$200.00
Opening Grave - Saturdays - Baby Under 1 Year	\$300.00
Grave (50% Perpetual Care)	\$650.00
Grave - Single Cremation (50% Perpetual Care)	\$400.00
Grave - Double Cremation (50% Perpetual Care)	\$500.00
Columbarium Niche (includes opening & inurnment) (\$200 Perpetual Care)	\$1,200.00 \$1,000.00 bottom row
2 <sup>nd</sup> Inurnment if Niche allows for two	\$150.00 additional
Niche Door Inscriptions	\$240.00
Frost Charges (November 1 to March 15)	\$75.00
Stake Out Fee for Foundations	\$50.00
Foundation Charges	\$0.40 per square inch
Use of Cemetery for Functions	20% of Gross Receipts
<b>FIRE DEPARTMENT FEES</b>	
<b>Fees for Apparatus and Personnel</b>	1 hour minimum and fractions thereafter on hourly rates unless stated otherwise
Chief, Deputy Chief or Assistant Chief	\$21.00/hr.
Fire and EMS Personnel	\$21.00/hr.
Engine/Squad	\$550.00/hr.
Truck (aerial apparatus)	\$875.00/hr.
Brush Truck	\$300.00/hr.
Air Boat	\$300.00/hr.
Technical Rescue and Utility	\$500.00/hr.
Chief, Deputy Chief, Assistant Chief, or Command Vehicle	\$50.00/hr.
Utility	\$50.00/hr.
Ambulance	\$175.00/hr.
<b>EMS First Responder and Transport Fees</b>	
Residents Fee	\$100.00 per call
Non-Resident Fee	\$150.00 per call
<b>Ambulance Transport Fee Schedule</b>	

Advanced Life Support Base Rate	\$750.00
Advanced Life Support Base Rate (ALS2)	\$850.00
Advanced Life Support Base Rate (Intercept)	\$918.89
Advanced Life Support Base Rate (Intercept ALS2)	\$1010.47
Equal Level Staffing Mutual Aid	\$300.00
Basic Life Support Base Rate	\$650.00
Mileage Charge	\$18.00 per mile
Supplies used fee	
Defibrillation	\$100.00
EKG Monitoring	\$150.00
Spinal Immobilization	\$150.00
I/O Needle & Associated Supplies	\$200.00
Airway Placement	\$150.00
Oxygen & Associated Supplies	\$100.00
IV & Associated Supplies	\$150.00
CPAP Disposable	\$150.00
Epi 1:1000	\$35.00
Nitro Tabs	\$22.00
Albuterol/Ventolin	\$30.00
Glucagon	\$211.00
Narcan	\$48.00
ASA	\$32.00
Dextrose 25gms/50cc	\$32.00
Glucose	\$10.50
CO2 Monitor Nasal/Tube	\$40.00
Oil Dry	\$10.00 per bag
BLS Supplies Used	\$75.00
ALS Supplies Used	\$125.00
<b>Fees Relating To Permits Required</b>	
Fire pit burn permit	\$15.00 each fire or \$50.00 yr
Fireworks permit	\$50.00
Burning permits	\$50.00
Key box processing fee	\$10.00
Operational Permit	\$75.00
<b>Fees Relating To Fire Protection Systems</b>	
Basic system Review	\$250
Fee is charged for systems without hydraulic calcs	
Fire Sprinkler, Fire Control and/or Fire Suppression system plan review with one set of hydraulic calculations. (Fee is charged for each separate floor and /or area of building per system and review.)	\$300.00
Verifications of Additional Hydraulic Calcs (fee is charged for each additional set of hydraulic calculations required by the AHJ)	\$175.00
Additional review of same system. (Fee applies to all re-submittals.)	\$300
Site inspection during installation 2 hour minimum Note: system may not be concealed prior to	\$75.00/hr.

inspection. Inspections are required for all systems.	
<b>Modifications to existing systems</b>	
Min. fee per system without hydraulic calcs	\$75.00
Fee per sprinkler up to 15 sprinklers w/o calcs	\$20.00 ea.
Fee per sprinkler up to 15 with calcs	\$200.00
Fire Pumps per review	\$300.00
<b>Sprinkler system underground mains</b>	
0-200 feet	\$75.00
201-999 feet	\$125.00
1000 or more	\$300
Fire hose standpipe connections	\$15.00 each
Other fire protection systems (hood, wet & dry chem.)	\$300
Fire alarm systems per control panel	\$250.00
Fire Alarm system manual pull stations, initiating devices; this includes smoke, heat, flame, ionization, photoelectric detectors, water flow devices and all monitoring devices per review.	\$50.00 up to 3 \$10 each additional
Witness of all required tests - 2 hour minimum	\$150/hr.
Inspection during installation	\$75.00/hr.
Fire protection Consulting on systems and or for occupancies or permits	\$75.00/hr. 1 Hour Minimum
<b>PUBLIC WORKS FEES</b>	
Special brush, limb and refuse pick-up	\$24.00 per 15 minutes
Dumpster Delivery	\$50.00 per dumpster
Dumpster Pick-up	\$50.00 plus additional landfill fees

Adopted this 28<sup>th</sup> day of December, 2015.

\_\_\_\_\_  
James R. Connors, Mayor

Attest:

\_\_\_\_\_  
Sabrina Waswo, City Clerk



## Memorandum

**To:** Mayor Connors and Common Council

**CC:** Blaine Oborn, City Administrator

**From:** Sylvia Mullally, Parking Manager

**Re:** Update parking enforcement handheld units

**Date:** December 21, 2015

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### Background:

Currently, the parking staff issues parking tickets with 2G cellular network handhelds from Duncan Parking Solutions. This summer the handhelds experienced significant communication interruptions and equipment issues resulting in errors in enforcement. Therefore, I recommend updating handheld units with 4G network capabilities to improve service.

### Updates should include:

- 4G LTE Network
- Capability to integrate with Luke II meter & MSI (Finance Dept.) integration
- Weatherproof, durable, and resilient rugged units for staff to carry
- Long lasting battery
- Electronic chalk feature for tracking parking permits
- Camera/Recorder for evidence

### Recommendation:

Based on the included quote information, staff recommends retaining United Public Safety for parking handheld equipment upgrades.

### Funding Source:

Monies have been budgeted for fiscal year 2016 in the Parking Fund (Outlay Parking) for capital expenditures.

### (3) Proposals for Upgrades

#### Proposal #1- Summary-United Public Safety

<b>United Public Safety</b>		
N5 Handheld (hardware) (3)	\$2,310.00 each	\$6,930.00
One time Digital Integration	\$3,600	\$3,600.00
To Care (Configuration)	\$1,875	\$1,875.00
1 day on-site training	\$1,000	\$1,000.00
MSI integration	\$ 600	\$ 600.00
<b>United Public Safety</b>	<b>Upfront costs</b>	<b>\$14,005.00</b>
<b>Annual Costs</b>		
N5 Print Data Plan (3) units	\$299.00 annually	\$897.00
ToCite (1) unit (12 months of year)	\$249.00 monthly	\$3,588.00
ToCite (2) units (9 months of year)	\$249.00 monthly per unit	\$4,482.00
(3) warranty per device	\$398.00 annually	\$1,194.00
<b>United Public Safety</b>	<b>Annual costs</b>	<b>\$8,967.00</b>

#### Proposal #2-Summary-T2, Solutions

<b>T2, Inc.</b>		
Android/3 devices	3 units	n/a
Printer (3) O'Neil apex 3i	\$630 each	\$1,890.00
Basic setup data implementation	\$12,500	\$28,000.00
Training/Travel	3 days	\$2,000.00
Tier II Interface: Implementation	\$990.00	\$990.00
<b>T2 Flex</b>		<b>\$32,880.00</b>
Flex Port: web portal Configuration	\$4,500	\$4,500
Flex Port: Tier I IPG Implementation	\$1,950	\$1,950
Configuration-permits	\$4,500	\$4,500
<b>T2 Flex w/web &amp; permit</b>	<b>Upfront costs</b>	<b>\$43,830.00</b>
<b>Annual Costs</b>		
(3) 4 G data plan	(3) devices	n/a
(3) Flex: mobile enforcement	\$750 year (each)	\$2,250.00
(1) Flex basic edition	Year 1	\$2,388.00
Flex Port: web portal	\$760	\$760
Annual Permit	\$800	\$800
Android/printer warranty	(6) devices	n/a
<b>T2 Flex 1<sup>st</sup> Year; subject to 5% increase annually</b>	<b>Annual costs</b>	<b>\$6,198.00</b> <i>Plus data plan</i>

**Proposal #3-Summary-Gtechna**

<b>Gtechna</b>		
Android/3 devices	3 units	n/a
Printer (3)	\$525.00	\$1,575.00
Mobile A/C charger	\$75.00	\$225.00
Spare battery	\$115.00	\$345.00
Zebra soft case	\$85.00	\$255.00
Zebra (ZQ510) Power station	\$350.00	\$1,050.00
<b>Hardware</b>	<b>\$226.00</b>	<b>\$678.00</b>
<b>5 yr. printer Warranty</b>		
3 day Training	\$3,000.00	\$3,000.00
Project management	\$2,520.00	\$2,520.00
Implementation	\$11,000.0	\$11,000.00
Host WEB frame software*	\$4,950.00	\$4,455.00
Back office server software*	\$6,000.00	\$5,400.00
Officer Parking Mobile software*	\$1,090.00	\$3,270.00
Parking rights server software*	\$6,000.00	\$4,200.00
Parking Interfaces/integration*	\$7,900.00	\$5,530.00
Batch Interface (import MSI)	\$5,000.00	\$5,000.00
<i>*discount included</i>		
<b>Gtechna</b>	<b>Upfront costs</b>	<b>\$48,503.00</b> <i>Plus 3 devices</i>
<b>Annual Costs</b>		
(3) 4 G data plan	(3) devices	n/a
Bronze Cloud Hosting package	\$1,920.00	\$1,920.00
Paper/year	\$1,995.00	\$1,995.00
1 <sup>st</sup> year 20% maintenance plan	6,842.00	\$6,842.00
<b>Gtechna</b>	<b>Annual costs</b>	<b>\$10,757.00</b> <i>Plus data plan</i>

**\*\*\*All summarized amounts based on quotes \*\*\***

# N5Print

Welcome to the Next Generation ultra-rugged Android device designed specifically for Public Safety applications.

## UNPRECEDENTED

The N5Print is the best-in-class mobility device for your team. Featuring an integrated 3" thermal printer, magnetic stripe reader, and 13 Megapixel camera with barcode scanning capability, the N5Print is ideal for EVERY public safety application.



## Features include

- Integrated 3" thermal printer
- Ultra-Rugged Android handheld device
- 13 MP Camera with HD video & image recording
- Built-in barcode scanning ability
- Android 5.0 Operating System
- 3G/4G capable Verizon data plan
- 4G LTE Network
- Blue Tooth Blv4.0
- A-GPS support
- ...and much more

215.394.1906 / sales@upsafety.net

[www.upsafety.net](http://www.upsafety.net)



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## UNRIVALED



From parking and permitting to law enforcement and property code violations, the N5Print collects photo evidence, handles data input and lookups, and issues on-the-spot tickets in all weather conditions.

## N5Print Specifications

<b>Display:</b>	5.7 in. Diagonal, Super AMOLED, 1080 X 1920 pixels
<b>Contrast Ratio:</b>	Nominal 3.997:1 (sunlight)
<b>Touchscreen:</b>	Multitouch capacitive, Rain resistant + Inductive Stylus
<b>IP Rating:</b>	Sealed to IP65
<b>Operating temp:</b>	-20° to + 50° C (MIL-STD 810F Method 502.4, MIL-STD 810F Method 501.4)
<b>Charging temp:</b>	0° to + 40° C
<b>Humidity:</b>	5-95% (non-condensing) 810F Method 502.4, MIL-STD 810F Method 501.4
<b>Shock &amp; Vibration:</b>	MIL-STD 810G Method 516.6 & Method 514.6
<b>Weight:</b>	26.7 oz. with new full paper roll, 24.3 oz. without paper roll
<b>Sound:</b>	Vibration, MP3, WAV files, Loudspeaker voice
<b>CPU:</b>	Quad-core 2.3 GHz Qualcomm Snapdragon 800 (N9005, N9002) / Exynos 5 Octa 5420 (N9000)
<b>OS:</b>	Android OS, v5.0
<b>3G Network:</b>	HSDPA 850   900   1900   2100 - N9005, N9002, N9006
<b>4G Network:</b>	LTE 800   850   900   1800   2100   2600 - N9005, 4G LTE
<b>SIM Card:</b>	Micro-SIM
<b>Data:</b>	GPRS, EDGE, 4G LTE
<b>WLAN:</b>	Wi-Fi 802.11 a/b/g/n/ac, dual-band, Wi-Fi Direct, DLNA, hotspot
<b>Bluetooth:</b>	v4.0, A2DP, EDR, LE
<b>USB:</b>	microUSB v2.0 (MHL 2 TV-out), USB Host
<b>Rear Camera:</b>	13 MP, 4128 x 3096 pixels, autofocus, LED flash, Dual Shot, Simultaneous HD video and image recording, geo-tagging, touch focus, face/smile detection, panorama, HDR
<b>Front Camera:</b>	2 MP, 1080p@30fps front facing camera
<b>Video:</b>	2160p@30fps, 1080p@60fps (N9005, N9002) / 1080p (N9000)
<b>Barcode Imaging:</b>	1D/2D Barcode Scanning via ZXING Barcode Software
<b>Internal Memory:</b>	16 GB, 3 GB RAM
<b>Memory Card:</b>	microSD, up to 64 GB
<b>Smart Card Reader:</b>	Supports Class A, Class B, Class C, or Class AB Smart Cards
<b>Messaging:</b>	SMS (threaded view), MMS, Email, Push Mail, IM
<b>Browser:</b>	HTML5
<b>GPS:</b>	A-GPS support, GLONASS
<b>Java:</b>	Java MIDP emulator
<b>Internal Battery:</b>	Internal, Li-Ion 3200 mAh battery
<b>Supplemental Battery:</b>	Hot swappable, 2500 mAh@7.4V Li-ion
<b>Mag Stripe Reader:</b>	3 Channel, Bi directional card reader; Security: DES, Triple DES, AES encryption; Management: DUKPT key manager
<b>Warranty:</b>	1 year



NOT TO SCALE



**CITY OF LAKE GENEVA**

626 Geneva Street  
Lake Geneva, WI 53147  
(262) 248-3673  
[www.cityoflakegeneva.com](http://www.cityoflakegeneva.com)

**Memorandum**

**Date:** December 23, 2015

**To:** Finance, License & Regulation Committee

**From:** Blaine Oborn, City Administrator

**Subject:** Discussion/Recommendation on Shoreline Rip-Rap repair funding for South Lakeshore Drive along Big Foot State Park

The Director of Public Works and Utilities has obtained the DNR permit for shoreline repairs in front of Big Foot State Park. The estimated cost is \$150,000. The issue is how to fund this unplanned project. It is my understanding that City officials have reached out to the State DOT and DNR for assistance with no avail. The City Comptroller and I have now been able to review the Capital Projects Fund and specifically the 2014 Borrowing. It appears there is available funding in the Capital Projects funds in the Street Program allocation of \$1,553,000 in the borrowing for the \$150,000 Shoreline Rip-Rap Repair. Therefore, it is recommended that the City Council approve proceeding with the South Shore Drive Shoreline Rip-Rap Repair Project with \$150,000 budgeted from the Capital Projects Fund.

**1. Street Department Heater Repair Bids.**

Assistant DPW Earle and DPW Winkler explained the heating proposal to repair the present ceiling heating system in the 1065 and 1070 Carey Street buildings. Mr. Earle presented the 3 quotes.

<u>Contractor</u>	<u>City/State</u>	<u>Bid Amount</u>
<b>Peck &amp; Weis</b>	<b>Lake Geneva, WI</b>	<b>\$15,444.00</b>
Komfort Heating & Cooling	Elkhorn, WI	\$17,625.00
Westenn Mechanical	Elkhorn, WI	\$23,757.00

It was discussed there are funds left in the CIP borrowing for 1065 Carey Street Ventilation & Air Exchangers \$50,000 allocation as well as \$15,000 designated for Street Department Heaters to cover this cost. Motion to recommend award to Peck & Weis of Lake Geneva in the amount of \$15,444.00 made by Ald. Hill and seconded by Ald. Gelting. The motion passed 4-0.

**(This item needs to be recommended by FLJ and approved by Common Council)**

**2. 2015 Street Maintenance Contract Bids (2016 Construction).**

DPW Winkler provided the bid result but requested the item be continued for staff and the City Engineer to meet with the low bidder regarding his schedule of supplementary prices to his bid. It was moved by Chair Kordus to continue this item. The motion was seconded by Ald. Hill and passed 5-0.

**3. 2015 Fall Tree Planting Bids (2016 Installation).**

DPW Winkler explained that bids were opened earlier in the day for the 2015 Fall Tree Planting contract with installation commencing in the early spring of 2016. Mayor Connors inquired about funding many more trees with the TIF budget funding of \$100,000 and funding the present bid with TIF. There was general discussion regarding bidding out another tree contract in a 100 quantity with alternates for 200 and 300 tree increments. It was moved by Chair Kordus to award the bid to Dan Larsen Landscaping of Cedarburg, WI in the amount of \$29, 651.00 funded from TIF#4. The motion was seconded by Ald. Kupsik and passed 5-0. It was moved by Ald. Hill to have staff bid out another contract for spring with 100 trees as the base bid with alternates for a total of 200 and 300 trees. That motion was seconded by Ald. Gelting and passed 5-0.

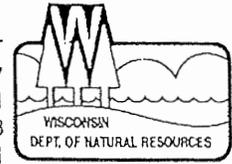
**(The award to Dan Larsen per the DPW’s memorandum and bid tabulation needs to be recommended by FLJ and approved by Common Council)**

**4. Funding Discussion, Shoreline Rip-Rap Repairs, South Lakeshore Drive along Big Foot State Park.**

DPW Winkler explained that the DNR has approved the permit application for the City to make shoreline repairs in front of Big Foot State Park. He stated the current estimated cost as discussed previously was approximately \$150,000. Ald. Howell inquired regarding the timeline. Winkler responded the permit is good until 2017 with up to a 5-year extension, but the erosion into the road will be the determining factor as to project timing. Administrator Oborn said he and the Comptroller will be looking at ways to fund the project including restructuring the present CIP borrowing. There was also discussion regarding who was going to generate bid documents and DPW Winkler said he could add the project to his list for design and bidding. It was moved by Ald. Hill to have Administration move forward with finding the funding for the project as discussed to be able to perform the work in 2016. The motion was seconded by Ald. Gelting and passed 5-0.

State of Wisconsin  
DEPARTMENT OF NATURAL RESOURCES  
Waukesha Service Center  
141 NW Barstow, Room 180  
Waukesha, WI 53188

Scott Walker, Governor  
Cathy Stepp, Secretary  
Telephone 608-266-2621  
Toll Free 1-888-936-7463  
TTY Access via relay - 711



November 18, 2015

IP-SE-2015-65-02753

City of Lake Geneva  
Daniel Winkler  
626 Geneva Street  
Lake Geneva, WI 53147

Dear Mr. or Ms. Winkler:

The Department of Natural Resources has completed its review of your application for a permit to install riprap on the banks of Geneva Lake, in the City of Lake Geneva, Walworth County. You will be pleased to know your application is approved.

I am attaching a copy of your permit, which lists the many important conditions that must be followed to protect water quality and habitat. A copy of the permit must be posted for reference at the project site. Please read your permit conditions carefully so that you are fully aware of what is expected of you.

Please note you are required to submit photographs of the completed project within 7 days after you've finished construction. This helps both of us to document the completion of the project and compliance with the permit conditions.

Your next step will be to notify me of the date on which you plan to start construction and again after your project is complete.

If you have any questions about your permit, please call me at (262) 574-2172 or email [travis.schroeder@wi.gov](mailto:travis.schroeder@wi.gov).

Sincerely,



Travis Schroeder

Water Management Specialist

cc: Joel Dohm, Project Manager, (651) 290-5732, U.S. Army Corps of Engineers  
Jeff Prey Wi DNR  
Juan Gomez Conservation warden

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

STATE OF WISCONSIN Riprap PERMIT  
DEPARTMENT OF NATURAL RESOURCES

IP-SE-2015-65-02753

The City of Lake Geneva, is hereby granted under Section 30.12(3m), Wisconsin Statutes, a permit to install riprap on the banks of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as in the SE1/4 of the SW1/4 of Section 1, Township 1 North, Range 17 East, subject to the following conditions:

PERMIT

1. You must notify Travis Schroeder at phone (262) 574-2172 or email [travis.schroeder@wi.gov](mailto:travis.schroeder@wi.gov) before starting construction and again not more than 5 days after the project is complete.
2. You must complete the project as described on or before 11/01/2017. If you will not complete the project by this date, you must submit a written request for an extension prior to expiration of the initial time limit specified in the permit. Your request must identify the requested extension date. The Department shall extend the time limit for an individual permit or contract for no longer than an additional 5 years if you request the extension before the initial time limit expires. You may not begin or continue construction after the original permit expiration date unless the Department extends the permit in writing or grants a new permit.
3. This permit does not authorize any work other than what you specifically describe in your application and plans, and as modified by the conditions of this permit. If you wish to alter the project or permit conditions, you must first obtain written approval of the Department.
4. Before you start your project, you must first obtain any permit or approval that may be required for your project by local zoning ordinances and by the U.S. Army Corps of Engineers. You are responsible for contacting these local and federal authorities to determine if they require permits or approvals for your project. These local and federal authorities are responsible for determining if your project complies with their requirements.
5. Upon reasonable notice, you shall allow access to your project site during reasonable hours to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance.
6. The Department may modify or revoke this permit for good cause, including if the project is not completed according to the terms of the permit or if the Department determines the activity is detrimental to the public interest.
7. You must post a copy of this permit at a conspicuous location on the project site, visible from the waterway, for at least five days prior to construction, and remaining at least five days after construction. You must also have a copy of the

permit and approved plan available at the project site at all times until the project is complete.

8. Your acceptance of this permit and efforts to begin work on this project signify that you have read, understood and agreed to follow all conditions of this permit.
9. You must submit a series of photographs to the Department, within one week of completing work on the site. The photographs must be taken from different vantage points and depict all work authorized by this permit.
10. You, your agent, and any involved contractors or consultants may be considered a party to the violation pursuant to Section 30.292, Wis. Stats., for any violations of Chapter 30, Wisconsin Statutes, or this permit.
11. Construction shall be accomplished in such a manner as to minimize erosion and siltation into surface waters. Erosion control measures (such as silt fence and straw bales) must meet or exceed the technical standards of ch. NR 151, Wis. Adm. Code. The technical standards are found at:  
[http://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html) .
12. A filter cloth, or a gravel filter layer, must be placed under the riprap to extend the life of the structure and to reduce maintenance costs.
13. Disturbance of bank vegetation must be kept to a minimum during construction. Any vegetative removal must comply with local zoning regulations.
14. The project must be constructed in such a manner as to prevent upland soil losses and sediment deposition into surface waters.
15. You are hereby authorized to place field stone, between 6"-24" in diameter, along 1200 linear feet of the shoreline. This stone may extend up to 6 feet into the water as measured from the existing bank.
16. You must install a turbidity barrier in conjunction with this project..
17. All equipment used for the project including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps shall be de-contaminated for invasive and exotic viruses and species prior to use and after use.

The following steps must be taken every time you move your equipment to avoid transporting invasive and exotic viruses and species. To the extent practicable, equipment and gear used on infested waters shall not be used on other non-infested waters.

1. **Inspect and remove** aquatic plants, animals, and mud from your equipment.

2. Drain all water from your equipment that comes in contact with infested waters, including but not limited to tracked vehicles, barges, boats, hoses, sheet pile and pumps.
3. Dispose of aquatic plants, animals in the trash. Never release or transfer aquatic plants, animals or water from one waterbody to another.
4. Wash your equipment with hot (>140° F) and/or high pressure water,  
- OR -  
Allow your equipment to **dry thoroughly for 5 days.**

#### FINDINGS OF FACT

1. The City of Lake Geneva has filed an application for a permit to install riprap on the banks of Geneva Lake, in the City of Lake Geneva, Walworth County, also described as SE1/4-SW1/4 S1, T1N, R17E.
2. The proposed project will include the placing of 12-24" field stone rip rap along the length of shoreline in front of Big Foot state park. Rocks and filter fabric will be installed and the as well as gravel in areas where the slope needs to be improved.
3. The Department has completed an investigation of the project site and has evaluated the project as described in the application and plans.
4. Geneva Lake is a navigable water (and no bulkhead exists at the project site.)
5. The proposed project, if constructed in accordance with this permit will not adversely affect water quality, will not increase water pollution in surface waters and will not cause environmental pollution as defined in s. 283.01(6m), Wis. Stats.
6. The proposed project will not impact wetlands if constructed in accordance with this permit.
7. The Department of Natural Resources has determined that the agency's review of the proposed project constitutes an equivalent analysis action under s. NR 150.20(2), Wis. Adm. Code. The Department has considered the impacts on the human environment, alternatives to the proposed projects and has provided opportunities for public disclosure and comment. The Department has completed all procedural requirements of s. 1.11(2)(c), Wis. Stats., and NR 150, Wis. Adm. Code for this project.
8. The Department of Natural Resources has completed all procedural requirements and the project as permitted will comply with all applicable requirements of sections

30.12(3m), Wisconsin Statutes and Chapters NR 102, 103, and 328 of the Wisconsin Administrative Code.

The applicant was responsible for fulfilling the procedural requirements for publication of notices under s. 30.208(5)(c)1m., Stats., and was responsible for publication of the notice of pending application under s.30.208(3)(a), Stats. or the notice of public informational hearing under s.30.208(3)(c), Stats., or both. S. 30.208(3)(e), Stats., provides that if no public hearing is held, the Department must issue its decision within 30 days of the 30-day public comment period, and if a public hearing is held, the Department must issue its decision within 20 days after the 10-day period for public comment after the public hearing. S. 30.208(5)(bm), Stats., requires the Department to consider the date on which the department publishes a notice on its web site as the date of notice.

### CONCLUSIONS OF LAW

1. The Department has authority under the above indicated Statutes and Administrative Codes, to issue a permit for the construction and maintenance of this project.

### NOTICE OF APPEAL RIGHTS

If you believe that you have a right to challenge this decision, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions shall be filed. For judicial review of a decision pursuant to sections 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review shall name the Department of Natural Resources as the respondent.

To request a contested case hearing of any individual permit decision pursuant to section 30.209, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources, P.O. Box 7921, Madison, WI, 53707-7921. The petition shall be in writing, shall be dated and signed by the petitioner, and shall include as an attachment a copy of the decision for which administrative review is sought. If you are not the applicant, you must simultaneously provide a copy of the petition to the applicant. If you wish to request a stay of the project, you must provide information, as outlined below, to show that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment. If you are not the permit applicant, you must provide a copy of the petition to the permit applicant at the same time that you serve the petition on the Department.

**The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30 day period for filing a petition for judicial review.**

A request for contested case hearing must meet the requirements of section 30.209, Wis. Stats., and sections NR 2.03, 2.05, and 310.18, Wis. Admin. Code, and if the petitioner is not the applicant the petition must include the following information:

1. A description of the objection that is sufficiently specific to allow the department to determine which provisions of this section may be violated if the proposed permit or contract is allowed to proceed.
2. A description of the facts supporting the petition that is sufficiently specific to determine how the petitioner believes the project, as proposed, may result in a violation of Chapter 30, Wis. Stats.;
3. A commitment by the petitioner to appear at the administrative hearing and present information supporting the petitioner's objection.

If the petition contains a request for a stay of the project, the petition must also include information showing that a stay is necessary to prevent significant adverse impacts or irreversible harm to the environment.

Dated at Waukesha Service Center, Wisconsin on 11/18/2015.

STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES  
For the Secretary

By



Travis Schroeder  
Water Management Specialist

**CONDITIONAL USE RESOLUTION 15-R64**

A resolution authorizing the issuance of a Conditional Use Permit to and filed by Bruce & Joy Irussi, 145 Lakeview Drive, Lake Geneva, WI 53147.

Whereas, the City Plan Commission has considered the application of Bruce & Joy Irussi, 145 Lakeview Drive, Lake Geneva, WI 53147; and,

Whereas, the City Plan Commission held a Public Hearing thereon pursuant to proper notice given on December 21, 2015; and,

NOW, THEREFORE, BE IT RESOLVED, that pursuant to the adopted findings of fact, the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to construct an addition to the home, a pool and a patio using the Single Family Zoning Requirements (SR-4) in an Estate Residential Zoning District (ER-1) at 145 Lakeview Drive, Lake Geneva, WI 53147, Tax Key No. ZLM00074, subject to City staff comments, and with the provisions that the owner construct the drainage system as presented, approved, and inspected by the City Engineer, verify if an additional manhole cover is needed, deed the portions of storm sewer constructed in the City right of way (ROW) to the City, restore all areas constructed in the ROW to pre-existing conditions, check that storm sewer does not interfere with the ability to supply utilities to undeveloped lots on the west side of Lakeview Drive, provide a sequence of construction to the Building Inspector and City Engineer, and agreement to maintain the storm sewer inlets on the owners property in perpetuity.

Granted by action of the Common Council of the City of Lake Geneva this 28<sup>th</sup> day of December, 2015.

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James R. Connors, Mayor

ATTEST:

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Sabrina Waswo, City Clerk

Minutes

**1. Meeting called to order by Mayor Connors at 6:30 pm.**

**2. Roll Call**

Present: Al Kupsik, John Gibbs, Doug Skates, Cindy Flower, Tyler Frederick  
Also Present: Planner Mike Slavney, Atty. Dan Draper, Mayor Connors, Administrator Oborn,  
Inspector Robers and Assistant Gregoles  
Not Present: Sarah Adams

**3. Approve Minutes of November 16, 2015 Plan Commission meeting as distributed.**

**MOTION #1**

Skates/Gibbs moved to approve the minutes of November 16, 2015 Plan Commission meeting as distributed.  
The motion carried unanimously.

**4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes. - None**

**5. Acknowledgment of Correspondence**

Letter dated 12-17-15 received from Kapur & Associates, Inc. regarding the review of Drainage Plans & Calculations for 145 Lake View Drive which is Agenda Item # 7 (*copy filed with these hard copy minutes*).

Email letter received on 12-21-15 from Dan Winkler regarding the fence at 1322 West Main Street, Agenda Item # 9 (*copy filed with these hard copy minutes*).

**6. Downtown Design Review - None**

**7. Continued Public Hearing and recommendation on a Conditional Use Application filed by Kelly C. Frazier of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Bruce & Joy Irussi, 13481 Edgewater Drive, Lakewood, OH 44107, to construct an addition to a Single Family Residence using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at 145 Lakeview Drive, Lake Geneva, WI, Tax Key No. ZLM 00074.**

**DISCUSSION – Kelly C. Frazier / McCormack & Etten (agent for applicant)**

Frazier gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details. Warren Hansen then discussed the drainage plans with the commission, referencing the drainage site maps 1 & 2 that they submitted prior to the meeting. These plans were submitted and reviewed by the City Engineer, Kapur & Associates. There was significant discussion regarding the details of the existing drainage issues and the future drainage plans. Several conditions were agreed to be added to the motion including the need for a maintenance agreement that would stay with the property not the owners.

**PUBLIC SPEAKER #1 –Hugh Connelly/1589 Orchard, LG**

Connelly thanked the home owner and their agents for working with them on the drainage issues.  
He emphasized that the maintenance of the new drainage plans will be critical, especially in the Fall season.  
In addition he had some questions related to the proposed rain garden which Mr. Hansen replied to promptly.

**PUBLIC SPEAKER #2 –Jim Wilken/1650 Lakeview Drive, LG**

Wilken had questions regarding the location of some of the drainage plans as well as concerns about the trees that may be affected during this project. Frazier and Hansen were able to reply to his concerns immediately. He also thanked the home owner and their agents for working with them on the drainage issues.

Mayor Connors asked for clarification on where the drainage pipe on the west side of the street and how far south it will go. Hansen replied that it would be approximately 5 feet behind the curb, between the curb and the sidewalk and will go down to just about the start of the curve at a location where there is an existing catch basin. Hansen used the GIS map on the overhead screen to show the commission where this would be. Flower and Hansen discussed future development on the west side and how it would be affected. Flower suggested increasing the slope which could solve future home development issues.

**PUBLIC SPEAKER #3 –Dave Merhar, 1591 Lakeview, LG**

Merhar voiced his concerns regarding the drainage solution. He stated that today with little rain we received, the intersection was flooded with standing pavement water 3-4 inches deep. He also had concerns about how long this project would take and when it would take place. There was some back and forth discussion with the applicants to clarify these issues.

**PUBLIC SPEAKER #1 again – Hugh Connelly/1589 Orchard, LG**

Connelly (Speaking again) spoke about the seriously deteriorated curb issues in this area and the serious ponding that occurs during a rain storm. This ponding then adds to the curb/gutter deterioration problem. He stated there is currently no storm sewer there. This generated more general discussion amongst the commission and the agents in reply to his concerns.

**PUBLIC SPEAKER #2 again –Jim Wilken /1650 Lakeview Drive, LG**

Wilken (Speaking again) – He had more questions regarding the drainage plans and gave details of the drainage currently in place on his property.

**MOTION #2**

Kupsik/Gibbs moved to close the public hearing. The motion carried unanimously.

Planner Slavney stated the conditions that need to be considered for this project regarding construction, ongoing maintenance responsibilities and replacement of any existing trees that may be damaged during the project. Inspector Robers commented on the right of way issues and that they would typically be handled thru Dan Winkler's office. Attorney Draper addressed and recommended that the connection point be dedicated to the City and therefore it would become the City's responsibility. The City Engineer would have to approve any plans.

City Planner Slavney gave a brief explanation of what ER1 and SR4 requirements are. He stated that historically we have approved these types of Conditional Uses'. However, it is not uncommon to add conditions to the approval. He also stated that the installation of this storm sewer will cost the home owner tens of thousands of dollars and is not a requirement. Inspector Robers detailed typical construction requirements and general timelines for a project this size.

**MOTION #3**

Flower/Skates moved to approve the application filed by Kelly C. Frazier of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Bruce & Joy Irussi, 13481 Edgewater Drive, Lakewood, OH 44107, to construct an addition to a Single Family Residence using the SR-4 Zoning requirements in an Estate Residential Zoning District (ER-1) located at 145 Lakeview Drive, Tax Key No. ZLM 00074. Pursuant to the Finding of facts and City staff comments with the provisions that the owner construct the drainage system as presented, approved, and inspected by the City Engineer, deed the portions of storm sewer constructed in the City ROW to the City, restore all areas constructed in the ROW to pre-existing conditions, check that storm sewer does not interfere with the ability to supply utilities to undeveloped lots, provide a sequence of construction to the Building Inspector and City Engineer, and that an ongoing maintenance agreement for the storm inlets be applied to the property in perpetuity. The motion carried unanimously.

**Plan Commission Staff Report – December 21, 2015**

**Agenda Item #7**

**Applicant:**

Kelly Frazier for Bruce & Joy Irussi  
13481 Edgewater Drive  
Lakewood, OH 44107

**Request:**

Conditional Use Application to use the Single Family (SR-4) zoning requirements in an Estate Residential (ER-1) District for an addition to an existing building at 145 Lakeview Drive Tax Key No. ZLM 00074.

**Description:**

The applicant would like to add on their existing home in home in the Manor subdivision that would require a Conditional Use permit to use the Zoning setbacks from the Single Family Residential (SR-4) District.

**Staff Recommendation:**

Staff recommends that the applicants be allowed to use Single Family Residential (SR-4) District with the requirements that the approval of the Manor Board is obtained and that a drainage plan is approved by staff and the City Engineer to address water runoff concerns of the surrounding neighbors.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will not be adequately served by, and will impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

**APPLICATION FOR CONDITIONAL USE**  
*City of Lake Geneva*

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

145 Lake View Drive, Lake Geneva Manor, Lots 10,11,13 and north part of Lot 14

See attached Plat of survey for legal description Tax Key No. ZLM00074

NAME AND ADDRESS OF CURRENT OWNER:

Bruce and Joy Irussi

13481 Edgewater Drive, Lakewood, OH 44107

TELEPHONE NUMBER OF CURRENT OWNER: Joy Irussi, cell phone: 414-581-6114

NAME AND ADDRESS OF APPLICANT:

Kelly C. Frazier of McCormack + Etten / Architects, LLP

400 Broad Street, Lake Geneva, WI 53147

TELEPHONE NUMBER OF APPLICANT: Kelly Frazier, home office phone: 262-245-9531

PROPOSED CONDITIONAL USE:

Conditional Use request for use of SR-4 zoning setback requirements since property is substandard in a ER-1 zoning district per Ordinance 98-408-(3).

ZONING DISTRICT IN WHICH LAND IS LOCATED: ER-1

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

McCormack + Etten / Architects, LLP, 400 Broad Str, Lake Geneva, WI 53147

Engineer and Builder yet to be determined

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Permission to remodel and reconstruct an addition to existing home within the two street yard, sideyard setbacks and existing footprint at rear setback (6" encroachment into 30'-0" rear setback) and 35' height maximum allowed per SR-4

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

9/27/15  
DATE

Joy Irussi  
SIGNATURE OF APPLICANT

---

**To:** Mr. Ken Robers, **Date:** December 17, 2015

**From:** Greg Governatori, P.E.

**CC:** Plan Commission Members

**Subject:** Review of Drainage Plans & Calculations for 145 Lake View Drive  
(Irussi Residence)

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At the request of the City of Lake Geneva we have completed a review of the site plans and drainage calculations for the proposed residence at 145 Lake View Drive. Our review was conducted to determine compliance with the City of Lake Geneva Municipal Code and standard engineering practices. The purpose of our review is ensure compliance with the Lake Geneva municipal code and to ensure that the proposed residence does not increase storm water or adversely affect the adjacent property owners.

The following documents were submitted for review:

- Drainage Improvement Plan - dated December 16<sup>th</sup>, 2015 as prepared by Farris, Hansen and Associates, Inc.
- Prior Correspondence with neighbors and responses.

The submittal has provided extensive calculations and analysis of the storm water of the property. The owner is proposing to add 490 feet of 10" storm sewer and five catch basins to collect drainage and direct away from the properties to the south. The entire footprint of the residence (existing and proposed) has been capture along with the courtyard, decks and porches within the proposed storm sewer system. In addition, they are proposing a rain garden at the South east corner of the property to detain the runoff from the lawn/landscape area east of the residence.

Complete calculations for all proposed roof drains and storm sewer have been provided. The applicant proposes to oversize all drains to 6" or 8". There is a small discrepancy in the 8" deck drain and the calculation which specifies a 6" as adequate, however the plan specifies an 8" which is oversized and acceptable.

Municipal Storm systems are typically designed to handle up to the 10-year rainfall intensity. The 10" storm sewer has been sized according to the 100-yr rainfall intensity. This may create an issue with the existing city sewer at the connection point. As mentioned in the review comments from the design engineer this would be typical under "normal" heavy conditions.

A "No Mow" Fescue Seed and erosion blanket has been proposed on the side slope to the east which will stabilize the slope after construction and reduce runoff.

The report refers to reducing flow to the south by 60%, but it is unclear from the information submitted how that reduction is being calculated, no existing flow or volume information was provided. It is apparent from the plans that a significant portion of the existing drainage area and runoff is being captured and directed to the storm sewer system.

Maintenance of the storm sewer inlets, and the rain garden will be critical to the functionality of the system. The rain garden is proposed as a secondary beneficial feature. An easement or deed restriction may be considered to ensure the rain garden is not removed or replaced in the future. The owner has mentioned that an off season landscape company will be retained for maintenance.

**Based on the submitted calculations and plans the materials satisfy the requirements for storm water runoff management.**

Please contact me if you have any questions or comments pertaining to this project.

October 29, 2015

Mr. Ken Robers  
Building Inspector / Zoning Administrator  
City of Lake Geneva  
626 Geneva Street  
Lake Geneva, WI 53147

RE: APPLICATION FOR CONDITIONAL USE IN ER-1 DISTRICT  
FOR ADDITION & REMODELING OF EXISTING RESIDENCE  
MR. and MRS. BRUCE IRUSSI  
145 LAKE VIEW DRIVE  
LAKE GENEVA, WISCONSIN 53147

Dear Mr. Robers and Members of the Plan Commission:

Mr. and Mrs. Bruce Irussi at 145 Lakeview in the Lake Geneva Manor Subdivision in the City of Lake Geneva wish to add to and remodel the Existing Residence. *The property is currently zoned ER-1 Estate Residential Zoning under the City of Lake Geneva Zoning Ordinance.*

The *Property* is Lot 10 thru 12 and the north 10' of Lot 14, Block 31 of Lake Geneva Manor Sub. Tract No. 17 and is designated as Tax Key #ZLM 00074. The irregular lot is 131'+/- at the Lake View Drive (west) lot line (clipped corner), 155.83'+/- at the Main Street (north) lot line, 120.05'+/- at the east lot line and 122'+/- at the south side lot line but jogs along the path. **Under the Lake Geneva Zoning Ordinance, the property is zoned ER-1, Estate Residential District. The minimum Lot Width under ER-1 is 150' and the minimum Lot Area is 40,000 square feet. This lot is substandard under the bulk requirements of the ER-1 District in that the lot area is 25,250.00 square feet (0.58 acres).** In addition, the minimum required Rear Yard Setback under ER-1 is 30' and existing northeast corner of existing residence, proposed to be rear of home is 29.5'. *Given the unusual lot configuration, Mr. and Mrs. Irussi requests a Conditional Use Approval to allow them to Remodel the existing and construct an Addition to their Existing Home within the setback requirements allowed under the SR-4, Single Family Residential Zoning District.*

Under a previously adopted change in the Zoning Ordinance 98.407(3), Existing Single Family Residences on legal substandard lots within the ER-1 Zoning District can be remodeled as a Conditional Use using the lot width, lot frontage and setback requirements of the SR-4 Zoning District. *The SR-4 Zoning District allows for a minimum Lot Area of 9,000 square feet, a minimum Lot Width of 75', a minimum Street Frontage of 50', Street Setback of 25', Rear Lot Line Setback of 30', and Side Lot Line Setback of 6' minimum with a total combined Sideyard Setback of 15'.*

*The proposed Remodeling and addition to existing would meet the City setback requirements at street yard setbacks at two streets, side yard setback and will not further exceed into the rear setback at the existing residence, which only encroaches by 6" under the SR-4 Single Family Zoning District requirements.*

Included within this packet are the following:

- *Application for Conditional Use* and required fee.
- *Agreement for Services*, signed by the Owner (to follow when signed copy is received)
- *A. Lake Geneva Zoning Map showing location of Subject Property for Conditional Use* with zoning district and map of lands within 300' of property (Walworth County Map)
- *B. Existing Plat of Survey of Subject Property* showing existing buildings, driveway, lot dimensions, graphic scale, and north arrow
- *C. Proposed site plan of Subject Property* with all lot dimensions and setbacks as per the SR-4 requirements showing graphic scale and north arrow
- *D. Written Justification* of the proposed **Conditional Use**.
- **E. Preliminary Floor Plans and Elevations** of the proposed **Addition & Remodeling**.

Thank you for your consideration of our project. Please let me know if you need additional information or have any questions.

Sincerely,

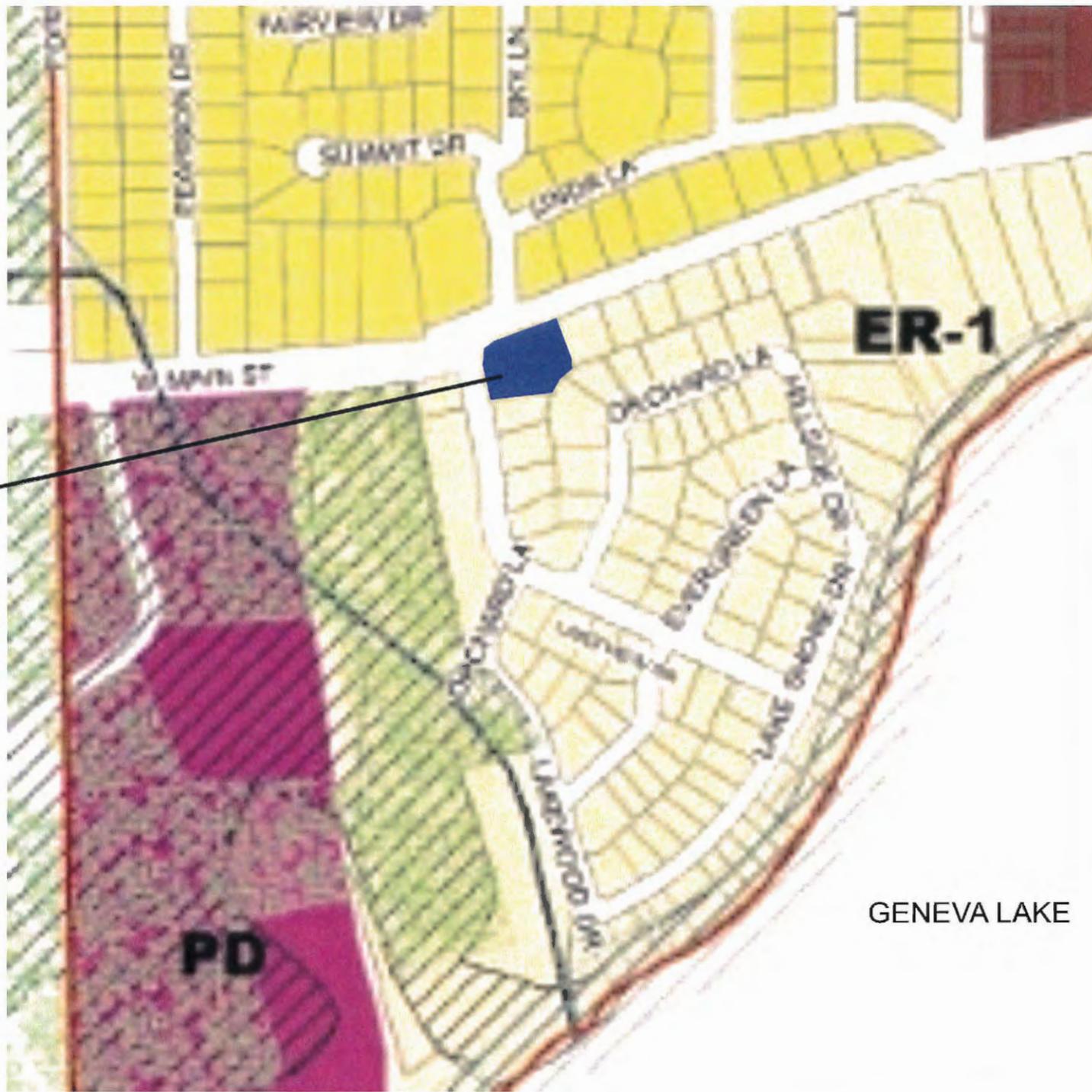


Kelly C. Frazier  
McCormack + Etten / Architects

**IRUSSI RESIDENCE**

145 LAKE VIEW DRIVE  
LAKE GENEVA MANOR

TAX ID: ZLM 00074



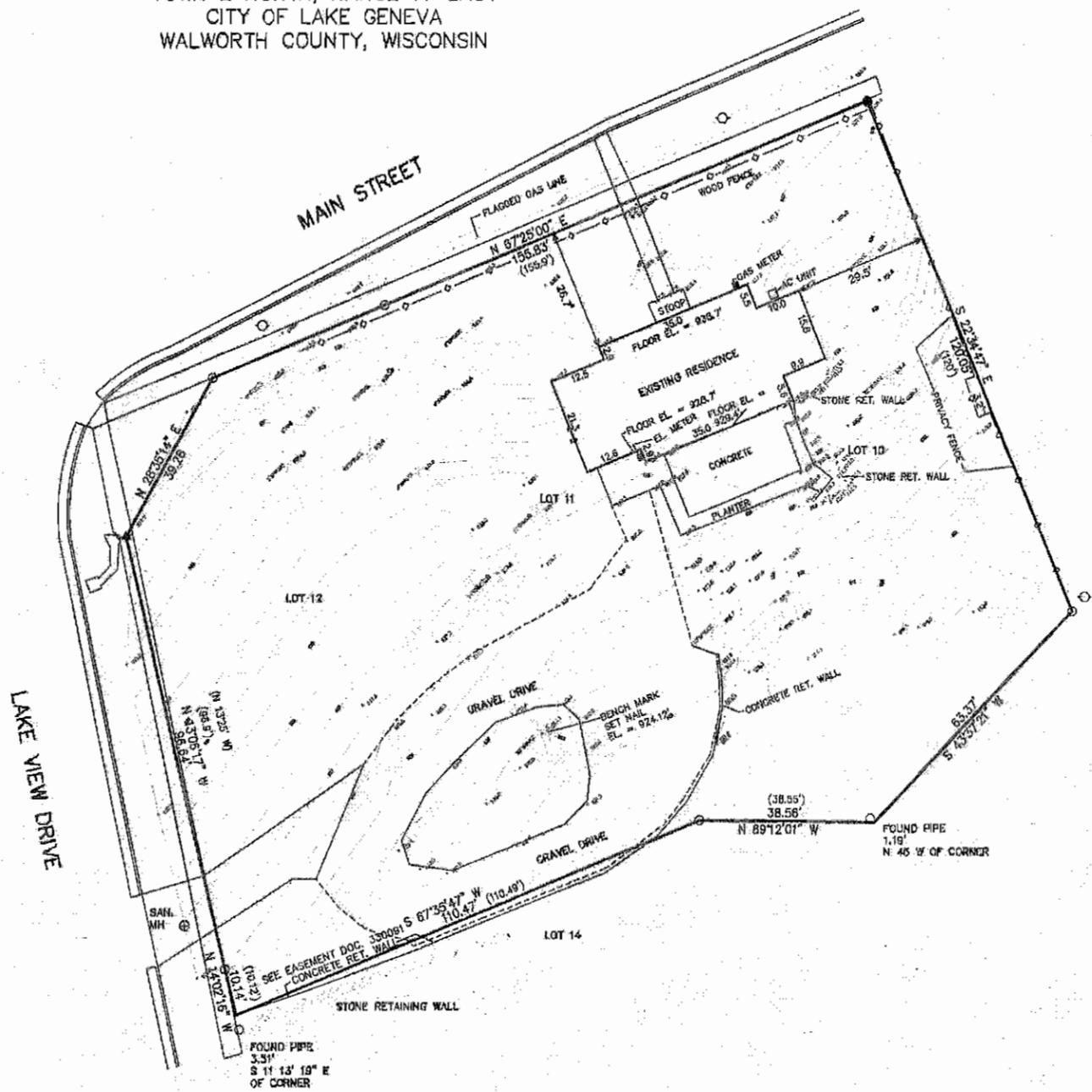
GENEVA LAKE

**PLAT OF SURVEY**  
**LOTS 10 THRU 12 & THE NORTH 10' LOT 14**  
**BLOCK 31 OF LAKE GENEVA MANOR SUB. TRACT NO. 17**  
 LOCATED IN THE SW 1/4 OF THE NE 1/4 SECTION 35  
 TOWN 2 NORTH, RANGE 17 EAST  
 CITY OF LAKE GENEVA  
 WALWORTH COUNTY, WISCONSIN

Lots 10, 11 and 12 and the North 10 feet of Lot 14 in Block 31 of Lake Geneva Manor Subdivision Tract No. 17, Lake Geneva, Walworth County, Wisconsin, the latter 10 feet being more particularly described as follows, to-wit:

Commencing at the Northwest corner of Lot 14 in Block 31; running thence Southwesterly along the said Southwest line of said Lot 14, 10 feet; thence Easterly parallel with the South line of said Lot 12 to the Southwest line of said Lot 11 of said block; thence Northwesterly and Westerly along the most Southern border line of Lots 11 and 12 to the place of beginning, all being in Block 31 of the Lake Geneva Manor Subdivision, Tract No. 17, Lake Geneva, Walworth County, Wisconsin.

Tax Key No.: ZLM 00074

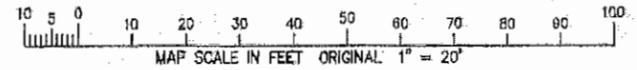


- LEGEND**
- = FOUND IRON PIPE STAKE
  - ⊙ = FOUND IRON REBAR STAKE
  - ▲ = FOUND MAG. NAIL
  - (XXX) = RECORDED AS
- AREA SURVEYED = 25,250 S.F.  
 0.58 ACRES

TOPOGRAPHIC DETAIL  
 ORDERED BY:  
 BRUCE & JOY TRUSSI  
 13481 EDGEWATER DRIVE  
 LAKEWOOD, OHIO 44107

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES, AND DIMENSIONS OF ALL PRINCIPLE BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS, AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.



DATED: NOVEMBER 24, 2014  
 REVISED 03-16-2015  
 AND TOPOGRAPHIC DETAIL

PETER S. GORDON



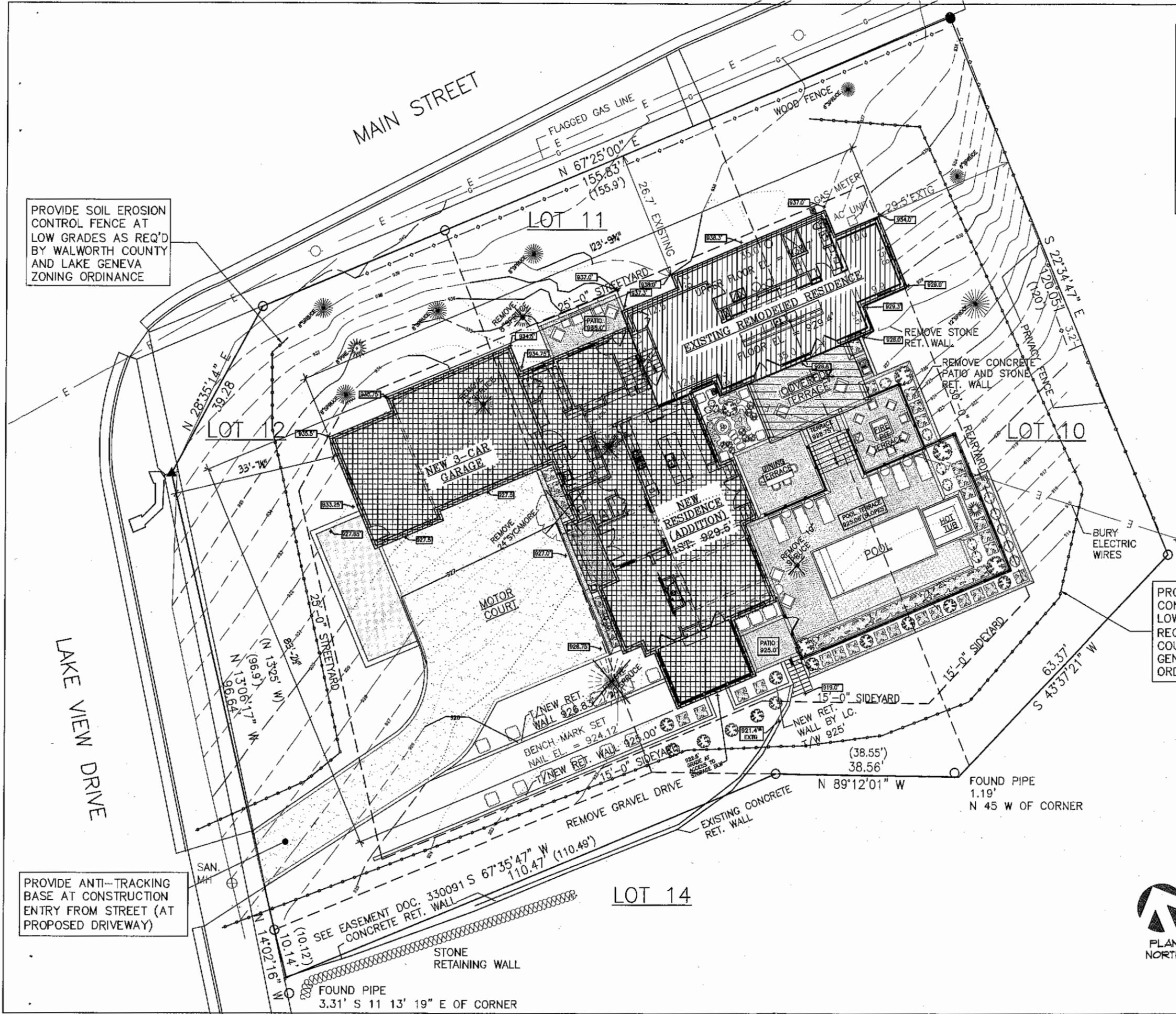
WORK ORDERED BY:  
 KEEFE REAL ESTATE  
 PO BOX 460  
 LAKE GENEVA, WI. 53147

FARRIS, HANSEN & ASSOCIATES, INC.  
 ENGINEERING - ARCHITECTURE - SURVEYING  
 7 RIDGEWAY COURT P.O. BOX 437  
 ELKHORN, WISCONSIN 53121  
 OFFICE: (262) 723-2626 FAX: (262) 723-5886

REVISIONS

PROJECT NO.	9180
DATE	11-21-2014
SHEET NO.	1 OF 1

3/15/2015 X:\Projects\1815\1815\0000\SURVEY



PROVIDE SOIL EROSION CONTROL FENCE AT LOW GRADES AS REQ'D BY WALWORTH COUNTY AND LAKE GENEVA ZONING ORDINANCE

PROVIDE ANTI-TRACKING BASE AT CONSTRUCTION ENTRY FROM STREET (AT PROPOSED DRIVEWAY)

**SURVEY NOTE:**  
 SURVEY INFORMATION SHOWN HEREIN IS TAKEN FROM PLAT OF SURVEY DATED 11-21-2014, REVISED 03-16-2015 AND PREPARED BY FARRIS, HANSEN & ASSOCIATES, INC., 7 RIDGEWAY COURT, ELKHORN, WISCONSIN 53121 OFFICE: (262) 723-2098 FAX: (262) 723-5886 (JOB # 9189)  
 NO WARRANTY IS MADE REGARDING THE ACCURACY OF THE SURVEY.

**PLAT OF SURVEY**  
 LOTS 10 THRU 12 & THE NORTH 10' LOT 14 BLOCK 31 OF LAKE GENEVA MANOR SUB. TRACT NO. 17  
 LOCATED IN THE SW 1/4 OF THE NE 1/4 SECTION 35 TOWN 2 NORTH, RANGE 17 EAST CITY OF LAKE GENEVA WALWORTH COUNTY, WISCONSIN

**LEGEND**  
 ○ = FOUND IRON PIPE STAKE  
 ● = FOUND IRON REBAR STAKE  
 ▲ = FOUND MAG. NAIL  
 (XXX) = RECORDED AS  
 AREA SURVEYED = 26,250 S.F.  
 0.58 ACRES

PROVIDE SOIL EROSION CONTROL FENCE AT LOW GRADES AS REQ'D BY WALWORTH COUNTY AND LAKE GENEVA ZONING ORDINANCE.

PLAN NORTH  
 TRUE NORTH  
**PROPOSED SITE PLAN**  
 SCALE: 1" = 20'-0"

**McCormack + Eiten / Architects, LLP**  
 400 Broad Street  
 Lake Geneva, WI 53147  
 Ph (262) 248-8891  
 contact@mccormackeitan.com  
 http://www.mccormackeitan.com

McCormack + Eiten / Architects, LLP

ADDITION & REMODELING FOR  
**BRUCE AND JOY IRUSSI**  
 145 LAKEVIEW DRIVE, GENEVA MANOR, LAKE GENEVA, WISCONSIN  
 PROJECT # 1503

DATE: 10-21-15  
 SHEET: 51  
 OF: 51

**PROPOSED ADDITION & REMODELING TO EXISTING RESIDENCE  
MR. and MRS. BRUCE IRUSSI  
145 LAKE VIEW DRIVE  
LAKE GENEVA, WISCONSIN 53147**

**JUSTIFICATION OF THE PROPOSED CONDITIONAL USE**

---

1. The Subject Property is 145 Lake View Drive, Lake Geneva Manor Subdivision and was originally subdivided many years ago and existed long before the current Lake Geneva Zoning Ordinance requirements were adopted. As a result, many of the existing lots do not meet the current ER-1 Residential Bulk Requirements. The proposed Conditional Use is intended to allow the Applicant to construct or remodel a Single-family Residence within a district that is currently zoned for that use. *Aside from lot size and setback limitations, this use is in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva.*

2. The original intent of the creation of the ER-1 Estate Residential Zoning District was to restrict the development of lakeshore property and property with lake rights by limiting the subdivision of existing lots to create new buildable lots. We do not believe it was the intention of the City to penalize the owners of existing legal residential lots or prevent them from constructing or remodeling Single-family Residences. *Under the Conditional Use provisions, the proposed remodeled Residence would comply with the allowable requirements of the SR-4 district.*

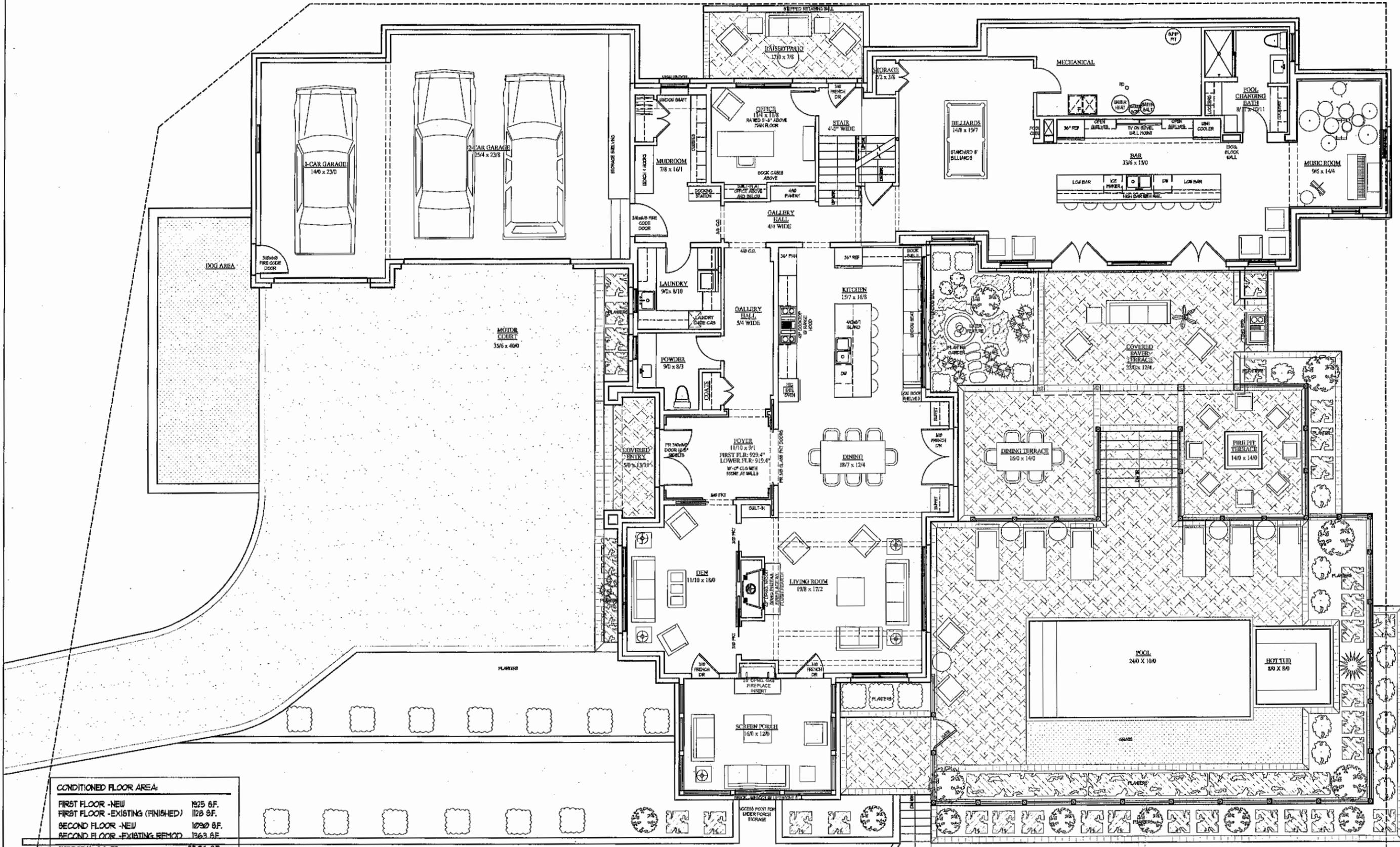
3. The granting of this proposed Conditional Use would not be a substantial detriment to the adjacent properties in that the proposed new construction would meet or exceed the requirements of the SR-4 Single Family Residential District and would be no closer to the neighboring houses than many of the existing homes. Due to the location of this property and the current configuration of the Existing House, the proposed roof Remodeling would be built over a portion of the existing first floor footprint. The height proposed per preliminary study will be approximately 30'-4" from lowest grade to average point of highest peak of house. This building height will not exceed the 35'-0" height maximum limit required in the SR-4 district as in keeping with the adjacent 2-story properties. *The proposed Addition & Remodeling of the Existing Residence would be in keeping with the single-family character of the neighborhood, would not adversely affect the health, safety or general welfare of the public, or the provisions of the Zoning Ordinance or Comprehensive Master Plan.*

4. The proposed Conditional Use would be in compliance with the long range plans of the City of Lake Geneva in that it would maintain this property as a high quality single family residential use. Homes have been built in this area in recent years and others have been remodeled and upgraded. *As stated in Item No. 2, maintaining quality*

*single family residences at the current density was the original intention in the creation of the ER-1 District in these lake access areas.*

5. The Subject Property is currently served by City sanitary sewer and water. *This project would not impose an undue burden on any improvements, utilities or services provided by public agencies serving the subject property.*

6. **Single Family Detached Residences** are a permitted use within the **ER-1 Estate Residential District** and are in keeping with the intent of the **Master Plan of the City of Lake Geneva**. This lot, like many of the properties in this neighborhood, does not now meet the rear lot setback or lot area requirements of the **ER-1 District**. This is the reason for the requested **Conditional Use**. *The approval of the Conditional Use would allow for the construction of an Addition & Remodeling upgrade to this Existing Single Family Residence and would meet the required street (at two streets) and side setbacks of the SR-4 Zoning District and will not further exceed into the rear setback at the existing residence, which only encroaches by 6". In this context, we believe that the nonconforming portions of this Conditional Use would be minimal and would be far outweighed by the long-range benefits.*



**CONDITIONED FLOOR AREA:**

FIRST FLOOR - NEW	1925 SF.
FIRST FLOOR - EXISTING (FINISHED)	1128 SF.
SECOND FLOOR - NEW	1290 SF.
SECOND FLOOR - EXISTING REMOD.	1363 SF.
<b>SUBTOTAL SQ. FT.</b>	<b>5606 SF.</b>
SCREEN PORCH	213 SF.
COVERED TERRACE	290 SF.
GUEST BALCONY	170 SF.
3-CAR GARAGE	1076 SF.
BONUS ROOM - 2-CAR	398 SF.
BONUS ROOM - STORAGE	200 SF.



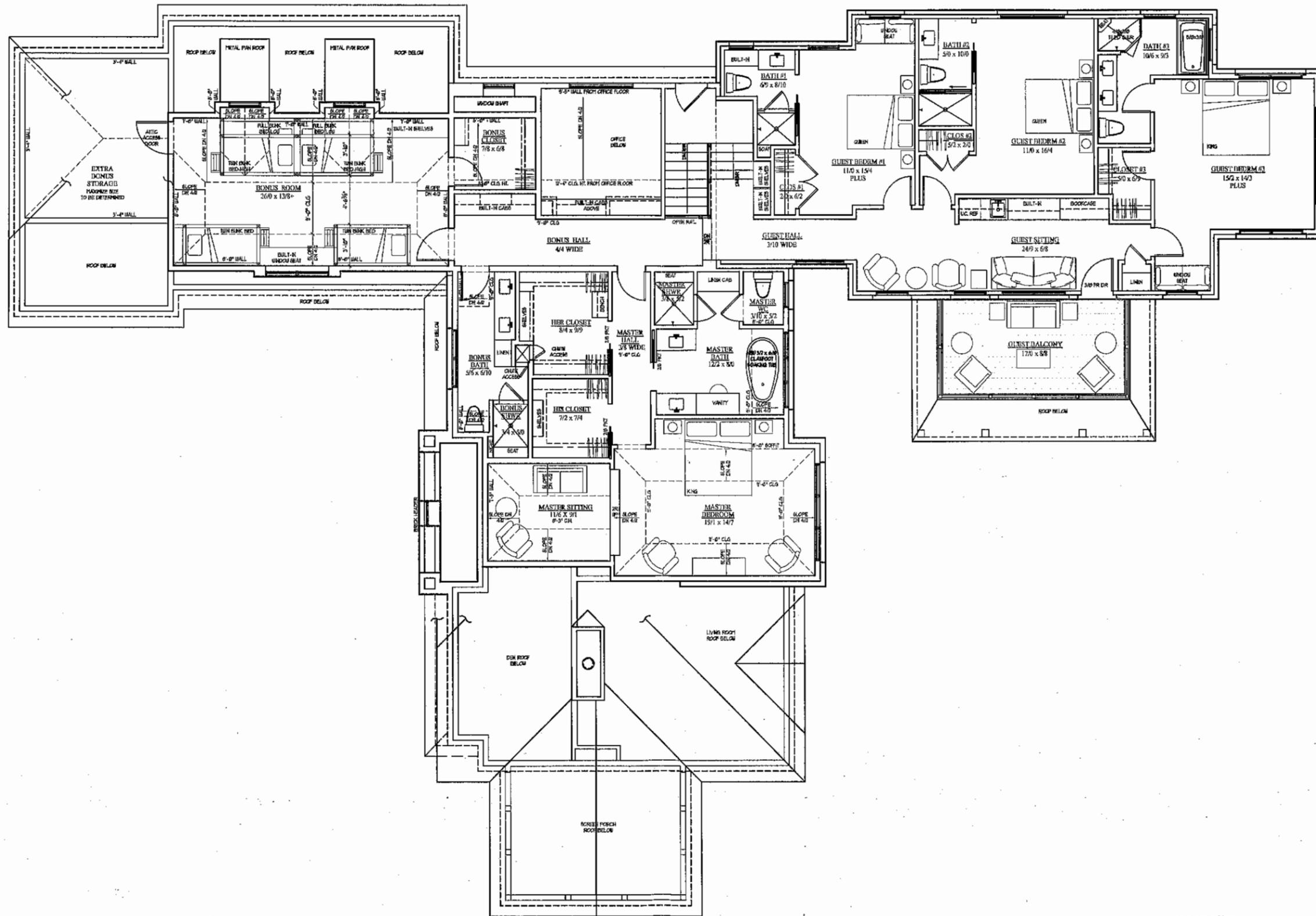
**PROPOSED FIRST FLOOR PLAN**  
 SCALE: 1" = 10'-0"

**McCormack + Eiten / Architects, LLP**  
 Lake Geneva, WI 53147  
 400 Broad Street  
 Ph (262) 248-8881  
 contact@mccormackeiten.com  
 http://www.mccormackeiten.com

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ADDITION & REMODELING FOR  
**BRUCE AND JOY IRUSSI**  
 145 LAKEVIEW DRIVE, GENEVA MANOR, LAKE GENEVA, WISCONSIN  
 PROJECT NO.  
 1505

DATE  
 10-21-15  
 SHEET  
**A1**





**PROPOSED  
SECOND FLOOR PLAN**  
 SCALE: 1" = 10'-0"

© McCormack + Eiten / Architects, LLP

ADDITION & REMODELING FOR  
**BRUCE AND JOY IRUSSI**  
 145 LAKEVIEW DRIVE, GENEVA MANOR, LAKE GENEVA, WISCONSIN

PROJECT NO.  
1525

DATE  
10-21-15

SHEET  
A2



**McCormack + Eiten / Architects, LLP**  
 400 Broad Street  
 Lake Geneva, WI 53147  
 Ph: (262) 248-8391  
 Fax: (262) 248-8392  
 contact@mccormackeiten.com http://www.mccormackeiten.com

**EXTERIOR WINDOW & DOOR NOTE:**

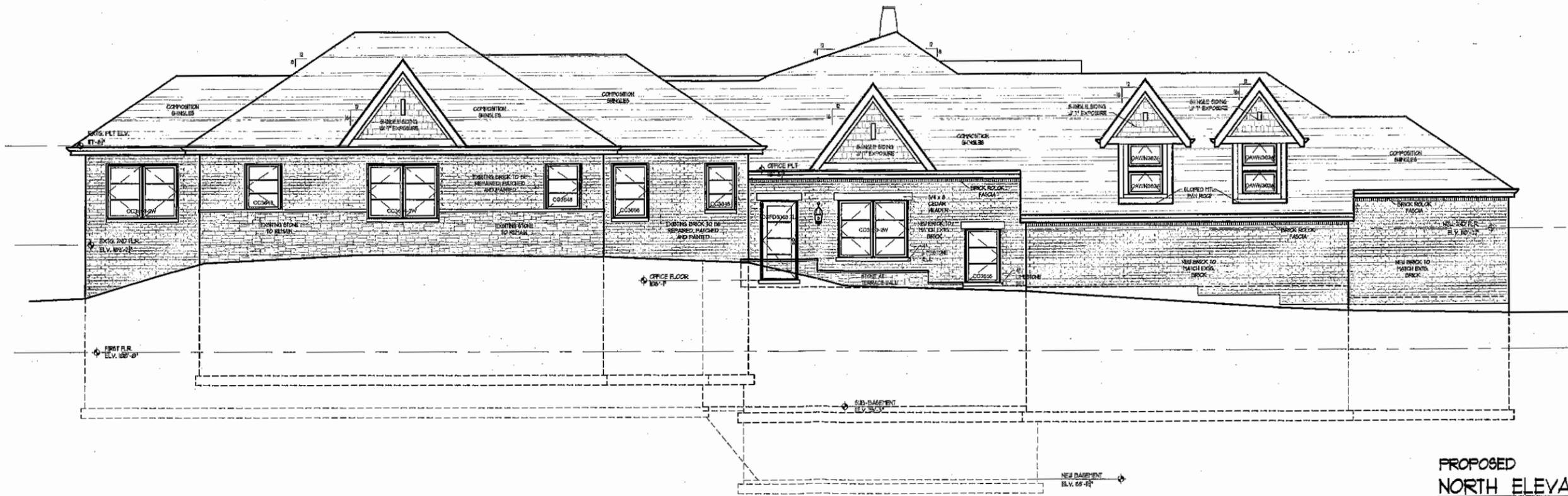
WINDOWS AND EXTERIOR DOORS NOTED WITH MODEL NUMBERS BY MARVIN WINDOW CO. ALUMINUM CLAD WITH SIMULATED DIVIDED LITES IN DESIGN SHOWN, UNLESS OTHERWISE NOTED OR SELECTED. COLOR AS SELECTED. OTHER WINDOW MANUFACTURERS MAY BE CONSIDERED IF EQUAL AND APPROVED BY OWNER.

ALL GLAZING IN WINDOWS AND DOOR UNITS SHALL COMPLY WITH CABO DWELLING CODE SECT. R-209.4, AND OTHER STANDARDS AS APPLICABLE. PROVIDE TEMPERED GLASS WHERE SO REQUIRED.



21'-2 1/2" BUILDING HEIGHT FROM LOW GRADE TO ROOF AVERAGE  
 31'-8 1/2" REVISED BUILDING HEIGHT TO MEET 32'-0" HT. LIMIT PER LGMARC

**PROPOSED WEST ELEVATION**  
 SCALE: 1" = 10'-0"



**PROPOSED NORTH ELEVATION**  
 SCALE: 1" = 10'-0"

**McCormack + Eitten / Architects, LLP**  
 400 Broad Street  
 Lake Geneva, WI 53147  
 Ph (262) 248-8891  
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McCormack + Eitten / Architects, LLP

ADDITION & REMODELING FOR  
**BRUCE AND JOY IRUSSI**  
 145 LAKEVIEW DRIVE, GENEVA MANOR, LAKE GENEVA, WISCONSIN

PROJECT NO.  
 1505

DATE  
 10-21-15

SHEET  
**A4**

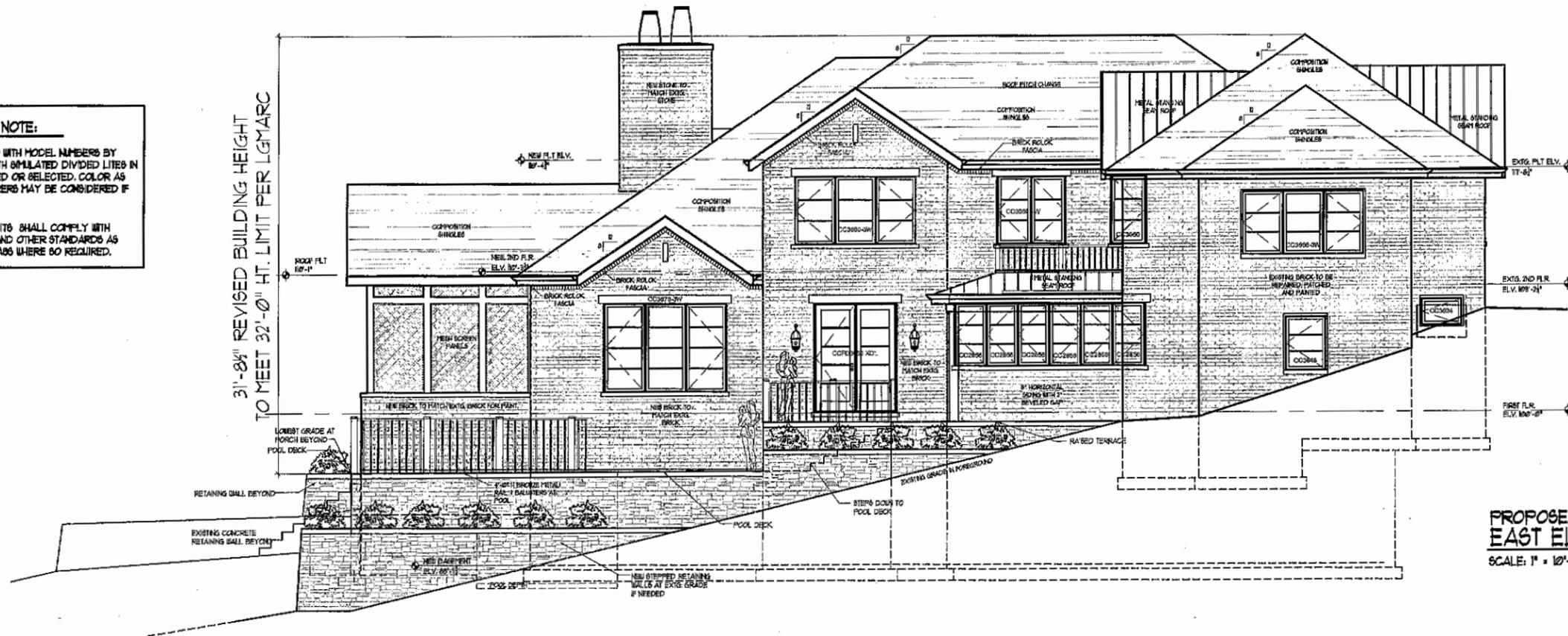
OF

**EXTERIOR WINDOW & DOOR NOTE:**

WINDOWS AND EXTERIOR DOORS NOTED WITH MODEL NUMBERS BY MARVIN WINDOW CO., ALUMINUM CLAD WITH SIMULATED DIVIDED LITES IN DESIGN SHOWN, UNLESS OTHERWISE NOTED OR SELECTED, COLOR AS SELECTED. OTHER WINDOW MANUFACTURERS MAY BE CONSIDERED IF EQUAL AND APPROVED BY OWNER.

ALL GLAZING IN WINDOWS AND DOOR UNITS SHALL COMPLY WITH CABO DUELLING CODE SECT. R-203.4, AND OTHER STANDARDS AS APPLICABLE. PROVIDE TEMPERED GLASS WHERE SO REQUIRED.

31'-8 1/2" REVISED BUILDING HEIGHT TO MEET 32'-0" HT. LIMIT PER LGMARC



**PROPOSED EAST ELEVATION**  
SCALE: 1" = 10'-0"



**PROPOSED SOUTH ELEVATION**  
SCALE: 1" = 10'-0"



## **DRAINAGE IMPROVEMENT PLAN**

IRUSSI RESIDENCE  
145 LAKE VIEW DRIVE  
CITY OF LAKE GENEVA,  
WALWORTH COUNTY, WISCONSIN  
DECEMBER 2015  
**Revised: December 16, 2015**

PREPARED FOR:  
BRUCE & JOY IRUSSI  
13481 EDGEWATER DRIVE  
LAKEWOOD, OH 44107

Prepared By:

Farris, Hansen & Associates, Inc.  
Engineers, Architects & Surveyors  
7 Ridgeway Court  
Elkhorn, WI 53121

Project No.: 9189.15

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CONCLUSION .....	1
LIMITATIONS .....	1

**Appendix A Storm Sewer & Roof Leader/Deck Drain Sizing Calculations**

## **WATERSHED DESCRIPTION AND PURPOSE**

The 0.58 ± acre watershed is located within the limits of the City of Lake Geneva, and consists of the existing residence, sidewalks, concrete/gravel drives and open space. No off-site flows were analyzed due to existence of a curb and gutter around the northern and westerly sides which directs any off-site flows around the subject property. The entire site generally drains from the north to the south eventually leaving the site in the southeast corner. The subject property is located at 145 Lake View Drive.

The purpose of this report is size the storm sewer system to convey the 100-yr design storm event to the existing catch basin approximately 370 feet to the south of the site along the northerly curb line of Lake View Drive. This option was chosen to alleviate any downstream flooding concerns raised by the downstream neighbors during public meetings.

## **STORM PIPE SIZING**

The proposed storm sewer system entering into the catch basin along the northerly side of Lake View Drive has been designed from calculations based upon the 100-year design storm. Tributary areas, land surface characteristic runoff coefficients based on standard engineering practice, times of concentration (Assumed to be 10.0 minutes to be conservative), storm intensities based on SEWRPC's Rainfall Distribution for Southeast Wisconsin and storm sewer characteristics were analyzed in order to predict system performance. Sub-catchments were delineated using available mapping of the area, field investigations, and the proposed site design plans. The analysis and design of the proposed storm sewer system were performed using Hydraflow Storm Sewers which uses Manning's Equation for full-flow capacity and the Rational Method. In addition, we have provided a roof leader/deck drain sizing breakdown based on SPS 382.26 'Area Method'. Pipe sizing and roof leader/deck drain sizing results are shown in tabular form in Appendix A of this report.

## **CONCLUSION**

Based upon the information and calculations presented in this Report, the proposed storm sewer sizing of 10" ADS N-12 Storm Sewer at the slopes shown on the plan will handle the 100-year design storm. In addition, the routing of the storm water through the sewer will reduce overland flows to the neighbors to the south by approximately 60%.

The positive modeling results assume that the piping system will be installed as shown on the proposed Detailed Site, Grading, Drainage and Erosion Control Plans, prepared by Farris, Hansen & Associates. In addition, it is also assumed that sewer maintenance and cleaning or removal of leaves and other debris occurs on an as-need basis to ensure proper operation.

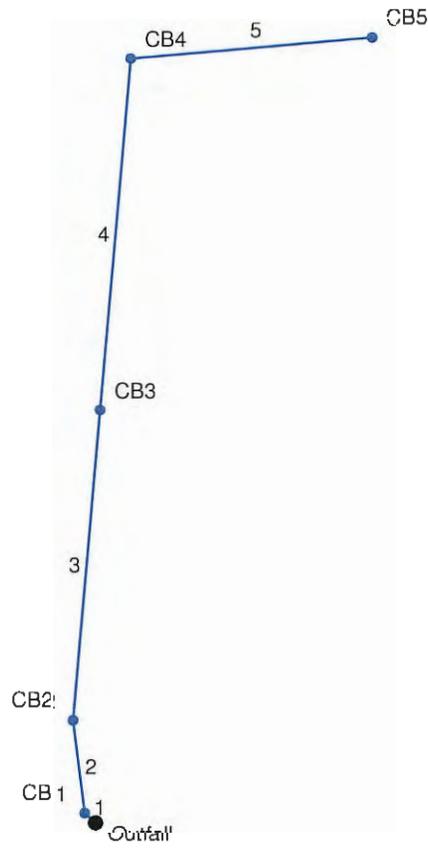
## **LIMITATIONS**

The storm sewer sizing was performed in accordance with standard civil engineering practice, and relies on information provided by others as well as published information. Areas of potential runoff analysis were limited to those areas within the bounds of property owned or believed to impact the property of concern or be part of a specific watershed or catchment.

**APPENDIX A**

**STORM SEWER & ROOF LEADER/DECK DRAIN  
SIZING CALCULATIONS  
Revised: December 16, 2015**

# Hydraflow Storm Sewers Plan



# Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
1	End	7	0.00	0.44	0.00	0.00	0.27	0.0	12.0	6.8	1.83	2.19	4.34	10	1.00	889.93	890.00	890.53	890.60	894.20	894.60	CB1 to EX CB
2	1	45	0.00	0.44	0.00	0.00	0.27	0.0	11.8	6.9	1.84	4.38	4.02	10	4.00	890.00	891.80	890.72	892.40	894.60	896.50	CB2 to CB1
3	2	150	0.00	0.44	0.00	0.00	0.27	0.0	11.2	7.0	1.88	5.36	4.09	10	6.00	891.80	900.80	892.51	901.41	896.50	905.90	CB3 TO CB2
4	3	170	0.00	0.44	0.00	0.00	0.27	0.0	10.5	7.2	1.92	6.75	4.15	10	9.51	900.80	916.97	901.52	917.59	905.90	924.70	CB4 TO CB3
5	4	116	0.44	0.44	0.61	0.27	0.27	10.0	10.0	7.3	1.96	1.55	3.59	10	0.50	916.97	917.55	917.80	918.73	924.70	922.00	CB5 TO CB4

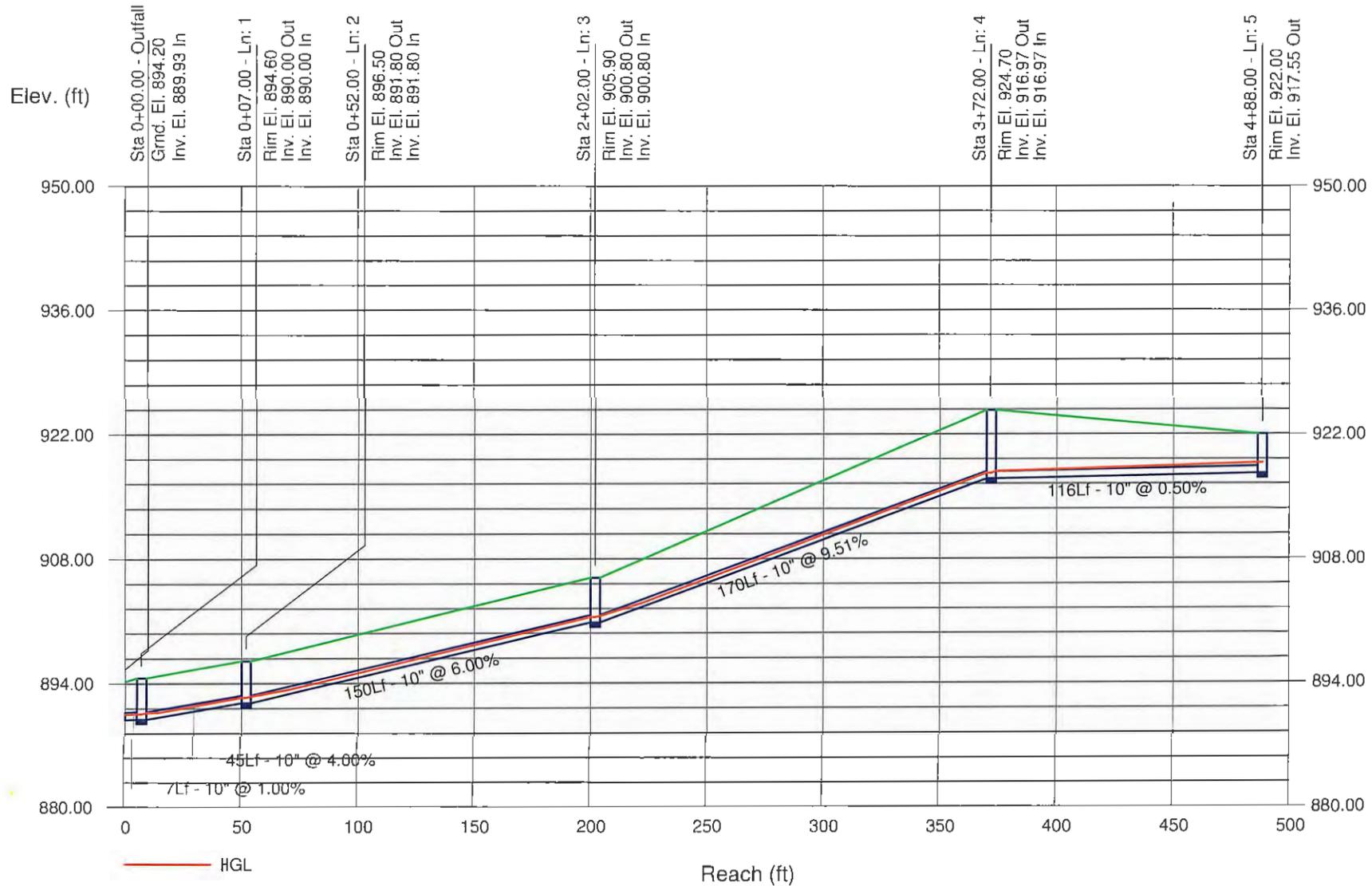
Project File: 9189.15.stm

Number of lines: 5

Run Date: 12-16-2015

NOTES: Intensity = 214.40 / (Inlet time + 19.40) ^ 1.00; Return period = 100 Yrs. ; c = cir e = ellip b = box

# Storm Sewer Profile







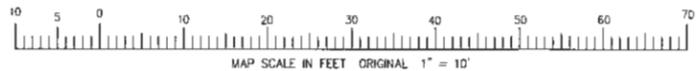
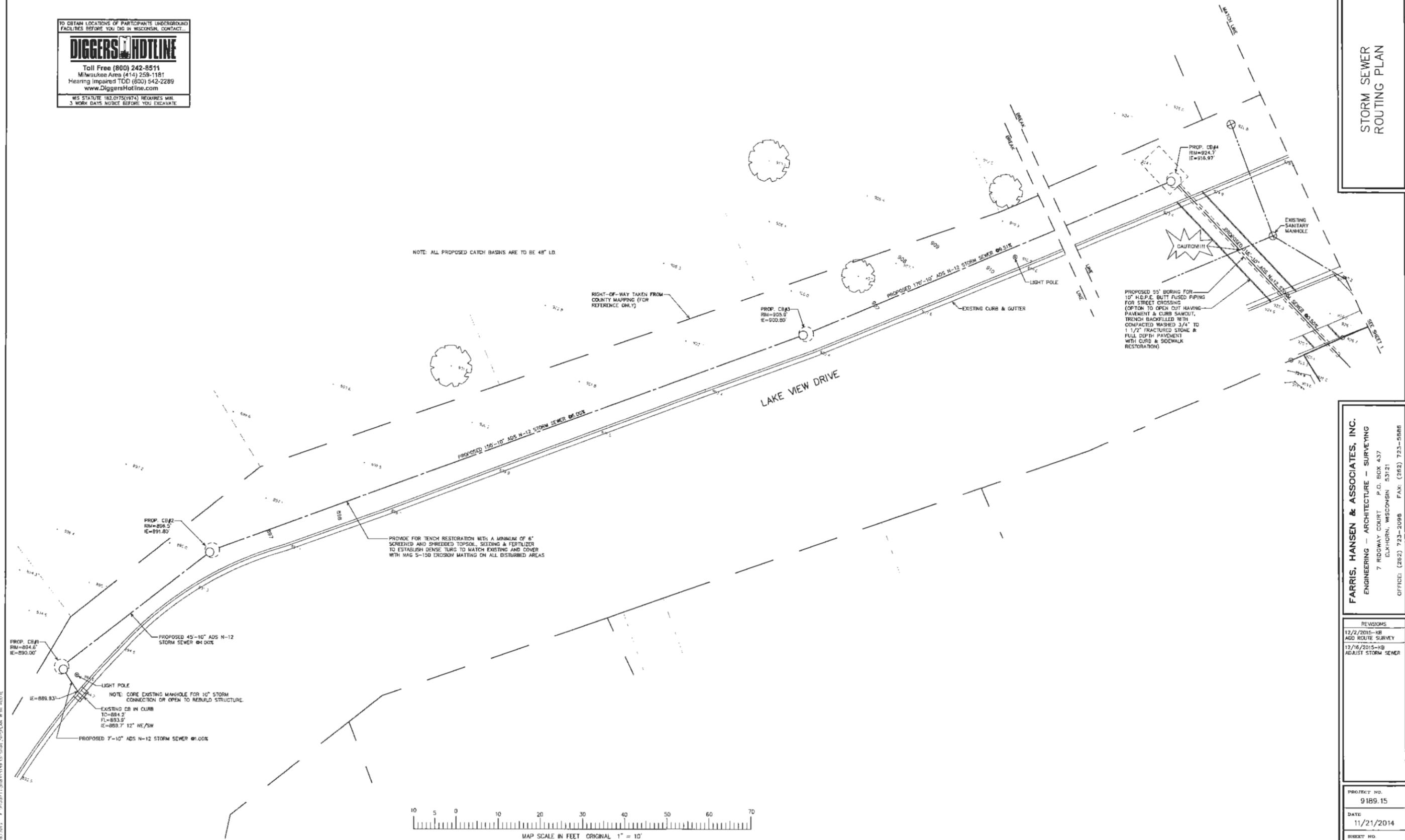
**STORM SEWER  
ROUTING PLAN**

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CONTACT:



Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

WIS STATUTE 183.075(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



**FARRIS, HANSEN & ASSOCIATES, INC.**  
ENGINEERING - ARCHITECTURE - SURVEYING  
7 RIDGWAY COURT P.O. BOX 437  
ELKHORN, WISCONSIN 53121  
OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS
12/2/2015-KB ADD ROUTE SURVEY
12/16/2015-KB ADJUST STORM SEWER

PROJECT NO. 9189.15
DATE 11/21/2014
SHEET NO. 2 OF 2

12/26/2015 7:30:41 AM SURVEYING\BIBB\PROJECTS\9189\STORM PLAN WITH ROUTE

## **Irussi Residence**

**Project No. 9189.15**

**Date: December 15, 2015**

### **ROOF DRAIN LEAD SIZING & CALCULATIONS PER SPS 382.36 'AREA METHOD'**

#### **Northwest corner tributary to CB 7**

846 S.F. Tributary; Min size required = 3" @ 1.0%; proposed 6" @ 8.0%; maximum area allowed 11,700 s.f. 6" @ 4.2% ~ 13 times what is required

#### **Northeast Portion of the Proposed Residence tributary to Easterly Deck Drain**

1,440 S.F. Tributary; Min size required = 4" @ 1.0%; proposed 6" @ 10.0%; maximum area allowed 11,700 s.f. 6" @ 4.2% ~ 8 times what is required

#### **Central Portion of the Proposed Residence tributary to Westerly Deck Drain**

1,657 S.F. Tributary; Min size required = 4" @ 1.0%; proposed 6" @ 5.0%; maximum area allowed 11,700 s.f. 6" @ 4.2% ~ 7 times what is required

#### **Easterly Deck Drain**

1,875 S.F. Tributary; Min size required = 4" @ 1.0%; proposed 6" @ 10.0%; maximum area allowed 11,700 s.f. 6" @ 4.2% ~ 6 times what is required

#### **8" Deck Drain Lead to 8" Drain Lead**

4,351 S.F. Tributary; Min size required = 5" @ 2.0%; proposed 6" @ 2.0%; maximum area allowed 18,200 s.f. 6" @ 2.0% ~ 4 times what is required

#### **6" Drain Lead along Westerly side of house to 8" Drain Lead**

1,324 S.F. Tributary; Min size required = 4" @ 0.5%; proposed 6" @ 5.0%; maximum area allowed 11,700 s.f. 6" @ 4.2% ~ 8 times what is required

#### **8" Roof/Deck Drain Lead to CB 5**

5,675 S.F. Tributary; Min size required = 6" @ 1.0%; proposed 8" @ 1.0%; maximum area allowed 13,000 s.f. 8" @ 1.0% ~ 2 times what is required

(c) Segregation of wastes. 1. a. Except as provided in subd. 3., where a sanitary sewer system and a storm sewer system are available the drain piping for storm water or clear water wastes may not connect to any part of the sanitary drain system.

b. Where a combined sanitary-storm sewer system is available storm water wastes, clear water wastes and sanitary wastes may not be combined until discharging to the building sewer.

2. Storm water wastes and clear water wastes shall not be combined until discharging into the storm building drain.

(4) LOAD ON DRAIN PIPING. (a) Storm water drainage. The load factor on storm water drain piping shall be computed in terms of gallons per minute or on the square footage of the horizontal projection of roofs, paved areas, yards and other tributary areas.

(b) Continuous flow devices. Where there is a continuous or semicontinuous discharge into the storm building drain or storm building sewer, as from a pump, air conditioning unit, or similar device, each gallon per minute of such discharge shall be computed as being equivalent to 26 square feet of roof area.

(5) SELECTING SIZE OF STORM AND CLEAR WATER DRAIN PIPING. (a) Horizontal storm water drain piping. The pipe size for horizontal drain piping for storm water shall be determined from Tables 82.36-1 to 82.36-4.

Table 82.36-1  
MINIMUM SIZE OF STORM WATER HORIZONTAL DRAIN PIPING SERVING ROOF AREAS

Pipe Diameters (in inches)	Maximum Roof Areas (in square feet)			
	Pitch of Piping Per Foot			
	1/16 inch	1/8 inch	1/4 inch	1/2 inch
3	650	910	1,300	1,820
4	1,300	1,950	2,990	3,770
5	2,470	3,640	5,070	7,020
6	4,160	5,980	8,320	11,700
8	9,320	13,000	18,200	26,000
10	17,680	24,700	33,800	50,440
12	27,300	41,080	57,200	81,900
15	52,000	72,800	105,300	146,640
18	85,800	121,550	174,200	247,000
21	156,520	179,660	256,880	374,400
24	187,200	261,560	382,200	546,000

Note: Divide square footage by 26 to obtain flow in gpm.

Table 82.36-2  
MINIMUM SIZE OF STORM WATER HORIZONTAL DRAIN PIPING PAVED OR GRAVELED GROUND SURFACE AREAS

Pipe Diameters (in inches)	Maximum Roof Areas (in square feet)			
	Pitch of Piping Per Foot			
	1/16 inch	1/8 inch	1/4 inch	1/2 inch
3	810	1,140	1,625	2,270
4	1,625	2,430	3,740	4,720
5	3,090	4,550	6,350	8,760
6	5,200	7,470	10,400	14,600
8	11,650	16,250	22,750	32,600
10	22,100	30,350	44,250	63,000
12	34,150	52,300	71,500	102,200
15	65,000	91,000	131,500	183,000
18	107,000	152,000	210,800	321,000
21	195,000	224,000	321,000	468,000
24	234,000	336,000	478,000	682,000

Note: Divide square footage by 32.5 to obtain flow in gpm.

Table 82.36-3  
MINIMUM SIZE OF STORM WATER HORIZONTAL DRAIN PIPING SERVING LAWNS, PARKS AND SIMILAR LAND SURFACES

Pipe Diameters (in inches)	Maximum Roof Areas (in square feet)			
	Pitch of Piping Per Foot			
	1/16 inch	1/8 inch	1/4 inch	1/2 inch
3	2,600	3,640	5,200	7,280
4	5,200	7,800	11,960	15,080
5	9,880	13,560	20,280	28,080
6	16,640	23,920	33,280	46,800
8	37,280	52,000	72,800	112,000
10	69,720	98,800	135,200	201,760
12	109,200	164,320	228,800	327,600
15	208,000	291,200	421,200	586,560
18	343,200	490,200	596,800	988,000
21	626,080	718,640	1,027,520	1,497,600
24	748,800	1,046,240	1,528,800	2,184,000

Note: Divide square footage by 104 to obtain flow in gpm.

**SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN  
PLAT OF SURVEY**

LOTS 10 THRU 12 & THE NORTH 10' LOT 14  
BLOCK 31 OF LAKE GENEVA MANOR SUB. TRACT NO. 17  
LOCATED IN THE SW 1/4 OF THE NE 1/4 SECTION 35  
TOWN 2 NORTH, RANGE 17 EAST  
CITY OF LAKE GENEVA  
WALWORTH COUNTY, WISCONSIN

**EROSION NOTES**

- SEEDING AND EROSION CONTROL MATTING FOR BASIN AND SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
- PROVIDE INLET PROTECTION AT CATCH BASINS AS EACH IS INSTALLED. INLET PROTECTION TO INCLUDE FABRIC BARRIERS UNDER CASTINGS.
- ALL DISTURBED SLOPES 4:1 OR GREATER SHALL BE RESTORED WITH 6" OF TOPSOIL "NO MOW" RESERVE SEED AND 4MG SC150 EROSION CONTROL BLANKET.

**CONSTRUCTION SEQUENCE**

- SILT FENCING INSTALLED
- EXISTING SURFACES DEMOLISHED & VEGETATION TO BE CLEARED
- TOPSOIL STRIPPED
- PROPOSED BASIN & WALL INSTALLED
- FOUNDATIONS BUILT & POURED
- WALLS BACKFILLED
- FRAMING & HOME CONSTRUCTION COMPLETED
- DRIVE & LANDSCAPING COMPLETED

ALL AREAS OUTSIDE OF BASINS & SLOPES LESSER THAN 4:1 TO BE RESTORED WITH TOPSOIL AS SOON AFTER FOUNDATION AND FRAMING AS POSSIBLE FOLLOWED WITH GRASS SEEDING AND MULCH.

AREA WITHIN SILT FENCING TO BE CLEARED OF UNDERBUSH WITH ONLY NECESSARY LARGE TREES REMOVED.

NOTE: ALL SILT FENCING SHALL BE MAINTAINED IN A STABLE CONDITION FULLY BRACED AND STAKED TO PREVENT MOVEMENT BY RUNOFF UNTIL A DENSE TURF IS ESTABLISHED OVER ALL DISTURBED SURFACES. DURING OR AFTER EVERY STORM THEY SHALL BE CHECKED. ACCUMULATIONS OF SILT TOPSOIL AND ANY OTHER CONSTRUCTION DEBRIS SHALL BE ROUTINELY REMOVED.

TOTAL LAND DISTURBANCE = 22,000 S.F.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CONTACT...

800-955-6869 (TOLL FREE) 800-955-6869 (TOLL FREE)  
3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

**LEGEND**

- = FOUND IRON PIPE STAKE
- = FOUND IRON REBAR STAKE
- ▲ = FOUND MAG. NAIL
- (XXX) = RECORDED AS
- AREA SURVEYED = 25,350 S.F. 0.58 ACRES
- XXX = EXISTING LAND CONTOURS
- XXX = PROPOSED LAND CONTOURS
- XXX = PROPOSED GROUND GROUND
- XXX = PROPOSED FINISHED SURFACE GRADE

WORK ORDERED BY:  
BRUCE & JOY IRUSSI  
13481 EDgewater DRIVE  
LAKEWOOD, OH 44107

NOTE: PROPOSED ROOF & DECK DRAIN LOCATION MAY VARY, HOWEVER, ALL ARE TO BE ROUTED TO THE PROPOSED STORM SEWER.

IRUSSI RESIDENCE

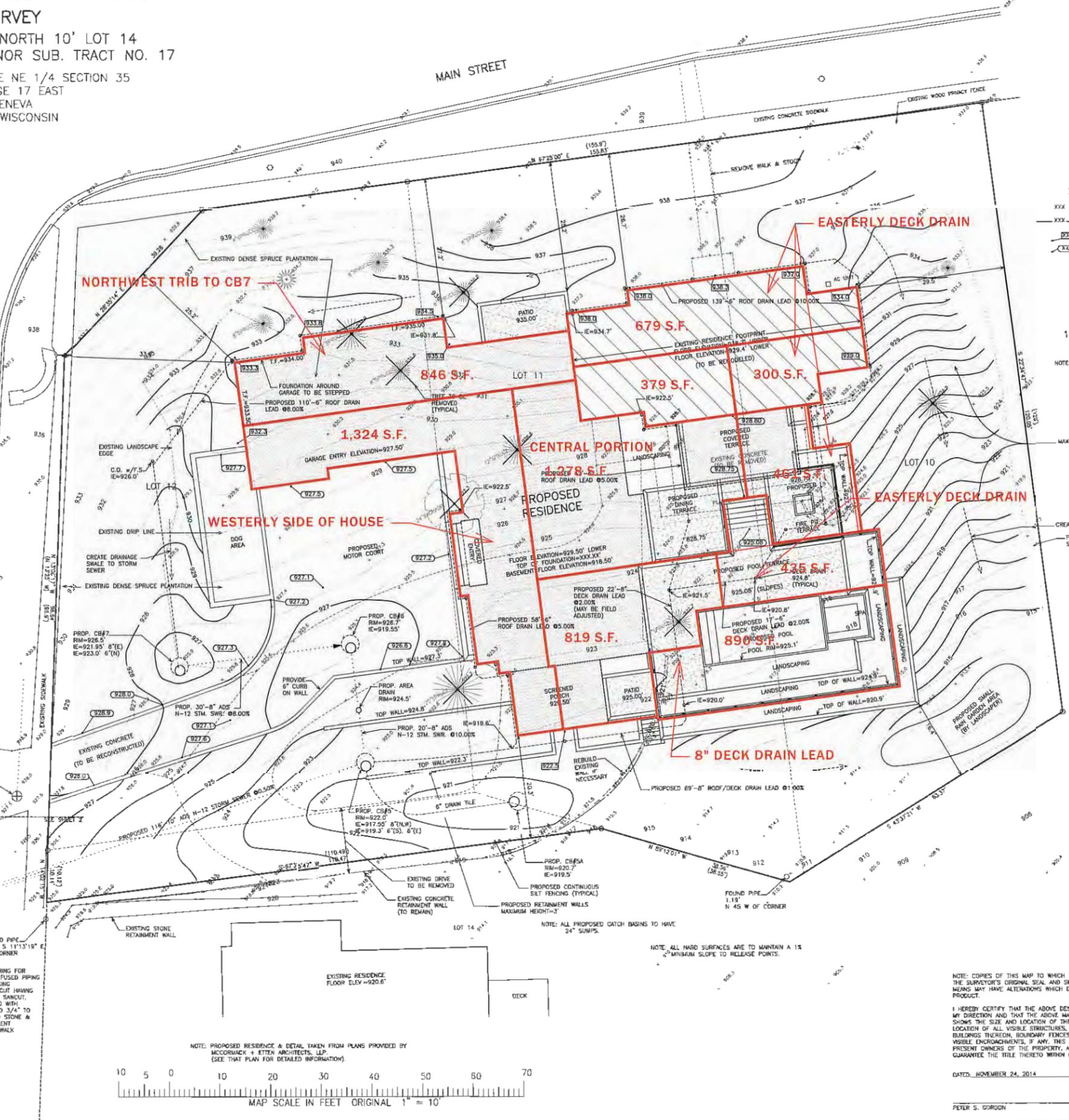
SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN

FARRIS, HANSEN & ASSOCIATES, INC.  
ENGINEERING - ARCHITECTURE - SURVEYING  
7 RIDGWAY COURT P.O. BOX 437  
ELKHORN, WISCONSIN 53121  
OFFICE: (262) 723-2098 FAX: (262) 723-5886

**REVISIONS**

11/24/2015-KB	HSC ADVANCEMENT
12/1/2015-KB	ADD ROUTE SURVEY
12/8/2015-KB	ADD RAIN GARDEN
12/16/2015-KB	ADJUST STORM SEWER

PROJECT NO.  
9189.15  
DATE  
11/21/2014  
SHEET NO.  
1 OF 2



NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES, AND DIMENSIONS OF ALL PRINCIPLE BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS, AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THEREIN WITHIN ONE YEAR FROM THE DATE HEREOF.



DATE: NOVEMBER 24, 2014 REVISED 03-16-2015  
ADD TOPOGRAPHIC DETAIL  
PETER S. GOROON



## Farris, Hansen & Associates, Inc.

Engineers Architects Surveyors

December 16, 2015

Ms. Kelly Frazier  
McCormack + Etten / Architects LLP  
400 Broad Street  
Lake Geneva, WI 53147

Re: Drainage Issues for  
Irrusi Residence  
Project No. 9189.15

Dear Ms. Frazier:

In response to the email written by Hugh Connolly dated December 14, 2015, attached you will find the revised Plans and the Revised Storm Sewer Sizing Report. We have included the comments from the email in regular text and our response in *italics*:

1. The proposed new sewer is 10" in size, what is the size of the existing city sewer that they want to tie into and is there a restrictor at the point of connection that will only allow so much water to flow into the sewer? Simply, can the existing sewer handle the additional load without surcharging?

*The existing city sewer in which we propose to tie into is a 12" pipe as previously reported. There will be no restrictor in the pipe at the point of connection. There may be limited surcharging under very heavy storm events, in general, there always is.*

2. Is the area outlined in red the "tributary area" that will be tied to the city sewer in its entirety including all roof drains? What will happen to the overland flow of the tributary area if the catch basins and area drains get clogged with leaves, sticks, debris etc.? Is the 6" drain tile that is connected to the area drain just below the Southwest corner of the screened porch sized to handle the overland flow of the area above it (i.e. the West side drainage swale, driveway/motor court catch basins and area drain between) if these basins and drains are clogged during a 100 year event? If not, should it not be sized to handle the entire area above it in the event that those areas are clogged? This area will be the last line of defense before spilling over into the rain garden.

*Yes the area outlined in red includes all roof drains. Water will pool on the surface and the inlets will need to be cleared. No, the 6" drain tile is sized for the small immediately tributary area. The assumption is that the system to the north will function and be maintained as to capture all of the upstream tributary areas.*

December 16, 2015

3. Is the existing concrete retainment wall that is called out "to remain" tall enough to act as a dam wall to hold water if the catch basins and area drains are clogged? The plan mentions, "rebuild existing wall if necessary" is this for height purposes to act as a dam if the catch basins and drains are clogged, or for some other reason?

*The existing retaining wall although not explicitly designed to do so, will hold back some water if the catch basins and area drains are clogged. The plan note stating to rebuild the wall if necessary was placed on the plan to allow the wall to be rebuilt if any part is damaged or in need of repair due to the proposed site improvements.*

4. Is the proposed rain garden sized only for the remainder of the non-tributary area (the area not outlined in red) of the drawing? Is this sized for a 100 year event? Does the rain garden percolate or will it be channeled to an outflow off site to the Southeast?

*The small rain garden is not sized for any particular storm event. The rain garden is being proposed to provide an additional area for the storm water to pond and infiltrate over time to further benefit the properties to the south. In the event of overtopping there will be sheet flow off site but at a much less rate than now occurs.*

5. Will the gutters and downspouts be high-capacity sized and will they be tied into drain tile pipe that will be sized to handle a 100 year event?

*The gutter leads are oversized compared to what is required per code for roof drains. As you can see by the attached revised Storm Sewer Sizing Report, the proposed roof drains are oversized between 2 and 13 times what is required according to code.*

6. It appears that the East half of the roof and patios will be tied into a drain tile that runs directly to the catch basins on site, do the West and North roof drain splash into the drainage swale that is called out on the West side of the garage eventually connecting to catch basin#7? If yes then why aren't all tied in directly?

*After our discussion with Hugh, we have revised the plan to show all of the roof drain leads being tied into the proposed drainage piping system directly.*

7. How will potential scouring and erosion be handled if the rain garden is overwhelmed, and spills onto neighboring properties?

*Currently there is no scouring or erosion issues on-site. The introduction of the rain garden will lessen the impact of water flow off-site. In the event of overtopping drainage will sheet flow off site as it does today and continue not to cause and scouring or erosion issues.*

8. It is my understanding that this will be a seasonal property. Who will be responsible for the cleaning and maintenance of this proposed system and how can we guarantee that it will

Page 3  
Ms. Kelley Frazier  
Irrusi Residence

December 16, 2015

maintained and deemed operational on a daily basis? This is a legitimate concern, especially in the Fall, because if it clogs we will then receive all of the site's storm water, including new improvements, which will be substantially more than what we are currently receiving.

*A maintenance agreement will be made with a local contractor to maintain the landscaping and drainage system while the Irrusi's are away or on a full time basis.*

Sincerely,

**FARRIS HANSEN & ASSOCIATES, INC.**

A handwritten signature in black ink, appearing to read 'Warren E. Hansen', written over the company name.

Warren E. Hansen, P.E.

dsr

Dear Jim Wilkins and concerned LG Manor neighbors-

Dec. 16, 2015

See responses in red below to your concerns and thoughts not addressed in Warren Hansen's letter per email sent 12/15/2015.

We hope this will clarify any concerns you may have and confirm we have taken your concerns into consideration.

Thanks-

Kelly Frazier, Senior Project Manager  
McCormack + Etten / Architects LLP  
Cell Phone: 262-215-0586  
Home Office: 262-245-9531  
Main Office: 262-248-8391  
Email: [kelly@mccormacketten.com](mailto:kelly@mccormacketten.com)  
Website: [www.mccormacketten.com](http://www.mccormacketten.com)

-----Original Message-----

From: James Wilkin [mailto:james.ankledeep@gmail.com]

Sent: Tuesday, December 15, 2015 10:17 AM

To: kelly@mccormacketten.com

Cc: Frost David <dfrost@frostpartners.com>; Wayne Reuter <wcreuter@aol.com>; Mancuso Dawn Marie <dmmancuso@wi.rr.com>; Hugh V. Connolly <hvconnolly@sbcglobal.net>; marcie hollmann <marciehollmann2@hotmail.com>; Paula Pezza <Paulapezza@aol.com>; Sarah McConnell <Sarahtmcc@gmail.com>; Nickols Thomas & Janet <thomas.nickols@bernstein.com>; Tykee Green <tykeegreen@hotmail.com>; joyirussi@gmail.com

Subject: draining plan issues

Dear Kelly,

Here are some random thoughts for you regarding the drainage plan.

The manholes going south in the parkway could interfere with the development of our lots with the curb cuts.

-Will this effect our lot values?

The placement of the catch basins are on the city right-of-way and located as needed for proper drainage for of the pipe for gravity feed based on the slope of hill and limitations to boring capabilities. It looks like they are somewhat located near property lines where side setbacks would be, making some assumptions for combining lots or if individual lots will be developed. If you have any plans for subdividing or selling these lots, engineering would have to be analyzed for changes to placement as slight adjustments could be con. I would assume that like any utilities access points, light poles or other that appears in the city right-of-way would need to be considered and planned around when developing a property and may or may not have bearing on property values.

-The memorial parkway trees will likely be affected. Will they be replaced if necessary? \

Caution as to not disrupt the trees will be taken where possible as they do the borings. Yes as, noted on the plan, trench restoration is required

-Is the receiving pipe large enough to receive the large amount of water without creating a geyser near Orchard?

As addressed in Warren Hansen's response letter to Hugh Connolly, "The existing city sewer in which we propose to tie into is a 12" pipe" "There will be no restrictor in the pipe at the point of connection. There may be limited surcharging under very heavy storm events, in general, there always is." It will not be a "geyser" per Warren's response when discussed with him.

-Will this effect any future sewer and water hookups for our lots?

The pipes that will be bored for this system will be approximately 4' to 5' below street level, see storm sewer profile in report. Utilities to lot are typically buried deeper than that, but will need to be located and worked around as what is typically expected with any future utility accesses.

-It would be nice to re-sod the disturbed areas since we maintain it.

As noted on the plans, "trench" restoration" is required which will require reseeding where needed.

Please consider these issues.

Thank you,  
Jim Wilkin

## Kelly C. Frazier

---

**From:** Kelly C. Frazier <kelly@mccormacketten.com>  
**Sent:** Thursday, December 10, 2015 3:18 PM  
**To:** 'David Frost'; 'Wayne Reuter'; 'Dawn Marie Mancuso'; 'hvconnolly@sbcglobal.net'  
**Cc:** 'marcie hollmann'; 'Paula Pezza'; 'Sarah McConnell'; 'Tom Nickols'; 'Tykee Green'; 'james wilkin'; 'Joy Irussi'  
**Subject:** RE: Irussi Residence 145 LakeView Drive Drainage Plan  
**Attachments:** 1505 ZONING AREAS -CONDITIONAL USE.pdf

Hello everyone again-

Attached is the updated Area Tabulation Calculations for the Irussi Residence at 145 Lake View. There has been some questions as to lot area, areas of existing and proposed construction and lot coverage. I had sent this previously, but I wanted to update with the latest proposed drainage plan as there has been some minor adjustments to the retaining walls. Hopefully this will be helpful to answer any questions and clarify that we exceed the requirements. The calculations were done based on the Lake Geneva Zoning Ordinance definitions of the SR-4 zoning requirements. I have also included lot coverage comparison from Existing to proposed and Maximum Living Area calculations per your own guidelines

Summary: Refer to the conclusions listed on the bottom to summarize and clarify that the proposed construction meets the requirements for with explanation as to how it is determined per SR-4 Zoning:

-Building coverage:	Proposed area 20% (40% allowed)
-Landscape Surface Ratio:	Proposed 63% (50% LSR required)
-Lot coverage increase from extg. to proposed:	Increased surface lot coverage by 1.564 times from existing.
-LGM-ARC guidelines –maximum living area:	Proposed 24% (35% allowed)

Please consider these when reviewing to answer any questions that neighbors may have.

Thanks-

Kelly Frazier, Senior Project Manager

McCormack + Etten / Architects LLP

Cell Phone: 262-215-0586

Home Office: 262-245-9531

Main Office: 262-248-8391

Email: [kelly@mccormacketten.com](mailto:kelly@mccormacketten.com)

Website: [www.mccormacketten.com](http://www.mccormacketten.com)

**From:** Kelly C. Frazier [mailto:kelly@mccormacketten.com]  
**Sent:** Wednesday, December 09, 2015 3:34 PM  
**To:** 'David Frost' <dfrost@frostpartners.com>; 'Wayne Reuter' <wcreuter@aol.com>; 'Dawn Marie Mancuso' <dmmancuso@wi.rr.com>; 'hvconnolly@sbcglobal.net' <hvconnolly@sbcglobal.net>  
**Cc:** 'marcie hollmann' <marciehollmann2@hotmail.com>; 'Paula Pezza' <Paulapezza@aol.com>; 'Sarah McConnell' <Sarahtmc@gmail.com>; 'Tom Nickols' <thomas.nickols@bernstein.com>; 'Tykee Green' <tykeegreen@hotmail.com>; 'james wilkin' <jamespwilkin@aol.com>; 'Joy Irussi' <joyirussi@gmail.com>  
**Subject:** Irussi Residence 145 LakeView Drive Drainage Plan

Hi LG Manor ARC and neighbors-

Attached is the Storm Sewer Report and Drainage plans for Irussi Residence. The last two pages of the report are the drainage plan. After considering many options we feel that the proposed plan will address the concerns of the neighbors that are directly impacted by the Irussi Lot to the best of our ability.

Currently, in its existing state, 100% of the lot surface drains directly to the south/southeast corner of the lot in the existing conditions. We are proposing reducing the surface drainage of the lot, by catching **more** than the majority of the sites surface water loads and directly piping it to the City storm sewer located at the bottom of Lake View drive on the west side of Lake View at the city right-of-way. By doing this, we are reducing the amount of surface drainage to the natural low grade of the lot at the southwest corner of the lot. There, we will be proposing a landscape rain garden (handling smaller volumes than previously proposed) that will be planted with plantings that are conducive to slowing the drainage for the greatly reduced amount of surface drainage that will naturally occur on the east side of the property. This is illustrated on the drainage plan showing a red line of the area of the lot with proposed construction that will be directed to the city storm sewer. We will be using a series of swales, terrace, pool deck, and motor court drains, and using gutters and downspouts from roofs that will direct the water to the catch basins on site that tie to the city sewer. Per the storm sewer report conclusion, we are essentially removing approximately 60% of the area of lot's surfaces drainage that will no longer be directed to the south/southeast corner. In our opinion, this should address the concerns of the neighbors directly adjacent to the Irussi's lot. In fact, the hope is that it will actually improve the drainage that occurs with the existing house and paving coverage as it exists now.

As requested by them, I will be dropping off larger hard copies of the drainage plan and report to David Frost or Tom Nickols, Hugh Connolly, and Dawn Marie Mancuso as these are the people we have been working with to come up with the plan. My understanding is that the ARC will be reviewing and consulting with neighbors as needed for comments so the board can have a teleconference on Sunday. Please respond to the board as needed so they can respond to the city prior to the Conditional use meeting with the Planning commission on Dec. 21. Please be sure to distribute or consult with the necessary parties that may not have been copied on this email.

We would appreciate a timely response as we will also need to submit our plan to the City Engineer for their review and comment to the city. I am trying to meet the already extended deadlines that the city has granted us, while keeping in mind of all the involved parties schedules thus giving them a reasonable time to complete what is required prior to the Dec. 21 meeting.

If you have any questions, please don't hesitate to call or email as needed.

Thanks-

Kelly Frazier, Senior Project Manager

McCormack + Etten / Architects LLP

Cell Phone: 262-215-0586

Home Office: 262-245-9531

Main Office: 262-248-8391

Email: [kell@mcormacketten.com](mailto:kell@mcormacketten.com)

Website: [www.mccormacketten.com](http://www.mccormacketten.com)

IRUSSI RESIDENCE

updated 12.9.15

145 LAKE VIEW DRIVE

LAKE GENEVA MANOR (SR-4)

ZONING - LOT COVERAGE

- A. LOT AREA: 25,246 SQ. FT.
- B. MAXIMUM ALLOWABLE LOT COVRG (40%):  
25,246 SF (A)  
x .40  
-----  
10,098 SF ALLOWED
- C. BUILDING COVERAGE PROPOSED:  
HOUSE/GARAGE/COVERED TERRACE: 5,010 SF  
(C) DIVIDED BY (A) = 20% PROPOSED
- D. LANDSCAPE SURFACE RATIO (MIN) LSR (50%)  
25,246 SF (A)  
x .50  
-----  
12,623 SF REQUIRED
- E. IMPERVIOUS SURFACES:  
MOTOR COURT -STREET: 2,199 SF  
POOL/TERRACES -REAR: 2007 SF  
OFFICE TERRACE -NORTH: 138 SF  
RETAIN'S WALLS SOUTH: 91 SF  
-----  
TOTAL: 4435 SF
- F. LOT COVERAGE (NOT LANDSCAPING)  
BUILDING COVERAGE (C): 5,010 SF  
IMPERVIOUS SURFACES (E): 4,435 SF  
-----  
TOTAL LOT COVERAGE: 9,445 SF
- G. LANDSCAPE SURFACE PROPOSED (GREEN SPACE):  
LOT AREA (A): 25,246 SF  
LESS LOT COVERAGE (F): -9,445 SF  
TOTAL LANDSCAPE PROPOSED: 15,801 SF  
(G) DIVIDED BY (A) = 63% LSR
- \*\*\*\* CONCLUSION: MEETS ZONING REQUIREMENTS  
PROP'D BUILD'G AREA (C) 20% (LESS THAN 40%)  
PROP'D LSR (G) 63% (MORE THAN 50%)
- H. BUILDING SETBACKS:  
-25'(STRT)  
-30'(REAR)  
-15'(SIDES)

IRUSSI RESIDENCE  
145 LAKE VIEW DRIVE  
LAKE GENEVA MANOR (SR-4)

updated 12.9.15

LOT COVERAGE COMPARISON:  
EXISTING VS. PROPOSED

K.	BUILDING/IMPERVIOUS COVERAGE	<u>EXISTING:</u>	
	EXISTING HOUSE:		1,364 SF
	CONCRETE WALK/STOOP - NORTH:		123 SF
	CONC.PATIO, APRON - SOUTH:		521 SF
	CONC. DRIVE AT STREET-WEST		427 SF
	EXTG. GRAVEL TURN-AROUND:		3518 SF
	LANDSCAPE R/WALLS AT PATIO:		60 SF
	<u>CONCRETE BLOCK R/WALL - SOUTH:</u>		<u>26 SF</u>
	TOTAL COVERAGE:		6039 SF
L.	PROPOSED BUILDING COVERAGE (F):		9445 SF
	<u>EXISTING LOT COVERAGE (K):</u>		<u>6039 SF</u>
	TOTAL INCREASE:		3405 SF

\*\*\*\* CONCLUSION: APPROXIMATELY 1.564X INCREASE  
IN COVERAGE FROM EXISTING CONDITIONS.  
9445 SF (F) DIVIDED BY 6039 SF (K) = 1.564

LGM-ARC - GUIDELINES

updated 12.9.15

I.	MAXIMUM ALLOWABLE LIVING AREA (35%):		
	25,246 SF (A - LOT AREA)		
	<u>x .35 LGM-ARC GUIDELINES</u>		
	8,836 SF ALLOWED		
J.	PROPOSED LIVING AREA:		
	1ST FLOOR EXTG./PROPOSED:		3080 SF
	2ND FLOOR EXTG./PROPOSED		2532 SF
	<u>BONUS ROOM</u>	:	<u>398 SF</u>
	TOTAL:		6,010 SF

\*\*\*\* CONCLUSION: MEETS LGM-ARC GUIDELINES:  
PROP'D LIVING AREA (J) 6,061 SF (24%)  
LESS THAN (I) 8,836 SF (35% ALLOWED)



City of Lake Geneva  
Building and Zoning  
626 Geneva Street  
Lake Geneva, WI 53147

December 22, 2015

To the Mayor and Common Council,

At the December 21, 2015 meeting of the Plan Commission two items were recommended for approval.

- • A PIP amendment filed by Geneva Professional Group, 312 Center Street, Lake Geneva, WI 53147 for two small additions to their property was recommended for approval by the Plan Commission.
- A PIP amendment filed by Tom Howald for ALDI Inc., Oak Creek Division, 9342 South 13<sup>th</sup> Street, Oak Creek, WI 53154 on behalf of Interra-Sky Lake Geneva LLC, 2400 Augusta Drive, Suite 330, Houston, TX 77057 for a front façade change and a single loading dock at the rear of an existing tenant space was recommended for approval by the Plan Commission with the condition the Building Inspector verifies the brick color used for the front façade matches the brick on the existing building.

As the Building and Zoning Administrator I am therefore requesting that the City Council take into consideration the unanimous vote of the Plan Commission and approve both the PIP amendments with all of the Plan Commission conditions.

Sincerely,  
Kenneth Robers  
Building and Zoning Administrator

8. **Public Hearing and recommendation on a Precise Implement Plan (PIP) Amendment for additions to an existing building filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Geneva Professional Group, 312 Center Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00161.**

**DISCUSSION –Ken Etten, McCormack + Etten Architects, LLP, 400 Broad Street, LG - on behalf of Applicants**

Etten gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details.

**PUBLIC SPEAKERS** - None

**MOTION #4**

Kupsik/Skates moved to close the public hearing. The motion carried unanimously.

**MOTION #5**

Kupsik/Gibbs moved to approve recommendation on a Precise Implement Plan (PIP) Amendment for additions to an existing building filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Geneva Professional Group, 312 Center Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00161.

The motion carried unanimously.

9. **Public Hearing and recommendation on a Conditional Use Application filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Edith G. Andrew Trust for the installation of a decorative fence in excess of three feet (six feet), in the front street yard on property line and in Right of Way at 1322 W. Main Street, Lake Geneva, WI 53147, Tax Key No. ZYUP 00094L.**

**DISCUSSION – Ken Etten of McCormack + Etten /Architects, LLP, 400 Broad Street, LG for Edith G. Andrew**

Etten gave brief overview of the application details and there was a some discussion amongst the Commission to clarify the details.

**PUBLIC SPEAKERS** - None

**MOTION #6**

Kupsik/Skates moved to close the public hearing. The motion carried unanimously.

**MOTION #7**

Kupsik/Mayor Connors moved to approve recommendation on a Conditional Use Application filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Edith G. Andrew Trust for the installation of a decorative fence in excess of three feet (six feet), in the front street yard on property line and in Right of Way at 1322 W. Main Street, Lake Geneva, WI 53147, Tax Key No. ZYUP 00094L. Pursuant to the Finding of facts and City staff comments with the provisions that the owner obtains a ROW occupancy permit from the Public Works department and the fence be removed at the owners expense if deemed necessary by the city at some future date. The motion carried unanimously.

10. **Public Hearing and recommendation on a Precise Implement Plan (PIP) Amendment filed by Tom Howald, ALDI, Inc. Oak Creek Division, 9342 South 13<sup>th</sup> Street, Oak Creek, WI 53154 for Interra-Sky Lake Geneva LLC, 2400 Augusta Drive, Suite 330, Houston TX, 77057 for the building at 200 N Edwards Blvd., Lake Geneva, WI 53147 to modify the entrance over an existing tenant space and add a loading dock to rear of building, Tax Key No. ZA196100001.**

**DISCUSSION – Tom Howald, ALDI, Inc. Oak Creek Division, Oak Creek, WI**

Howald gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details. It is to be noted that the brick presented at the meeting is not representative of what would be used during construction.

**PUBLIC SPEAKERS** - None

**MOTION #8**

Kupsik/Gibbs moved to close the public hearing. The motion carried unanimously.

**Plan Commission Staff Report – December 21, 2015**

**Agenda Item #8**

Applicant:  
Ken Etten for Geneva Professional Group  
400 Broad Street  
Lake Geneva, WI 53147

Request:  
Amendment to the Precise Implementation Plan  
(PIP) for Geneva Professional Group, 312 Center  
Street, Tax Key No. ZOP 00161.

Description:

The applicant would like to add on to the building to create addition office space and to square off the existing building which will encroach on a small section of the rear property line.

Staff Recommendation:

Staff has no objection to the request as it will only impact an approximately two foot section of the rear lot line for the South addition and all other setbacks meet requirements for Central Business District.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

*City of Lake Geneva*

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

312 CENTER STREET, LAKE GENEVA, WI 53147

TAX KEY NO. ZOP 00161

LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY,

Name and Address of Current Owner:

GENEVA PROFESSIONAL GROUP

312 CENTER STREET, LAKE GENEVA, WI 53147

Telephone No. of Current Owner including area code: (262) 248-8766

Name and Address of Applicant:

KEN ETEN / MCCORMACK + ETEN / ARCHITECTS LLP

400 BROAD STREET, LAKE GENEVA, WI 53147

Telephone No. of Applicant including area code: (262) 248-8391 EXT. 12

Proposed Use:

TWO NEW ADDITIONS TO THE EXIST LAKE GENEVA  
ORAL + MAXILLOFACIAL SURGERY BUILDING / 138 S.F. ADDITION  
FOR NEW OPERATORY ROOM / 188 S.F. ADDITION FOR NEW  
STERILIZATION ROOM.

Zoning District in which land is located: PD - PLANNED DEVELOPMENT

Names and Addresses of architect, professional engineer and contractor of project:

MCCORMACK + ETEN / ARCHITECTS LLP

400 BROAD STREET, LAKE GENEVA, WI 53147

Short statement describing activities to take place on site:

LAKE GENEVA ORAL + MAXILLOFACIAL SURGERY  
HAS BEEN PROVIDING PROFESSIONAL SERVICES  
AT THIS LOCATION SINCE 1988. THEY WISH TO EXPAND  
THEIR PRACTICE TO BETTER SERVE THEIR PATIENTS  
IN THE LAKE GENEVA AREA.

PIP Amendment fee \$400.00, payable upon filing application.



Signature of Applicant

November 12, 2015



**Mr. Ken Robers  
Building Inspector / Zoning Administrator  
City of Lake Geneva  
626 Geneva Street  
Lake Geneva, WI 53147**

**Re: APPLICATION FOR AMENDMENT TO  
PIP – PRECISED IMPLEMENTATION PLAN  
PLANNED DEVELOPMENT (PD) ZONING  
ADDITIONS & ALTERATIONS TO  
LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY  
312 CENTER STREET  
LAKE GENEVA, WI 53147  
JOB NO. 1570**

Dear Mr. Robers & Plan Commission Members:

Drs. Robert Conlon, Dr. John Richard and Dr. Bryan VanOven wish to amend the *PD - Planned Development Zoning* for Lake Geneva Oral & Maxillofacial Surgery at 312 Center Street, Lake Geneva, Wisconsin, Tax Key #ZOP 00161, to allow for Additions & Alterations on the north and south sides of the building for additional dental office space as described below.

The *Existing Site* consists of approximately 12,003 sq. ft. or approximately 0.28 acres. In addition to the *Existing Building*, the north side of the site contains a paved Parking Lot with 15 spaces and the areas immediately adjacent to the building are landscaped or predominantly green areas.

The *Existing Building* is a two story, wood frame structure with a partial *Basement* that was originally a residence that was expanded and remodeled a number of years ago for office space and is currently an oral surgery office. Under the *Lake Geneva Zoning Ordinance*, the *Existing Building & Use* are classified as “*Personal and Professional Services*”, which is a use *Permitted by Right* under the *CB – Central Business Zoning District*. *When the Building was remodeled a number of years ago, the zoning was changed to PD - Planned Development because of the unique configuration of the property.* In its present configuration, the *Existing Building* contains Reception / Waiting Area, Dental / Oral Surgery Operatory Space, Offices, Storage and Restrooms on the *Main Floor*, Private Office Space and Storage for the Owners not open to the public on the *Second Floor*, and Storage and Mechanical Space on the *Basement Level*.

McCormack + Etten / Architects, LLP

400 Broad Street, Lake Geneva, WI 53147  
Email: [contact@mccormacketten.com](mailto:contact@mccormacketten.com)

Ph (262) 248-8391 Fax (262) 248-8392  
<http://www.mccormacketten.com>

A. *The Owners wish to construct two New Additions, one on south side of the Existing Building to provide New Operatory Space and one on the north side to expand the Sterilization Room. In addition, there would be some interior remodeling of the Patient Recovery Area and upgrades to the plumbing, mechanical and electrical systems. The new configuration as currently proposed would consist of the following:*

**FIRST FLOOR**                      *Approximately 138 sq. ft. of New Operatory Space on the south side fo the building and approximately 188 sq. ft. of New Sterilization Space on the north side.*

**SECOND FLOOR**                      *No Change / No public access.*

**BASEMENT**                              *No Change / No public access.*

*As noted above, the Site currently also contains a paved private Parking Lot with 15 stalls including one handicapped accessible stall. These 15 parking stalls will be maintained.*

B. Under the current **City of Lake Geneva Zoning Ordinance**, the property is zoned **PD - Planned Development**. Several facts should be considered when viewing the remodeling of the *Existing Oral Surgery Office* on this site:

- **It is a unique existing structure on a limited site that originally was a residence that was converted to office use over 35 years ago.**
- **It is located in close proximity to the *Central Business District Zoning* and its configuration would be more nearly in keeping with the criteria for the *Central Business (CB) District*.**
- **The adjoining properties along Center Street include a restaurant that is zoned *CB - Central Business* and an office building that is zoned *GB – General Business*, neither of which provide public on-site parking. *Lake Geneva Oral & Maxillofacial Surgery will continue to provide 15 off-street parking stalls on their property.***

*Given that the existing building, site and proposed use are so unique, we believe the best option is to allow an Amendment to the current Planned Development (PD) with criteria similar to those used in the Central Business (CB) Zoning District.*

C. **Zoning Intensity and Bulk Standards Under the present “Central Business” (CB) Zoning (Nonresidential Uses) That Would Be Met:**

**Maximum Number of Floors:**                      **4 Floors Allowed / 2 Stories + Basement Provided. (3 Floors Total)**

<b>Minimum Lot Area:</b>	<b>1,750 s.f. Required / 12,003 s.f. Provided</b>
<b>Minimum Lot Width:</b>	<b>20' Required, 87' Provided.</b>
<b>Min. Bldg. to Residential Rear (West) Lot Line:</b>	<b>10' Required / 78' Provided plus 6' Fence</b>
<b>Maximum Bldg. Height:</b>	<b>45' Max. / 25' Actual</b>
<b>Min. Landscape Surface:</b>	<b>0% Required / 23% Provided (2,750 s.f.)</b>
<b>Maximum Floor Area Ratio:</b>	<b>3.0 Allowed / .33 Actual (3,935 s.f. Building / 12,003 s.f. Lot)</b>
<b>Front Street Setback @ Center Street:</b>	<b>0' Required @ Front Street Side 32' Provided</b>
<b>Required Parking:</b>	<b>0 Stalls Required / 15 Stalls On-Site</b>
<b>Side Street Setback @</b>	<b>0' Required 27' Provided @ alley on north side 3.6' Provided @ side yard on south side</b>
<b>Min. Paved Surface Setback</b>	<b>0' Required / 0' Provided</b>

**D. Zoning Standards Under the present “Central Business” (CB) Zoning (Nonresidential Uses) That Would Not Be Met:**

<b>Min. to Nonresidential Side (South) Lot Line:</b>	<b>10' Required / 2' Provided @ southwest corner of site.</b>
--	---

The following documents are enclosed to facilitate the review of the proposed Planned Development rezone:

1. A *Location Map of the Subject Site* and other lands within 300 feet of the Subject Site on the *City of Lake Geneva Zoning and Land Use Map*.
2. A *Certified Survey Map* which depicts the dimensions of the *Subject Site*.
3. A *General Written Description* of the *Proposed Amended PIP and Potential Requested Exemptions*.
4. A *Site Plan, Floor Plans & Elevations* of the proposed additions and changes to the Building.

Thank you for your consideration of the above project. Please let me know if you need additional information or have any questions.

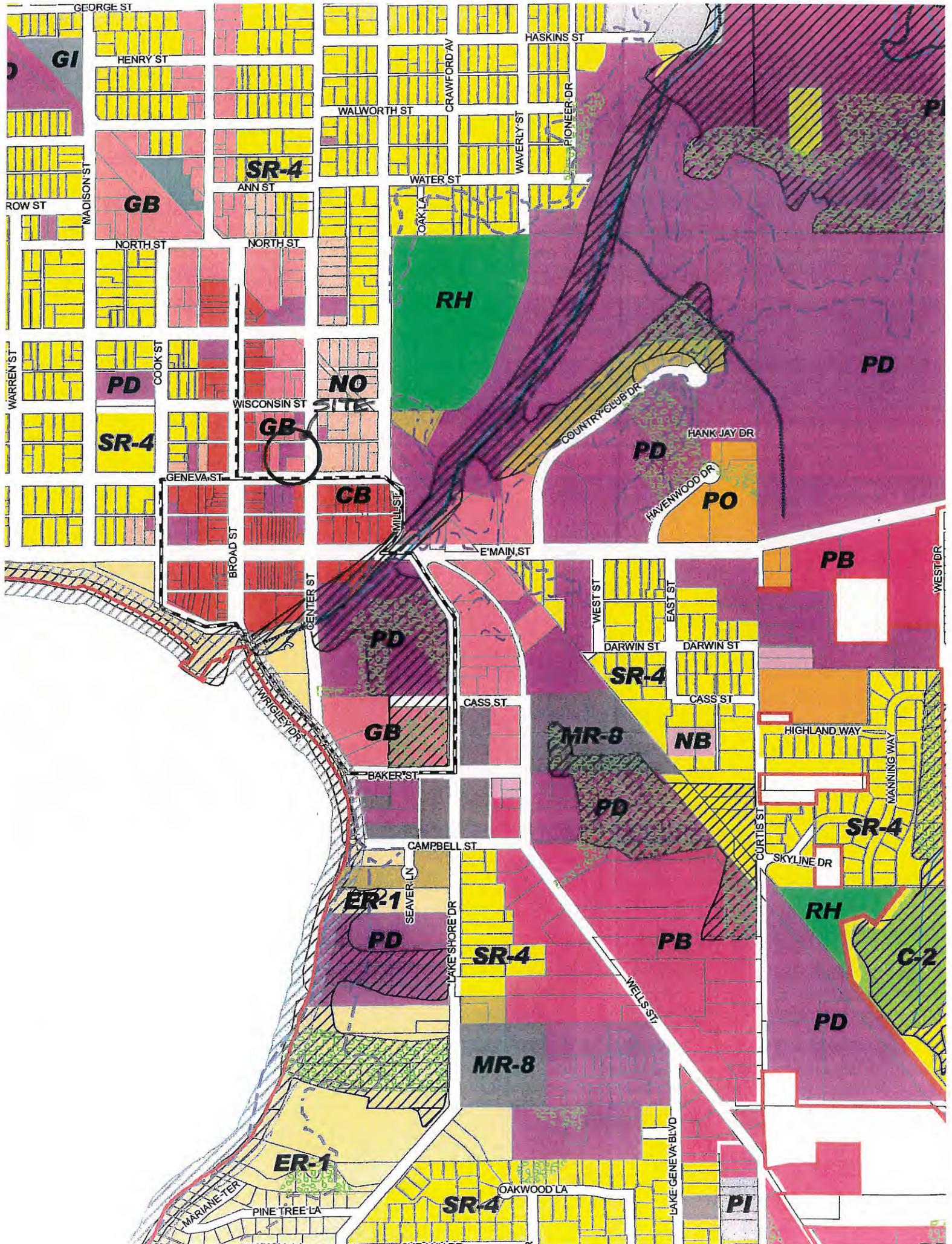
Sincerely,

A handwritten signature in black ink, appearing to read "Kenneth L. Etten". The signature is fluid and cursive, with a large initial "K" and a stylized "E".

Kenneth L. Etten A.I.A.

McCormack + Etten / Architects

—

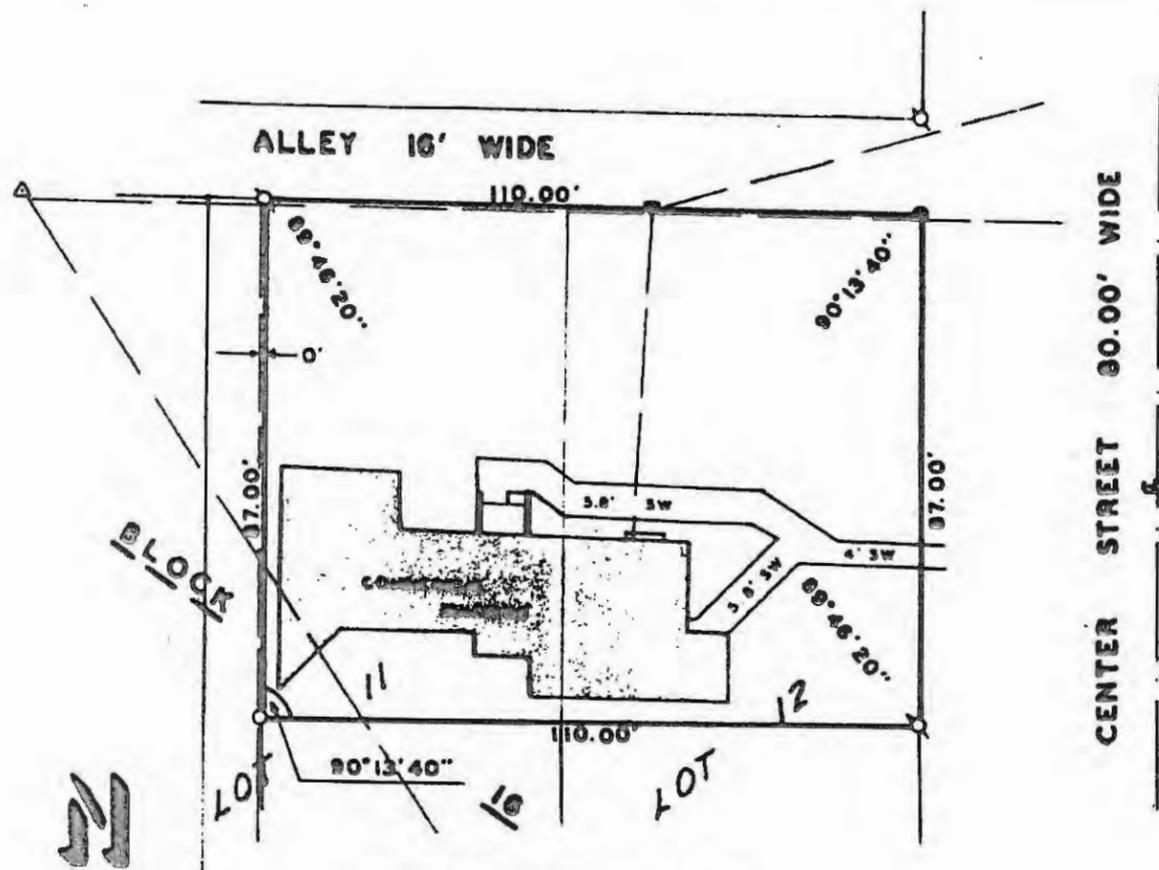




RECEIVED  
NOV 13 1988

**KOLB LAND CONSULTING, INC.**  
LAND SURVEYING · SUBDIVIDING · LAND PLANNING

929 WILLIAMS STREET LAKE GENEVA, WISCONSIN 53147 414-248-3697



SCALE: 1" = 30'

ORDERED BY: DERRALD M. WEST  
312 CENTER STREET  
LAKE GENEVA, WI. 53147

PLAT OF SURVEY OF

LEGEND

- Ø - IRON PIPE FOUND
- - 1-1/4" X 24" IRON PIPE SET
- - RAILROAD SPIKE SET
- △ - UTILITY POLE
- - OVERHEAD UTILITY LINE
- SW - SIDE WALK

THE NORTH 87 FEET OF THE EAST 50 FEET OF LOT 11 AND THE NORTH 87 FEET OF LOT 12, BLOCK 16, OF THE ORIGINAL PLAT OF THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY, TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

*Harold H. Kolb*  
HAROLD H. KOLB  
WISCONSIN REGISTERED LAND SURVEYOR, S-187  
DATE MAY 8, 1986  
REVISED \_\_\_\_\_  
REVISED \_\_\_\_\_





## **GENERAL WRITTEN DESCRIPTION OF PROPOSED PLANNED DEVELOPMENT AMENDMENT**

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The Owners respectfully requests an *Amendment to PD - Planned Development Zoning* for their property to allow for the *Additions & Alterations to the Lake Geneva Oral & Maxillofacial Surgery* as described herein.

A. The *Existing Building* is located in the City of Lake Geneva at 312 Center Street and is presently consists of a two story structure with a partial basement. It was originally a residence that was converted to an office building around 1980 for an architectural firm and has operated under its current use since 1988.

B. The *Existing Site* consists of 12,003 sq. ft. or approximately 0.28 acres. Under the current *PD - Planned Development Zoning*, the *Building Use* as an oral surgery office is classified as "*Personal & Professional Services*" which is a Use Permitted by Right within the *Central Business Zoning District*. In its present configuration, the *Building* contains Oral Surgery Operatory Spaces, a Reception Area, Offices, Storage and Bathrooms. The *Second Floor* is private Office Space for the Owners and is not open to the public and the *Basement Level* is Storage and Mechanical Space, also not open to the public. *The Site contains paved Parking Lots on the north and west with a total of 15 spaces plus public on-street parking on the Center Street. The areas immediately adjacent to the Building area landscaped or predominantly green areas.*

C. The *Proposed New Additions* the Owners wish to construct would consist of a *New Operatory Room* approximately 138 sq. ft. in size at the southwest corner of the Existing Building and a *New Sterilization Room* approximately 188 sq. ft. on the north side.

D. At the *Proposed New Additions*, the Owner wishes to continue the *Finish Materials and Landscaping* of the *Existing Building*. The *Exterior Finish Materials* would be predominately white E.I.F.S. on the walls, brown asphalt shingles on the roof and dark bronze anodized aluminum window and door frames to match the *Existing Building* finishes. *There would be no significant changes to the building signage or exterior lighting and only minimal changes to the landscaping due to the New Additions.*

## **WRITTEN JUSTIFICATION FOR REQUESTING PLANNED DEVELOPMENT ZONING AMENDMENT**

---

Since the current site meets the majority of the *CB – Central Business Zoning* requirements that have been used for this property in the past, the reason for requesting the *Amendment to the Existing PD - Planned Development Zoning* under the Lake Geneva Zoning Ordinance, including the following items:

1. **SETBACKS:** Under *CB - Central Business District* requirements that have been referenced for this property in the past, the required setback to a **Street Side Lot Line** would be 0' on Center Street, the required **Side Lot Line Setback** to a **Non-Residential Property** on the north and south sides would be 0', and the **Minimum Rear Yard Setback** would be 10'. The *Existing Building* and *Proposed New Additions* meet the **Street and Side Yard Setback** requirements but, due to the small jog in the southwest lot line, the *Existing Building* and *Proposed New Additions* do not meet the 10' **Rear Yard Setback** for a small portion of the southwest corner of the *Building*. *The Existing Building and the Proposed New Addition at the southwest corner of the property would come within approximately 2' of the rear lot line for a length of 4.32' at the jog in the lot line. The Owners would request a variance from the normal Setback requirements for this portion.*

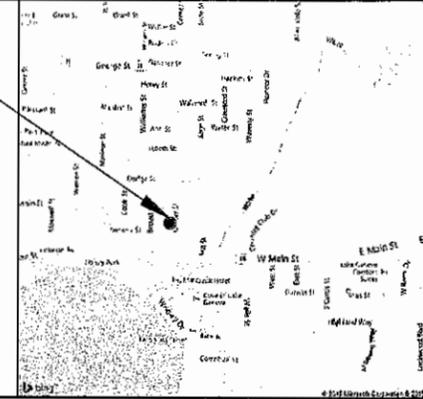
2. **SPECIFIC PERFORMANCE STANDARDS:** This **Building** has been a part of the Lake Geneva business community for a number of years, both as a residence and as a commercial office building. The majority of the buildings on this block on both **Center Street** and **Geneva Street** are residential structures that have been converted to commercial uses and are either zoned *General Business* or *Planned Development* using the *Central Business Zoning District* standards. *This specific property meets all of the Bulk and Intensity requirements of the Central Business District with the exception of the 10' Rear Yard Setback for a small portion of the southwest corner of the building. In addition, it provides 15 off-street parking stalls for employees and customers. The Owners request the cooperation of the Plan Commission and the City Council in allowing this Amendment to the current PD – Planned Development Zoning.*

# ADDITIONS & ALTERATIONS TO THE LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY

312 CENTER STREET  
LAKE GENEVA, WISCONSIN 53141

### LOCATION MAP

PROJECT LOCATION



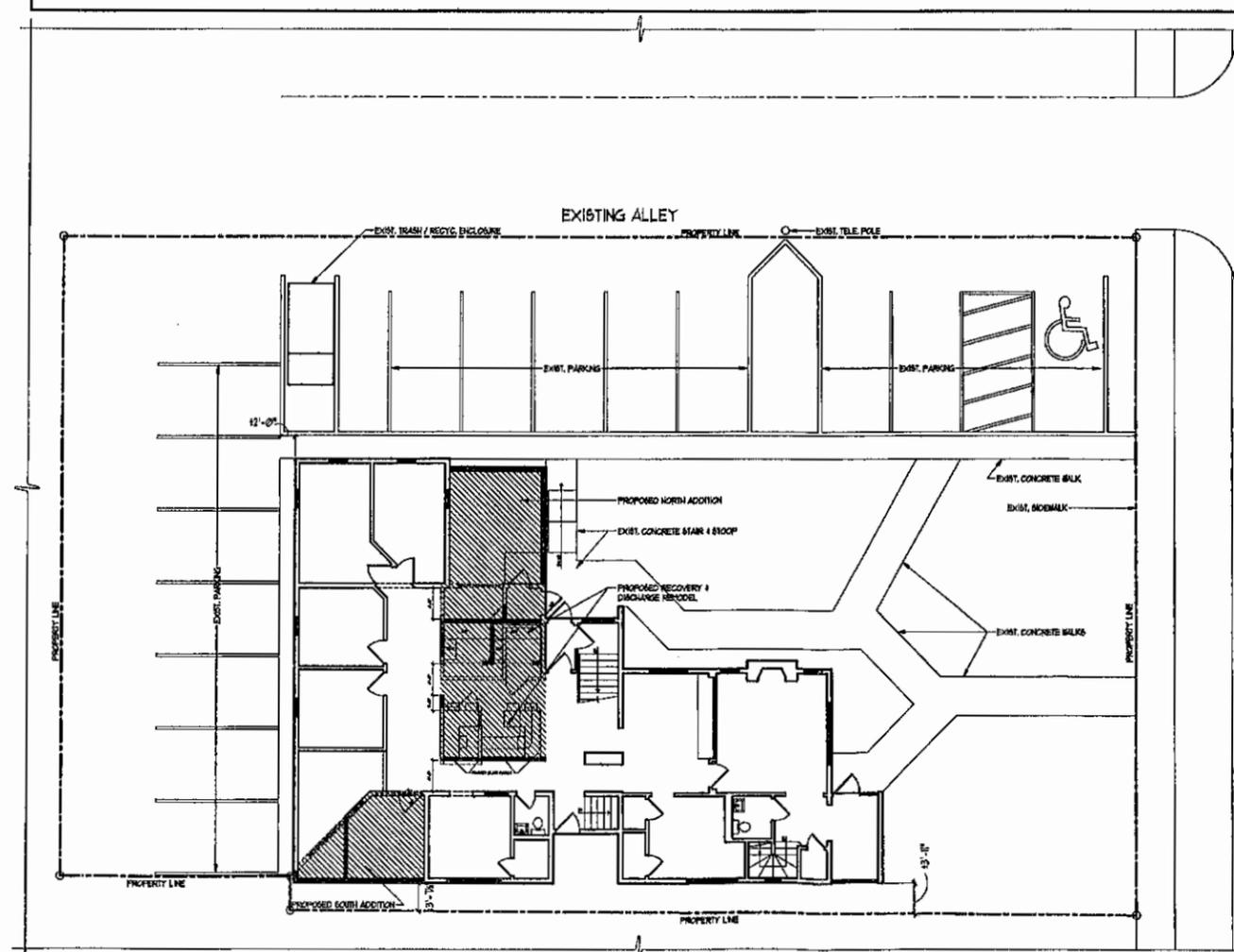
### DRAWING SHEET INDEX:

T-1 TITLE SHEET & EXISTING SITE PLAN

ARCHITECTURAL:  
AB-1 EXISTING FIRST FLOOR PLAN  
AB-2 EXISTING ELEVATIONS

A-1 PROPOSED FIRST FLOOR PLAN  
A-2 PROPOSED ELEVATIONS

### PROJECT SKETCH



 **SITE PLAN**  
SCALE: 1" = 10'-0"

ADDITIONS AND ALTERATIONS TO THE  
**LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY**  
312 CENTER ST.  
LAKE GENEVA, WI 53141

PROJECT NO:  
1570

REVISIONS
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<input type="checkbox"/> PERMITS
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DATE  
11-12-15

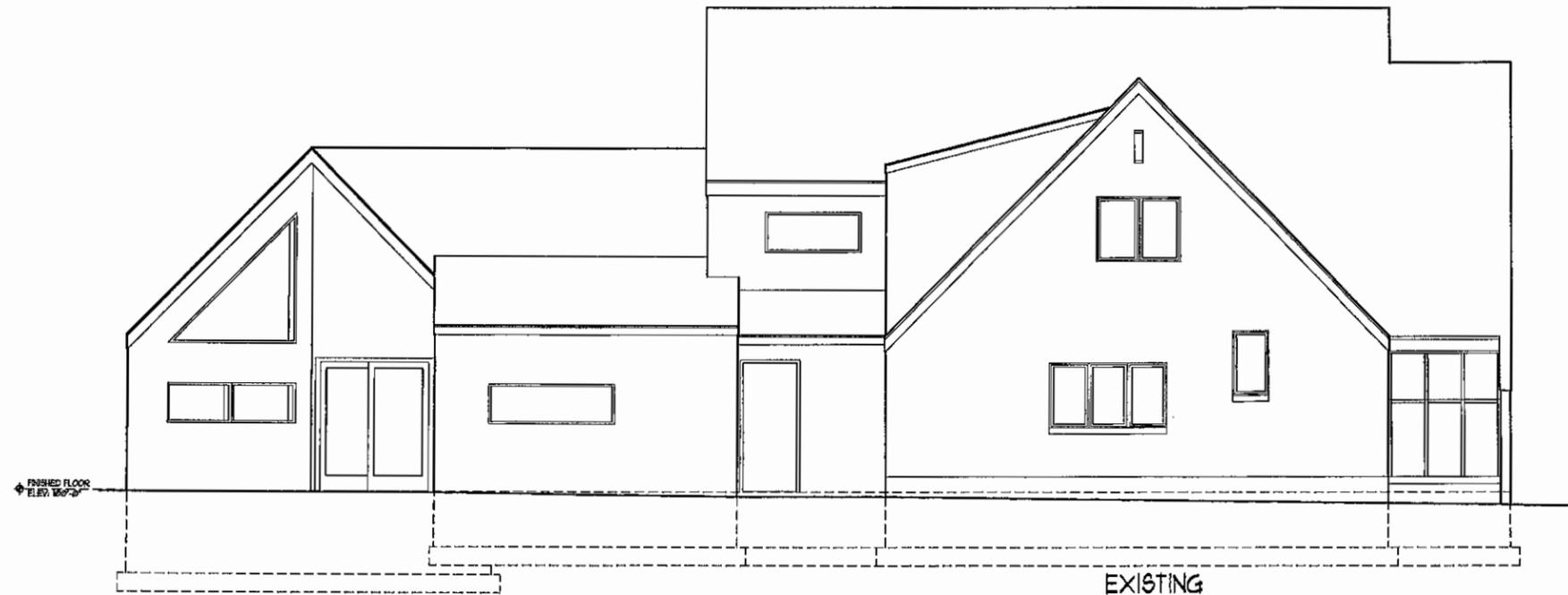
SHEET  
T-1

**McCormack + Eiten / Architects, LLP**  
400 Broad Street  
Lake Geneva, WI 53147  
PH (262) 249-8891  
CONTACT: mcmack@macellen.com www.mcmackellen.com

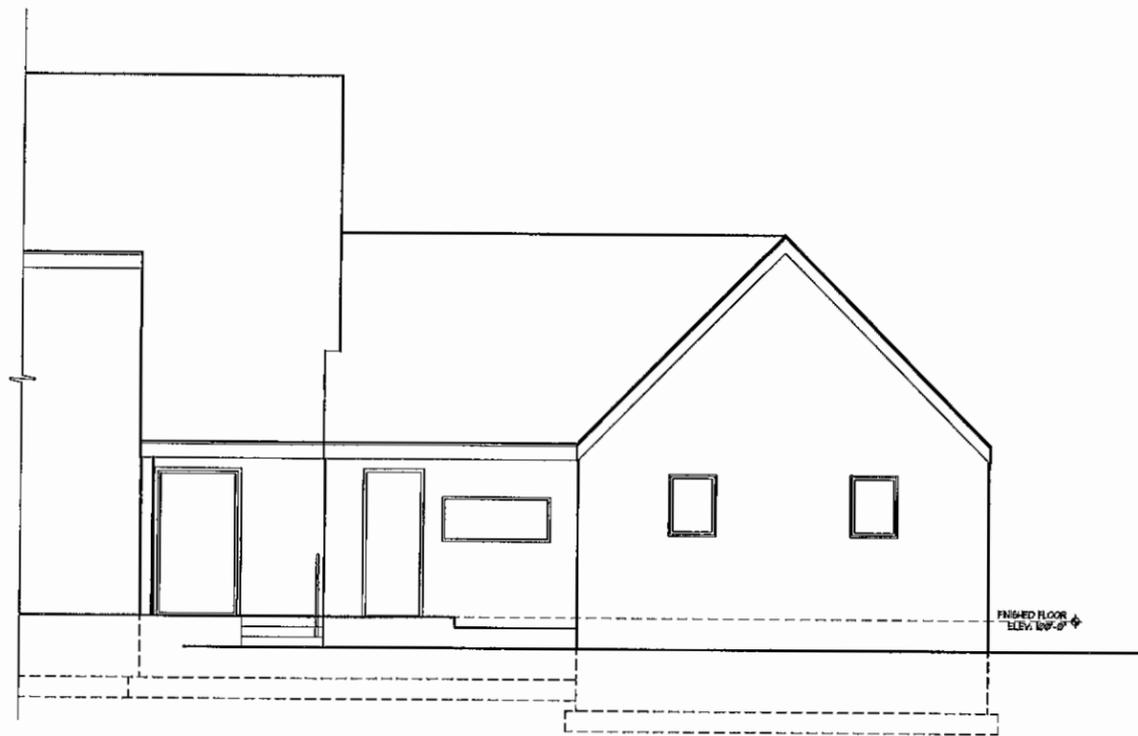


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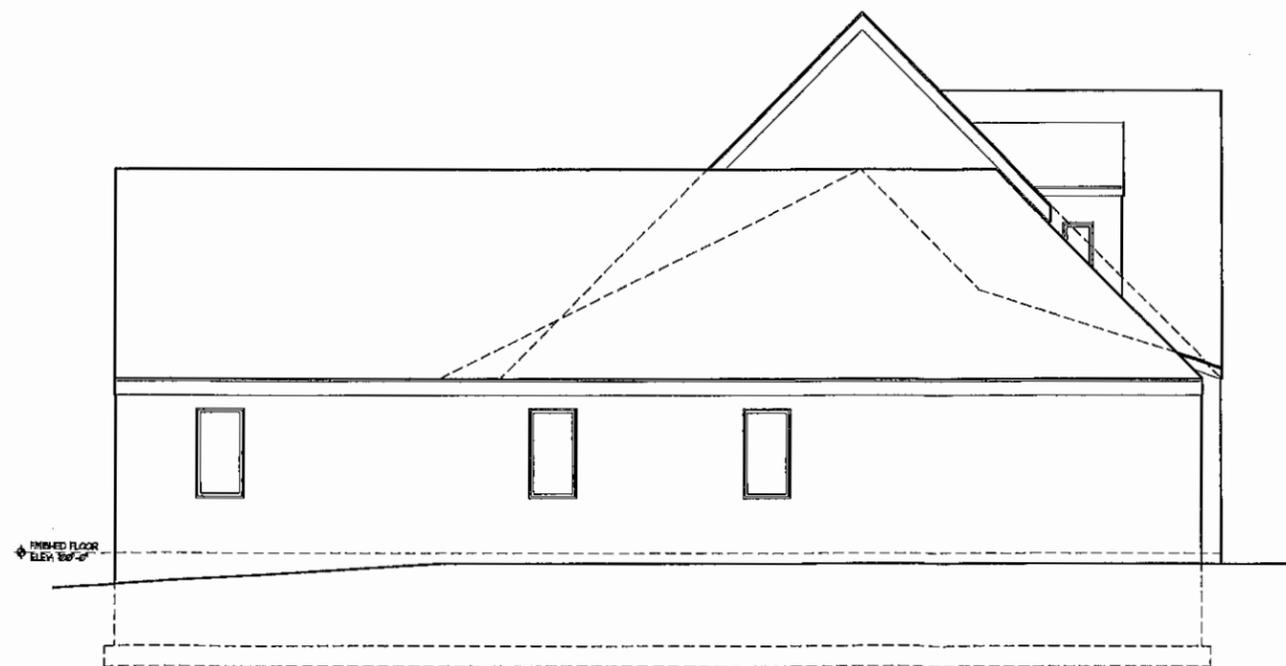
CENTER STREET



EXISTING  
SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING  
NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING  
WEST ELEVATION  
SCALE: 1/4" = 1'-0"

McCormack + Eiten / Architects, LLP  
400 Broad Street  
Lake Geneva, WI 53147  
Ph: (262) 248-6391  
Fax: (262) 248-6392  
contact@mccormackeiten.com www.mccormackeiten.com



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ADDITIONS AND ALTERATIONS TO THE  
LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY  
312 CENTER ST.  
LAKE GENEVA, WI 53147

PROJECT NO.  
1570

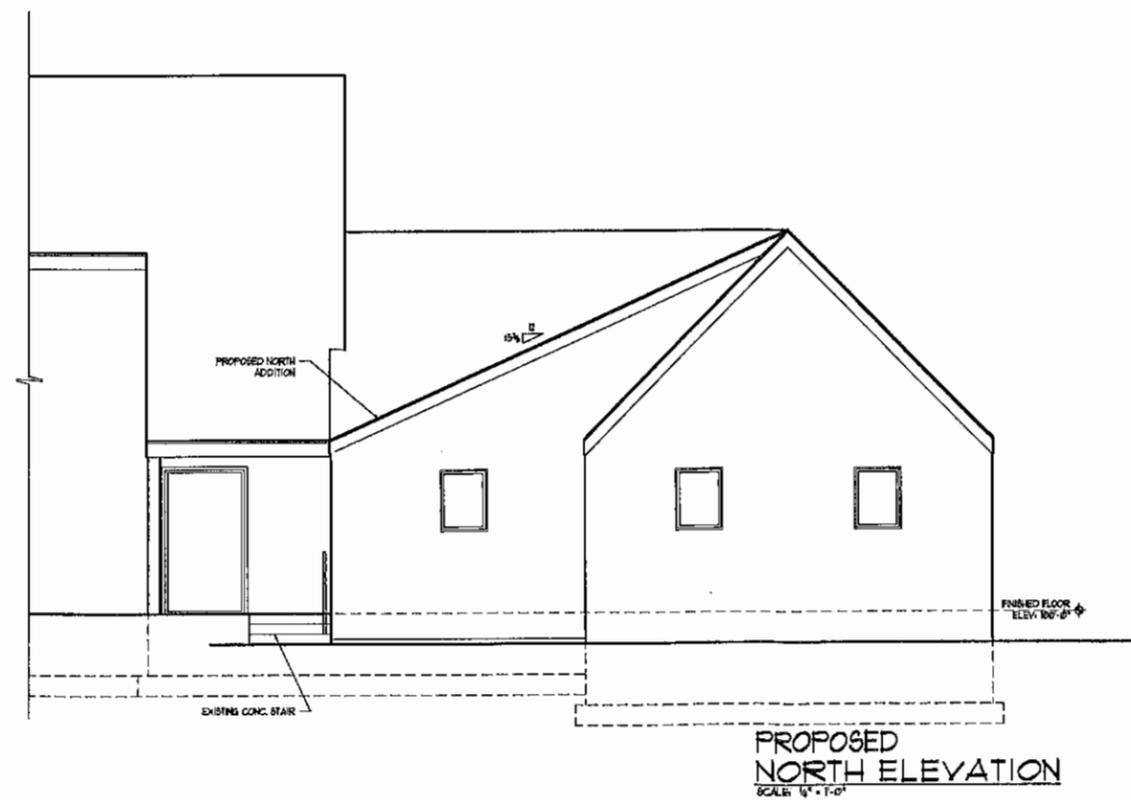
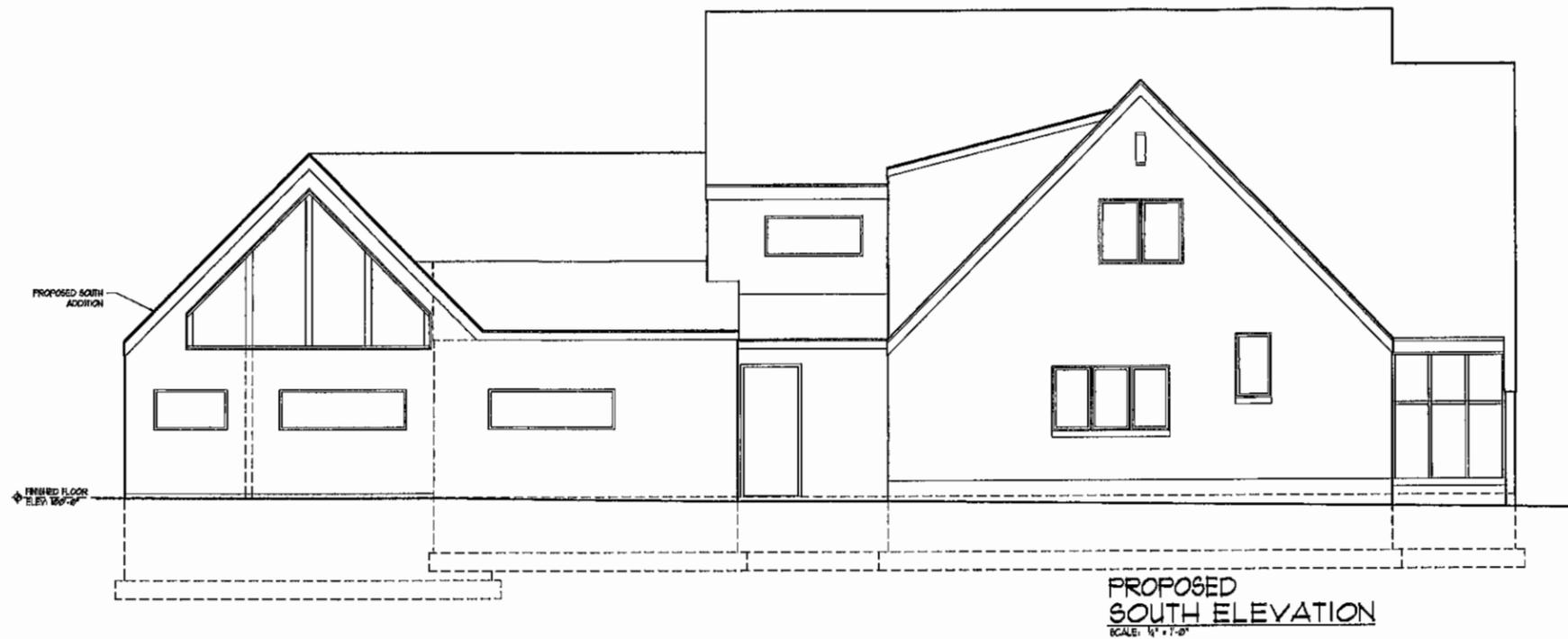
REVISIONS

- PRELIMINARY
- SUBMITTAL
- PERM
- CONSTRUCTION

DATE  
11-12-15

SHEET

AB-2



McCormack + Eitten / Architects, LLP  
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 Lake Geneva, WI 53147  
 PH (262) 248-6891  
 CONTACT@mccormackeitten.com www.mccormackeitten.com

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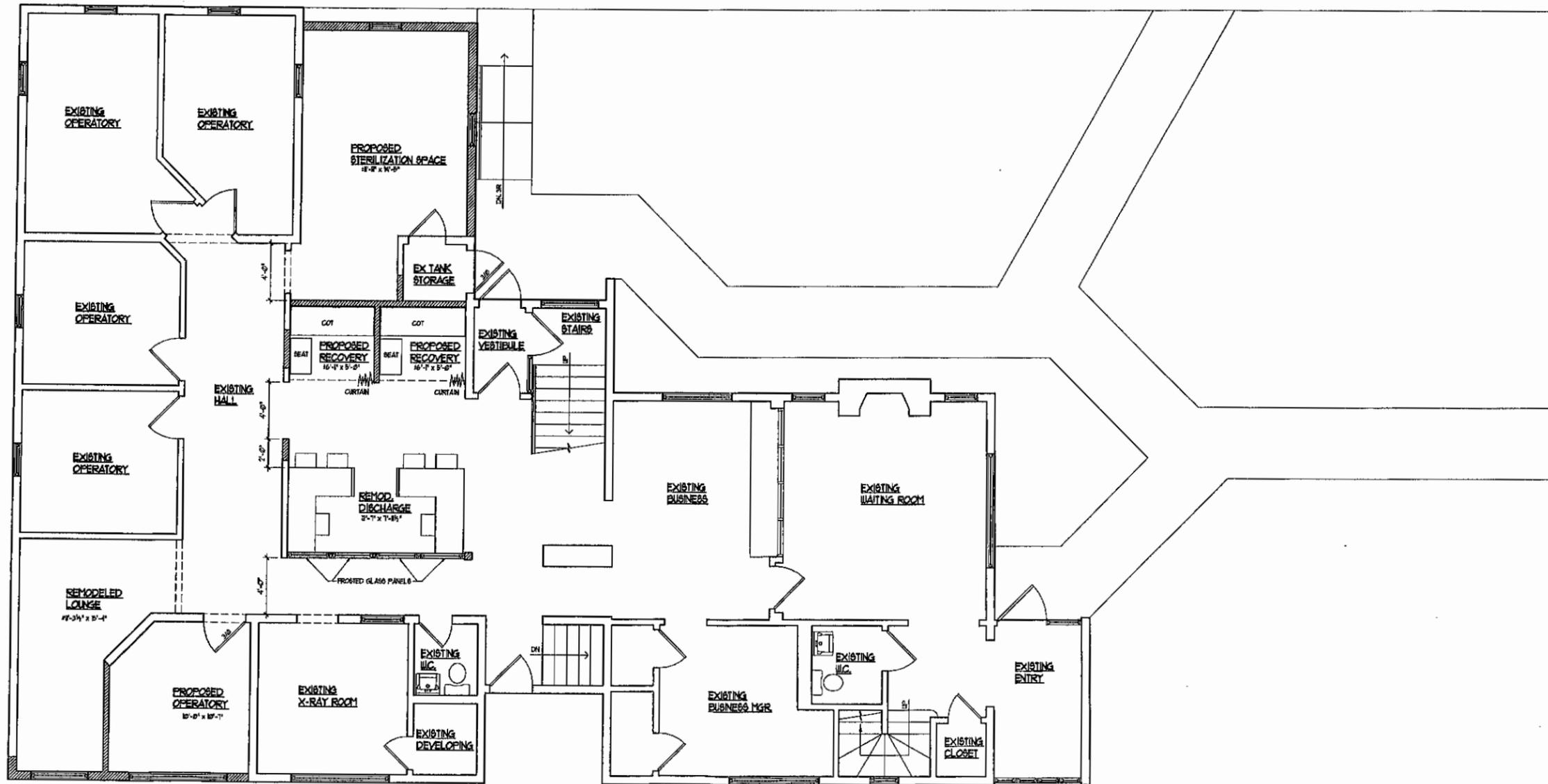
ADDITIONS AND ALTERATIONS TO THE  
**LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY**  
 312 CENTER ST.  
 LAKE GENEVA, WI 53147

PROJECT NO.  
 1510

REVISION
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<input type="checkbox"/> PERMIT
<input type="checkbox"/> CONSTRUCTION

DATE  
 11-12-15

SHEET  
**A-2**



**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**SQUARE FOOTAGE:**

EXISTING DENTAL OFFICE	1395 SF
PROPOSED ADDITIONS	526 SF
<b>TOTAL PROPOSED DENTAL OFFICE</b>	<b>1921 SF</b>

ADDITIONS AND ALTERATIONS TO THE  
**LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY**  
PROJECT # 1510  
LAKE GENEVA, WI 53147

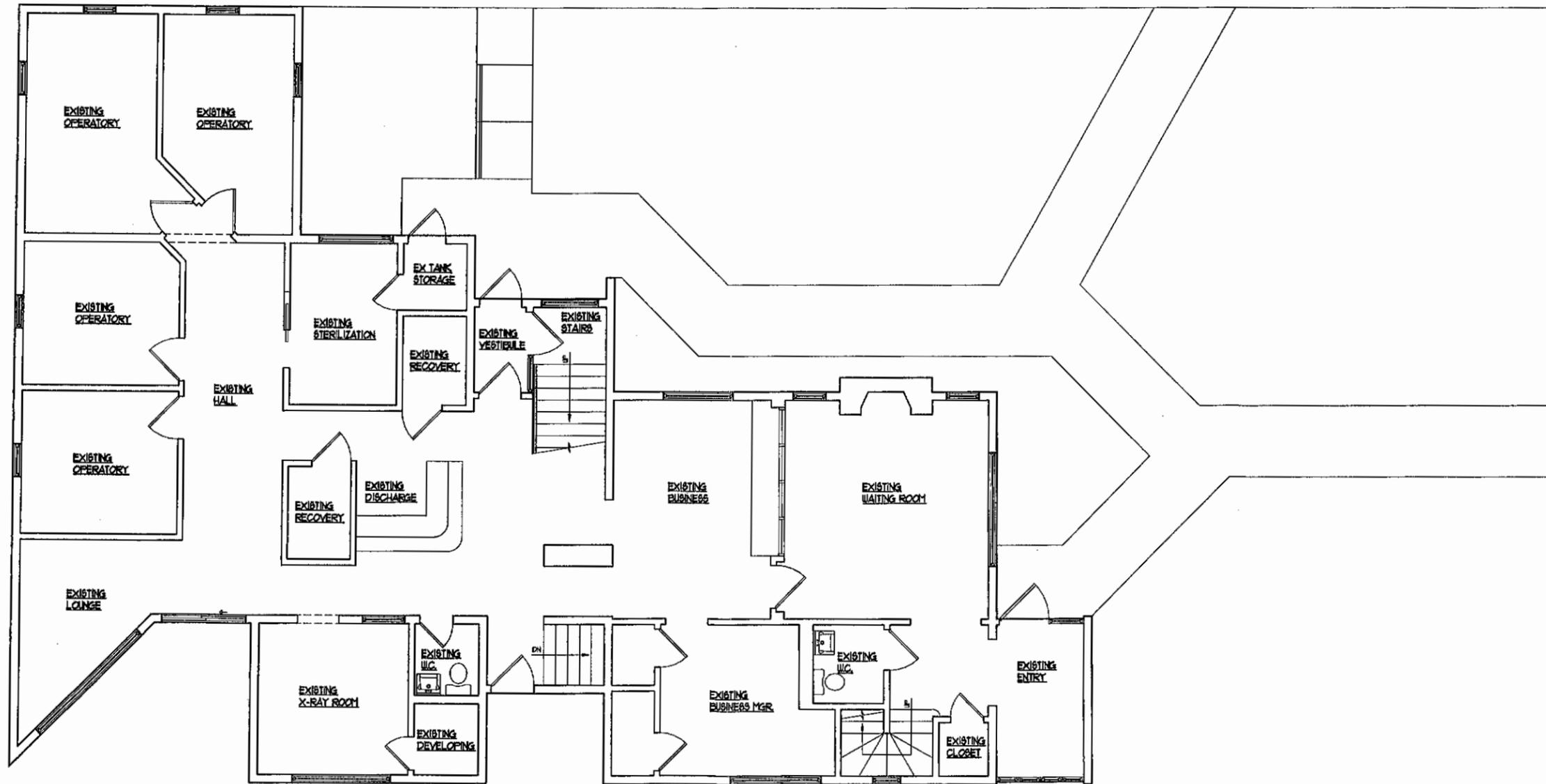
REVISIONS

PRELIMINARY	
BID/APPROVAL	
PERMIT	
CONSTRUCTION	
DATE	11-12-15
SHEET	A-1
OF	1

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contact@mccormackeiten.com  
www.mccormackeiten.com



**EXISTING FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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Fax (262) 248-6882

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ADDITIONS AND ALTERATIONS TO THE  
**LAKE GENEVA ORAL & MAXILLOFACIAL SURGERY**  
312 CENTER ST.  
LAKE GENEVA, WI 53147

PROJECT NO.  
1570

REVISIONS

- PRELIMINARY
- BID/APPROVAL
- PERMIT
- CONSTRUCTION

DATE  
11-12-15

SHEET  
AB-1

**CONDITIONAL USE RESOLUTION 15-R65**

A resolution authorizing the issuance of a Conditional Use Permit to and filed by Edith G. Andrew Trust, 1322 W. Main Street, Lake Geneva, WI 53147.

Whereas, the City Plan Commission has considered the application of Edith G. Andrew Trust, 1322 W. Main Street, Lake Geneva, WI 53147; and,

Whereas, the City Plan Commission held a Public Hearing thereon pursuant to proper notice given on December 21, 2015; and,

NOW, THEREFORE, BE IT RESOLVED, that pursuant to the adopted findings of fact, the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to construct a fence in excess of three feet (six feet) in the front street yard along the property line and partially in the right of way at 1322 W. Main Street, Lake Geneva, WI 53147, Tax Key No. ZYUP00094L, and subject to City staff comments with the provisions that the owner obtain a right of way occupancy permit from the Public Works department, annually provide a certificate of insurance naming the City of Lake Geneva as an additional insured, and agreement that the fence be removed at the owners expense if deemed necessary by the city at some future date.

Granted by action of the Common Council of the City of Lake Geneva this 28<sup>th</sup> day of December, 2015.

---

James R. Connors, Mayor

ATTEST:

---

Sabrina Waswo, City Clerk

8. **Public Hearing and recommendation on a Precise Implement Plan (PIP) by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Geneva Professional Group, 312 Center Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00161.**

**DISCUSSION –Ken Etten, McCormack + Etten Architects, LLP, 400 Broad Street, LG - on behalf of Applicants**

Etten gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details.

**PUBLIC SPEAKERS** - None

**MOTION #4**

Kupsik/Skates moved to close the public hearing. The motion carried unanimously.

**MOTION #5**

Kupsik/Gibbs moved to approve recommendation on a Precise Implement Plan (PIP) Amendment for additions to an existing building filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Geneva Professional Group, 312 Center Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00161.

The motion carried unanimously.

9. **Public Hearing and recommendation on a Conditional Use Application filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Edith G. Andrew Trust for the installation of a decorative fence in excess of three feet (six feet), in the front street yard on property line and in Right of Way at 1322 W. Main Street, Lake Geneva, WI 53147, Tax Key No. ZYUP 00094L.**

**DISCUSSION – Ken Etten of McCormack + Etten /Architects, LLP, 400 Broad Street, LG for Edith G. Andrew**

Etten gave brief overview of the application details and there was a some discussion amongst the Commission to clarify the details.

**PUBLIC SPEAKERS** - None

**MOTION #6**

Kupsik/Skates moved to close the public hearing. The motion carried unanimously.

**MOTION #7**

Kupsik/Mayor Connors moved to approve recommendation on a Conditional Use Application filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Edith G. Andrew Trust for the installation of a decorative fence in excess of three feet (six feet), in the front street yard on property line and in Right of Way at 1322 W. Main Street, Lake Geneva, WI 53147, Tax Key No. ZYUP 00094L. Pursuant to the Finding of facts and City staff comments with the provisions that the owner obtains a ROW occupancy permit from the Public Works department and the fence be removed at the owners expense if deemed necessary by the city at some future date. The motion carried unanimously.

10. **Public Hearing and recommendation on a Precise Implement Plan (PIP) Amendment filed by Tom Howald, ALDI, Inc. Oak Creek Division, 9342 South 13<sup>th</sup> Street, Oak Creek, WI 53154 for Interra-Sky Lake Geneva LLC, 2400 Augusta Drive, Suite 330, Houston TX, 77057 for the building at 200 N Edwards Blvd., Lake Geneva, WI 53147 to modify the entrance over an existing tenant space and add a loading dock to rear of building, Tax Key No. ZA196100001.**

**DISCUSSION – Tom Howald, ALDI, Inc. Oak Creek Division, Oak Creek, WI**

Howald gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details. It is to be noted that the brick presented at the meeting is not representative of what would be used during construction.

**PUBLIC SPEAKERS** - None

**MOTION #8**

Kupsik/Gibbs moved to close the public hearing. The motion carried unanimously.

**Plan Commission Staff Report – December 21, 2015**

Agenda Item #9

Applicant:

Ken Etten for Edith G. Andrew Trust  
400 Broad Street  
Lake Geneva, WI 53147

Request:

Conditional Use permit for fence in front street  
yard setback to exceed three feet and be partially  
installed in ROW, at 1322 W. Main Street, Tax  
Key No. ZYUP 00094L.

Description:

The applicant would like to replace an existing six foot fence with a new six foot fence at the front property line for privacy and to reduce traffic noise.

Staff Recommendation:

Staff recommends that the applicants be allowed to rebuild the new fence in the same location of the old fence. The existing fence and brick pillars used to be completely on the subject property until more Right of Way was taken to widen Main Street. Applicant has contacted the Public Work Department and they have no problem with the replacement as it will line up with the neighbors' fences on the East and West sides.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will not be adequately served by, and will impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

1322 W. MAIN STREET, LAKE GENEVA, WI 53147  
TAX KEY # ZYUP 00094L

NAME AND ADDRESS OF CURRENT OWNER:

MRS. EDIE ANDREW / EDITH G. ANDREW TRUST  
14628 JOHN HUMPHREY DRIVE, ORLAND PARK, IL 60462

TELEPHONE NUMBER OF CURRENT OWNER: (708) 406-1288

NAME AND ADDRESS OF APPLICANT:

KENNETH L. ETTON / MCCORMACK + ETTON / ARCHITECTS LLP  
400 BROAD STREET, LAKE GENEVA, WI 53147

TELEPHONE NUMBER OF APPLICANT: (262) 248-8391 EXT. 12

PROPOSED CONDITIONAL USE:

THE OWNER WISHES TO REBUILD THE EXISTING  
FENCE IN STREET YARD SETBACK IN EXCESS OF 3' HIGH  
AND INSTALLED A PROPERTY LINE AND IN RIGHT OF WAY.

ZONING DISTRICT IN WHICH LAND IS LOCATED: ER2-1 / ESTATE RESIDENTIAL

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

KENNETH L. ETTON / MCCORMACK + ETTON / ARCHITECTS LLP

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

THE OWNER WISHES TO REPLACE AN EXISTING PRIVACY FENCE  
WITH A NEW 6' HIGH WOOD FENCE ON HER SINGLE FAMILY LOT.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

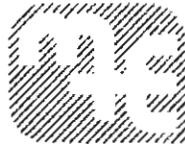
11. 23. 15

DATE

Kenneth L. Eton

SIGNATURE OF APPLICANT

November 23, 2015



**Mr. Ken Robers**  
**Building Inspector / Zoning Administrator**  
**City of Lake Geneva**  
**626 Geneva Street**  
**Lake Geneva, WI 53147**

**Re: APPLICATION FOR CONDITIONAL USE REVIEW & APPROVAL**  
**PROPOSED RECONSTRUCTION OF EXISTING FENCE**  
**MRS. EDITH ANDREW**  
**1322 W. MAIN STREET**  
**LAKE GENEVA, WISCONSIN**  
**JOB NO. 0577A**

**Dear Mr. Robers and Plan Commission Members,**

**Edith Andrew** owns the Existing Home at 1322 W. Main Street in the City of Lake Geneva and wishes to rebuild the Existing Fence in the street yard of her property abutting Main Street. The Existing Fence has deteriorated and she would like to construct a *New 6' High Traditional Style Red Cedar Fence to reduce the sound and provide privacy separation from the vehicle and pedestrian traffic on Main Street.*

The *Existing Property* is a lakefront lot located at 1322 W. Main Street several parcels to the west of Library Park. The Tax Key number is ZYUP-00094L. The lot is 91.8' wide at the street (north) lot line, 71.0' wide at the lake (south) lot line, 453.05' long on the west lot line, and 436.05' long on the east lot line. Under the *Lake Geneva Zoning Ordinance*, the property is zoned *ER-1, Estate Residential District*. This lot is substandard under the bulk requirements of the *ER-1 District* in that the lot width is only an average of 81.4' wide and the lot area is approximately 36,186 square feet. The minimum lot width under *ER-1* is 150', the minimum lot area is 40,000 square feet, and the minimum required sideyard setback under *ER-1* is 30' while the *Existing House* has sideyards of 8.25' on the east and 7.0' on the west. *In 2006, a Conditional Use was granted for a Second Floor Addition to this House using the SR-4 Zoning District requirements which allow for a minimum lot area of 9,000 square feet, a minimum lot width of 75', a minimum street frontage of 50', street setback of 40', rear lot line setback of 30', and side lot line setback of 6' minimum with a total combined sideyard setback of 15'.* In addition, there is a deed restriction on the property commonly referred to as the "*Biagi setback*" which calls for a 10' minimum side lot line setback and a shoreline setback roughly running east and west just south of the southern most point of the House. *Mrs. Andrew requests a Conditional Use Approval to allow her to rebuild the Existing Fence in the same street yard location and to keep the current Brick Driveway Pillars.*

McCormack + Etten / Architects, LLP

400 Broad Street, Lake Geneva, WI 53147  
Email: [contact@mccormacketten.com](mailto:contact@mccormacketten.com)

Ph (262) 248-8391 Fax (262) 248-8392  
<http://www.mccormacketten.com>

Included within this packet are the following:

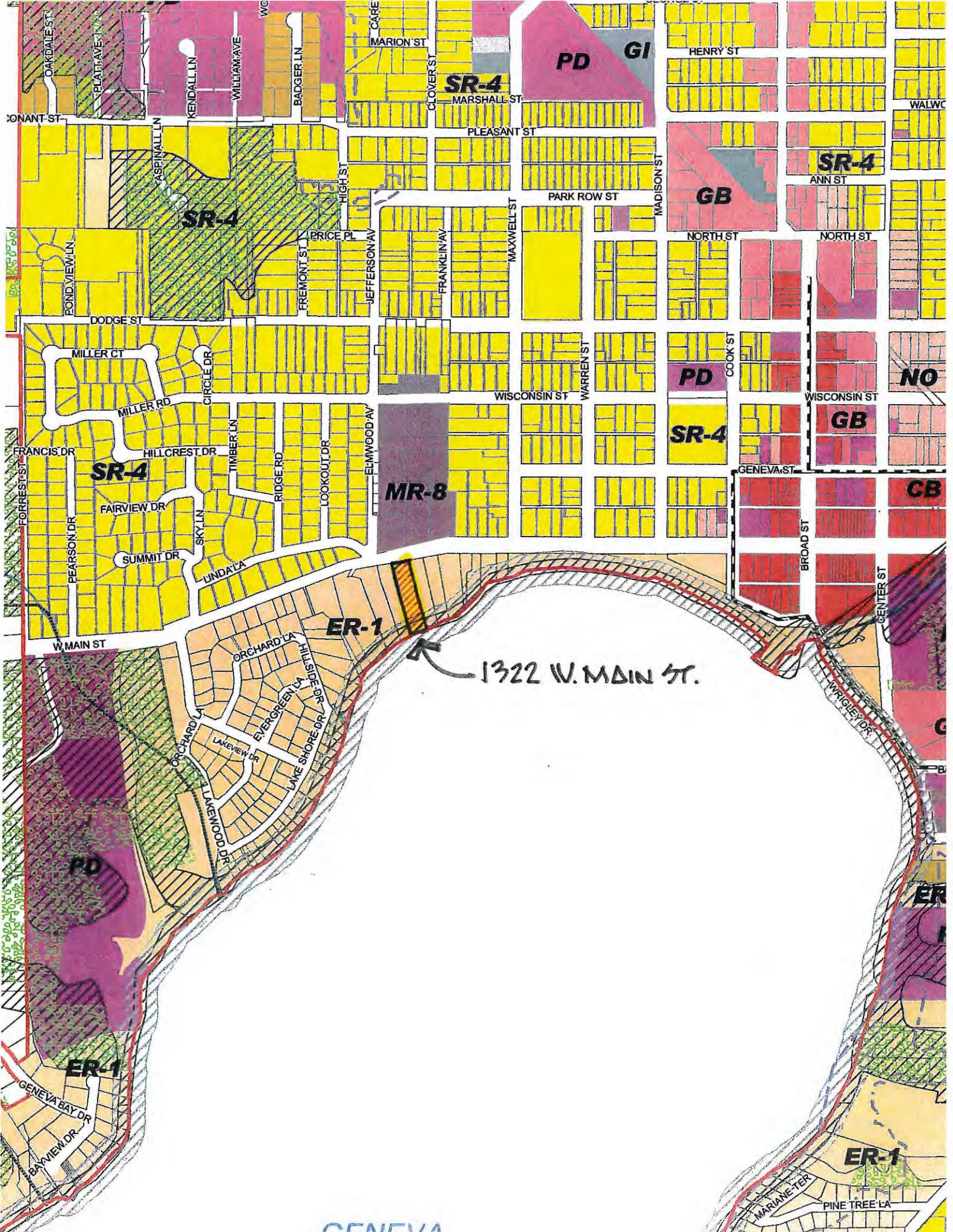
- **Application for Conditional Use** and required fee.
- **Lake Geneva Land Use Map** showing generalized location of subject Property and a **Copy of Lake Geneva Zoning Map** showing location of subject property, zoning district and lands within 300' of property.
- **Copy of Survey of Subject Property** showing graphic scale, north arrow, all lot dimensions and setbacks as per **SR-4** requirements.
- **Written Justification** of the proposed **Conditional Use**.
- **Prints** of the Preliminary Plans and Elevations of the proposed addition.

Thank you for your consideration of our project. Please let me know if you need additional information or have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Kenneth L. Etten". The signature is fluid and cursive, with a prominent initial "K" and a long, sweeping underline.

Kenneth L. Etten  
McCormack + Etten / Architects



**SR-4**

**PD**

**GI**

**SR-4**

**GB**

**SR-4**

**SR-4**

**MR-8**

**SR-4**

**NO**

**GB**

**CB**

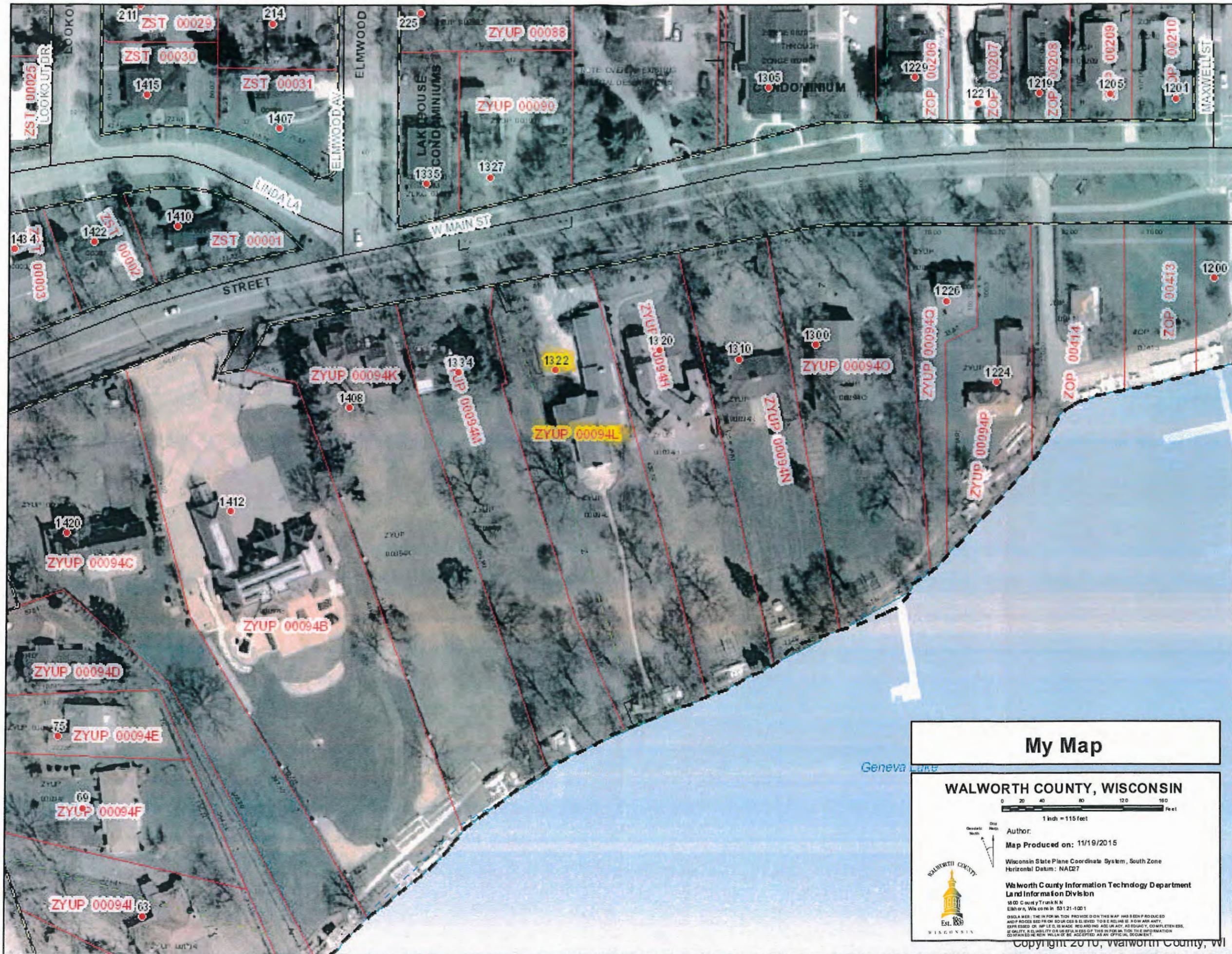
**ER-1**

1322 W. MAIN ST.

**ER-1**

**ER-1**

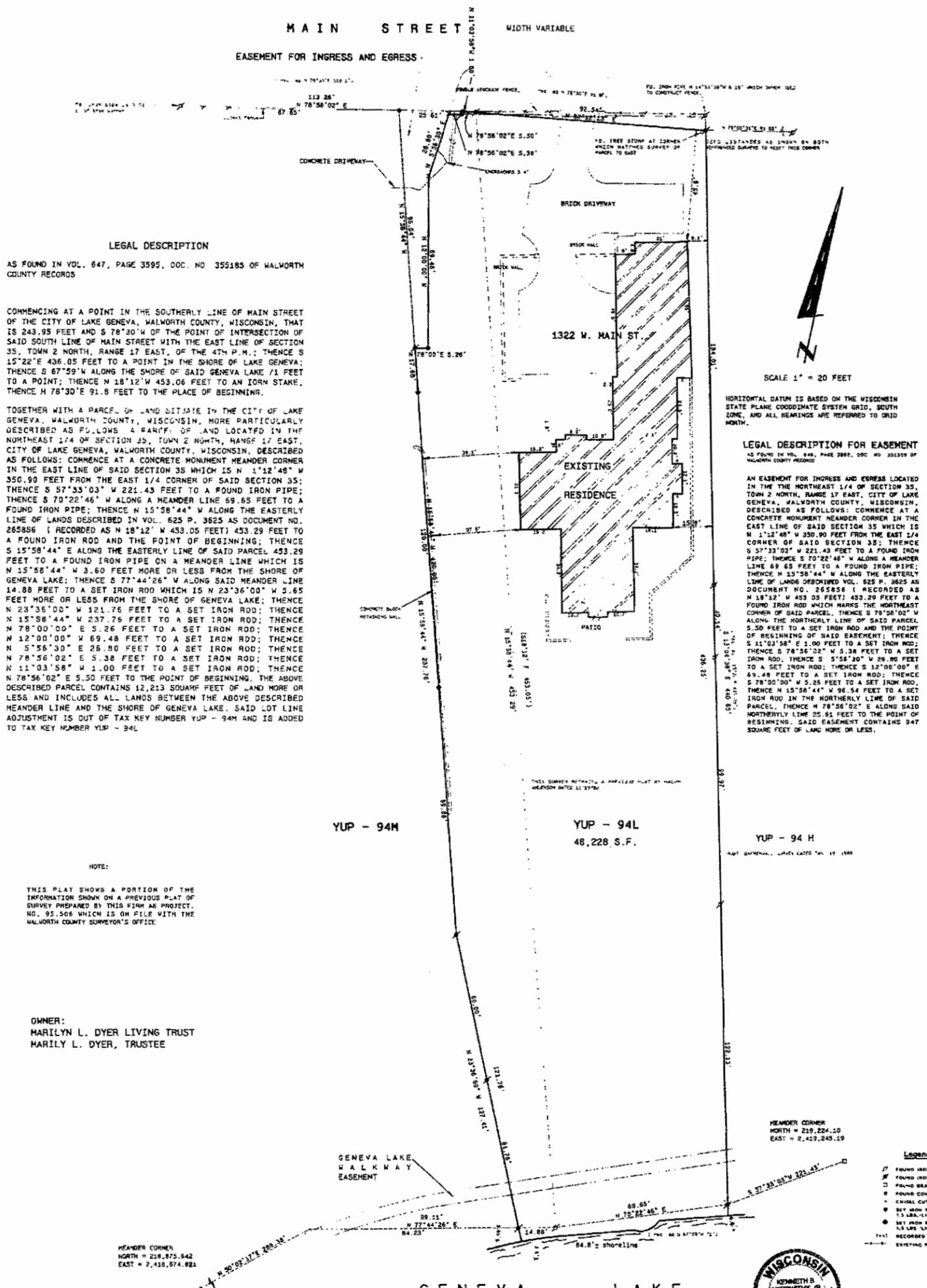
GENEVA





**PLAT OF SURVEY**

A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 35, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALNORTH COUNTY, WISCONSIN.



**LEGAL DESCRIPTION**

AS FOUND IN VOL. 647, PAGE 3595, DOC. NO. 355185 OF WALNORTH COUNTY RECORDS

COMMENCING AT A POINT IN THE SOUTHERLY LINE OF MAIN STREET OF THE CITY OF LAKE GENEVA, WALNORTH COUNTY, WISCONSIN, THAT IS 243.95 FEET AND S 78°30'14" W OF THE POINT OF INTERSECTION OF SAID SOUTH LINE OF MAIN STREET WITH THE EAST LINE OF SECTION 35, TOWN 2 NORTH, RANGE 17 EAST, OF THE 4TH P.M.; THENCE S 15°22'18" E 436.05 FEET TO A POINT IN THE SHORE OF LAKE GENEVA; THENCE S 67°59'14" W ALONG THE SHORE OF SAID GENEVA LAKE 71 FEET TO A POINT; THENCE N 18°12'14" W 453.06 FEET TO AN IRON STAKE; THENCE N 78°30'14" E 91.8 FEET TO THE PLACE OF BEGINNING.

TOGETHER WITH A PARCEL OF LAND SITUATE IN THE CITY OF LAKE GENEVA, WALNORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 35, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALNORTH COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCE AT A CONCRETE MONUMENT MEANDER CORNER IN THE EAST LINE OF SAID SECTION 35 WHICH IS N 1°12'48" W 350.90 FEET FROM THE EAST 1/4 CORNER OF SAID SECTION 35; THENCE S 57°33'03" W 221.43 FEET TO A FOUND IRON PIPE; THENCE S 70°22'46" W ALONG A MEANDER LINE 69.65 FEET TO A FOUND IRON PIPE; THENCE N 15°58'44" W ALONG THE EASTERLY LINE OF LANDS DESCRIBED IN VOL. 625 P. 3625 AS DOCUMENT NO. 265856 (RECORDED AS N 18°12'14" W 453.05 FEET) 453.29 FEET TO A FOUND IRON ROD AND THE POINT OF BEGINNING; THENCE S 15°58'44" E ALONG THE EASTERLY LINE OF SAID PARCEL 453.29 FEET TO A FOUND IRON PIPE ON A MEANDER LINE WHICH IS N 15°58'44" W 3.60 FEET MORE OR LESS FROM THE SHORE OF GENEVA LAKE; THENCE S 77°44'26" W ALONG SAID MEANDER LINE 14.88 FEET TO A SET IRON ROD WHICH IS N 23°36'00" W 5.65 FEET MORE OR LESS FROM THE SHORE OF GENEVA LAKE; THENCE N 23°36'00" W 121.76 FEET TO A SET IRON ROD; THENCE N 15°58'44" W 237.76 FEET TO A SET IRON ROD; THENCE N 78°00'00" E 5.26 FEET TO A SET IRON ROD; THENCE N 12°00'00" W 69.48 FEET TO A SET IRON ROD; THENCE N 5°56'30" E 26.80 FEET TO A SET IRON ROD; THENCE N 78°56'02" E 5.38 FEET TO A SET IRON ROD; THENCE N 11°03'58" W 1.00 FEET TO A SET IRON ROD; THENCE N 78°56'02" E 5.50 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED PARCEL CONTAINS 12,213 SQUARE FEET OF LAND MORE OR LESS AND INCLUDES ALL LANDS BETWEEN THE ABOVE DESCRIBED MEANDER LINE AND THE SHORE OF GENEVA LAKE. SAID LOT LINE ADJUSTMENT IS OUT OF TAX KEY NUMBER YUP - 94M AND IS ADDED TO TAX KEY NUMBER YUP - 94L

HORIZONTAL DATUM IS BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM GRID, SOUTH ZONE, AND ALL BEARINGS ARE REFERRED TO GRID NORTH.

**LEGAL DESCRIPTION FOR EASEMENT**

AS FOUND IN VOL. 648, PAGE 3882, DOC. NO. 355109 OF WALNORTH COUNTY RECORDS

AN EASEMENT FOR INGRESS AND EGRESS LOCATED IN THE NORTHEAST 1/4 OF SECTION 35, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALNORTH COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCE AT A CONCRETE MONUMENT MEANDER CORNER IN THE EAST LINE OF SAID SECTION 35 WHICH IS N 1°12'48" W 350.90 FEET FROM THE EAST 1/4 CORNER OF SAID SECTION 35; THENCE S 57°33'03" W 221.43 FEET TO A FOUND IRON PIPE; THENCE S 70°22'46" W ALONG A MEANDER LINE 69.65 FEET TO A FOUND IRON PIPE; THENCE N 15°58'44" W ALONG THE EASTERLY LINE OF LANDS DESCRIBED VOL. 625 P. 3625 AS DOCUMENT NO. 265856 (RECORDED AS N 18°12'14" W 453.05 FEET) 453.29 FEET TO A FOUND IRON ROD WHICH MARKS THE NORTHEAST CORNER OF SAID PARCEL; THENCE S 78°56'02" W ALONG THE NORTHERLY LINE OF SAID PARCEL 5.50 FEET TO A SET IRON ROD AND THE POINT OF BEGINNING OF SAID EASEMENT; THENCE S 11°03'58" E 1.00 FEET TO A SET IRON ROD; THENCE S 78°56'02" W 5.38 FEET TO A SET IRON ROD; THENCE S 5°56'30" W 26.80 FEET TO A SET IRON ROD; THENCE S 12°00'00" E 69.48 FEET TO A SET IRON ROD; THENCE S 78°00'00" W 5.26 FEET TO A SET IRON ROD; THENCE N 15°58'44" W 96.54 FEET TO A SET IRON ROD IN THE NORTHERLY LINE OF SAID PARCEL; THENCE N 78°56'02" E ALONG SAID NORTHERLY LINE 25.61 FEET TO THE POINT OF BEGINNING. SAID EASEMENT CONTAINS 947 SQUARE FEET OF LAND MORE OR LESS.

**NOTE:**  
 THIS PLAT SHOWS A PORTION OF THE INFORMATION SHOWN ON A PREVIOUS PLAT OF SURVEY PREPARED BY THIS FIRM AS PROJECT NO. 95-505 WHICH IS ON FILE WITH THE WALNORTH COUNTY SURVEYOR'S OFFICE.

**OWNER:**  
 MARILYN L. DYER LIVING TRUST  
 MARILYN L. DYER, TRUSTEE

- Legend**
- 1" FOUND IRON PIPE
  - 2" FOUND IRON ROD
  - 3" FOUND BRASS CAPPED MONUMENT
  - 4" FOUND CONCRETE MONUMENT
  - 5" CHISEL CUT IN CONCRETE
  - 6" SET IRON ROD, 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 3" DIA.
  - 7" SET IRON ROD, 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 8" SET IRON ROD, 1" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 9" SET IRON ROD, 1 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 10" SET IRON ROD, 1 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 11" SET IRON ROD, 1 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 12" SET IRON ROD, 2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 13" SET IRON ROD, 2 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 14" SET IRON ROD, 2 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 15" SET IRON ROD, 2 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 16" SET IRON ROD, 3" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 17" SET IRON ROD, 3 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 18" SET IRON ROD, 3 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 19" SET IRON ROD, 3 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 20" SET IRON ROD, 4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 21" SET IRON ROD, 4 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 22" SET IRON ROD, 4 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 23" SET IRON ROD, 4 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 24" SET IRON ROD, 5" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 25" SET IRON ROD, 5 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 26" SET IRON ROD, 5 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 27" SET IRON ROD, 5 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 28" SET IRON ROD, 6" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 29" SET IRON ROD, 6 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 30" SET IRON ROD, 6 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 31" SET IRON ROD, 6 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 32" SET IRON ROD, 7" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 33" SET IRON ROD, 7 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 34" SET IRON ROD, 7 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 35" SET IRON ROD, 7 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 36" SET IRON ROD, 8" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 37" SET IRON ROD, 8 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 38" SET IRON ROD, 8 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 39" SET IRON ROD, 8 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 40" SET IRON ROD, 9" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 41" SET IRON ROD, 9 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 42" SET IRON ROD, 9 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 43" SET IRON ROD, 9 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 44" SET IRON ROD, 10" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 45" SET IRON ROD, 10 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 46" SET IRON ROD, 10 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 47" SET IRON ROD, 10 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 48" SET IRON ROD, 11" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 49" SET IRON ROD, 11 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 50" SET IRON ROD, 11 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 51" SET IRON ROD, 11 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 52" SET IRON ROD, 12" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 53" SET IRON ROD, 12 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 54" SET IRON ROD, 12 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 55" SET IRON ROD, 12 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 56" SET IRON ROD, 13" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 57" SET IRON ROD, 13 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 58" SET IRON ROD, 13 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 59" SET IRON ROD, 13 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 60" SET IRON ROD, 14" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 61" SET IRON ROD, 14 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 62" SET IRON ROD, 14 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 63" SET IRON ROD, 14 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 64" SET IRON ROD, 15" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 65" SET IRON ROD, 15 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 66" SET IRON ROD, 15 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 67" SET IRON ROD, 15 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 68" SET IRON ROD, 16" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 69" SET IRON ROD, 16 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 70" SET IRON ROD, 16 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 71" SET IRON ROD, 16 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 72" SET IRON ROD, 17" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 73" SET IRON ROD, 17 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 74" SET IRON ROD, 17 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 75" SET IRON ROD, 17 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 76" SET IRON ROD, 18" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 77" SET IRON ROD, 18 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 78" SET IRON ROD, 18 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 79" SET IRON ROD, 18 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 80" SET IRON ROD, 19" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 81" SET IRON ROD, 19 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 82" SET IRON ROD, 19 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 83" SET IRON ROD, 19 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 84" SET IRON ROD, 20" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 85" SET IRON ROD, 20 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 86" SET IRON ROD, 20 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 87" SET IRON ROD, 20 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 88" SET IRON ROD, 21" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 89" SET IRON ROD, 21 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 90" SET IRON ROD, 21 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 91" SET IRON ROD, 21 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 92" SET IRON ROD, 22" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 93" SET IRON ROD, 22 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 94" SET IRON ROD, 22 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 95" SET IRON ROD, 22 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 96" SET IRON ROD, 23" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 97" SET IRON ROD, 23 1/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 98" SET IRON ROD, 23 1/2" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 99" SET IRON ROD, 23 3/4" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.
  - 100" SET IRON ROD, 24" LONG, WEIGHING 1.5 LBS. LINEAL FT., 1 1/4" DIA.



**SCALE: 1" = 20 FEET**

REVISOR'S CERTIFICATE  
 FEB 26 2002

*Kenneth B. Abernathy, Jr.*  
 KENNETH B. ABERNATHY, JR.  
 WISCONSIN REGISTERED LAND SURVEYOR,  
 S-1594  
 Date: JAN 19 1996 Job No. 96-104

**PROPOSED RECONSTRUCTION OF EXISTING FENCE  
MRS. EDITH ANDREW  
1320 W. MAIN STREET  
LAKE GENEVA, WISCONSIN**

**JUSTIFICATION OF THE PROPOSED CONDITIONAL USE**

---

1. The *Existing House* on the subject property was originally built in 1982 and subsequently remodeled several times over the years including a **Second Floor Addition** in 2006. The **Existing Fence** and **Brick Entry Pillars** existed since before the most recent zoning ordinance and street right-of-way changes and the *New Fence* would be entirely within the footprint of the existing. *The proposed Conditional Use is intended to upgrade a deteriorating fence withing an existing single-family lakeshore residential district. Aside from setback limitations, this use is in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva.*
2. The original intent of the creation of the **ER-1 Zoning District**, as well as the previous **SR-1 Zoning District**, was to restrict the development of lakeshore property within the City by limiting the subdivision of existing lots to create new buildable lots. The **Proposed New Fence** would be in footprint of the **Existing Fence**. *Under the Conditional Use provisions, the proposed New Fence would comply with the allowable requirements of the SR-4 district with the exception of the height and location.*
3. The granting of this proposed *Conditional Use* would not be a substantial detriment to the adjacent properties in that the **Proposed New Fence** would be no closer to the street or neighboring houses than the **Existing Fence**. Due to an apparent adjustment of the **Main Street** right-of-way that gradually increased its width, the original north lot line of the **Existing Property** was shifted slightly to the south, resulting in the **Existing Fence and Pillars** being located in the south edge of the right-of-way. *The Applicant wishes to build a New Fence in the same location as the Existing Fence which would not block any of the lake views that currently exist from the adjacent properties, and would be in keeping with the single-family character of the neighborhood, would not adversely affect the health, safety or general welfare of the public, or the provisions of the Zoning Ordinance or Comprehensive Master Plan.*
4. The proposed *Conditional Use* would be in compliance with the long range plans of the City in that it would maintain this property as a high quality single family residential use. *As stated in Item No. 2, maintaining quality single family residences at the current density was the original intention in the creation of the ER-1 District and the preceding SR-1 District in these shoreland areas.*
5. The *Existing House* is currently served by City sanitary sewer and water. *This project would not impose an undue burden on any improvements, utilities or services provided by public agencies serving the subject property.*

6. ***While the Existing Fence and Brick Pillars are currently encroaching slightly into the Main Street right-of-way, this condition has existing for a number of years and has posed no problem for the adjoining property owners or the City. Creating some form of separation between the Applicant's property and the noise and heavy traffic of Main Street is essential to maintaining the quality single-family residential character of the neighborhood. The proposed New Wood Fence and Existing Brick Pillars rebuilt in the "footprint" of the previous fence would not be detrimental to the neighboring properties and, other than allowing for leeway in the height and location, would not be detrimental to the City or public safety in general. In this context, we believe that the nonconforming portions of this Conditional Use would be minimal and would be far outweighed by the long-range benefits.***

# B & M Fence Company, Inc.

4135 S. Beaumont Avenue, Kansasville, WI 53139

(262) 537-3362

megan@bmfencecompany.com

(262) 671-4174 FAX

www.bmfencecompany.com

**Proposal Submitted To:**

Jim Willett  
1322 W. Main St  
Lake Geneva, WI 53147

**Phone:**

708-267-4150

**Job Site:**

**Date:**

November 18, 2015

**We hereby submit specifications and estimates for:**

Materials and installation of 80 linear feet of a 6-foot high, Western Red Cedar, Traditional style privacy fence. Every post to be a WRC 4x6 that will be set 3-feet deep in concrete and will include a cap. Fence to have three WRC 2x4's on the inside for stringers and will be faced with three 1x4's (5/8" thick) on the exterior. Pickets to be WRC 1x6x6 (5/8" thick) and each section to have a beveled 2x4 as a top rail. New posts next to pillars to be core drilled if necessary. Panels next to the tree to overhang off the nearest post and will not be screwed/nailed to tree. Fence to remain flat at the top and will adjust to grade along the bottom with a maximum height within each panel of 6-foot.

**OPTION:** Add an additional \_\_\_\_\_ remove and dispose of the existing fence.

\*\*B&M Fence Company, Inc. will minimize the damage to the yard and other surroundings to the best of their ability. B&M Fence Company, Inc. is not responsible for damages to private underground lines, lawn, or surrounding plantings and no payment may be withheld for these reasons.

**We offer a 5 year warranty against workmanship defects.**

\*\*Location of the fence will be determined by the property owner. Any discrepancy regarding lot lines are the property owner's responsibility. B & M Fence Company, Inc. is fully covered by Workman's Compensation and Liability Insurance. Certificate provided upon request.

\*\* "As required by the Wisconsin construction lien law, builder hereby notifies owner that persons or companies furnishing labor or materials for the construction on owner's land may have lien rights on owner's land and buildings if not paid. Those entitled to lien rights, in addition to the undersigned builder, are those who give the owner notice within 60 days after they first furnish labor or materials for the construction. Accordingly, owner probably will received notices from those who furnish labor or materials for the construction, and should give a copy of each notice received to the mortgage lender, if any. Builder agrees to cooperate with the owner's lender, if any, to see that all potential lien claimants are duly paid."

**We Propose** the above specifications, for the base sum of:

**Payments to be made as follows:**

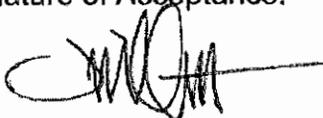
Down Payment

Remaining balance due upon completion

5% interest on balances after thirty (30) days.

**Acceptance of Proposal** - The above prices, specifications and conditions are satisfactory and are hereby accepted. B & M is authorized to do the work as specified. Property owner acknowledges that wear and tear on property and/or lawn may occur and B&M is not responsible as a result of this. Payments will be made as outlined above.

Signature of Acceptance:



Date of Acceptance:

11/18/15



City of Lake Geneva  
Building and Zoning  
626 Geneva Street  
Lake Geneva, WI 53147

December 22, 2015

To the Mayor and Common Council,

At the December 21, 2015 meeting of the Plan Commission two items were recommended for approval.

- A PIP amendment filed by Geneva Professional Group, 312 Center Street, Lake Geneva, WI 53147 for two small additions to their property was recommended for approval by the Plan Commission.
- • A PIP amendment filed by Tom Howald for ALDI Inc., Oak Creek Division, 9342 South 13<sup>th</sup> Street, Oak Creek, WI 53154 on behalf of Interra-Sky Lake Geneva LLC, 2400 Augusta Drive, Suite 330, Houston, TX 77057 for a front façade change and a single loading dock at the rear of an existing tenant space was recommended for approval by the Plan Commission with the condition the Building Inspector verifies the brick color used for the front façade matches the brick on the existing building.

As the Building and Zoning Administrator I am therefore requesting that the City Council take into consideration the unanimous vote of the Plan Commission and approve both the PIP amendments with all of the Plan Commission conditions.

Sincerely,  
Kenneth Robers  
Building and Zoning Administrator

8. **Public Hearing and recommendation on a Precise Implement Plan (PIP) 12/21/2015 Plan Commission Minutes** by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Group, 312 Center Street, Lake Geneva, WI 53147, Tax Key No. ZOP 001

**DISCUSSION –Ken Etten, McCormack + Etten Architects, LLP, 400 Broad Street, LG - on behalf of Applicants**

Etten gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details.

**PUBLIC SPEAKERS** - None

**MOTION #4**

Kupsik/Skates moved to close the public hearing. The motion carried unanimously.

**MOTION #5**

Kupsik/Gibbs moved to approve recommendation on a Precise Implement Plan (PIP) Amendment for additions to an existing building filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Geneva Professional Group, 312 Center Street, Lake Geneva, WI 53147, Tax Key No. ZOP 00161.

The motion carried unanimously.

9. **Public Hearing and recommendation on a Conditional Use Application filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Edith G. Andrew Trust for the installation of a decorative fence in excess of three feet (six feet), in the front street yard on property line and in Right of Way at 1322 W. Main Street, Lake Geneva, WI 53147, Tax Key No. ZYUP 00094L.**

**DISCUSSION – Ken Etten of McCormack + Etten /Architects, LLP, 400 Broad Street, LG for Edith G. Andrew**

Etten gave brief overview of the application details and there was a some discussion amongst the Commission to clarify the details.

**PUBLIC SPEAKERS** - None

**MOTION #6**

Kupsik/Skates moved to close the public hearing. The motion carried unanimously.

**MOTION #7**

Kupsik/Mayor Connors moved to approve recommendation on a Conditional Use Application filed by Ken Etten of McCormack + Etten / Architects, LLP, 400 Broad Street, Lake Geneva, WI 53147 for Edith G. Andrew Trust for the installation of a decorative fence in excess of three feet (six feet), in the front street yard on property line and in Right of Way at 1322 W. Main Street, Lake Geneva, WI 53147, Tax Key No. ZYUP 00094L. Pursuant to the Finding of facts and City staff comments with the provisions that the owner obtains a ROW occupancy permit from the Public Works department and the fence be removed at the owners expense if deemed necessary by the city at some future date. The motion carried unanimously.

10. **Public Hearing and recommendation on a Precise Implement Plan (PIP) Amendment filed by Tom Howald, ALDI, Inc. Oak Creek Division, 9342 South 13<sup>th</sup> Street, Oak Creek, WI 53154 for Interra-Sky Lake Geneva LLC, 2400 Augusta Drive, Suite 330, Houston TX, 77057 for the building at 200 N Edwards Blvd., Lake Geneva, WI 53147 to modify the entrance over an existing tenant space and add a loading dock to rear of building, Tax Key No. ZA196100001.**

**DISCUSSION – Tom Howald, ALDI, Inc. Oak Creek Division, Oak Creek, WI**

Howald gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details. It is to be noted that the brick presented at the meeting is not representative of what would be used during construction.

**PUBLIC SPEAKERS** - None

**MOTION #8**

Kupsik/Gibbs moved to close the public hearing. The motion carried unanimously.

**MOTION #9**

Kupsik/Flower moved to approve recommendation on a Precise Implement Plan (PIP) Amendment filed by Tom Howald, ALDI, Inc. Oak Creek Division, 9342 South 13<sup>th</sup> Street, Oak Creek, WI 53154 for Interra-Sky Lake Geneva LLC, 2400 Augusta Drive, Suite 330, Houston TX, 77057 for the building at 200 N Edwards Blvd., Lake Geneva, WI 53147 to modify the entrance over an existing tenant space and add a loading dock to rear of building, Tax Key No. ZA196100001, Pursuant to the Finding of facts and City staff comments and staff to approve the brick colors so that they match the existing other units. The motion carried unanimously.

**11. Public Hearing and recommendation on a Conditional Use Application filed by Lake Geneva Architects, 201 Broad Street for Dean Athans, W3155 Snake Road, Lake Geneva, WI 53147 to exceed the Twenty foot wide passive recreational corridor in the Shore Yard Setback for new construction at W3155 Snake Road, Lake Geneva, WI 53147, Tax Key No. ZWIL 00004.**

**DISCUSSION –Jason Bernard – LG Architects for Dean Athans Family**

Bernard gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details.

**PUBLIC SPEAKER #1 –Dale Buelter, W3147 Geneva Bay Dr, LG (First house on the right in Geneva Bay)**

Buelter gave commendations to Dean Athans on the tree retention and the estate that he is restoring back to its natural state. He has concerns however about the trucks that would be coming in during construction. Bernard replied that they would be using the main driveway and not the gravel driveway.

**MOTION #10**

Skates/Kupsik moved to close the public hearing. The motion carried unanimously.

**MOTION #11**

Kupsik/Gibbs moved to approve recommendation on a Conditional Use Application filed by Lake Geneva Architects, 201 Broad Street for Dean Athans, W3155 Snake Road, Lake Geneva, WI 53147 to exceed the Twenty foot wide passive recreational corridor in the Shore Yard Setback for new construction at W3155 Snake Road, Lake Geneva, WI 53147, Tax Key No. ZWIL 00004. Pursuant to the Finding of facts and City staff comments with the provisions that the owner use the main driveway into the property for all construction activity. The motion carried unanimously.

**12. Adjournment**

**MOTION #12**

Gibbs/Flower moved to adjourn the meeting at 8:37 pm. The motion carried unanimously.

*/s/Jackie Gregoles, B&Z Administrative Assistant*

**THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE PLAN COMMISSION**

**Plan Commission Staff Report – December 21, 2015**

**Agenda Item #10**

**Applicant:**

ALDI for Interra-Sky Lake Genva LLC  
9342 South 13<sup>th</sup> Street  
Oak Creek, WI,

**Request:**

Amendment to the Precise Implementation Plan  
(PIP) the property located at 200 N Edward Blvd.  
Tax Key No. ZA196100001.

**Description:**

The applicant would like to convert the entrance over and existing tenant space while still matching the newly built one at Home Goods, and would like to construct a small loading dock at the rear.

**Staff Recommendation:**

Staff has no objection to the request as it will maintain a balanced look the structure while allowing some leeway for store design.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

*City of Lake Geneva*

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

Address: 200 N. Edwards Blvd., Lake Geneva, WI 53147

Tax Parcel #: ZA196100001 Suite 1

Name and Address of Current Owner:

Interra-Sky Lake Geneva LLC

2400 Augusta Dr. Ste 330, Houston TX, 77057

Telephone No. of Current Owner including area code: \_\_\_\_\_

Name and Address of Applicant:

ALDI, Inc. - Oak Creek Division, Tom Howald - Director of Real Estate

9342 South 13th St., Oak Creek, WI 53154

Telephone No. of Applicant including area code: 414-570-1860

Proposed Use:

Grocery Store

Zoning District in which land is located: Planned Development

Names and Addresses of architect, professional engineer and contractor of project:

Architect: Eric Elizondo - eelizondo@msconsultants.com; Engineer: Rick Weikel - rweikel@msconsultants.com  
ms consultants, inc. 614-898-7100 - 2221 Schrock Rd., Columbus, OH 43229

Contractor: TBD

Short statement describing activities to take place on site:

Partial demolition of the front facade as well as modifications to the front sidewalk. New  
construction of the exterior includes new tower features composed of decorative metal  
panels, brick and cornice details to match the existing adjacent facades, and a new  
loading dock at the rear of the building. New signage to be installed on both the front  
and side facades of the proposed ALDI space. Interior renovation includes slab work  
and new wall partitions to bring the space to current ALDI standards.

PIP Amendment fee \$400.00, payable upon filing application.

\_\_\_\_\_  
Signature of Applicant

**APPLICATION SUBMITTAL REQUIREMENTS**  
**PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)**

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓  
*Draft Final Packet (1 Copy to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓

\_\_\_\_\_ A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

\_\_\_\_\_ (1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

\_\_\_\_\_ (2) **A map of the subject property** for which the PD is proposed:

\_\_\_\_\_ Showing all lands within 300 feet of the boundaries of the subject property;

\_\_\_\_\_ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

\_\_\_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

\_\_\_\_\_ Map and all its parts clearly reproducible with a photocopier;

\_\_\_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 feet;

\_\_\_\_\_ All lot dimensions of the subject property provided;

\_\_\_\_\_ Graphic scale and north arrow provided.

\_\_\_\_\_ (3) **A general written description** of proposed PIP including:

\_\_\_\_\_ Specific project themes and images;

\_\_\_\_\_ The specific mix of dwelling unit types and/or land uses;

\_\_\_\_\_ Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

\_\_\_\_\_ The specific treatment of natural features;

\_\_\_\_\_ The specific relationship to nearby properties and public streets.

\_\_\_\_\_ A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.

\_\_\_\_\_ A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall

be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

- \_\_\_\_\_ (4) **A Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*
- \_\_\_\_\_ A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;
  - \_\_\_\_\_ Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;
  - \_\_\_\_\_ Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
  - \_\_\_\_\_ Notations relating the written information (3), above to specific areas on the GDP Drawing.

N/A (5) **A landscaping plan for subject property**, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.

\_\_\_\_\_ (6) **A series of building elevations** for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.

\_\_\_\_\_ (7) **A general signage plan** including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.

N/A (8) **A general outline of the intended organizational structure** for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.

N/A (9) **A written description** which demonstrates the full consistency of the proposed PIP with the approved GDP.

N/A (10) **A written description** of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,

N/A (11)Proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development.

**FINAL APPLICATION PACKET INFORMATION**  
**PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)**

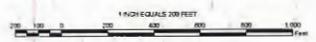
The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/PIP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

- \_\_\_\_\_ **Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:**                      **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_
  
- \_\_\_\_\_ **Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:**                      **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_
  
- \_\_\_\_\_ **Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:**                      **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_
  
- \_\_\_\_\_ **Class 2 Legal Notice sent to official newspaper by City Clerk:**                      **Date:** \_\_\_\_\_ **by:** \_\_\_\_\_
  
- \_\_\_\_\_ **Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_**                      **by:** \_\_\_\_\_





**ZONING MAP OF SECTION 31  
TOWNSHIP 2 NORTH, RANGE 16 EAST  
WALWORTH COUNTY, WISCONSIN**



Wisconsin State Plane Coordinate System, South Zone  
NAD83 datum  
Date of Aerial Orthorectification: March / April 2010  
Map Produced on: 10/21/2016



**Walworth County Information Systems Department  
Land Information Division**  
1800 County Trunk, N.E.  
Elkhorn, Wisconsin 53121-1301

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESS OR IMPLIED, IS MADE REGARDING ACCURACY, ACTUALLY COMING TO BE, QUALITY, RELIABILITY OR USE. IN USE OF THIS INFORMATION, THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.

**Legend**

- PUBLIC LAND SURVEY SYSTEM**
- Monumented Corner
  - PLSS Sections
  - PLSS Quarter Sections

**ZONING-RELATED BOUNDARIES**

- Zoning District Boundary
- Shoreland Boundary (see FEMA maps)
- Shoreland Area
- Extra-Territorial Zoning District
- City of Delavan Extrajurisdictional Zoning Jurisdiction
- Tax Parcel Boundary
- Parcel Tax Boundary
- Civil Division Boundary
- Gross Sanitary District Boundary
- DNR Identified Wetland - Not Zoned (see Wisconsin Wetland Inventory Maps)

**NON-SHORELAND WATERWAYS  
(AS IDENTIFIED ON USGS QUADRANGLE MAPS)**

- Perennial
- Intermittent

**GENERAL ZONING DISTRICTS**

DISTRICT CODE	DISTRICT	DISTRICT CODE	DISTRICT
A-1	Prime Agricultural Land	R-4	Multiple-Family Residence (Sewered or Unsewered)
A-2	Agricultural Land	R-5	Planned Residential Development
A-3	Agricultural Land Holding	R-6	Planned Mobile Home Park Residence
A-4	Agricultural-Related Manufacturing, Warehousing, and Marketing	R-7	Mobile Home Subdivision Residence
A-5	Agricultural-Rural Residential	R-8	Multiple-Family Residential (Sewered or Unsewered)
C-1	Lowland Resource Conservation	B-1	Local Business
C-2	Upland Resource Conservation	B-2	General Business
C-3	Conservancy Residential	B-3	Waterfront Business
C-4	Lowland Resource Conservation (Shoreland)	B-4	Highway Business
P-1	Recreational Park	B-5	Planned Commercial Recreation Business
P-2	Institutional Park	B-6	Food and Breakfast
R-1	Single-Family Residence (Unsewered)	M-1	Industrial
R-2A	Single-Family Residence (Sewered)	M-2	Heavy Industrial
R-2	Single-Family Residence (Sewered)	M-3	Minor Extraction
R-3	Two-Family Residence (Sewered or Unsewered)	M-4	Sanitary Landfill

For the Most Current Zoning Information, Please Contact the  
Walworth County Land Use and Resource Management Department

File Name: N:\024032107 - LAKE GENEVA, WIDOCSCADA201 - EXTERIOR ELEVATIONS.DWG Author: CALLOS, ABIGAIL Plot Date: 11/18/2015

SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
ALDI TOWER SIGN	1	74.9	74.9
FOOD MARKET SIGN	1	19.6	19.6
ALDI SIDE SIGN	1	46.6	46.6
FOOD MARKET SIDE SIGN	1	14.4	14.4
TOTAL SIGNAGE			155.5

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL

Please note that the colors shown here are a graphical representation to show contrast in materials only. Due to the nature of electronic media, colors may vary depending on computer or printer used.



3 Rear Elevation  
SCALE: 1/8" = 1'-0"



2 Front Elevation  
SCALE: 1/8" = 1'-0"



1 Side Elevation  
SCALE: 1/8" = 1'-0"

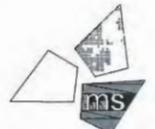
Issued:	Date:
A Concept No. 4	11/18/15
B	
C	
D	

Revisions:	Date:
1	
2	
3	
4	
5	
6	
7	
8	
9	

**DO NOT SCALE PLANS**

Copying, Printing, Software and other processes required to produce these plans can stretch or shrink the actual paper or layout. Therefore, scaling of this drawing may be inaccurate. Contact our consultants with any need for additional dimensions or clarifications.



**ms consultants, inc.**  
engineers, architects, planners  
2221 Schrock Road  
Columbus, Ohio 43229-1547  
phone 614.898.7100  
fax 614.898.7570

DRAWN BY: MAP/ERM  
REVIEWED BY: JEL/ERM

Seal

**FOR REFERENCE ONLY**

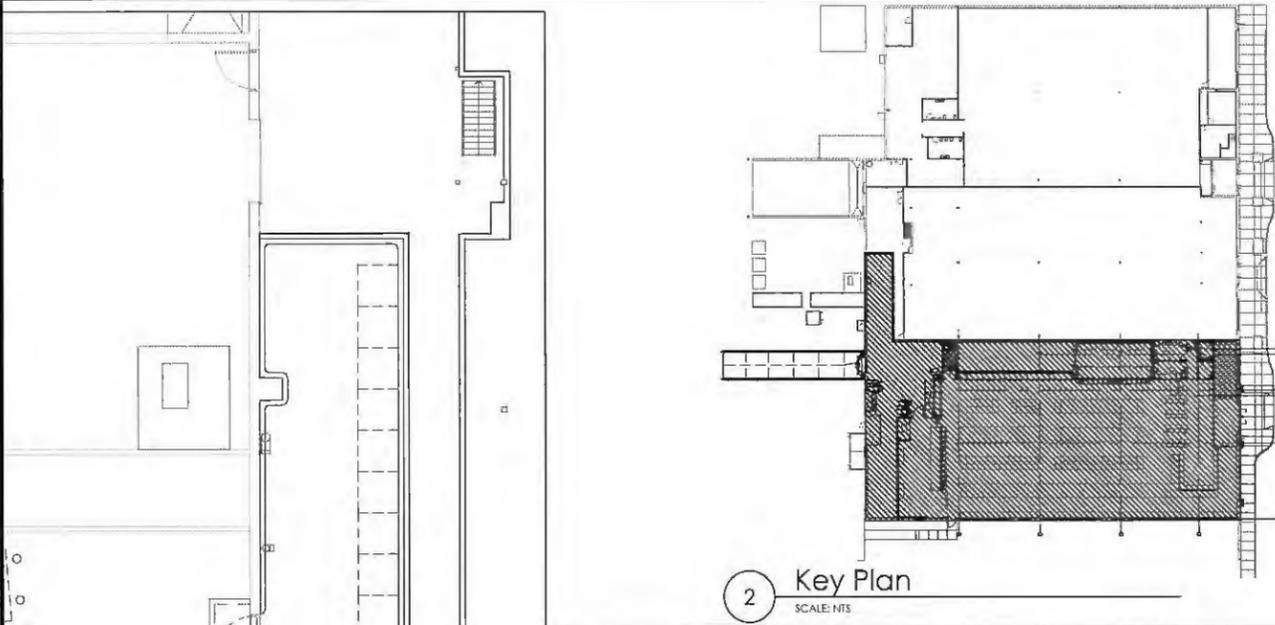


ALDI Inc.  
STORE #TBD  
200 Edwards Blvd.  
Lake Geneva, WI 53147  
Walworth County  
Project Name & Location:

Exterior Elevations  
Drawing Name:

Type:	V6.0 T.I.	ms Project No.	40321-07
DRAWINGS ARE BASED ON V6.0 PROTOTYPE RELEASED ON 08.31.15			A-201
		Drawing No.	

File Name: N:\621032107 - LAKE GENEVA, WIDOCSCADIA131 - OPERATIONS PLAN.DWG Author: CALLOS, ABIGAIL Plot Date: 11/18/2015



**2 Key Plan**  
SCALE: NTS

AREA SUMMARY			V6.0 PROTOTYPE
OCCUPANCY USE	ROOM NAME	SQUARE FOOTAGE	SQUARE FOOTAGES
MERCANTILE	SALES / ENTRY / EXIT	11,537	10,698
	OFFICE	154	215
	BREAK ROOM	174	214
	MEETS ROOM	73	84
	WOMEN'S ROOM	76	85
	HALL	85	180
SUBTOTAL (MERCANTILE)		12,519	11,468
STORAGE / STOCK	BACKROOM	4,060	3,229
	COOLER	1,221	1,466
	FREEZER	770	730
SUBTOTAL (STORAGE / STOCK)		6,051	5,425
SUBTOTAL (OCCUPANCIES)		18,570	16,893
EXTERIOR / INTERIOR WALLS / UNOCCUPIED SPACE		906	932
BUILDING SQUARE FOOTAGE		19,476	17,825
EXTERIOR CANOPY		178	714
TOTAL SQUARE FOOTAGE (INCLUDING CANOPY)		19,654	18,539

OPERATIONS DATA		
ITEM	V6.0 PROTOTYPE	LAKE GENEVA PLAN
LINEAR FOOTAGE OF BASE (PRODUCE INCLUDED)	841'-2"	905'-10"
ASSUMED PALLET STORAGE	70	67
BUILDING DIMENSIONS	118'-0" x 147'-4"	94'-4" x 200'-0"
SALES FLOOR DIMENSIONS	72'-11" x 145'-1"	72'-4 1/2" x 157'-4 1/4"
LENGTH OF MULTI-DECK	56'	78'
COOLER MILK DOORS	4	4
COOLER GENERAL DOORS	13	13
FREEZER ICE CREAM DOORS	4	6
FREEZER GENERAL DOORS	9	9
SPOT MERCHANDISERS	6	6
CART STORAGE	(111) MODEL 563W	(96) MODEL 563W

Issued:	Date:
A) Concept No. 4	11/18/15
B	
C	
D	
Revisions:	Date:
1	
2	
3	
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9	

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2221 Schrock Road  
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phone 614.898.7100  
fax 614.898.7570

DRAWN BY: MAP/ERM

REVIEWED BY: JEL/ERM

Seal

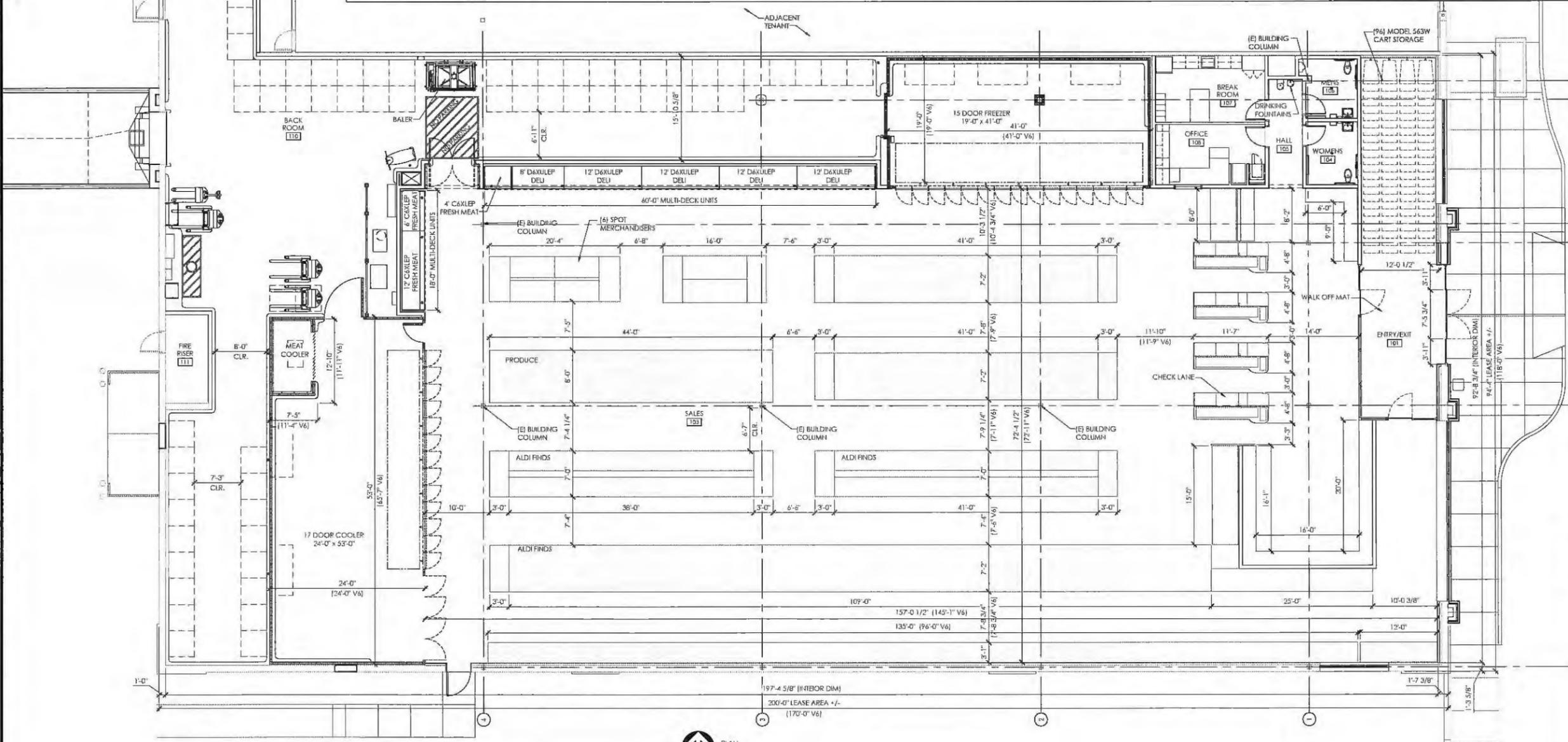
**FOR REFERENCE ONLY**

**ALDI Inc.**  
9342 South 13th Street  
Oak Creek, WI 53154  
(414) 575-1800  
(414) 375-8841x

ALDI Inc.  
STORE #TBD  
200 Edwards Blvd.  
Lake Geneva, WI 53147  
Walworth County  
Project Name & Location:

Operations Plan

Drawing Name: ms Project No.  
Type: V6.0 T.I. 40321-07  
DRAWINGS ARE BASED ON V6.0 PROTOTYPE RELEASED ON 08.31.15  
A-131  
Drawing No.



**1 Operations Plan**  
SCALE: 1/8" = 1'-0"



**CONDITIONAL USE RESOLUTION 15-R66**

A resolution authorizing the issuance of a Conditional Use Permit to and filed by Dean Athans, W3155 Snake Road, Lake Geneva, WI 53147.

Whereas, the City Plan Commission has considered the application of Dean Athans, W3155 Snake Road, Lake Geneva, WI 53147; and,

Whereas, the City Plan Commission held a Public Hearing thereon pursuant to proper notice given on December 21, 2015; and,

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to construct a pool and patio in excess of the twenty foot wide passive recreational corridor in the Shore Yard Setback at W3155 Snake Road, Lake Geneva, WI 53147, Tax Key No. ZWIL00004, pursuant to the Finding of facts and City staff comments with the provision the owner use the main driveway into the property for all construction activity.

Granted by action of the Common Council of the City of Lake Geneva this 28<sup>th</sup> day of December, 2015.

\_\_\_\_\_  
James R. Connors, Mayor

ATTEST:

\_\_\_\_\_  
Sabrina Waswo, City Clerk

**From:** Dan Winkler [mailto:lgwater@genevaonline.com]  
**Sent:** Monday, December 21, 2015 12:27 PM  
**To:** Ken Robers (krobers@cityoflakegeneva.com)  
**Subject:** Planning Staff Meeting.

---

Ken;

I reviewed the agenda and would like to take a pass on the meeting unless you believe I need to be there. I have a 4:30 PM Beautification Committee meeting (holiday decorations judging).

On the two items for input, I think Core (presuming we are still talking about the Sears site), is going to tear the road to ribbons with construction equipment. They will also be tying in with curb and gutter and new driveways and other utilities. They really should plan on repairing it when the construction is over. Repairs would include base patching, a milling if there is enough left to mill, and a 2" overlay.

On the 1322 West Main Street item, the fence encroaches but is in line with the surrounding fences. I told Ken Etten the easy solution is to issue a right of way occupancy permit to allow the encroachment. The two conditions would be to first provide me with a certificate of insurance which would run as long as the encroachment, and secondly a condition that if the City ever needed to have the fence removed or relocated, that such would be done at the owner's expense. The only thing I can think of at this point is a road project.

Dan

**MOTION #9**

Kupsik/Flower moved to approve recommendation on a Precise Implement Plan (PIP) Amendment filed by Tom Howard, AED, Inc. Oak Creek Division, 9342 South 13<sup>th</sup> Street, Oak Creek, WI 53154 for Interra-Sky Lake Geneva LLC, 2400 Augusta Drive, Suite 330, Houston TX, 77057 for the building at 200 N Edwards Blvd., Lake Geneva, WI 53147 to modify the entrance over an existing tenant space and add a loading dock to rear of building, Tax Key No. ZA196100001, Pursuant to the Finding of facts and City staff comments and staff to approve the brick colors so that they match the existing other units. The motion carried unanimously.

**11. Public Hearing and recommendation on a Conditional Use Application filed by Lake Geneva Architects, 201 Broad Street for Dean Athans, W3155 Snake Road, Lake Geneva, WI 53147 to exceed the Twenty foot wide passive recreational corridor in the Shore Yard Setback for new construction at W3155 Snake Road, Lake Geneva, WI 53147, Tax Key No. ZWIL 00004.**

**DISCUSSION –Jason Bernard – LG Architects for Dean Athans Family**

Bernard gave brief overview of the application details and there was a brief discussion amongst the Commission to clarify the details.

**PUBLIC SPEAKER #1 –Dale Buelter, W3147 Geneva Bay Dr, LG (First house on the right in Geneva Bay)**

Buelter gave commendations to Dean Athans on the tree retention and the estate that he is restoring back to its natural state. He has concerns however about the trucks that would be coming in during construction. Bernard replied that they would be using the main driveway and not the gravel driveway.

**MOTION #10**

Skates/Kupsik moved to close the public hearing. The motion carried unanimously.

**MOTION #11**

Kupsik/Gibbs moved to approve recommendation on a Conditional Use Application filed by Lake Geneva Architects, 201 Broad Street for Dean Athans, W3155 Snake Road, Lake Geneva, WI 53147 to exceed the Twenty foot wide passive recreational corridor in the Shore Yard Setback for new construction at W3155 Snake Road, Lake Geneva, WI 53147, Tax Key No. ZWIL 00004. Pursuant to the Finding of facts and City staff comments with the provisions that the owner use the main driveway into the property for all construction activity. The motion carried unanimously.

**12. Adjournment**

**MOTION #12**

Gibbs/Flower moved to adjourn the meeting at 8:37 pm. The motion carried unanimously.

*/s/Jackie Gregoles, B&Z Administrative Assistant*

**THESE MINUTES ARE NOT OFFICIAL UNTIL APPROVED BY THE PLAN COMMISSION**

**Plan Commission Staff Report – December 21, 2015**

**Agenda Item #11**

**Applicant:**

Dean Athans

W3155 Snake Road

Lake Geneva, WI 53147

**Request:**

Conditional Use Permit to exceed the twenty foot passive recreational corridor in the Shore Yard at W3155 Snake Road, Tax Key No. ZWIL 00004.

**Description:**

The applicant is going to remove the existing home on the property and rebuild a new home. While the new home will meet all of the setbacks for Estate Residential (ER-1), they propose to install a patio and pool in the Shore Yard setback that will exceed the twenty foot passive recreational corridor.

**Staff Recommendation:**

Staff has no objection to the request as the current home is partially built in the setback. They will be removing that structure and several other structures already in the Shore Yard setback for a net reduction of 2800 square feet and restoring the hill side to a more natural condition, thus improving water runoff into the lake.

- A. If, after the public hearing, the Commission wishes to recommend approval, then the appropriate fact finding would be:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any of improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.



LAKE GENEVA  
**Architects**

STUDIO OF JASON R. BERNARD

December 1<sup>st</sup>, 2015

Conditional Use Justification  
Re: W3155 Snake Road  
Tax ID: ZWIL 00004

III. JUSTIFICATION:

- 1) Through this adjustment, we can accomplish a more naturally graded shore yard and reconstruct a private residence which conforms to current setbacks.
- 2) The existing home is 82.00' from the lakeshore, which conforms to Walworth County Zoning. The home has been recently annexed into the City of Lake Geneva however, and the setbacks have been increased to 100.00'. The location of the new home will be 103.48' from the lake shore and will thus be brought into conformity with the current zoning code.
- 3) The placement of the new residence and subsequent re-grading will help to restore the natural drainage within the shore yard. This allows our client to restore and re-grade an area previously excavated for a walk-out basement.
- 4) We are requesting approval to restore the shore yard to a more natural state; and to construct an exterior patio and pool within a portion of that shore yard. In this process, we will be removing 2,800 +/- square feet of existing impervious surfaces.
- 5) The proposed conditional use shall not be located in an area that will impose any undue burdens on any improvements, facilities, utilities or services.
- 6) We are requesting to replace the existing residence and open patio from the shoreyard setback with a new outdoor recreational area. The remaining areas are to be reconstructed in a more natural, less impactful and conforming fashion by the removal of retaining walls and grading constructed to accommodate the previous home's walk-out basement.

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

W3155 SNAKE ROAD, LAKE GENEVA, WI - PART OF LOT 4 OF WILLOW BROOK SUBDIVISION.

(USE DESCRIPTION FROM SITE PLAN HERE)

NAME AND ADDRESS OF CURRENT OWNER:

\* DEAN ATHANS

W3155 SNAKE ROAD LAKE GENEVA, WI

TELEPHONE NUMBER OF CURRENT OWNER: 262.812.6781

NAME AND ADDRESS OF APPLICANT:

\* LAKE GENEVA ARCHITECTS 201 BROAD STREET

262.248.1400 PH LAKE GENEVA, WI 53147

TELEPHONE NUMBER OF APPLICANT: 262.248.1400

PROPOSED CONDITIONAL USE:

Exceed 20' passive recreational area in Shoreyard.

ZONING DISTRICT IN WHICH LAND IS LOCATED: LAKE GENEVA ER-1

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

RAZING EXISTING HOME FOR RECONSTRUCTION. ICE GRADING.

EXISTING SITE TO ACCOMMODATE NEW CONSTRUCTION.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

11-13-15

DATE



SIGNATURE OF APPLICANT

Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

(e) Written justification for the proposed conditional use:

\_\_\_\_\_ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

SEE ATTACHED ADDENDUM

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

SEE ATTACHED

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

SEE ATTACHED

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

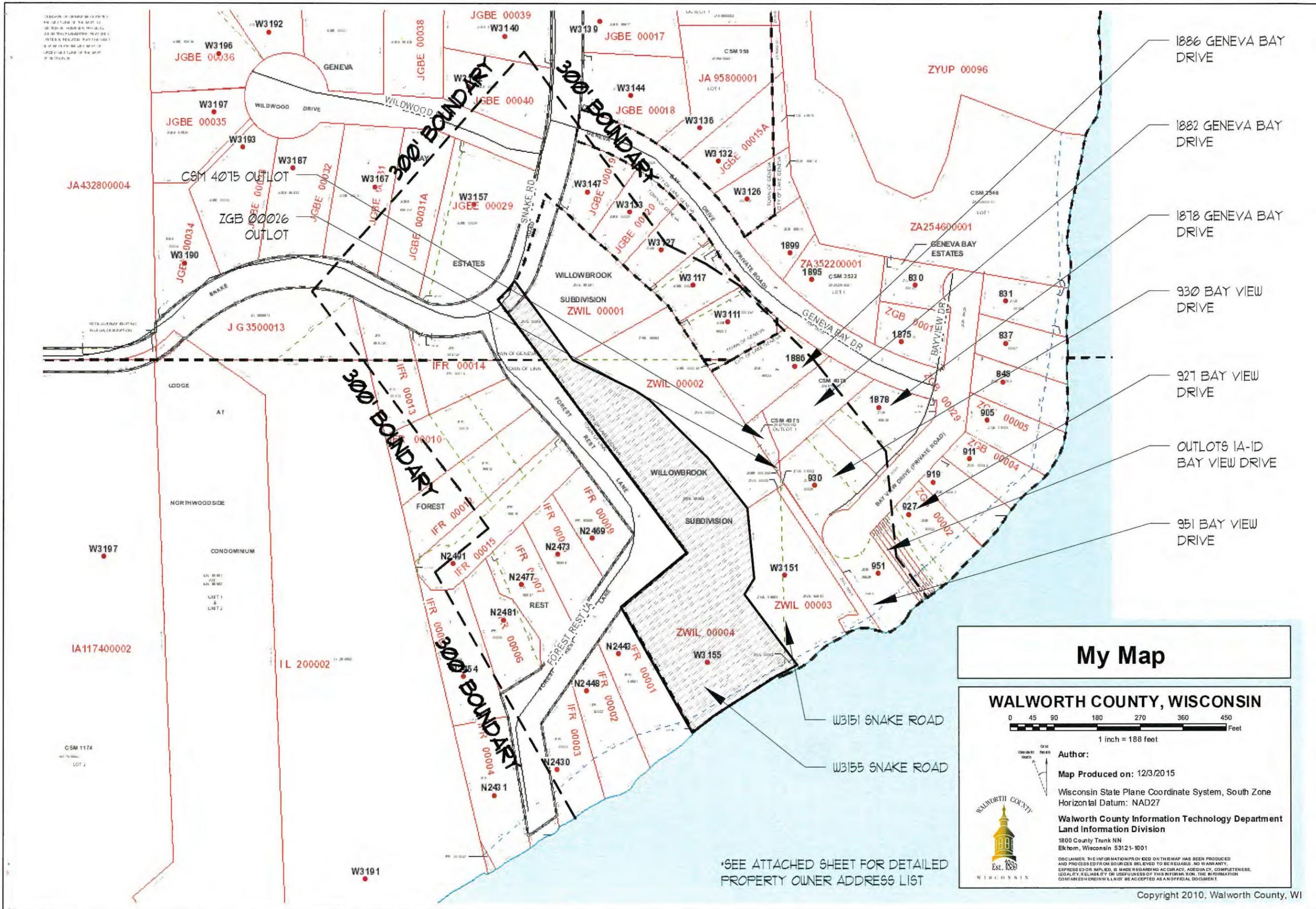
SEE ATTACHED

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

SEE ATTACHED

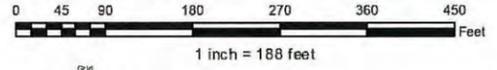
6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

SEE ATTACHED



**My Map**

**WALWORTH COUNTY, WISCONSIN**



Author:  
 Map Produced on: 12/3/2015  
 Wisconsin State Plane Coordinate System, South Zone  
 Horizontal Datum: NAD27  
**Walworth County Information Technology Department  
 Land Information Division**  
 1800 County Trunk NN  
 Elkhorn, Wisconsin 53121-1001

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\*SEE ATTACHED SHEET FOR DETAILED PROPERTY OWNER ADDRESS LIST

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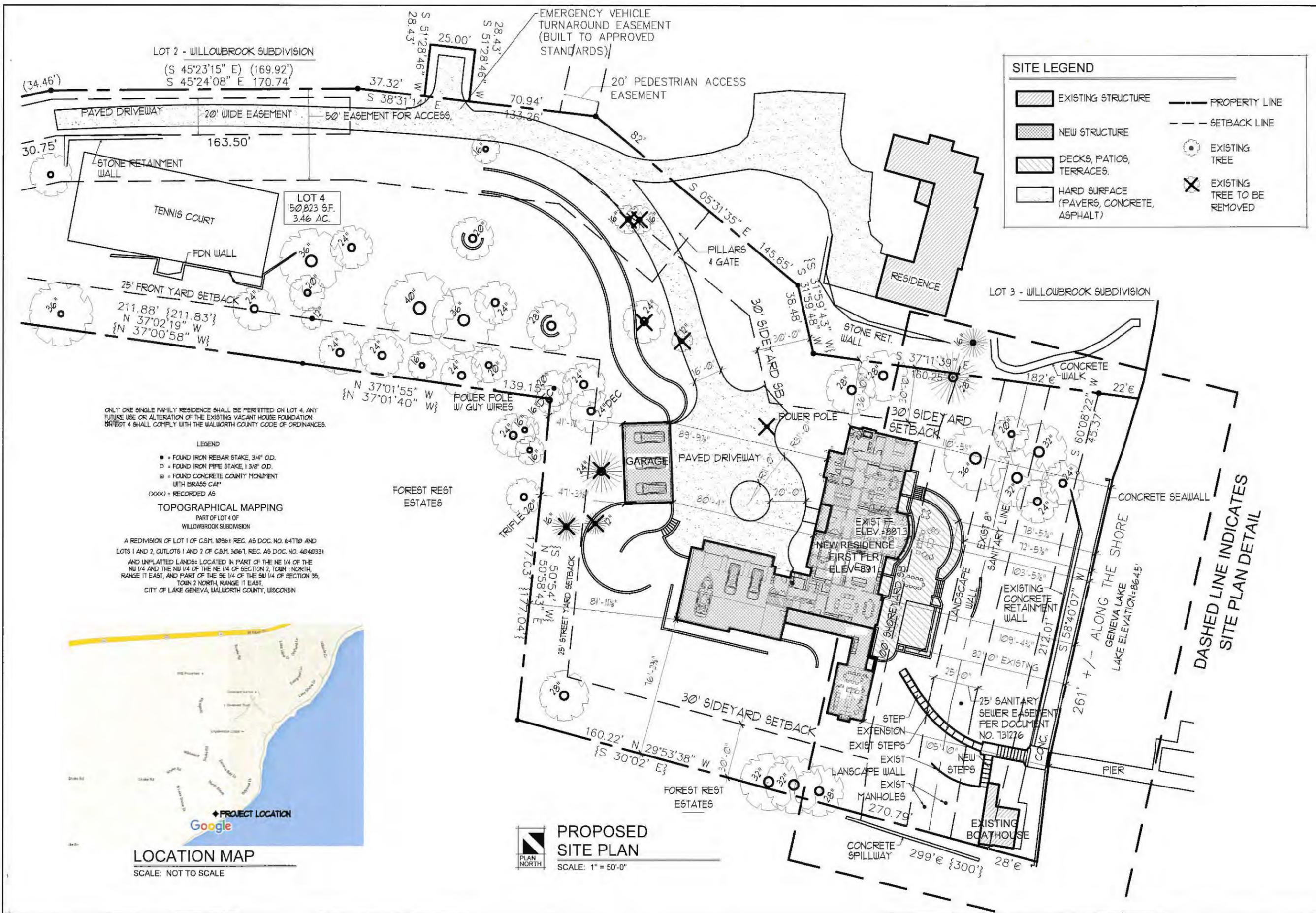
**ATHANS RESIDENCE**  
 W3155 SNAKE ROAD  
 LAKE GENEVA, WI

DATE: 12.1.15

**LAKE GENEVA Architects**  
 LAKE GENEVA ARCHITECTS  
 201 BROAD ST.  
 LAKE GENEVA, WI 53147  
 262.248.1400  
 LakeGenevaArchitects.com

STUDIO OF JASON R. BERNARD

- 1886 GENEVA BAY DRIVE
- 1882 GENEVA BAY DRIVE
- 1878 GENEVA BAY DRIVE
- 930 BAY VIEW DRIVE
- 927 BAY VIEW DRIVE
- OUTLOTS IA-ID BAY VIEW DRIVE
- 951 BAY VIEW DRIVE

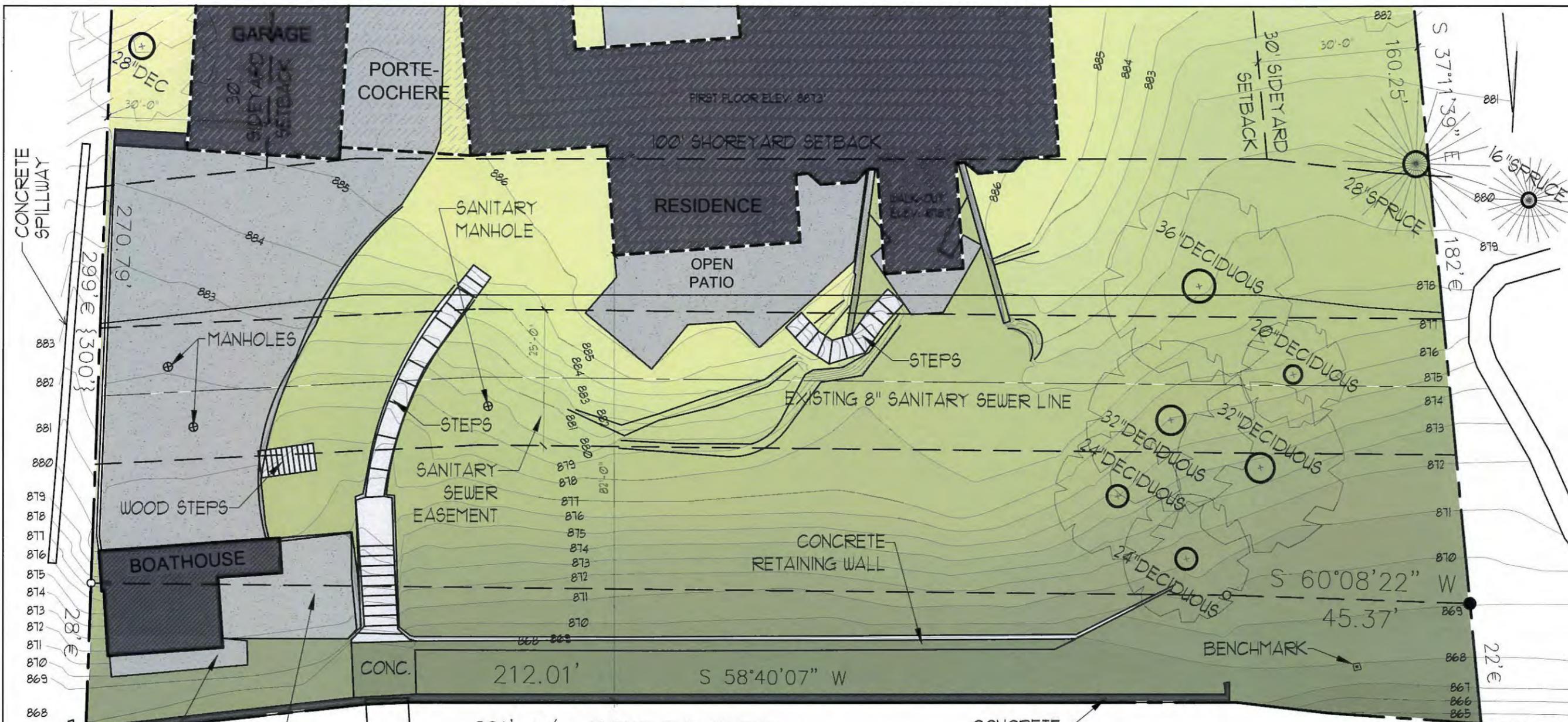


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**Architects**  
 STUDIO OF JASON R. BERNARD

**ATHANS RESIDENCE**  
 W3155 SNAKE ROAD  
 LAKE GENEVA, WI

DATE: 12.1.15



261' +/- ALONG THE SHORE

### GENEVA LAKE

LAKE ELEVATION=864.5'



### EXISTING SITE PLAN (DETAIL)

SCALE: 1" = 20'-0"

SITE LEGEND	
	EXISTING STRUCTURE
	EXIST STRUC TO BE REMOVED
	DECKS, PATIOS, TERRACES.
	HARD SURFACE (PAVERS, CONCRETE, ASPHALT)
	EXISTING GRADE
	PROPERTY LINE
	SETBACK LINE
	EXISTING TREE

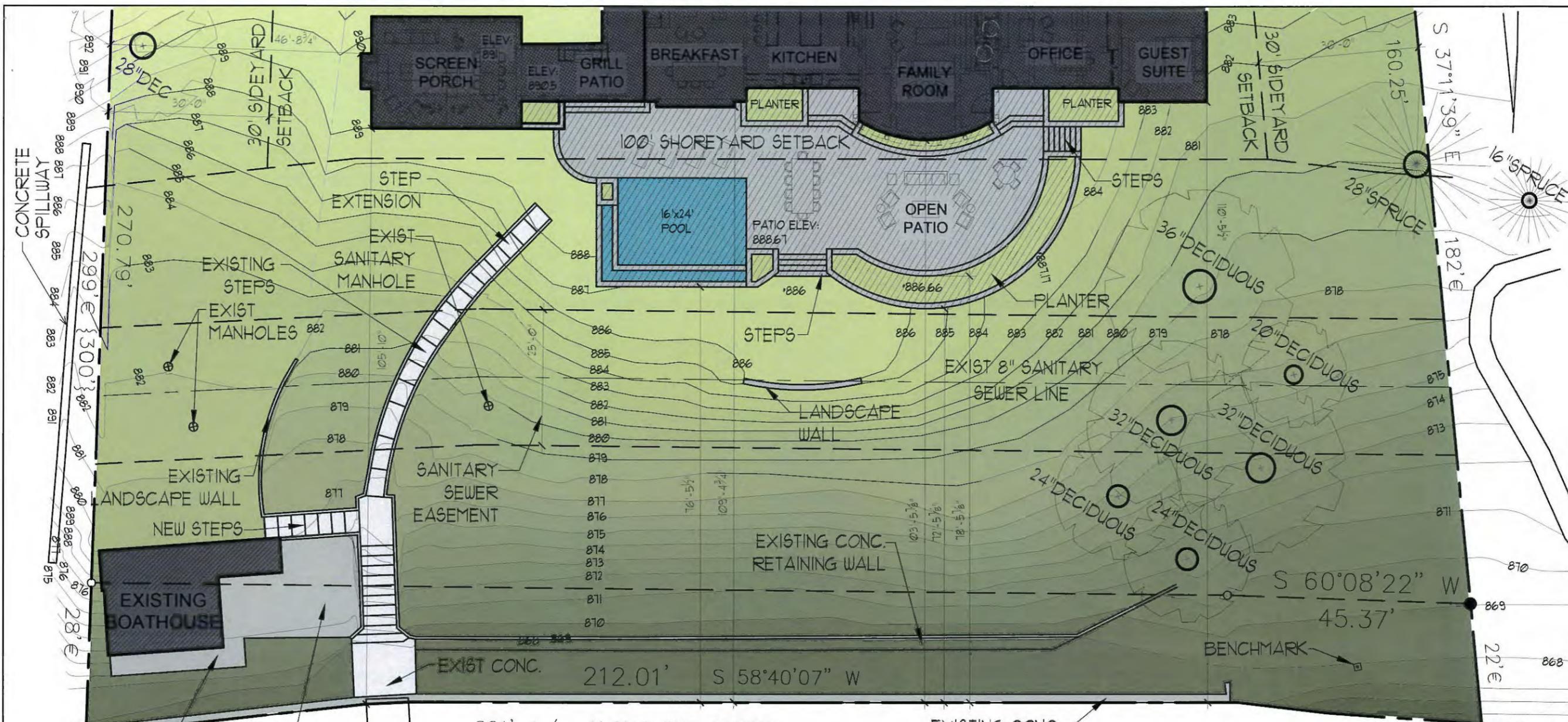
LOT COVERAGE WITHIN SHOREYARD	
EXISTING RESIDENCE (TOTAL) FOOTPRINT:	5,825 SF
EXISTING RESIDENCE (WITHIN SHOREYARD):	960 SF
BOAT HOUSE FOOTPRINT:	496 SF
OTHER IMPERVIOUS SURFACES WITHIN SHOREYARD:	4,819 SF
SUBTOTAL:	6,275 SF
TTL IMPERVIOUS SURFACES WITHIN SHOREYARD:	6,275 SF



LAKE GENEVA  
**Architects**  
 LAKE GENEVA ARCHITECTS  
 201 BROAD ST.  
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 262.248.1400  
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 STUDIO OF JASON R. BERNARD

**ATHANS RESIDENCE**  
 W3155 SNAKE ROAD  
 LAKE GENEVA, WI

DATE: 12.1.15



261' +/- ALONG THE SHORE

### GENEVA LAKE

LAKE ELEVATION=864.5'



## PROPOSED SITE PLAN (DETAIL)

SCALE: 1" = 20'-0"

### SITE LEGEND

	EXISTING STRUCTURE		EXISTING GRADE
	NEW STRUCTURE		NEW GRADE
	DECKS, PATIOS, TERRACES		PROPERTY LINE
	HARD SURFACE (PAVERS, CONCRETE, ASPHALT)		SETBACK LINE
			EXISTING TREE

### LOT COVERAGE WITHIN SHOREYARD

BOAT HOUSE FOOTPRINT:	496 SF
PROPOSED PATIO:	1,796 SF
EXISTING + PROPOSED STEPS FROM LAKE:	683 SF
EXISTING BOAT HOUSE PATIO:	485 SF
<b>TTL IMPERVIOUS SURFACES W/IN SHOREYARD:</b>	<b>3,460 SF</b>
<b>TOTAL NET REDUCTION OF IMPERVIOUS SURFACES: (-)</b>	<b>2,815 SF</b>

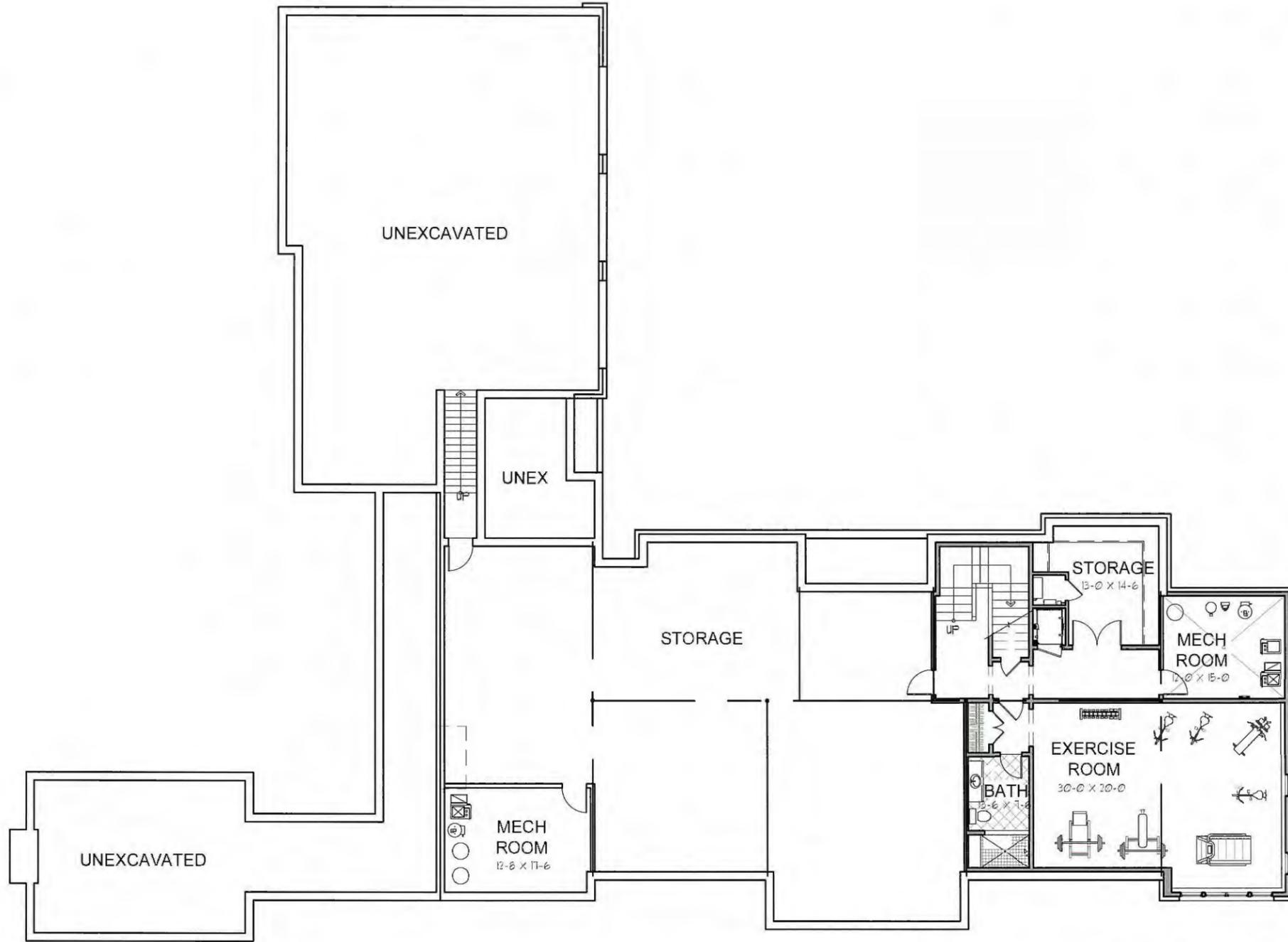
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LAKE GENEVA  
**Architects**  
 STUDIO OF JASON R. BERNARD



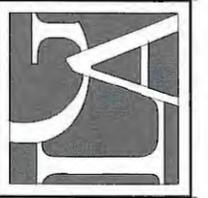
**ATHANS RESIDENCE**  
 W3155 SNAKE ROAD  
 LAKE GENEVA, WI

DATE: 12.1.15



**PROPOSED  
BASEMENT FLOOR PLAN**

SCALE 1/16" = 1'-0"



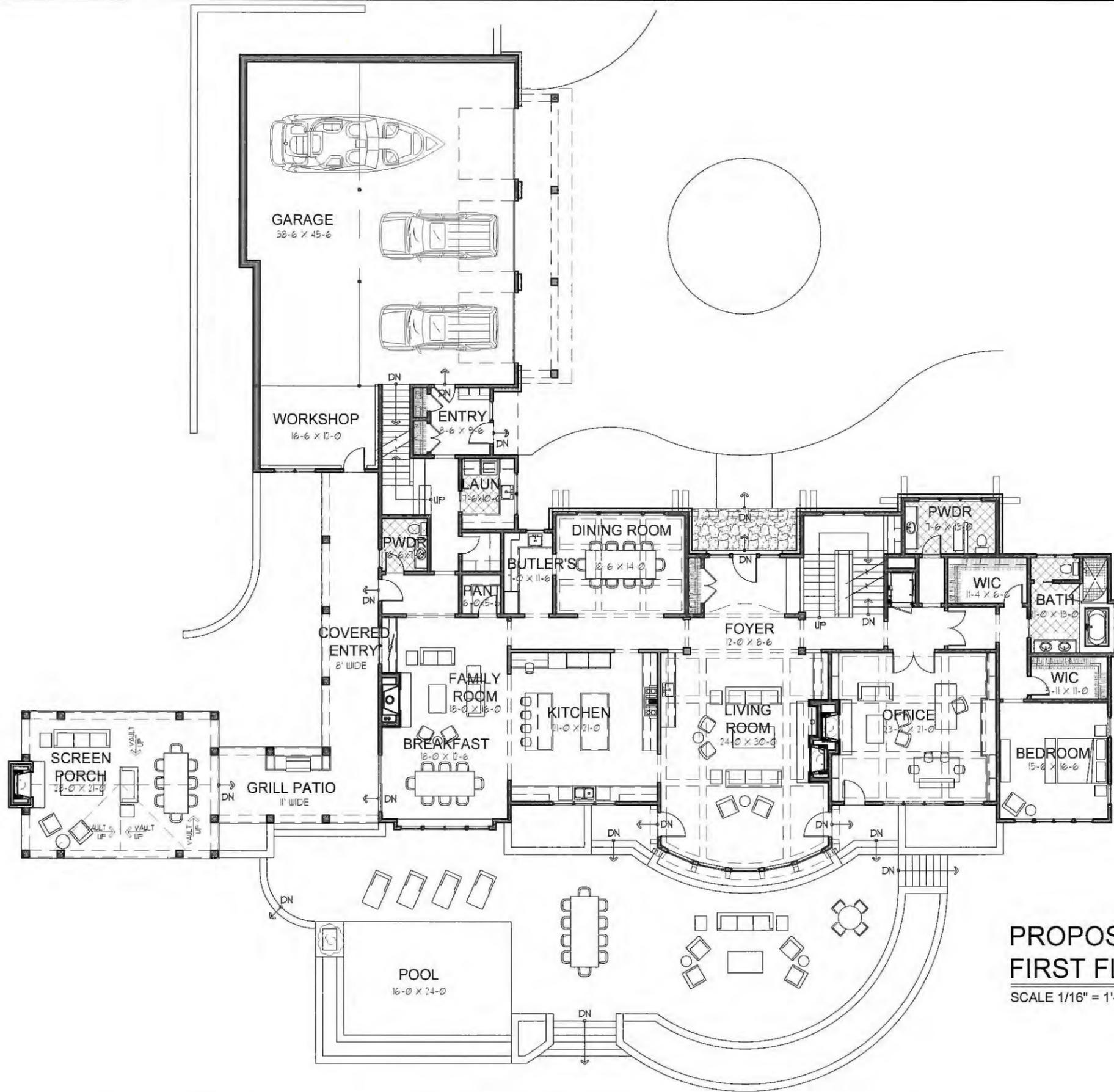
**ATHANS RESIDENCE**  
W3155 SNAKE ROAD  
LAKE GENEVA, WI

DATE: 12.1.15

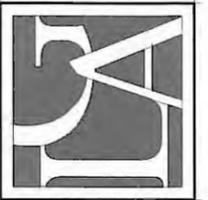
LAKE GENEVA  
**Architects**

LAKE GENEVA ARCHITECTS  
201 BROAD ST.  
LAKE GENEVA, WI 53147  
262.248.1400  
LakeGenevaArchitects.com

STUDIO OF JASON R. BERNARD



**PROPOSED  
FIRST FLOOR PLAN**  
SCALE 1/16" = 1'-0"



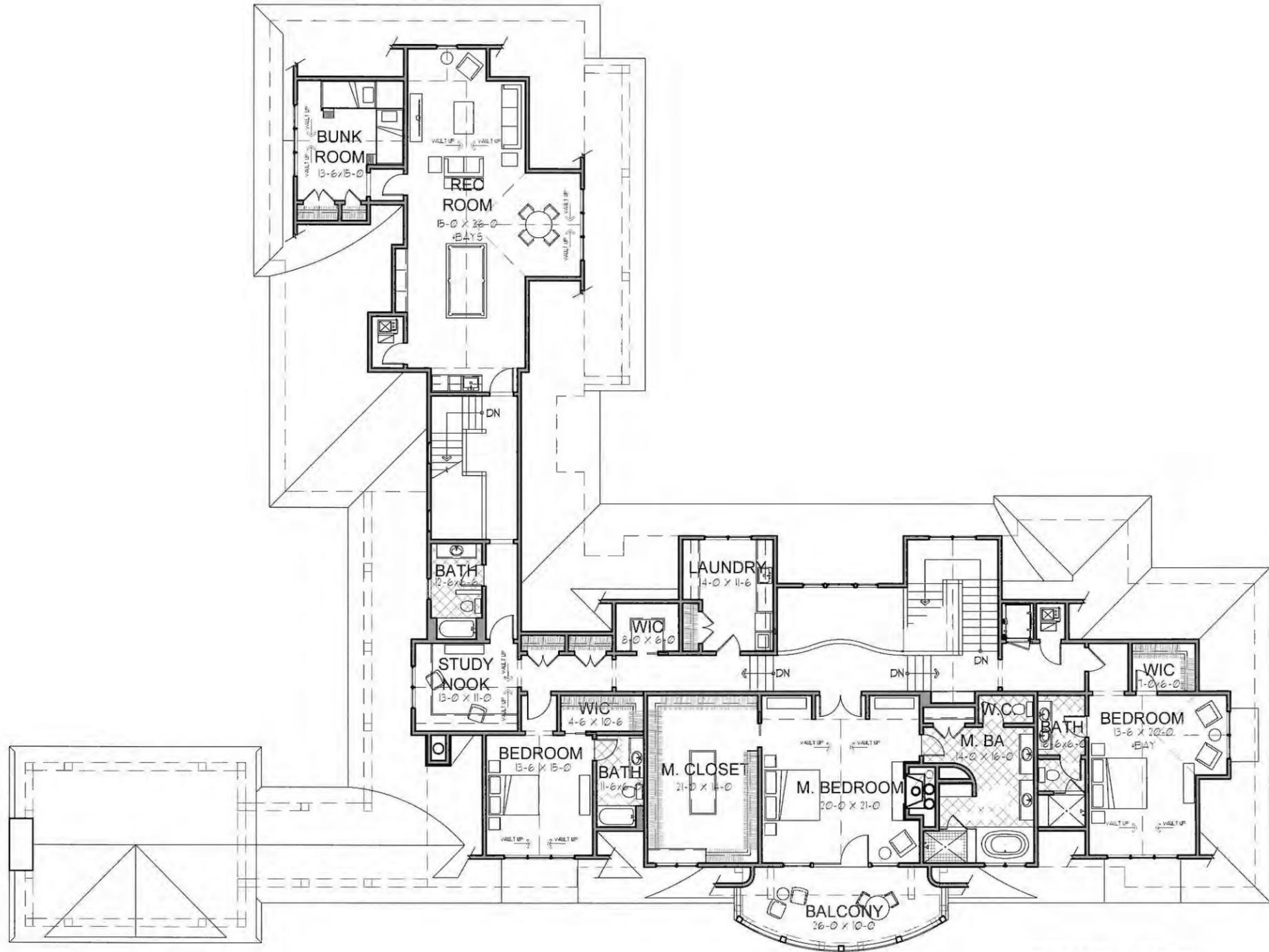
**ATHANS RESIDENCE**  
W3155 SNAKE ROAD  
LAKE GENEVA, WI

DATE: 12.1.15

LAKE GENEVA  
**Architects**

LAKE GENEVA ARCHITECTS  
201 BROAD ST.  
LAKE GENEVA, WI 53147  
262.248.1400  
LakeGenevaArchitects.com

STUDIO OF JASON R. BERNARD



**PROPOSED  
SECOND FLOOR PLAN**  
SCALE 1/16" = 1'-0"



**LAKE GENEVA  
Architects**  
LAKE GENEVA ARCHITECTS  
201 BROAD ST.  
LAKE GENEVA, WI 53147  
262.248.1400  
LakeGenevaArchitects.com

**ATHANS RESIDENCE**  
W3155 SNAKE ROAD  
LAKE GENEVA, WI

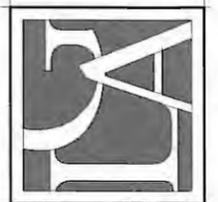
DATE: 12.1.15

SECOND FLOOR WALL FLT  
 EL. +120'-4 3/4" (ARCH)  
 9'-11"  
 SECOND FLOOR  
 EL. +111'-3 3/4" (ARCH)  
 WALL FLATE  
 EL. +110'-1" (ARCH)  
 10'-11"  
 FIRST FLOOR  
 EL. +100'-0" (ARCH)  
 10'-0"  
 T/WALL FLATE  
 EL. +88'-9 1/4" (ARCH)  
 9'-9 1/4"  
 BASEMENT SLAB  
 EL. +88'-11 3/4" (ARCH)  
 1'-0"  
 CIVIL 925  
 CIVIL 920  
 CIVIL 915  
 CIVIL 910  
 CIVIL 905  
 CIVIL 900  
 CIVIL 895  
 CIVIL 890  
 CIVIL 885  
 CIVIL 880  
 CIVIL 875



**PROPOSED  
 NORTH ELEVATION**

SCALE 1/16" = 1'-0"



LAKE GENEVA  
**Architects**

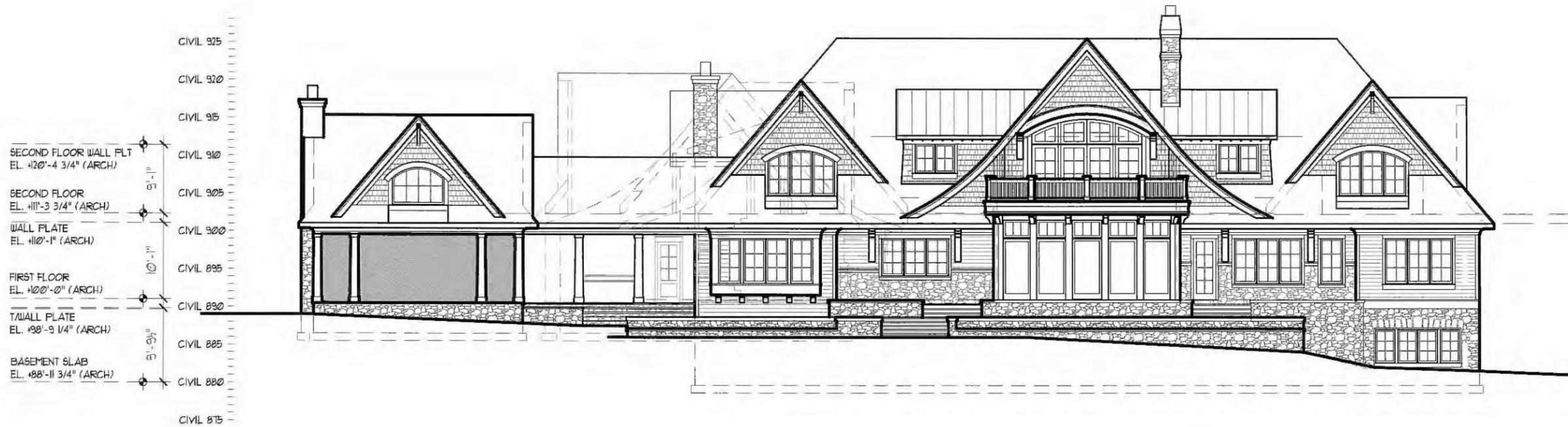
LAKE GENEVA ARCHITECTS  
 201 BROAD ST.  
 LAKE GENEVA, WI 53147  
 262.248.1400  
 LakeGenevaArchitects.com

STUDIO OF JASON R. BERNARD

**ATHANS RESIDENCE**

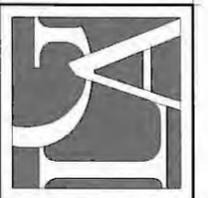
W3155 SNAKE ROAD  
 LAKE GENEVA, WI

DATE: 12.1.15



PROPOSED  
SOUTH ELEVATION

SCALE 1/16" = 1'-0"



**ATHANS RESIDENCE**  
 W3155 SNAKE ROAD  
 LAKE GENEVA, WI

DATE: 12.1.15

LAKE GENEVA  
**Architects**

LAKE GENEVA ARCHITECTS  
 201 BROAD ST.  
 LAKE GENEVA, WI 53147  
 262.248.1400

STUDIO OF JASON R. BERNARD

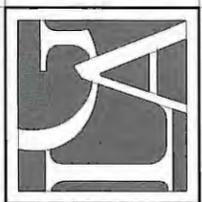
LakeGenevaArchitects.com



		CIVIL 925
		CIVIL 920
		CIVIL 915
SECOND FLOOR WALL FLT	9'-11"	CIVIL 910
EL. +120'-4 3/4" (ARCH)		
SECOND FLOOR		CIVIL 905
EL. +111'-3 3/4" (ARCH)		
WALL PLATE	10'-1"	CIVIL 900
EL. +110'-1" (ARCH)		
FIRST FLOOR		CIVIL 895
EL. +100'-0" (ARCH)		
TRAILL PLATE	9'-9 1/2"	CIVIL 890
EL. +98'-9 1/4" (ARCH)		
BASEMENT SLAB		CIVIL 885
EL. +88'-11 3/4" (ARCH)		
		CIVIL 880
		CIVIL 875

**PROPOSED  
EAST ELEVATION**

SCALE 1/16" = 1'-0"



**ATHANS RESIDENCE**  
W3155 SNAKE ROAD  
LAKE GENEVA, WI

DATE: 12.1.15

LAKE GENEVA  
**Architects**

LAKE GENEVA ARCHITECTS  
201 BROAD ST.  
LAKE GENEVA, WI 53147  
262.248.1400  
LakeGenevaArchitects.com

STUDIO OF JASON R. BERNARD

		CIVIL 925
		CIVIL 920
		CIVIL 915
		CIVIL 910
SECOND FLOOR WALL FLT	9'-11"	CIVIL 905
EL. +120'-4 3/4" (ARCH)		CIVIL 900
SECOND FLOOR		CIVIL 895
EL. +111'-3 3/4" (ARCH)		CIVIL 890
WALL FLATE	10'-1"	CIVIL 885
EL. +110'-1" (ARCH)		CIVIL 880
FIRST FLOOR		CIVIL 875
EL. +100'-0" (ARCH)		
T/WALL FLATE		
EL. +98'-9 1/4" (ARCH)		
BASEMENT SLAB	9'-5 3/4"	
EL. +88'-11 3/4" (ARCH)		



**PROPOSED  
WEST ELEVATION**  
SCALE 1/16" = 1'-0"



LAKE GENEVA  
**Architects**  
LAKE GENEVA ARCHITECTS  
201 BROAD ST.  
LAKE GENEVA, WI 53147  
262.248.1400  
LakeGenevaArchitects.com

STUDIO OF JASON R. BERNARD

**ATHANS RESIDENCE**  
W3155 SNAKE ROAD  
LAKE GENEVA, WI

DATE: 12.1.15



EXISTING SOUTH ELEVATION



EXISTING SOUTH ELEVATION



EXISTING WALK OUT BASEMENT

LAKE GENEVA ARCHITECTS

201 BROAD ST.  
LAKE GENEVA, WI 53147  
262.248.1400

LakeGenevaArchitects.com

LAKE GENEVA

**Architects**

STUDIO OF JASON R. BERNARD

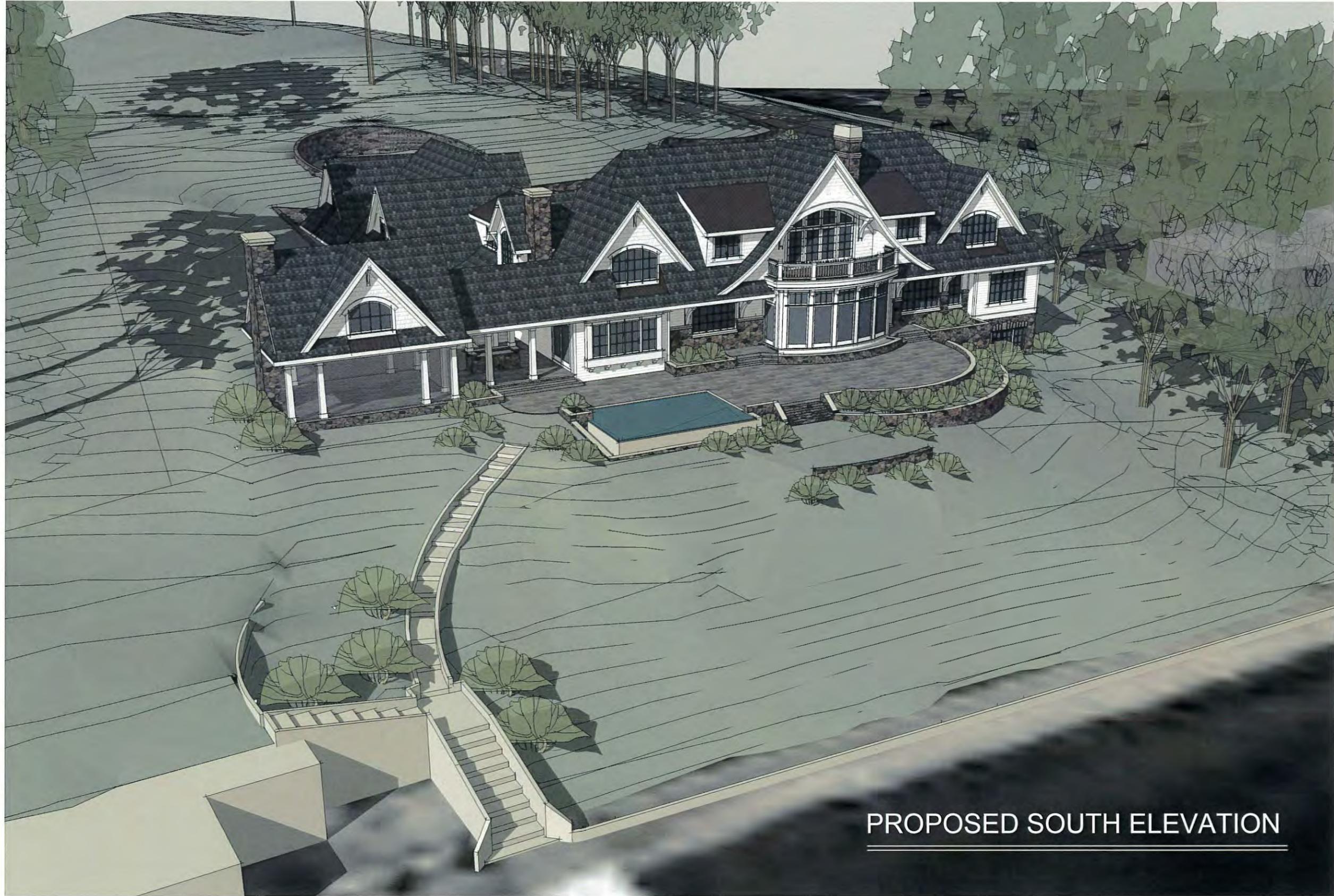


**ATHANS RESIDENCE**

W3155 SNAKE ROAD

LAKE GENEVA, WI

DATE: 12.1.15

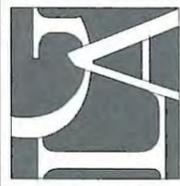


PROPOSED SOUTH ELEVATION

**ATHANS RESIDENCE**

W3155 SNAKE ROAD  
LAKE GENEVA, WI

DATE: 12.1.15



LAKE GENEVA  
**Architects**

LAKE GENEVA ARCHITECTS  
201 BROAD ST.  
LAKE GENEVA, WI 53147  
262.248.1400

STUDIO OF JASON R. BERNARD

LakeGenevaArchitects.com

**RESOLUTION 15-R63**

**A RESOLUTION TO APPOINT ELECTION INSPECTORS**

**WHEREAS**, Wisconsin State Statutes require the appointment of election inspectors; and

**WHEREAS**, the attached list of individuals have indicated their willingness to serve the City of Lake Geneva in the capacity of election inspector;

**WHEREAS**, the term of these election inspectors is a two year term which will run from January 1, 2016 until December 31, 2017.

**NOW THEREFORE BE IT RESOLVED** that these individuals are hereby appointed as election inspectors for the City of Lake Geneva, Wisconsin for a term ending December 31, 2017.

Adopted by the Common Council of the City of Lake Geneva, Wisconsin this 28<sup>th</sup> day of December 2015.

\_\_\_\_\_  
James R. Connors, Mayor

Attest: \_\_\_\_\_  
Sabrina Waswo, City Clerk



# ELECTION INSPECTORS

## TERM JAN 1 2016 - DEC 31 2017

### Nominated by the Republican Party of Walworth County

---

Ann Berndt  
Jan Chambers  
Mary Connelly  
Adele Disabato

Nichole Martin  
Dolleen Brenton  
Carole Nevin  
Verna Magee

Barb Braden  
Joyce Bouhl  
Carole Sappington

### Unaffiliated

---

Gordon Peaslee  
Peg Esposito  
Sonya Dailey  
Gail Nichols  
Sherri Ames  
Sue Shouder  
Barbara Giovannoni

Lois Preusser  
Sylvia Paprzyca  
Marian Karcher  
Diane Bauman  
Jo vonPontz  
Coryn Commare

Maryon Connolly  
Nancy Dailey  
Cathy Fritz  
Lois Larson  
Kay Stinebrink  
Judith Salmon

# CITY OF LAKE GENEVA AGENDA ITEM REQUEST FORM



PLEASE ATTACH ANY INFORMATION THAT YOU WOULD LIKE INCLUDED IN THE AGENDA PACKET.

1. Name of individual(s) requesting agenda item. (Per § 2.42(c) of the municipal code, agenda item request must be submitted by two Aldermen, Mayor or Administrator and must be received by the City Clerk at least two Fridays prior to the scheduled City Council meeting.)

Elizabeth Chappell  
RICHARD HEDZUNT

2. Item requested to be placed on agenda. (Please list as you would like to see it on the agenda.)

Amend <sup>zoning</sup> ordinance Section 98-206 (P) & (b)

3. Committee, Board or Commission which you are asking to review this item.

~~All Council~~ Planning & Zoning

4. Date of meeting(s).

Dec 28, 2015

Signature: [Signature] Date: 12/14/15  
 Signature: [Signature] Date: 12/14/2015

*For Office Use Only*

Date Received by Clerk: 12/16/15  
 Committee/Council and Meeting Date Scheduled: \_\_\_\_\_  
 Notes: \_\_\_\_\_

Copies Provided to: City Administrator

**Section 98-206 Detailed Land Use Descriptions  
and Regulations**
*through*
**Section 98-206 Detailed Land Use  
Descriptions and Regulations**
**(i) Community Living Arrangement (16+ residents)**

Description: See (g), above.

1. Permitted by Right: Not applicable.
2. Conditional Use Regulations {MR-8, NO, PO, NB}:
  - a. No community living arrangement shall be established within 2,500 feet of any other such facility, regardless of capacity.
  - b. The total capacity of all community living arrangements (of all capacities) in the City shall not exceed 1 percent of the City's population (unless specifically authorized by the City Council following a public hearing).
  - c. Shall comply with Section 98-905, standards and procedures applicable to all conditional uses. *State Law Reference: Section 62.23, Wisconsin Statutes.*
3. Parking Regulations: One space per every three residents.

**(4) Commercial Land Uses**
**(a) Office**

Description: Office land uses include all exclusively indoor land uses whose primary functions are the handling of information or administrative services. Such land uses do not typically provide services directly to customers on a walk-in or on-appointment basis.

1. Permitted by Right {NO, PO, NB, PB, GB, CB, PI, GI, HI}
2. Conditional Use Regulations: Not applicable.
3. Parking Regulations: One space per 300 square feet of gross floor area.

**(b) Personal or Professional Service**

Description: Personal service and professional service land uses include all exclusively indoor land uses whose primary function is the provision of services directly to an individual on a walk-in or on-appointment basis. Examples of such uses include professional services, insurance or financial services, realty offices, medical offices, and clinics, veterinary clinics, barber shops, beauty shops, and related land uses.

1. Permitted by Right {NO, PO, NB, PB, GB, CB, PI}
2. Conditional Use Regulations: Not applicable.
3. Parking Regulations: one space per 300 square feet of gross floor area.

**(c) Indoor Sales or Service**

Description: Indoor sales and service land uses include all land uses which conduct or display sales or rental merchandise or equipment, or non-personal or non-professional services, entirely within an enclosed building. This includes self-service facilities such as coin-operated Laundromats. Depending on the zoning district, such land uses may or may not display products outside of an enclosed building. Such activities are listed as "Outdoor Display Incidental to Indoor Sales" under "Accessory Uses" in the Table of Land Uses, (Section 98-206(8)(f)). A land use which contains both indoor sales and outdoor sales exceeding 15% of the total sales area of the building(s) on the property shall be considered an outdoor sales land use, (See (d), below.). Artisan craft production such as

**Section 98-206 Detailed Land Use Descriptions and Regulations****Section 98-206 Detailed Land Use Descriptions and Regulations***through*

d. Shall comply with Section 98-905, applicable to all conditional uses.

3. Parking Regulations: One space per five students, plus one space for each employee on the largest work shift.

**(p) Sexually-Oriented Land Uses**

Description: Sexually-oriented land uses include any facility oriented to the display of sexually-oriented materials such as videos, movies, slides, photos, books, or magazines; or actual persons displaying and/or touching sexually specified areas—including the provision of body piercing or tattooing services. For the purpose of this Chapter, “sexually-oriented areas” includes any one or more of the following: genitals, anal area, female areola or nipple; and sexually-oriented material includes any media which displays sexually specified area(s). Establishments which sell or rent sexually-oriented materials shall not be considered sexually-oriented if the area devoted to sale of said materials is less than 5% of the sales area devoted to non-sexually oriented materials and if such materials are placed in generic covers or otherwise obscured areas. NOTE: The incorporation of this Subsection into this Chapter is designed to reflect the City Council’s official finding that sexually-oriented commercial uses have a predominant tendency to produce certain undesirable secondary effects on the surrounding community, as has been demonstrated in other, similar jurisdictions. Specifically, the City Council is concerned with the potential for such uses to limit: the attractiveness of nearby locations for new development, the ability to attract and/or retain customers, and the ability to market and sell nearby properties at a level consistent with similar properties not located near such facilities. It is explicitly not the intent of this Subsection to suppress free expression by unreasonably limiting alternative avenues of communication, but rather to balance the need to protect free expression opportunities with the need to implement the City’s Comprehensive Master Plan and protect the character and integrity of its commercial and residential neighborhoods.

1. Permitted by Right: Not applicable.
2. Conditional Use Regulations {HI}:
  - a. Shall be located a minimum of 1,000 feet from any agriculturally zoned property or residentially zoned property; and shall be located a minimum of 1,000 feet from any school, church, or outdoor recreational facility.
  - b. Exterior building appearance and signage shall be designed to ensure that use does not detract from the ability of businesses in the vicinity to attract customers, nor affect the marketability of properties in the vicinity for sale at their assessed values.
  - c. Shall comply with Section 98-905, applicable to all conditional uses.
3. Parking Regulations: One space per 300 sq ft of gross floor area, or one space per person at the maximum capacity of the establishment (whichever is greater).

**(q) Vehicle Repair and Maintenance Service**

Description: Vehicle repair and maintenance services include all land uses which perform maintenance services (including repair) to motorized vehicles and contain all operations (except vehicle storage) entirely within an enclosed building.

1. Permitted by Right: Not applicable.

**City of Lake Geneva  
Council Meeting  
December 28, 2015**

**Prepaid Checks**

**12/16/15 - 12/23/15**

**Total:  
\$3,436.42**

**Checks over \$5,000:        \$        -**

FROM 12/16/2015 TO 12/23/2015

VENDOR #	INVOICE #	ITEM DESCRIPTION	ACCOUNT NUMBER	INV. DATE	P.O. NUM	CHECK #	CHK DATE	CHECK AMT	INVOICE AMT/ ITEM AMT
LGPD	LAKE GENEVA POLICE DEPT								
	PETTY CASH 12/17			12/17/15		61805	12/17/15	98.95	98.95
	01	USPS	1121005312						17.58
	02	GRITNER-UW CLASS PARKING	1121005330						19.35
	03	DOT-TITLE APP FEE	1121005361						4.00
	04	CHRISTMAS TREE,ORNAMENTS	1121005399						48.59
	05	HOME DEPOT-SUPER GLUE	1121005410						9.43
								VENDOR TOTAL:	98.95
SUN	SUN LIFE FINANCIAL								
	JAN DISABILITY			12/20/15		700018	12/22/15	1,227.98	1,227.98
	01	JAN DISABILITY	1100001610						1,245.72
	02	BORKHUIS DEC CREDIT	1100001634						-17.74
								VENDOR TOTAL:	1,227.98
VERIZON	VERIZON WIRELESS								
	9756495770			12/01/15		61806	12/17/15	862.64	461.09
	01	CELL CHGS-NOV	1121005221						461.09
	9756648294			12/03/15		61806	12/17/15	862.64	401.55
	01	AIR CARDS-NOV	1121005221						401.55
								VENDOR TOTAL:	862.64
WALCOR	WALWORTH CO REGISTER OF DEEDS								
	120 PROPERTIES LLC			12/21/15		61807	12/22/15	30.00	30.00
	01	ANNEXATION FEE-120 PROPERTIES	1110005316						30.00
								VENDOR TOTAL:	30.00
WALCOT	WALWORTH COUNTY TREASURER								
	64-246 11/15			11/30/15		61808	12/22/15	1,216.85	1,216.85
	01	COURT FINES-NOV 2015	1112002420						1,216.85
								VENDOR TOTAL:	1,216.85
								TOTAL --- ALL INVOICES:	3,436.42

**City of Lake Geneva  
Council Meeting  
December 28, 2015**

**Accounts Payable**

	<u>Fund #</u>	
1. General Fund	11	\$ <u>58,786.17</u>
2. Debt Service	20	\$ <u>94.84</u>
3. TID #4	34	\$ <u>-</u>
4. Lakefront	40	\$ <u>6,415.98</u>
5. Capital Projects	41	\$ <u>14,931.75</u>
6. Parking	42	\$ <u>172.65</u>
7. Cemetery	48	\$ <u>1,517.67</u>
8. Equipment Replacement	50	\$ <u>-</u>
9. Library Fund	99	\$ <u>4,142.27</u>
10. Impact Fees	45	\$ <u>-</u>
11. Tax Agency Fund	89	\$ <u>-</u>
<b>Total All Funds</b>		<b><u><u>\$86,061.33</u></u></b>

**CITY OF LAKE GENEVA  
ACCOUNTS PAYABLE UNPAID ITEMS OVER \$5,000**

**COUNCIL MEETING DATE OF:** 12/28/2015

**TOTAL UNPAID ACCOUNTS PAYABLE** \$ **86,061.33**

**ITEMS > \$5,000**

Alliant Energy - November Electric Bills \$ 19,210.33

Van's Roofing - Re-roof Fire Station \$ 13,625.00

Balance of Other Items \$ 53,226.00

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
5ALARM 5 ALARM FIRE & SAFETY EQUIP							
153255-1	12/07/15	01	CALIBRATION GAS-MONITORS	1122005340		12/29/15	242.39
						INVOICE TOTAL:	242.39
153281-1	12/14/15	01	MSA SENSOR MONITOR FIX	1122005240		12/29/15	244.05
						INVOICE TOTAL:	244.05
						VENDOR TOTAL:	486.44
ALLIANT ALLIANT ENERGY							
RE121015	11/30/15	01	ACCT #026273-HAVENWOOD FLSH	1134105222		12/29/15	7.19
		02	ACCT #057300-SOUTH/WELLS FLSH	1134105222			8.68
		03	ACCT #064443-WELLS ST FLSH	1134105222			8.59
		04	ACCT #072470-MAIN ST LITES	1134105223			211.16
		05	ACCT #089416-SHARED SAVINGS P	9900005623			136.38
		06	ACCT #089416-SHARED SAVINGS I	9900005663			3.44
		07	ACCT #108571-1055 CAREY	1132105222			140.78
		08	ACCT #111395-BROAD ST TRFC LT	1134105223			73.13
		09	ACCT #121601-SHARED SAVINGS P	2081005625			92.04
		10	ACCT #121601-SHARED SAVINGS I	2081005664			2.80
		11	ACCT #148614-HWY 50/12 FLASHER	1134105222			10.16
		12	ACCT #152472-W COOK SIREN	1129005222			10.50
		13	ACCT #161895-RIVIERA ELEC	4055305222			2,411.97
		14	ACCT #165231-BEACH HOUSE	4054105222			283.87
		15	ACCT #178450-INTCHG N/SHER SPR	1134105223			88.42
		16	ACCT #182684-HWY 120/BLMFLD LT	1134105223			100.51
		17	ACCT #243254-LIBRARY PARK	1152005222			39.19
		18	ACCT #252132-EDWDS BLVD/WM SIG	1134105223			101.59
		20	ACCT #293132-SAGE ST/DUNN SRN	1129005222			5.04
		21	ACCT #303645-MS2 STREET LTS	1134105223			300.45
		22	ACCT #327582-DUNN FIELD	1152005922			119.46
		23	ACCT #339772-SNAKE RD/HWY 50	1134105222			10.50
		24	ACCT #363673-VETS PK/TWNLN RD	1152015222			84.77
		25	ACCT #393713-MUSEUM 256 MILL	1151105222			508.09
		27	ACCT #401872-WELLS ST FLSH	1134105222			9.74

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
ALLIANT	ALLIANT ENERGY						
RE121015	11/30/15	28	ACCT #414694-HOST DR WATER TWR	1122005222		12/29/15	202.65
		29	ACCT #422323-GENEVA SQ TRF LT	1134105223			33.92
		30	ACCT #433371-LIBRARY	9900005222			827.20
		31	ACCT #457625-LOT LITE GNVA ST	1134105223			333.95
		32	ACCT #462852-WELLS ST FLSH	1134105222			77.00
		33	ACCT #549716-FLAT IRON PARK	1152005222			182.83
		34	ACCT #566211-W HWY 50 BLK FLSH	1134105222			10.50
		35	ACCT #595515-LIB PARK RESTROOM	1152005222			30.72
		36	ACCT #602235-724 WILLIAMS ST	1134105223			31.32
		37	ACCT #604445-S LAKESHORE DR FL	1134105222			7.84
		38	ACCT #622184-S LAKESHORE DR	1152005222			18.67
		39	ACCT #630016-COOK ST/HWY 50	1134105223			28.84
		40	ACCT #661112-OAK HILL CEMETERY	4800005222			78.42
		41	ACCT #684954-730 MARSHALL SRN	1129005222			17.97
		43	ACCT #688465-TENNIS CTS/SCHL	1152005222			7.80
		44	ACCT #718894-OAK HILL CEMETERY	4800005222			21.75
		46	ACCT #732492-389 EDWDS TRF LT	1134105223			143.21
		47	ACCT #734115-HWY 50/HWY 12 LTS	1134105222			40.57
		48	ACCT #738154-RUSHWOOD PARK	1152005222			21.52
		49	ACCT #758433-700 GENEVA ST LOT	1134105223			208.82
		50	ACCT #758940-1065 CAREY ST	1132105222			563.39
		51	ACCT #759513-STREET LIGHTS	1134105223			6,972.68
		52	ACCT #800930-VETS PK SCOREBRD	1152015222			167.08
		53	ACCT #837813-SEM PARK RESTROOM	1152005222			10.70
		54	ACCT #895526-HWY 50 TRF LT	1134105223			179.43
		55	ACCT #912610-GEORGE ST FLSHR	1134105222			7.84
		56	ACCT #923482-1070 CAREY ST	1132105222			185.10
		59	ACCT #926683-FLAT IRON PK WRGL	1152005222			7.53
		60	ACCT #932215-DODGE ST FLSHR	1134105222			7.67
		63	ACCT #940353-IMPND 1070 CAREY	1121005222			14.27
		64	ACCT #952816-FIRE HOUSE	1122005222			718.12
		65	ACCT #957203-HWY 120/TWNLD RD	1134105222			93.43
		66	ACCT #965570-201 EDWARDS SIREN	1129005222			20.78
		67	ACCT #969933-CITY HALL	1116105222			2,812.30

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
ALLIANT ALLIANT ENERGY							
RE121015	11/30/15	68	ACCT #973443-VETS PARK PAVLN	1152015222		12/29/15	202.34
		69	ACCT #980910-DONIAN PARK	1152005222			134.31
		70	ACCT #998403-COBB PARK	1152005222			19.41
						INVOICE TOTAL:	19,210.33
						VENDOR TOTAL:	19,210.33
AMAZO AMAZON							
8932-11/15	11/10/15	01	DVDS	9900005411		12/29/15	206.25
		02	INK CARTRIDGE, CALENDARS	9900005310			115.61
						INVOICE TOTAL:	321.86
						VENDOR TOTAL:	321.86
ARROWI ARROW INTERNATIONAL INC							
93545978	12/08/15	01	EZ-IO NEEDLES	1122005810		12/29/15	345.00
						INVOICE TOTAL:	345.00
						VENDOR TOTAL:	345.00
AT&T81 AT&T							
RE122315	12/13/15	01	262 R42-8188 663 1 CITY HALL	1116105221		12/29/15	264.14
		02	262 R42-8188 663 1-POLICE	1121005221			264.14
		03	262 R42-8188 663 1-COURT	1112005221			29.35
		04	262 R42-8188 663 1-METER	4234505221			29.35
		06	262 248-2264 368 9-FIRE DEPT	1122005221			270.36
		07	262 248-4567 367 1-911 MODEM	1121005221			173.36
		08	262 248-4715 125 4-CITY HALL	1116105221			222.86
		10	262 248-4913 601 4-STR FAX/DSL	1132105221			155.96
		12	262 249-5299 313 5-6 LIB LINES	9900005221			127.94
		13	262 249-5299 313 5-1 STR LINE	1132105221			21.31
		14	262 249-5299 313 5-COURT FAX	1112005221			21.31
		15	262 249-5299 313 5-CH ALARM	1116105221			42.62
		16	262 249-5299 313 5-CEM 2 LINES	4800005221			21.31

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
AT&T81	AT&T						
RE122315	12/13/15	17	262 249-5299 313 5-LOWER RIV	4055205221		12/29/15	21.10
		18	262 249-5299 313 5-UPPER RIV	4055105221			42.62
		19	262 249-5299 313 5-FIRE 2 LINE	1122005221			42.62
		20	262 249-5299 313 5-POL 3 LINES	1121005221			63.93
		21	262 248-6837 457 9-POL 911 CON	1121005221			90.93
						INVOICE TOTAL:	1,905.21
						VENDOR TOTAL:	1,905.21
AT&TL	AT&T LONG DISTANCE						
RE122315	12/04/15	01	LONG DIST-NOV	1100001391		12/29/15	10.53
		02	LONG DIST-NOV	4055105221			0.20
		03	LONG DIST-NOV	4800005221			1.39
		04	LONG DIST-NOV	1132105221			7.25
		05	LONG DIST-NOV	1122005221			9.13
		06	LONG DIST-NOV	9900005221			7.68
		07	LONG DIST-NOV	1121005221			87.82
		08	LONG DIST-NOV	1116105221			0.50
		09	LONG DIST-NOV	1112005221			0.14
						INVOICE TOTAL:	124.64
						VENDOR TOTAL:	124.64
BADGE	BADGER HIGH SCHOOL						
REIMB CHGBKS	12/10/15	01	REIMB CHARGEBACKS	1110005742		12/29/15	105.95
						INVOICE TOTAL:	105.95
SEC DEP 12/4	12/10/15	01	BHS-SEC DEP 12/4/15	4055102353		12/29/15	1,000.00
		02	BHS-SETUP,SEC GRD 12/4/15	4055104674			-317.50
		03	BHS-LEASE 12/4/15	4055104674			-400.00
						INVOICE TOTAL:	282.50
						VENDOR TOTAL:	388.45
BATT+	BATTERIES PLUS LLC						

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
BATT+	BATTERIES PLUS LLC						
575-196499-01	12/18/15	01	BATTERIES	1121005310		12/29/15	99.12
						INVOICE TOTAL:	99.12
						VENDOR TOTAL:	99.12
BAYCOM	BAYCOM INC						
1434-N0D2	12/01/15	01	LIGHT BAR-NEW SQUAD	1121005361		12/29/15	2,345.00
						INVOICE TOTAL:	2,345.00
						VENDOR TOTAL:	2,345.00
BESTR	BEST TRUCK REPAIR INC						
25532	12/04/15	01	PLOW BLADE FIX	1132125351		12/29/15	706.50
						INVOICE TOTAL:	706.50
						VENDOR TOTAL:	706.50
BRISTOL	BRISTOL MUNICIPAL COURT						
WARRANT-SERNA	11/30/15	01	WARRANT #000B104007	1112002428		12/29/15	59.00
						INVOICE TOTAL:	59.00
						VENDOR TOTAL:	59.00
BUDGET	BUDGET LIBRARY SUPPLIES						
13513	12/09/15	01	LABELS-DUE DATE	9900005512		12/29/15	180.00
						INVOICE TOTAL:	180.00
						VENDOR TOTAL:	180.00
BUMPB	BUMPER TO BUMPER AUTO PARTS						
297598	12/07/15	01	HYDRAULIC HOSES-PLOWS	1132125351		12/29/15	324.93
						INVOICE TOTAL:	324.93
297616	12/07/15	01	HYDRAULIC HOSES-PLOWS	1132125351		12/29/15	84.39
						INVOICE TOTAL:	84.39
						VENDOR TOTAL:	409.32

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
BUMPL	BUMPER TO BUMPER AUTO PARTS						
662-331087	12/13/15	01	THREADLOCKER-FIREARMS	1121005410		12/29/15	23.99
						INVOICE TOTAL:	23.99
662-331534	12/21/15	01	BLADE FUSE-#205	1121005361		12/29/15	1.69
						INVOICE TOTAL:	1.69
						VENDOR TOTAL:	25.68
CDW	CDW GOVERNMENT INC						
BLG0466	12/10/15	01	BACKUP SERVERS SOFTWARE	1115105450		12/29/15	2,773.54
						INVOICE TOTAL:	2,773.54
						VENDOR TOTAL:	2,773.54
COMPL	COMPLETE OFFICE OF WISCONSIN						
469475	12/10/15	01	TONER-DISPATCH	1121005310		12/29/15	360.05
						INVOICE TOTAL:	360.05
474312	12/17/15	01	BINDER CLIPS,STICKY NOTES	1121005310		12/29/15	12.04
						INVOICE TOTAL:	12.04
						VENDOR TOTAL:	372.09
DELS	DEL'S SERVICE						
25605	11/09/15	01	TOW TRACTOR BACK	4800005399		12/29/15	150.00
						INVOICE TOTAL:	150.00
						VENDOR TOTAL:	150.00
DEMCO	DEMCO						
5755792	12/09/15	01	LABELS	9900005512		12/29/15	93.68
						INVOICE TOTAL:	93.68
						VENDOR TOTAL:	93.68
DOMIN	DOMINION VOTING SYSTEMS INC						

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
DOMIN      DOMINION VOTING SYSTEMS INC							
DVS115012	12/10/15	01	YRLY MAINT, SOFTWARE	1114305311		12/29/15	826.08
						INVOICE TOTAL:	826.08
						VENDOR TOTAL:	826.08
DSPS      STATE OF WISCONSIN							
393002	11/24/15	01	ELEV PERMIT	4055105360		12/29/15	50.00
						INVOICE TOTAL:	50.00
						VENDOR TOTAL:	50.00
DUNN      DUNN LUMBER & TRUE VALUE							
628411	12/03/15	01	CORD, SWITCH-XMAS TREE	4055205399		12/29/15	6.79
		02	DISCOUNT	1100004819			-0.34
						INVOICE TOTAL:	6.45
629215	12/10/15	01	LOCKS-BASEMENT STORAGE	1121005342		12/29/15	12.99
		02	DISCOUNT	1100004819			-0.65
						INVOICE TOTAL:	12.34
629237	12/10/15	01	KEYS-BASEMENT STORAGE ROOM	1121005342		12/29/15	7.96
		02	DISCOUNT	1100004819			-0.40
						INVOICE TOTAL:	7.56
629284	12/10/15	01	PAINT BRUSH	1116105350		12/29/15	15.99
		02	DISCOUNT	1100004819			-0.80
						INVOICE TOTAL:	15.19
629405	12/11/15	01	BATTERY-STAFF DOOR LOCK	9900005350		12/29/15	11.99
		02	DISCOUNT	9900004819			-1.20
						INVOICE TOTAL:	10.79
629435	12/11/15	01	ROLLER COVERS	1121005342		12/29/15	9.98
		02	DISCOUNT	1100004819			-0.50
						INVOICE TOTAL:	9.48

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
DUNN	DUNN LUMBER & TRUE VALUE						
629537	12/11/15	01	AIR FILTER-GENERATOR	1122005351		12/29/15	5.00
						INVOICE TOTAL:	5.00
629849	12/15/15	01	3V BATTERIES	1122005351		12/29/15	14.97
		02	DISCOUNT	1100004819			-0.75
						INVOICE TOTAL:	14.22
629883	12/15/15	01	OUTLET SEALER	1116105350		12/29/15	3.98
		02	DISCOUNT	1100004819			-0.20
						INVOICE TOTAL:	3.78
629899	12/16/15	01	DOOR HINGE-WORKROOM	9900005350		12/29/15	6.98
		02	DISCOUNT	9900004819			-0.70
						INVOICE TOTAL:	6.28
629903	12/16/15	01	SHIMS-STATUE LIFT	1152005399		12/29/15	2.19
						INVOICE TOTAL:	2.19
629988	12/16/15	01	WOOD BOARD,SCREWS-FENCE FIX	1152005352		12/29/15	11.48
		02	DISCOUNT	1100004819			-0.27
						INVOICE TOTAL:	11.21
630229	12/18/15	01	DOOR HINGE,CAULK	9900005350		12/29/15	9.48
		02	DISCOUNT	9900004819			-0.95
						INVOICE TOTAL:	8.53
630405	12/21/15	01	LIGHT BULBS	9900005350		12/29/15	27.98
		02	DISCOUNT	9900004819			-2.80
						INVOICE TOTAL:	25.18
630532	12/22/15	01	CONCRETE HOLE PLUG	1121005342		12/29/15	5.99
		02	DISCOUNT	1100004819			-0.30
						INVOICE TOTAL:	5.69
						VENDOR TOTAL:	143.89

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
EAGLM	EAGLE MEDIA INC						
31487	12/09/15	01	FLEECE HATS-RESERVES	1121005139		12/29/15	159.60
						INVOICE TOTAL:	159.60
						VENDOR TOTAL:	159.60
ELKHO	ELKHORN CHEMICAL CO INC						
569626	12/16/15	01	FRAGRANCE SPRAY	1116105350		12/29/15	108.00
						INVOICE TOTAL:	108.00
						VENDOR TOTAL:	108.00
ENERG	ENERGY CONSULTANTS OF WI						
8106	12/18/15	01	4 BALLASTS	1122005350		12/29/15	60.00
						INVOICE TOTAL:	60.00
						VENDOR TOTAL:	60.00
FAST	FASTENAL COMPANY						
WIELK119823	11/30/15	01	SCREWDRIVER, DRILL, NUTS, BOLTS	1132105340		12/29/15	230.54
						INVOICE TOTAL:	230.54
						VENDOR TOTAL:	230.54
FELLO	FELLOW MORTALS INC						
REFUND 12/5	12/10/15	01	FEL MORTALS- SEC DEP 12/5	4055102353		12/29/15	1,000.00
		02	FEL MORTALS-SETUP, SEC GRD 12/5	4055104674			-305.75
						INVOICE TOTAL:	694.25
						VENDOR TOTAL:	694.25
FIRSTS	FIRST SUPPLY LLC						
1279056-00	11/18/15	01	FAUCET/PARTS	1116105350		12/29/15	142.24
						INVOICE TOTAL:	142.24
						VENDOR TOTAL:	142.24

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
FORD FORD OF LAKE GENEVA							
50655	12/02/15	01	SEATBELT FIX-#205	1121005361		12/29/15	269.71
						INVOICE TOTAL:	269.71
50661	12/02/15	01	OIL,FILTER CHG-#205	1121005361		12/29/15	30.80
						INVOICE TOTAL:	30.80
50705	12/08/15	01	SEAT BELT FIX-#203	1121005361		12/29/15	332.06
						INVOICE TOTAL:	332.06
50729	12/08/15	01	OIL,FILTER CHG-#206	1121005361		12/29/15	30.80
						INVOICE TOTAL:	30.80
50801	12/14/15	01	TIRE PATCH-#207	1121005361		12/29/15	21.00
						INVOICE TOTAL:	21.00
						VENDOR TOTAL:	684.37
GALLS GALLS LLC							
4495707	12/01/15	01	MEASURING WHEEL	1121005380		12/29/15	86.25
						INVOICE TOTAL:	86.25
4510336	12/03/15	01	CROSS GUARD STOP SIGNS	1121005139		12/29/15	39.78
						INVOICE TOTAL:	39.78
4554764	12/10/15	01	UNIFORM-REUSS	1121005138		12/29/15	164.75
						INVOICE TOTAL:	164.75
						VENDOR TOTAL:	290.78
GATEWAY GATEWAY TECHNICAL COLLEGE							
REIMB CHGBKS	12/10/15	01	REIMB CHARGEBACKS	1110005742		12/29/15	45.23
						INVOICE TOTAL:	45.23
						VENDOR TOTAL:	45.23
GENPD GENEVA PAINT STORE							

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
GENPD	GENEVA PAINT STORE						
3531-34564763	12/10/15	01	PAINT, COVER, TAPE	1121005342		12/29/15	46.79
						INVOICE TOTAL:	46.79
3531-34587939	12/21/15	01	PAINT, BRUSHES, TAPE, RAGS	1121005342		12/29/15	229.35
						INVOICE TOTAL:	229.35
						VENDOR TOTAL:	276.14
GIRAF	GIRAFFE ELECTRIC						
15-2596	12/07/15	01	ELEC LINES LOCATE-PW	4132101509		12/29/15	165.00
		02	ELEV MOTOR STARTER FIX	4055205360			166.25
						INVOICE TOTAL:	331.25
15-2597	12/07/15	01	LOCATE WIRES HWY50/EDW	1134105260		12/29/15	247.50
						INVOICE TOTAL:	247.50
						VENDOR TOTAL:	578.75
GRANI	GRANITE RIDGE LAWN & LANDSCAPE						
4894	12/15/15	01	SNOW REMOVAL, SALT	9900005360		12/29/15	52.50
						INVOICE TOTAL:	52.50
						VENDOR TOTAL:	52.50
HALVE	HALVERSON OVERHEAD DOOR CO						
90871-IN	12/09/15	01	GARAGE DOOR #8 FIX	1122005241		12/29/15	89.00
						INVOICE TOTAL:	89.00
						VENDOR TOTAL:	89.00
HEALT	HEALTHCHECK 360						
HC2615	12/15/15	01	NOV SCREENINGS	1110205132		12/29/15	2,972.00
						INVOICE TOTAL:	2,972.00
						VENDOR TOTAL:	2,972.00

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
HESTA HE STARK AGENCY INC							
6089PARK-11/15	11/30/15	01	NOV COLLECTION FEES	4234505216		12/29/15	113.82
						INVOICE TOTAL:	113.82
6089TAX-11/15	11/30/15	01	RRB COLLECTION SHARE	1100004180		12/29/15	190.91
						INVOICE TOTAL:	190.91
						VENDOR TOTAL:	304.73
HOME HOME DEPOT CREDIT SERVICES							
5297-11/15	11/20/15	01	AIRHOSE, PAINT, THINNER	1132105340		12/29/15	105.71
		02	MAILBOX	1132105340			60.10
		03	WINDOW SCRUBBER	1116105350			12.98
						INVOICE TOTAL:	178.79
						VENDOR TOTAL:	178.79
IDVIL IDVILLE							
2975882	12/03/15	01	BIZ CARD PAPER	1121005310		12/29/15	38.00
						INVOICE TOTAL:	38.00
						VENDOR TOTAL:	38.00
ITU ITU ABSORB TECH INC							
6090809	12/04/15	01	MATS, MOPS, FRAGRANCE	4055105360		12/29/15	64.43
						INVOICE TOTAL:	64.43
6500787	12/16/15	01	MATS	1122005360		12/29/15	112.87
						INVOICE TOTAL:	112.87
6500789	12/16/15	01	MATS	1116105360		12/29/15	91.01
						INVOICE TOTAL:	91.01
						VENDOR TOTAL:	268.31
JAMES JAMES IMAGING SYSTEMS INC							

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
JAMES	JAMES IMAGING SYSTEMS INC						
646419	12/16/15	01	TOSH ES3555-DEC OVERAGE	1121005531		12/29/15	84.74
						INVOICE TOTAL:	84.74
646420	12/16/15	01	TOSH ES357-DEC OVERAGE	1121005531		12/29/15	32.24
						INVOICE TOTAL:	32.24
						VENDOR TOTAL:	116.98
JAYS	JAY'S BIG ROLLS INC						
920865	12/03/15	01	TOILET PAPER	1122005350		12/29/15	87.00
						INVOICE TOTAL:	87.00
						VENDOR TOTAL:	87.00
JERRY	JERRY WILLKOMM INC						
219231	11/20/15	01	1230 GALS GAS	1132105341		12/29/15	2,557.17
						INVOICE TOTAL:	2,557.17
						VENDOR TOTAL:	2,557.17
JTSCH1	LAKE GENEVA JOINT 1 SCHOOL						
REIMB CHGBKS	12/10/15	01	REIMB CHARGEBACKS	1110005742		12/29/15	229.38
						INVOICE TOTAL:	229.38
						VENDOR TOTAL:	229.38
KAPUR	KAPUR & ASSOCIATES, INC						
86480	12/14/15	01	SURVEY-SHER SPRGS PROPERTY	1130005216		12/29/15	1,210.00
						INVOICE TOTAL:	1,210.00
86518	12/17/15	01	NOV ENG	1100001391		12/29/15	2,070.46
						INVOICE TOTAL:	2,070.46
						VENDOR TOTAL:	3,280.46
LARK	LARK UNIFORM OUTFITTERS INC						

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
LARK UNIFORM OUTFITTERS INC							
208909	11/25/15	01	UNIFORM-CREDIT DERRICK	1121005138		12/29/15	-150.00
						INVOICE TOTAL:	-150.00
209304	12/02/15	01	UNIFORM-ECKLUND	1121005138		12/29/15	488.82
						INVOICE TOTAL:	488.82
209306	12/02/15	01	UNIFORM-THORNBURGH	1121005138		12/29/15	132.93
						INVOICE TOTAL:	132.93
209308	12/02/15	01	UNIFORM-HALL	1121005138		12/29/15	179.85
						INVOICE TOTAL:	179.85
209309	12/02/15	01	UNIFORM-MOORE	1121005138		12/29/15	93.90
						INVOICE TOTAL:	93.90
209310	12/02/15	01	UNIFORM-HOLWICK	1121005138		12/29/15	44.95
						INVOICE TOTAL:	44.95
209311	12/02/15	01	UNIFORM-TIETZ	1121005138		12/29/15	125.90
						INVOICE TOTAL:	125.90
209312	12/02/15	01	UNIFORM-WAY	1121005138		12/29/15	304.85
						INVOICE TOTAL:	304.85
209317	12/02/15	01	COVERALLS-3	1121005380		12/29/15	151.10
						INVOICE TOTAL:	151.10
209329	12/02/15	01	UNIFORM-GIOVANNONI	1121005138		12/29/15	248.85
						INVOICE TOTAL:	248.85
209885	12/09/15	01	COMMENDATION BARS,BADGES	1121005139		12/29/15	532.00
						INVOICE TOTAL:	532.00
209888	12/09/15	01	BRONZE MEDAL	1121005139		12/29/15	54.00
						INVOICE TOTAL:	54.00

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
LARK LARK UNIFORM OUTFITTERS INC							
210360	12/16/15	01	UNIFORM-FROGGATT	1121005138		12/29/15	355.65
						INVOICE TOTAL:	355.65
210363	12/16/15	01	UNIFORM-WAY	1121005138		12/29/15	18.90
						INVOICE TOTAL:	18.90
						VENDOR TOTAL:	2,581.70
LARRY LARRY'S TOWING & RECOVERY							
4361	11/09/15	01	CHAIN SAW FIX-#E-1	1122005240		12/29/15	115.00
						INVOICE TOTAL:	115.00
						VENDOR TOTAL:	115.00
LGREG LAKE GENEVA REGIONAL NEWS							
527-2015	12/10/15	01	2 YR SUBSCRIPTION	9900005412		12/29/15	105.00
						INVOICE TOTAL:	105.00
						VENDOR TOTAL:	105.00
LGUTI LAKE GENEVA UTILITY COMMISSION							
TORNADO INS	12/16/15	01	UTILITY PORTION-TORNADO INS	1100004840		12/29/15	640.25
						INVOICE TOTAL:	640.25
						VENDOR TOTAL:	640.25
LLS LAKESHORES LIBRARY SYSTEM							
1655	12/15/15	01	TECH CONSULTING	9900005516		12/29/15	278.83
		02	COMPUTER ROUTER	9900005514			1,444.90
						INVOICE TOTAL:	1,723.73
						VENDOR TOTAL:	1,723.73
MONRO MONROE TRUCK EQUIPMENT							
5309040	11/27/15	01	SALTER END CAP	1132125351		12/29/15	67.82
						INVOICE TOTAL:	67.82
						VENDOR TOTAL:	67.82

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
OTIS	OTIS ELEVATOR COMPANY						
CMM04057C15	12/01/15	01	ELEV CONT JAN-NOV	1100001610		12/29/15	1,540.00
		02	ELEV CONT-DEC	4055205360			140.00
						INVOICE TOTAL:	1,680.00
						VENDOR TOTAL:	1,680.00
OTTER	OTTER SALES & SERVICE INC						
21027	11/25/15	01	STEERING GEARBOX FIX-#25	1132105250		12/29/15	1,442.14
						INVOICE TOTAL:	1,442.14
						VENDOR TOTAL:	1,442.14
PARAT	PARATECH AMBULANCE SERVICE						
23472	12/08/15	01	10 CPR CARDS	1122005610		12/29/15	70.00
						INVOICE TOTAL:	70.00
						VENDOR TOTAL:	70.00
PAUL	PAUL CONWAY SHIELDS INC						
374905	12/04/15	01	SCBA TESTS	1122005820		12/29/15	1,170.00
						INVOICE TOTAL:	1,170.00
						VENDOR TOTAL:	1,170.00
PCL	PETTY CASH - LIBRARY						
DEC 2015	12/21/15	01	WALMART-POINSETTIAS	9900005211		12/29/15	21.10
		02	USPS-UW STOUT LIB	9900005312			3.07
		03	BITTNER-S-BOARD MTG FOOD	9900005211			7.50
		04	WALMART-NAPKINS,SUGAR,PLATES	9900005350			11.81
		05	USPS-ROLLING MEADOWS LIB	9900005312			2.59
		06	WALGREENS-COOKIES	9900005211			17.94
		07	USPS-DOWNERS GROVE LIB	9900005312			2.59
						INVOICE TOTAL:	66.60
						VENDOR TOTAL:	66.60

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
PETER ANDREA PETERSON							
MILEAGE 12/01	12/01/15	01	LAC MTG-39 MILES	9900005211		12/29/15	22.43
						INVOICE TOTAL:	22.43
REIMB 12/17	12/17/15	01	CHRISTMAS CARDS,CHAIR	9900005310		12/29/15	92.82
						INVOICE TOTAL:	92.82
						VENDOR TOTAL:	115.25
PETERS JOHN PETERS							
REIMB 12/2015	12/22/15	01	DONUTS-SAFETY WORKSHOP	1129005410		12/29/15	52.74
		02	CELL ALLOW 8/1-12/31	1129005221			125.00
						INVOICE TOTAL:	177.74
						VENDOR TOTAL:	177.74
PFI PFI FASHIONS INC							
226236	12/11/15	01	EMBROIDER HATS,CAPS	1121005139		12/29/15	72.20
		02	UNIFORM-GRITZNER	1121005138			9.80
						INVOICE TOTAL:	82.00
						VENDOR TOTAL:	82.00
PHILI PHILIPS MEDICAL CAPITAL							
48126575	12/06/15	01	MONITOR,DEFIBS-DEC	1122005830		12/29/15	700.16
						INVOICE TOTAL:	700.16
						VENDOR TOTAL:	700.16
PNC PNC BANK							
0437-12/15	12/09/15	01	GODADDY-DOMAIN RENEW	1170005720		12/29/15	10.17
		02	WALMART-SHUTDOWN SUPPLIES	4234505250			29.48
		03	BIZ CRDS-HOWELL,KUPSIK,GELTING	1111005399			36.96
						INVOICE TOTAL:	76.61
1831-12/15	12/09/15	01	KALAHARI-DETKOWSKI CONFERENCE	1122005144		12/29/15	164.00

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
PNC	PNC BANK						
1831-12/15	12/09/15	02	USPS-ALARM/SPRNKLR PLANS	1122005312		12/29/15	5.92
						INVOICE TOTAL:	169.92
						VENDOR TOTAL:	246.53
RCELEC	RC ELECTRONICS						
641651	11/29/15	01	TRUCK RADIOS-2	4800005810		12/29/15	1,244.80
						INVOICE TOTAL:	1,244.80
						VENDOR TOTAL:	1,244.80
RECORD	RECORDED BOOKS LLC						
75213631	12/04/15	01	CD REPLACEMENT	9900005414		12/29/15	7.95
						INVOICE TOTAL:	7.95
75251047	12/01/15	01	CD REPLACEMENTS	9900005414		12/29/15	13.90
						INVOICE TOTAL:	13.90
75251048	12/10/15	01	CD REPLACEMENT	9900005414		12/29/15	7.95
						INVOICE TOTAL:	7.95
						VENDOR TOTAL:	29.80
RED	RED THE UNIFORM TAILOR						
W61385A	12/10/15	01	COMMENDATION BAR	1122005138		12/29/15	26.13
						INVOICE TOTAL:	26.13
						VENDOR TOTAL:	26.13
ROTE	ROTE OIL COMPANY						
307123	11/17/15	01	189.2 GALS CLEAR DIESEL	1132105341		12/29/15	408.48
						INVOICE TOTAL:	408.48
						VENDOR TOTAL:	408.48
RUNDL	RUNDLE SPENCE						

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
RUNDL	RUNDLE SPENCE						
S2424650.001	12/14/15	01	TOILET SOLENOID	1116105350		12/29/15	50.35
						INVOICE TOTAL:	50.35
						VENDOR TOTAL:	50.35
SHERW	SHERWIN-WILLIAMS COMPANY						
5671-7	12/09/15	01	OFFICE PAINT	1116105350		12/29/15	108.17
						INVOICE TOTAL:	108.17
						VENDOR TOTAL:	108.17
SHI	SHI COMPUTERS						
B04294588	12/02/15	01	CH FIREWALL	4116101502		12/29/15	1,141.75
						INVOICE TOTAL:	1,141.75
						VENDOR TOTAL:	1,141.75
SIGNA	SIGNATURE SIGNS LLC						
4790	11/23/15	01	LETTERING-SQUAD #203	1110005245		12/29/15	330.00
						INVOICE TOTAL:	330.00
						VENDOR TOTAL:	330.00
SIMPLX	SIMPLEXGRINNELL						
81932041	11/13/15	01	EXTINGUISHER TEST	1116105360		12/29/15	55.00
						INVOICE TOTAL:	55.00
						VENDOR TOTAL:	55.00
SOMAR	SOMAR TEK LLC/SOMAR ENTERPRISE						
99430	12/08/15	01	AMMO	1121005410		12/29/15	848.00
						INVOICE TOTAL:	848.00
99450	12/17/15	01	BELTS,CUFFS,LEG IRONS	1121005290		12/29/15	263.85
						INVOICE TOTAL:	263.85

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
SOMAR SOMAR TEK LLC/SOMAR ENTERPRISE							
99451	12/18/15	01	UNIFORM-ECKLUND	1121005138		12/29/15	51.94
						INVOICE TOTAL:	51.94
						VENDOR TOTAL:	1,163.79
T0001149 KAREN EDENHOFER							
REFUND	12/20/15	01	EDENHOFER-SEC DEP 12/19	4055102353		12/29/15	1,000.00
		02	EDENHOFER-SETUP,SEC GD 12/19	4055104674			-334.00
						INVOICE TOTAL:	666.00
						VENDOR TOTAL:	666.00
T0001150 SARAH PINSON							
REFUND	12/14/15	01	PINSON-SEC DEP 12/12/15	4055102353		12/29/15	1,000.00
		02	PINSON-SETUP,SEC GRDS 12/12/15	4055104674			-314.00
						INVOICE TOTAL:	686.00
						VENDOR TOTAL:	686.00
T0001151 LINCOLN A BESS							
REFUND	12/17/15	01	PAID 2X CITATION #33366	1112004510		12/29/15	25.00
						INVOICE TOTAL:	25.00
						VENDOR TOTAL:	25.00
T0001152 KATIE OLSON							
REFUND	12/11/15	01	OLSON-SEC DEP 7/2/16	4055102353		12/29/15	1,000.00
		02	OLSON-CANCEL 7/2/16	4055104674			-100.00
						INVOICE TOTAL:	900.00
						VENDOR TOTAL:	900.00
T0001153 JENNIFER HANSEL							
REFUND	12/22/15	01	REFUND TEMP OPER LICENSE	1100004411		12/29/15	10.00
						INVOICE TOTAL:	10.00
						VENDOR TOTAL:	10.00

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
TACTI	TACTICAL MEDICAL SOLUTIONS INC						
45885	11/30/15	01	TOURNIQUETS,BANDAGES,GAUZE	1129005735		12/29/15	363.08
						INVOICE TOTAL:	363.08
						VENDOR TOTAL:	363.08
TIMBER	TIMBERLINE SIGN CO INC						
4388	12/10/15	01	OAK HILL SIGN CHANGE	1170005720		12/29/15	62.00
						INVOICE TOTAL:	62.00
						VENDOR TOTAL:	62.00
TIME	TIME WARNER CABLE						
10404710897601-12/15	12/12/15	01	INTERNET SVC-DEC	1121005221		12/29/15	209.99
						INVOICE TOTAL:	209.99
						VENDOR TOTAL:	209.99
TJS	TJ'S PLUMBING						
1039	12/17/15	01	CROSS CONNECTION TEST	1116105360		12/29/15	100.00
						INVOICE TOTAL:	100.00
						VENDOR TOTAL:	100.00
TRITE	TRITECH FORENSICS INC						
126456	12/15/15	01	LUMAVISION KIT,SECURITY SEALS	1121005380		12/29/15	186.61
						INVOICE TOTAL:	186.61
126475	12/15/15	01	EVIDENCE BAGS,SYRINGE TUBES	1121005380		12/29/15	368.31
						INVOICE TOTAL:	368.31
						VENDOR TOTAL:	554.92
TROM	TROMCOM						
22872	11/27/15	01	COMM EQUIP-SQUAD #203	1110005245		12/29/15	1,799.60
						INVOICE TOTAL:	1,799.60
						VENDOR TOTAL:	1,799.60

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
TSC	TRACTOR SUPPLY CREDIT PLAN						
100359609	10/28/15	01	WASHER PARTS	1152015350		12/29/15	139.99
						INVOICE TOTAL:	139.99
						VENDOR TOTAL:	139.99
ULINE	ULINE						
72884462	12/08/15	01	PKG MATERIAL-EVIDENCE	1121005380		12/29/15	514.49
						INVOICE TOTAL:	514.49
						VENDOR TOTAL:	514.49
USBANK	US BANK						
3341-12/15	12/11/15	01	WALMART-HEADPHONES,TV MOUNT	1121005380		12/29/15	68.46
		02	BEST BUY-TV-VIDEO ROOM	1121005380			194.98
		03	RAINIER ARMS-MAG GRIPS	1121005410			352.20
		04	BROWNELLS-MAGS	1121005410			312.04
		05	CHIPOTLE-GRITZNER TRNG	1121005331			13.08
		06	HOME DEPOT-BOARDS,PAINT	1116105350			334.07
		07	HOME DEPOT-BOARDS,SCREWS	1116105350			96.58
		08	FBI LEEDA-MEMBER DUES	1121005410			50.00
		09	HOME DEPOT-MOULDING	1116105350			41.40
		10	WALMART-UNIFORM CONTAINERS	1121005139			15.78
		11	APCO-MEMBERSHIP	1100001610			92.00
		12	LAWMENS SUPPLY-GUNS	1121005410			1,147.25
						INVOICE TOTAL:	2,717.84
						VENDOR TOTAL:	2,717.84
VANS	VANS ROOFING INC						
8537	12/07/15	01	RE-ROOF STATION	4122001422		12/29/15	13,625.00
						INVOICE TOTAL:	13,625.00
						VENDOR TOTAL:	13,625.00
VON	VON BRIESEN & ROPER SC						

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
VON	VON BRIESEN & ROPER SC						
10156	10/12/15	01	SEPT LEGAL FEES	1113105214		12/29/15	967.50
						INVOICE TOTAL:	967.50
10227	11/12/15	01	OCT LEGAL FEES	1113105214		12/29/15	752.50
						INVOICE TOTAL:	752.50
10269	12/15/15	01	ATTY CONFLICT	1113105214		12/29/15	967.50
						INVOICE TOTAL:	967.50
9879	04/16/15	01	ATTY CONFLICT	1113105214		12/29/15	215.00
						INVOICE TOTAL:	215.00
						VENDOR TOTAL:	2,902.50
WALCOT	WALWORTH COUNTY TREASURER						
REIMB CHGBK	12/10/15	01	REIMB CHARGEBACKS	1110005742		12/29/15	137.01
						INVOICE TOTAL:	137.01
ZMEA00053	12/10/15	01	2014 RE TAX-MEADOWLANDS	1110005741		12/29/15	50.50
						INVOICE TOTAL:	50.50
						VENDOR TOTAL:	187.51
WALMA	WALMART COMMUNITY						
6368-12/15	12/16/15	01	TARPS	1129005410		12/29/15	49.94
		02	WATER, COFFEE, CREAMER	1129005410			25.36
						INVOICE TOTAL:	75.30
						VENDOR TOTAL:	75.30
WASWOS	SABRINA WASWO						
MILEAGE 12/7/15	12/07/15	01	ELEC TRG-42.5 MILES	1114305330		12/29/15	24.44
						INVOICE TOTAL:	24.44
						VENDOR TOTAL:	24.44

INVOICES DUE ON/BEFORE 12/29/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
WCTC	WAUKESHA CNTY TECH COLLEGE						
S0608438	12/22/15	01	TRAINING-RICHARDSON	1121005410		12/29/15	150.00
						INVOICE TOTAL:	150.00
						VENDOR TOTAL:	150.00
WELDE	WELDERS SUPPLY CO						
366843	12/10/15	01	YRLY TANK RENTAL	1132105340		12/29/15	45.00
						INVOICE TOTAL:	45.00
						VENDOR TOTAL:	45.00
WOLLA	JOANNE BUSCH						
MILEAGE 12/16	12/16/15	01	73 MILES-CARROLL UNIV MTG	9900005211		12/29/15	41.98
						INVOICE TOTAL:	41.98
REIMB 12/14	12/14/15	01	OFFICE MAX-3 CHAIRS	9900005310		12/29/15	258.45
						INVOICE TOTAL:	258.45
						VENDOR TOTAL:	300.43
						TOTAL ALL INVOICES:	86,061.33

**City of Lake Geneva  
Treasurer's Report as of JULY 31, 2015**

Walworth State Bank	Type	Cash Activity			Cash Balances	
		Expenditures	Receipts	Transfers	Jun-15	Jul-15
City Expenses & Collections	General Checking	889,919.15	772,434.33	1,000,000.00		
City Net Payroll	General Checking	539,461.25				
City Health Claims	General Checking	207,030.15				
<b>General Checking</b>	<b>TOTALS</b>	<b>1,636,410.55</b>	<b>772,434.33</b>	<b>1,000,000.00</b>	<b>335,608.90</b>	<b>471,632.68</b>

Other Banks	Type	Cash Activity			Cash Balances	
		Expenditures	Receipts	Transfers	Jun-15	Jul-15
BMO Harris Bank	TID #4 Certificates of Deposit				607,121.30	607,121.30
Community Bank of Delavan	TID #4 Certificate of Deposit		38.34		613,342.80	613,381.14
Community Bank of Delavan	TID #4 CDARS				-	-
Community Bank of Delavan	TID #4 Money Market		0.34		2,634.95	2,635.29
US Bank	Tax Collection	2,922.85	4,012.75		4,075.89	5,165.79
Peoples Bank	TID #4 Certificate of Deposit				65,000.00	65,000.00
Associated Bank	TID #4 Certificates of Deposit				614,958.81	614,958.81
Walworth State Bank	Police Seizure Account				3,709.59	3,709.59
<b>Other Banks</b>	<b>TOTALS</b>	<b>2,922.85</b>	<b>4,051.43</b>	<b>-</b>	<b>1,910,843.34</b>	<b>1,911,971.92</b>

Local Govt Investment Pool	Type	Cash Activity			Cash Balances	
		Expenditures	Receipts	Transfers	Jun-15	Jul-15
LGIP Acct #1	General		223,321.08	(600,000.00)	4,736,251.77	4,359,572.85
LGIP Acct #4	Treasurer		15.33		134,351.73	134,367.06
LGIP Acct #5	Impact Fees-Park		6.23		54,558.07	54,564.30
LGIP Acct #6	Impact Fees-Fire		1.50		13,119.85	13,121.35
LGIP Acct #7	TID #4		806.20		7,063,423.64	7,064,229.84
LGIP Acct #8	Capital Projects		2.30		20,183.59	20,185.89
LGIP Acct #9	Public Library		10.61		92,998.62	93,009.23
LGIP Acct #10	Impact Fees-Library		21.03		184,279.81	184,300.84
LGIP Acct #11	Capital Projects-2014		255.13	(400,000.00)	2,467,587.09	2,067,842.22
<b>Local Gov't Investment Pool</b>	<b>TOTALS</b>	<b>-</b>	<b>224,439.41</b>	<b>(1,000,000.00)</b>	<b>14,766,754.17</b>	<b>13,991,193.58</b>

**GRAND TOTAL ALL BANKS**

<b>1,639,333.40</b>	<b>1,000,925.17</b>	<b>-</b>	<b>17,013,206.41</b>	<b>16,374,798.18</b>
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*Laura Sporn*

Attest: