

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING
MONDAY FEBRUARY 18, 2019 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Agenda

1. Meeting called to order by Tom Hartz.
2. Roll Call.
3. Approve Minutes of the January 21, 2019 Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review:
 - a. Application by Kathy George, 3389 South Shore Dr, Delavan, WI 53115, for the request to install a sign to an already approved awning to the exterior of the property, located at 741 W. Main St., in the Business Central (BC) zoning district, Tax Key No. ZOP00272.
 - b. Application by Angie Rinn, 3641 Berry Ct, Crystal Lake, IL, 60012 for the request to install an on building sign to the exterior of the property, located at 239 Cook St., in the Business Central (BC) zoning district, Tax Key No. ZOP0253.
7. Review and Recommendation of an Extraterritorial Jurisdiction (ETJ) CSM for Applicant John & Jelka Leedle, N891 Hwy 120, Lake Geneva, WI 53147, for the Joseph Leedle N879 State Road 120, Lake Geneva, WI 53147 property for the separation of farm structures from the farmland as identified on the certified survey dated 12/27/2018 located in the Town of Linn. Tax Key No. IL2600001.
8. Review and Recommendation of an Extraterritorial Jurisdiction (ETJ) CSM for Applicant Purnell Enterprise LLC., N1886 Hwy 120, Lake Geneva, WI 53147, for the lot line adjustment to include the approximate 10' strip of land that is currently enclosed by a fence as identified on the certified survey dated July 27, 2018 Tax Key No. MA403300001.
9. Review and Recommendation of a Land Division filed by Anagnos Properties, Inc., P.O. Box 1117, Lake Geneva, WI 53147, to create a 3 lot Certified Survey Map (CSM) for the property located at 811 Wrigley Dr. to generate three individual lots for the property in the Central Business (CB) zoning district, Tax Key No. ZOP00341-ZOP00345.

10. Public Hearing and Recommendation on an application for the Precise Implementation Plan (PIP) filed by Daniel E. Schuld, 281 Yerkes Ave, Hampshire, IL 60140, requesting the change of use for the building at 727 Geneva St, for a Brewery, Tap Room, & Gift Shop, and renovations to the existing exterior deck and patio, located in the Planned Development (PD) zoning district, Tax Key No. ZOP00157.
11. Public Hearing and Recommendation on an application for a Conditional Use Permit filed by Tom Koenig, 5802 Arlington Dr., Palatine, IL 60067, for the property located at 715 LaGrange Dr. to utilize the Single Family – 4 (SR-4) zoning in the Estate Residential – 1 (ER-1) zoning, to raze and rebuild a new Single Family Residence. Tax Key No. ZLE00016.
12. Public Hearing and Recommendation on an application for the Precise Implementation Plan (PIP) filed by McMurr II, LLC, 351 Hubbard, Suite 610, Chicago, IL. 60654, requesting a Planned Development for the property located on Lake Geneva Blvd. in the Summerhaven Condominium Subdivision to allow for the Precise Implementation Plan to continue the development of Phase II, located in Planned Development (PD) zoning district, Tax Key Nos. ZSUM00001 thru ZSUM0000247.
13. Continuation of the Public Hearing and Recommendation on an application for the General Development Plan (GDP) filed by Omega Homes, 201 O’Connor Dr. Suite 101, Elkhorn, WI 53121, requesting a Planned Development of 58 Single Family Homes at the property on LaSalle Street, also known as the Vistas of Lake Geneva (formerly Regent Hills subdivision), located in the Multi-Family – 8 (MR-8) zoning district, Tax Key No. ZA424700001.
14. Continuation of the Public Hearing and Recommendation on an application for the Conditional Use Permit (CUP) filed by House Around the Corner LLC., 3389 South Shore Dr., Delavan, WI 53115, requesting a (CUP) to Raze or Remove the existing building located at 832 Geneva Street, Lake Geneva, WI 53147, located in Central Business (CB) zoning district, Tax Key No. ZOP00252.
15. Continuation of the Public Hearing and Recommendation on an application for the General Development Plan (GDP) filed by House Around the Corner LLC., 3389 South Shore Dr., Delavan, WI 53115, requesting a Planned Development to construct a 5600 square foot commercial building at 832 Geneva Street, Lake Geneva, WI 53147, located in Central Business (CB) zoning district, Tax Key No. ZOP00252.
16. Adjournment.

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

Posted 2/13/2019

**PLAN COMMISSION MEETING
MONDAY, JANUARY 21, 2019 – 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Mayor Hartz called the meeting to order at 6:00 p.m.

Roll Call. Present: Mayor Hartz, Alderman Doug Skates, Sarah Hill, Ted Horne, Ann Esarco, Michael Krajovic. Absent (Excused) John Gibbs. Also Present: City Planner Slavney, City Attorney Draper, Building and Zoning Administrator Walling, Building & Zoning Administrative Assistant Follensbee

Approve Minutes of the December 17th Plan Commission meeting as distributed.
Krajovic/Horne motion to approve. Motion carried unanimously.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.

Acknowledgement of Correspondence.

Correspondence was received from Alex Paredes, 330 Center Street, in favor of moving the building from 832 Geneva Street to 333 Center Street. Correspondence was received from Richard Steinberg, 1032 Williams Street, opposing the moving of the building from 832 Geneva Street to 333 Center Street and opposing the construction of a modern building in its place. Correspondence was also received from Charlene Klein, 817 Wisconsin Street, opposing the razing of the building at 832 Geneva Street and opposing the construction of a modern building at this same location. All correspondence has been distributed to the Plan Commission and the City Council.

Downtown Design Review

Application by 737 W. Main Street LLP, for the request to install an on building sign and a revised awning to the exterior of the property, located at 737 W. Main St., in the Business Central (BC) zoning district, Tax Key No. ZOP00273.

Tom Bachmann, 1856 Norman Blvd, Park Ridge, IL 60068, applicant, presented the request. Mayor Hartz asked about the possibility of a projecting sign placed under the awning identifying the store type. A discussion followed. Commissioner Hill stated there are existing projecting signs and this concept may be a possible direction the city is open to as a global, aesthetic perspective for the Downtown.

Esarco/Skates motion to approve the on building sign and revised awning and include all staff recommendations.
Roll Call: Hartz, Skates, Hill, Horne, Esarco, Krajovic “yes.” Motion carried unanimously.

Application by 725 W. Main Street LLP, for the request to install an on awning sign and a revised awning to the exterior of the property, located at 725 W. Main St., in the Business Central (BC) zoning district, Tax Key No. ZOP0276.

Tom Bachmann, 1856 Norman Blvd, Park Ridge, IL 60068, applicant, presented the request. Bachmann stated they have taken over the lease for this location. Bachmann asked for the flexibility of the positive and negative points of the name to be allowed to 2 inches beyond the 8 inches rule.

Hill/Horne motion to approve the on building sign and revised awning and include all staff recommendations.
Roll Call: Hartz, Skates, Hill, Horne, Esarco, Krajovic “yes.” Motion carried unanimously.

Public Hearing and Recommendation of a General Development Plan (GDP) filed by Terence Pisano, 201 Broad St., Lake Geneva, WI 53147, for the property located at 333 Center St. The applicant is requesting to relocate the existing building currently located at 832 Geneva St. and to utilize exceptions to the site setbacks and site zoning restrictions. The property is located in the Neighborhood Office (NO) zoning district, Tax Key No. ZOP00139.

Chris Pisano, representing Terence Pisano, presented the request. Planner Slavney said the GDP submittal is complete. Hill asked about the “high level steps” for this project, who will oversee the project and the timeline. Pisano stated there are many steps in the process, including components such as the weather, contingent on conditions, economic elements, and permits through the city. A discussion followed. Terence Pisano clarified his responsibilities with the timeline. Chris Pisano explained the process of the prep work involved and the transport of the building in this project. Hartz summarized the five exceptions requested in the GDP application and stated the issues discussed will be addressed in the Developers Agreement.

Speaker #1: Trish Schaefer, 403 Center Street, in favor of moving the building to the 333 Center Street location.

Krajovic/Horne motion to close the Public Hearing. Motion carried unanimously.

Hartz/Hill motion to approve the GDP to relocate the current building at 832 Geneva Street to 333 Center Street, utilize exceptions to site setbacks and site zoning restrictions and include all staff recommendations and fact finding in the affirmative.

Roll Call: Hartz, Skates, Hill, Horne, Esarco, Krajovic “yes.” Motion carried unanimously.

Public Hearing and Recommendation of a Precise Implementation Plan (PIP) filed by Terence Pisano, 201 Broad St., Lake Geneva, WI 53147, for the property located at 333 Center St. The applicant is requesting to relocate the existing building currently located at 832 Geneva St. and to utilize exceptions to the site setbacks and site zoning restrictions. The property is located in the Neighborhood Office (NO) zoning district, Tax Key No. ZOP00139.

Chris Pisano, representing Terence Pisano, asked for any questions regarding the PIP application. Hartz asked if sign approval is part of the PIP. Pisano verified yes. Zoning Administrator Walling stated the request meets the sign standards of the City and said Utility Director Gajewski has reviewed the application with no further input. Hartz asked about the trees in the parkway. Pisano said the trees will be removed and replaced. Hartz clarified the Developers Agreement for this project will need Council approval. Hill asked about the timing of the Developers Agreement and the next Council meeting. Attorney Draper said there will be 2 Developers Agreements because it is a unique situation, stating this project application would be subject to an acceptable Developers Agreement.

Skates/Horne motion to close the Public Hearing. Motion carried unanimously.

Esarco/Hill motion to approve the PIP to relocate the current building at 832 Geneva Street to 333 Center Street, utilize exceptions to site setbacks and site zoning restrictions and include all staff recommendations and fact finding in the affirmative.

Roll Call: Hartz, Skates, Hill, Horne, Esarco, Krajovic “yes.” Motion carried unanimously.

Commissioner Hill left Council Chambers 6:59 pm

Commissioner Hill returned 7:01 pm

Public Hearing and Recommendation on an application for the Precise Implementation Plan (PIP) filed by Daniel E. Schuld, 281 Yerkes Ave, Hampshire, IL 60140, requesting the change of use for the building at 727 Geneva St, for a Brewery, Tap Room, & Gift Shop, to include a building addition, and renovations to the existing exterior deck and patio, located in the Planned Development (PD) zoning district, Tax Key No. ZOP00157.

Ken Etten, representing the owner, Dan Schuld, presented the request. Etten stated one change from the GDP was the sign which will no longer include a grain bin but instead a monument sign. Other changes since the GDP: the existing garage would stay there with no future rebuild, and a seasonal food cart near the beer garden. As stated in the GDP application, the owner would like to have outside acoustical musical entertainment. Etten explained the

signage and exterior finish of the building. Dan Schuld, 1776 Prestwick Drive, Inverness, IL 60067, said he would like to create a family entertainment type of brewery, with hours of 3-9pm or later on weekends, with the possibility of renting out space for weddings, etc. Commissioner Krajovic asked if they would serve food. Schuld said there would be no commercial kitchen but maybe food packages. The food cart would have to be licensed by someone else. Alderman Skates asked about the outdoor food trailer, landscaping plan, garage, cleaning solutions used and how it affects the sewer system. Skates suggested the PIP application was not complete. Slavney agrees the PIP submittal is incomplete and asked to continue this application to the next month. Slavney encouraged the commissioners to give feedback to better prepare the applicant for the meeting next month. Walling asked for general locations and dimensions of sign would be beneficial to the application. Commissioner Esarco shared concerns for food cart. Hill recognized the revised memo dated after the deadline and stated the staff hasn't had time to review the changes. Hill was surprised there is no food offered inside but an outdoor seasonal food trailer was suggested. Hill shared her concerns with the food trailer and also felt the PIP application was not complete. Hartz reiterated missing items needed for next month: landscape plan, complete food trailer explanation, utility director needs sewage explanation, operation plan – business hours for the brewery - (Hartz suggested asking for more hours than needed) and state the garage would remain. The new paperwork for the PIP application would be due by January 31st.

Esarco/Skates motion to continue the Public Hearing to the next Plan Commission meeting. Motion carried unanimously.

Public Hearing and Recommendation on an application to amend the existing Precise Implementation Plan (PIP) filed by Oakfire Properties LLC, for the Oakfire Restaurant, requesting to change the second floor deck area to install a roof structure and roll up temporary windows, located in the Central Business (CB) zoning district at 831 Wrigley Dr., Tax Key No. ZOP00340.

David Scotney, owner of Oakfire, 831 Wrigley Drive, presented his request. Skates asked about the pitch and snow loads. Scotney said the snow loads are above what is required in terms of the weight it can carry.

Hill/Skates motion to close the Public Hearing. Motion carried unanimously.

Hill/ Esarco motion to approve an amendment to the PIP to change the second floor deck area with a roof structure and roll up temporary windows and include all staff recommendations and fact finding in the affirmative.

Roll Call: Hartz, Skates, Hill, Horne, Esarco, Krajovic “yes.” Motion carried unanimously.

Continuation of the Public Hearing and Recommendation on an application for the General Development Plan (GDP) filed by Omega Homes, 201 O'Connor Dr. Suite 101, Elkhorn, WI 53121, requesting a Planned Development of 58 Single Family Homes at the property on LaSalle Street, also known as the Vistas of Lake Geneva (formerly Regent Hills subdivision), located in the Multi-Family – 8 (MR-8) zoning district, Tax Key No. ZA424700001.

Applicant has requested to continue the Public Hearing.

Hartz/Skates motion to continue the Public Hearing to the next Plan Commission meeting. Motion carried unanimously.

Continuation of the Public Hearing and Recommendation on an application for the Conditional Use Permit (CUP) filed by House Around the Corner LLC., 3389 South Shore Dr., Delavan, WI 53115, requesting a (CUP) to Raze or Remove the existing building located at 832 Geneva Street, Lake Geneva, WI 53147, located in Central Business (CB) zoning district, Tax Key No. ZOP00252.

Applicant has requested to continue the Public Hearing.

Hartz/Skates motion to continue the Public Hearing to the next Plan Commission meeting. Motion carried unanimously.

Continuation of the Public Hearing and Recommendation on an application for the General Development Plan (GDP) filed by House Around the Corner LLC., 3389 South Shore Dr., Delavan, WI 53115, requesting a Planned Development to construct a 5600 square foot commercial building at 832 Geneva Street, Lake Geneva, WI 53147, located in Central Business (CB) zoning district, Tax Key No. ZOP00252.

Applicant has requested to continue the Public Hearing.

Hartz/Skates motion to continue the Public Hearing to the next Plan Commission meeting. Motion carried unanimously.

Adjournment. Esarco/Skates motion to adjourn at 7:36 p.m. Motion carried unanimously.

/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: February 18, 2019

Agenda Item #6a

Applicant:

Kathy George
3389 South Shore Drive
Delavan, WI 53115

Request:

741 W. Main Street
Downtown Design Review for Sign & Awning
Installation
Tax Key No. ZOP00272

Description:

The applicant is submitting an application for Downtown Design Review for the request to install a Sign on the previously approved Awning to the exterior of the building above the public right of way at 741 W. Main Street Tax Key No. ZOP00272.

The City reviews all exterior alteration in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

Proposed colors correspond within the permitted downtown guidelines.

Staff Recommendations:

- Staff recommends discussion on the rehabilitation of the front façade which was not identified in this request but needs attention and can be seen in the photo and behind the proposed awning.

The colors submitted have been reviewed and comply with the Historic Colors of the historic color palette.

Staff recommends *approval* of the Awning installation request as submitted with the discussion on the front façade rehabilitation approval.



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

741 W. Main Street # 20P00272
Lake Geneva WI 53147

Name & Address of Current Building Owner:

Roger Wolff
75P Geneva Pkwy
LG WI 53147

Telephone Number of Current Building Owner: 262-903-3222

Email Address: Roger@RogerWolff.com

Name & Address of Applicant:

Kathy George
3389 South Shore Dr.
Delavan WI 53115

Telephone Number of Applicant: 805-886-5263

Email Address: Kathy@EStreetAlenim.com

Proposed Design Change:

Add logo to previously approved awning design.

Zoning District: CB

Names & Address of Architect, Engineer, and/or Contractor of Project:

Northrop Awning Company
411 S. Pearl Street
Janesville WI 53548

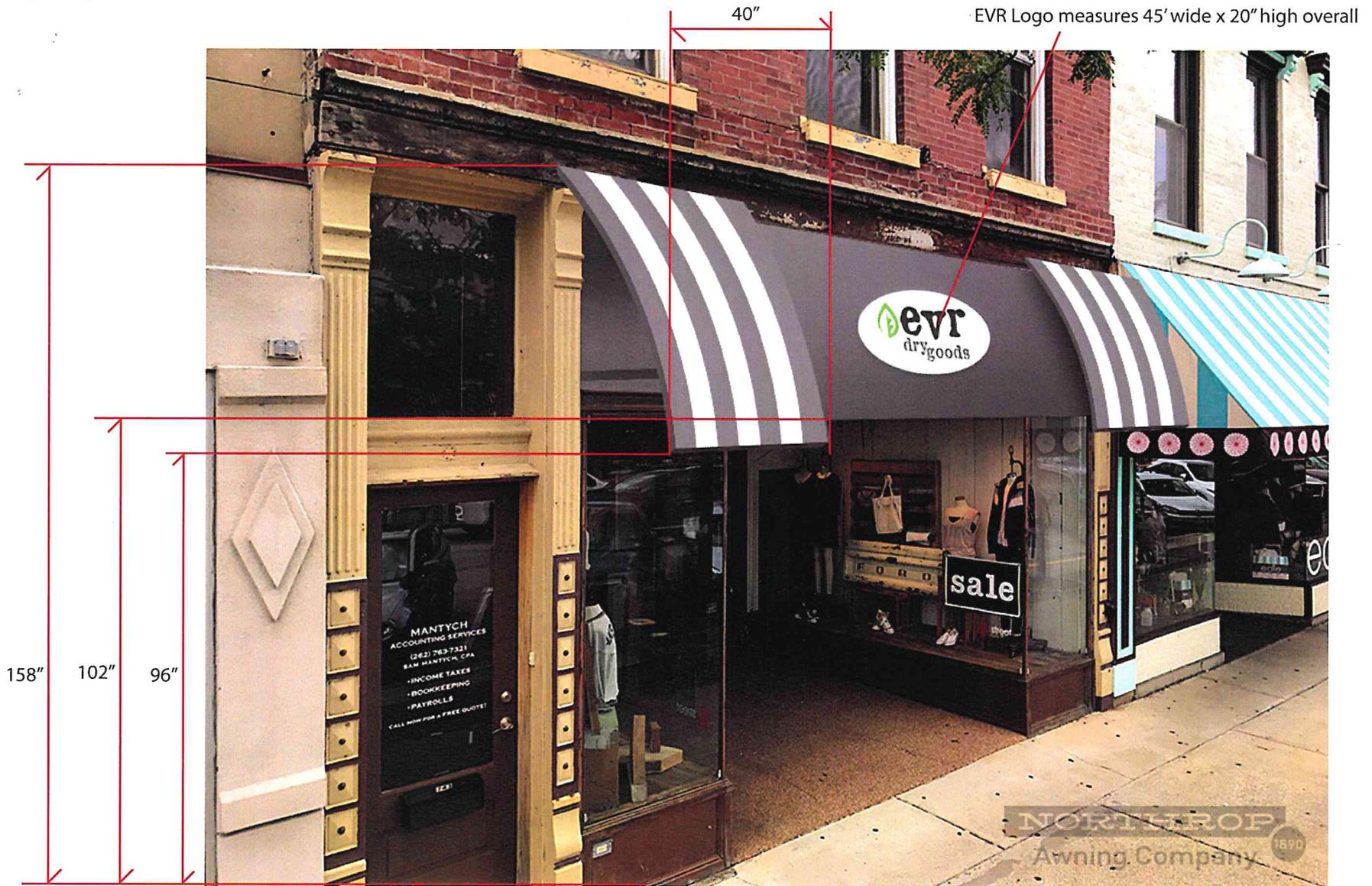
Description of Project:

Add logo to previously approved awning design.

Date: 2-5-19

Signature of Applicant:

Judy Beachant for
Kathy George



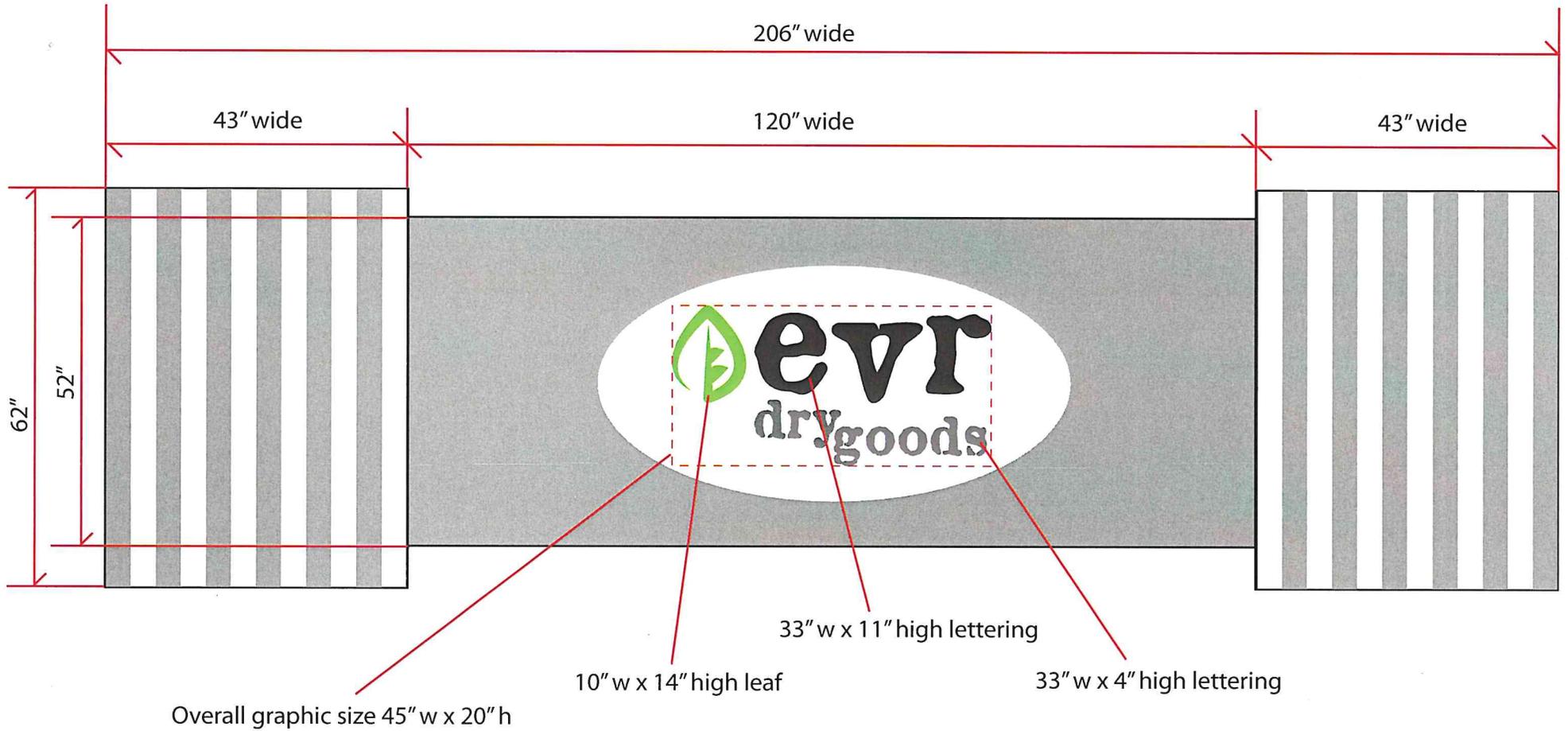
Customer EVR Dry Goods

Location Lake Geneva, WI

Project Awning Graphics

Date 2-5-19

NORTHROP
Awning Company 1890
 411 South Pearl Street, Janesville, Wisconsin
 608.754.7158 (fax) 608.754.7890



Customer EVR Dry Goods

Location Lake Geneva, WI

Project Awning Graphics

Date 2-5-19

NORTHROP

Awning Company 1890

411 South Pearl Street, Janesville, Wisconsin
608.754.7158 (fax) 608.754.7890

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: February 18, 2019

Agenda Item #6b

Applicant:

Angie Rinn
3611 Berry Ct
Crystal Lake, IL 60012

Request:

239 Cook Street
Downtown Design Review for Sign installation
Tax Key No. ZOP00253

Description:

The applicant is submitting an application for Downtown Design Review for the request to install a Sign on the building above the public right of way at 741 W. Main Street Tax Key No. ZOP00253.

The City reviews all exterior alteration in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

Proposed colors correspond within the permitted downtown guidelines.

Staff Recommendations:

The colors submitted have been reviewed and comply with the Historic Colors of the historic color palette.

Staff recommends *approval* of the Awning installation request as submitted.



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

239 COOK ST. UNIT #2
LAKE GENEVA WI 53147

Name & Address of Current Building Owner:

LAKE GENEVA RETAIL DIST
7901 MUTTERFIELD RD.
DAN BROWN, IL 60523

Telephone Number of Current Building Owner: (630) 216-8000

Email Address:

Name & Address of Applicant:

ANGIE PINN
3011 BERRY CT.
CRISTAL LAKE, IL 60012

Telephone Number of Applicant: (815) 575-2523

Email Address: ring.angie@jmmi.com

Proposed Design Change:

ADDING NEW EXTERIOR SIGNAGE.

Zoning District:

Names & Address of Architect, Engineer, and/or Contractor of Project:

THE WOODEN SIGN COMPANY
14233 COUNTY RD E6
EARTHAN, WI 53121

Description of Project:

installing dimensional wood sign for new retail space at 239 cook st.
unit #2.

Date: 2/1/19

Signature of Applicant:

EXISTING EXTERIOR: 239 COOK ST. UNIT #2



13
16



1 RECESSED MEDEX PANEL

2 DIMENSIONAL WOOD FRAME

3 CNC CUT CHARACTERS SURFACE MOUNTED



The Wooden Sign Company
www.woodensignco.com

W4333 COUNTY RD ES
ELKHORN, WI 53121
tim@woodensignco.com
269-649-5157

Material Specifications

- 1 RECESSED MEDEX PANEL
- 2 DIMENSIONAL WOOD FRAME CEDAR
- 3 CNC CUT CHARACTERS MEDEX @ .75" MATERIAL THICKNESS

Color Specifications

- A PANEL- BM DECORATOR WHITE LOW LUSTRE FINISH
- B FRAME- BM DECORATOR WHITE SOFT GLOSS FINISH
- C CHARACTERS - BM BLACK SOFT GLOSS FINISH



Designer: Tim Janda
Details:

Job# SUMMER MADE_FACADE SIGN
Client: ANGIE RINN

Product/Part# NA
Client Approval:

Drawing# SUMMER MADE_FACADE_01 Type: Prop.
Date: 02/01/2019

P1

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: February 18, 2019

Agenda Item: 7

Applicant:

John & Jelka Leedle
N891 State Road 120
Lake Geneva, WI 53147

Request: ETZ Town of Lynn CSM

Extraterritorial Zoning Plat review for the
separation of farm structures from farmland
Tax Key No. IL2600001

Description:

This request is to approve an Extraterritorial Zoning Plat review for the separation of farm structures from farmland Tax Key No. IL2600001 located in the Town of Linn.

This request is to approve the proposed Certified Survey Map dated 12/27/2018 for the property located at N891 State Road 120 for a 4.904 acre land separation to include the farm buildings from the primary property located adjacent to this request.

The parcel included in this request does not currently have any buildings on the property.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Extraterritorial Zoning request (ETZ)

As part of the consideration of the requested ETZ, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed ETZ review.

Staff Recommendation on the proposed

1. Staff recommends that the Plan Commission recommend *approval* of the Extraterritorial Zoning request (ETZ): as submitted, subject to approval Walworth County Land Use Zoning.

To: Brenda Follensbee, Building & Zoning Clerk **Date:** February 12, 2019

From: Gary R. Splinter, P.L.S.

CC: Fred Walling - Zoning Administrator
William Vanderstappen – Vanderstappen Land Surveying, Inc.
Greg Governatori - Kapur & Associates, Inc.

Subject: **Extraterritorial Review of Certified Survey Map for Joseph and Jelka Leedle N879 State Road 120 in the Town of Bloomfield**

We have completed a review of a Certified Survey Map prepared by William Vanderstappen of Vanderstappen Land Surveying, Inc. Our review was conducted to determine compliance with Chapter 236 of the Wisconsin State Statutes, Chapter 66 of the City of Lake Geneva Municipal Code and good surveying practices. The Certified Survey Map dated December 27, 2018 was reviewed.

Comments for the Certified Survey Map:

- As per 66-36(1) & 66-15 Please revise the “Town Approval” to the “City of Lake Geneva Extraterritorial Approval” certificate, list the “Planning Commission” as the approver and remove the Chairman and Treasure signature lines with the Mayor and City Clerk.
- As per 236.34 (1m)(c) Please list at the top of each sheet the location of the land by government lot, recorded private claim, quarter-quarter section, section, township, range and county noted.

We recommend approval of the Certified Survey Map, if the above comments are addressed. Although the material has been reviewed, the surveyor is ultimately responsible for the thoroughness and accuracy of the Certified Survey Map with state statutes and municipal city code.

Please contact me if you have any questions pertaining to this project.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP or

SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Joseph Leedle

N879 ~~N891~~ State Road 120

Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER:

(262) 749.0969

EMAIL ADDRESS:

jelka.leedle@yahoo.com

PROJECT ADDRESS _____

TAX KEY NUMBER: _____

NAME AND ADDRESS OF APPLICANT:

John + Jelka Leedle

N891 State Road 120

Lake Geneva, WI. 53147

TELEPHONE NUMBER OF APPLICANT:

(608) 322.6564

EMAIL ADDRESS:

jelka.leedle@yahoo.com

NAME AND ADDRESS OF SURVEYOR:

William J. Vanderstappen

1316 N. Madison St. Woodstock IL. 60098

TELEPHONE NUMBER OF SURVEYOR:

(815) 337.8310

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Separation of Farm structures from
Farm land.

SUBMITTAL CHECKLIST

_____ LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.

_____ SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.

_____ CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.

_____ PROVIDE 5 FULL SETS AND 20 - 11" X 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.

_____ PROVIDE AN ELECTRONIC COPY OF THE FULL APPLICATION PACKET TO THE LAKE GENEVA BUILDING AND ZONING DEPARTMENT AT BZADMIN@CITYOFLAKEGENEVA.COM OR BZCLERK@CITYOFLAKEGENEVA.COM

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

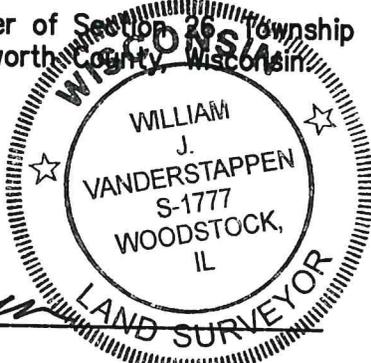
2.5.19
DATE


SIGNATURE OF APPLICANT

CERTIFIED SURVEY

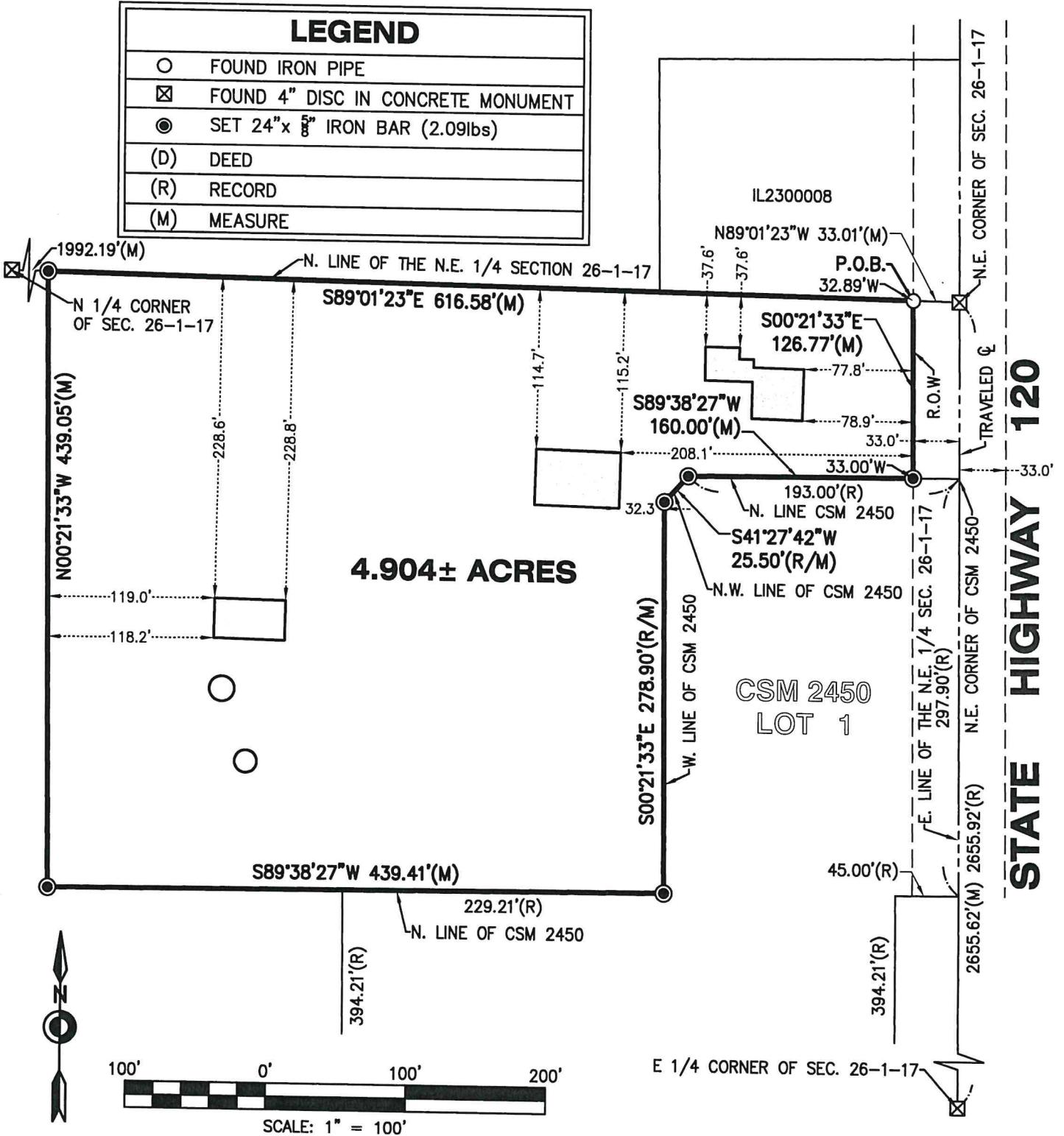
MAP NO. _____

Located in the Northeast Quarter of Section 26, Township 1 North, Range 17 East, in Walworth County, Wisconsin



William J. Vanderstappen
 William J. Vanderstappen
 Wisconsin Registered Land Surveyor, No. S-1777

LEGEND	
○	FOUND IRON PIPE
⊠	FOUND 4" DISC IN CONCRETE MONUMENT
●	SET 24"x 5/8" IRON BAR (2.09lbs)
(D)	DEED
(R)	RECORD
(M)	MEASURE



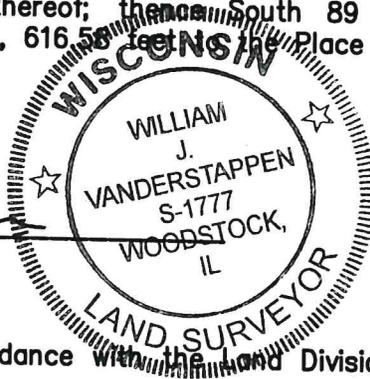
CERTIFIED SURVEY
MAP NO. _____

SURVEYOR'S CERTIFICATE

I, William J. Vanderstappen, Registered Land Surveyor, hereby certify that in full compliance with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision Control Ordinance, Walworth County, Wisconsin, and under the direction of John Leedle, owner of said land, I have surveyed and mapped this certified survey, that such plat represents all exterior boundaries and the division of the land surveyed, and that this land is located within the Northeast Quarter of Section 26, in Township 1 North, Range 17 East, in Walworth County described as follows:

Part of the Northeast Quarter of Section 26, Township 1 North, Range 17 East of the Fourth Principle Meridian, being described as follows: Commencing at the Northeast corner of said Northeast Quarter; thence North 89 degrees 01 minutes 23 seconds West along the North line thereof, 33.01 feet to the West right of way of Highway 120, also being the Place of Beginning; thence South 00 degrees 21 minutes 33 seconds East along the West line thereof, 126.77 feet to the North line of Lot 1 in Certified Survey Map No. 2450 as recorded in Volume 12 of Certified Surveys on page 120 as Document No. 285803; thence South 89 degrees 38 minutes 27 seconds West along the North line thereof, 160.00 feet; thence South 41 degrees 27 minutes 42 seconds West along the Northwestern line thereof, 25.50 feet; thence South 00 degrees 21 minutes 33 seconds East along the West line thereof, 278.90 feet to the North line thereof; thence South 89 degrees 38 minutes 27 seconds West along said Northerly line extended Westerly, 439.41 feet; thence North 00 degrees 21 minutes 33 seconds West parallel with the East line of said Northeast Quarter of Section 26, a distance of 439.05 feet to the North line thereof; thence South 89 degrees 01 minutes 23 seconds East along said North line, 616.50 feet to the Place of Beginning, in Walworth County, Wisconsin.


William J. Vanderstappen, S-1777
Wisconsin Registered Land Surveyor



This survey and map are in accordance with the Land Division Ordinance of Walworth County.

This is a Separation of Farm Structures from Farmland. The Grantor hereby covenants and agrees that the placement of any structures on the parcel of land remaining after the Separation of Farm Structures from Farmland will require conditional approval from the Walworth County Zoning Agency.

12/27/2018
Date

180729
Job Number

2/4/19 - ADDED SEPARATION STATEMENT PER COUNTY REQUEST. DAM.
1/17/19 - ADDED CERT AND CHANGED OWNER NAME. DAM.

CLIENT: JELKA & JOHN LEEDLE

DRAWN BY: DAM CHECKED BY: WJV

SCALE: 1"=100' SEC. 26 T. 01 R. 17 E.

BASIS OF BEARING: PER WISCONSIN STATE PLANE

P.I.N.: IL2600001

JOB NO.: 180729-A I.D. CSM

FIELDWORK COMP.: 9/25/18 BK. PG.

ALL DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF CORRECTED TO 68° F. REF:

PREPARED BY:
VANDERSTAPPEN LAND SURVEYING, INC.
1316 N MADISON ST. WOODSTOCK, IL, 60098
December 27, 2018

CERTIFIED SURVEY
MAP NO. _____

OWNERS CERTIFICATE

As owner I hereby certify the I have caused the above described land to be surveyed, divided and mapped as represented hereon.

Joseph Leedle
Joseph Leedle, Owner

Date: 2-5-19

TOWN APPROVAL

Approved by the Town of Linn this ____ day of _____, 20__.

_____ Chairman

_____ Treasurer

TOWN APPROVAL

Approved by the Lake Geneva this ____ day of _____, 20__.

_____ Chairman

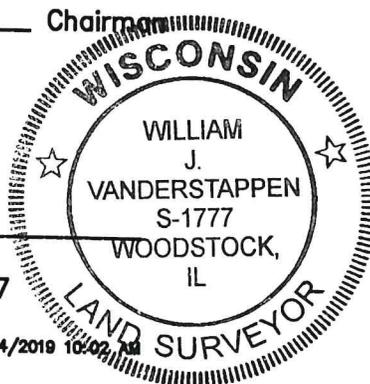
_____ Treasurer

COUNTY APPROVAL

Approved by resolution of the Walworth County Land Management Committee, this _____ day of _____, 20__.

_____ Chairman

William J. Vanderstappen
William J. Vanderstappen
Wisconsin Registered Land Surveyor, No. S-1777



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: February 18, 2019

Agenda Item: 8

Applicant:
Purnell Enterprises LLC.
N1886 State Road 120
Lake Geneva, WI 53147

Request: ETZ Town of Bloomfield CSM
Extraterritorial Zoning Plat review for the
property line adjustment
Tax Key No. MA403300001

Description:

This request is to approve an Extraterritorial Zoning Plat review for the northeast property line adjustment to Tax Key No. MA403300001 located in the Town of Bloomfield.

This request is to approve the proposed Certified Survey Map dated 7/27/2018 for the property located at N1886 State Road 120 for a property line adjustment of approximately 10' of land that is currently enclosed by a fence.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Extraterritorial Zoning request (ETZ)

As part of the consideration of the requested ETZ, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed ETZ review.

Staff Recommendation on the proposed

1. Staff recommends that the Plan Commission recommend *approval* of the Extraterritorial Zoning request (ETZ): as submitted, subject to approval Walworth County Land Use Zoning.

To: Brenda Follensbee, Building & Zoning Clerk

Date: February 12, 2019

From: Gary R. Splinter, P.L.S.

CC: Fred Walling - Zoning Administrator
Mark Bolender – Ambit Land Surveying
Greg Governatori - Kapur & Associates, Inc.

Subject: Extraterritorial Review of Certified Survey Map for Purnell Enterprises LLC in the Town of Bloomfield

We have completed a review of a Certified Survey Map prepared by Mark A. Bolender of Ambit Land Surveying. Our review was conducted to determine compliance with Chapter 236 of the Wisconsin State Statutes, Chapter 66 of the City of Lake Geneva Municipal Code and good surveying practices. The Certified Survey Map dated July 27, 2018 was reviewed.

Comments for the Certified Survey Map:

- As per 66-36(1) & 66-15 Please revise the City of Lake Geneva Extraterritorial Approval certificate to list the Planning Commission as the approver and not the “City Board”.

We recommend approval of the Certified Survey Map, if the above comments are addressed. Although the material has been reviewed, the surveyor is ultimately responsible for the thoroughness and accuracy of the Certified Survey Map with state statutes and municipal city code.

Please contact me if you have any questions pertaining to this project.

MADRIGRANO, AIELLO, & SANTARELLI, LLC

Attorneys at Law

1108 56th Street, Kenosha, WI 53140
Phone: 262-657-2000 Fax: 262-657-2018
<http://kenoshalaw.com>

Joseph F. Madrigrano, Jr.
Thomas P. Aiello, also licensed in IL
Thomas M. Santarelli, also licensed in MN
Nicholas J. Infusino
Gianna Tenuta

February 1, 2019

VIA EMAIL (bzadmin@cityoflakegeneva.com)

Lake Geneva City Hall
Attn: Fred Walling
Building & Zoning Administrator
626 Geneva Street
Lake Geneva, WI 53147

**Re: Parcel 1: N1886 Hwy 120, Lake Geneva, WI, Tax Id No. MA403300001
Parcel 2: N1922 Hwy 120, Lake Geneva, WI Tax Id No. MA403300002
Amount Owed as of January 31, 2019: \$12,202.65**

Dear Mr. Walling:

Enclosed for the Plan Commission's consideration is an Application for Land Division Review pursuant to Lake Geneva's extraterritorial zoning authority of neighboring lands. I have also enclosed for the Commission's consideration Resolution No. 2018-R-09 dated November 12, 2018 from the Town of Bloomfield approving the lot line adjustment. Further, I have enclosed the CSM prepared by Ambit Land Surveying identifying the ten foot area that is requested to be adjusted. As you can see, the CSM has already been signed by the Town of Bloomfield and the notation on page 2 indicates that Walworth County is not required to sign off on the CSM. The last step before the lot line adjustment can be recorded is review and approval by the City of Lake Geneva. Finally, I have enclosed the application submitted to the Town of Bloomfield from which the Town approved the lot line adjustment application.

I submit this request on behalf Purnell Enterprises, LLC for the Plan Commission meeting scheduled for February 18, 2019. I will follow up the email request with the mailing of 20 copies of the application and supporting materials and mail the same to City Hall. If you require anything further, please let me know. Thank you.

Very truly yours,

/s/ Thomas M. Santarelli

Thomas M. Santarelli
Attorney at Law

EXPERIENCE IS THE DIFFERENCE

List of Enclosures

1. Application for Land Division - Lake Geneva
2. Resolution No. 2018-R-09 dated November 12, 2018
3. Certified Survey Map
4. Town of Bloomfield Planning and Zoning Application for Lot Line Adjustment

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP or SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Purnell Enterprises, LLC

N1886 Hwy 120

Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: (262) 295.8630

EMAIL ADDRESS: ts@kenoshalaw.com

PROJECT ADDRESS N1886 Hwy 120, Lake Geneva, WI TAX KEY NUMBER: MA403300001

NAME AND ADDRESS OF APPLICANT:

Purnell Enterprises, LLC

N1886 Hwy 120

Lake Geneva, WI 53147

TELEPHONE NUMBER OF APPLICANT: (262) 295.8630

EMAIL ADDRESS: ts@kenoshalaw.com

NAME AND ADDRESS OF SURVEYOR:

Ambit Land Surveying

8120 312th Ave.

Burlington, WI 35105

TELEPHONE NUMBER OF SURVEYOR: (262) 537.4874

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Adjust the property line to include the approximate 10 foot strip of land that is currently enclosed by a fence attached to parcel MA403300002 (Parcel 2 on the attached CSM) to MA403300001 (Parcel 1 on the attached CSM). The property lines would then conform to the location of the existing fence. Parcel 1 would therefore be increased by the 10 foot strip of land after the lot line adjustment consistent with the CSM.

SUBMITTAL CHECKLIST

- X LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.
- X SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.
- X CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.
- X PROVIDE 5 FULL SETS AND 20 - 11" X 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.
- X PROVIDE AN ELECTRONIC COPY OF THE FULL APPLICATION PACKET TO THE LAKE GENEVA BUILDING AND ZONING DEPARTMENT AT BZADMIN@CITYOFLAKEGENEVA.COM OR BZCLERK@CITYOFLAKEGENEVA.COM

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

February 1, 2019

DATE



SIGNATURE OF APPLICANT

Purnell Enterprises, LLC N1886 Hwy 120, Lake Geneva, WI Cost Recovery # _____

Petitioner Name Project Address

OFFICE USE ONLY Description of Request _____

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** Surplus deposits shall be returned to the Applicant at the conclusion of the project.

Purnell Enterprises, LLC _____, as applicant/petitioner for

Project: Lot Line Adjustment _____

Project Address: N1886 Hwy 120, Lake Geneva, WI _____

Parcel No. MA403300002 _____

Name: Thomas M. Santarelli, Attorney for Applicant _____

Address: 1108 56th St. _____

Kenosha, WI 53140 _____

Cell Phone: (____) - _____ - _____

Phone: (262) - 657 - 2015

Email: ts@kenoshalaw.com _____

Dated this 1st Day of February, 2019

Thomas M. Santarelli, Attorney for Applicant/Petitioner _____

Printed Name of Applicant / Petitioner

 _____

Signature of Applicant/Petitioner

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

RESOLUTION APPROVING CSM
Title of Document

Document Number

Recording Area

Name and Return Address

Madrigrano, Aiello & Santarelli, LLC
Attorney Thomas M. Santarelli
1108-56th Street
Kenosha, WI 53140

MA 403300001; MA 403300002
Parcel Identification Number (PIN)

This Document was drafted by Attorney Thomas M. Santarelli

CERTIFIED COPY OF RESOLUTION

After Recording, Mail to:
Town Clerk
Town of Bloomfield
P.O. Box 704
Pell Lake, WI 53157

LEGAL DESCRIPTION:

LOT 1 CERTIFIED SUREY NO. 4033 AS RECORDED IN VOL 25 OF C.S. ON PAGE 83 WCR. LOCATED IN SE ¼ NW ¼ & NE ¼ SW ¼ SEC 7 T1N R18E 43560 SQ FT OUT OF MB 7-5D
Tax Parcel: MA 403300001

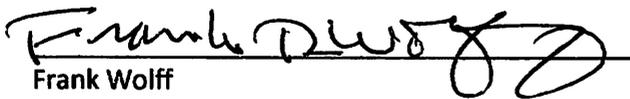
LEGAL DESCRIPTION:

LOT 2 CERTIFIED SURVEY NO. 4033 AS RECORDED IN VOL 25 OF C.S. ON PAGE 83 WCR. LOCATED IN SE ¼ NW ¼ & NE ¼ SW ¼ SEC 7 T1N R18E 110047 SQ FT OUT OF MB 7-5D
Tax Parcel: MA 403300002

CERTIFIED COPY OF RESOLUTION

I, Frank Wolff, Town Clerk, Town of Bloomfield, Walworth county, Wisconsin, do hereby certify that the attached is a true copy of Town of Bloomfield, Resolution No. 2018 – R - 09 , adopted by majority vote at a Regular or Special Meeting of the Town of Bloomfield Town Board held on November 12, 2018, and that said original Resolution is on file in the Office of the Town Clerk.

Dated this 12th day of November, 2018.


Frank Wolff
Town of Bloomfield
Town Clerk-Treasurer

RESOLUTION NO. 2018 – R – 09

TOWN OF BLOOMFIELD, COUNTY OF
WALWORTH, STATE OF WISCONSIN

Date: November 12, 2018

CERTIFIED SURVEY MAP
To create Lot Line Adjustment to the following parcels:

TAX PARCEL: MA 403300001
COMMONLY KNOWN AS: N1886 HIGHWAY 120
Owners: Purnell Enterprises, LLC.

And

TAX PARCEL: MA 403300002
COMMONLY KNOWN AS: N1922 HIGHWAY 120
Owners: BPFI, LLC.

WHEREAS, the owners of real property to the above referenced tax parcels have prepared and submit for approval a Certified Survey Map indicating the location of a Lot Line Adjustment between the aforementioned parcels, see attachment, and

WHEREAS, 10 ' (feet) of real property is being removed from the western lot line of Tax Parcel: MA 403300002 and added to the eastern lot line of Tax Parcel: MA 403300001; and

WHEREAS, on October 31, 2018 the Town of Bloomfield Plan Commission reviewed the owners' request for a Lot Line Adjustment, and

WHEREAS, after hearing all objections and recommendations for and against the owners' request the Town Plan Commission recommended approval for the requested Lot Line Adjustment for the purpose of correcting an error in placement of a fence.

NOW, THEREFORE, the Town of Bloomfield does hereby resolve to grant approval of the requested Lot Line Adjustment as is described in the attached map.

Dated this 12th day of November, 2018.

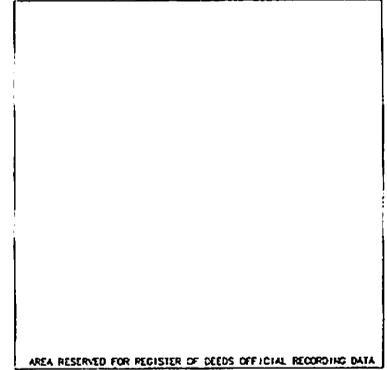

Daniel Schoonover, Town Chairman

ATTEST:


Frank Wolff, Town Clerk

WALWORTH COUNTY CERTIFIED SURVEY MAP NO. _____

REPLAT OF WALWORTH COUNTY CERTIFIED SURVEY MAP NUMBER 4033 LOCATED IN THE
SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF
SECTION 7, TOWNSHIP 1 NORTH, RANGE 18 EAST OF THE 4TH PRINCIPAL MERIDIAN,
WALWORTH COUNTY, WISCONSIN AS RECORDED ON MARCH 8, 2007 IN THE OFFICE OF
THE REGISTER OF DEEDS OF WALWORTH COUNTY IN VOLUME 25, PAGES 83, 84 & 85,
DOCUMENT 702802



Mark A. Bolender

Mark A. Bolender
Wisconsin Professional Land Surveyor - 1784
July 27, 2018

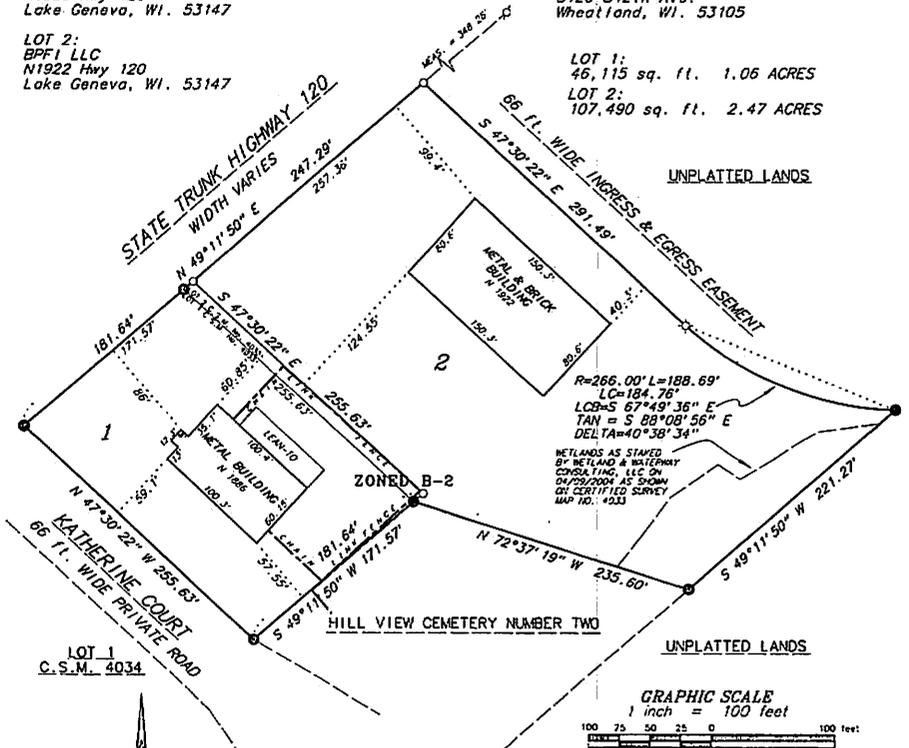
WALWORTH COUNTY CERTIFIED SURVEY MAP NO. _____

REPLAT OF WALWORTH COUNTY CERTIFIED SURVEY MAP NUMBER 4033 LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 18 EAST OF THE 4TH PRINCIPAL MERIDIAN, WALWORTH COUNTY, WISCONSIN AS RECORDED ON MARCH 8, 2007 IN THE OFFICE OF THE REGISTER OF DEEDS OF WALWORTH COUNTY IN VOLUME 25, PAGES 83, 84 & 85, DOCUMENT 702802

OWNERS:
LOT 1:
 Purnell Enterprises LLC
 N1886 Hwy 120
 Lake Geneva, WI. 53147
LOT 2:
 BPF1 LLC
 N1922 Hwy 120
 Lake Geneva, WI. 53147

SURVEYED AND MAPPED BY:
 Arbil Land Surveying
 8120-312th Ave.
 Wheatland, WI. 53105

LOT 1:
 46,115 sq. ft. 1.06 ACRES
LOT 2:
 107,490 sq. ft. 2.47 ACRES



LOT 1
 C.S.M. 4034

GRAPHIC SCALE
 1 inch = 100 feet
 100 75 50 25 0 100 feet

LEGEND:
 ○ Denotes Iron Pipe Set—1" Diameter x 18" Length Not Less Than 1.13 Pounds Per Linear Foot
 ⊕ Denotes Iron Pipe Found—1 1/2" Diameter
 ● Denotes Iron Bar Found—3/4" Diameter
 ⊠ Denotes Mag Nail Set

BEARINGS REFERENCED TO WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE AND 1927 REFERENCED TO CERTIFIED SURVEY MAP NO. 4033

This lot line adjustment is for the purpose of a sale or exchange of land between adjoining land owners that does not create additional lots and the original parcels are not reduced below the minimum size required by the Walworth County Code of Ordinances (Zoning/Shoreland Zoning).

Activities within wetlands are limited and subject to Federal, State and County regulations. Filling, excavation, removal of vegetation or the placement of any structures within delineated and symbolized wetlands on this plat are prohibited unless authorized by a permit and plan approval from the DNR, ACOE, and Walworth County.



Mark A. Bolender
 Mark A. Bolender
 Wisconsin Professional Land Surveyor - 1784
 July 27, 2018

WALWORTH COUNTY CERTIFIED SURVEY MAP NO. _____

REPLAT OF WALWORTH COUNTY CERTIFIED SURVEY MAP NUMBER 4033 LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 18 EAST OF THE 4TH PRINCIPAL MERIDIAN, WALWORTH COUNTY, WISCONSIN AS RECORDED ON MARCH 8, 2007 IN THE OFFICE OF THE REGISTER OF DEEDS OF WALWORTH COUNTY IN VOLUME 25, PAGES 83, 84 & 85, DOCUMENT 702802

SURVEYOR'S CERTIFICATE

I, Mark A. Bolender, professional land surveyor hereby certify: that in full compliance with the provisions of s. 236.34 of the Wisconsin Statutes and the subdivision regulations of the Township of Bloomfield and under the direction of Jay Bieszk, agent, I have surveyed, divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of land surveyed and that this land is located in the Southeast Quarter of the Northwest Quarter of the Southwest Quarter of Section 7, Township 1 North, Range 18 East of the 4th Principal Meridian, Township of Bloomfield, Walworth County, Wisconsin, containing 3.53 acres, more or less, of land and described as follows: WALWORTH COUNTY CERTIFIED SURVEY MAP NUMBER 4033, according to the recorded plat thereof on file and of record in the office of the Register of Deeds, Walworth County, Wisconsin as Document Number 702802, recorded March 8, 2007, in Volume 25 of Certified Survey Maps, pages 83, 84 and 85.

Dated at Wheatland, Wisconsin, this 27th day of July, 2018.

Mark A. Bolender

Mark A. Bolender - Wisconsin Professional Land Surveyor S - 1784
AMBIT LAND SURVEYING 8120-312th Ave., Wheatland, WI. 53105



CITY OF LAKE GENEVA EXTRATERRITORIAL APPROVAL

STATE OF WISCONSIN }
COUNTY OF WALWORTH } SS

Resolved that this Certified Survey Map, in the Town of Bloomfield, BPF1 LLC., and Purnell Enterprises LLC., owners is hereby approved by the City Board of the City of Lake Geneva on this ____ day of July, 2018.

Tom Hartz - City Mayor

Lana Kropf - City Clerk

TOWNSHIP OF BLOOMFIELD APPROVAL

This Certified Survey Map approved by the Town of Bloomfield this 12th day of ^{NOV.} July, 2018.

Daniel Schenover

Chairperson

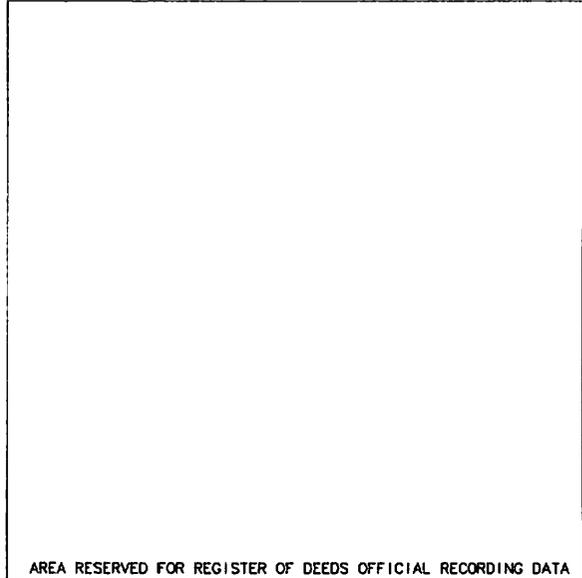
WALWORTH COUNTY ZONING AGENCY

Approved by resolution of the Walworth County Zoning Agency this ____ day of July, 2018.

Chairperson

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Mark A. Bolender

Mark A. Bolender
Wisconsin Professional Land Surveyor - 1784
July 27, 2018

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OWNERS:

LOT 1:
Purnell Enterprises LLC
N1886 Hwy 120
Lake Geneva, WI. 53147

LOT 2:
BPF1 LLC
N1922 Hwy 120
Lake Geneva, WI. 53147

SURVEYED AND MAPPED BY:

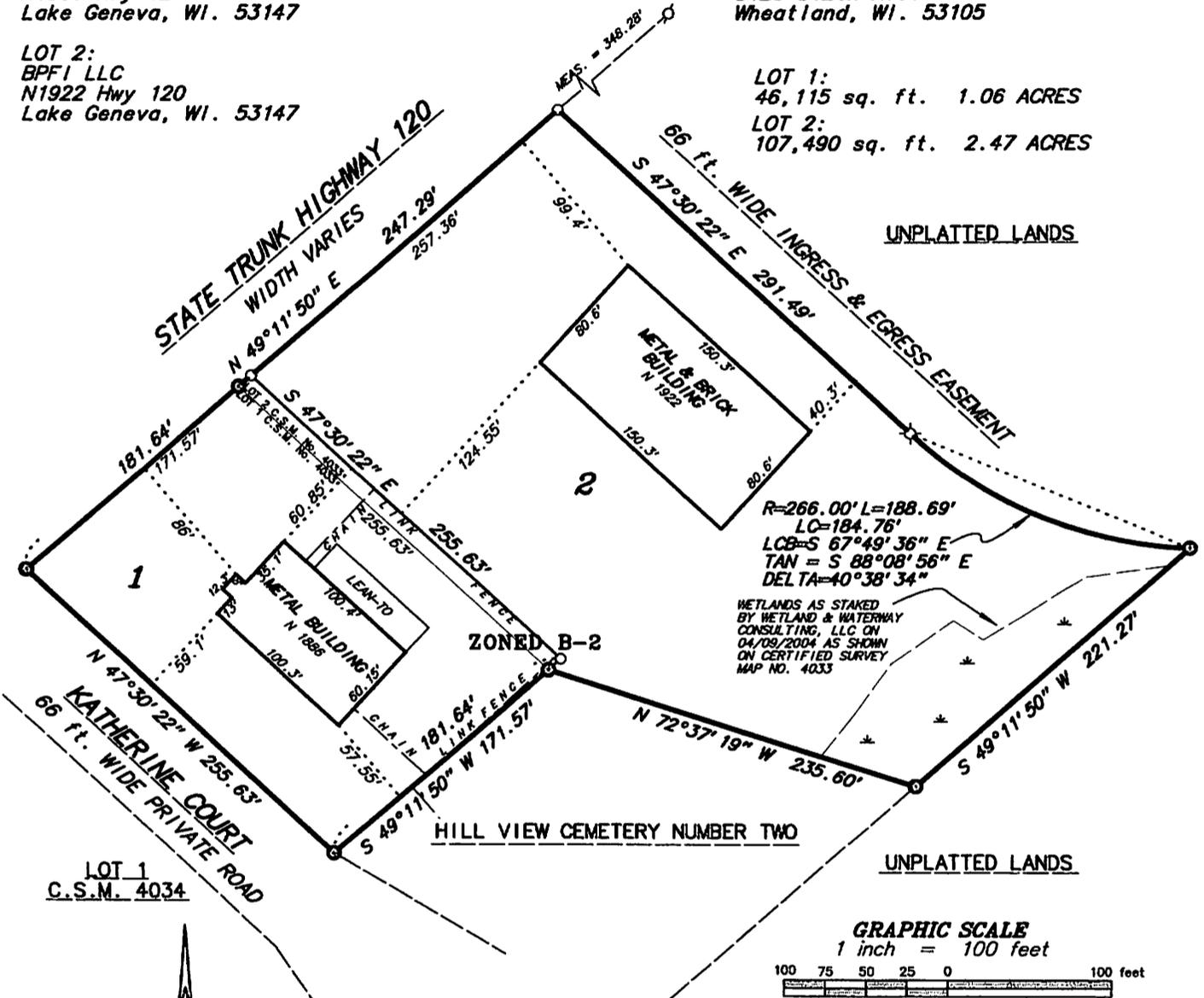
Arbit Land Surveying
8120-312th Ave.
Wheatland, WI. 53105

LOT 1:
46,115 sq. ft. 1.06 ACRES

LOT 2:
107,490 sq. ft. 2.47 ACRES

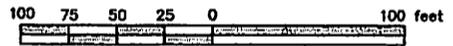
UNPLATTED LANDS

UNPLATTED LANDS



LOT 1
C.S.M. 4034

GRAPHIC SCALE
1 inch = 100 feet



LEGEND:

- Denotes Iron Pipe Set—1" Diameter x 18" Length Not Less Than 1.13 Pounds Per Linear Foot
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- ⊠ Denotes Mag Nail Set

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Mark A. Bolender
Mark A. Bolender
Wisconsin Professional Land Surveyor - 1784
July 27, 2018

WALWORTH COUNTY CERTIFIED SURVEY MAP NO. _____

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SURVEYOR'S CERTIFICATE

I, Mark A. Bolender, professional land surveyor hereby certify: that in full compliance with the provisions of s. 236.34 of the Wisconsin Statutes and the subdivision regulations of the Township of Bloomfield and under the direction of Jay Bieszk, agent, I have surveyed, divided and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of land surveyed and that this land is located in the Southeast Quarter of the Northwest Quarter of the Southwest Quarter of Section 7, Township 1 North, Range 18 East of the 4th Principal Meridian, Township of Bloomfield, Walworth County, Wisconsin, containing 3.53 acres, more or less, of land and described as follows: WALWORTH COUNTY CERTIFIED SURVEY MAP NUMBER 4033, according to the recorded plat thereof on file and of record in the office of the Register of Deeds, Walworth County, Wisconsin as Document Number 702802, recorded March 8, 2007, in Volume 25 of Certified Survey Maps, pages 83, 84 and 85.

Dated at Wheatland, Wisconsin, this 27th day of July, 2018.

Mark A. Bolender
Mark A. Bolender - Wisconsin Professional Land Surveyor S - 1784
AMBIT LAND SURVEYING 8120-312th Ave., Wheatland, WI. 53105



STATE OF WISCONSIN
CITY OF LAKE GENEVA EXTRATERRITORIAL APPROVAL
COUNTY OF WALWORTH } SS

Resolved that this Certified Survey Map, in the Town of Bloomfield, BPF1 LLC., and Purnell Enterprises LLC., owners is hereby approved by the City Board of the City of Lake Geneva on this _____ day of July, 2018.

Tom Hartz - City Mayor

Lana Kropf - City Clerk
TOWNSHIP OF BLOOMFIELD APPROVAL

This Certified Survey Map approved by the Town of Bloomfield this 12 day of ~~July~~ ^{NOV.}, 2018.

Daniel Scheinover
Chairperson

WALWORTH COUNTY ZONING AGENCY
Approved by resolution of the Walworth County Zoning Agency this _____ day of July, 2018.

Chairperson

_____ VILLAGE

TOWN X

VILLAGE/TOWN OF BLOOMFIELD
PLANNING AND ZONING
APPLICATION FOR LOT LINE ADJUSTMENT (PAGE 1)

Fee: See Schedule.

This application form is to be used for the approval of all transfers of land between adjoining property owners, when the land is of the same zoning district. Attach one of the following, prepared by a Wisconsin Registered Land Surveyor:

___ If the lot line adjustment is between subdivision lots in the same subdivision, attach a Plat of Survey.

___ If the lot line adjustment is between metes and bounds parcels, attach a Plat of Survey.

___ If the lot line adjustment changes the exterior boundary of a subdivision, attach a Certified Survey Map (without County signature lines).

X If the lot line adjustment changes the exterior boundary of a Certified Survey Map, attach a Certified Survey Map (without county signature lines).

*For all lot line adjustments the following notation must be included on the Plat of Survey and on the deed:

*For all lot line adjustments requiring a Certified Survey Map, the following notation shall be included in place of the County signature line:

NOTE: THIS LOT LINE ADJUSTMENT IS FOR THE PURPOSE OF A SALE OR EXCHANGE OF LAND BETWEEN ADJOINING LAND OWNERS THAT DOES NOT CREATE ADDITIONAL LOTS, AND THE ORIGINAL PARCELS ARE NOT REDUCED BELOW THE MINIMUM SIZE REQUIRED BY THE VILLAGE/TOWN OF BLOOMFIELD'S MUNICIPAL CODES.

*****Please note: A completed application, along with Plat of Survey or Certified Survey Map, and fees must be received by Zoning Administrator no later than the last day of any month in order to be put on the agenda for the Planning and Zoning Commission's next hearing.*****

Date: October 2, 2018

Affected Tax Parcel Number(s): MA40330001 and MA40330002

Zoning District(s): Commercial and Commercial

Purpose of Transfer: Transfer approximate 10' strip of land that is currently enclosed by a fence.

Are the existing improvements? X Yes No

If yes, are they serviced by: Public Sewer X Private Septic*

*Please indicate septic system area on plat.

Will this land transfer meet the minimum zoning district requirements of the Village/Town of Bloomfield's Municipal Code for lot area and setbacks in relation to the applicable zoning districts?

X Yes No

**VILLAGE/TOWN OF BLOOMFIELD
PLANNING AND ZONING
APPLICATION FOR LOT LINE ADJUSTMENT (PAGE 2)**

Additional requested information/comments: The approximate 10' area to the north of Parcel 1 as depicted on the attached CSM is already fenced in and this adjusts the property line to conform to the existing fence.

Purnell Enterprises, LLC
Property Owner Name (Printed)

BPFI, LLC
Property Owner Name (Printed)

Property Owner Signature
Thomas Purnell, Authorized Member

Property Owner Signature
Brian Pollard, Authorized Member

Address: N1886 Hwy 120

Address: N1922 Hwy 120

Lake Geneva, WI 53147

Lake Geneva, WI 53147

Phone #: 262.295.8630

Phone #: 262.348.3400

Cost Recovery Agreement:

I/We, the undersigned, do hereby understand and agree that as an applicant or petitioner of the Village/Town of Bloomfield, I/We will be responsible for all normal fees payable by an applicant or petitioner (e.g. application fees, engineer fees, attorney fees, etc.). I/We further understand and agree to be responsible for any additional or consequential costs to the municipality as a result of my/our application or petition (i.e. engineering, legal, or other professional services). All fees and costs shall be paid within thirty (30) days of invoice and must be paid prior to the issuance of any permit or license. If payment is not made, said fees and costs may be assessed against the real property as a special charge.

Property Owner Signature

Property Owner Signature

*****This approval is only valid for 60 days. Action must be taken within 60 days to file the necessary deeds in compliance with the approval or this approval is null and void.*****

PLAT REVIEW DEPARTMENT:

DATE: _____

APPROVED: _____

DENIED: _____

PLANNING AND ZONING DEPARTMENT:

DATE: _____

APPROVED: _____

DENIED: _____

REASON FOR DENIAL: _____

**VILLAGE/TOWN OF BLOOMFIELD
PLANNING AND ZONING
APPLICATION FOR LOT LINE ADJUSTMENT (PAGE 2)**

Additional requested information/comments: The approximate 10' area to the north of Parcel 1 as depicted on the attached CSM is already fenced in and this adjusts the property line to conform to the existing fence.

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Address: N1886 Hwy 120

Lake Geneva, WI 53147

Phone #: 262.295.8630

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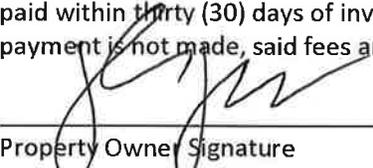
Address: N1922 Hwy 120

Lake Geneva, WI 53147

Phone #: 262.348.3400

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Property Owner Signature

Property Owner Signature

*****This approval is only valid for 60 days. Action must be taken within 60 days to file the necessary deeds in compliance with the approval or this approval is null and void.*****

PLAT REVIEW DEPARTMENT:

APPROVED: _____

PLANNING AND ZONING DEPARTMENT:

APPROVED: _____

REASON FOR DENIAL: _____

DATE: _____

DENIED: _____

DATE: _____

DENIED: _____

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: February 18, 2019

Agenda Item: 9

Applicant:

Anagnos Properties, Inc.
P.O. Box 1117
Lake Geneva, WI. 53147

Request:

Create a three lot Certified Survey Map (CSM)
811 Wrigley Drive
ZOP00341 – ZOP00345

Description:

This request is to approve a proposed Certified Survey Map (CSM) to create a three lot CSM.

The result of this CSM will be the creation of three compliant commercial lots, lot one will retain the existing commercial structure and lot two & three will be a vacant parcel. Both of the vacant parcels will comply with all of the minimum standards of the Central Business (CB) zoning.

Project Details from submittal dated January 16, 2019 CSM Map project 6668.18 generated by surveyor Brian M. Calson:

The proposed CSM drawing is provided on one page on project No.6668.18

Lot 3: 24,491 sq. ft. (Popeye’s Building)

Lot 2: 2,809 sq. ft. (vacant land)

Lot 3: 2,484 sq. ft. (vacant land)

Staff Review Comments:

The proposed CSM has been submitted by staff to the Public Works & Utilities for review for compliance or concerns and none were identified as needed to be addressed with this land division.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Certified Survey Map (CSM):

As part of the consideration of the requested CSM, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CSM.

Staff Recommendation on the proposed Certified Survey Map (CSM):

Staff recommends that the Plan Commission recommend *approval* of the CSM as submitted.

To: Brenda Follensbee, Building & Zoning Clerk **Date:** January 30, 2019

From: Gary R. Splinter, P.L.S.

CC: Fred Walling - Zoning Administrator
Brian Carlson – Ferris, Hanson Associates
Greg Governatori - Kapur & Associates, Inc.

Subject: **Review of Certified Survey Map for Anagnos Properties LLC in the City of Lake Geneva**

We have completed a review of a Certified Survey Map prepared by Farris Hansen & Assoc. Inc. Our review was conducted to determine compliance with Chapter 236 of the Wisconsin State Statutes, Chapter 66-36 of the City of Lake Geneva Municipal Code and good surveying practices. The Certified Survey Map dated January 16, 2019 was reviewed.

Comments for the Certified Survey Map:

- The Lake Geneva certificate should state “Lake Geneva Planning Commission Approval”

We recommend approval of the Certified Survey Map contingent upon enclosed surveyor’s comments. Although the material has been reviewed, the surveyor is ultimately responsible for the thoroughness and accuracy of the Certified Survey Map with state statutes and municipal city code.

Please contact me if you have any questions or comments pertaining to this project.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP or

SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Anagnos Properties, Inc.

PO Box 1117

Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: (262) 745-3902

EMAIL ADDRESS: dimitri@popeyeslkg.com

PROJECT ADDRESS 811 Wrigley Drive, Lake Geneva TAX KEY NUMBER: ZOP 00341-
ZOP 00345

NAME AND ADDRESS OF APPLICANT:

Attorney Theodore N. Johnson of Godfrey, Leibsle, Blackburn & Howarth, S.C.

354 Seymour Court

Elkhorn, WI 53121

TELEPHONE NUMBER OF APPLICANT: (262) 741-1540

EMAIL ADDRESS: tjohnson@godfreylaw.com

NAME AND ADDRESS OF SURVEYOR:

Brian Carlson- Farris, Hanson & Associates

P.O. Box 437

Elkhorn, WI 53121

TELEPHONE NUMBER OF SURVEYOR: (262) 723-2098

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Property consists of five platted (5) lots which are being redivided into three (3) lots. See attached
proposed certified survey map.

SUBMITTAL CHECKLIST

- _____ LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.

- _____ SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.

- _____ CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.

- _____ PROVIDE 5 FULL SETS AND 20 - 11" X 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.

- _____ PROVIDE AN ELECTRONIC COPY OF THE FULL APPLICATION PACKET TO THE LAKE GENEVA BUILDING AND ZONING DEPARTMENT AT BZADMIN@CITYOFLAKEGENEVA.COM OR BZCLERK@CITYOFLAKEGENEVA.COM

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

1-24-19
DATE


SIGNATURE OF APPLICANT

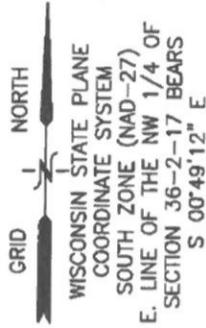
FARRIS, HANSEN & ASSOC. INC.

7 RIDGWAY COURT— P.O. BOX 437
 ELKHORN, WISCONSIN 53121
 PHONE (262) 723-2098
 FAX (262) 723-5886

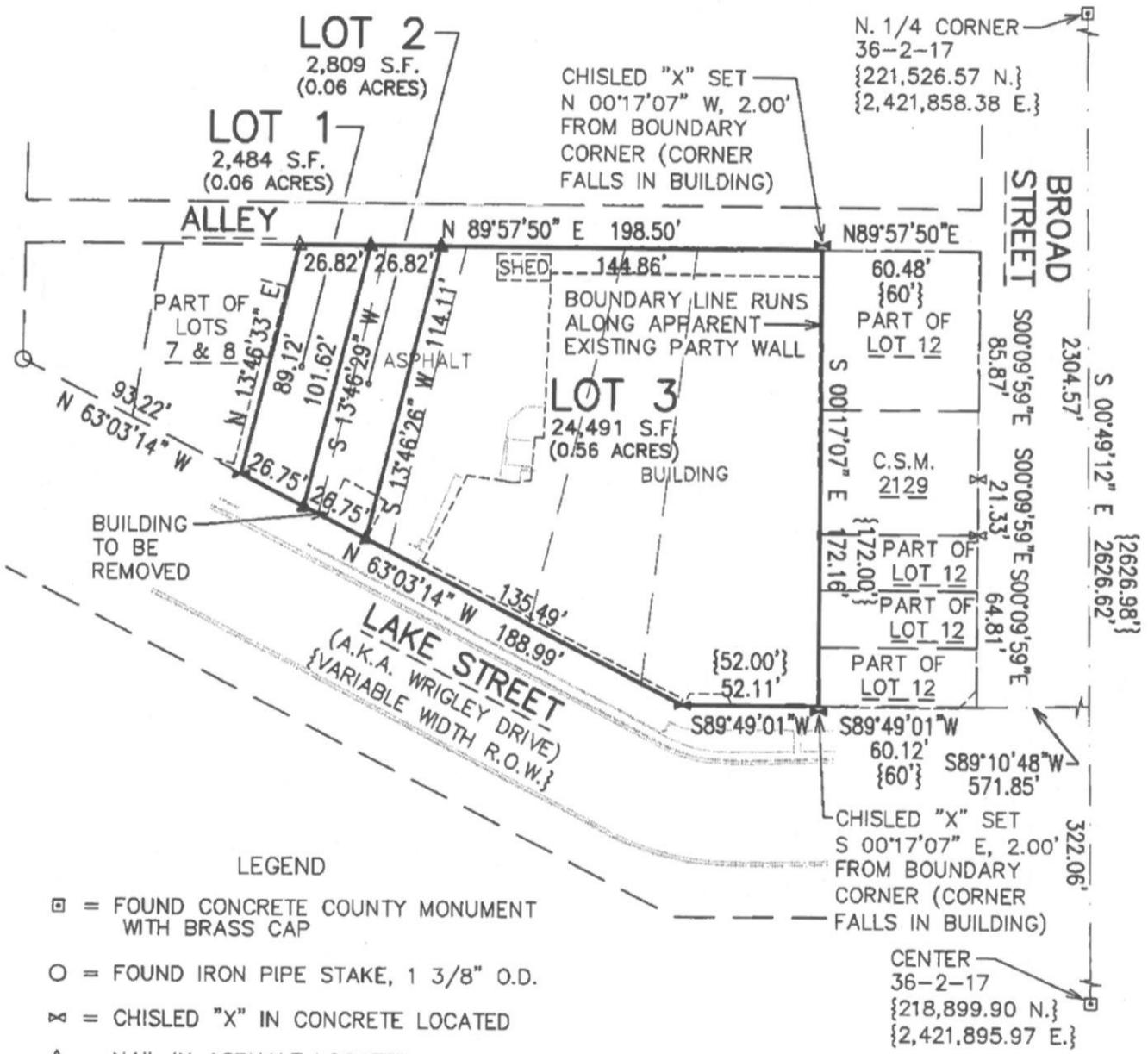
OWNER: ANAGNOS PROPERTIES INC
 P.O. BOX 1117
 LAKE GENEVA, WI 53147

ZONING: CB (CENTRAL BUSINESS)
 SOILS: Fsb

CERTIFIED SURVEY MAP NO. _____



A LOT LINE ADJUSTMENT AND PARCEL CONSOLIDATION CERTIFIED SURVEY MAP BEING PART OF LOTS 8 THROUGH 11 OF BLOCK 31 OF THE ORIGINAL PLAT OF THE VILLAGE OF GENEVA (NOW THE CITY OF LAKE GENEVA) LOCATED IN PART OF THE SE 1/4 OF THE NW 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



LEGEND

- ▣ = FOUND CONCRETE COUNTY MONUMENT WITH BRASS CAP
- = FOUND IRON PIPE STAKE, 1 3/8" O.D.
- ✕ = CHISLED "X" IN CONCRETE LOCATED
- △ = NAIL IN ASPHALT LOCATED
- ✦ = SET CHISLED "X" IN CONCRETE
- ▲ = SET MAG NAIL IN ASPHALT
- {XXX} = RECORDED AS

THIS INSTRUMENT DRAFTED
 BY BRIAN M. CARLSON
 PROJECT: 6668.1B
 DATE: 01/16/2019
 SHEET 1 OF 3 SHEETS



A LOT LINE ADJUSTMENT AND PARCEL CONSOLIDATION CERTIFIED SURVEY MAP BEING PART OF LOTS 8 THROUGH 11 OF BLOCK 31 OF THE ORIGINAL PLAT OF THE VILLAGE OF GENEVA (NOW THE CITY OF LAKE GENEVA) LOCATED IN PART OF THE SE 1/4 OF THE NW 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

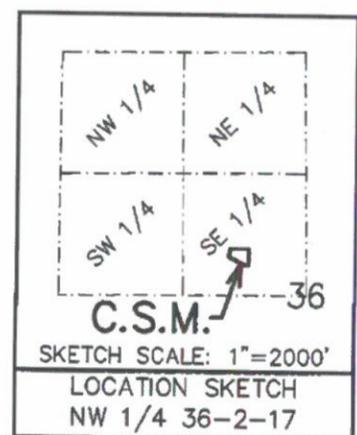
CERTIFIED SURVEY MAP NO. _____

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT AT THE DIRECTION OF ANAGNOS PROPERTIES INC, OWNERS, AND IN FULL COMPLIANCE WITH THE PROVISIONS OF SECTION 236.34 OF WISCONSIN STATUTES AND SUBDIVISION REGULATIONS FOR THE CITY OF LAKE GENEVA, I HAVE SURVEYED, DIVIDED AND MAPPED THE FOLLOWING DESCRIBED LANDS AND THAT THIS MAP IS A TRUE REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND OF THE DIVISION THEREOF TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF:
A LOT LINE ADJUSTMENT AND PARCEL CONSOLIDATION CERTIFIED SURVEY MAP BEING PART OF LOTS 8 THROUGH 11 OF BLOCK 31 OF THE ORIGINAL PLAT OF THE VILLAGE OF GENEVA (NOW THE CITY OF LAKE GENEVA) LOCATED IN PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:
COMMENCING AT A CONCRETE COUNTY MONUMENT FOUND MARKING THE NORTH 1/4 CORNER OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST; THENCE ALONG THE EASTERLY BOUNDARY OF THE NORTHWEST 1/4 OF SAID SECTION 36, S 00DEG 49MIN 12SEC E, 2304.57 FEET; THENCE S 89DEG 10MIN 48SEC W, 571.85 FEET TO THE INTERSECTION OF THE WESTERLY RIGHT OF WAY BOUNDARY OF BROAD STREET AND THE NORTHERLY RIGHT OF WAY BOUNDARY OF LAKE STREET; THENCE ALONG LAKE STREET, S 89DEG 49MIN 01SEC W, 60.12 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG LAKE STREET S 89DEG 49MIN 01SEC W, 52.11 FEET; THENCE CONTINUE ALONG LAKE STREET, N 63DEG 03MIN 14SEC W, 188.99 FEET; THENCE N 13DEG 46MIN 33SEC E, 89.12 FEET TO THE SOUTHERLY RIGHT OF WAY BOUNDARY OF AN ALLEY; THENCE ALONG THE ALLEY, N 89DEG 57MIN 50SEC E, 198.50 FEET; THENCE S 00DEG 17MIN 07SEC E, 172.16 FEET TO THE POINT OF BEGINNING. CONTAINING 29,784 SQUARE FEET (0.68 ACRES) OF LAND, MORE OR LESS.

DATED: JANUARY 16, 2019

BRIAN M. CARLSON PLS 2039



THIS INSTRUMENT DRAFTED
BY BRIAN M. CARLSON
PROJECT: 6668.18
DATE: 01/16/2019
SHEET 2 OF 3 SHEETS

A LOT LINE ADJUSTMENT AND PARCEL CONSOLIDATION CERTIFIED SURVEY MAP BEING PART OF LOTS 8 THROUGH 11 OF BLOCK 31 OF THE ORIGINAL PLAT OF THE VILLAGE OF GENEVA (NOW THE CITY OF LAKE GENEVA) LOCATED IN PART OF THE SE 1/4 OF THE NW 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

CERTIFIED SURVEY MAP NO. _____

CONSENT OF CORPORATE OWNER

ANAGNOS PROPERTIES INC, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, OWNER OF THE ABOVE DESCRIBED LANDS, DOES HEREBY CERTIFY THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS MAP. ANAGNOS PROPERTIES INC DOES FURTHER CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

CITY OF LAKE GENEVA

IN WITNESS WHEREOF, THE SAID ANAGNOS PROPERTIES INC HAS CAUSED THESE PRESENTS TO BE SIGNED BY _____, ITS LEGAL REPRESENTATIVE, AT _____, WISCONSIN THIS _____ DAY OF _____, 2019.

REPRESENTATIVE FOR ANAGNOS PROPERTIES INC

STATE OF WISCONSIN)
 ss
COUNTY OF WALWORTH)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2019,

_____, THE LEGAL REPRESENTATIVE OF THE ABOVE NAMED ANAGNOS PROPERTIES INC, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND TO ME KNOWN TO BE SUCH OFFICER OF SAID ANAGNOS PROPERTIES INC AND ACKNOWLEDGED THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICER AS THE DEED OF SAID ANAGNOS PROPERTIES INC BY ITS AUTHORITY.

MY COMMISSION EXPIRES

NOTARY PUBLIC, _____

CITY OF LAKE GENEVA APPROVAL

APPROVED THIS _____ DAY OF _____, 2019 BY THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

AUTHORIZED SIGNATURE FOR THE CITY OF LAKE GENEVA

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: February 18, 2019

Agenda Item: 10

Applicant:

Daniel Schuld
281 Yerkes Ave
Hampshire, IL 60140

Request:

Precise Implementation Plan (PIP)
Brewery, Tap-Room, Gift Shops
727 Geneva Street
Tax Key No. ZOP00157

Description:

The applicant is submitting a request for a Precise Implementation Plan (PIP) that would allow for the development of a Brewery, Tap-Room, & Gift Shops to be located at 727 Geneva Street.

The alterations to the exterior building would include renovations to the deck and patio areas.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Precise Implementation Plan (PIP):

As part of the consideration of the requested PIP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed PIP;
- Include *findings* required by the Zoning Ordinance for PIPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the PIP for Recommendation to the Common Council:

A proposed PIP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning

Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed Precise Implementation Plan (PIP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Precise Implementation Plan (PIP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Precise Implementation Plan (PIP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Precise Implementation Plan (PIP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Precise Implementation Plan (PIP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Precise Implementation Plan (PIP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Precise Implementation Plan (PIP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Precise Implementation Plan (PIP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Precise Implementation Plan (PIP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

6. The potential public benefits of the proposed Precise Implementation Plan (PIP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Precise Implementation Plan (PIP):

If the Plan Commission members feel the submittal is acceptable -

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Precise Implementation Plan (PIP) as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

Please contact me if you have any questions or comments pertaining to this project at (262) 758-6010 or ggovernatori@kapurinc.com



Application Note

Streamline Strainer

#2020

The Streamline Strainer can be use to remove particulates - from your product during a transfers. Examples are wort going from the Brew Kettle to the Heat Exchanger. Transfers from a fermenter to a bright tank. Transfers to remove small bits of pulp or other material.



The screen system is make up a a ss screen support with large 3/16" holes and a #2020A 16 mesh screen (ss wire screen with 16 wires to an inch). 16 mesh = 1130 micron or 0.045" space between wires - 50.7% open area.

The unit disassembles easily—with a 4" TriClamp.

Product to be filtered - should flow so the particulate is on the outside of the filter—and the clean product comes out the center - of the fil-ter.



New Product:

An optional wedge-wire screen #2020W - is more durable than the mesh screen - and would filter down to a finer level. Depending on the type of things being filtered.

Another Application Note - talks specifically about filtering wort - going through a heat exchanger. This doc gives additional ideas for using this product - and includes other filtering options.

Gregory L. Governatori

Subject: FW: Submittal for Brewery at 727 Geneva Street

Hi Josh,

I will try to show a framework of how any excess grains will be handle.
Also attached filter spec sheet for your review.

Our Brewery has a 3 bbl system.

3 bbl system = (93 gallons) Smallest Commercial system brewing.

Planning on brewing two 3 bbl batches per week.

Each batch 93 gallons x 2 = 186 gallons per week of beer.

Dry Grist (Milled Barley and/or oats, wheat) to be used equates 275 lbs. per batch of two batches which equates to 550lbs of grist per week.

Spent grain weight is Approx. 300lbs (with moisture content) per batch of two batches per week which equates to 600lbs of spent grist per week to be removed for either high grade animal feed, fertilizer or disposal.

Farmers often collect grist from brewers as its usually free to them and is a high value food source for cows, pigs and chickens.

Ingredients input to mashtun:

275 lbs. Dry Grist Loaded into Mashtun + 116 gallons of water

Ingredients out from mashtun:

200 lbs. Spent Grist removed with 25-30% remaining absorbed water in grist.

Removed spent grist weight = 300lbs. Approx. for high quality animal feed, fertilizer or disposal.

75lbs. Starches converted to fermentable and non-fermentable sugars to create the beer alcohol, flavor, color, body and head retention.

Process of removal is:

Manway door is opened and spent grist is raked out into collection bucket and dumped into 20 gallon totes for removal to farm or landfill.

Inline strainer/ filter

Remain small bits of grist in removed by hosing down the mashtun with using an inline strainer basket on the end of the mashtun outlet to trap grist particulate and allow city water to pass through to drain. Strainer basket particulate is then emptied into the 20 gallon tote.

Typically strainer basket traps around 1lbs of grist bits or less depending on how well the operator cleaned the mashtun while raking out the bulk of the spent grist into the collection bucket to be dumped into the tote.

The cleaner the initial bulk cleaning the less weight of particulate trapped in the inline strainer basket.

Please let me know if this was helpful.

Thanks,
Dan

Dan Schuld

CIP WHEEL

For Kettle & Fermenters

TIME
10 MIN

ACTION
TANK BRUSH
PUMP RECIRC



TEMPERATURE
GROUND TEMP.

CHEMICAL
STAR SAN
SANITIZER

Tank is first scrubbed by hand with Tank Brush. Rinsed down with city water, inline strainer basket collects any particulate- dumped to grist tote. Ten (10) gallons of city water added to tank, Two (2) ounces of Star San Sanitizer is added to the city water in tank. Pump and hoses are attached to tank and recirculation of the sanitizing solution is ran for ten (10) minutes. Solution is collected and awaits use for next tank. Solution is used until pH is rendered useless, pH3> Solution is ran to drain.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

727 GENEVA STREET, LAKE GENEVA, WI 53147
TAX KEY # ZOP 00157

Name and Address of Current Owner:

DANIEL E. SCHULD
281 KEYES AVENUE, HAMPSHIRE, IL 60140

Telephone No. with area code & Email of Current Owner: (847) 778-7070

E-MAIL: daneschuld@gmail.com

Name and Address of Applicant:

SAME AS ABOVE

Telephone No. with area code & Email of Current Owner: SAME AS ABOVE

Proposed Use:

THE OWNER WISHES TO REPLACE SEVERAL OF THE EXISTING
RETAIL SHOPS WITH A NEW BREWERY, TAP ROOM + GIFT SHOP
INCLUDING UPGRADING THE EXISTING OUTDOOR DECK + PATIO

Zoning District in which land is located: PD. PLANNED DEVELOPMENT

Names and Addresses of architect, professional engineer and contractor of project:

McCORMACK + ETTEN/ARCHITECTSHP, 400 BROAD ST., LAKE GENEVA, WI 53147

Short statement describing activities to take place on site:

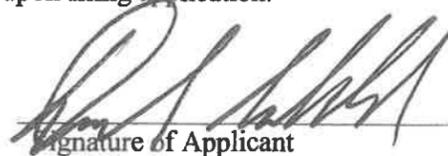
IN ADDITION TO SEVERAL RETAIL SPACES, THE PROPOSED
NEW BREWERY, TAP ROOM + GIFT SHOP, THE OWNER WOULD
CREATE INDOOR + OUTDOOR COMMERCIAL ENTERTAINMENT
USES WHICH ARE ALLOWED AS CONDITIONAL
USES UNDER THE CENTRAL BUSINESS (CB)
ZONING DISTRICT.

PIP Amendment fee \$400.00, payable upon filing application.

12.7.18

Date

UPDATED 2.7.19


Signature of Applicant

DANIEL E. SCHULD 727 GENEVA ST. Cost Recovery # _____
Petitioner Name LAKE GENEVA, WI
Project Address 53147

OFFICE USE ONLY Description of Request _____

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** Surplus deposits shall be returned to the Applicant at the conclusion of the project.

Project: DANIEL E. SCHULD, as applicant/petitioner for
PROPOSED NEW BREWERY, TAPROOM + SHOPS
Project Address: 727 GENEVA ST., LAKE GENEVA, WI 53147
Name: DANIEL E. SCHULD
Address: 281 KEYES AVENUE
HAMPSHIRE, IL 60140

Cell Phone: 847-778-7070 Phone: () - -

Email: daneschuld@gmail.com

Dated this 7 Day of DECEMBER, 20 18

DANIEL E. SCHULD
Printed Name of Applicant / Petitioner

Signature of Applicant/Petitioner 

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

Prior to submitting the 20 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

(1) A location map of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

(2) A map of the subject property for which the PD is proposed:

- Showing all lands within 300 feet of the boundaries of the subject property;
- Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- Map and all its parts clearly reproducible with a photocopier;
- Map size of 11" by 17" and map scale not less than one inch equals 800 feet;
- All lot dimensions of the subject property provided;
- Graphic scale and north arrow provided.

(3) A general written description of proposed PIP including:

- Specific project themes and images;
- The specific mix of dwelling unit types and/or land uses;
- Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;
- The specific treatment of natural features;
- The specific relationship to nearby properties and public streets.
- A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.
- A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall

be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

- (4) **A Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*
- A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;
 - Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;
 - Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
 - Notations relating the written information (3), above to specific areas on the GDP Drawing.

- (5) **A Property Site Plan drawing which includes:**
- A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
 - The date of the original plan and the latest date of revision to the plan;
 - A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
 - A reduction of the drawing at 11" x 17";
 - A legal description of the subject property;
 - All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
 - All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
 - All required building setback lines;
 - All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
 - The location and dimension (cross-section and entry throat) of all access points onto public streets;
 - The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

- The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- The location of all outdoor storage areas and the design of all screening devices;
- The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property – including the clear demonstration of compliance with Section 98-707;
- All engineering requirements for utilities, site designs, etc;
- The location and type of any permanently protected green space areas;
- The location of existing and proposed drainage facilities for storm water;
- In the legend, data for the subject property on:
 - Lot Area;
 - Floor Area;
 - Floor Area Ratio (b/a);
 - Impervious Surface Area;
 - Impervious Surface Ratio (d/a);
 - Building Height.

- (6) **A landscaping plan for subject property**, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.
- (7) **A series of building elevations** for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.
- (8) **A general signage plan** including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.
- (9) **A general outline of the intended organizational structure** for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.
- (10) **A written description** which demonstrates the full consistency of the proposed PIP with the approved GDP.
- (11) **A written description** of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,

- ____ (12) Proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development.

**FINAL APPLICATION PACKET INFORMATION
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)**

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/PIP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

- ____ **Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____
- ____ **Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____
- ____ **A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.** Date: _____ by: _____
- ____ **Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:** Date: _____ by: _____
- ____ **Class 2 Legal Notice sent to official newspaper by City Clerk:** Date: _____ by: _____
- ____ **Class 2 Legal Notice published on _____ and _____ by: _____**

December 7, 2018

Updated: February 7, 2019

Mr. Fred Walling
Building Inspector / Zoning Administrator
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

Re: APPLICATION FOR AMENDMENT TO
GDP – GENERAL DEVELOPMENT PLAN &
PIP – PRECISED IMPLEMENTATION PLAN
PD - PLANNED DEVELOPMENT ZONING
PROPOSED BREWERY, TAP ROOM & SHOPS
GENEVA STREET VILLAGE
727 GENEVA STREET
LAKE GENEVA, WISCONSIN
JOB NO. 1840

Dear Mr. Walling & Plan Commission Members:

Dan Schuld wishes to amend the *PD - Planned Development Zoning* for **Geneva Street Village** at **727 Geneva Street, Lake Geneva, Wisconsin, Tax Key #ZOP 00157**, to allow for the creation of a **New Brewery, Tap Room & Shops** within the *Existing Building*, as described below.

The *Existing Site* consists of approximately **13,754 sq. ft. or 0.32 acres**. In addition to the *Existing Building*, the *Site* contains a paved **Outdoor Terrace** and a **Storage Garage** on the north side, and **Outdoor Deck** and **Access Ramp** on the south (**Geneva Street**) side, and a limited amount of **landscaped and green areas** on the south and west sides.

The *Existing Building* consists of the original *former First Baptist Church*, the *former Parsonage*, and *connecting Entry Structure* that was built in **1998** when the **Building** was first remodeled for the *Geneva Street Village*. The *former Church* is a one story, brick and wood frame structure with a *Basement* that was built in **1910**. The *former Parsonage* is a two-story wood framed structure that is also over **100 years old** and the *connecting Entry Structure* dates to **1998** when the building was purchased and remodeled to create a group of small retail spaces called *Geneva Street Village*. The building was recently purchased by **Dan Schuld** who would now like to reconfigure the original **Church** space as a **Brewery & Tap Room** with the balance of the structure to include several other retail businesses. Under the **Lake Geneva Zoning Ordinance**, the **current use** was classified as *"Indoor Commercial Entertainment"*, which was a **Conditional Use** within the *CB - Central Business Zoning District*. *When the Building was remodeled in 1998, the zoning was changed to PD - Planned Development.*

In its present configuration, the **Building** contains **retail spaces, a book store, a cooking school, bathrooms, storage and mechanical space** on the *Main Floor*. The *Lower Level* of the *former Church* includes **retail spaces, bathrooms, storage and mechanical space**. The *Second Floor* of the *former Parsonage* contains private office space for the **Owners** and is not open to the public.

A. *Dan Schuld wishes to construct a small New Brewery & Tap Room within the Main Floor of the former Church, upgrade the Existing Outdoor Deck on the south side of the property in the area between the Building and the sidewalk along Geneva Street, remodel the Existing Patio on the north side as a Beer Garden, and continue to maintain several small retail spaces within the building. The intention would be to accommodate a maximum of approximately 200 occupants in the New Brewery & Tap Room on the First Floor and the Lower Level, include seasonal Outdoor Seating on the Existing Outdoor Deck on the south and New Beer Garden on the north side. The Existing Garage would remain and be used for storage.*

The New Reconfigured Site Plan, as currently proposed, would include the following:

FORMER CHURCH		EXISTING SOUTH	
BASEMENT LEVEL	4,075 sq. ft.	ACCESS DECK & RAMP	633 sq. ft.
FORMER CHURCH		EXISTING NORTH	
MAIN FLOOR	4,075 sq. ft.	ACCESS DECK & RAMP	752 sq. ft.
FORMER PASONAGE		EXISTING OUTDOOR	
FIRST FLOOR	1,504 sq. ft.	SOUTH SEATING DECK	571 sq. ft.
FORMER PASONAGE		EXISTING NORTH	
SECOND FLOOR	1,340 sq. ft.	PATIO / BEER GARDEN	2,020 sq. ft.
EXSTG. CONNECTING		EXISTING GARAGE	
ENTRY STRUCTURE	610 sq. ft.		408 sq. ft.

B. Under the current *City of Lake Geneva Zoning Ordinance*, the property is zoned **PD - Planned Development District** but it is surrounded by **CB - Central Business Zoning**. Several facts should be considered when viewing the remodeling for a **New Brewery & Tap Room with Shops** on this site:

- It is a unique, historic existing structure on a very limited site that was originally zoned **CB-Central Business** and has been a multi-tenant commercial building since 1998 when it was rezoned to its current **PD-Planned Development** zoning.

- It is located in close proximity to the *Central Business District Zoning* and its configuration would be more nearly in keeping with the criteria for the *Central Business (CB) District*. It should be noted that the City currently allows for outdoor dining on the City street right-of-way within specific parameters. The proposed Outdoor Deck Area and Beer Garden and would be entirely within the property currently owned by the Geneva Street Village would increase the seating capacity of the Brewery / Taproom only seasonally.
- Since 2001, the adjoining properties along Broad Street were rezoned to CB - Central Business Zoning which relieved them of parking requirements for most commercial uses.

Since the Existing Geneva Street Village building, site and proposed use are so unique, we believe the best option would be to allow an Amendment to the current PD- Planned Development with criteria similar to those used in the Central Business (CB) Zoning District and to allow uses Permitted by Right or as Conditional Uses under CB Zoning.

C. Zoning Intensity and Bulk Standards Under CB - Central Business Zoning (Nonresidential Uses) That Would Be Met:

Maximum Number of Floors:	4 Floors Allowed / 2 Stories + Basement Provided. (3 Floors Total)
Minimum Lot Area:	1,750 s.f. Required / 13,754 s.f. Actual
Minimum Lot Width:	20' Required / 104.81' Provided.
Maximum Bldg. Height:	45' Max. / 20' Min. / Approx. 45' Actual
Front Street Setback @ Geneva Street:	0' Required @ Side Street Side 6' Provided
Side Street Setback @ Broad Street:	0' Required @ Front Street Side 2' Provided
Min. Rear Lot Line Setback @ North Side:	10'-0" Required / +/- 20'-0" Actual
Min. Paved Surface Setback:	0' Required / 2'+/- Actual on Broad St.
Min. Landscape Surface:	0% Required / 7% Provided (1,958 s.f.)
Maximum Floor Area Ratio:	3.0 Allowed / 0.94 Actual (12,984 s.f. Building / 13,754 s.f. Lot)

D. Zoning Standards Under the present PD – Planned Development / Central Zoning (Nonresidential Uses) That Would Not Be Met:

Required Parking: Indoor & Outdoor Commercial Entertainment
1 per Every 3 Patron Seats or at maximum
capacity of establishment / None provided.

The following documents are enclosed to facilitate the review of the proposed Planned Development rezone:

1. A *Location Map of the Subject Site* and other lands within 300 feet of the Subject Site on the *City of Lake Geneva Zoning and Land Use Map*.
2. A *Certified Survey Map* which depicts the dimensions of the *Subject Site*.
3. A *General Written Description* of the *Proposed Amended GDP and Potential Requested Exemptions*.
4. A *Site Plan, Floor Plans & Elevations* of the proposed additions and changes to the Building.
5. *Landscaping, Signage, Exterior Colors & Lighting Information*.

Thank you for your consideration of the above project. Please let me know if you need additional information or have any questions.

Sincerely,

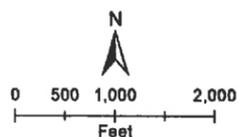


Kenneth L. Etten A.I.A.
McCormack + Etten / Architects

A. GENERALIZED LOCATION MAP

City of Lake Geneva Zoning Map

March 19, 2015

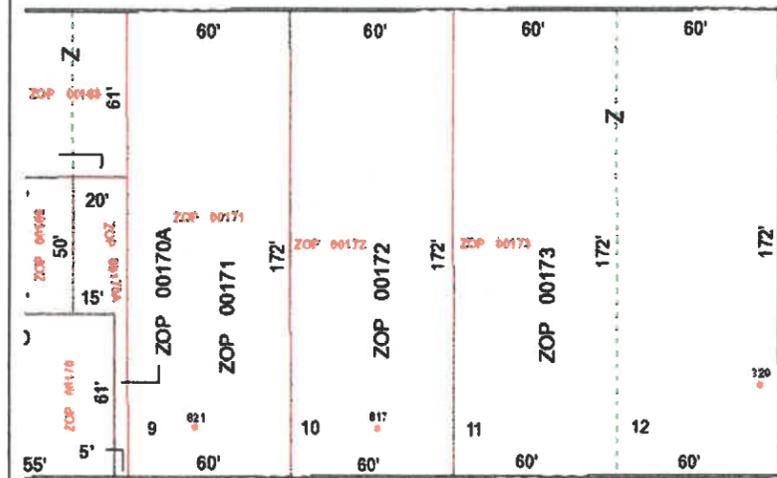
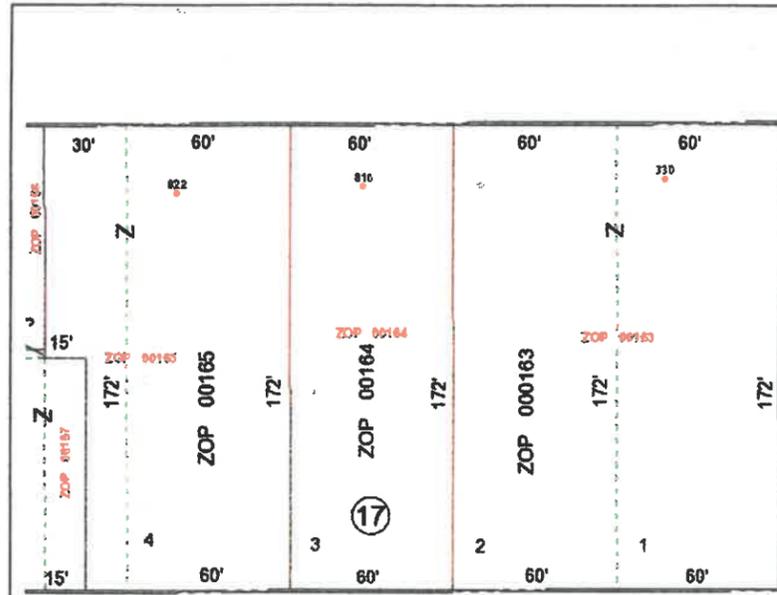


gai consultants
INCORPORATED 1988 AND 1997

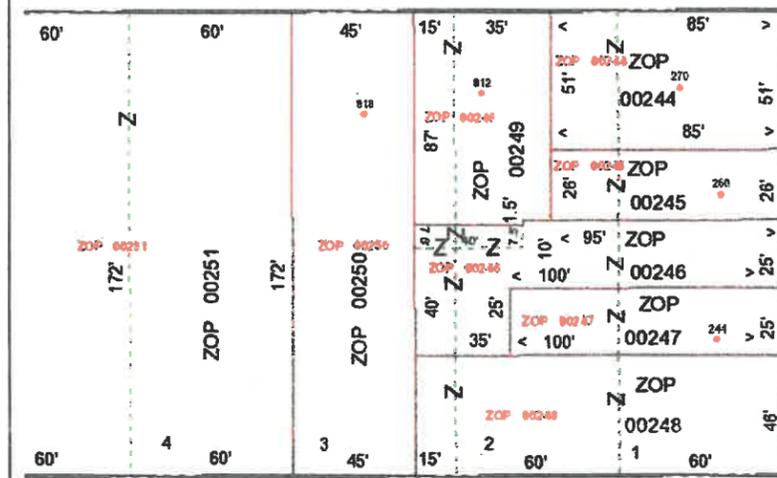
SUBJECT SITE

- RH** **Rural Holdings**
Areas for agricultural uses; agricultural support businesses; schools, parks, churches or very low density single-family residential at a density of less than one dwelling unit per 35 acres.
 - CR-5** **Countyside Residential - SAC**
Areas for very low density single-family development at maximum densities of one dwelling unit for every five gross acres, and support institutional uses such as schools, parks, and churches.
 - ER-1** **Estate Residential-1**
Areas for low density single-family development at maximum densities of one dwelling unit per acre, and support institutional uses such as schools, parks, and churches.
 - SR-3** **Single-family Residential-3**
Areas for moderate density single-family development at maximum densities of three dwelling units per acre, and support institutional uses such as schools, parks, and churches.
 - SR-4** **Single-family Residential-4**
Areas for moderate density single-family development at maximum densities of four dwelling units per acre, and support institutional uses such as schools, parks, and churches.
 - PD** **Planned Development**
Areas approved for planned development zoning unique to the subject property.
 - TR-6** **Two-family Residential-6**
Areas for single-family detached and two-family residential development at densities up to six dwelling units per acre, and support institutional uses such as schools, parks, and churches.
 - MR-8** **Two-family Residential-8**
Areas for mixed single-family detached and two-family, and multi-family residential development at densities up to eight dwelling units per acre and support institutional uses.
 - C-2** **Resource Conservation**
Areas for fishing, floodwater overflow and storage; pedestrian trails; preservation of scenic, historic and scientific areas; soil and water conservation; stream bank and lakeshore protection; water retention ponds and wildlife areas.
 - NO** **Neighborhood Office**
Areas for high-quality office and office-support commercial uses in older, transitioning residential areas of the community. Residential qualities set an attractive, high quality character.
 - PO** **Planned Office**
Areas for office and office-support commercial and service uses. Generous landscaping and limited signage set an attractive, high quality character.
 - NB** **Neighborhood Business**
Areas for small scale, neighborhood-oriented service and retail uses, which shall not spread into adjacent residential areas. (generous landscaping and limited signage)
 - PB** **Planned Business**
Newly developing areas for a full complement of commercial, office, and institutional uses. (Generous landscaping and limited signage)
 - GB** **General Business**
Existing areas for a full complement of commercial, office, and institutional uses (moderate amounts of landscaping and signage)
 - CB** **Central Business**
Areas for a full complement of downtown and high density neighborhood character commercial, office, and institutional uses. (Pedestrian-oriented landscaping and signage)
 - PI** **Planned Industrial**
Areas for a full complement of indoor office, manufacturing, assembly and storage uses. Generous landscaping and limited signage set an attractive, high-quality character.
 - GI** **General Industrial**
Areas for a full complement of indoor light and heavy industrial land uses, and carefully controlled outdoor storage uses. Moderate amounts of landscaping and signage set an attractive character.
 - HI** **Heavy Industrial**
Areas for primarily outdoor and/or heavy industrial production, storage, extraction and disposal uses.
 - PBP** **Planned Business Park**
Areas approved for planned development zoning unique to the subject property.
-
- Primary Environmental Corridor
 - Woodlands Overlay
 - Lakeshore Overlay
 - City Boundary
 - Downtown Design Review
 - Drainage Way
 - Slopes (12% or greater)
 - Shorelines, Ponds and Streams
 - FEMA Floodplain Overlay

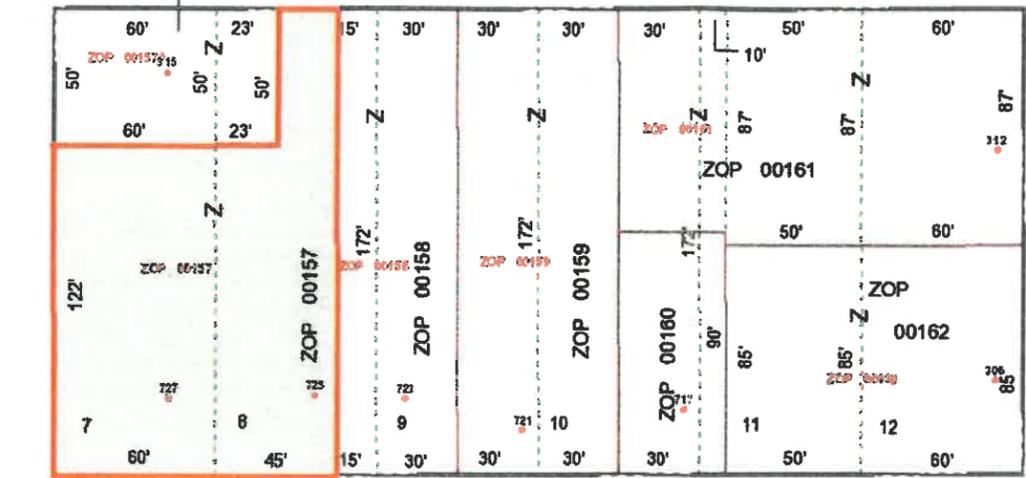
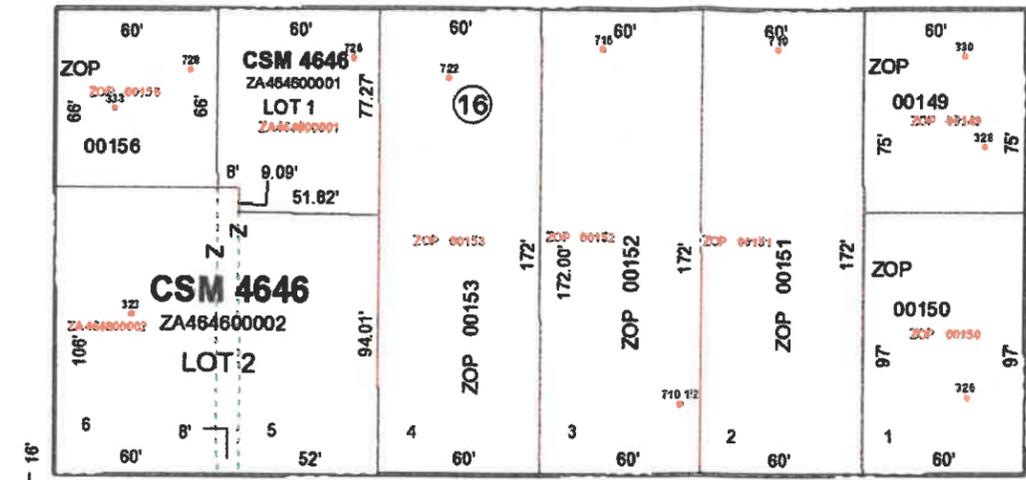
**B. MAP OF SUBJECT PROPERTY
AND CERTIFIED SURVEY MAP**



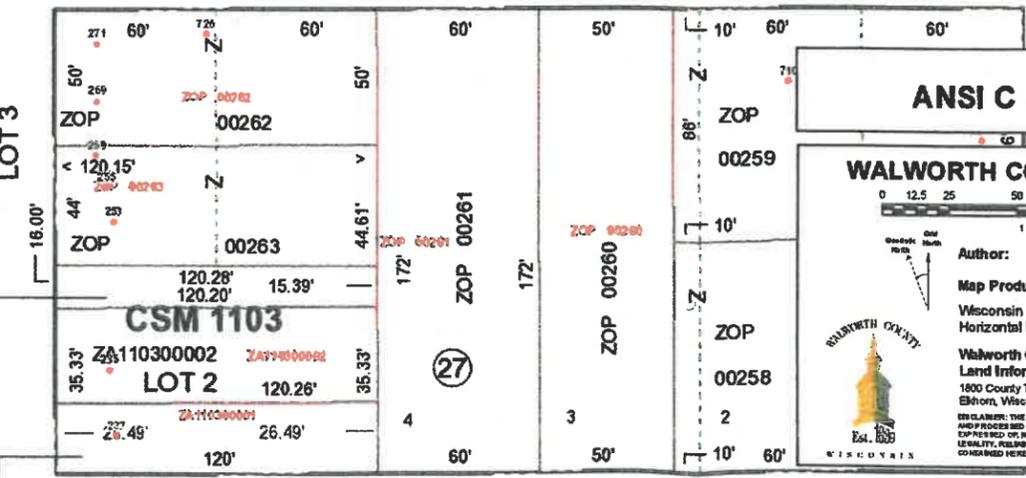
STREET



BROAD



STREET



ANSI C Landscape

WALWORTH COUNTY, WISCONSIN

0 12.5 25 50 75 100 125 Feet

1 inch = 42 feet

Author:

Map Produced on: 9/7/2016

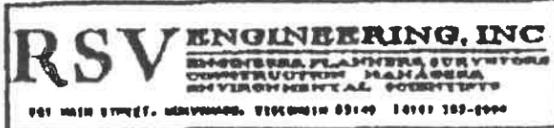
Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27

Walworth County Information Technology Department
Land Information Division
1800 County Trunk NN
Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESSED OR IMPLIED, IS MADE REGARDING ACCURACY, ADEQUACY, COMPLETENESS, LIABILITY, RELIABILITY OR USEFULNESS OF THE INFORMATION. THE INFORMATION CONTAINED HEREIN SHALL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.

**C. GENERAL WRITTEN DESCRIPTION
& POTENTIAL REQUESTED
EXEMPTIONS**

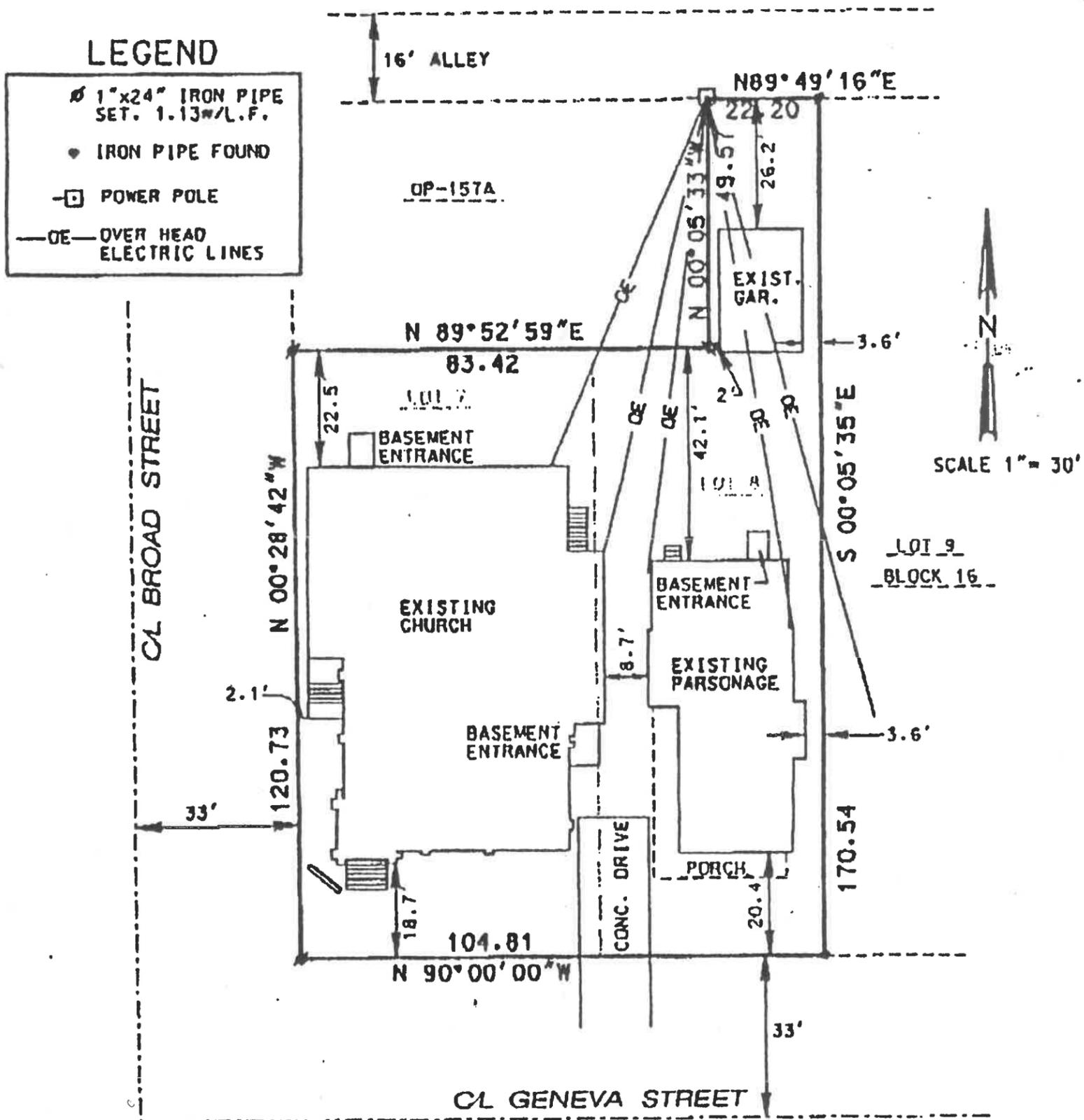
PLAT OF SURVEY



FOR: KEEFE REAL ESTATE, INC.

DATE: 9/11/97

DESCRIPTION: BEING PART OF LOTS 7 AND 8 OF BLOCK 16, OF THE ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN BEING MORE COMPLETELY DESCRIBED AS FOLLOWS: COMMENCING AT THE SW CORNER OF SAID LOT 7; THENCE WITH THE EASTERLY RIGHT OF WAY OF BROAD STREET $N00^{\circ}28'42''W$, A DISTANCE OF 120.73' TO A POINT; THENCE $N89^{\circ}52'59''E$, A DISTANCE OF 83.42' TO A POINT; THENCE $N00^{\circ}05'33''W$, A DISTANCE OF 49.57' TO A POINT; THENCE $N89^{\circ}49'16''E$, A DISTANCE OF 22.20' TO A POINT; THENCE $S00^{\circ}05'35''E$, A DISTANCE OF 170.54' TO A POINT ON THE NORTHERLY RIGHT OF WAY OF GENEVA STREET; THENCE WITH SAID RIGHT OF WAY $N90^{\circ}00'00''W$, A DISTANCE OF 104.81' TO THE POINT OF BEGINNING. SAID PARCEL CONTAINING 13814 S.F.



THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF ALL THE PROPERTY, EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCRUACHMENTS, IF ANY.

THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HERETO.

BRADFORD L. SPENCER, R.L.S. 2069
RSV#97222.UGN

GENERAL WRITTEN DESCRIPTION OF PROPOSED PLANNED DEVELOPMENT AMENDMENT

Dan Schuld respectfully requests an *Amendment to PD - Planned Development Zoning* for his property to allow for the remodeling of the *Geneva Street Village Building* as described herein.

A. The *Existing Building* is located in the **City of Lake Geneva** at **727 Geneva Street** and presently consists of a **two story structure** with a partial basement plus a small **Garage** on the north. The main portion was originally a **Church and Parsonage** that was converted to a **commercial / retail use** in **1998** and operated for the past 20 years with a number of small retail businesses including a cooking school. *The last major remodeling of the building took place in 1998 when it was converted from a vacant Church to a multi-tenant commercial building.*

B. The *Existing Site* consists of **13,754 sq. ft.** or approximately **0.32 acres**. Under the current *PD - Planned Development Zoning*, the **Proposed Building Use** as a **Brewery & Tap Room with Outdoor Open Decks** is classified as *Indoor and Outdoor Commercial Entertainment*, which is a **Conditional Use** within the *CB - Central Business Zoning District*. *Portions of the Building will also continue to be used for Indoor Sales & Service along with all other uses permitted by right in the Central Business District.* In its present configuration, the **Building** contains a mix of small **commercial / retail shops** in the **original Church structure** on the **Main Floor** and the **Lower Level** and a **cooking school** in the **original Parsonage** plus **mechanical, storage and bathroom space**. There is also an **Existing Open Deck** on the south side of the **Church** and an **Open Paved Courtyard** on the north side plus **Open Handicapped Accessible Ramps and Porches** on the south and north plus a small **Garage / Storage Building** in the northeast corner of the property. There are limited green areas on the west, south and east sides of the **Building**. *The Site contains no on-site parking but there is public on-street parking on the Broad and Geneva Street plus two public Parking Lots within a block of the site.*

C. The *Proposed Brewery & Tap Room* **Dan Schuld** wishes to construct would consist of a small **Brewery** space for the production of beer on site along with a **Tap Room** and small **Gift Shop** on the **Main Floor** and additional **Tap Room** seating and **Brewery** space on the **Lower Level**. In addition, the **Existing Outdoor Deck** would be upgraded and used for seating along with the **Existing North Patio** for use as a **Beer Garden** with an **Outdoor Food Trailer**. The **Building** would also continue to include several small **Retail Spaces** in the **Church and Parsonage** structures. *This Proposed Outdoor Deck Area would be used only when weather conditions permit.*

D. The Owner wishes to continue the **Finish Materials** and **Landscaping** of the *Existing Building* in keeping with the current style. The **Exterior Finish Materials** would be predominately the same as the existing with minor upgrades to replaced damaged and/or aged materials. The colors would be consistent with the **current earth tones**, including **red brick, shades of white, terra cotta, and brown**. New **Landscaping, Signage and Lighting** would be done on the **Broad Street** and **Geneva Street** sides of the property in conjunction with the upgrades to **Existing Outdoor Deck Area** and the **Beer Garden Patio**. *One of the most significant requests would be for the Owner to provide an Outdoor Food Trailer in the Beer Garden on the north side of the Building and to install a new decorative Sculptural Monument Sign adjacent to the building to highlight its new use as a Brewery. In the future, he may also wish to raze the Existing Garage and replace it with a New Brewery addition attached to the Existing Building.*

E. *Dan Schuld wishes to operate the New Brewery & Tap Room, both indoor and outdoor spaces including the Outdoor Food Trailer, within the normal hours of operation as permitted under his brewery license and the Lake Geneva Ordinances for this type of facility.*

WRITTEN JUSTIFICATION FOR REQUESTING PLANNED DEVELOPMENT ZONING AMENDMENT

There are several reasons for requesting the *Amendment to the Existing PD - Planned Development Zoning* under the **Lake Geneva Zoning Ordinance**, including the following items:

- 1. SETBACKS:** Under *CB - Central Business District* requirements that exist on the adjoining properties, the required setback to a **Street Side Lot Line** would be 0' on **Geneva and Broad Streets**. The required **Side Lot Line Setback** on the East side would be 0', and the **Minimum Paved Surface Setback** would be 0'. The *Existing Building*, as situated, would be 2.25' from the 100' right-of-way for **Broad Street** on the west side, 2' off the right-of-way on **Geneva Street** on the south side, and approximately 5' from the **Non-Residential** property on the east side. The **Existing Paved Surface** on the north side abuts the lot line and the **Existing Garage** is 26' off the alley to the north and 3'-6" off the property to the east. *The Existing Outdoor Deck and New Beer Garden would be entirely within the Petitioner's property. The Owner would request an amendment to allow the use of the normal CB – Central Business Setback requirements.*
- 2. OFF STREET PARKING SPACES:** The *Geneva Street Village Building* could, based on the *2015 International Building Code*, in theory have a **maximum occupancy** of approximately **128 people** on the **Main Floor Brewery / Bar** and **60 people** on the **Lower Level** plus an additional approximately **38 people** on the **Existing Outdoor Deck** and **40 people** in the **Proposed Beer Garden** on the north side for a total of approximately **266 people**. *Taking into account a comfortable arrangement of tables and chairs plus circulation space, the actual seating provided would probably be well under 200.* The requirements of the **Central Business District** for **Indoor Commercial Entertainment** require **1 Parking Stall** for every **3 Patron Seats**. *There is metered public parking on Broad Street and Geneva Street and two public parking lots less than a block away. The Owners would request an amendment and variance from any on-site parking requirements.*
- 3. SPECIFIC PERFORMANCE STANDARDS:** This *Building* has been a part of the **Lake Geneva** community for over 100 years. From its remodeling from a **Church** to its current use as a **Multi-tenant Commercial Building** in 1998, there have been a commercial / retail uses at this location for 20 years. *Very few of the buildings on Broad Street within the adjoining CB - Central Business Zoning District would meet the Bulk and Intensity requirements or the Parking requirements called for in the Zoning Ordinance.* Given the location and the intent of the *CB - Central Business Zoning District*, we believe that this project with the proposed improvements would be an asset to the City of Lake Geneva. *Dan Schuld requests the cooperation of the Plan Commission and the City Council in allowing this Amendment to the current PD – Planned Development Zoning.*

D. PLANS AND ELEVATIONS



SIGNAGE EXISTS
ON BOTH SIDES
OF BELL TOWER

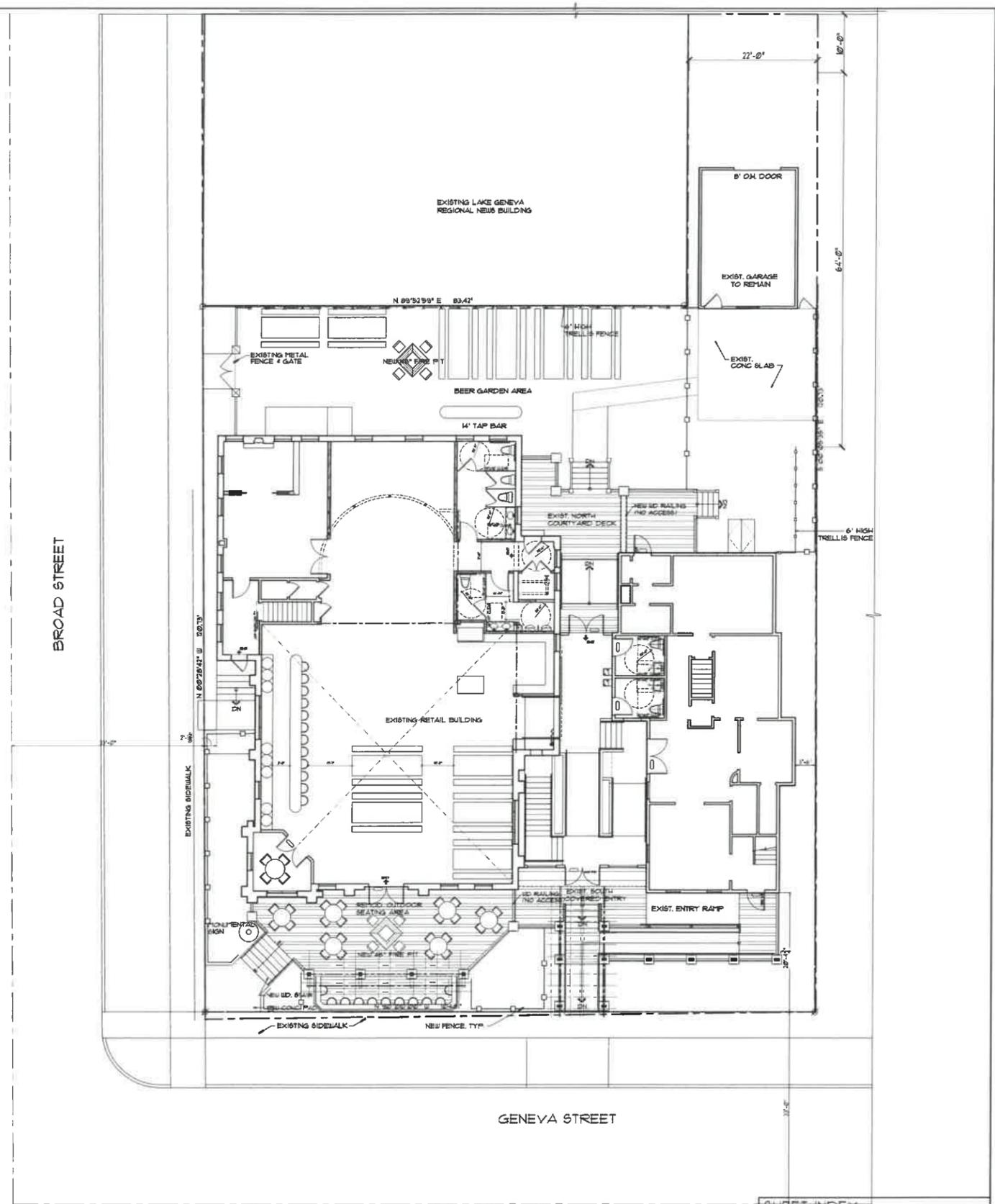
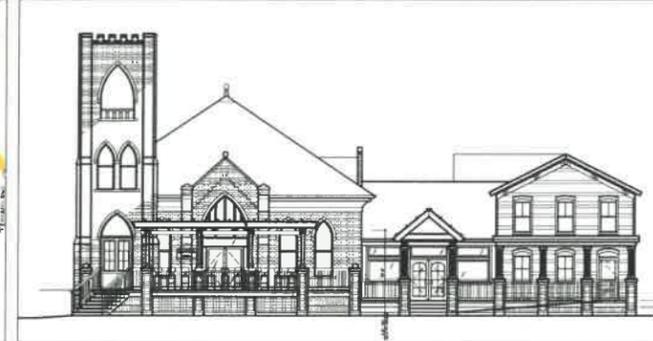
PROPOSED SOUTH ELEVATION (GENEVA STREET)

ADDITIONS AND ALTERATIONS TO THE GENEVA STREET VILLAGE 127 GENEVA STREET LAKE GENEVA, WISCONSIN 53147

LOCATION MAP



PROJECT SKETCH



PROPOSED SITE PLAN
SCALE: 1" = 10'

SHEET INDEX:

NO.	DESCRIPTION
01	LOCATION & PROPOSED SITE PLAN
02	EXISTING SITE PLAN
03	EXISTING LOWER LEVEL PLAN
04	EXISTING FIRST FLOOR PLAN
05	EXISTING SOUTH & WEST ELEVATIONS
06	PROPOSED LOWER LEVEL PLAN
07	PROPOSED FIRST FLOOR PLAN
08	PROPOSED SOUTH & WEST ELEVATIONS

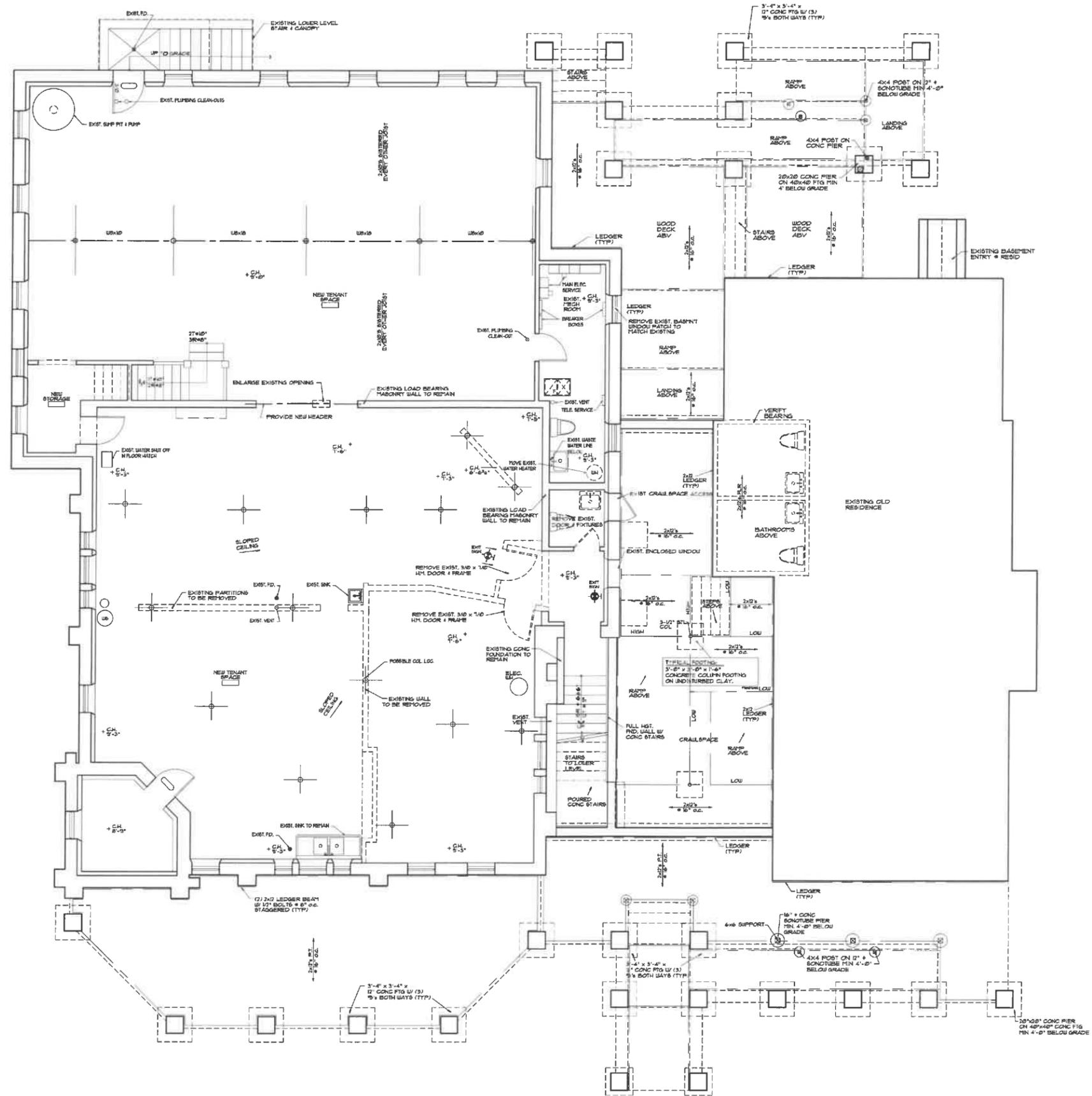
McCormack + Eiten / Architects, LLP
400 Broad Street
Lake Geneva, WI 53147
Ph: (262) 246-8901
contact@mccormackeiten.com
www.mccormackeiten.com

ADDITIONS AND ALTERATIONS TO THE
GENEVA STREET VILLAGE
127 GENEVA STREET
LAKE GENEVA, WISCONSIN 53147

PROJECT NO.
0340

REVISIONS

PRELIMINARY	DATE
DESIGN/REVISION	02.04.19
PERMIT	
CONSTRUCTION	
SHEET	
S-1	



ADDITIONS AND ALTERATIONS TO THE
GENEVA STREET VILLAGE
 1271 GENEVA STREET
 LAKE GENEVA, WISCONSIN 53147

PROJECT NO. 19-0

REVISIONS

PRELIMINARY
SCHEMATIC
PERMIT
CONSTRUCTION

DATE 02.04.18

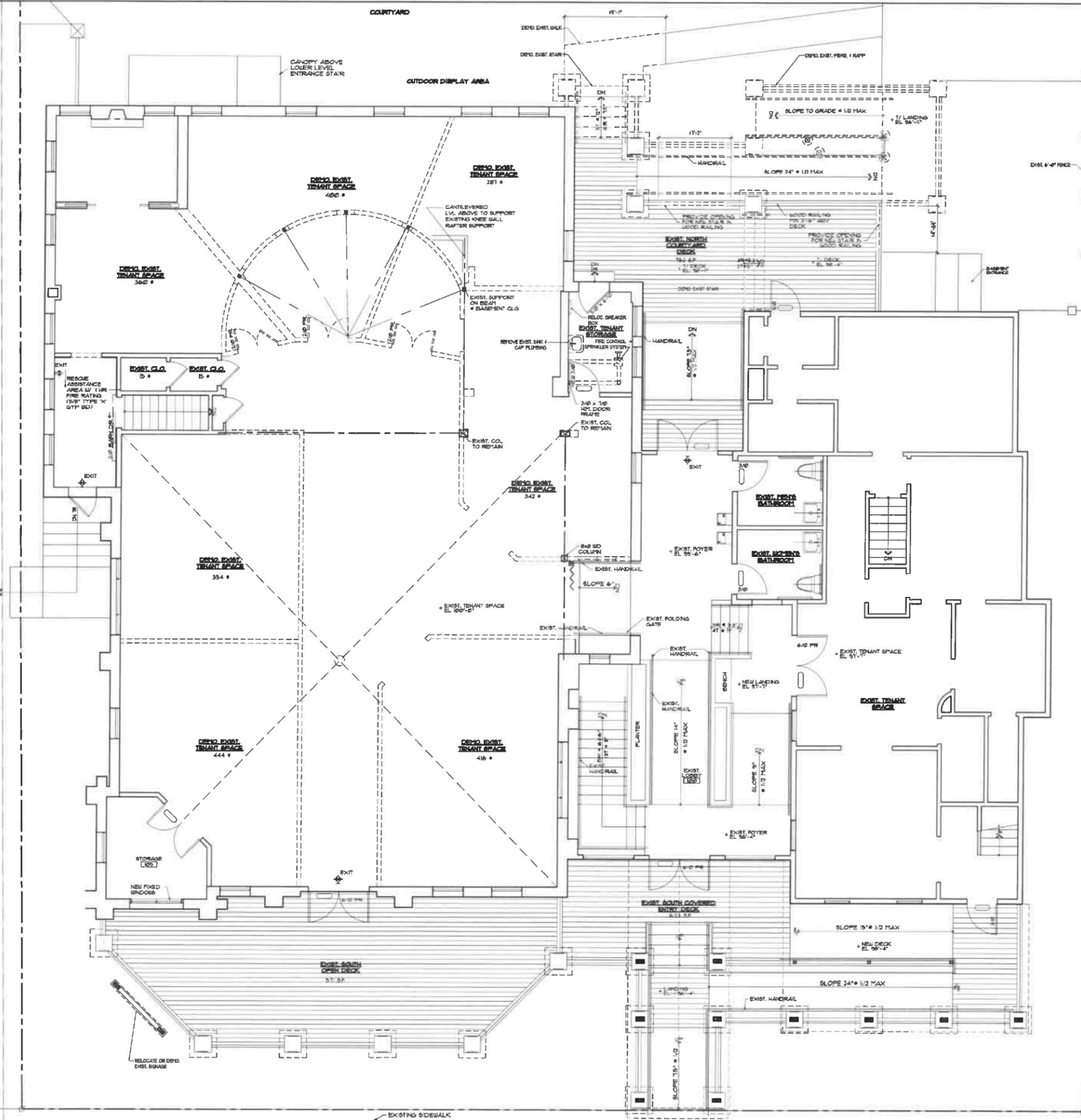
SHEET AB-1



EXISTING / DEMO. LOWER LEVEL PLAN
SCALE 1" = 1'-0"

BROAD STREET

EXISTING SIDEWALK



EXISTING SIDEWALK



EXISTING / DEMO. FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

McCormack + Eiten / Architects, LLP
 400 Broad Street
 Lake Geneva, WI 53147
 Ph: (262) 248-9381
 Fax: (262) 248-9382
 www.mccormackeiten.com

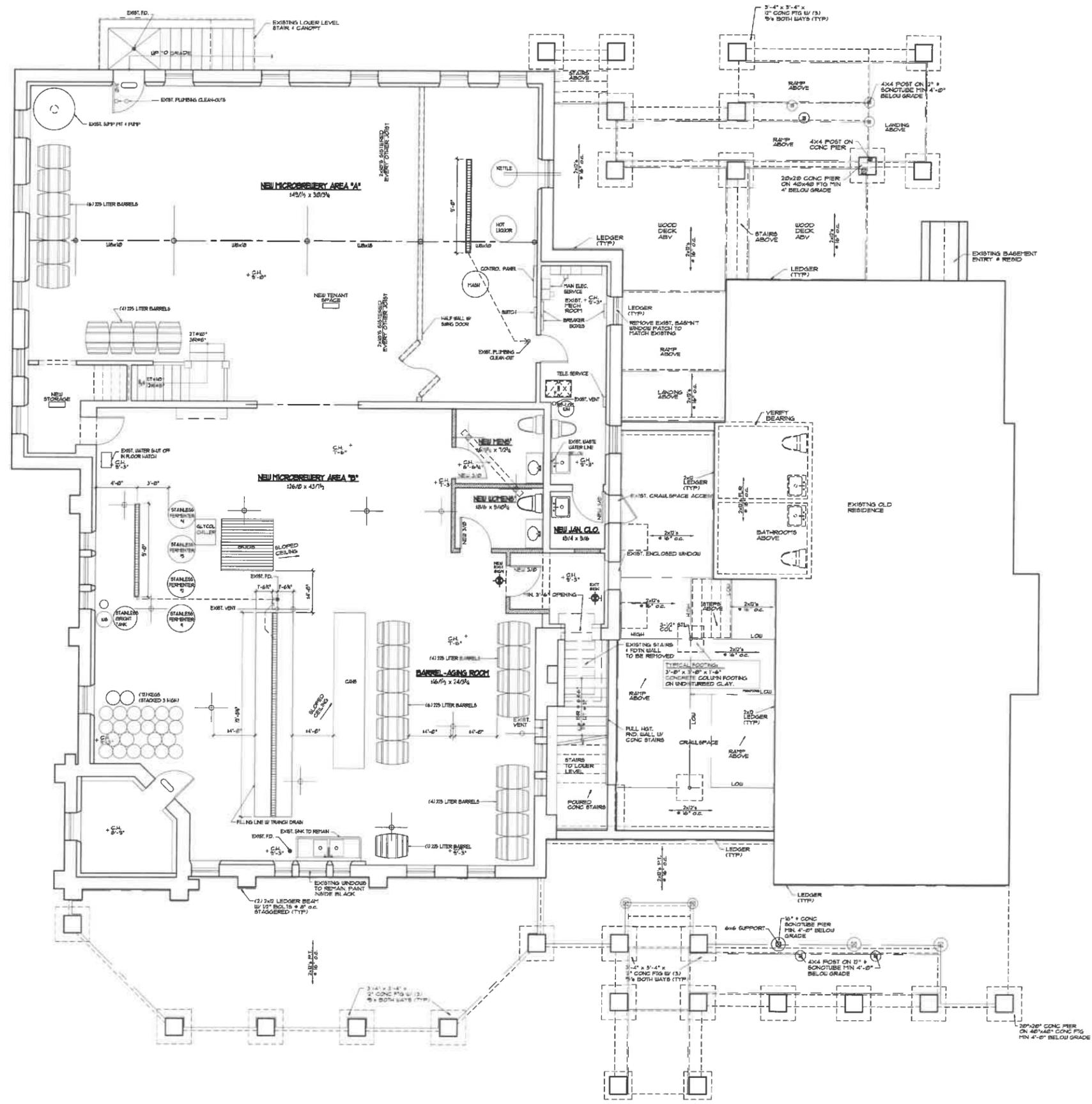


ADDITIONS AND ALTERATIONS TO THE
GENEVA STREET VILLAGE
 1711 GENEVA STREET
 LAKE GENEVA, WISCONSIN 53147

PROJECT NO.
1840

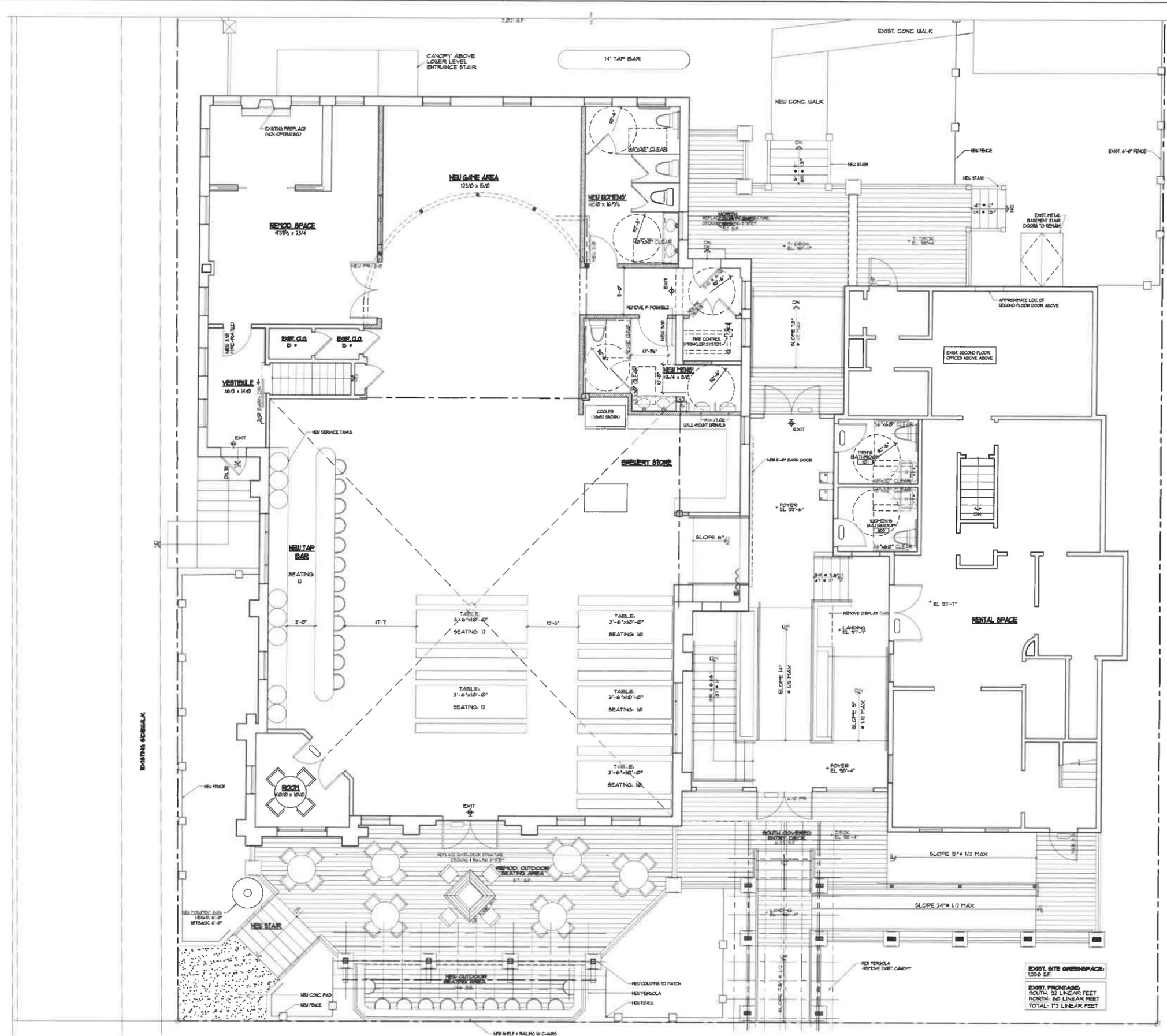
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DATE 02.04.13
SHEET AB-2
OF

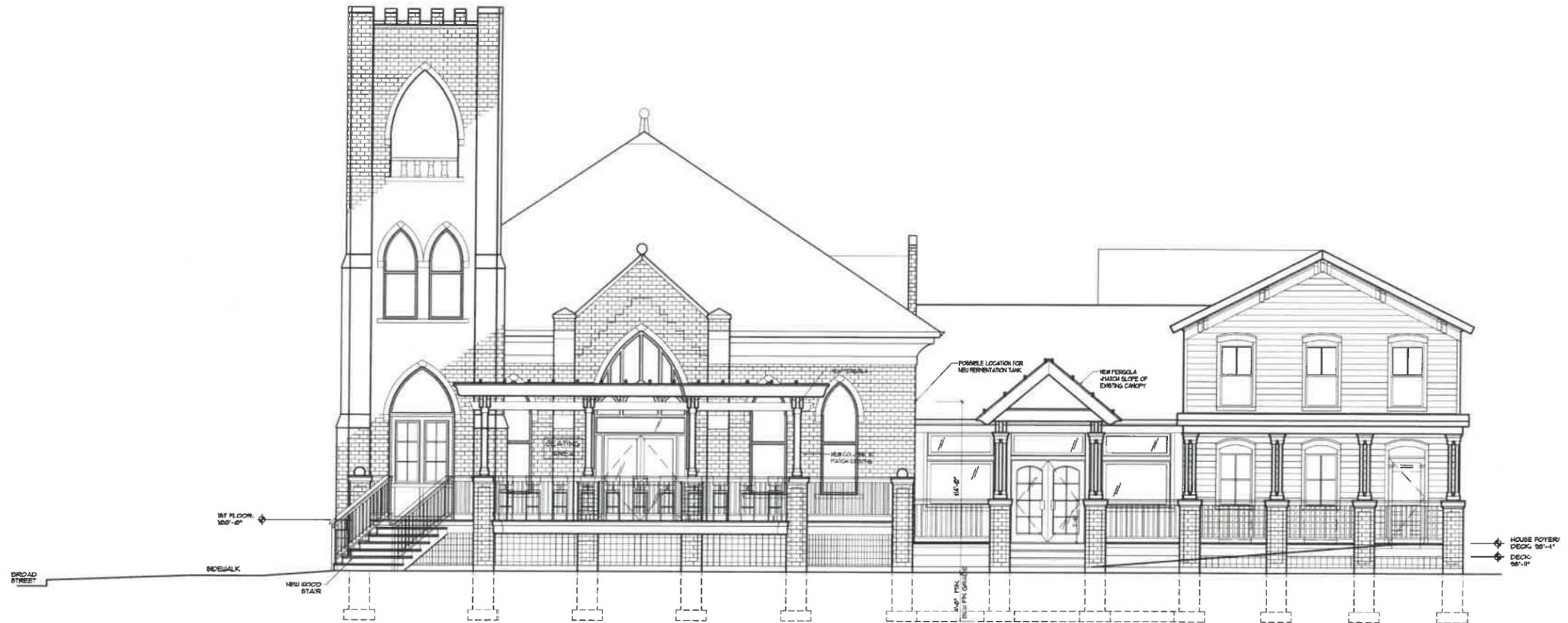




REVISIONS	
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<input type="checkbox"/>	PERMIT
<input type="checkbox"/>	CONSTRUCTION
DATE 02.04.19	
SHEET A-1	
OF	


PROPOSED LOWER LEVEL PLAN
 SCALE 1/8" = 1'-0"





PROPOSED SOUTH ELEVATION (GENEVA STREET)
SCALE 1/4" = 1'-0"



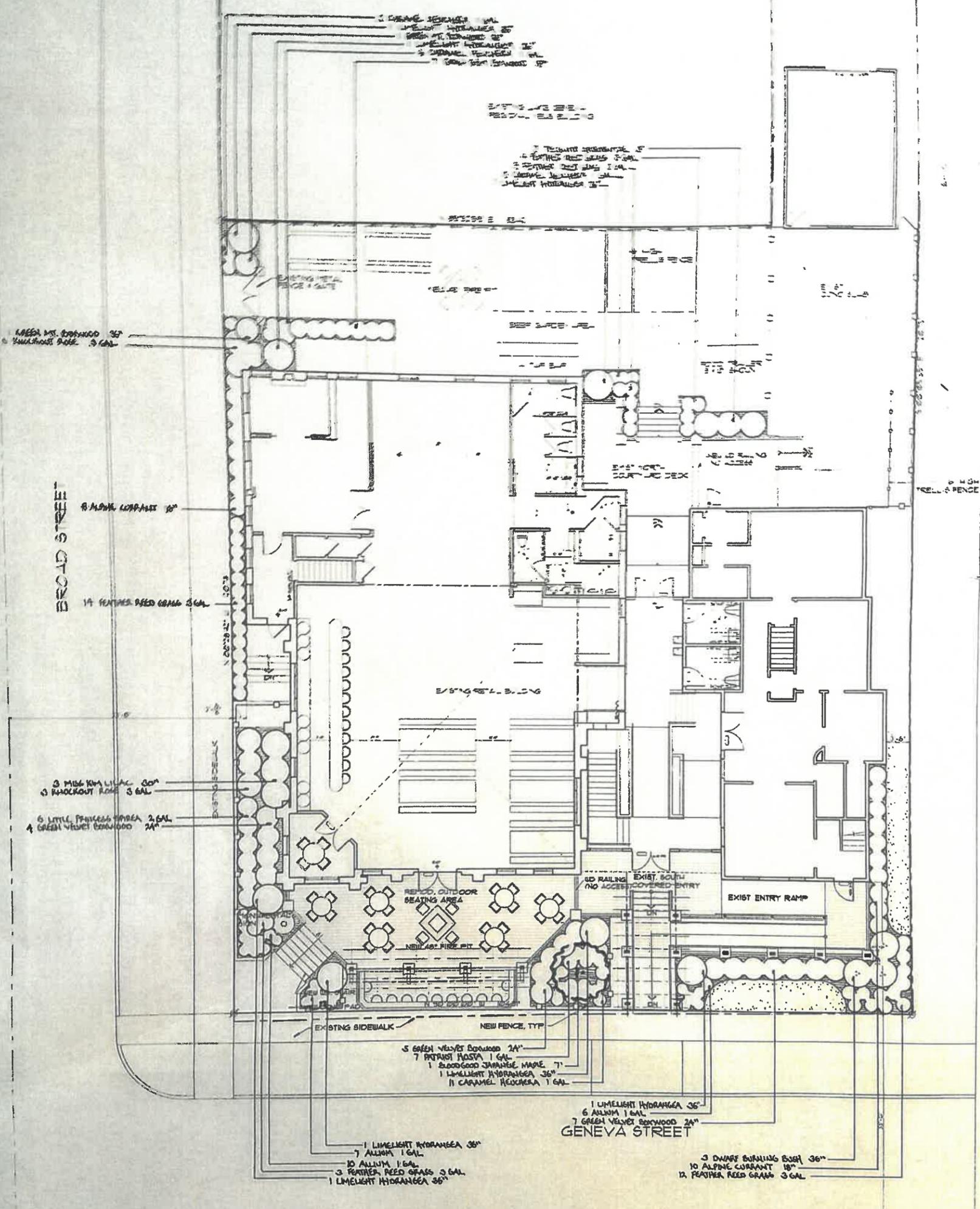
PROPOSED WEST ELEVATION (BROAD STREET)
SCALE 1/4" = 1'-0"

PROJECT NO. 1840

REVISIONS	
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<input type="checkbox"/>	CONSTRUCTION
DATE 02.04.19	
SHEET A-3	
OF 3	

**E. LANDSCAPING, LIGHTING, SIGNAGE
& ADDITIONAL INFORMATION**

25 25

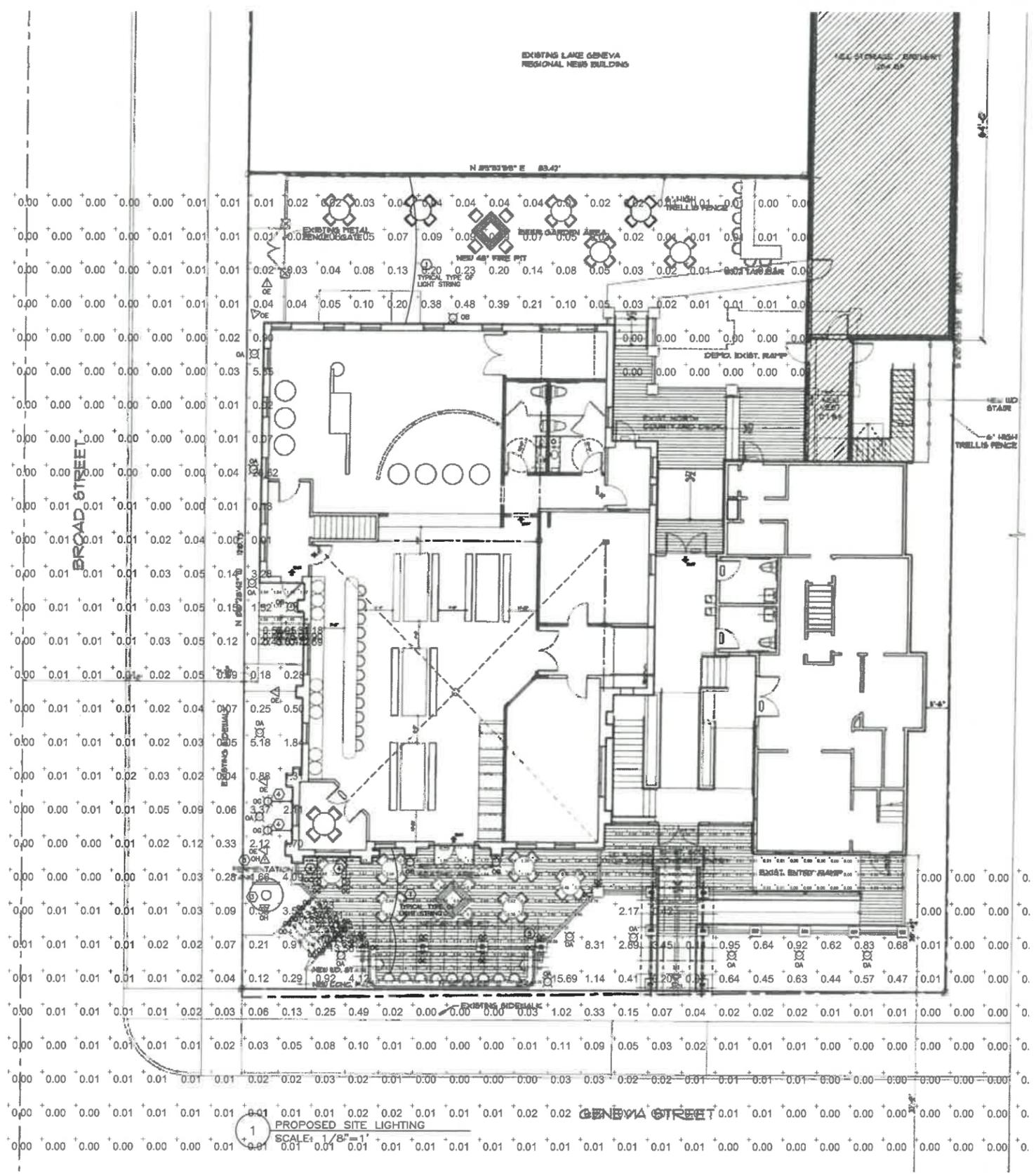


PROPOSED SITE PLAN

SCALE 1/4" = 1'-0"

SHEET INDEX:

NO.	DESCRIPTION
SI	LOCATION & PROPOSED SITE PLAN
AB01	EXISTING SITE PLAN
AB1	EXISTING LOWER LEVEL PLAN
AB2	EXISTING FIRST FLOOR PLAN
AB3	EXISTING SOUTH & WEST ELEVATIONS
A	PROPOSED LOWER LEVEL PLAN
A2	PROPOSED FIRST FLOOR PLAN
A3	PROPOSED SOUTH & WEST ELEVATIONS



1 PROPOSED SITE LIGHTING
SCALE: 1/8"=1'

- SHEET NOTES
- DECORATIVE LIGHT STRINGS TO BE ADDED ABOVE PERGOLA AND FROM PERGOLA TO BUILDING AT THE FRONT AND BETWEEN BUILDINGS AT THE REAR. IES FILES ARE NOT AVAILABLE FOR DECORATIVE LIGHT STRINGS AND CANNOT BE ADDED TO LIGHTING MODEL. THE DECORATIVE LIGHT STRINGS WILL ADD SEVERAL FOOT-CANDLES TO THE VALUES SHOWN ON THE DECK AND THE REAR OF THE BUILDING. LIGHT STRINGS TO BE INSTALLED ON DIMMERS AND CHECKED WITH A FOOT-CANDLE METER AFTER INSTALLATION. IF THE LIGHT STRINGS ARE TOO BRIGHT, THE LIGHTS CAN BE DIMMED DOWN. PRELIMINARY LIGHT STRINGS HAVE TWO WATT LED LAMPS.
 - PROVIDE LIGHTING CONTROLS TO MEET 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND WISCONSIN STATE CODE.
 - GROUND SIGN LIGHTING IS EXEMPT FROM LIGHTING ENERGY CALCULATIONS AND MUST BE SEPARATELY CONTROLLED FROM OTHER EXTERIOR LIGHTING. GROUND LIGHTS SHOULD BE SET BACK FROM THE SIGN APPROXIMATELY 3/4 OF THE SIGN HEIGHT.
 - TOWER SIGN LIGHTING IS EXEMPT FROM LIGHTING ENERGY CALCULATIONS AND MUST BE SEPARATELY CONTROLLED FROM OTHER EXTERIOR LIGHTING. LIGHTS MOUNTED ABOVE SIGN (APPROXIMATELY 15' AFF).
 - TYPICAL TYPE DC LIGHT MOUNTED LOWER ON COLUMN (APPROXIMATELY TO 3' AFF).



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DAVID L. HANSON AND ASSOCIATES, INC.
LICENSED PROFESSIONAL ENGINEERS
6402-32nd AVENUE
KENOSHA, WI 53142 (262) 654-2010

DATE
1/30/19

**GENEVA STREET VILLAGE
SITE LIGHTING**
727 GENEVA STREET
LAKE GENEVA, WI 53147

BUILDING SHEET
E11

COMcheck Software Version 4.1.0.0
Exterior Lighting Compliance Certificate

Project Information
 Energy Code: 2015 IECC
 Project Title: New Construction
 Project Type: New Construction
 Exterior Lighting Zone: 2 (neighborhood business district)

Construction Site: Owner/Agent
 Designer/Contractor: David L. Hanson
 Hanson and Associates, Inc.
 6402-32 Avenue
 Kenosha, WI 53142
 262-654-2010

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts / Unit	D Tradeable Wattage	E Allowed Watts (B X C)
front door (Main entry)	0 ft of door	20	Yes	120
side door (Other door not main entry)	3.8 ft of door	20	Yes	80
front deck (Chalkboard surface area)	800 sq ft	0.25	Yes	172
back porch (Chalkboard surface area)	1800 sq ft	0.25	Yes	466
building (Unshaded area of facade wall or surface)	800 sq ft	0.11	No	80
landscape (Special feature area)	774 sq ft	0.14	Yes	109
side area (Signage)	49 sq ft	1	Yes	49
			Total Tradeable Watts (D) =	987
			Total Allowed Watts =	1277
			Total Allowed Tradeable Watts (E) =	490

(a) Wattage tradeoffs are only allowed between tradeable areas/surfaces.
 (b) A supplemental allowance equal to 800 watts may be applied toward compliance of both non-tradeable and tradeable areas/surfaces.

Proposed Exterior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamp(s) / Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
front door / Main entry 3.8 ft of door width: Tradeable Wattage				
LED 1: 0W wall light: Other	1	2	10	20
side door / Other door (not main entry) 3.8 ft of door width: Tradeable Wattage				
LED 1 copy 1: 0W wall light: Other	1	1	10	10
front deck / Chalkboard surface area: 800 sq ft: Tradeable Wattage				
LED 3: 0W lower wall light: Other	1	11	8	88
LED 8: 0W decorative string: Other	1	284	2	568
back porch / Chalkboard surface area: 1800 sq ft: Tradeable Wattage				
LED 3 copy 2: 0W wall light: Other	1	1	10	10
LED 8 copy 1: 0W decorative string: Other	1	400	2	800
building / Unshaded area of facade wall or surface 800 sq ft: Non-tradeable Wattage				

Project Title: C:\AUTOCAD_DRAWINGS\LAKE GENEVA BREWERY\LAKE GENEVA BREWERY.cad Report date: 01/31/19
 Data filename: C:\AUTOCAD_DRAWINGS\LAKE GENEVA BREWERY\LAKE GENEVA BREWERY.cad Page 1 of 6

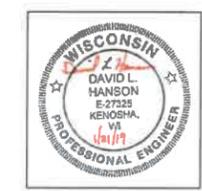
LIGHTING CALCULATIONS

Exterior Lighting Compliance Statement

Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.0.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

David L. Hanson, Electrical Engineer
 Name - Title: David L. Hanson Signature: [Signature] Date: 1/31/19

LIGHTING CALCULATIONS



NO.	DATE	DESCRIPTION

DAVID L. HANSON AND ASSOCIATES, INC.
 LICENSED PROFESSIONAL ENGINEERS
 6402-32nd AVENUE
 KENOSHA, WI 53142 (262) 654-2010

DATE
 1/30/19

GENEVA STREET VILLAGE
 SITE LIGHTING
 727 GENEVA STREET
 LAKE GENEVA, WI 53147

BUILDING
 SHEET
E9.3

Redwood Grooved Edge Composite Decking Board
UltraDeck® Rustic™ 1 in. x 5-3/16 in.



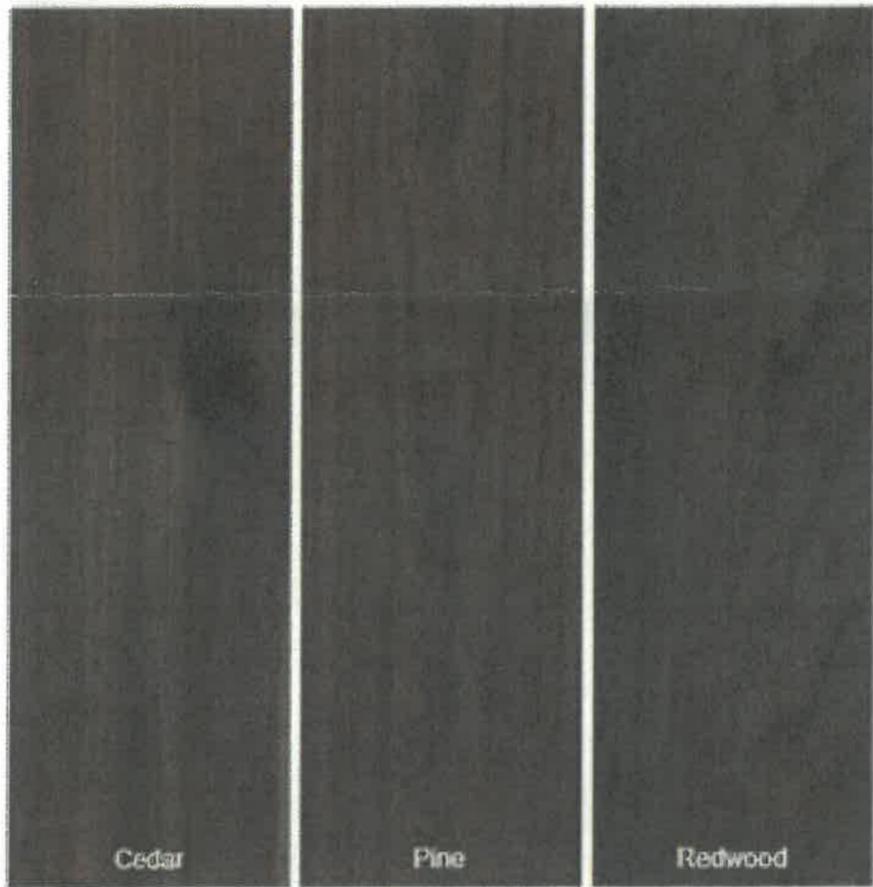
Stains



Chestnut

ST-110

[Configure Color](#)

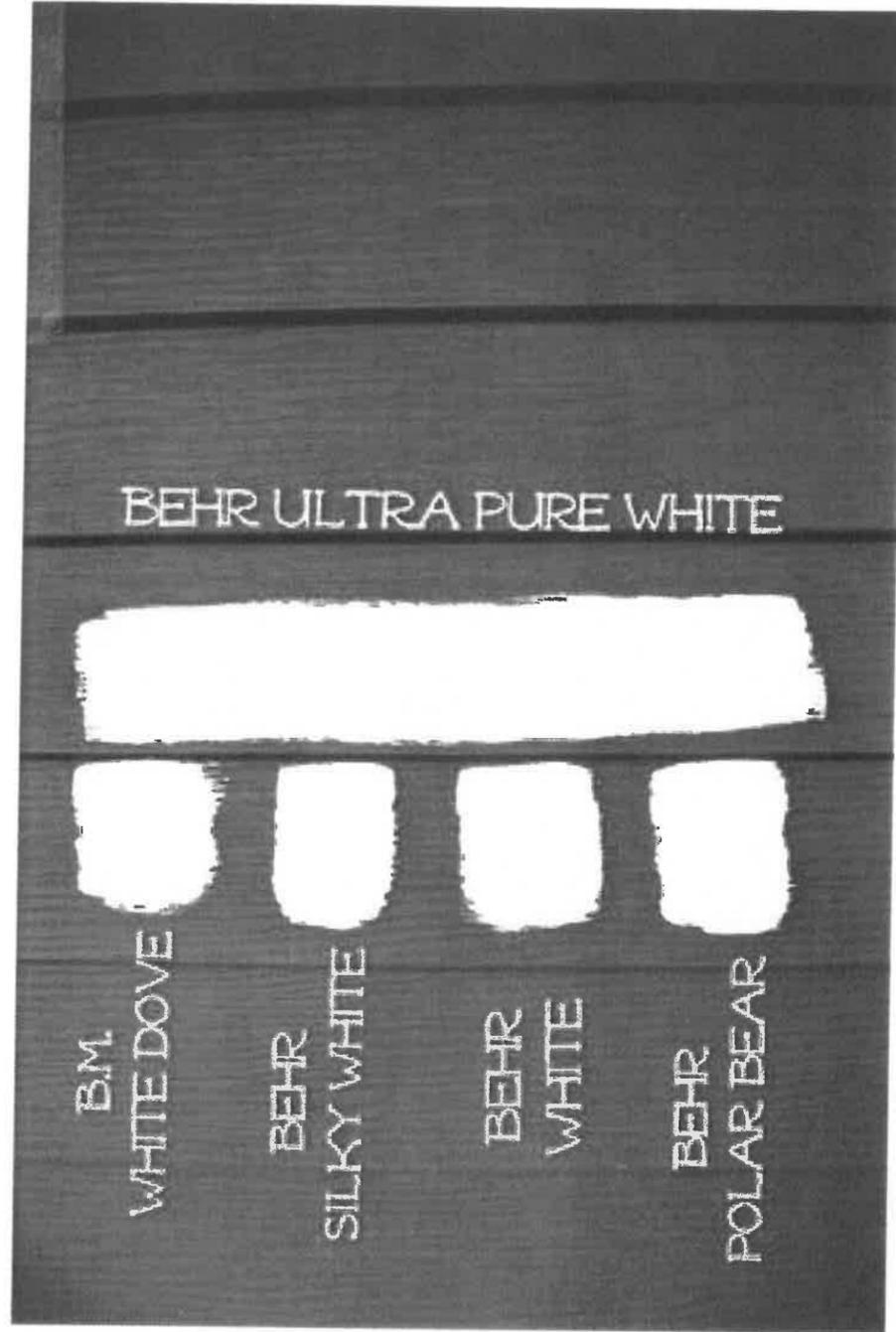


Cedar

Pine

Redwood

write trim paint



AREA OF SIGNAGE

EXISTING SIGNAGE ON TOWER = 2 @ 20 S.F. EA. = 40 S.F.

EXISTING MONUMENT SIGN AT CORNER = +/- 35 S.F.

EXISTING SMALL SIGNS @ ENTRY PIER = 5 @ 1 S.F. EACH = 5 S.F.

NEW SIGNAGE AT TOWER = 2 @ 20 S.F. EA. = 40 S.F.

NEW TOP MONUMENT SIGN AT CORNER = +/- 25 S.F. CURVED FACE

NEW SMALL SIGNS @ ENTRY PIER = 5 @ 1 S.F. EACH = 5 S.F.



SIGNAGE EXISTS
ON BOTH SIDES
OF BELL TOWER

PROPOSED SOUTH ELEVATION (GENEVA STREET)

AB2328

171

35

40

PMs 7621

E8B012

232

176

18

PMS 141

EDCC97

237

204

151

Plus 7409

727 Geneva St. Brewing Process



WATER

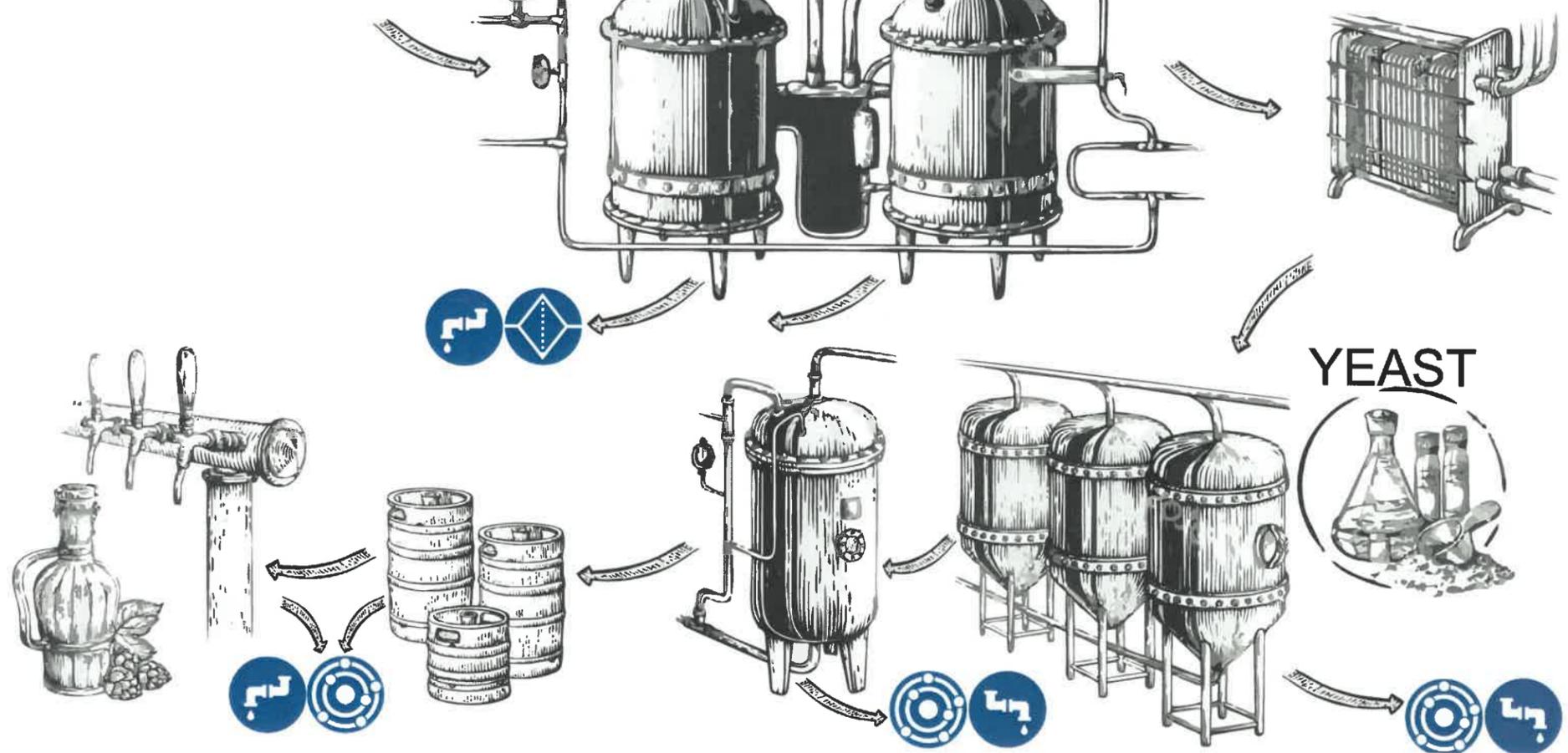


HOPS

= DRAIN

= STRAINER

= SANITIZER





STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: February 18, 2019

Agenda Item: 11

Applicant:
Tom & Barb Koenig
5802 Arlington Dr.
Palatine, IL 60067

Request:
715 LaGrange Drive
Conditional Use Permit
SR-4 Setbacks in ER-1 Zoning District
Tax Key No. ZLE00016

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) for a new residence. The project would begin with a complete removal of the existing residence. The applicants have carefully designed the proposed residence to increase building side yard setbacks, and have identified the building footprint area and impervious surface area coverage.

The proposed roof design will meet the maximum 35-foot height limit, as measured from the lowest exposed building perimeter to the vertical mid-point of the highest pitched roof surface.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Existing and Proposed Site Plans: Framing Design Concepts Project (dated 01/15/2019 respectively)

The Site Plans for the existing and proposed homes demonstrate that the proposed home complies with all required setbacks.

The proposed home provides the following setback measurements compared to the proposed home:

	<u>Required in SR-4</u>	<u>Existing Home</u>	<u>Proposed Home</u>
Min Street Yard Setback	25 feet	30 approx. feet to garage	35 feet to garage
North Side Yard Setback	15' total combined	7 feet to home	7 feet to home
South Side Yard Setback	Min. 6 feet to home	8+ feet to home	8 feet to home
East Side Yard Setback			57 feet to home

Elevation Plan: Sheet:

The lower elevation provided on the conceptual renditions depict the proposed building's tallest height. The Zoning Ordinance measures building height from the lowest exposed grade to the mid-point height of the tallest roof plane. This elevation depicts a maximum height of 26.0 feet, which complies with the height limit for both the ER-1 and the SR-4 zoning districts.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed conditional use includes modest increases in the setbacks provided on all four sides of the proposed home.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

- b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
- c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
- d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
- f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above, noting that the proposal is a fully consistent with the setback requirements of the SR-4 zoning district, and results in compliance to the setbacks on all four sides of the building over the current home.

2LE00016

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

715 LaGrange Drive, Lake Geneva, WI 53147

Legal description is attached.

NAME AND ADDRESS OF CURRENT OWNER:

Tom and Barb Koenig

5802 Arlingdale Drive, Palatine, IL 60067

TELEPHONE NUMBER & EMAIL OF CURRENT OWNER: 847-404-0902

tom.koenig@brightstarcare.com

NAME AND ADDRESS OF APPLICANT:

Tom Koenig

5802 Arlingdale Drive, Palatine, IL 60067

TELEPHONE NUMBER & EMAIL OF APPLICANT: 847-404-0902

tom.koenig@brightstarcare.com

PROPOSED CONDITIONAL USE:

Reconstruct New home on existing lot. Asking for SR-4 setbacks in an ER-1 zoning district.

ZONING DISTRICT IN WHICH LAND IS LOCATED: Estate Residential-1

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Steve Bergholtz, Sunrise Homes, P.O. Box 1357, Lake Geneva, WI 53147-262-749-8559

Andy Rupnik, Framing Design Concepts, Inc., 9809 Falcon Dr, Richmond, IL 60071-815-678-7790

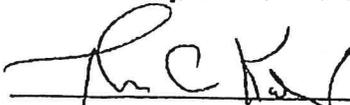
SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Reconstruct New home on existing lot. Asking for SR-4 setbacks in an ER-1 zoning district.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

1/9/18

DATE



SIGNATURE OF APPLICANT

Steve Bergolk
Petitioner Name

715 LaGrange
Project Address

Cost Recovery # _____

1 Copy - Office

OFFICE USE ONLY

Description of Request _____

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). An advanced deposit shall be required for the application related to Extraterritorial matters. Surplus deposits shall be returned to the Applicant at the conclusion of the project.

Tom Koentz, as applicant/petitioner for

Project: 715 LaGrange Drive / Koentz Conditional Use

Project Address: 715 LaGrange Dr, Lake Geneva, WI 53147

Name: Tom Koentz

Address: 5802 Arlingdale Drive

Palatke, IL 60067

Cell Phone: (847) - 404 - 0902

Phone: (847) - 925 - 1318

Email: tom.koentz@brightstarcare.com

Dated this 9th Day of January, 2019

Tom Koentz

Printed Name of Applicant / Petitioner

[Signature]

Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ (a) A map of the proposed conditional use:

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
X Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
Our existing lot, while considered non-conforming, is approximately the same size as others within the immediate area, including those in East Shore Estates, the subdivision in which we reside.
2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
Our existing lot, while considered non-conforming, is approximately the same size as others within the immediate area, including those in East Shore Estates, the subdivision in which we reside.
3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?
The proposed home will maintain existing yard setbacks. The only access to the lot will remain a private drive serving two other lots.
4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
The proposed conditional use consists of constructing a new single-family home to replace an existing single-family home. It is consistent with the other single-family homes in East Shore Estates in which the lot is located.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Service to the lot will remain unchanged from the present.
There will be no burden on any improvements, facilities, utilities,
or services provided by public agencies serving the property,

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

There will be no adverse impacts generated by the proposed
conditional use.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the
Building and Zoning Department upon submittal deadline. Date: _____ by: _____

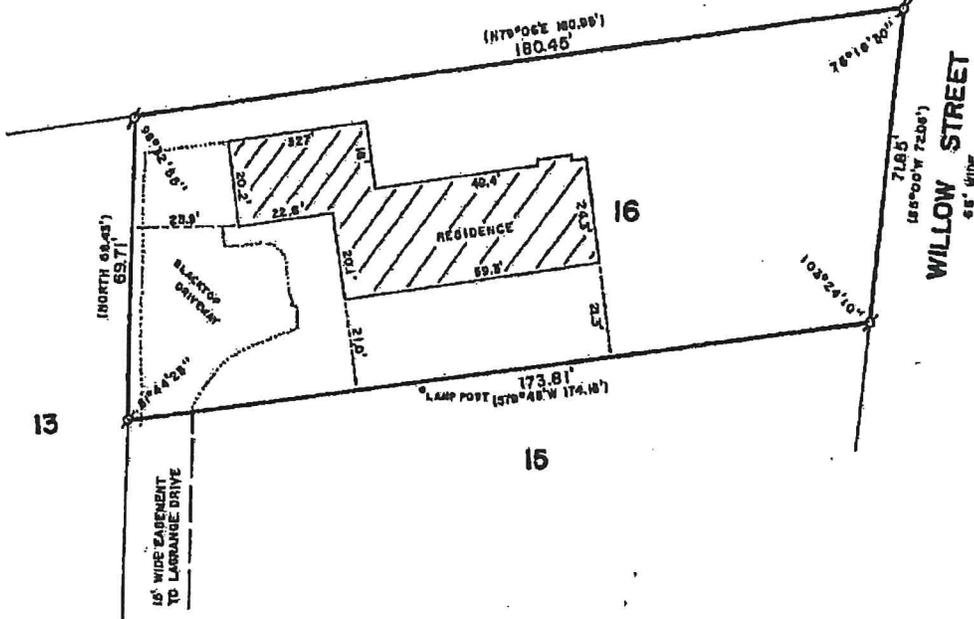
____ Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

WALWORTH COUNTY
SURVEYING & MAPPING
LAKE GENEVA, WISCONSIN



PLAT OF SURVEY OF
LOT 15 OF LAKE GENEVA EAST SHORE
ESTATES, LOCATED IN THE CITY OF LAKE
GENEVA, WALWORTH COUNTY, WISCONSIN.

ORDERED BY: CENTURY 21 GENEVA LAKE
503 CENTER STREET
LAKE GENEVA, WISCONSIN
53147



SCALE: 1"=30'
Ø-IRON PIPE FOUND
()-RECORDED AS

I, ROBERT M. BAERENWALD, DO HEREBY CERTIFY THAT I
HAVE SURVEYED THE PROPERTY HEREON DESCRIBED ACCORDING
TO THE OFFICIAL RECORDS AND THAT THE PLAT HEREON IS A
CORRECT REPRESENTATION OF THE PROPERTY LINES TO THE
BEST OF MY KNOWLEDGE AND BELIEF.

Robert M. Baerenwald
ROBERT M. BAERENWALD
WISCONSIN REGISTERED LAND SURVEYOR, 8-1508

Oct. 15, 1987
DATE JOB NO. 1307

NOTE: THIS IS NOT A CERTIFIED COPY UNLESS SEALED.

QUIT CLAIM DEED

Document Number

Document Name

THIS DEED, made between Thomas C. Koenig

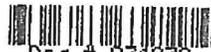
Grantor, whether one or more), and Thomas C. Koenig and Barbara A. Koenig, husband and wife

Grantee, whether one or more).

Grantor, quit claims to Grantee the following described real estate, together with the rents, profits, fixtures and other appurtenant interests, in Walworth County, State of Wisconsin ("Property") (if more space is needed, please attach addendum):

Lot 16 in Lake Geneva East Shore Estates Subdivision, located in the NW 1/4 of Section 1, T1N, R17E, of the 4th P.M., City of Lake Geneva, Walworth County, Wisconsin, as recorded in the Office of the Register of Deeds, December 16, 1958 in Volume 13 of Plats on page 37 as Document No. 505859.

Together with an easement for ingress and egress to LaGrange Drive across the West 15 feet of Lots 14 and 15 in said subdivision as said easement is set forth on said Plat.



Doc # 974979

Recorded

September 10, 2018 9:57 AM

DONNA R PRUESS REGISTER OF DEEDS WALWORTH COUNTY, WI Fee Amount: \$30.00 FEE EXEMPT 77.25-(8M) Total Pages: 1

Recording Area

Name and Return Address

Attorney David J. Nommensen Nommensen Law Offices, LLP 15 S. Lincoln St., Unit #2 Elkhorn, WI 53121

ZLE 00016

Parcel Identification Number (PIN)

This is not homestead property. (is) (is not)

Dated September 4, 2018

Signature of Thomas C. Koenig

(SEAL) (SEAL)

AUTHENTICATION

Signature(s) Thomas C. Koenig

authenticated on September 4, 2018

Signature of David J. Nommensen

TITLE: MEMBER STATE BAR OF WISCONSIN (If not, authorized by Wis. Stat. § 706.06)

THIS INSTRUMENT DRAFTED BY:

Attorney David J. Nommensen Elkhorn, WI 53121

(Signatures may be authenticated or acknowledged. Both are not necessary.)

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.

QUIT CLAIM DEED

STATE BAR OF WISCONSIN

FORM No. 3-2003

*Type name below signatures.



Search for a Parcel or Address



KOENIG CONDITIONAL USE
715 LaGrange Drive
Floor Area Ratio (FAR)/Landscape Surface Ratio (LSR)

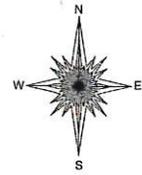
Floor Area Ratio (FAR)	
Lot Size:	± 12,440 sq. ft.
Building Area (includes garage & front porch):	4,292 sq. ft.
Floor Area Ratio: (4,292 sq.ft. ÷ 12,440 sq. ft.)	34.50%

Landscape Surface Ratio	
Lot Size:	± 12,440 sq. ft.
Impervious Coverage (includes building & drives)	
Building Pad with Garage:	2,997 sq. ft.
Front Porch:	155 sq. ft.
Drives:	± 1,520 sq. ft.
Total:	4,672 sq. ft.
Landscape Area: (12,440 sq. ft. – 4,672 sq. ft.)	7,768 sq. ft.
Landscape Surface Ratio: (7,768 sq. ft. ÷ 12,440 sq. ft.)	62.44% (minimum 50% required)

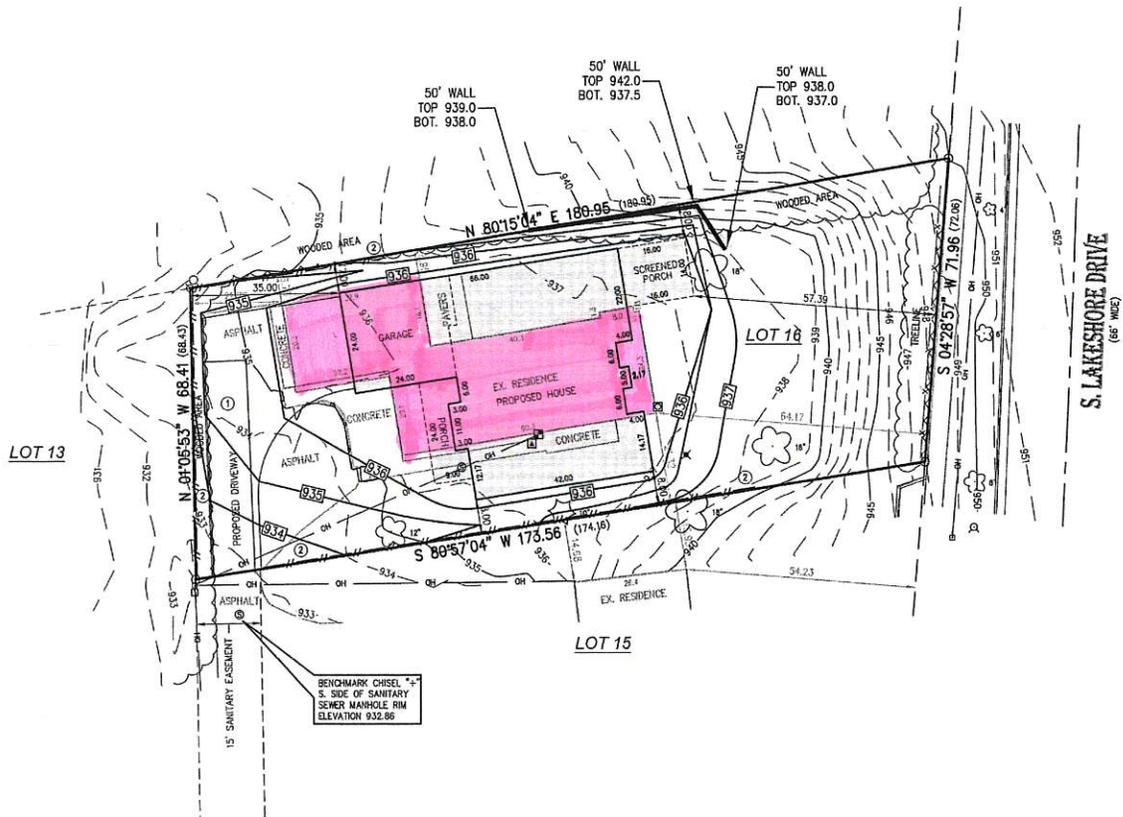
Building Coverage	
Total (includes garage & front porch):	3,152 sq. ft.
Lot Size:	±12,440 sq. ft.
Building Coverage: (3,152 sq. ft. ÷ 12,440 sq. ft.)	25.34% (maximum 40% allowed)

PLAT OF SURVEY

- OF -
Lot 16, Lake Geneva East Shore Estates Subdivision located in the Northwest
1/4 of Section 1, Town 1 North, Range 17 East, in the City of Lake Geneva,
Walworth County, Wisconsin



Existing Home



Proposed Top of Foundation 937.17
Proposed Finished Yard Grade 936.5

- ① GRAVEL ACCESS DRIVE REQ'D. MIN 6" DEPTH, 2" TO 3" AGG. 10' WIDE X 50 L.F.
- ② SILT FENCE, 230 L.F. ±. ALSO REQ'D. AT SPOIL STOCKPILE TO E SLOPE.

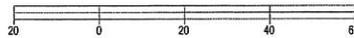
LEGEND

- | | |
|-----------------------|-----------------------|
| () = recorded as | —○— = guardrail |
| ✕ = yard light | —OH— = overhead wires |
| ○ = found iron pipe | □ = power pole |
| ⊙ = hydrant | — = guy wire |
| □ = communication box | ▲ = hvac |
| ⊙ = sanitary manhole | ⊠ = gas meter |
| ⊙ = deciduous tree | ⊠ = electric meter |
| ⊙ = coniferous tree | |

SCALE 1" = 20'

JOB # 2019.0009.01

TAX ID # ZLE 00016



BASIS OF BEARING OF THIS PLAT: THE US STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NAD 83, WISCONSIN.

ALL ELEVATIONS REFER TO NAVD88.

I hereby certify that I have surveyed the above-described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, apparent easements and roadways and visible encroachments if any to the best of my knowledge and belief.

This survey is made for the present owners of the property, and those who purchase, mortgage, or guarantee the title thereto, within one year from the date hereof.

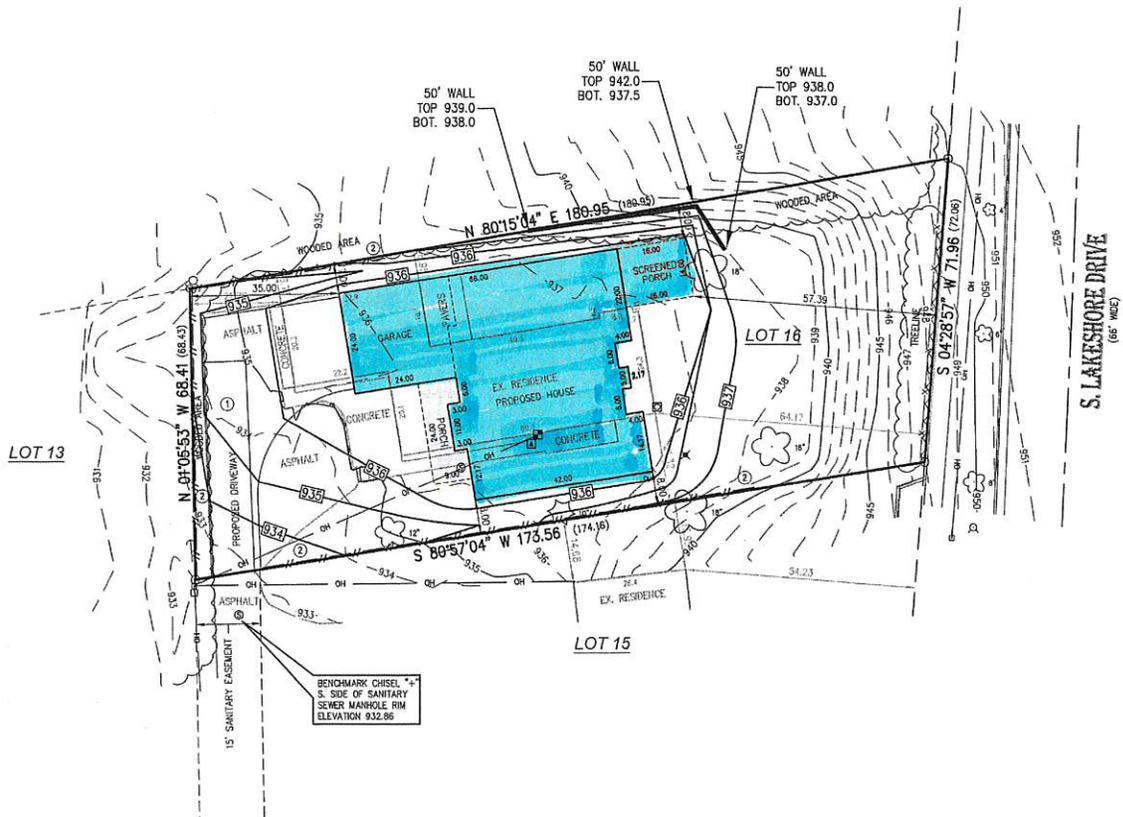
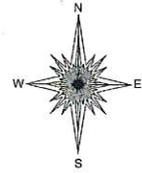
DATED THIS 15TH DAY OF JANUARY, 2019.

WISCONSIN
MARK R. MADSEN
S-2271
RACINE, WI
WISCONSIN PROFESSIONAL LAND SURVEYOR
Mark R. Madsen
MARK R. MADSEN S-2271
Wisconsin Professional Land Surveyor

PLAT OF SURVEY

- OF -
Lot 16, Lake Geneva East Shore Estates Subdivision located in the Northwest
1/4 of Section 1, Town 1 North, Range 17 East, in the City of Lake Geneva,
Walworth County, Wisconsin

Proposed Home



Proposed Top of Foundation 937.17
Proposed Finished Yard Grade 936.5

- ① GRAVEL ACCESS DRIVE REQ'D. MIN 6\"/>

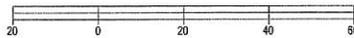
LEGEND

- | | |
|-----------------------------------|-----------------------|
| () = recorded as | —○— = guardrail |
| ✕ = yard light | —OH— = overhead wires |
| ○ = found iron pipe | □ = power pole |
| ⊙ = hydrant | ← = guy wire |
| □ = communication box | ▲ = hvac |
| ⊙ = sanitary manhole | ⊠ = gas meter |
| ⊙ ^{6'} = deciduous tree | ⊠ = electric meter |
| ⊙ ^{6'} = coniferous tree | |

SCALE 1" = 20'

JOB # 2019.0009.01

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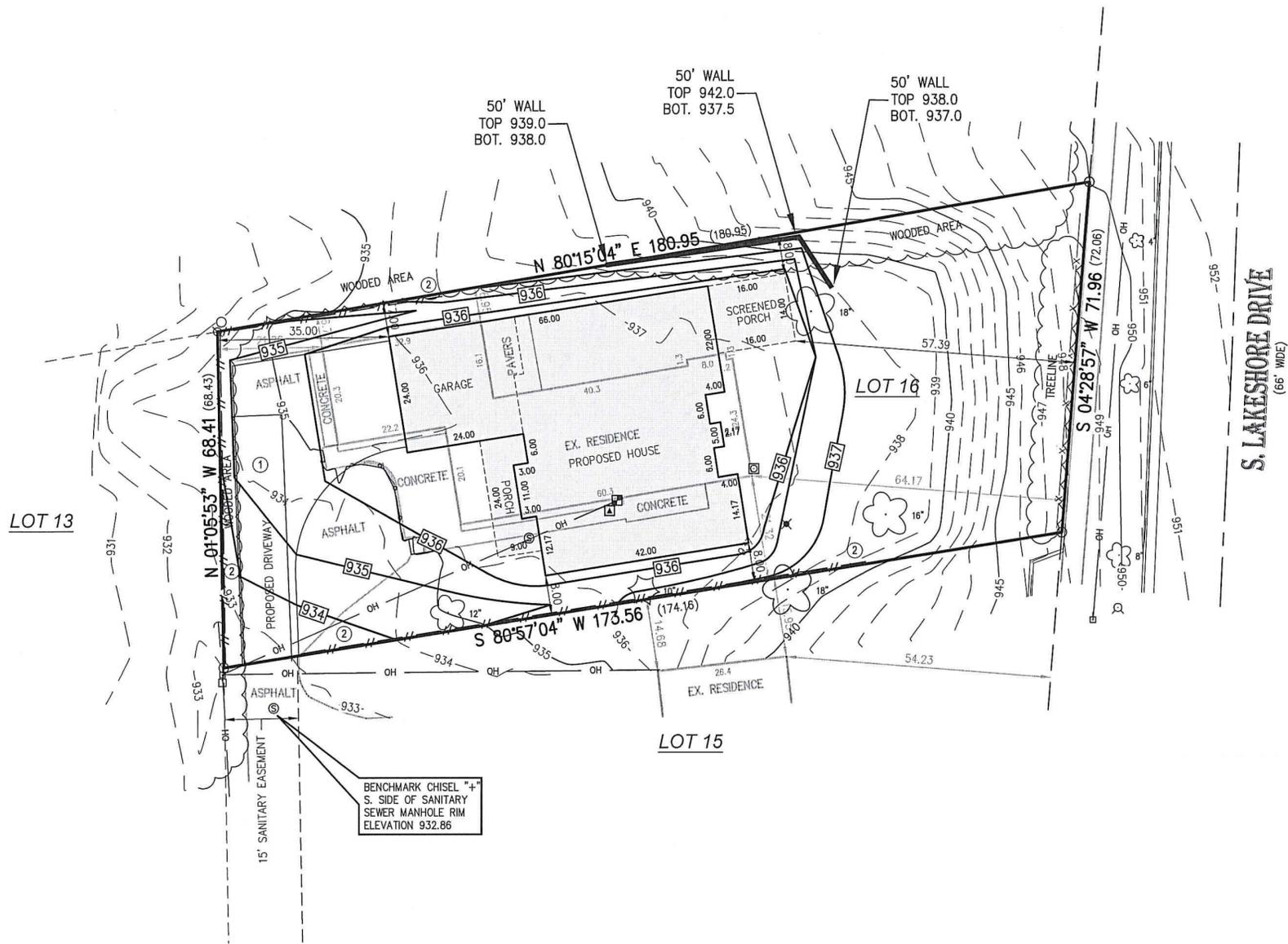
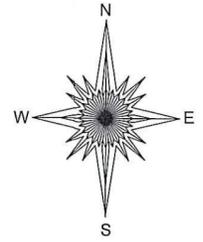
DATED THIS 15TH DAY OF JANUARY, 2019.

WISCONSIN
MARK R. MADSEN
S-2271
RACINE, WI
LAND SURVEYOR
Mark R. Madsen
MARK R. MADSEN S - 2271
Wisconsin Professional Land Surveyor

PLAT OF SURVEY

- OF -

Lot 16, Lake Geneva East Shore Estates Subdivision located in the Northwest 1/4 of Section 1, Town 1 North, Range 17 East, in the City of Lake Geneva, Walworth County, Wisconsin

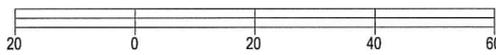


Proposed Top of Foundation 937.17
Proposed Finished Yard Grade 936.5

- ① GRAVEL ACCESS DRIVE REQ'D. MIN 6" DEPTH, 2" TO 3" AGG. 10' WIDE X 50 L.F.
- ② SILT FENCE, 230 L.F. ±, ALSO REQ'D. AT SPOIL STOCKPILE TOE SLOPE.

LEGEND

- () = recorded as
- ⊗ = yard light
- = found iron pipe
- ⊕ = hydrant
- = communication box
- ⊙ = sanitary manhole
- ⊗ = deciduous tree
- ⊗ = coniferous tree
- = guardrail
- OH— = overhead wires
- = power pole
- = guy wire
- ▲ = hvac
- ⊙ = gas meter
- ⊙ = electric meter



BASIS OF BEARING OF THIS PLAT: THE US STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NAD 83, WISCONSIN.

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I hereby certify that I have surveyed the above- described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, apparent easements and roadways and visible encroachments if any to the best of my knowledge and belief.

This survey is made for the present owners of the property, and those who purchase, mortgage, or guarantee the title thereto, within one year from the date hereof.

SCALE 1" = 20'

JOB # 2019.0009.01

TAX ID # ZLE 00016



DATED THIS 15TH DAY OF JANUARY, 2019.

NEW RESIDENCE FOR:
BARB & TOM KOENIG
 715 LA GRANGE DR
 LAKE GENEVA, WI 53147



FRONT ELEVATION
 SCALE: 1/4" = 1' 0"



RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1' 0"

FD
 FRAMING DESIGN
 CONCEPTS, INC
 9809 FALCON DR
 RICHMOND, IL 60071
 815-678-7790

SUNRISE HOMES INC
 LAKE GENEVA, WI 53147
 262-749-8559

NEW RESIDENCE FOR:
BARB & TOM KOENIG
 715 LA GRANGE DR
 LAKE GENEVA, WI 53147
 FRONT & RIGHT SIDE ELEVATION

DATE
 1-15-19

SHEET NO.
1



REAR ELEVATION
SCALE: 1/4" = 1' 0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1' 0"



FRAMING DESIGN
CONCEPTS, INC
9809 FALCON DR
RICHMOND, IL 60071
815-678-7790

SUNRISE HOMES INC
LAKE GENEVA, WI 53147
262-749-8559

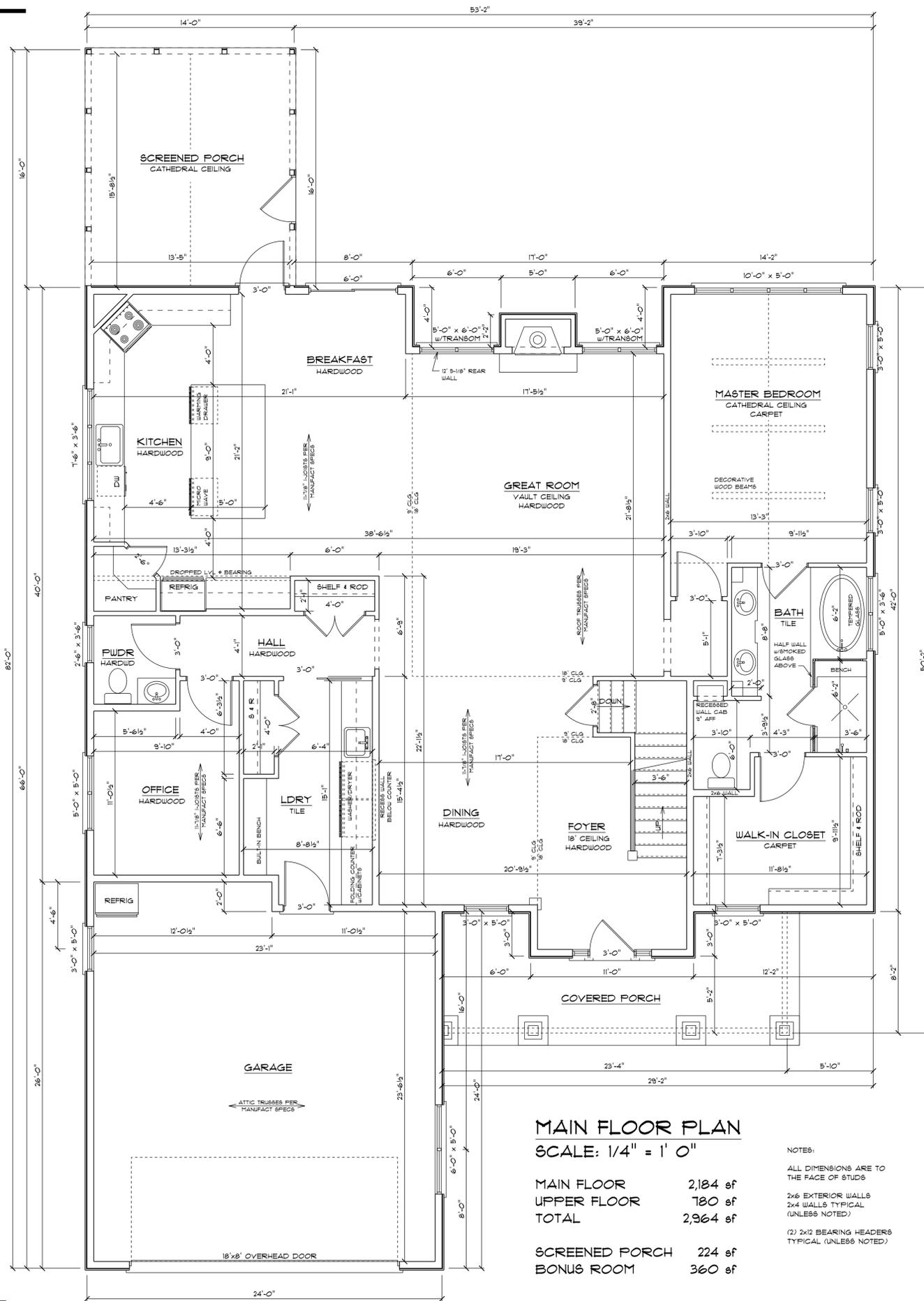
NEW RESIDENCE FOR:
BARB & TOM KOENIG
715 LA GRANGE DR
LAKE GENEVA, WI 53147

REAR & LEFT SIDE ELEVATION

DATE
1-15-19

SHEET NO.

2



MAIN FLOOR PLAN
SCALE: 1/4" = 1' 0"

MAIN FLOOR	2,184 sf
UPPER FLOOR	780 sf
TOTAL	2,964 sf
SCREENED PORCH	224 sf
BONUS ROOM	360 sf

FRAMING DESIGN
CONCEPTS, INC
9809 FALCON DR
RICHMOND, IL 60071
815-678-7790

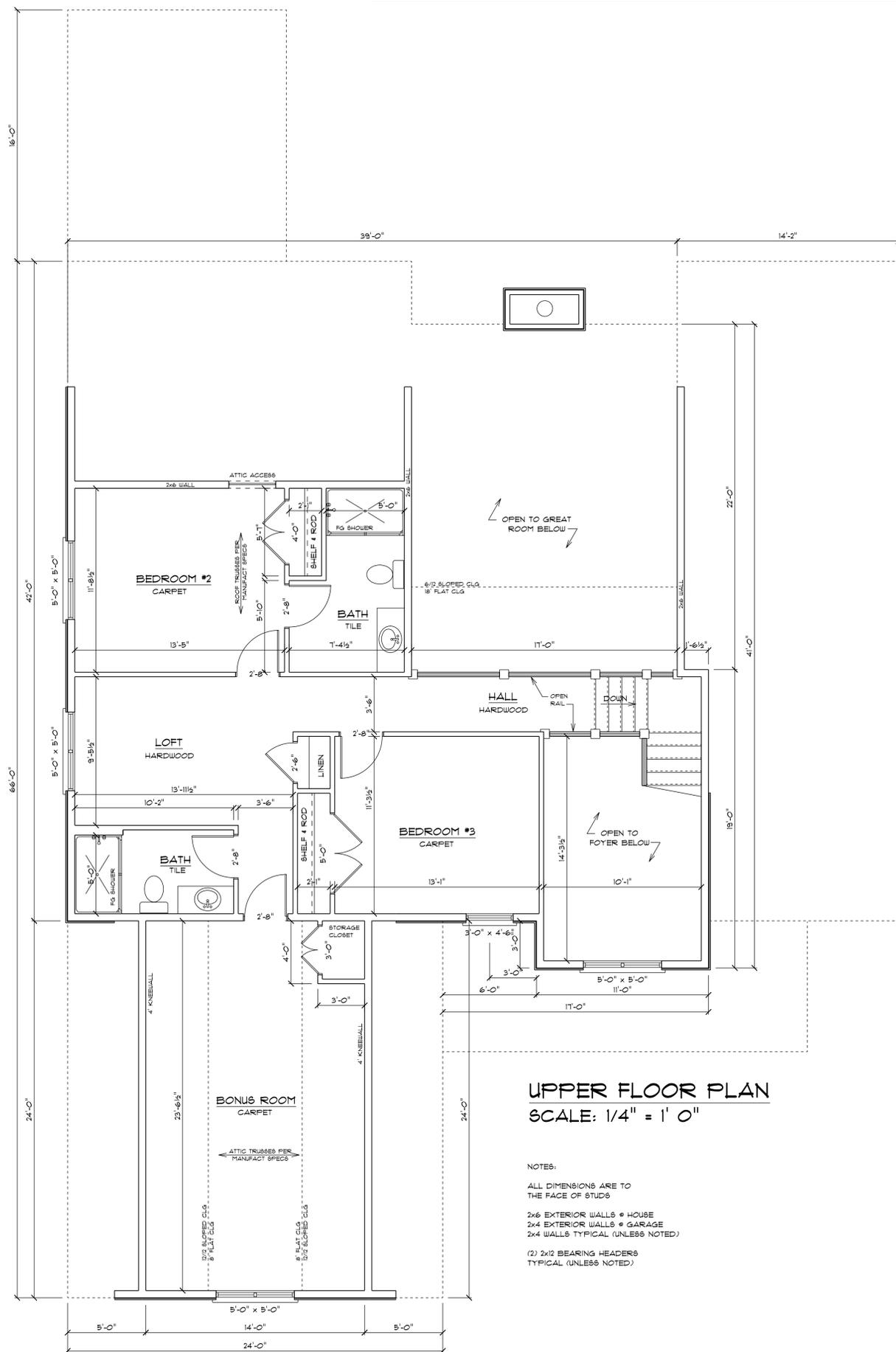
SUNRISE HOMES INC
LAKE GENEVA, WI 53147
262-749-8559

NEW RESIDENCE FOR:
BARB & TOM KOENIG
715 LA GRANGE DR
LAKE GENEVA, WI 53147

MAIN FLOOR PLAN

DATE
1-15-19

SHEET NO.
3



FRAMING DESIGN
 CONCEPTS, INC
 9809 FALCON DR
 RICHMOND, IL 60071
 815-678-7790

SUNRISE HOMES INC

LAKE GENEVA, WI 53147
 262-749-8559

NEW RESIDENCE FOR:
BARB & TOM KOENIG

715 LA GRANGE DR
 LAKE GENEVA, WI 53147

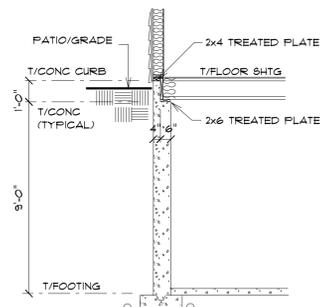
UPPER FLOOR PLAN

DATE

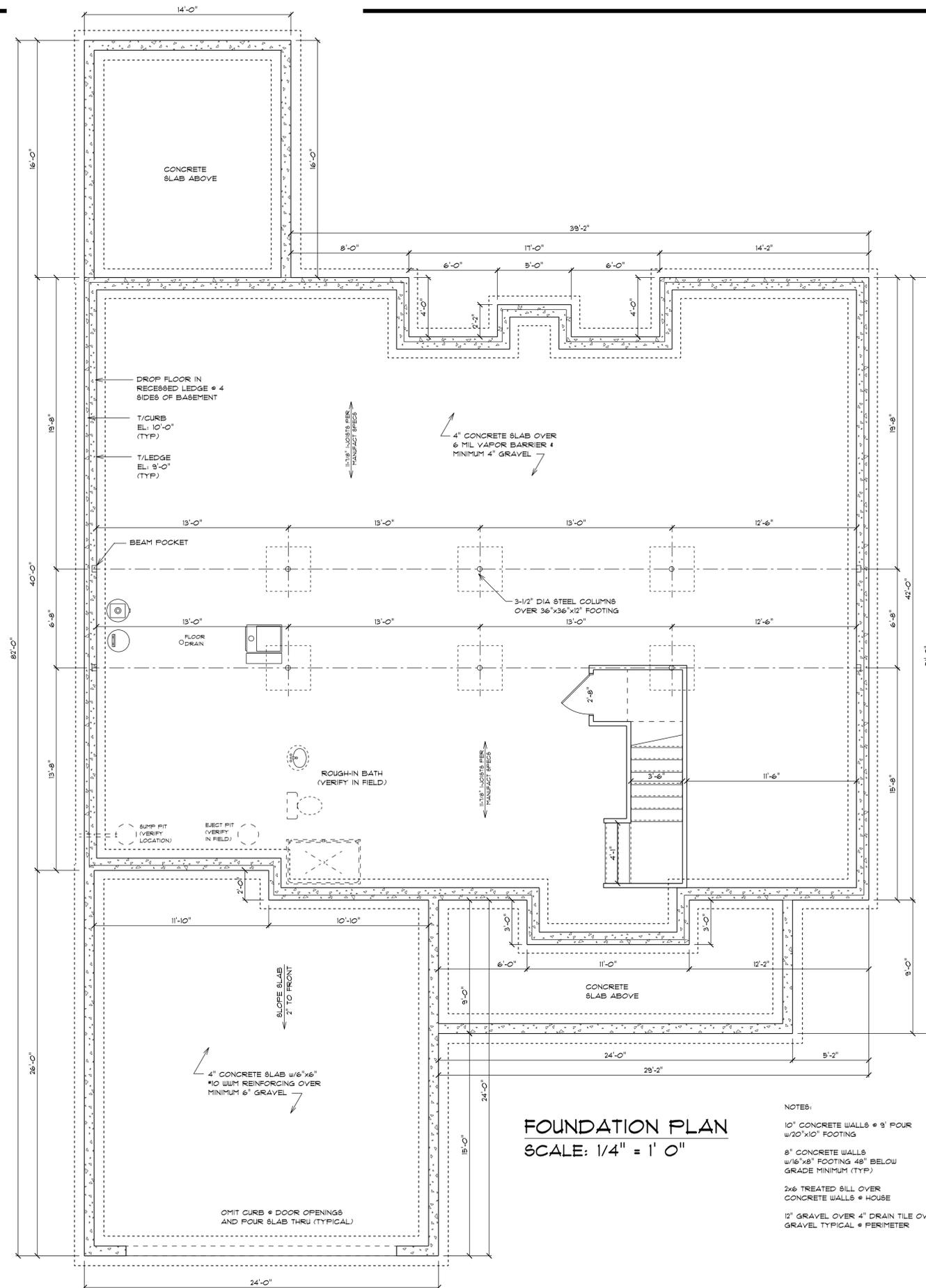
1-15-19

SHEET NO.

4



SECTION B-B @ CURB
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
- 10" CONCRETE WALLS @ 9" FOUR w/20"x10" FOOTING
 - 8" CONCRETE WALLS w/16"x8" FOOTING 48" BELOW GRADE MINIMUM (TYP)
 - 2x6 TREATED SILL OVER CONCRETE WALLS @ HOUSE
 - 12" GRAVEL OVER 4" DRAIN TILE OVER 2" GRAVEL TYPICAL @ PERIMETER

FRAMING DESIGN
CONCEPTS, INC
9809 FALCON DR
RICHMOND, IL 60071
815-678-7790

SUNRISE HOMES INC
LAKE GENEVA, WI 53147
262-749-8559

NEW RESIDENCE FOR:
BARB & TOM KOENIG
715 LA GRANGE DR
LAKE GENEVA, WI 53147
FOUNDATION PLAN

DATE
1-15-19

SHEET NO.
5

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: February 18, 2019

Agenda Item: 12

Applicant:
McMurr II, LLC.
351 Hubbard, Suite 610,
Chicago, IL. 60654

Request:
Precise Implementation Plan (PIP)
Summerhaven Phase II
Lake Geneva Blvd.
Tax Key Nos. ZSUM00001 thru ZSUM0000247

Description:

The applicant is submitting a request for a Precise Implementation Plan (PIP) that would allow for the development of Phase II for the north side of the development to include the 4 single family structures and road installation with a cul-de-sac.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Precise Implementation Plan (PIP):

As part of the consideration of the requested PIP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed PIP;
- Include *findings* required by the Zoning Ordinance for PIPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the PIP for Recommendation to the Common Council:

A proposed PIP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning

Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed Precise Implementation Plan (PIP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Precise Implementation Plan (PIP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Precise Implementation Plan (PIP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Precise Implementation Plan (PIP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Precise Implementation Plan (PIP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Precise Implementation Plan (PIP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Precise Implementation Plan (PIP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Precise Implementation Plan (PIP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Precise Implementation Plan (PIP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

6. The potential public benefits of the proposed Precise Implementation Plan (PIP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Precise Implementation Plan (PIP):

If the Plan Commission members feel the submittal is acceptable -

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Precise Implementation Plan (PIP) as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

**SUMMERHAVEN
OF
LAKE GENEVA PHASE II**

**PLANNED DEVELOPMENT –
PRECISE IMPLEMENTATION PLAN
Applicant: McMurr II, LLC,
an Illinois limited liability company**

January 11, 2019

**SUMMERHAVEN – PHASE II
PRECISE IMPLEMENTATION PLAN
NARRATIVE**

PRECISE IMPLEMENTATION PLAN INTRODUCTION:

McMurr II, LLC, an Illinois limited liability company (“McMurr II”), is the Successor Declarant of the Summerhaven development (“Summerhaven”), and the owner of all the lands composing the second phase of Summerhaven, more particularly described in the attached Exhibit A incorporated herein (sometimes, “Phase II,” or “Site”). McMurr II has cleared Summerhaven of piles of broken asphalt, restored the capacity of the storm water management ponds, altered the storm water drainage to prevent the flooding of neighboring property, paved a portion of Summerhaven Drive to Lake Geneva Boulevard for emergency vehicles, and sold most of its units in Phase I of Summerhaven, approximately 8.04 acres (“Phase I”), resulting in considerable new single-family home construction.

Phase I is zoned by the City of Lake Geneva (“City”) as PD, Planned Development Zoning District, under a Precise Implementation Plan that has been amended in 2014, 2017, and 2018 by McMurr II. Phase I is under condominium ownership, subject to the Declaration of Condominium and the Plat of Condominium of Summerhaven of Lake Geneva Condominium, as amended by recorded amendments and addenda thereto (collectively, “Summerhaven of Lake Geneva Condominium”). Under the 2017 amendment to the PD for Phase I, McMurr II has committed to install and repair the incomplete public and private infrastructure for the balance of Phase I, construct the pool promised by the original developer of Summerhaven, as well as a pool house, and install the final lift of asphalt for the Phase I private roads.

The public infrastructure (e.g., municipal water and sanitary sewer mains) and the private infrastructure (e.g., storm water management system, private streets, and public utilities) for Summerhaven have been designed and almost fully installed with sufficient capacity to accommodate not only the 37 units originally approved for Phase I, now reduced to 28 units, but also to accommodate an additional 47 units originally approved for Phase II and Phase III of Summerhaven, approximately 4.97 acres adjacent to the south boundary of Phase I (“Phase III”), now reduced to 27 single-family units.

As of late 2018, the City, at McMurr II’s request, has rezoned Phase II and Phase III to PD, Planned Development Zoning District, under a General Development Plan, using the TR-6, Two-family Zoning District, as the base district.

To restore the original vision for Summerhaven, to broaden the base of financial support for Summerhaven’s extensive private infrastructure, including, without limitation, the streets, the storm water management facilities, the pool and the pool house, and to provide quality infill development, McMurr II proposes this PD, Planned Development Zoning District, Precise Implementation Plan, for Phase II (“PIP”).

The ten year period during which Phase II and Phase III could be added to the Summerhaven of Lake Geneva Condominium as expansion units under the Wisconsin Condominium Ownership Act has expired.

Phase II will be under condominium ownership, pursuant to a Declaration of Condominium and Plat of Condominium of Summerhaven of Lake Geneva II, consisting of four single-family site condominium units in Phase II, with Phase III designated as Expansion Area for up to 23 additional single-family site condominium units (“Condominium of Summerhaven of Lake Geneva II”). Concurrently herewith, McMurr II is filing with the City an Application for Land Division Review for such Declaration and Plat of Condominium.

McMurr II proposes a cross-easement agreement between the condominium associations of the Condominium of Summerhaven of Lake Geneva and the Condominium of Summerhaven of Lake Geneva II, to share, maintain, repair and replace the private roads, the storm water management facilities, the pool and pool house, and other common amenities and private infrastructure used by all.

The properties surrounding Phase II are zoned PB, Planned Business Zoning District, to the north and east, principally along Wells Street; MR-8, Multi-family Residential-8 Zoning District, to the west, and PD-PIP (Summerhaven Phase I) and SR-4, Single-family Residential-4 Zoning District, to the south. The single-family use and the proposed density should fit well within the neighboring properties.

A Precise Implementation Plan for Phase III and an addendum to condominium plat and an amendment to condominium declaration adding Phase III to the Condominium of Summerhaven of Lake Geneva II will be filed upon the completion of engineering and related work.

PRECISE IMPLEMENTATION PLAN REQUIREMENTS:

1. Location Map: *See the Location Map, showing the location of Phase II on the City’s Land Use Plan Map, attached as Exhibit B and incorporated herein.*

2. Map of Site with Zoning and Names and Addresses of Owners within 300 feet of the Site: *See Group Exhibit C incorporated herein.*

3. General written description of the proposed PIP:

a. Specific project themes and images: *A Site Plan of Phase II and Phase III is attached as Exhibit D and incorporated herein. Sample elevations and floor plans for one-story residences for Phase II are attached as Group Exhibit E and incorporated herein. Two-story residences are planned, as well, for Phase II. The Final Engineering Plans for the Phase I Buildout and Phase II are attached as Group Exhibit F and incorporated herein. The landscaping, signage, lighting, organizational structure, and consistency of the GDP and the PIP for Phase II will be substantially similar to those of Phase I, to make an integrated community.*

b. Specific mix of dwelling unit types and/or land uses: *Only single-family residences are proposed for Phase II.*

c. Specific residential densities: (i) *Dwelling units per gross acre: Phase II, less than 2.3 units/acre;* (ii) *floor area ratio: 25%;* (iii) *impervious surface area ratio: 40%.*

d. Specific treatment of natural features: *Phase II includes a detention pond that will serve not only Phase II improvements, but the Phase I improvements, as well. Open space in Phase II will be treated much as open space is treated in Phase I.*

e. Specific relationship to nearby properties and public streets: *Access to Phase II will be through the existing Summerhaven Drive from Lake Geneva Boulevard and an extended Murray Drive. The single-family residences of Phase II will relate well to the Phase I development.*

f. Statement of Rationale - why PD zoning proposed: *McMurr II requests PD zoning to obtain flexibilities from land use and bulk regulations for Phase II, the most significant of which have been granted in Phase I, to promote uniformity of development with Phase I, and to accommodate the number of single-family units sufficient to support the private infrastructure of Summerhaven, which has been planned for more multi-family units under the original PD. Despite the flexibilities sought under the requested PD zoning, permitted density in the Site's existing zoning of Two-Family Residential District (TR-6) is up to six dwelling units per acre, while Phase II is less than 2.3 dwelling units per acre.*

g. Complete list of zoning standards not met by proposed PD and location(s) in which they apply, and complete list of zoning standards more than met by the proposed PD and location(s) in which they apply:

McMurr II reiterates the following flexibilities from bulk regulations for Phase II, which have been granted under the approved General Development Plan for Phase II and Phase III:

- i. Easements for the private streets of 50 feet in width (Ordinance: minimum 66-foot width);*
- ii. Cul-de-sac length of 720 feet (Ordinance maximum: 400 feet);*
- iii. Minimum front and rear eave width of six inches for side of gables (Ordinance: eighteen inches);*
- iv. Side of front porch to side of adjacent front porch of twelve feet, minimum side yard of six feet (Ordinance: minimum dwelling unit separation of fifteen feet, minimum side yard of six feet);*
- v. Units in Phase II will range in size from approximately 5,046 square feet to approximately 8,182 square feet, to accommodate single-family dwellings in place of the duplex structures permitted under the TR-6, Two-family Zoning District. By comparison, some units in Phase I are below 7,000 square feet in size. (Ordinance: 9,000 square foot minimum);*
- vi. Minimum Landscape Surface Ratio (LSR): 45% (Ordinance: 50%);*
- vii. Maximum Building Coverage: 45% (Ordinance: 40%);*
- viii. Minimum Lot Width: 50 feet (Ordinance: 75 feet);*
- ix. Total of Both Sides, Lot Lines to House/Garage: Twelve feet (Ordinance: fifteen feet; and*
- x. Rear Lot Line to House or Garage: fifteen feet (Ordinance: 30 feet).*

Phase II will meet the following bulk regulations:

- xi. Residential Density and Intensity Requirements: Conventional Development Minimum Zoning District Area: 9,000 square feet - Units in Phase II will range in size from approximately 5,046 square feet to about 8,182 square*

feet, to accommodate single-family dwellings in place of the duplex structures permitted under the TR-6, Two-family Zoning District. By comparison, some units in Phase I are below 7,000 square feet in size.

- xii. Maximum Gross Density (MGD): Six du/acre - *Phase II totals fewer than 2.3 dwelling units per acre.*
- xiii. Maximum Accessory Building Coverage: 10%
- xiv. Residential Bulk Requirements:
 - 1. Minimum Street Frontage: 50 feet
 - 2. Minimum Setbacks:
 - Front or Street Lot Line to House: 25 feet
 - Front or Street Lot Line to Garage: 25 feet
 - Side Lot Line to House or Garage: six feet
 - Side Lot Line to Accessory Structure: three feet from property line
 - Rear Lot Line to Accessory Structure: three feet from property line
 - Minimum Paved Surface Setback: five feet from side or rear; ten feet from street
 - Minimum Dwelling Unit Separation: twelve feet
 - Maximum Height of Dwelling Unit: 35 feet
 - Maximum Height of Accessory Structure: fifteen feet
 - Minimum Number of Off-Street Parking Spaces Required on the Lot (Includes garage, drives, and all designated parking surfaces): three
 - Minimum Dwelling Core Dimensions: 24 feet by 40 feet
 - Minimum Roof Pitch: 3 : 12
 - 3. Residential Landscaping Requirements: Not applicable for single-family.

4. Precise Implementation Plan Drawing showing at least the following information:

- a. **PIP Site Plan conforming to §98-908(3).** *See attached Exhibit G incorporated herein and McMurr II's proposed Declaration and Plat of Condominium submitted concurrently herewith.*
- b. **Location of public recreational and open space areas and facilities.** *None. All amenities, including the pool and pool house in Phase I, are intended for the use of Summerhaven residents and their guests.*
- c. **Statistical data** on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the City. *See 3(g), above.*
- d. **Notations** relating (3)(a)3.a.-f., above to specific area. *See Exhibit G.*

5. Landscaping Plan, noting approximate locations of foundation, street, yard and paving, landscaping, and compliance with landscaping requirements, and the use of extra landscaping and bufferyards. *There are no residential landscaping requirements for single-family residences in the base district TR-6, Two-family Zoning District. Each owner in Phase II will landscape his or her yard as he or she sees fit.*

6. Building Elevations of exteriors of all buildings: *See Group Exhibit E.*

7. General Signage Plan, including all project identification signs and concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles) which vary from City standards or common practices. *Signage and light fixtures and poles for Phase II shall be substantially similar in appearance and location to the signage and light fixtures and poles for Phase I, to preserve continuity with Phase I. Only directional and street signage is planned for Phase II; no project identification signage is needed.*

8. General Outline of Intended Organizational Structure: Phase II will be under condominium ownership, pursuant to the Declaration of Condominium and Plat of Condominium of Summerhaven of Lake Geneva II, consisting of four single-family site condominium units in Phase II, with Phase III designated as Expansion Area for up to 23 additional single-family site condominium units.

McMurr II proposes a cross-easement agreement between the condominium associations of the Condominium of Summerhaven of Lake Geneva and the Condominium of Summerhaven of Lake Geneva II, to share, maintain, repair and replace the private roads, the storm water management facilities, the pool and pool house, and other common amenities and private infrastructure used by all.

9. Consistency of Proposed PIP with Approved GDP: The proposed PIP for Phase II is fully consistent with the approved GDP for Phase II and Phase III, and with the approved PIP for Phase I, using the same flexibilities from bulk and other zoning standards in all phases and implementing varied but complementary design themes, to create a phased, seamless, predominantly single-family development throughout Summerhaven.

10. All Variations between Requirements of GDP and PIP: None.

11. Proof of Financing Capability: McMurr II will enter into a development agreement with the City for the Phase II improvements and submit a performance bond thereunder in the amount of 120% of the value of the public improvements, as determined by the City Engineer and McMurr II.

McMurr II respectfully requests that the City grant the PIP pursuant to this Application, to complete this infill development in the City, subject to such reasonable conditions as the City may impose.

EXHIBIT A
SUMMERHAVEN – PHASE II
PRECISE IMPLEMENTATION PLAN
LEGAL DESCRIPTION OF PHASE II

PARCEL 1: THAT PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 1 OF CERTIFIED SURVEY MAP NO. 754, RECORDED AS DOCUMENT NO. 28944 OF WALWORTH COUNTY CERTIFIED SURVEYS, SAID POINT LOCATED S 89DEG 31MIN 36SEC W, 733.28 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 36 (T2N, R17E); THENCE N 89DEG 38MIN 40SEC E, 89.98 FEET; THENCE N 89DEG 37MIN 23SEC E, 90.50 FEET TO THE WEST LINE OF LAKE GENEVA BOULEVARD; THENCE N 01DEG 34MIN 47SEC W, 348.82 FEET ALONG SAID BOULEVARD TO THE SOUTHWEST LINE OF WELLS STREET; THENCE N 37DEG 55MIN 32SEC W, ALONG SAID STREET, 202.94 FEET; THENCE S 89DEG 18MIN 48SEC W, 239.56 FEET TO THE POINT OF BEGINNING; THENCE S 00DEG 41MIN 12SEC E, 50.00 FEET; THENCE S 01DEG 55MIN 11SEC E, 134.92 FEET; THENCE S 89DEG 31MIN 07SEC W, 24.01 FEET; THENCE S 01DEG 12MIN 03SEC E, 16.91 FEET; THENCE S 88DEG 41MIN 15SEC W, 42.80 FEET; THENCE N 86DEG 27MIN 48SEC W, 126.62 FEET; THENCE S 88DEG 58MIN 07SEC W, 199.39 FEET TO THE EAST LINE OF LAKE SHORE VILLAGE CONDOMINIUM; THENCE ALONG SAID CONDOMINIUM, N 00DEG 11MIN 05SEC W, 6.62 FEET; THENCE CONTINUE, N 00DEG 47MIN 32SEC W, 187.44 FEET; THENCE N 89DEG 18MIN 48SEC E, 389.70 FEET TO THE POINT OF BEGINNING. CONTAINING 76,247 SQUARE FEET (1.75 ACRES) OF LAND, MORE OR LESS (end of legal description).

Property Index Number: ZSUM 00001

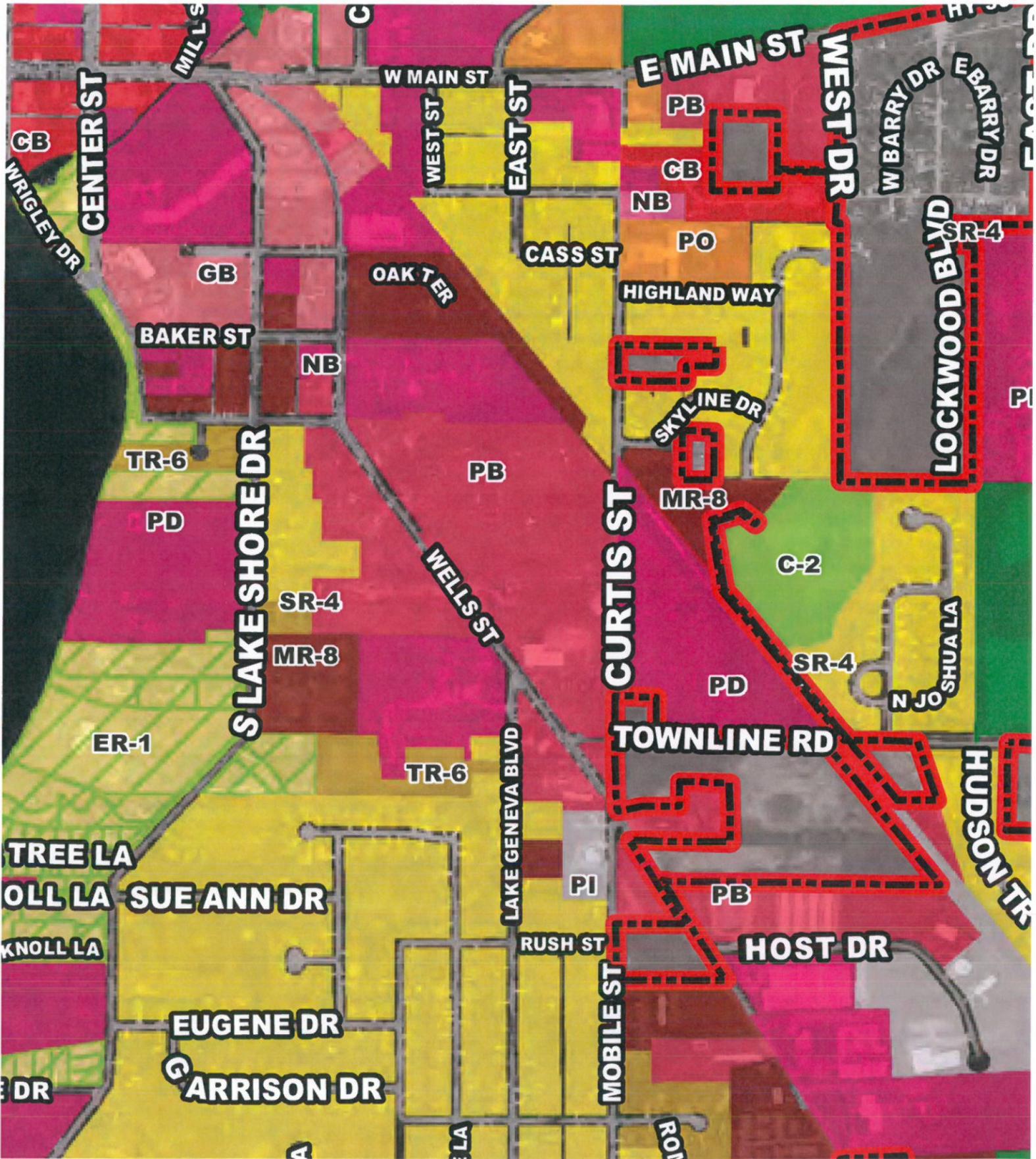
EXHIBIT B
SUMMERHAVEN – PHASE II
PRECISE IMPLEMENTATION PLAN
LOCATION MAP

See attached.

**GROUP EXHIBIT C
SUMMERHAVEN – PHASE II
PRECISE IMPLEMENTATION PLAN**

MAP OF SITE AND LIST OF OWNERS WITHIN 300 FEET

See attached.



TaxKey	Owner1	Owner2	Address1	Address2	City	State	Zip
ZA 1200001	MARILYN J MCLAUGHLIN		PO BOX 1334		LAKE GENEVA	WI	531470000
ZA 1200002	LINDA L FRAME		940 LAKE GENEVA BLVD		LAKE GENEVA	WI	531470000
ZA 1200003	ELMER HANSEN		950 LAKE GENEVA BLVD		LAKE GENVA	WI	531470000
ZA 75400001	MCMURR II LLC		414 N ORLEANS ST, STE 610		CHICAGO	IL	60610
ZA 75400002	JOHN P BILLINGS		808 LAKE GENEVA BLVD		LAKE GENEVA	WI	531470000
ZA 75400004	BRUCE N JALOSZYNSKI	JOYCE A JALOSZYNSKI	914 LAKE GENEVA BLVD		LAKE GENEVA	WI	531470000
ZA134700002	LESZEK SYNOWIEC		1539 E. MARCUS CT		PARK RIDGE	IL	600680000
ZA282000001	JEFFERSON KILLIAN	MADELINE KILLIAN	333 OAKWOOD DR		LAKE GENEVA	WI	531470000
ZA282000002	MARK R MOLLER-GUNDERSON TRU	MARY ANN MOLLER-GUNDERSON TRUS	325 OAKWOOD LA		LAKE GENEVA	WI	53147
ZA282000003	JAMES P HANNY	GRACE L HANNY	311 OAKWOOD LA		LAKE GENEVA	WI	53147
ZA404900001	ANDREW WISNIEWSKI	CHRISTINE WISNIEWSKI	301 OAKWOOD LN		LAKE GENEVA	WI	531470000
ZA404900002	BRUCE N JALOSZYNSKI	JOYCE A JALOSZYNSKI	914 LAKE GENEVA BLVD		LAKE GENEVA	WI	531470000
ZA434700004	BARBARA M BROWN	SCOTT CARLTON BROWN	625 S LAKE SHORE DR		LAKE GENEVA	WI	531470000
ZBL 00003	MOLLY M FINE	FREDERICK MICHAELIS	204 LOOKOUT DR		LAKE GENEVA	WI	53147
ZBL 00004	JOHN MANNA TRUST	ROSA MANNA TRUST	61 ARLINGTON HEIGHTS RD		ELK GROVE VILLAGE	IL	600070000
ZBL 00005	DAVID HEIDENREICH	PATRICIA L HEIDENREICH	794 S WELLS ST		LAKE GENEVA	WI	531470000
ZBL 00006	BOWMAN FARMS INC		2934 FISH HATCHERY RD,, STE 222		FITCHBURG	WI	53713
ZBL 00006A	RITA M POPELKA		1075 LAKE GENEVA BLVD		LAKE GENEVA	WI	531470000
ZBL 00008	BOWMAN FARMS INC		2934 FISH HATCHERY RD		MADISON	WI	53713
ZBL 00056	JEAN-PAUL MEYER		2319 S. HIDDEN TRAIL BLVD		SPRING GROVE	IL	600810000
ZBL 00056B	CHRISTOPHER J WINTERS	HEATHER N WINTERS	909 LAKE GENEVA BLVD		LAKE GENEVA	WI	531470000
ZBL 00057	CHRISTOPHER J KLOCKAU	KAREN A KLOCKAU	4310 83RD AVE CT		MILAN	IL	612640000
ZBL 00058	BOWMAN FARMS INC		2934 FISH HATCHERY RD		MADISON	WI	53713
ZGW 00001	DALIA RUZGA		350 OAKWOOD LA		LAKE GENEVA	WI	53147
ZGW 00002	RANDALL W SIMS	DEBORAH K SIMS	360 OAKWOOD LN		LAKE GENEVA	WI	531470000
ZGW 00003	MICHAEL A WOODS	RUTH A WOODS	949 TIMOTHY DR		LAKE GENEVA	WI	531470000
ZGW 00004	JANE I TULLY		950 TIMOTHY DR		LAKE GENEVA	WI	531470000
ZGW 00005	JOHN E BALDWIN		450 OAKWOOD LN		LAKE GENEVA	WI	531470000
ZGW 00006	MICHAEL D KRAMP	JENNIFER S KRAMP	460 OAKWOOD LN		LAKE GENEVA	WI	531470000
ZGW 00007	GABRIEL J HAMMERSTROM		470 OAKWOOD LN		LAKE GENEVA	WI	531470000
ZGW 00008	ROBERT ROBINSON	LORI ROBINSON	455 OAKWOOD LN		LAKE GENEVA	WI	53147
ZGW 00009	DAVID V HETTIGER	GEORGETTE P HETTIGER	445 OAKWOOD LN		LAKE GENEVA	WI	531470000
ZGW 00010	ARVANITAKIS TRUST		425 OAKWOOD LN		LAKE GENEVA	WI	531470000

ZGW 00011	MARION ROSIAK	LILIJA E ROSIAK	401 OAKWOOD LN	LAKE GENEVA	WI	531472348
ZGW 00012	DUSTIN A DEAN	MARIA J DEAN	395 OAKWOOD LN	LAKE GENEVA	WI	53147
ZGW 00013	RAJ HANDA	KULWINDER HANDA	375 OAKWOOD LN	LAKE GENEVA	WI	531470000
ZGW 00014	JEFFREY M ZUKOWSKI		355 OAKWOOD LN	LAKE GENEVA	WI	531470000
ZLSV 00001A	MARK S JOHNSON	REBECCA L JOHNSON	285 WILLOWBROOK DR	OSWEGO	IL	605430000
ZLSV 00001B	JOHN J MALCOLM TRUST	DENISE R MALCOLM TRUST	6 LANCELOT LA	HAWTHORN WOODS	IL	60047
ZLSV 00001C	JOSEPH D ORI	ELIZABETH A ORI	317 W KATHLEEN DR	PARK RIDGE	IL	60068
ZLSV 00001D	IRVING SEGAL		8787 E MOUNTAIN VIEW RD. #1066	SCOTTSDALE	AZ	85258
ZLSV 00001E	MARISA SERRATO		750 N NOBLE ST APT D	CHICAGO	IL	60642
ZLSV 00001F	PATRICIA L WOLTER		703 S LAKESHORE DR	LAKE GENEVA	WI	531470000
ZLSV 00001G	DONNA JEAN SIMON	BRYAN W SIMON	453 RAIN TREE CT #1F	GLEN ELLYN	IL	601370000
ZLSV 00001H	TRACI MARNUL		703 S LAKE SHORE DR	LAKE GENEVA	WI	53147
ZLSV 00002A	DONNA G TABROSKY TRUST		705 S LAKE DR	LAKE GENEVA	WI	53147
ZLSV 00002B	MARY LYNN BRENNAN		705 S LAKE SHORE DR	LAKE GENEVA	WI	531470000
ZLSV 00002C	DEBORAH R HAWKINS		122 E VALLETTE ST	ELMHURST	IL	60126
ZLSV 00002D	CONRAD ROHATSCH	ROBERTA ROHATSCH	170 NORTHWEST HWY	PARK RIDGE	IL	60068
ZLSV 00002E	JOHN KOLAKOWSKI		8029 W CATHERINE AVE	CHICAGO	IL	60656
ZLSV 00002F	WILLIAM B ITTNER		705 S LAKE SHORE DR, #2F	LAKE GENEVA	WI	531470000
ZLSV 00002G	RICHARD F CORN	PATRICIA J CORN	2217 CREEK RIDGE DR	CARROLLTON	TX	750070000
ZLSV 00002H	BARBARA A HARTKE TRUST		705 S LAKE SHORE DR, 2H	LAKE GENEVA	WI	53147
ZLSV1 00003A	DIANA L WILSON		909 S DUNDEE AVE	BARRINGTON	IL	600100000
ZLSV1 00003B	JOAN A FAHERTY		707 S LAKE SHORE DR UNIT 3B	LAKE GENEVA	WI	53147
ZLSV1 00003E	VALENTINA GURAN TRUST		6161 N HOYNE	CHICAGO	IL	60659
ZLSV1 00003F	MARIE L KRUTWIG		707 S LAKE SHORE DRIVE UT 3F	LAKE GENEVA	WI	53147
ZLSV1 00004A	MARILYN I ELLMAN		709 S LAKE SHORE DR #4A	LAKE GENEVA	WI	53147
ZLSV1 00004B	MARILYN I ELLMAN		709 S LAKE SHORE DR #4A	LAKE GENEVA	WI	53147
ZLSV1 00004C	RICHARD J FREIBERG TRUST	KERRY J FREIBERG TRUST	11980 W PALLOTTINE DR	GREENFIELD	WI	53228
ZLSV1 00004D	KENNETH F MILICI		5919 48TH AVE SW	SEATTLE	WA	98136
ZLSV1 00004E	WAYNE JAMES TOBIASZ		709 S LAKE SHORE DR #4E	LAKE GENEVA	WI	53147
ZLSV1 00004F	LOUISE E ZAPFE		709 LAKE SHORE DR	LAKE GENEVA	WI	531470000
ZLSV1 00004G	HELEN M RADLOFF		709 S LAKESHORE DRIVE, 4G	LAKE GENEVA	WI	53147
ZLSV1 00004H	BERNADINE F PELETZ FOX		709 SOUTH LAKE SHORE DR UT H	LAKE GENVA	WI	53147
ZLSV2 00005A	LEIGH A CROWLEY TRUST		0N413 TAYLOR DR	GENEVA	IL	60134
ZLSV2 00005B	GREGORY D HOWSE	KAREN C HOWSE	18655 FOREST VIEW LA	LANSING	IL	604380000

ZLSV2 00005E	JILL D GREEN TRUST		711 SOUTH LAKE SHORE DR, UT 5E	LAKE GENEVA	WI	53147
ZLSV2 00005F	JAMES J POLEK	VICKIE POLEK	4901 DRENDAL RD	DOWNERS GROVE	IL	60515
ZLSV2 00006A	MARGARITA P SANDOVAL		739 WILLOW ST	SAN JOSE	CA	95125
ZLSV2 00006B	MARK BUTITTA	MARY BUTITTA	2429 S ALPINE RD	ROCKFORD	IL	611080000
ZLSV2 00006E	JOHN S RITCHIE JR		728 N BRIAR HILL LA, UT 2	ADDISON	IL	60101
ZLSV2 00006F	LOUIS M LOBIANCO	TERRI L LOBIANCO	821 FOREST VIEW	PARK RIDGE	IL	600680000
ZLSV2 00007A	JOHN T PYTEL	JACQUELINE M PYTEL	908 JEREMY LN	LIBERTYVILLE	IL	600480000
ZLSV2 00007B	NARDA F AGUILERA LAND TRUST		1125 STARWOOD PASS	LAKE IN THE HILLS	IL	60156
ZLSV2 00007E	SHARON M DVORAK		715 S LAKE SHORE DR UT 7E	LAKE GENEVA	WI	53147
ZLSV2 00007F	ELLEN M LIEBNER TRUST	MARY ANN TANQUARY TRUST	411 ASHLAND AVE	RIVER FOREST	IL	603050000
ZLSV3 00008A	SCHILLACI FAMILY TRUST		17811 BERNARD DR	ORLAND PARK	IL	604670000
ZLSV3 00008B	ALAN KUPSIK	CHRISTINE KUPSIK	717 S LAKE SHORE DR - #8B	LAKE GENEVA	WI	531470000
ZLSV3 00008E	LINDA ISER TRUST		7912 TRINITY CIR 4SE	TINLEY PARK	IL	604770000
ZLSV3 00008F	CAROL T WILCOX TRUST	CHRISTOPHER P BEARDSLEY TRUST	717 S LAKESHORE DR	LAKE GENEVA	WI	53147
ZLSV3 00009A	BRUCE R NELSON	JOAN M NELSON	11775 BANCHARY RD	BELVIDERE	IL	61008
ZLSV3 00009B	RUSSELL D SABAC		719 S LAKE SHORE DR UT B	LAKE GENEVA	WI	53147
ZLSV3 00009E	VICTORIA D KUK TRUST		8340 W BERWYN AVE APT 1	CHICAGO	IL	606561980
ZLSV3 00009F	JOHN W WHITTINGTON	CHARLOTTE A WHITTINGTON	452 WINSOR DR	ANTIOCH	IL	600020000
ZLSV3 00010A	LAWRENCE B WIELAND TRUST	DEANNA L WIELAND TRUST	PO BOX 5905	SUN CITY WEST	AZ	85376
ZLSV3 00010B	KENNETH A WIESS		W3276 HUNT RIDGE DR	ELKHORN	WI	531210000
ZLSV3 00010E	SUZETTE TOIA		PO BOX 1193	LAKE GENEVA	WI	53147
ZLSV3 00010F	GARY S PIPER	JADWIGA PIPER	12 OXFORD DR	LINCOLNSHIRE	IL	600690000
ZMERR 00001	DOROTHY M PHILIP		909 BONNIE BRAE LN	LAKE GENEVA	WI	531470000
ZMERR 00002	JEFFREY D LEVATO	ERICA R LEVATO	915 BONNIE BRAE LN	LAKE GENEVA	WI	531472325
ZMERR 00005	JOSEPH ESPOSITO		300 OAKWOOD LN	LAKE GENEVA	WI	531470000
ZMERR 00006	JAMES R CONNORS	LYNN Y CONNORS	320 OAKWOOD LA	LAKE GENEVA	WI	531470000
ZMERR 00007	RICHARD J ANCHONDO	CHRISTINA K ANCHONDO	330 OAKWOOD LA	LAKE GENEVA	WI	53147
ZOP 00398	625 WELLS STREET LLC		625 WELLS ST	LAKE GENEVA	WI	531470000
ZOP 00410	FREDERICK A GAHL	STACEY A BRESNAHAN	661 S LAKE SHORE DR	LAKE GENEVA	WI	531470000
ZOP 00410A	LILYPOTS LLC		682 S WELLS ST	LAKE GENEVA	WI	53147
ZOP 00411A	MCCULLOUGH WALWORTH PROPERTIES		694 WELLS ST	LAKE GENEVA	WI	531470000
ZOP 00411B	LESTER SYNOWIEC		1539 E MARCUS CT	PARK RIDGE	IL	600680000
ZPAR 00001	TALMAE LLC		N3189 CENTER ST	LAKE GENEVA	WI	531470000
ZPAR 00002	JEFFREY G BUNTROCK	ROGER D HULSEBUS	612 WELLS ST, STE C	LAKE GENEVA	WI	531470000

ZPAR 00003	JEFFREY G BUNTROCK	ROGER D HULSEBUS	612 WELLS ST, STE C		LAKE GENEVA	WI	531470000
ZPAR 00004	JEFFREY G BUNTROCK	ROGER D HULSEBUS	612 WELLS ST, STE C		LAKE GENEVA	WI	531470000
ZPAR 00005	WILLIAM L TAUBER		415 WELLS ST	UT 107	LAKE GENEVA	WI	531470000
ZPAR 00006	LLC GALLOWS		N1173 WALWORTH RD		GENOA CITY	WI	53128
ZPAR 00007	JAMES PAUL- NORBERT KRAMER TR	KAREN ANN KRAMER TRUST	906 PLATT AVE		LAKE GENEVA	WI	53147
ZPAR 00008	TAYLOR-KLEWER ENTERPRISES LLC		PO BOX 384		LAKE GENEVA	WI	531470000
ZSUM 00001	MCMURR II LLC		414 N ORLEANS ST, STE 610		CHICAGO	IL	60610
ZSUM 00002	MCMURR II LLC		414 N ORLEANS ST, STE 610		CHICAGO	IL	60610
ZSUM 00101	DEMETRA C CONDOS		101 SUMMERHAVEN LN		LAKE GENEVA	WI	531470000
ZSUM 00103	JAMES B LARSON	JULIE SCHAUER LARSON	103 SUMMERHAVEN LN		LAKE GENEVA	WI	53147
ZSUM 00107	MCMURR II LLC		414 N ORLEANS ST, STE 610		CHICAGO	IL	60610
ZSUM 00109	MCMURR II LLC		414 N ORLEANS ST, STE 610		CHICAGO	IL	60610
ZSUM 00112	MCMURR II LLC		414 N ORLEANS ST, STE 610		CHICAGO	IL	60610
ZSUM 00116	MCMURR II LLC		414 N ORLEANS ST, STE 610		CHICAGO	IL	60610
ZSUM 00126	MCMURR II LLC		414 N ORLEANS ST, STE 610		CHICAGO	IL	60610
ZSUM 00202	JOSEPH R FUSINATO		202 SUMMERHAVEN LN		LAKE GENEVA	WI	531470000
ZSUM 00204	IRMA GRONAU TRUST		204 SUMMERHAVEN LA		LAKE GENEVA	WI	53147
ZSUM 00207	MCMURR II LLC		414 N ORLEANS ST, STE 610		CHICAGO	IL	60610
ZSUM 00208	LAURA M MCGOUGH	GABRIEL A DIFRANCO	5030 N MOZART ST		CHICAGO	IL	60625
ZSUM 00209	MARK PINNER	DONNA PINNER	2917 BRIDLEPATH CT		LAKE GENEVA	WI	53147
ZSUM 00210	ROBERT HECHT TRUST	SHELLY HECHT TRUST	500 S EDWARDS BLVD		LAKE GENEVA	WI	53147
ZSUM 00215	MARK PINNER	DONNA PINNER	215 SUMMERHAVEN LA		LAKE GENEVA	WI	53147
ZSUM 00216	CATHY A POMARANSKI		640 SOUTHWIND DR UT 104		LAKE GENEVA	WI	53147
ZSUM 00217	SUSAN SPANBAUER		116 N WHITE ST		ROUND TOP	TX	78954
ZSUM 00221	PETER STEIN	KAREN STEIN	221 SUMMERHAVEN LA		LAKE GENEVA	WI	53147
ZSUM 00223	BASSO BUILDERS INC		405 SKYLINE DR		LAKE GENEVA	WI	53147
ZSUM 00224	BASSO BUILDERS INC		405 SKYLINE DR		LAKE GENEVA	WI	53147
ZSUM 00226	HENRICKSON TRUST		16220 MERIEL WAY		HUNTLEY	IL	60142
ZSUM 00227	BASSO BUILDERS INC		405 SKYLINE DR		LAKE GENEVA	WI	53147
ZSUM 00229	EDMUND J JUNG	ELIZABETH A JUNG	1222 PRAIRIE ORCHID LA		GRAYSLAKE	IL	60030
ZSUM 00230	JASON DZUREC		230 SUMMERHAVEN LN		LAKE GENEVA	WI	531470000
ZSUM 00232	OHANNES J ARAKELIAN	DIRUHI ARAKELIAN	999 SHERMER RD		NORTHBROOK	IL	600620000
ZSUM 00237	ALBERT E DURKIN	KATHLEEN DURKIN	237 SUMMERHAVEN LA		LAKE GENEVA	WI	53147
ZSUM 00239	CORBOY FAMILY TRUST		239 SUMMERHAVEN LN		LAKE GENEVA	WI	531470000

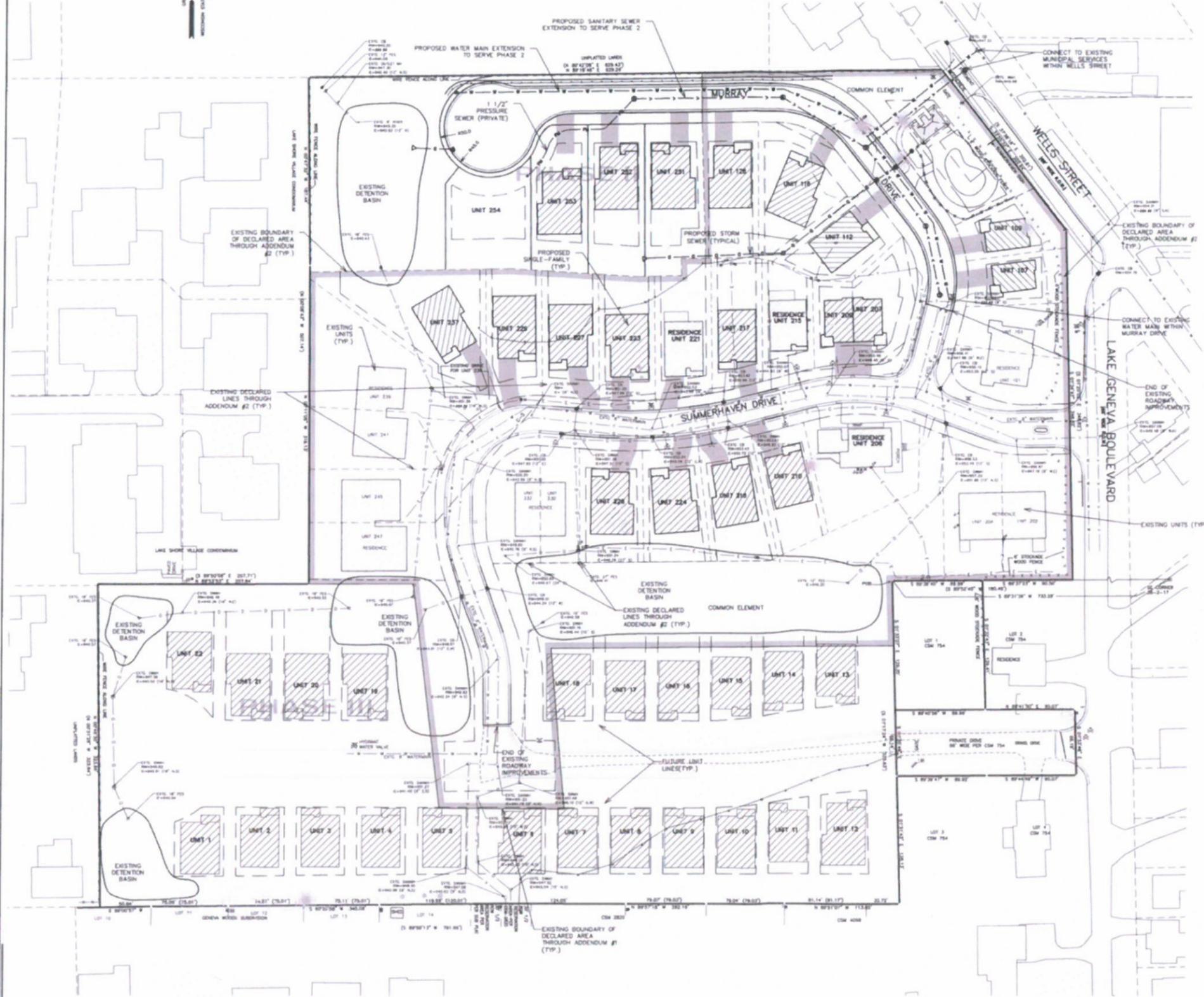
ZSUM 00241	KENNETH F LOCHOWICZ	JANE D LOCHOWICZ	241 SUMMERHAVEN LN	LAKE GENEVA	WI	531470000
ZSUM 00245	DAVID A WALL	LARA LAIDLEY WALL	245 SUMMERHAVEN LN	LAKE GENEVA	WI	531470000
ZSUM 00247	LYNN M MILLER TRUST		9136 WINDSOR DR	ORLAND PARK	IL	60462
ZVS 00001	PENELOPE ROEHRER		951 S LAKE SHORE DR UT 1	LAKE GENEVA	WI	531470000
ZVS 00002	ALICIA M LANZITO		951 S LAKE SHORE DR, UT 2	LAKE GENEVA	WI	53147
ZVS 00003	FRANK R SERRECCHIA	JULIE A SERRECCHIA	1423 VINEYARD LN	LIBERTYVILLE	IL	600480000
ZVS 00004	4SQUARE LLC		951-4 S LAKESHORE DR	LAKE GENEVA	WI	531470000
ZVS 00005	LAURA L SELBY		195 N HARBOR DR, UT 2705	CHICAGO	IL	60601
ZVS 00006	RAYMOND ALOIS RING	PAMELA ANN RING	951 S LAKESHORE DR UT 6	LAKE GENEVA	WI	531470000
ZVS 00007	GARRETT C SCHULTZ		951 S LAKE SHORE DR UT 7	LAKE GENEVA	WI	53147
ZVS 00008	TIMOTHY J GOBAT	CHRISTINE SCHMAUS	1331 N RIDGE AVE	ARLINGTON HEIGHTS	IL	60004
ZVS 00009	IRWIN ABRAMS	LISA ABRAMS	101 WESTMORELAND DR	WILMETTE	IL	600910000
ZVS 00010	BRIAN L O'BYRN	GAIL M O'BYRN	3 JENNIFER CT	BARRINGTON HILLS	IL	600100000
ZVS 00011	ELAINE VLAHAKIS	DAVID LOOMOS	222 N WASHINGTON	PARK RIDGE	IL	600680000
ZVS 00012	JOE PORTER MCLEAN	LINDA S MCLEAN	951 S LAKE SHORE DR	LAKE GENEVA	WI	531470000
ZYO 00001	MARY KRAL		5132 WOODLAND AVE	WESTERN SPRINGS	IL	60558
ZYO 00002	MARTIN A HAEGER TRUST	PEGGY A HAEGER TRUST	1209 BEAVER CREEK RD	CHESTERFIELD	MT	63017
ZYO 00003	THERESE M BOYLE		10356 S SAWYER AVE	CHICAGO	IL	60655
ZYO 00004	MARTIN K LAPOINTE	PATRICIA A LAPOINTE	305 ANNE CT	PROSPECT HEIGHTS	IL	60070
ZYO 00005	DANIEL T O'CARROLL	GAIL A O'CARROLL	75 SUNSET AVE	GLEN ELLYN	IL	601370000
ZYO 00006	MARK L WASHACK	KAREN A WASHACK	11030 S KEELER	OAK LAWN	IL	604530000
ZYO 00007	MYRA P ZENKE TRUST		130 COMMONS DR	PALOS PARK	IL	60464
ZYO 00008	ANNE M SAMYN TRUST		612 N HIGHLAND AV	ARLINGTON HTS	IL	600040000
ZYO 00009	NANCY C NEWBOURNE		701 S LAKESHORE DR	LAKE GENEVA	WI	53147
ZYO 00010	KERRY TRUNKETT	CAMILLE TRUNKETT	3936 BORDEAUX DR	NORTHBROOK	IL	60062
ZYO 00011	KRISTIAN KIELHOFNER		701 S LAKE SHORE DR #2D	LAKE GENEVA	WI	531470000
ZYO 00012	SCOTT GERAMI	SANDY GERAMI	104 SETTLERS DR	NAPERVILLE	IL	605650000
ZYO 00013	JEFFREY A NEWMAN	EDITH F NEWMAN	2180 OAK HILL DR	LISLE	IL	60532
ZYO 00014	ANTHONY J RUCCI TRUST		7800 TILLINGHAST DR	DUBLIN	OH	430170000
ZYO 00015	RICHARD G SCHMIDT	NANCY E SCHMIDT	1205 MONTGOMERY AVE	ROSEMONT	PA	19010
ZYO 00016	JILL RODRIGUEZ TRUST		701 S LAKESHORE DR 3C	LAKE GENEVA	WI	53147
ZYUP 00100B	EVANGELIA TRAVLOS		6335 N LAWNDALE	CHICAGO	IL	606450000
ZYUP 00100C	ALBERT J HINTON TRUST	GERALDINE L HINTON TRUST	5701 LONGVIEW DR	COUNTRYWIDE	IL	605253553
ZYUP 00100D	ALBERT J HINTON TRUST	GERALDINE L HINTON TRUST	5701 LONGVIEW DR	COUNTRYSIDE	IL	605250000

EXHIBIT D
SUMMERHAVEN – PHASE II
PRECISE IMPLEMENTATION PLAN
SITE PLAN

See attached.

OVERALL SITE PLAN SUMMERHAVEN

LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 36 TOWN 2 NORTH,
RANGE 17 EAST AND THE NE 1/4 OF THE NE 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST,
IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



MINIMUM RESIDENTIAL BUILDING SEPARATION IS 12 FEET

LEGEND

PROPOSED	EXISTING
FOUND IRON PIPE STAKE	FOUND IRON REBAR STAKE
FOUND CONCRETE COUNTY MONUMENT	RECORDED AS
SET IRON REBAR STAKE	SANITARY MANHOLE
DRAINAGE MANHOLE	CATCH BASIN
WATER VALVE IN BOX	FIRE HYDRANT
UTILITY POLE	LIGHT POLE
DECIDUOUS TREE	CONIFEROUS TREE
TREELINE	WIRE FENCE
WOOD STAKE FENCE	STORM SEWER
WIRE FENCE	SANITARY SEWER
STORM SEWER	WATER MAIN
SANITARY SEWER	GAS MAIN
WATER MAIN	OVERHEAD WIRES
GAS MAIN	UNDERGROUND WIRES
OVERHEAD WIRES	TELEPHONE LINE
UNDERGROUND WIRES	1' CONTOURS
TELEPHONE LINE	PAVEMENT
1' CONTOURS	BUILDING FOOT

OWNER/DEVELOPER
SPECTRUM REAL ESTATE PROPERTIES
351 WEST HUBBARD, SUITE 610
CHICAGO, IL 60654





SUMMERHAVEN OF LAKE GENEVA
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

OVERALL SITE PLAN

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 ROOMWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 733-2088 FAX: (262) 733-5886

PROJECT NO:
8868

DATE:
04/05/2018

SHEET NO:
1 OF 1

SUMMERHAVEN OF LAKE GENEVA – PHASE 1 BUILDOUT & PHASE 2 FINAL ENGINEERING PLANS

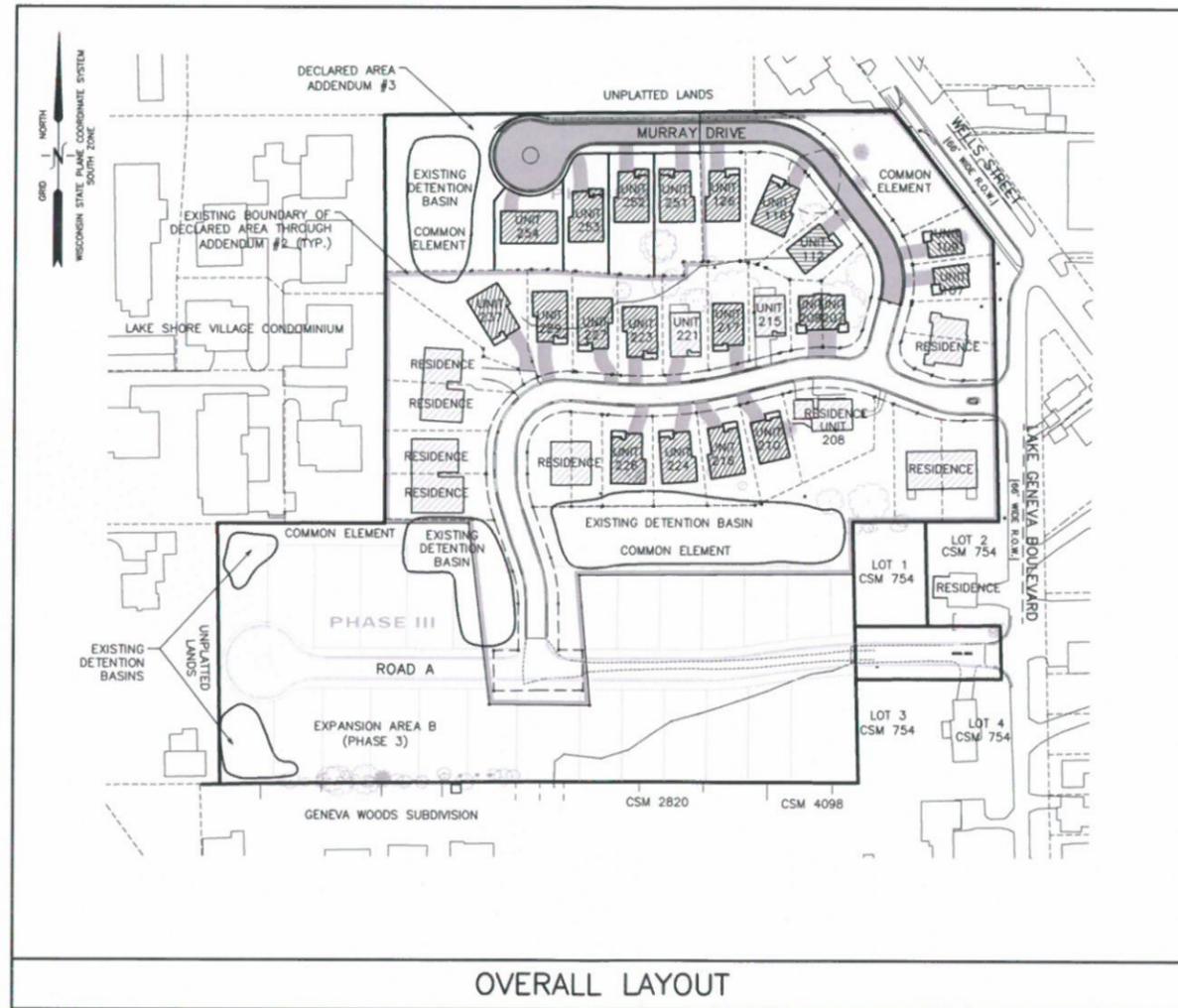
LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 36, TOWN 2 NORTH,
RANGE 17 EAST AND THE NE 1/4 OF THE NE 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST,
IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



SUMMERHAVEN OF LAKE GENEVA
PHASE 1 BUILDOUT & PHASE 2
FINAL ENGINEERING PLANS
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



- SEQUENCE OF CONSTRUCTION**
- OBTAIN REQUIRED NR 216 PERMIT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES BEFORE START OF ANY LAND DISTURBING ACTIVITY ON SITE.
 - HOLD PRE-CON TO ADDRESS ANY ISSUES WITH PLAN AND SEQUENCE.
 - INSTALL ALL APPROPRIATE EROSION CONTROL MEASURES ON SITE INCLUDING TEMPORARY SILT FENCE, STONE TRACKING PAD PER MNOR TECHNICAL STANDARDS.
 - CLEAR AND GRUB ON SITE (SEE SPECIFICATIONS).
 - STRIP TOPSOIL FROM ACCESS ROADS AND IN PLANNED WORK AREA OF TEMPORARY SEDIMENT TRAP AND STOCKPILE WHERE SHOWN ON PLAN. INSTALL TEMPORARY SILT FENCE AROUND ENTIRE PERIMETER OF STOCKPILE PER MNOR TECHNICAL STANDARDS. SOIL LEFT UNDISTURBED FOR 14 DAYS MUST BE SEEDED AND STABILIZED.
 - COMPLETE FINAL GRADING OF DRAINAGE SWALES. INSPECT SWALES TO MEET SPECIFICATIONS ON PLAN AND MNOR TECHNICAL STANDARDS INCLUDING IMPORT OF OFF-SITE FILL.
 - SEEDING AND EROSION MATTING AS SPECIFIED ON PLAN FOR TEMPORARY SEDIMENT TRAP & DRAINAGE SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
 - STABILIZE ALL OTHER EXPOSED SOIL AREAS WITH PROPER SEEDING AND EROSION MATTING PER MNOR TECHNICAL STANDARDS.
 - ROUGH GRADE PROPOSED ROAD.
 - INSTALL WATER, SANITARY AND STORM UTILITIES.
 - CONSTRUCT RETAINING WALLS.
 - FINE GRADE ROAD SUBGRADES.
 - INSTALL ROAD BASE COURSE.
 - COMPLETE CONSTRUCTION OF ALL ROADS BY INSTALLING BINDER PAVEMENT. SURFACE COURSE MAY BE DELAYED UP TO 12 MONTHS.
 - RESTORE ALL REMAINING DISTURBED AREAS.
 - IF SEDIMENT HAS ACCUMULATED WITHIN TEMPORARY SEDIMENT TRAPS DURING CONSTRUCTION IT SHALL BE REMOVED AND TRAPS SHALL BE RESTORED TO PROPOSED FINISHED GRADE.
 - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON FINAL STABILIZATION.
- NOTE:** ANY CHANGES TO OR VARIANCE OF SITE PLAN AND/OR CONSTRUCTION SEQUENCE DUE TO CONSTRUCTION MEANS AND METHODS SHOULD BE APPROVED BY THE ENGINEER AND OWNER PRIOR TO IMPLEMENTATION. THE ENGINEER SHALL NOTIFY THE DEPARTMENT OF NATURAL RESOURCES OF ANY CHANGES TO THE PLANS AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION. IT IS ANTICIPATED THAT WORK WILL NOT START UNTIL EARLY SPRING 2017 AND EXTEND THROUGH SUMMER WITH ALL WORK DONE BY OCTOBER 1, 2017. ACTUAL TIME LINES FOR VARIOUS WORK MAY VARY DEPENDING ON OWNERS OPERATIONS BUT EROSION CONTROL IS TO BE CONTINUOUSLY MAINTAINED.





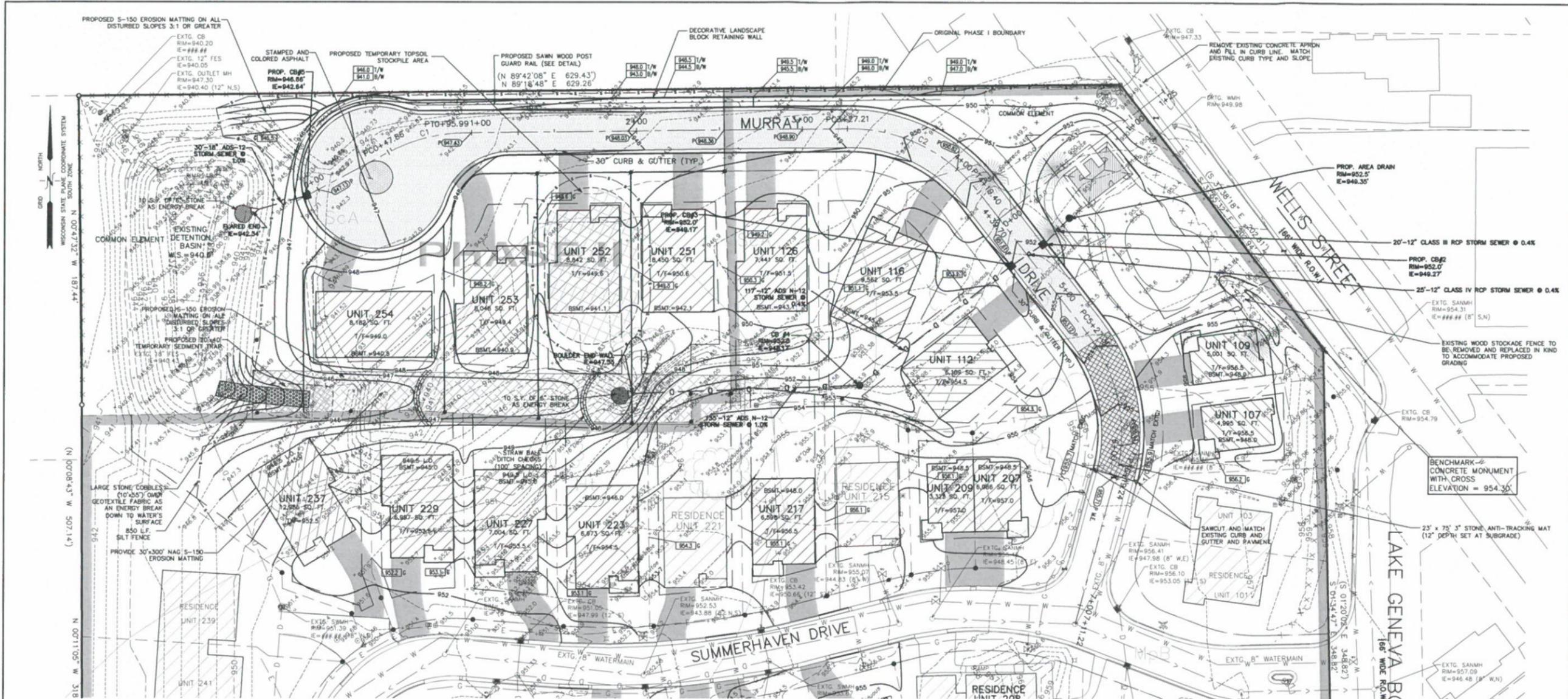
**SUMMERHAVEN OF LAKE GENEVA
PHASE 1 BUILDOUT & PHASE 2
FINAL ENGINEERING PLANS**
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

**SITE, GRADING, DRAINAGE
&
EROSION CONTROL PLAN**

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS
05/01/2018 - DSR
PER CITY COMMENTS

PROJECT NO.
8868
DATE
10/19/2016
SHEET NO.
2 OF 10



EROSION CONTROL NOTES

1. INLET PROTECTION TO BE INSTALLED IN EXISTING CURB INLET STRUCTURES AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF LOCAL EROSION CONTROL PLANS AND/OR ORDINANCES.
3. INSPECT SWALES TO MEET SPECIFICATIONS ON PLAN AND WDNR TECHNICAL STANDARDS ON AN ON-GOING BASIS.
4. SEEDING AND EROSION CONTROL MATTING AS SPECIFIED ON PLAN FOR TEMPORARY SEDIMENT TRAP AND SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
5. SILT FENCE TO ACT AS A SEDIMENT BARRIER/TRAP AND SHALL BE CLEANED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
6. PROVIDE INLET PROTECTION AT ALL CATCH BASINS AS EACH IS INSTALLED. INLET PROTECTION TO INCLUDE FABRIC BARRIERS UNDER CASTINGS.
7. INSPECT EROSION CONTROL ON SITE AND DOCUMENT FINDINGS IN AN INSPECTION REPORT. MAINTAIN WEEKLY INSPECTION SCHEDULE AND INSPECT SITE 24 HOURS AFTER EVERY RAINFALL EVENT FOR RUNOFF MANAGEMENT.
8. ALL DISTURBED SLOPES 3:1 OR GREATER TO BE STABILIZED WITH NORTH AMERICAN GREEN S-150 EROSION CONTROL BLANKET.

GENERAL NOTES

1. ALL ELEVATIONS ARE IN RELATION TO NATIONAL GEODETIC VERTICAL DATUM OF 1929.
SOURCE BENCHMARK - R.B.M. AS SHOWN ON THE WALWORTH COUNTY SURVEYOR'S TIE SHEET, DATED 5-1-97, ELEVATION = 949.35'
2. PROPOSED PAVED ROADWAYS SHOWN ARE 27' WIDE BETWEEN FACE OF CURB WITH 30" CURB AND GUTTER AND SHALL BE BUILT TO CITY STANDARDS.
3. ALL UNITS ARE TO BE SERVED WITH PUBLIC SEWER AND WATER.
4. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE CITY HALL. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.
5. TEMPORARY TOPSOIL STOCKPILES TO BE DETERMINED BY ENGINEER IN FIELD AFTER ALL CLEARING AND GRUBBING OPERATIONS ARE COMPLETED TO DETERMINE THE BEST SUITABLE SITE.
6. TOP OF FOUNDATION ELEVATIONS (T/F) SHOWN ON THE PLAN ARE SUGGESTED GRADES ONLY FOR A TYPICAL HOME SITE LOCATED AT WHAT IS FELT TO BE THE BEST SITE LOCATION. OWNERS SHALL BE REQUIRED TO HAVE THE ENGINEER OF RECORD PREPARE A DETAILED SITE AND GRADING PLAN WITH EROSION CONTROL DETAILS FOR THE HOME SITES. THE PLAN IS TO BE USED FOR SUBMITTAL TO THE CITY FOR ZONING AND BUILDING PERMITS.

ROAD CENTERLINE CURVE DATA

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	100.00'	48.13'	47.66'	N 75°31'33" E	27°34'30"
C2	100.00'	92.19'	88.96'	S 64°16'35" E	52°49'14"
C3	100.00'	91.93'	88.73'	S 11°31'49" E	52°40'18"

PUD ZONING BUILDING SETBACK REQUIREMENTS

STREET YARD - 18.5' ALONG PRIVATE ROADWAYS
- 25' ALONG PUBLIC ROADWAYS

SIDE YARD - 6' FOR DETACHED SINGLE-FAMILY UNITS

REAR YARD - 30' ALONG EXTERIOR BOUNDARIES

- LEGEND**
- - - - - EXISTING CONTOURS
 - EXISTING SPOT ELEVATION
 - — — — — PROPOSED CONTOURS
 - T/F = TOP OF FOUNDATION
 - BSMT. = BASEMENT FLOOR ELEVATION
 - G = FINISHED GROUND
 - P = FINISHED PAVEMENT
 - ▨▨▨▨▨ PROPOSED CL ROAD GRADE
 - ▨▨▨▨▨ PROPOSED SPOT GRADE
 - — — — — SILT FENCE
 - - - - - EASEMENT LINE
 - ▨▨▨▨▨ PROPOSED PAVEMENT
 - ▨▨▨▨▨ EROSION MAT OR EQUIVALENT
 - ▨▨▨▨▨ PROPOSED BUILDING BOX HOME SITE
 - ▨▨▨▨▨ PROPOSED DRIVE LOCATIONS

SITE SUMMARY

EXISTING ZONING - PUD
OVERALL AREA (Phases 1 & 2) - 10.06 ACRES
PROPOSED RIGHT OF WAY - 2.07 ACRES
NET DEVELOPMENT AREA - 7.99 ACRES
EXISTING DUPLEX UNITS - 10 UNITS
PROPOSED SINGLE-FAMILY - 23 UNITS
DENSITY - 4.13 UNITS PER ACRE

NOTE: COMMON ELEMENT TO BE PRESERVED AS PRIVATE ROADWAY OR OPEN SPACE.

DIGGERS HOTLINE
Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



X:\Projects\8868\ACAD\8868_Phase 2.dwg

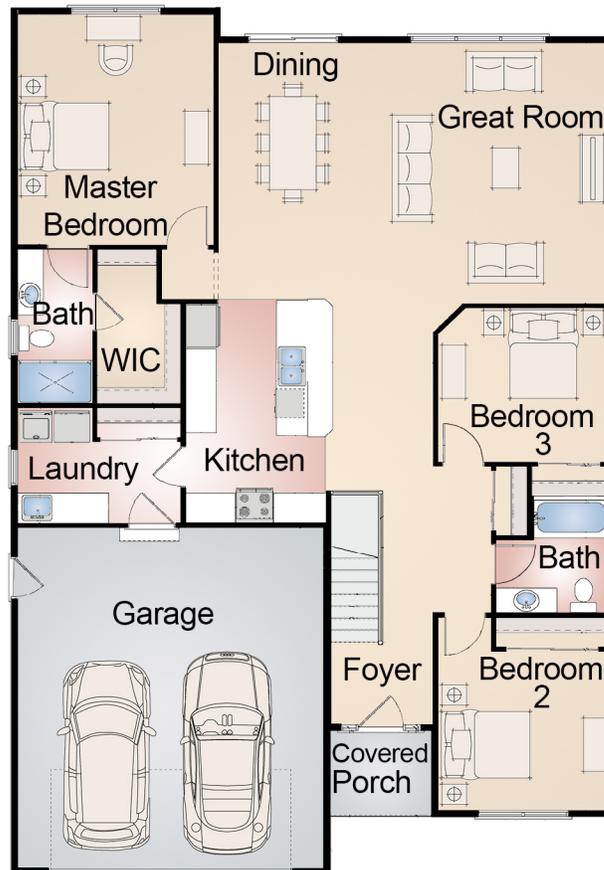
GROUP EXHIBIT E
SUMMERHAVEN – PHASE II
PRECISE IMPLEMENTATION PLAN
SAMPLE ELEVATIONS & FLOOR PLANS

See attached.



Cottage

Home Style: Ranch
1730 Square Feet
60'-0" Depth
40'-0" Width

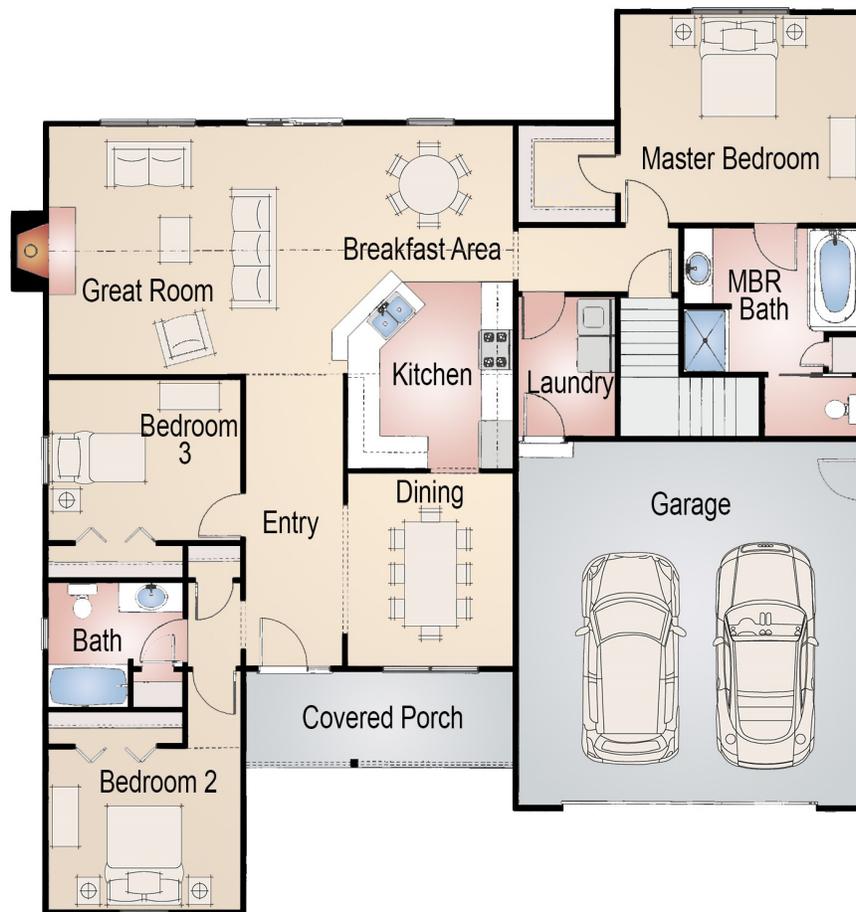


405 Skyline Drive - Lake Geneva, WI 53147
Phone: (262) 248-3378 - Fax: (262) 248-3899
Email: info@bassobuilders.com
www.bassobuilders.com



Glendale

Home Style: Ranch
1754 Square Feet
49'-6" Depth
51'-4" Width

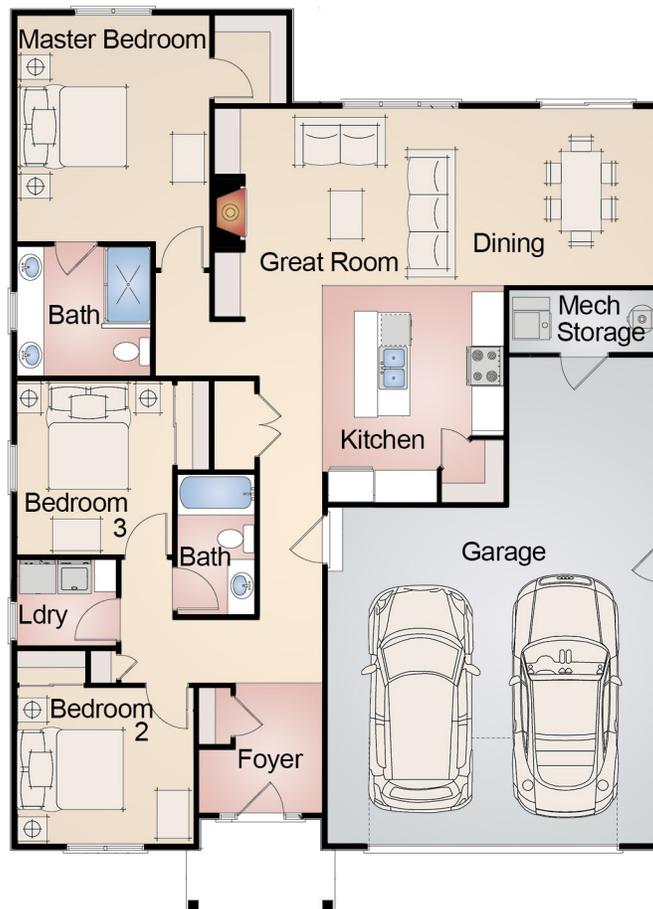


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Email: info@bassobuilders.com
www.bassobuilders.com



Haven

Home Style: Ranch
1534 Square Feet
58'-0" Depth
42'-0" Width

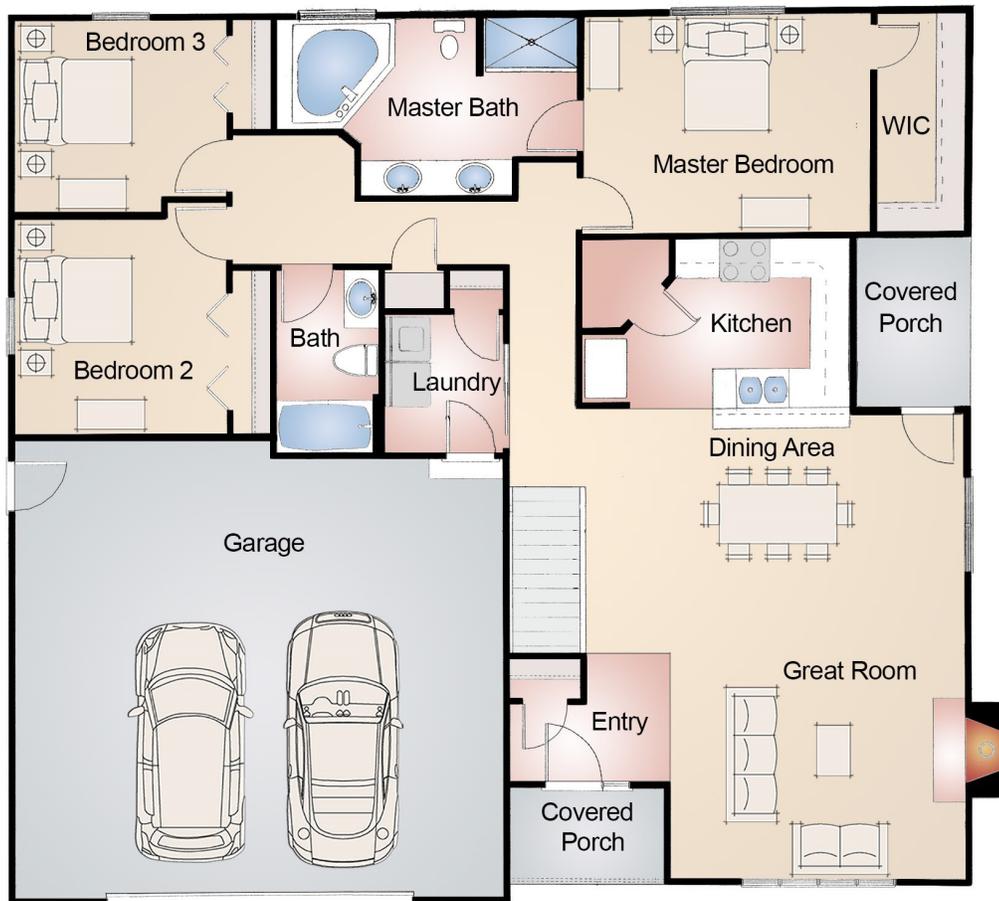


405 Skyline Drive - Lake Geneva, WI 53147
Phone: (262) 248-3378 - Fax: (262) 248-3899
Email: info@bassobuilders.com
www.bassobuilders.com



Teton

Home Style: Ranch
1586 Square Feet
46'-0" Depth
50'-0" Width



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Phone: (262) 248-3378 - Fax: (262) 248-3899
Email: info@bassobuilders.com
www.bassobuilders.com

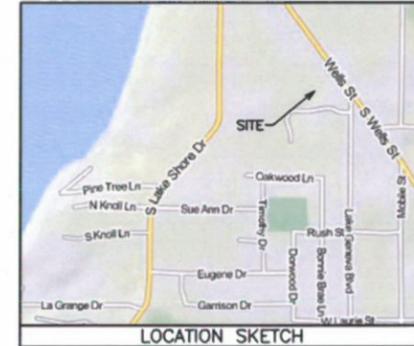
**GROUP EXHIBIT F
SUMMERHAVEN – PHASE II
PRECISE IMPLEMENTATION PLAN**

FINAL ENGINEERING PLANS FOR THE PHASE I BUILDOUT AND PHASE II

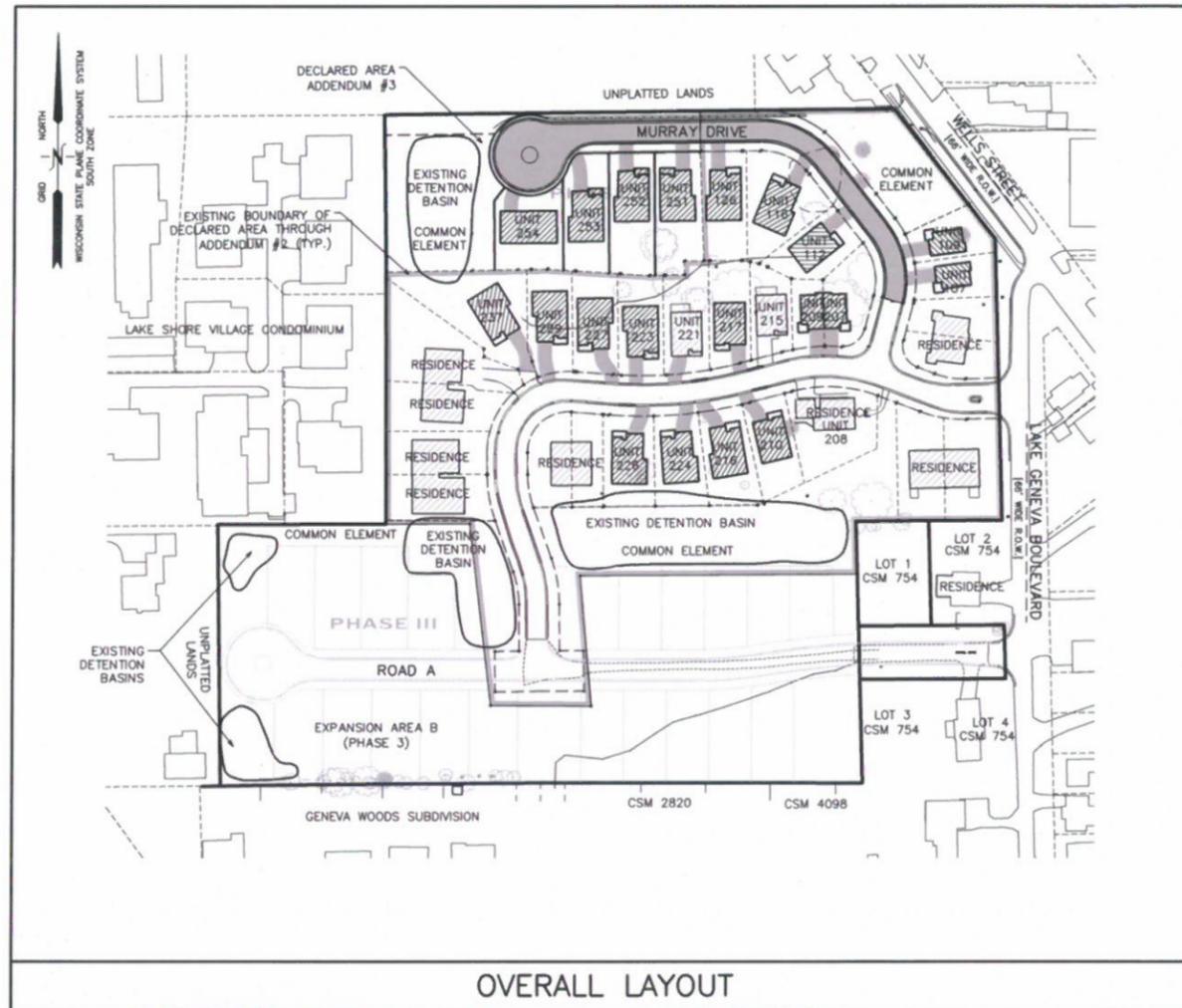
See attached.

SUMMERHAVEN OF LAKE GENEVA – PHASE 1 BUILDOUT & PHASE 2 FINAL ENGINEERING PLANS

LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 36, TOWN 2 NORTH,
RANGE 17 EAST AND THE NE 1/4 OF THE NE 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST,
IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



- SEQUENCE OF CONSTRUCTION**
- OBTAIN REQUIRED NR 216 PERMIT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES BEFORE START OF ANY LAND DISTURBING ACTIVITY ON SITE.
 - HOLD PRE-CON TO ADDRESS ANY ISSUES WITH PLAN AND SEQUENCE.
 - INSTALL ALL APPROPRIATE EROSION CONTROL MEASURES ON SITE INCLUDING TEMPORARY SILT FENCE, STONE TRACKING PAD PER NDNR TECHNICAL STANDARDS.
 - CLEAR AND GRUB ON SITE (SEE SPECIFICATIONS).
 - STRIP TOPSOIL FROM ACCESS ROADS AND IN PLANNED WORK AREA OF TEMPORARY SEDIMENT TRAP AND STOCKPILE WHERE SHOWN ON PLAN. INSTALL TEMPORARY SILT FENCE AROUND ENTIRE PERIMETER OF STOCKPILE PER NDNR TECHNICAL STANDARDS. SOIL LEFT UNDISTURBED FOR 14 DAYS MUST BE SEEDED AND STABILIZED.
 - COMPLETE FINAL GRADING OF DRAINAGE SWALES. INSPECT SWALES TO MEET SPECIFICATIONS ON PLAN AND NDNR TECHNICAL STANDARDS INCLUDING IMPORT OF OFF-SITE FILL.
 - SEEDING AND EROSION MATTING AS SPECIFIED ON PLAN FOR TEMPORARY SEDIMENT TRAP & DRAINAGE SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
 - STABILIZE ALL OTHER EXPOSED SOIL AREAS WITH PROPER SEEDING AND EROSION MATTING PER NDNR TECHNICAL STANDARDS.
 - ROUGH GRADE PROPOSED ROAD.
 - INSTALL WATER, SANITARY AND STORM UTILITIES.
 - CONSTRUCT RETAINING WALLS.
 - FINE GRADE ROAD SUBGRADES.
 - INSTALL ROAD BASE COURSE.
 - COMPLETE CONSTRUCTION OF ALL ROADS BY INSTALLING BINDER PAVEMENT. SURFACE COURSE MAY BE DELAYED UP TO 12 MONTHS.
 - RESTORE ALL REMAINING DISTURBED AREAS.
 - IF SEDIMENT HAS ACCUMULATED WITHIN TEMPORARY SEDIMENT TRAPS DURING CONSTRUCTION IT SHALL BE REMOVED AND TRAPS SHALL BE RESTORED TO PROPOSED FINISHED GRADE.
 - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON FINAL STABILIZATION.
- NOTE: ANY CHANGES TO OR VARIANCE OF SITE PLAN AND/OR CONSTRUCTION SEQUENCE DUE TO CONSTRUCTION MEANS AND METHODS SHOULD BE APPROVED BY THE ENGINEER AND OWNER PRIOR TO IMPLEMENTATION. THE ENGINEER SHALL NOTIFY THE DEPARTMENT OF NATURAL RESOURCES OF ANY CHANGES TO THE PLANS AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION. IT IS ANTICIPATED THAT WORK WILL NOT START UNTIL EARLY SPRING 2017 AND EXTEND THROUGH SUMMER WITH ALL WORK DONE BY OCTOBER 1, 2017. ACTUAL TIME LINES FOR VARIOUS WORK MAY VARY DEPENDING ON OWNERS OPERATIONS BUT EROSION CONTROL IS TO BE CONTINUOUSLY MAINTAINED.



SHEET	DESCRIPTION
SHEET 1	COVER SHEET
SHEET 2	SITE, GRADING, DRAINAGE EROSION CONTROL PLAN
SHEET 3	HAUL ROAD FOR MAJOR FILL OPERATIONS
SHEET 4	PAVING & STORM SEWER PLAN & PROFILE
SHEET 5	PUBLIC SEWER & WATER PLAN & PROFILE
SHEET 6	PUBLIC SEWER AND WATER SPECIFICATIONS
SHEET 7	PUBLIC SEWER AND WATER SPECIFICATIONS
SHEET 8	SITE SPECIFICATIONS
SHEET 9	CONSTRUCTION DETAILS
SHEET 10	CONSTRUCTION DETAILS

INDEX OF SHEETS

PHASE 1 BUILDOUT
UNITS 107, 109, 112, 116, 126, AND THE COMMUNITY POOL; MURRAY ROAD FROM STA. 6+19 TO STA. 2+53; REMAINING PUBLIC UTILITIES WITHIN THE BOUNDARY OF THE DECLARED AREA OF ADDENDUM #2.

PHASE 2
UNITS 251-254; THE REMAINDER OF MURRAY ROAD; REMAINING PUBLIC UTILITIES WITHIN THE BOUNDARY OF THE DECLARED AREA OF ADDENDUM #3.

PHASING SUMMARY

OWNER/DEVELOPER
SPECTRUM REAL ESTATE PROPERTIES
351 WEST HUBBARD, SUITE 610
CHICAGO, IL 60654

SOURCE BENCHMARK
R.B.M. AS SHOWN ON THE
WALWORTH COUNTY
SURVEYOR'S TIE SHEET,
DATED 5-1-97
ELEVATION = 949.35'

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CONTACT...

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
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WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-0098 FAX: (262) 723-5886

COVER SHEET

REVISIONS

05/01/2018	- DSR PER CITY COMMENTS
05/10/2018	- DSR PER CITY COMMENTS
05/21/2018	- DSR PER CITY COMMENTS

PROJECT NO. 8868
DATE 10/19/2016
SHEET NO. 1 OF 10



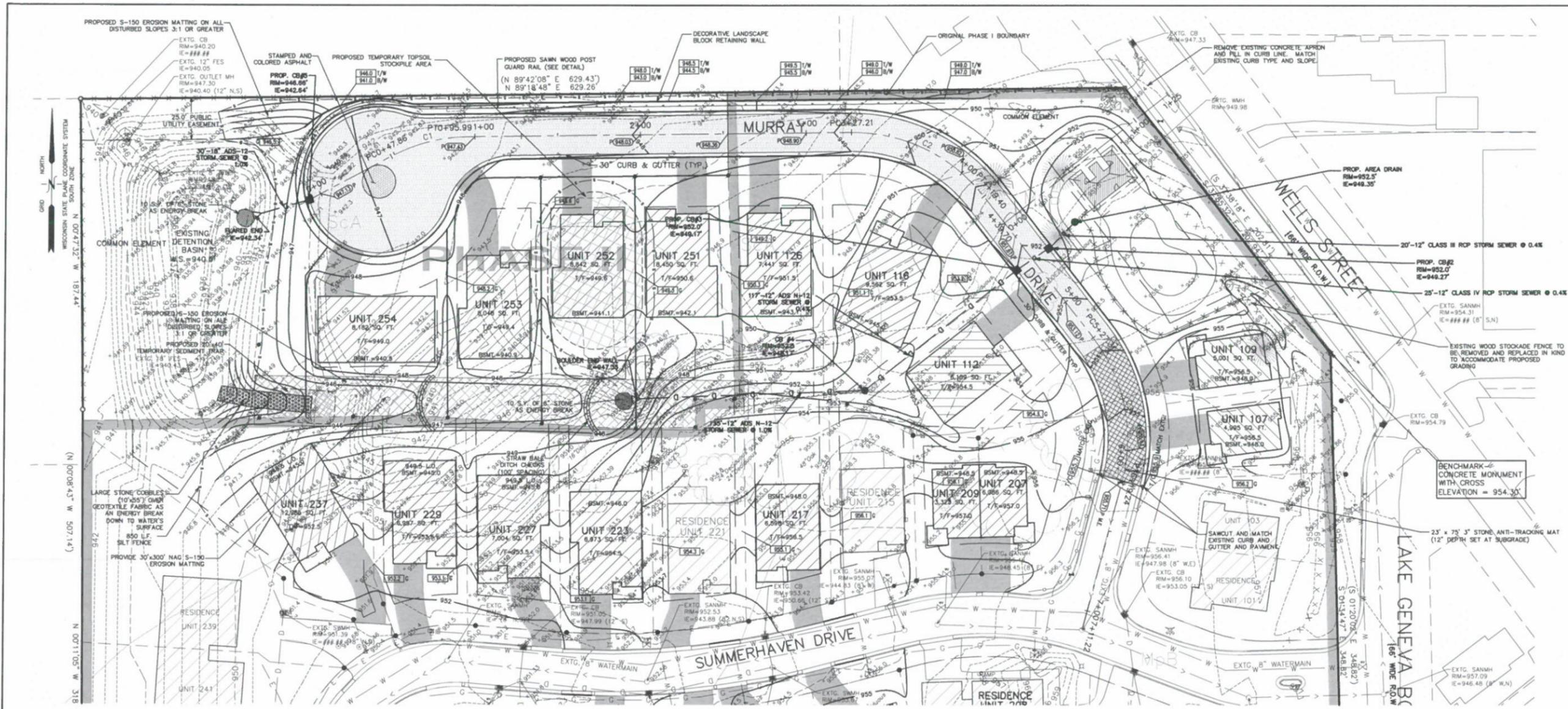
**SUMMERHAVEN OF LAKE GENEVA
PHASE 1 BUILDOUT & PHASE 2
FINAL ENGINEERING PLANS**
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

**SITE, GRADING, DRAINAGE
&
EROSION CONTROL PLAN**

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05/21/2018 - DSR
PER CITY COMMENTS

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SHEET NO.
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- EROSION CONTROL NOTES**
1. INLET PROTECTION TO BE INSTALLED IN EXISTING CURB INLET STRUCTURES AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION ACTIVITIES.
 2. THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF LOCAL EROSION CONTROL PLANS AND/OR ORDINANCES.
 3. INSPECT SWALES TO MEET SPECIFICATIONS ON PLAN AND WDNR TECHNICAL STANDARDS ON AN ON-GOING BASIS.
 4. SEEDING AND EROSION CONTROL MATTING AS SPECIFIED ON PLAN FOR TEMPORARY SEDIMENT TRAP AND SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
 5. SILT FENCE TO ACT AS A SEDIMENT BARRIER/TRAP AND SHALL BE CLEANED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
 6. PROVIDE INLET PROTECTION AT ALL CATCH BASINS AS EACH IS INSTALLED. INLET PROTECTION TO INCLUDE FABRIC BARRIERS UNDER CASTINGS.
 7. INSPECT EROSION CONTROL ON SITE AND DOCUMENT FINDINGS IN AN INSPECTION REPORT. MAINTAIN WEEKLY INSPECTION SCHEDULE AND INSPECT SITE 24 HOURS AFTER EVERY RAINFALL EVENT FOR RUNOFF MANAGEMENT.
 8. ALL DISTURBED SLOPES 3:1 OR GREATER TO BE STABILIZED WITH NORTH AMERICAN GREEN S-150 EROSION CONTROL BLANKET.

- GENERAL NOTES**
1. ALL ELEVATIONS ARE IN RELATION TO NATIONAL GEODETIC VERTICAL DATUM OF 1929.
SOURCE BENCHMARK - R.B.M. AS SHOWN ON THE WALWORTH COUNTY SURVEYOR'S TIE SHEET, DATED 5-1-97, ELEVATION = 949.35'
 2. PROPOSED PAVED ROADWAYS SHOWN ARE 27' WIDE BETWEEN FACE OF CURB WITH 30" CURB AND GUTTER AND SHALL BE BUILT TO CITY STANDARDS.
 3. ALL UNITS ARE TO BE SERVED WITH PUBLIC SEWER AND WATER.
 4. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE CITY HALL. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.
 5. TEMPORARY TOPSOIL STOCKPILES TO BE DETERMINED BY ENGINEER IN FIELD AFTER ALL CLEARING AND GRUBBING OPERATIONS ARE COMPLETED TO DETERMINE THE BEST SUITABLE SITE.
 6. TOP OF FOUNDATION ELEVATIONS (T/F) SHOWN ON THE PLAN ARE SUGGESTED GRADES ONLY FOR A TYPICAL HOME SITE LOCATED AT WHAT IS FELT TO BE THE BEST SITE LOCATION. OWNERS SHALL BE REQUIRED TO HAVE THE ENGINEER OF RECORD PREPARE A DETAILED SITE AND GRADING PLAN WITH EROSION CONTROL DETAILS FOR THE HOME SITES. THE PLAN IS TO BE USED FOR SUBMITTAL TO THE CITY FOR ZONING AND BUILDING PERMITS.

ROAD CENTERLINE CURVE DATA

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	100.00'	48.13'	47.66'	N 75°31'33" E	27°34'30"
C2	100.00'	92.19'	88.96'	S 64°16'35" E	52°49'14"
C3	100.00'	91.93'	88.73'	S 11°31'49" E	52°40'18"

- PUD ZONING BUILDING SETBACK REQUIREMENTS**
- STREET YARD - 18.5' ALONG PRIVATE ROADWAYS
 - STREET YARD - 25' ALONG PUBLIC ROADWAYS
 - SIDE YARD - 6' FOR DETACHED SINGLE-FAMILY UNITS
 - REAR YARD - 30' ALONG EXTERIOR BOUNDARIES

- LEGEND**
- - - - - EXISTING CONTOURS
 - EXISTING SPOT ELEVATION
 - - - - - PROPOSED CONTOURS
 - T/F = TOP OF FOUNDATION
 - BSMT = BASEMENT FLOOR ELEVATION
 - G = FINISHED GROUND
 - P = FINISHED PAVEMENT
 - ▨ PROPOSED CL ROAD GRADE
 - ▨ PROPOSED SPOT GRADE
 - - - - - SILT FENCE
 - - - - - EASEMENT LINE
 - ▨ PROPOSED PAVEMENT
 - ▨ EROSION MAT OR EQUIVALENT
 - ▨ PROPOSED BUILDING BOX
 - ▨ PROPOSED DRIVE LOCATIONS

SITE SUMMARY

EXISTING ZONING - PUD
 OVERALL AREA (Phases 1 & 2) - 10.06 ACRES
 PROPOSED RIGHT OF WAY - 2.07 ACRES
 NET DEVELOPMENT AREA - 7.99 ACRES
 EXISTING DUPLEX UNITS - 10 UNITS
 PROPOSED SINGLE-FAMILY - 23 UNITS
 DENSITY - 4.13 UNITS PER ACRE

NOTE: COMMON ELEMENT TO BE PRESERVED AS PRIVATE ROADWAY OR OPEN SPACE.



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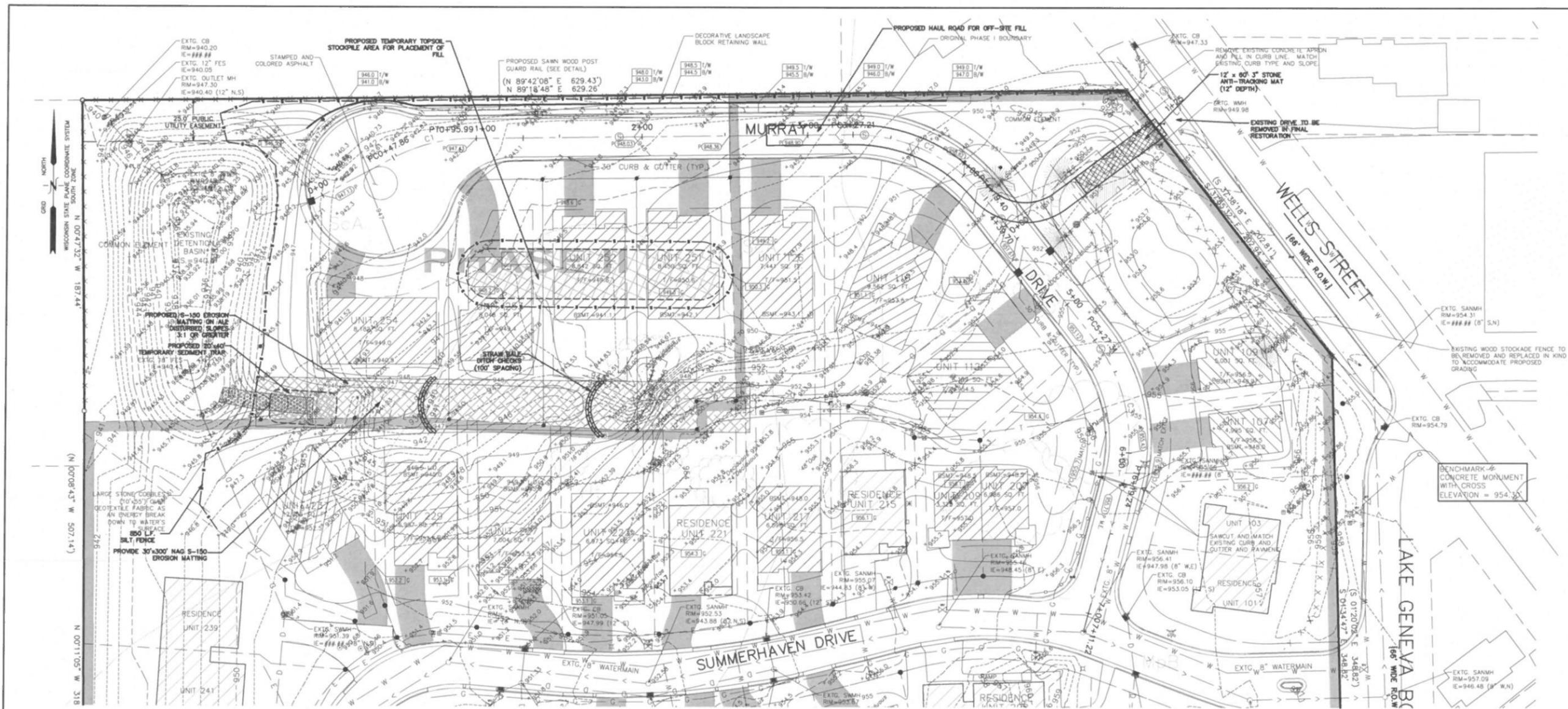
**SUMMERHAVEN OF LAKE GENEVA
PHASE 1 BUILDOUT & PHASE 2
FINAL ENGINEERING PLANS**
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

**HAUL ROAD FOR
MAJOR FILL OPERATIONS**

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT
ELKHORN, WISCONSIN 53121
OFFICE: (262) 733-2098 FAX: (262) 723-5886

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05/21/2018 - DSR
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EROSION CONTROL NOTES

1. INLET PROTECTION TO BE INSTALLED IN EXISTING CURB INLET STRUCTURES AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF LOCAL EROSION CONTROL PLANS AND/OR ORDINANCES.
3. INSPECT SWALES TO MEET SPECIFICATIONS ON PLAN AND WDNR TECHNICAL STANDARDS ON AN ON-GOING BASIS.
4. SEEDING AND EROSION CONTROL MATTING AS SPECIFIED ON PLAN FOR TEMPORARY SEDIMENT TRAP AND SWALES SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
5. SILT FENCE TO ACT AS A SEDIMENT BARRIER/TRAP AND SHALL BE CLEANED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
6. INSPECT EROSION CONTROL ON SITE AND DOCUMENT FINDINGS IN AN INSPECTION REPORT. MAINTAIN WEEKLY INSPECTION SCHEDULE AND INSPECT SITE 24 HOURS AFTER EVERY RAINFALL EVENT FOR RUNOFF MANAGEMENT.
7. ALL DISTURBED SLOPES 3:1 OR GREATER TO BE STABILIZED WITH NORTH AMERICAN GREEN S-150 EROSION CONTROL BLANKET.

GENERAL NOTES

1. REMOVE ALL BRUSH AND SCRUB TREES PRIOR TO STRIPPING OF TOPSOIL.
2. TOPSOIL STOCKPILE SHALL BE LOCATED WHERE SHOWN ON PLAN. INSTALL TEMPORARY SILT FENCE AROUND ENTIRE PERIMETER OF STOCKPILE PER WDNR TECHNICAL STANDARDS. SOIL LEFT UNDISTURBED FOR 14 DAYS MUST BE SEEDED AND STABILIZED.
3. ALL FILL PLACED SHALL BE ON PREPARED LEVELED SUBSOIL WITH FILL PLACED IN COMPACTED 8" TO 12" LIFTS BY DOZER AND SHEEPSFOOT COMPACTOR.
4. ANY DISTURBED OR DAMAGED ROADWAY OR SIDEWALK SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
5. WELLS STREET TO BE KEPT FREE OF DIRT, MUD, DEBRIS, ETC. AT ALL TIMES.
6. ALL SITE CLEANING, EXCAVATION, GRADING, COMPACTION, SUBGRADE PREPARATION, SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION," 2016 EDITION, STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL ORDINANCES.

LEGEND

- - - - - EXISTING CONTOURS
- EXISTING SPOT ELEVATION
- - - - - PROPOSED CONTOURS
- T/F = TOP OF FOUNDATION
- BSMT. = BASEMENT FLOOR ELEVATION
- G = FINISHED GROUND
- P = FINISHED PAVEMENT
- PROPOSED CL ROAD GRADE
- PROPOSED SPOT GRADE
- SILT FENCE
- EASEMENT LINE
- EROSION MAT OR EQUIVALENT
- PROPOSED BUILDING BOX
- HOME SITE
- PROPOSED DRIVE LOCATIONS



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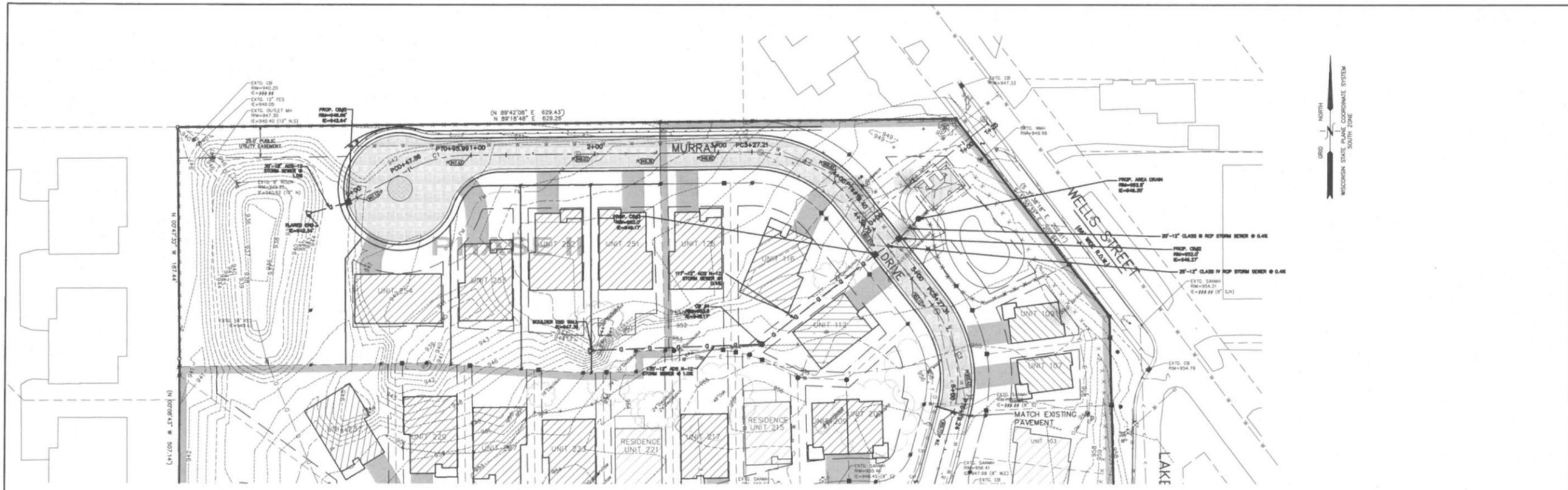
**SUMMERHAVEN OF LAKE GENEVA
PHASE 1 BUILDOUT & PHASE 2
FINAL ENGINEERING PLANS**
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

**PAVING & STORM SEWER
PLAN & PROFILE**

FARRISS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
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PER CITY COMMENTS
05/21/2018 - DSR
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- GENERAL NOTES:
1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES OR STRUCTURES SHOWN ANYWHERE WITHIN THESE PLANS ARE BASED UPON RECORDS AVAILABLE AT THE TIME THE PLANS WERE PREPARED AND SHOULD NOT BE ASSUMED TO BE COMPLETE OR CORRECT IN ALL INSTANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE FOR HIMSELF THE EXACT LOCATIONS AND TYPES OF THEIR FACILITIES BEFORE EXCAVATING. THE CONTRACTOR SHALL PROTECT ALL EXISTING UNDERGROUND WORK DURING THE COURSE OF HIS CONSTRUCTION ACTIVITY.
 2. PROPOSED PAVED ROADWAYS SHOWN ARE 27' WIDE BETWEEN FACE OF CURB WITH 30" CURB AND GUTTER AND SHALL BE BUILT TO CITY STANDARDS.
 3. ALL WORK DONE WITHIN THE ROAD RIGHT-OF-WAY TO BE DONE IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.

ROAD CENTERLINE CURVE DATA					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	100.00'	48.13'	47.66'	N 75°31'33" E	27°34'30"
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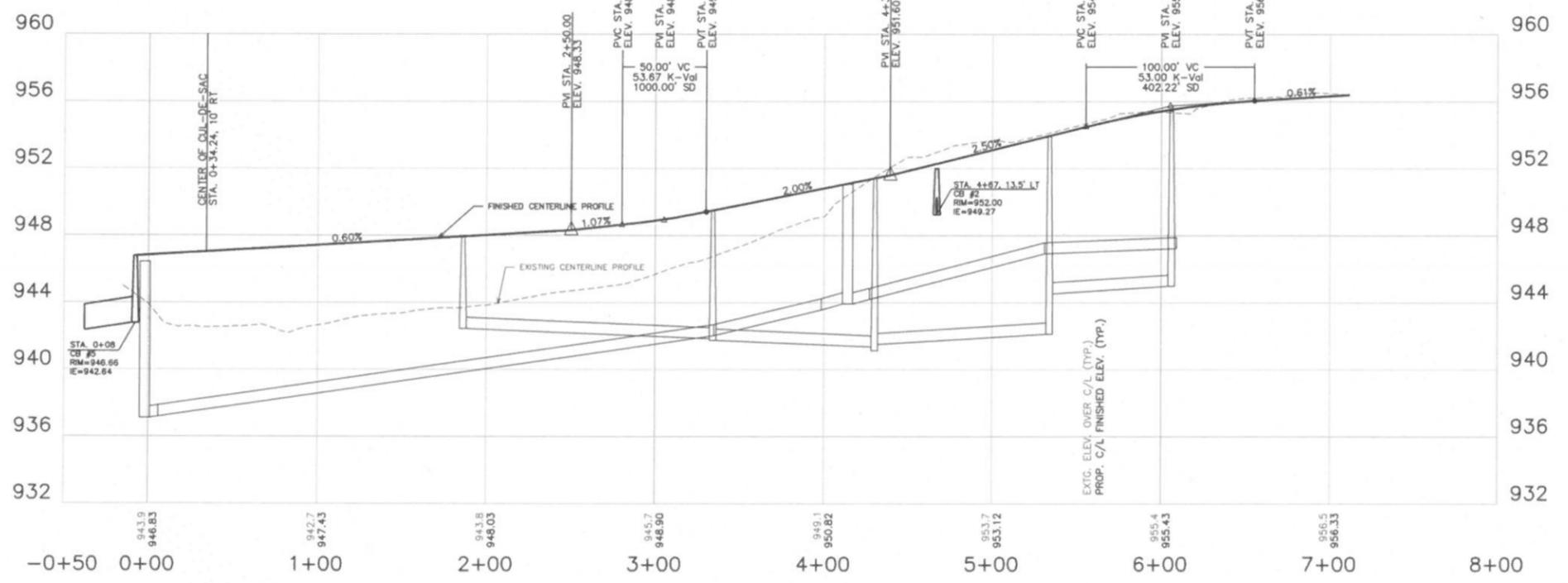


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PUBLIC SANITARY SEWER AND WATER MAIN
101. STANDARD SPECIFICATIONS

The "Standard Specifications for Sewer and Water Construction in Wisconsin", Sixth Edition, December 22, 2003, with Addendum No. 1, "Standard Specifications and The City of Lake Geneva Special Provisions Development Standards for Private Developments," "Special Provisions" will govern all public sanitary sewer and water main utility work performed on this project. Below are the relevant sections of the "Special Provisions".

In the event of a discrepancy between the "Special Provisions" and the "Standard Specifications" the "Special Provisions" shall govern.

Copies of the "Standard Specifications" may be obtained by contacting:

Public Works Industry Improvement Program
2835 N. Mayfair Road, Suite 35
Milwaukee, WI 53222
Phone: (414) 778-1050

Copies of The City of Lake Geneva Special Provisions Development Standards for Private Developments may be obtained by contacting the City Water and Sewer Utility Engineer (City Utility Engineer):

Kapur & Associates
1224 S. Pine St.
Burlington, WI 53105
Phone: (262) 767-2747

201. SANITARY SEWER CONSTRUCTION

A. Bedding and Cover Material

1. Sanitary sewer bedding and cover material shall conform to the appropriate sections of the "Standard Specifications", as specified and/or modified below:

a. PVC Pipe - Section 3.2.6(i), as modified below (Note that the bedding section is essentially Class "B" Bedding including placing a minimum of 12 inches of cover material over the top of the pipe):

(1) Bedding material used for 18" diameter or smaller sewer pipes shall conform to either Table 32 (3/8" crushed stone chips containing at least 85% machine fractured particles) or Table 33 (3/4" crushed stone chips containing at least 65% machine fractured particles) of Section 8.43.2(a). Crushed pea gravel will not be allowed for use as bedding material. Cover material shall be the same material as used for bedding.

(2) Delete the following sentence from Paragraphs 3.2.6(b)2 and 3.2.6(j):

"If crushed stone chips or other materials conforming to Section 8.43.2(a) are used as cover material, no compaction or staging is required."

(3) Placement and Compaction.

(a) Place bedding material to the springline of the pipe and compact prior to placing cover material. Compaction of bedding material at the level of the pipe springline shall include working bedding material under the haunches of the pipe using shovels or other suitable methods. The Contractor shall take care to completely work bedding material under the haunches of the pipe to provide adequate side support.

(b) Place and compact cover material in one or more lifts after compacting bedding material. Place a minimum of 12 inches of cover material over the pipe.

(c) Refer to Subsection 607.B. of the "Special Provisions" for requirements for recompacting Class "B" bedding disturbed by trench boxes.

B. Laterals

1. Connections to the Main Sewer

a. Building sewer (lateral) connections to the main sewer 18" in diameter or less shall be made with wyes except as noted below. The ends of laterals shall be plugged in accordance with Paragraph 3.2.5(f) of the "Standard Specifications".

(1) All lateral connections to new flexible pipe shall be made with factory fabricated or injection molded in-line wyes unless otherwise approved by the Engineer.

b. Place wyes at a typical vertical angle of 45° to the horizontal except install wyes flat or level when the Plans state to install laterals as low as possible.

2. Grade

a. Install sewer laterals at a minimum 2.08% (1/4"/ft.) grade unless shown otherwise on the Plans.

3. Marker Stakes

a. The Contractor shall furnish and install a marker stake over the end of each lateral installed. The marker shall be a minimum 2" x 4" x 4" wooden plank or as approved by the Engineer. The marker shall be placed vertically with its top flush with the surface grade. Place a spike or other durable magnetic material in the top of the marker stake to aid in future relocation.

4. Risers

a. Risers on shallow flexible gravity sewer mains shall be constructed of flexible gravity sewer pipe in accordance with File No. 10E of the "Standard Specifications". Use File No. 10E for risers up to 6 feet in height and for mains not exceeding 16 feet in depth measured from the flowline of the sewer.

b. Riser connections shall be made with factory fabricated or injection molded in-line tees. Do not use saddles for riser connections.

5. Cleanouts

a. All laterals exceeding 100 feet in length shall have cleanouts installed on them. Cleanouts shall be placed at 100 foot maximum spacings as shown on the Plans or as directed by the Engineer. They shall be constructed in accordance with the details shown on the Plans.

C. Connections to Existing Manhole

1. Sewer connections to existing manholes shall be made in accordance with Section 3.5.7 of the "Standard Specifications". Field tapped holes for connecting sewer pipe to manholes shall be made by coring the manhole except that connections to brick or block manholes may be made by punching out the opening. Flexible pipe connections shall be made with flexible watertight connectors, Kor-N-Seal, Link-Seal or equal. All clamps, bolts, etc. of pipe to manhole seals shall be stainless steel. If Link-Seal connectors are used, the bolt heads shall be placed on the inside of manholes.

2. Form a new flow line(s) in the existing manhole(s) in accordance with File No. 13 of the "Standard Specifications".

3. For outside drop connection to existing manhole follow section 3.5.8(d)4, File 22 of the "Standard Specifications".

4. Plug Downstream Manhole

a. Place temporary plugs in all downstream (receiving) manholes to prevent groundwater and debris from entering the existing sewer system.

D. Pipe Flotation

1. Pipes installed below the groundwater elevation shall be protected against flotation. The Contractor shall lower the groundwater elevation until after adequate cover has been placed to secure pipes.

E. Insulation

1. Sewer lines shall be insulated where noted on the Plans and wherever the depth of cover is less than five (5) feet when so ordered by the Engineer. Insulation shall be in accordance with Chapter 4.17.0 of the "Standard Specifications" and the details in the Appendix of the "Special Provisions".

F. Deflection Testing

1. Polyvinyl chloride (PVC) sewer pipe shall be deflection tested with an approved go-no-go acceptance testing device. The test shall not be conducted until after all backfill has been placed and consolidated and after riser pipes and sewer laterals have been installed. The entire length of sewer pipe shall be tested.

a. PVC pipe shall be deflection tested in accordance with Paragraph 3.2.6(j)4. of the "Standard Specifications", as amended below:

(1) PVC pipe shall not be deflection tested until at least 14 days after all backfill has been placed, including backfilling of laterals and risers. Initial deflection testing shall be done using a 92.5% mandrel. The use of a 92.5% testing device will not be allowed for initial testing regardless of the time elapsed after backfilling.

(2) All sections failing to pass the test shall be repaired and retested, however, if at least 30 days have elapsed since the pipe was placed and backfilled, the Contractor will be allowed to retest the sewer line using a 92.5% mandrel.

2. Mandrels

a. Go-no go mandrels shall conform to the requirements of File No. 30 and 30A of the "Standard Specifications".

G. Leakage Testing

1. Low Pressure Air Test

a. Amend Paragraph 3.7.1 of the "Standard Specifications" to read in part: "Sanitary sewers less than or equal to 36 inches in diameter shall be tested for leakage using the low pressure air test. The length of laterals included in the test section shall be included in determining the test time."

H. Telescoping Sewers

1. The Contractor shall telescope all sewers after successfully completing deflection and leakage testing.

2. The Contractor shall provide the Owner with a copy of the videotape and a written report by the video contractor. The report shall indicate all defects (i.e.; bad joints, cracked pipe, infiltration, standing water, etc.) and shall list locations of all laterals.

3. All defects shall be corrected and any dirt, gravel or foreign material removed from the sewer prior to acceptance by the Owner.

205. SANITARY SEWER MATERIALS

A. Sanitary sewer pipe material shall be polyvinyl chloride (PVC) pipe conforming to the following:

1. Polyvinyl chloride (PVC) sewer pipe (4 inch through 15 inch diameter) meeting the requirements of ASTM D3034, SDR 35, with a minimum pipe stiffness of 46 psi and having integral bell type flexible elastomeric joints meeting the requirements of ASTM D3212. Gaskets shall meet the requirements of ASTM F477. PVC material shall have a cell classification of 12454B, 12454C, 12364C or 13364B, except that 12364C and 13364B shall have a minimum modulus of elasticity of 500,000 psi. (Option: SDR 26 with a minimum pipe stiffness of 115 psi.)

2. Polyvinyl chloride (PVC) small diameter profile wall sewer pipe (8 inch and 10 inch diameter) meeting the requirements of ASTM F849, open profile, core type pipe (CONTECH A-2026). Pipe shall have a minimum pipe stiffness of 115 PSI and have integral bell type flexible elastomeric joints meeting the requirements of ASTM D3212. Joint gaskets shall meet the requirements of ASTM F477. PVC material shall have a cell classification of 12454B or 12454C and a minimum modulus of elasticity of 500,000 psi.

a. Lateral pipe material shall conform to the requirements of ASTM D3034, SDR 26.

210. SANITARY MANHOLES

A. Standard Manholes

1. Sanitary manholes shall be constructed in accordance with Chapter 3.5.0 and File Nos. 12, 12A, 13, and 15 of the "Standard Specifications" and these Special Provisions.

a. Poured Manhole Base

(1) All manhole bases (benches) shall be poured in place in accordance with Subsection 3.5.5(b) of the "Standard Specifications". Precast manhole bases or precast integral base units will be allowed in accordance with Subsection 3.5.5(c), however, no precast base units with preformed benches are allowed. All manhole benches shall be poured in place.

2. Manholes shall be precast 48 inch inside diameter with concentric cones.

a. Adjusting Rings

(1) A minimum of 4 inches to a maximum of 19 inches of adjusting rings shall be furnished for each manhole, unless shown otherwise on the Plans. (Note: Type II Manholes - 3 inches minimum of rings is acceptable.)

(2) Furnish manholes to minimize the chimney height required, so that chimney seal extensions will not be required. Note that a standard 9 inch seal covers a 6-1/2 inch chimney height.

(3) Material

(a) Adjusting rings shall be concrete, unless specified otherwise below, meeting the requirements of Subsection 8.39.11 of the "Standard Specifications".

(b) Rubber Adjusting Rings

(1) The top adjusting ring on manholes subject to traffic loadings shall be rubber as manufactured by Infra-Risers, Adaptor, Inc., or equal. Use tapered adjusting rings alone or in combination to place the manhole casting truly parallel with the plane of the pavement. Install adjusting rings in accordance with the manufacturer's instructions using the recommended adhesive.

b. Manhole depths shown on the Plans are approximate only, unless the cover elevation is indicated. Manhole covers shall be placed to match the existing grade unless the finished elevation is shown on the Plans.

(1) Place manhole covers 1/4 inch below the pavement grade in roadways.

3. Manhole Frames and Covers

a. Manhole frames and covers shall be Neenah R-1580 with Type "B" self-sealing lids, non-rocking, or equal.

B. Frame/Chimney Joints

1. Type I - Modified

a. All sanitary manholes shall be constructed with Type I frame/chimney joints. Type I joints shall consist of the following:

(1) Adjusting rings shall be set with butyl rubber sealant troweled into a 1/4 inch thick layer over the entire surface area of all adjusting rings. The butyl rubber sealant shall be EZ-Silk or Kent-Seal butyl base sealant in trowelable grade or equal.

(2) Internal/External Chimney Seal

Type I joints shall be provided with an external manhole chimney seal (internal/external adaptor seal) as manufactured by Adaptor Inc., West Allis, Wisconsin. The internal/external manhole seal shall be installed in accordance with the manufacturer's instructions.

(a) Furnish and install manhole seals to span (cover) the entire chimney height. Provide extensions as required.

2. Cone/Ring Dimensions

a. Manhole Cone Sections

(1) The top dimensions of cone sections shall be either 24 inches inside diameter by 36 inches outside diameter or 26 inches inside diameter by 38 inches outside diameter.

(2) The outside diameter of the top of the cone section shall be as large as or larger than the base flange of the manhole casting.

b. Adjusting Rings

(1) Adjusting ring dimensions shall match the dimensions of the top of the cone section; either 24" x 36" or 26" x 38".

(2) Adjusting rings shall have flat or even bearing surfaces providing bearing contact over the entire contact surfaces.

(3) Adjusting rings shall be as specified in Section 8.39.11 of the "Standard Specifications" or Subsection 210.A.2.a(3) of the "Special Provisions", except the dimensions shall be as specified above.

c. Center adjusting rings on manhole cones and center manhole castings on adjusting rings so that their surfaces will be flush whenever possible.

C. Manhole Riser Joints

1. Joints for precast manhole riser sections shall be made with rubber "O"-ring gaskets, a continuous ring of butyl rubber sealant (EZ-Silk or Kent-Seal in rope form) or equal. The butyl sealant shall be 1 inch diameter equivalent or as recommended by the manhole manufacturer.

2. Joints for precast manhole barrel sections including the joint with the bottom of the cone shall be wrapped with an external joint seal as manufactured by Mar Mac Construction Products Company, Cretek Specialty Products, CCI Pipeline Systems, LLC, or equal. The external manhole seal shall be installed in accordance with the manufacturer's instructions.

a. If external joint seals require steel strapping, it shall be a minimum 5/8" - 316 stainless steel with stainless steel "strap lock" fasteners.

D. Manhole Lifting Holes

1. All lifting holes in precast manhole sections shall be lugged using rubber plugs supplied by the manhole supplier, non-shrink grout or other approved method. Non-shrink grout shall fill the entire void and shall be troweled at each face to provide smooth surfaces. Cement mortar shall not be used to plug lifting holes.

E. Manhole Pipe Connections

1. Connections of pipes to manholes shall be made in accordance with Section 3.5.7 of the "Standard Specifications". All field tapped holes for connecting sewer pipe to manholes shall be made by coring.

2. All plastic pipe shall be connected to manholes by means of flexible watertight pipe to manhole seals in accordance with Subsection 3.5.7(c). Manhole seals shall be Kor-N-Seal, Link Seal or equal. All clamps, bolts, etc. of pipe to manhole seals shall be stainless steel. If Link Seal connectors are used, the bolt heads shall be placed on the inside of manholes.

F. Drop Manholes

1. All drop manholes, unless shown otherwise on the Plans, shall be constructed as "outside" drop manholes in accordance with Section 3.5.8(d) and File No. 19 or 20 of the "Standard Specifications" and the requirements of these Special Provisions.

a. Heights of manhole drops shown on the Plans are figured from the invert of the outgoing sewer to the invert of the incoming sewer.

G. Manhole Air Vents

1. The Contractor shall construct manhole air vents at the locations shown on the Plans and/or as directed by the Engineer. Manhole air vents shall be constructed in accordance with the details shown on the Plans or included in the Appendix of the "Special Provisions".

H. Manhole Vacuum Testing

1. Delete Section 3.7.5 of the "Standard Specifications" in its entirety and replace it with the following.

2. The Contractor shall vacuum test all sanitary sewer manholes for leakage, regardless of the sewer diameter, in accordance with the following:

a. The chimney and casting shall be in place prior to vacuum testing manholes.

b. All testing shall be done in the presence of the City Utility Engineer or his representative.

3. Isolate the manhole to be tested by plugging the inlet and outlet pipes with inflatable stoppers or other suitable test plugs. The plugs shall be securely braced to prevent the plugs from being drawn into the manhole.

4. The test head shall be placed at the top of the manhole in accordance with the manufacturer's recommendations.

a. Prior to starting the vacuum pump, determine the hydrostatic head on the lowest pipe connection to the manhole being tested.

b. If the hydrostatic head on the lowest pipe connection to the manhole is 12 feet or less, a vacuum pressure equal to 10 inches Hg (mercury) shall be applied to the manhole utilizing the vacuum pump.

c. When the pressure gage indicates 10 inches Hg, close the control valve, shut off the vacuum pump, and begin counting the seconds for the indicated pressure to drop one inch Hg. If the elapsed time is longer than the minimum time indicated in the following Table J, the manhole passes the test.

d. In the event the hydrostatic head is between 12 feet and 21 feet above the lowest connection to the manhole, the test vacuum pressure shall be reduced one inch Hg for each foot of hydrostatic head in accordance with the following Table K. If the hydrostatic head is greater than 22 feet, no vacuum test shall be performed.

e. If the test fails, repair or seal the manhole using non-shrink grout or other approved materials. Retest until an acceptable test is obtained.

f. Tests may be conducted before or after backfilling.

501. WATER MAIN CONSTRUCTION

A. Bedding and Cover Material

1. Polyvinyl Chloride (PVC) Pipe

a. Bedding and cover material shall be crushed stone chips conforming to either Table 32 (3/8" crushed stone chips containing at least 85% machine fractured particles) or Table 33 (3/4" crushed stone chips containing at least 65% machine fractured particles) of Section 8.43.2(a) of the "Standard Specifications". Crushed pea gravel will not be allowed for use as bedding or cover material.

2. Trench Section

a. The trench section shall conform to Section 4.3.3 and File No. 36 of the "Standard Specifications", as amended below:

(1) Bedding and cover shall be placed in a minimum of three separate lifts to ensure adequate compaction of these materials, with one lift of bedding material ending at or near the springline of the pipe. The Contractor shall take care to completely work bedding material under the haunch of the pipe to provide adequate side support.

(2) Amend Section 4.3.3 and File No. 36 of the "Standard Specifications" to require a minimum of 12 inches of cover material over the top of the pipe.

B. Polyethylene Wrap

1. Delete Section 4.4.4 and all references to polyethylene wrap from the "Standard Specifications". Polyethylene wrap is not required along the trunk water main unless the Engineer orders it to be installed.

2. Water mains installed within organic soil layers, former landfill areas or crossing cathodically protected pipe lines shall be wrapped as ordered by the Engineer.

a. Polyethylene wrap, if required, shall meet the requirements of AWWA Standard C-105 (ANSI A21.5) using Class C (black) polyethylene material and shall be installed as specified in Section 4.4.4 of the "Standard Specifications".

3. All fittings and valves are to be polyethylene wrapped. Polyethylene wrap shall meet the requirements of AWWA Standard C-105 (ANSI A21.5) using Class C (black) polyethylene material and shall be installed as specified in Section 4.4.4 of the "Standard Specifications".

C. Disinfecting Water Mains

1. Water mains shall be cleaned and disinfected in accordance with Sections 4.3.11 and 4.3.12 and Chapter 4.16.0 of the "Standard Specifications" and AWWA Standard C651. Place calcium hypochlorite tablets in the water main as specified in Section 4.3.12.

2. See Section 555 of the "Special Provisions" for water main flushing and sampling requirements.

D. Sewer Crossings

1. Center one full length of water main pipe on sewers wherever water main crosses over or under a sanitary or storm sewer so that both water main joints will be as far from the sewer as possible.

E. High Points in Water Main

1. The Contractor shall install water main at the grades shown on the Plans with no high points constructed in the main except at hydrants and as indicated on the Plans. If a high point which could trap air cannot be prevented, then an air release assembly shall be constructed at that point, if so ordered by the Engineer.

a. The Engineer reserves the right to order the Contractor to relay water main placed at the wrong grade. The cost of such relay work shall be paid for by the Contractor.

F. Joint Restraint

1. Restraining Fittings, Valves and Sleeves

a. MEGALUG Restrained Joints

(1) Restrain all fittings (bends, tees, caps and plugs), valves and sleeves using MEGALUG restrained joints as manufactured by EBAA Iron Sales, Inc. of Eastland, Texas.

(2) Buttress all fittings, as provided for in Paragraph C.1 below, in addition to joint restraint.

2. Restraining Vertical Bends and Offsets

a. Changes in the grade of the water main made by vertical bends or offsets shall be restrained as provided for in Subsection F.1 above.

3. Restrained Joint Pipe Sections

a. All water main pipe and fittings, within sections shown on the Plans as "Joint Restraint" or "Restrained", shall be restrained as specified in Subsection F. above and fittings shall be buttressed as specified in Subsection G. below.

b. Restrained Joints in Casings

(1) The joints of restrained joint pipe installed in casings shall be fully extended to take up the joint slack prior to making the end connections.

4. Restrain Valves on PVC Pipe in Valve Manholes

a. All valves placed in valve manholes and installed on PVC pipe shall be restrained using PVC joint restraint systems as manufactured by EBAA Iron Sales, Inc.

5. Restrained Hydrant Leads

a. Hydrant leads shall be restrained in accordance with Subsection 530.0 of the "Special Provisions".

G. Concrete Blocking (Buttresses)

1. All horizontal bends, tees, caps and plugs shall be provided with concrete buttresses, in addition to joint restraint as specified in Paragraph F.1.a(1) above, in accordance with Section 4.3.13 and File Nos. 44, 44A, 45 and 46 of the "Standard Specifications".

H. Insulation

1. Water mains shall be insulated where noted on the Plans and wherever the depth of cover is less than five (5) feet when so ordered by the Engineer. Insulation shall be in accordance with Chapter 4.17.0 of the "Standard Specifications" and the details in the Appendix of the "Special Provisions".

I. Operation of Existing Valves

1. All existing valves will be operated by or under the supervision of the Lake Geneva Utility Commission. Contact Josh Gajewski at (262) 248-2311, ext. 6115.

J. Water Service Disruption

1. The Contractor shall coordinate his work schedule with the Owner when connecting intersecting streets to the new water main in order to minimize inconvenience and disruption caused by the temporary discontinuance of water service. Water service to residences shall not be shut down for a period longer than eight (8) hours, nor after 4:30 p.m. or on weekends without approval of the Owner. Residential water service may only be shut down between the hours of 8:30 a.m. to 4:30 p.m., except that residential water services may be shut down outside of these hours with the Owner's permission. Water service to businesses shall not be shut down for a period longer than two (2) hours unless satisfactory arrangements are made with the businesses affected. The Contractor shall take whatever measures are necessary to return service to the end of each working day, including the use of temporary valves or plugs.

a. The Contractor shall notify homeowners and businesses at least 24 hours prior to shutting off any water service.

K. Water Main Offsets

1. Water mains shall be offset as shown on the Plans or as directed by the Engineer. Water main offsets shall be in accordance with File No. 47 of the "Standard Specifications" as modified below.

a. Place offsets to provide a minimum of six (6) feet of cover.

(1) Water main shall be offset down only (under the conflicting utility) to prevent high points being created in the offset.

b. Offset castings may be used when the change in grade is 24 inches or less.

c. Concrete buttresses shall be constructed as shown, however, optional restraining methods as specified in the section on Joint Restraint of this article shall be used in lieu of strapping.

L. Tracer Wire

a. PVC water main shall be provided with tracer wire, including stubs and nonmetallic services and dead-end mains.

b. Material. Tracer wire shall be single strand, single conductor, insulated copper wire, minimum thickness No. 10 AWG.

c. Installation. Place tracer wire at the springline of the main and taps to the pipe at five-foot intervals. Extend wire up all valve boxes and hydrants terminated in a Bingham & Taylor Pb200NFG12W2T box set behind each hydrant.

d. Testing. The contractor shall test tracer wire for electrical continuity prior to acceptance of the main.

505. WATER MAIN MATERIALS

A. Water main pipe material shall be ductile iron (DI) or polyvinyl chloride (PVC) pipe conforming to the following:

B. Tests

1. Pipe material delivered for use on this project shall conform to the requirements of the appropriate AWWA and ASTM Specifications noted herein. All pipe shall be marked in accordance with the requirements of the cited Specifications and each load delivered to the job site shall be accompanied by the manufacturer's certification of such compliance. Said certification to be delivered to the Engineer or his representative.

505.1. DUCTILE IRON PIPE

A. Ductile iron pipe meeting the requirements of AWWA Standard C151 (ANSI 21.51), cement mortar lined with internal and external bituminous coating and furnished with either push-on or mechanical joints with rubber gaskets. Do not furnish cable bonding or other methods of providing electrical conductivity.

1. Ductile iron pipe shall be furnished for the following minimum thickness classes:

a. Six (6) inch hydrant lead and 8 inch pipe shall be Class 53.

505.2. POLYVINYL CHLORIDE PIPE

A. Polyvinyl chloride (PVC) pipe (4 inch through 12 inch diameter) meeting the requirements of AWWA Standard C900, DR18, with cast iron O.D. and integral elastomeric bell and spigot joints.

1. Hydrant leads shall be ductile iron pipe.

2. Do not furnish

505.4. FITTINGS (USED WITH DUCTILE IRON AND PVC PIPE)
 A. Fittings shall be ductile iron or cast iron, cement mortar lined with internal and external bituminous coating and meeting the requirements of AWWA Standard C110 (ANSI 21.10). Fittings shall be supplied with mechanical joints with rubber gaskets.
 1. Ductile iron mechanical joint fittings meeting the requirements of AWWA Standard C153 for "compact fittings", 3" through 24" size, may be used in place of the fittings specified above.
 2. All fittings shall be North American made; Star Pipe Products, Tyler/Union and Sigma Corp. ONLY.
 B. Bolts
 1. All water main nuts and bolts, including connections to mains, fittings, valves and hydrants, shall be stainless steel or Cor-Blue T-Bolts as manufactured by NSS Industries or equal.

510. VALVES AND VALVE BOXES
 A. Resilient-Seated Gate Valves
 1. Resilient-seated gate valves shall meet the requirements of AWWA C-509 or AWWA C-515.
 a. Resilient-seated gate valves shall be furnished with mechanical joints with rubber gaskets, cast iron or ductile iron body, bronze mounted, resilient wedge, non-rising stem, O-ring stem seals, 2 inch square operating nut opening to the left (counterclockwise) and rated at 200 psi working pressure.
 (1) Furnish valves with "Everdur" or "NDZ" heavy-duty brass stem.
 b. All 4, 6, and 8 inch valves shall be resilient-seated gate valves unless shown otherwise on the Plans.
 c. Resilient-seated gate valves shall be Waterous, American Flow Control 2500 series valve C515.
 B. Valve Boxes
 1. Valve boxes shall be three (3) piece cast iron valve boxes consisting of bottom (5-1/4" shaft diameter) and screw type top section with cover marked "WATER".
 a. Place valve box covers at the existing grade or to the elevation shown on the Plans or as specified in the "Special Provisions". Furnish extension sections as required. Turn the top section down, where covers are set below the finished grade, to allow for future final adjustment (raising) to finish grade.
 b. Valve boxes shall be North American made; Tyler/Union, East Jordan Iron Works, Bingham & Taylor.
 2. Valve Box Adaptors
 a. Valve boxes for both gate and butterfly valves shall be installed by mounting on valve box adaptors. Valve box adaptors shall be Adaptor, Inc.#6 Series Valve Box Adaptor.
 3. Valve Box Depth
 a. Valve box depths shown on the Plans are approximate only, unless the cover elevation is indicated. Valve box covers shall be placed to match the existing grade (1/4 inch below pavement surface) unless the finished elevation is shown on the Plans.

C. Tapping Valves and Sleeves
 1. Tapping valves shall be similar to the AWWA gate valves specified in Subsection 510.A. of the "Special Provisions" except for the end connection (usually flanged) to the tapping sleeve and oversized seat rings to permit entry of the tapping machine cutters.
 2. Tapping sleeves shall be supplied by the manufacturer of the tapping valves.
 D. Cutting-in Valves and Sleeves
 1. Cutting-in valves shall be similar to the AWWA gate valves specified in Subsection 510.A. of the "Special Provisions" except that they shall be provided with special gaskets allowing assembly on various types of pipe.
 2. Cutting-in sleeves shall be supplied by the manufacturer of the cutting-in valves.

530. HYDRANTS
 A. Standard Hydrant
 1. Hydrants shall be Waterous "Pacer" Model WB-67, conforming to the following specifications:
 a. Hydrants shall be compression type, with 5-1/4 inch bottom valve and 6 inch mechanical joint inlet connection equipped with cable bonding, O-ring packing, safety flange construction, meeting the requirements of AWWA Standard C502 and meeting specifications for 300 PSI test pressure and 150 PSI working pressure.
 b. Hydrants shall have two 2-1/2 inch hose nozzles with National Standard fire hose coupling screw threads and nut type nozzle caps with gaskets and chains and one 4-1/2 inch pumper nozzle with STORZ-LDK 125 quick-connect fitting.
 c. Hydrants shall have 1-1/2 inch pentagon operating nut opening to the left (counter-clockwise).
 d. Hydrants, including barrel extensions, shall be painted federal safety yellow.
 2. Air-Release Hydrants
 a. Air-release hydrants shall be installed in accordance with the details shown in the Appendix of the "Special Provisions".
 B. Barrel Extensions
 1. Hydrants shall be furnished for 6-1/2 feet of bury unless the Plans show greater burial depths. Use bends in the hydrant lead to bring the hydrant to the proper burial depth. The distance from the ground line to the centerline of the lowest nozzle shall be from 18 to 23 inches.
 2. Extensions
 a. Hydrant extensions may be used only where bends cannot be utilized to bring the hydrant to the desired depth and only with the Owner's approval. Hydrant extensions shall be compatible with hydrant barrel and stem sections and shall be installed at the top of the barrel section.
 C. Valves and Valve Boxes
 1. Hydrant valves and valve boxes shall conform to the requirements for gate valves and valve boxes of the "Special Provisions".
 D. Hydrant Leads
 1. Hydrant leads shall be six (6) inch, Class 53, ductile iron pipe.
 2. Restrain hydrants with thrust blocking and by anchoring to the main. Restrain all joints with MEGALUG restrained joints or anchoring pipe and anchoring fittings. Provide concrete thrust blocks for both hydrant and hydrant tee.
 3. Restrain one full length of pipe on both sides of the hydrant tee.
 E. Hydrant and Auxiliary Valve Locations
 1. Place hydrants 5 feet behind the back of curb or as shown on the Plans.
 2. Place hydrant valves within 30 inches of the main.
 F. Temporary Hydrant Cover
 1. Temporarily cover new hydrants during construction with polyethylene bags, securely fastened in place, until after the water main has been tested and placed in service.

540. WATER SERVICES
 A. Installation
 1. Water service piping shall be installed in accordance with Chapter 5.5.0 of the "Standard Specifications" and the following provisions:
 a. Do not connect services to the water main until after the main has been tested and a safe water sample obtained.
 b. Insert the corporation stop into the water main while the main is in service and under pressure.
 c. Don't backfill the water service trench until after the service has been checked for leaks and the service piping thoroughly flushed.
 2. Cover
 a. Install water service piping with 6-1/2 feet minimum cover except provide 5 feet minimum cover at ditches.
 3. Tapping PVC Water Main
 a. PVC water main shall be tapped using double strap service clamps. Corporation stops installed on PVC pipe shall be furnished with AWWA tapered threads conforming to AWWA C-800.
 (1) Service clamps shall have the following minimum total widths:
 (a) 3/4" and 1" services - 2" minimum width.
 (b) 1-1/4", 1-1/2" and 2" services - 3" minimum width.
 b. Taps shall be located at least 2 feet from the ends of pipe sections and at least 18 inches apart measured in a horizontal direction.
 c. Tap PVC pipe using a shell cutter with internal teeth. Do not use a standard drill and tap for direct tapping under pressure.
 d. Place teflon tape on corporation stop threads prior to installation. Corporation stops shall be torqued to a maximum of 35 ft.-lb. or as recommended by the manufacturer.
 B. Curb Valve Location
 1. Curb valves shall be placed six (6) inches to one (1) foot from the right-of-way line, unless shown otherwise on the Plans; with the residence side of the curb valve capped or plugged.
 a. Valve placement in sidewalk is NOT acceptable.

C. Water Service/Sanitary Sewer (Lateral) Separation
 1. Horizontal Separation
 a. Install water services 2-1/2 inches or larger in diameter at least 8 feet horizontally from sanitary sewer laterals.
 b. Install water services 2 inches or less in diameter at least 30 inches horizontally from sanitary sewer laterals.
 (1) Water services may be installed closer than 30 inches from a sewer lateral if the bottom of the water piping is at least 12 inches above the sewer.
 c. No water service may be installed within 6 inches of a storm sewer.
 2. Vertical Separation
 a. Water main and water service piping crossing a sanitary sewer, including laterals, and located within 10 feet of the point of crossing shall be installed:
 (1) At least 12 inches above the top of the sewer, or
 (2) At least 18 inches below the bottom of the sewer from the top of the water piping, or
 (3) Within a waterproof sleeve, made of PVC (ASTM D3034 or ASTM D1785) or other acceptable material per Table B4.30-3 of the Plumbing Code - Department of Commerce.
 B. Water Service Piping
 1. Copper Tubing
 a. Water service piping for shall be CTS SDR9 poly tubing.
 C. Water Service Materials
 1. The cost of water services shall include furnishing and installing corporation stop, service clamps if required, curb valve, valve box, and stationary rod as specified herein and as shown on the Plans.
 a. Corporation stops shall be Mueller B25008 compression fittings.
 (1) Install all stops on PVC pipe with double strap service clamps. Furnish saddles for PVC OD pipe.
 b. Curb valves shall be Mueller B25155.
 c. Curb boxes shall be extension type with Minneapolis pattern base; Mueller H-10300 (1-1/4" upper section) with stationary rod #84261.
 (1) Furnish curb boxes with stationary rod for 6-1/2 feet of bury. Stationary rods shall be 51" in length.
 d. All water service fittings shall be compression type.

550. HYDROSTATIC TESTS
 A. General Requirements
 1. All tests shall be performed as specified in Chapter 4.15.0 of the "Standard Specifications", except that the water main shall pass three consecutive one-hour leakage tests. The City Utility Engineer or his Representative shall be present at all times during testing.
 2. The Contractor shall furnish all labor, equipment and material to complete all testing.
 3. Temporary Air-Release
 a. Trapped air shall be bled off (by tapping the main) when filling the main with water and/or removed by flushing through hydrants.
 b. Temporary air-release may be provided by tapping 1 inch corporation stops into the high points of pipe or into the plug on dead end lines. After flushing and testing is completed, the temporary taps shall be abandoned in place.
 c. The Contractor shall provide temporary flushing hydrants if required to flush dead end lines.
 B. Test Sections
 1. The Contractor has the option to test the entire new water main as one continuous test section or in segments per his discretion.
 2. Connections to intersecting streets need not be tested, however, the Contractor shall sterilize and flush all connecting mains. The intersecting main(s) shall be subjected to line pressure and any visible defects repaired prior to backfilling.

555. DISINFECTION
 A. General Requirements
 1. The water main shall be disinfected in accordance with Section 4.3.12 and Chapter 4.16.0 of the "Standard Specifications".
 a. Amend paragraph 4.16.5 of the "Standard Specifications" to read:
 4.16.5 SAMPLING. The Contractor shall take all necessary samples of the water and provide any equipment necessary to take these samples at no cost to the Owner. The Contractor, accompanied by the Engineer or his representative, shall deliver the samples to an approved laboratory for testing.
 B. Safe Samples
 1. At least one (1) safe sample must be obtained from each of the segments hydrostatically tested as listed under Subsection 550.B. (Test Sections) of these Special Provisions. Additional samples may also be required from:
 a. Representative locations from each of the test sections to establish that all of the mains are free of contamination.
 b. Dead end lines.
 c. Connections to existing mains (see Subsection 555.C. of the "Special Provisions").
 2. Water main segment(s) shall not be placed in service until after safe water sample(s) have been obtained.
 C. Procedures for Disinfecting Connections to Existing Mains
 The following procedures apply when existing mains are wholly or partially dewatered. Existing mains that are isolated by an existing valve require no disinfection. After the appropriate procedures have been completed, the existing main may be returned to service prior to completion of bacteriological testing to minimize disruption to service.

1. Apply liberal quantities of hypochlorite to wet trenches at or near the connection to the existing main. Use hypochlorite tablets if water is being pumped from the trench to prolong protection as hypochlorite is slowly released as the tablets dissolve.
 2. Swab the interior of all pipe and fittings located between the connection to the existing main and the closest new valve (including connection pipe and fittings) with a one percent hypochlorite solution in accordance with Subsection 555.F. of the "Special Provisions".
 3. Flush the connection to the existing main, from both directions toward the connection if valve and locations permit, as soon as the connection has been completed and the nearest new valve installed and secured. Flush through the new main until all discolored water is eliminated.
 4. Should the water main connection be severely contaminated by dirty water or other means, the existing main and connection shall be disinfected by slug chlorination in accordance with the procedure specified below:
 a. Continue to isolate the section of contaminated main.
 b. Shut off all service connections.
 c. Place hypochlorite tablets in the connection to the new main.
 d. Flush the main to remove particulates.
 e. Slowly dose the contaminated main with a 300 mg/l free chlorine concentration for a period of at least 15 minutes.
 f. Flush the main until the water is free of noticeable chlorine odor.
 g. Open service connections and return the main to service.
 5. Take bacteriological samples to provide a record for determining the effectiveness of the procedure. Samples may be required from both sides of the connection.
 If unsatisfactory tests are recorded, the City Utility Engineer will determine the necessary corrective action. Take daily samples until two consecutive safe samples have been recorded.

D. Rechlorination
 1. Should any test prove unsatisfactory, the water main shall be sterilized by the Contractor by such methods as he deems necessary and samples taken until acceptable results are obtained.
 E. Flushing
 1. All water mains, including dead end mains and all hydrants, and all water services shall be flushed. Water services shall be flushed, with a minimum amount of water equivalent to the volume of the service pipe, until the water is visibly clean.
 a. Provisions shall be made to convey water used for flushing or testing to a suitable discharge point without damage to crops or cropland and without disruption of farming operations. No flushing water may be discharged on farmlands.
 b. The Contractor shall use suitable methods for disposing of flushing water to prevent surface erosion.
 c. The Contractor shall provide temporary flushing hydrants as required.
 2. Water Furnished by the City of Lake Geneva
 a. Water for testing and flushing will be furnished by the City of Lake Geneva. The Contractor shall notify the City prior to commencing flushing and shall coordinate his operations with the City in order not to deplete the water supply. Water usage may be restricted to periods of flow demand (night time or weekend hours) if water usage is high during normal working hours. All flushing of new mains and services shall be done under the direct supervision of the Engineer or his representative.

B. Swabbing Water Main.
 1. All piping installed outside of water main test segments shall be disinfected by swabbing with a 1% hypochlorite solution and thoroughly flushed. The entire interior surfaces of all pipes and fittings shall be thoroughly swabbed. The diameter of swabs used in pipes shall match the interior pipe diameter and provide resistance when swabbing the pipes. Pipes shall be swabbed with a pumping motion with all surfaces wiped several times. The Contractor shall use extreme care to insure the cleanliness of all water main materials used.



SUMMERHAVEN OF LAKE GENEVA
 PHASE 1 BUILDOUT & PHASE 2
 FINAL ENGINEERING PLANS
 CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

PUBLIC SEWER & WATER
 SPECIFICATIONS

FARRIS, HANSEN & ASSOCIATES, INC.
 ENGINEERING - ARCHITECTURE - SURVEYING
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REVISIONS
 05/10/2018 - DSR
 PER CITY COMMENTS
 05/21/2018 - DSR
 PER CITY COMMENTS

PROJECT NO.
 8868
 DATE
 10/19/2016
 SHEET NO.
 7 OF 10

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SPECIFICATIONS FOR
ROADWAY, GRADING,
STORM SEWER CONSTRUCTION
SITE PREPARATION, DRAINAGE
AND EROSION CONTROL
SUMMERHAVEN OF LAKE GENEVA, PHASE II
CITY OF LAKE GENEVA
WALWORTH COUNTY, WISCONSIN

GENERAL DESCRIPTION

Spectrum Real Estate Properties, defined as OWNER, will receive bids for all work as shown on the plans, indicated within the bid Proposal, and further described in the following Specifications complete and in accordance with the "Standard Specifications for Sewer and Water Construction in Wisconsin" sixth edition, December 22, 2003 with Addendum No. 1, December 22, 2004, except Part I thereof, and its Addendums and the "Standard Specifications for Highway and Structure Construction," 2010 Edition, State of Wisconsin Department of Transportation, except Part I thereof.

The project consists of all the roadways, storm sewer construction, site grading, and erosion control. The project and roadways are to be privately owned and maintained.

The work that shall be done under this Contract consists of furnishing all labor, tools, equipment, machinery and appliances, and all materials, except where definitely specified to the contrary, and construction complete, in working order, ready for use.

The ENGINEER, Farris, Hansen & Associates, Inc., will stake the work once at no expense to the CONTRACTOR; however, if the CONTRACTOR shall request re-staking, this work will be done at the expense of the CONTRACTOR. CONTRACTOR should make every attempt to notify ENGINEER a minimum of two (2) days prior to his commencing work requiring either line and/or grade stakes. Requests shall be made periodically as work proceeds.

PART 1 - STORM SEWER (TO BE PRIVATELY OWNED)
1. STANDARD SPECIFICATIONS

All work under this project shall be done in accordance with the "Standard Specifications for the Sewer and Water Construction in Wisconsin," Sixth Edition, December 22, 2003, and its Addendums, hereinafter referred to as the "Standard Specifications," and its amendments and corrections. Specifications contained herein shall supersede these standard specifications as indicated only to modify, alter or extend them.

2. EXISTING UTILITIES

It shall be the responsibility of the CONTRACTOR to notify all public utilities such as telephone, power, gas, etc., prior to excavating to determine for himself the extent of existing underground utilities. In addition the CONTRACTOR shall be responsible for any costs involved with relocating or bracing any above ground utility poles or structures which may be weakened or on line of any proposed sewer construction.

3. ABOVE GROUND UTILITIES

It shall be the responsibility of the CONTRACTOR to notify any above ground utilities such as electric power utilities, phone companies, and telegraph companies to relocate or reinforce any poles, ties, or anchors, which may be on the line of the proposed sewer line, or weakened by excavation for the sewer line at no extra cost to the OWNER.

4. UNDERGROUND UTILITIES

The CONTRACTOR shall locate or verify all known underground utilities such as existing gas line, telephone lines, underground power lines, storm sewer, sanitary sewers or water mains, prior to requesting grades for any sewer line. If any other utility is on line or grade, the location of the sewer line will be relocated to clear such utility, if possible, or the underground utility will be relocated.

5. UTILITY CROSSINGS

The CONTRACTOR shall carefully expose, with hand tools, all utilities which cross the proposed storm sewer prior to construction in the immediate area of same, to allow the ENGINEER to check for conflicts. All utilities shall be protected from any disturbance throughout the project work and supported in accordance with Section 2.6.5 of the "Standard Specifications."

6. INTERFERENCE OF UNDERGROUND STRUCTURES

Section 2.1.1 of the "Standard Specifications" shall govern except as modified hereafter: All altered work shall be either negotiated between CONTRACTOR and OWNER or payment made by increasing or decreasing the bid item involved. Concrete encasement or capping of sewer when ordered shall be negotiated as an extra.

7. SURFACE REPLACEMENT

Sections 2.6.11, 2.6.12, 2.7.1 and 2.7.2 of the "Standard Specifications" shall be deleted and the following shall apply: The CONTRACTOR shall include within his unit price bid for utilities the cost of replacing all damaged or disturbed driveways, pavements, or other existing surface improvements. Replacement of all existing surface improvements shall meet or exceed the quality of the original materials or workmanship. Existing bituminous or concrete pavements shall be sawcut prior to excavating.

8. SEWER CONSTRUCTION

The appropriate provisions of Parts II and III of the "Standard Specifications" shall apply except as modified or amended hereafter. Construction shall be in accordance with requirements contained within all permits obtained for the project, copies of which shall be furnished to the CONTRACTOR and made a part of these specifications.

All excavations within established roadways, shoulders or new roadways shall be backfilled with granular material conforming to Section 8.4.3.4. Consolidation of backfill within these established areas shall be by mechanical compaction as defined in Section 2.6.14, granular material in established roadways.

All excavations outside of existing pavement or shoulder areas may be backfilled with excavated material conforming to Section 8.4.5 unless the material is determined to be unsuitable. If determined unsuitable at the time of construction, granular material conforming to Section 8.4.3.4 shall be substituted and paid for as an extra cost. Extra cost shall include exposing the unsuitable soils on site outside of building pad areas in designated fill areas as shown on the plans which have been stripped of topsoil preceding its placement. Cubic yard quantities shall be determined by using the factor 0.15 cubic yards per foot of trench depth per foot of trench length.

All bedding and cover materials used for sewer construction shall conform to materials as defined under Section 8.4.3.0 of the "Standard Specifications."

9. COMPACTION

Compact soil to not less than the following percentages of maximum density for soils which exhibit a well-defined moisture density relationship (cohesive soils) determined in accordance with ASTM D1557, and not less than the following percentages of relative density, determined in accordance with ASTM D2049; for soils which will not exhibit a well-defined moisture-density relationship (cohesionless soils):

- Under Paving Areas: Compact top eight inches of existing ground surface and each layer of backfill or fill material to 98 percent maximum density for cohesive soils or 90 percent relative density for cohesionless soils.
- Other Areas: Compact top eight inches of existing ground surface and each layer of backfill or fill material to 95 percent maximum density for cohesive soils or 90 percent relative density for cohesionless soils.

Compact the soil materials around piping and conduit with hand-operated tampers.

Do not allow heavy vehicles, equipment, or machinery to operate directly over piping and conduit until a minimum of 24 inches of backfill has been placed and compacted over it.

10. STORM SEWER PIPE MATERIALS

The CONTRACTOR shall furnish all new materials required to complete work as called for within these specifications and shown on the drawings. Reinforced concrete pipe shall be used throughout entire project unless specifically noted on the plans.

Reinforced concrete pipe used for storm sewers shall meet the requirements of ASTM C-76 with rubber gasket joints conforming to ASTM C-443 or Section 3.2.15 of the "Standard Specifications."

11. CATCH BASINS AND AREA DRAINS

The provisions of Section 3.6.1 of the "Standard Specifications" shall govern except as modified hereafter. Catch basins in gutter line of pavement shall be 48" I.D., unless otherwise shown, and conform to details shown on this plan, castings shall be Neenah R-3067 with Type R grates. Catch basins shall be bid to include all costs associated with their construction complete including inlet castings and grates.

Backfill trenches within new roadways with granular material.

Area drains shall be 48 inches diameter precast concrete section with a top opening to accommodate the Neenah R-2560-E1 frame and grate.

It should be noted that placement of catch basins and area drains may be modified by Engineer prior to construction if conflicts or other conditions occur.

12. CLEANING OF SEWERS AND APPURTENANCES

The interior of all sewers and appurtenances shall be kept clean throughout construction. The work shall be freed from all dirt and extraneous materials of all types as the work progresses and left clean at the completion of work.

13. COORDINATION OF WORK

The CONTRACTOR shall coordinate his work effort with that of the Contractor for the site, grading and roadway construction. Stripping and stockpiling of topsoil and rough grading of roadway sub-grade shall be done by others ahead of installation of the underground utilities by this CONTRACTOR. After all sewer and construction for a given street or area is complete the CONTRACTOR for the roadway construction shall be responsible for the protection of all surface protruding appurtenances such as manhole frames and lids, area drains, catch basins, etc.

14. SURPLUS EXCAVATED MATERIALS

The provisions of Section 2.2.11 of the "Standard Specifications" shall be deleted and the following shall apply: The CONTRACTOR shall haul and dispose of surplus excavated material to designated fill areas on site. The cost of placing such surplus or disposing of material to the designated fill area shall be included in the bid for the work.

15. ADJUSTMENT OF SURFACE PROTRUSIONS

All catch basins, area drains, and other surface protrusions shall be adjusted at the request of the CONTRACTOR for Street Construction if found to be unreasonably high or low at the time of paving or doing other work which must meet elevations of the surface protrusions. This work shall be done promptly at the OWNER may cause others to do the work and charge the CONTRACTOR for the costs.

16. STAKING, STAKES AND LATH

Necessary stakes and lath shall be furnished by the ENGINEER for staking of line and grade. All line and grade shall be provided as required by the Project Engineer.

17. SURVEY POINTS

All reference stakes, horizontal and vertical control points, survey monuments and other points which are marked by lath crossed over the point and heavily ribboned shall be protected by the CONTRACTOR against being destroyed. If these points are destroyed by the CONTRACTOR's work activity, they shall be replaced at the CONTRACTOR'S cost by the ENGINEER.

18. SUBSURFACE SOIL INVESTIGATION

Subsurface soil investigations have not been made. All CONTRACTORS who review shall make his own judgment pertaining to the character of existing subsurface materials of the site. The CONTRACTOR shall be responsible in formulating his own opinion of the soils to be encountered and to what extent testing or investigation is required for his bid. The CONTRACTOR shall assume the responsibility of constructing all improvements for the bid prices. The only exception to this shall be as specified for ordering undercut and other specified extras or changes to work.

19. SCHEDULE OF WORK

It shall be the intent of the Owner to complete all grading for the sub-base of the roadways, drainage swales and underground pipe work as soon as possible. The CONTRACTOR shall submit a schedule for his work completion with his bid as contained within the proposal of the Contract Document.

20. TRAFFIC CONTROL

The CONTRACTOR shall maintain access to the existing residences at all times. Roads shall be maintained in a safe condition throughout the duration of the project. The CONTRACTOR shall take all precautions necessary to safely warn the public of the probable increased danger to travel due to construction of the work.

Whenever the Contractor's activities obstruct through traffic, there shall be sufficient flagmen on duty to guide the traffic, and the Contractor shall furnish and install all temporary signing and barricades required to safely direct the traveling public around the obstructed area. Traffic control shall be provided in accordance with the Manual on Uniform Traffic Control Devices.

PART 2 - ROADWAY AND SITE WORK
1. STANDARD SPECIFICATIONS

All work as shown on the plans, indicated within the bid proposal, and further described in the following specifications, completed, and in accordance with "Standard Specifications for Highway and Structure Construction", Edition of 2016, State of Wisconsin Department of Transportation, except Part I thereof.

The ENGINEER will stake the work once at no expense to the CONTRACTOR; however, if CONTRACTOR shall request re-staking, this work will be done at the expense of the CONTRACTOR. CONTRACTOR should make every attempt to notify ENGINEER a minimum of two (2) days prior to his commencing work requiring either line and/or grade stakes. Requests shall be made periodically as work proceeds. All project areas shall be stripped, rough graded and brought to subgrades, as shown on the plans.

2. CLEARING AND GRUBBING

All clearing and grubbing will be in accordance with plan requirements and as directed by Engineer.

The CONTRACTOR shall clear, grub and dispose of all brush, trees, stumps, logs, etc. within all excavation limits in accordance with Section 201 of the "Standard Specifications". Clearing and grubbing shall be paid for on a lump sum basis. All brushy vegetation and limbs shall be chipped and blown over existing vegetated site in a maximum of one to two inches depth. Stumps are to be ground and logs to be hauled offsite.

3. UNCLASSIFIED EXCAVATION

Unclassified excavation shall consist of all excavations necessary to provide a subgrade at suitable elevations such that roadways, curb and gutter, and lands adjacent thereto can be constructed to finished elevations shown on the plans by application of stone base course and pavement or topsoil replacement as applicable.

Payment for the unclassified excavation shall be lump sum which shall include all required transportation and disposal costs of excess materials. All excess excavated materials shall be disposed of on site in designated areas shown on the plans as directed by either OWNER or ENGINEER.

5. CUTS

All areas of grading work, particularly cut areas, shall be kept shaped and drained during construction. All roadway and drainage swales, pockets, depressions and, low areas shall drain effectively at all times. Graded areas shall be protected against erosion prior to the completion of the work by use of temporary traps, diversions, checks and other methods.

5. COMPACTION

Compact soil to not less than the following percentages of maximum density for soils which exhibit a well-defined moisture density relationship (cohesive soils) determined in accordance with ASTM D1557, and not less than the following percentages of relative density, determined in accordance with ASTM D2049; for soils which will not exhibit a well-defined moisture-density relationship (cohesionless soils):

- Under Paving Areas: Compact top eight inches of existing ground surface and each layer of backfill or fill material to 98 percent maximum density for cohesive soils and 90 percent relative density for cohesionless soils may be adjusted by building designer).
- Other Areas: Compact top eight inches of existing ground surface and each layer of backfill or fill material to 95 percent maximum density for cohesive soils or 90 percent relative density for cohesionless soils.

Where soil materials must be moisture conditioned before compaction, uniformly apply water to the surface. Prevent free water from appearing on the surface of soil materials during or subsequent to compaction operations.

Remove, replace, or scarify all dry air soil materials that are too wet to permit compaction to the specified density.

All compaction tests and inspections shall be made by an independent testing laboratory acceptable to Engineer. Site contractor will assist the testing firm in the performance of their tests and inspections and be responsible for coordinating the tests and inspections. Soil testing reports and procedures shall be completed and followed. Copies are to be provided to the OWNER.

No fill shall be placed without inspection and approval of the subgrade and fill material composition by a representative of the testing laboratory or Engineer.

Method of test for density of soil in place shall be the Sand-Cone Method, ASTM D1556 or Nuclear Density Meter. Method of test for moisture-density relations of soils shall be Modified Proctor, ASTM D-1557-78. Relative density of cohesionless soils shall be established by ASTM D-2049-69, 90 percent relative density.

Excavated materials may be used for backfill provided all wood, roots and other deleterious materials are removed and subject to approval by the Construction Manager. Excavated material shall be placed into fill areas once dried to proper moisture content or determined to be suitable by site Engineer. Excavated site materials shall be inspected, placed and compacted in lifts as recommended by the testing firm.

6. FILL

Place the fill under finish graded and compacted subgrade surfaces to the thickness indicated. Maintain optimum moisture content for compacting material during placement operations. Provide, place and compact off site pit run granular material to supplement any site shortage of suitable material to bring to the site to subgrade if ordered by owner at a unit price per ton. Borrow site within the existing pond areas will be considered if suitable materials are found there. Otherwise the material will be hauled in from off-site from an appropriate location.

7. SUBGRADE INSPECTION

Upon completion of final subgrade work and prior to the placement of crushed aggregate base material, the roadway areas will be inspected by the Engineer to check that conformance to the proposed grades is maintained. In addition, all subgrade shall be test rolled with a loaded quad-axle truck with the CITY ENGINEER present before base course placement is started.

8. CRUSHED AGGREGATE BASE COURSE

Crushed aggregate base course shall be twelve inches (12") thick and placed in a minimum of two lifts and shall conform to Gradation No. 2 as specified in accordance with the "State Specifications" Section 305.2. All crushed aggregate base course shall be compacted with water truck, grader and vibrator roller.

The base course shall be crushed stone and shall be constructed in accordance with the requirements of Section 305 of the "State Specifications". Payment shall be by the ton hauled.

If undercut and compacted granular fill is ordered by the ENGINEER at the time of excavating for the subgrade, payment shall be made as an extra at the supplemental price bid per cubic yard. All subgrade shall be test rolled with loaded quad-axle truck with CITY ENGINEER present before base course placement is started.

9. BITUMINOUS CONCRETE PAVEMENT

Bituminous concrete pavement shall be 4 LT 58-28 S - 2.25 inch thickness of binder course and a 5 LT 58-28 S - 1.75 inch thickness of surface course materials. The materials and methods used in application of the bituminous concrete pavement shall comply with the general requirements of Section 450 of the "State Specifications". Asphalt shall be Type MC complying with AASHTO M82 and aggregate to Sub-section 460.2.2 of the "State Specifications". No recycle.

All bituminous concrete paving operations shall be done under the observation of the City Engineer.

10. TACK COAT

All existing paved surfaces which call for a surface lift of pavement shall be thoroughly cleaned and dry prior to paving with an emulsified asphalt tack coat applied at a rate of 0.05 - 0.15 gallons per square yard. For new pavements when a time delay between binder course and surface course is specified or ordered by the ENGINEER the first binder lift shall be thoroughly cleaned and dry with an emulsified asphalt tack coat applied at 0.04 - 0.05 gallons per square yard.

11. CONCRETE

All concrete used on this project, except for pavement, shall be air-entraining, 6-bag mix with a minimum 28 day compressive strength of 4,000 psi. All requirements of Section 501 of the "State Specifications" shall apply unless otherwise modified herein or waived by the ENGINEER. Course aggregate shall be proportioned between Size No. 1 and No. 2 to provide suitable workability with a 6 percent air content plus or minus 1.5 percent.

12. CURB & GUTTER

Curb and gutter shall be constructed in accordance with the requirements of Sections 501 and 601 of the "State Specifications" and the typical section and requirements shown on the plans unless otherwise modified herein.

Reinforcement shall be placed in the curb and gutter at all points where open cut trenches for sewer laterals and water services cross the curb and gutter. Reinforcement shall consist of 3 - #5 bars 15 feet long placed as shown in the drawings and centered over the previously open cut trenches.

Expansion joints for curb and gutter shall be provided at all street intersections where the tangent and radial curb and gutter meet, at all other points of curvature, and on tangent sections at a maximum spacing of 300 feet. The expansion joints shall be 3/4" in. with an approved type bituminous filler and elastomeric sealer. Expansion joints shall be placed every 10 feet along the length of the curb and gutter with a minimum of 8 feet at terminations. Place expansion joints 3 feet from each side of drainage extensions.

Finished surfaces of the curb and gutter shall be troweled and brushed and an impervious curing compound applied conforming to Subsections 415.2.4 and 415.2.5 of the "State Specifications".

Traffic shall not be allowed on curb and gutter for a period of at least 7 days after placing or until the concrete has attained a compressive strength of at least 3,000 pounds per square inch.

13. TRAFFIC CONTROL

The Contractor shall maintain access to the existing residence at all times. Roads shall be maintained in a safe condition throughout the duration of the project. The Contractor shall take all precautions necessary to safely warn the public of the probable increased danger to travel due to construction of the work.

Whenever the Contractor's activities obstruct through traffic, there shall be sufficient flagmen on duty to guide the traffic, and the Contractor shall furnish and install all temporary signing and barricades required to safely direct the traveling public around the obstructed area. Traffic control shall be provided in accordance with the Manual on Uniform Traffic Control Devices.

14. DRAINAGE SWALES & OFF STREET GRADING

Drainage swales and off street grading shall be constructed in accordance with details of line, grade and configuration shown on the plans and as specified under Sub-section 205.3.6 of the "State Specifications". Temporary bole ditch checks, sediment basins, diversions, silt fence, etc., shall be used to minimize erosion throughout construction.

All swales and off pavement grading shall be graded smooth to inlets of the storm sewer provided. If erosion control is found necessary, fabric, silt fencing, or other materials shall be provided as directed by the ENGINEER for the costs as listed in the Supplementary Prices.

15. DELIVERY TICKETS

Delivery tickets for all items paid for on a unit price basis shall be provided by the CONTRACTOR at the time of delivery to the site. Tickets shall be dated, numbered and include all applicable pay quantities thereon with signature of scale operator as applicable. Provisions for required scale operations shall be provided by the CONTRACTOR. All items to be paid by weight shall be signed by the scale operator and all other quantities of volume or number shall be monitored by the Project Inspector.

16. SALVAGE, STOCKPILE & REPLACEMENT OF TOPSOIL

All topsoil on area to be disturbed shall be stripped and stockpiled in areas as indicated on the plans or otherwise approved by the ENGINEER.

After excavating and rough grading of all required areas a minimum 6" topsoil shall be replaced and graded. All work shall be performed in accordance with the requirements of Section 625 of the "State Specifications". All excess topsoil shall remain the property of the OWNER and be placed in fill locations outside building site areas.

17. REMOVING MISCELLANEOUS MATERIALS

The CONTRACTOR shall remove and dispose of any old curb and gutter, bituminous pavement, masonry and manholes in accordance with the requirements of Subsection 204 of the "State Specifications". Payment for removal of miscellaneous structures shall be included in the Proposal for the work.

18. WASTE MATERIALS OR EXCESS EXCAVATION

All excess excavated materials resulting from construction of roadways and drainage courses shall be moved offsite or to designated fill areas on the site and there deposited in compacted 12 in. lifts as staked by the ENGINEER. This work shall be done only after stripping topsoil. All material shall be used on site. (See requirements for engineered fill under buildings and roadways.)

19. TIME PERIOD FOR PAVING

Installation of the binder course shall be done at as early a date as possible after initial start of work. The surface course shall not be constructed until one (1) year after installation of the binder course unless an earlier or later installation is approved by the Owner. The CONTRACTOR shall provide for any lock out cost required. The delayed installation of the surface course shall not interfere with finalizing the Contract and payments for all other work. In addition the paving shall be disregarded in determining the time of completion.

Prior to the paving operation streets shall be regraded and additional crushed gravel provided and compacted to bring the base course to grades as shown on the plans. The ENGINEER shall stake centerline base course grades (red tops) once for CONTRACTORS use prior to the paving work as required. The base course shall be proof rolled before paving.

20. SEEDING, MULCHING & FERTILIZER

Preparation of all seed beds, sowing, and other requirements shall be in accordance with Section 630 of the "State Specifications". Seed Mixture shall be Seed Mixture No. 40, applied at a rate of 4 pounds per 1000 square feet of area. All seeded areas shall be mulched in accordance with Section 627 of the "State Specifications".

Fertilizer to be used shall be as defined under Sub-section 629.2.1 and applied at a rate of 7 pounds per 1000 square feet of area following procedures conforming to Sub-section 629.3 of the "State Specifications" for all areas seeded or soddied.

The street terraces, finished areas along boundary and sewer easements shall be seeded, mulched and fertilized except as may be otherwise noted on the plans. CONTRACTOR will provide a perennial rye cover crop over other disturbed or open lands. These disturbed areas on slopes shall be prepared and seeded with Seed Mixture No. 20 applied at a rate of 5 pounds per 1000 square feet area or approved lawn turf mix.

Following any initial soil disturbance, permanent or temporary stabilization shall be completed within seven calendar days to the surface of all slopes greater than 3:1. In addition, all other disturbed or graded areas shall be stabilized within fourteen calendar days.

21. DUST PALLIATIVE

The CONTRACTOR shall minimize the dispersion of dust from the sub-base, basecourse, drainage swales and other surface areas disturbed throughout construction until acceptance of work, by the applications of water or other approved dust control materials which surfaces are dry and travel over unfinished surfaces is required. No extra for water trucks and control will be paid. Calcium chloride, if used, shall be applied at a rate of 2 lbs. per square yard.

22. EROSION CONTROL

The Contractor shall use the current Wisconsin Department of Natural Resources Construction Site Erosion & Sediment Control Standards as a reference and guide for erosion control practices.

The Contractor shall comply with the provisions of local erosion control plans and/or ordinances.

All erosion and sediment control measures shall be constructed and maintained in accordance with these Standards. Sediment control measures should be adjusted to meet field conditions at the time of construction and installed prior to any grading or disturbance of existing surface materials. Periodic inspection and maintenance of all sediment control structures should be provided to ensure intended purpose is accomplished. Sediment control measures are to be in working condition at the end of each working day. After any significant rainfall, sediment control structures should be inspected for integrity. Any damaged structures should be corrected for integrity. Sediment control measures should not be removed until the areas served have established vegetative cover. Stone and gravel mats shall be installed at all construction site exits to prevent tracking of soil. Any tracked soil should be collected from paved roads located near the construction sites. Overland flow should be prevented from directly leaving the work site by routing through proposed sediment traps. Following the cessation of initial soil disturbance and work activities in the area, permanent or temporary stabilization shall be completed and stabilized within fourteen calendar days of work completion.

All disturbed areas shall be seeded with temporary dormant seed mix (oats, winter wheat, annual rye) if permanent seed mix not completed by September 15, 2017, with appropriate follow-up to address erosion problems, wash-out, etc. Permanent seed mix must then be made by June 1, 2018. Seeding rates and mixes shall conform to Section 630 of the "State Specification". If lands are disturbed after October 30 additional stabilization may be required with anionic polymer over a cover crop of winter wheat, oats, or annual rye on all slopes 4:1 or greater.

23. EROSION MAT

The CONTRACTOR shall place erosion mat over all seeded areas with slopes over 4:1 as required to control erosion, including at the locations shown on the plans and/or as directed by the ENGINEER. Erosion mat shall be placed in accordance with the procedure recommended by the manufacturer and Section 628.3.2 of the "State Specification" or as directed by the engineer.

Erosion mat material shall be North American Green S-150 double net straw blanket or equal, as indicated on the plans.

24. SEDIMENT TRAPS

Sediment traps shall be constructed as indicated on the plans and shall be constructed as part of the initial BMPs whenever practical. An overflow weir is incorporated at the outlet to discharge flow from the trap. Sediment traps shall be phased with the earthwork activity where practical. If sediment trap sizes shown on the grading plan cannot be constructed due to terrain, CONTRACTOR shall incorporate a "Best Fit" sediment trap.

25. DEWATERING

All site or trench dewatering shall be done by acceptable methods in strict accordance with technical standards (Code No. 1061) W DNR. Discharge shall be into storm water basins and sediment containment areas at rates that can be accommodated (ENGINEER to approve).

Any dewatering being pumped directly to storm sewer or offsite shall be done through geotextile bags. In general, dewatering shall be dumped to the storm water basin area for containment.

26. PERMITS

Contractor shall be responsible for all permit conditions concerning erosion control and City site permit conditions along with the State NOI permits. Drains that leaves the site must be controlled and erosion prevented. It will be very important to prevent tracking of mud or other materials off site onto the roadways. If this occurs it must be immediately cleaned by power brush or other acceptable means. Anti-tracking mats are to be created and maintained as shown.



SUMMERHAVEN OF LAKE GENEVA
PHASE 1 BUILDOUT & PHASE 2
FINAL ENGINEERING PLANS
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

SITE SPECIFICATIONS

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
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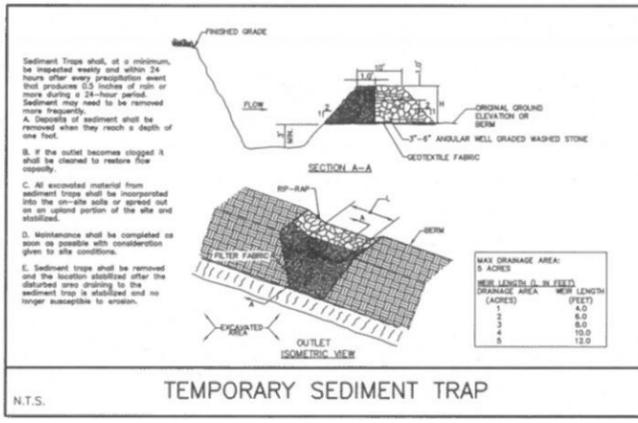
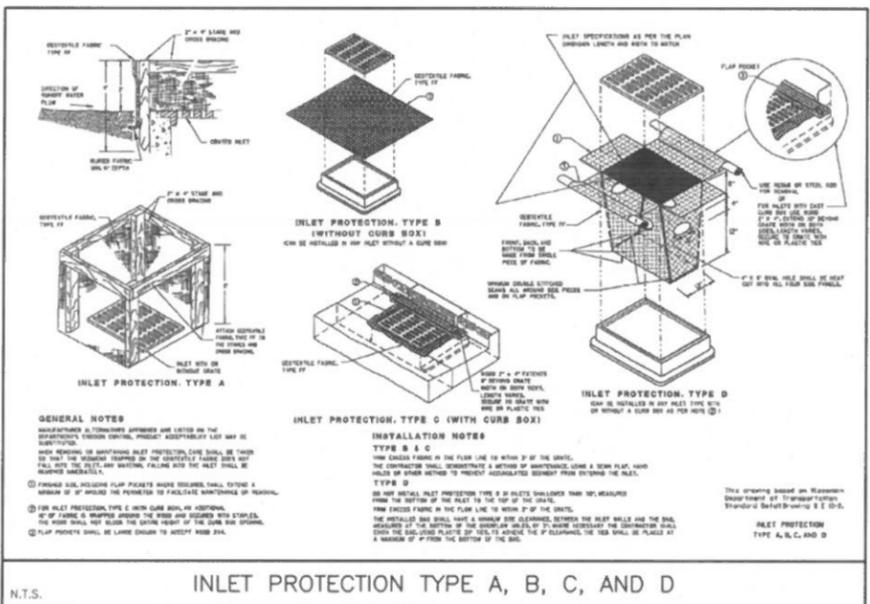
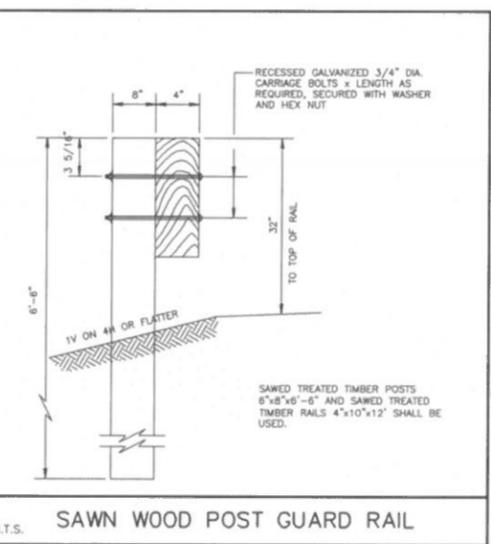
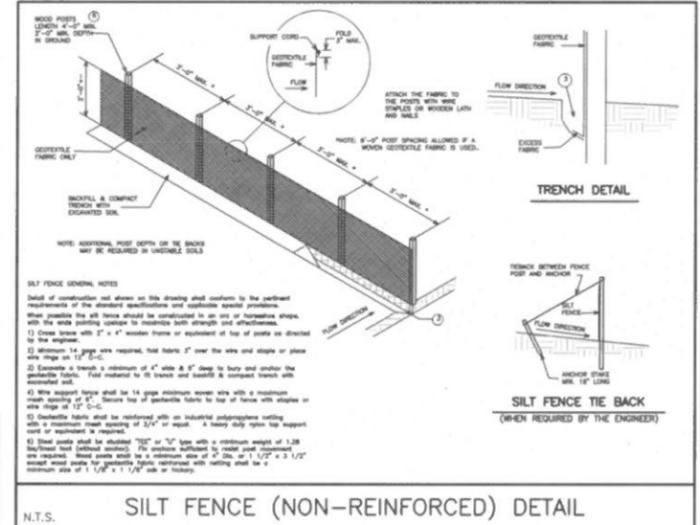
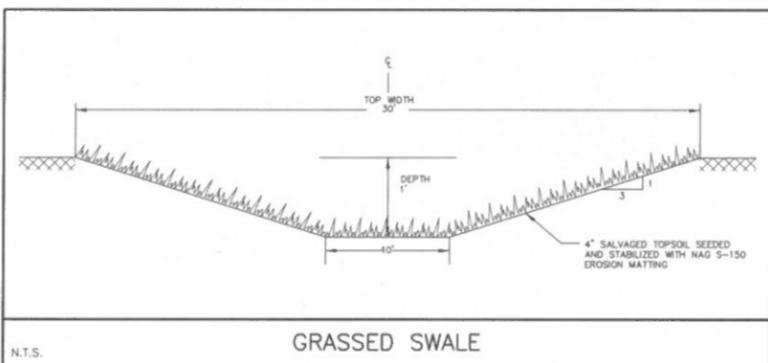
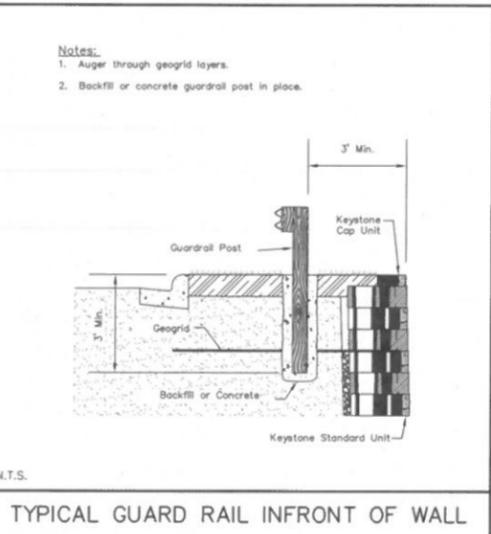
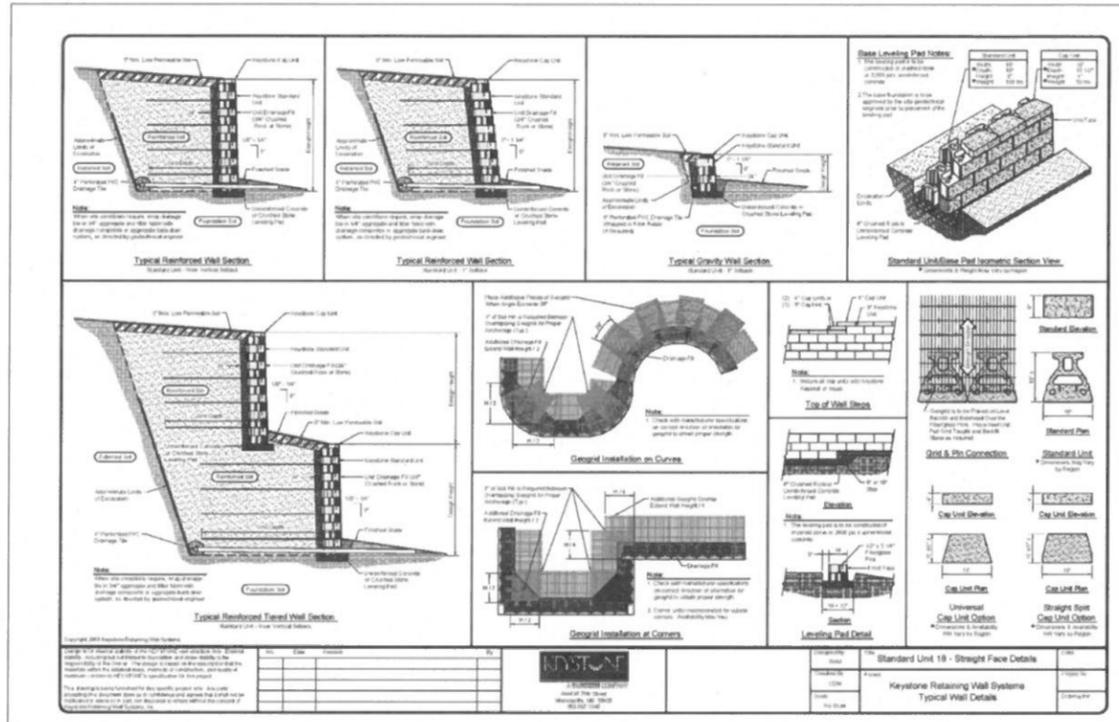
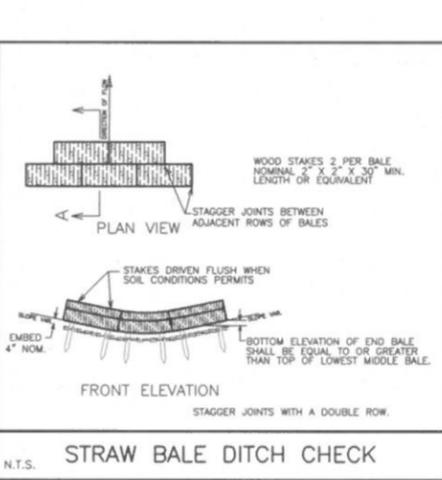
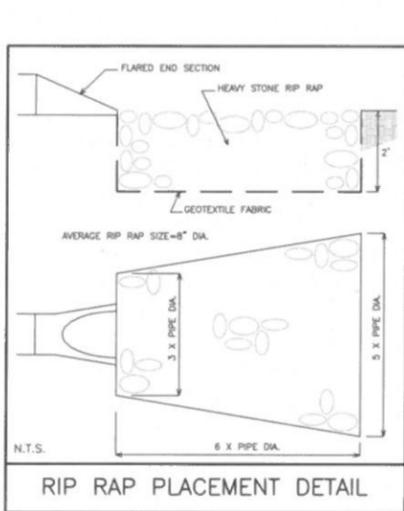
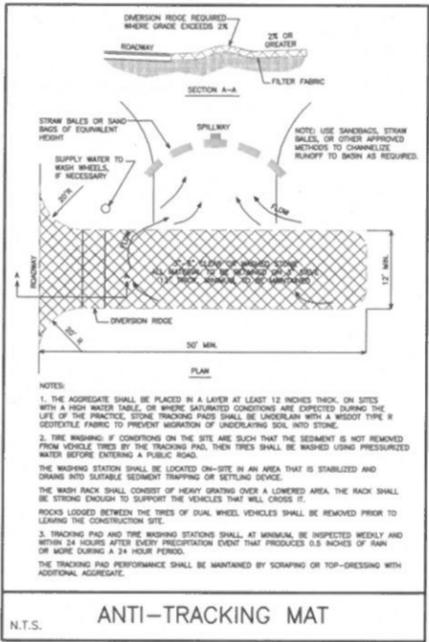
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05/10/2018 - DSP
PER CITY COMMENTS

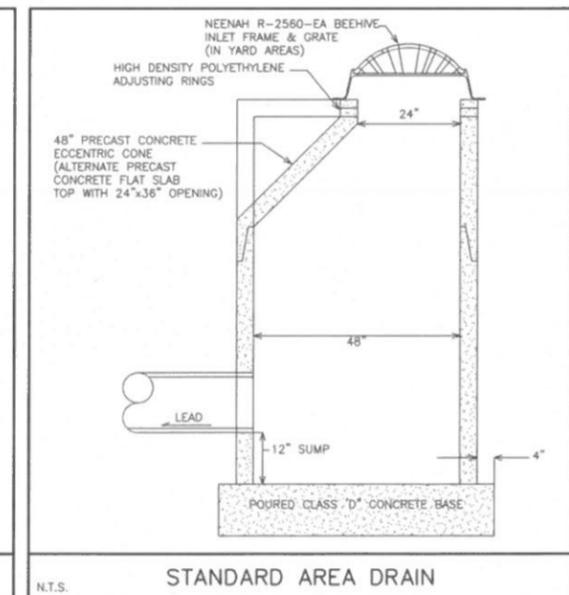
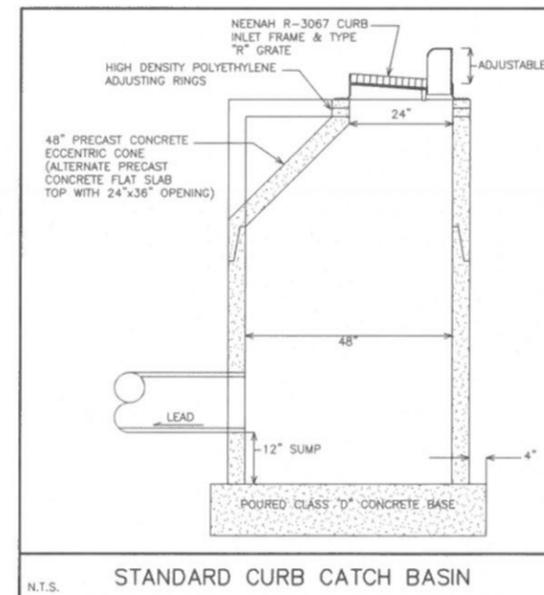
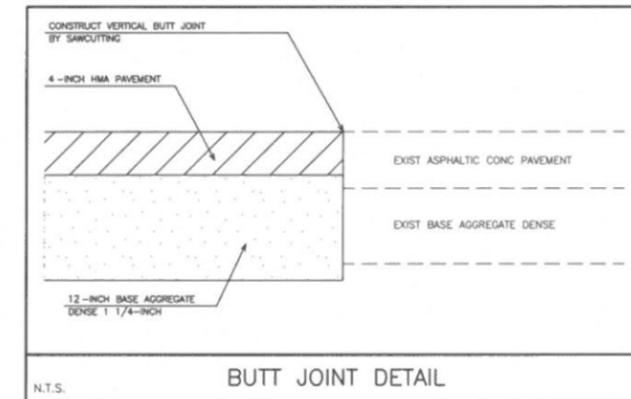
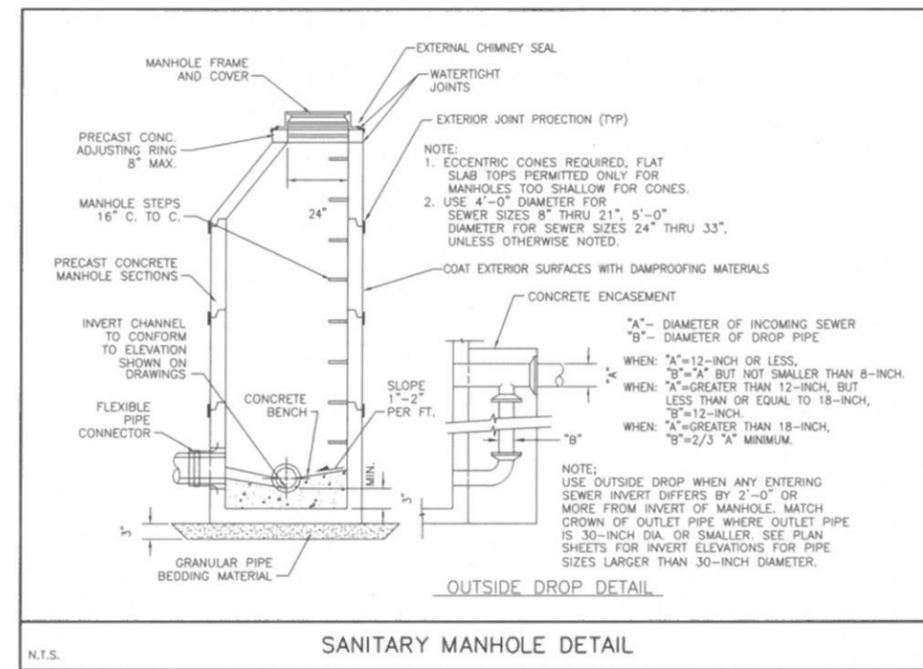
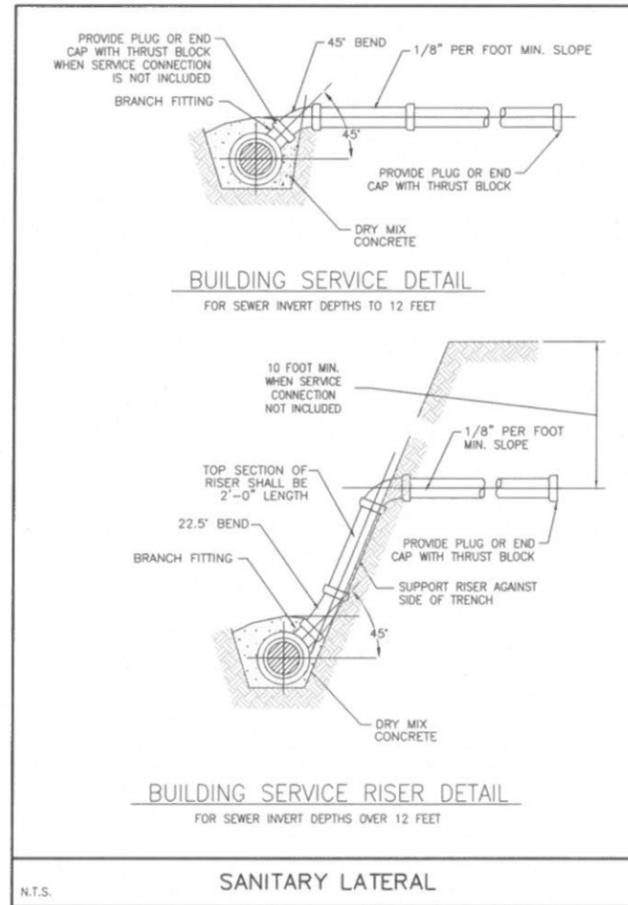
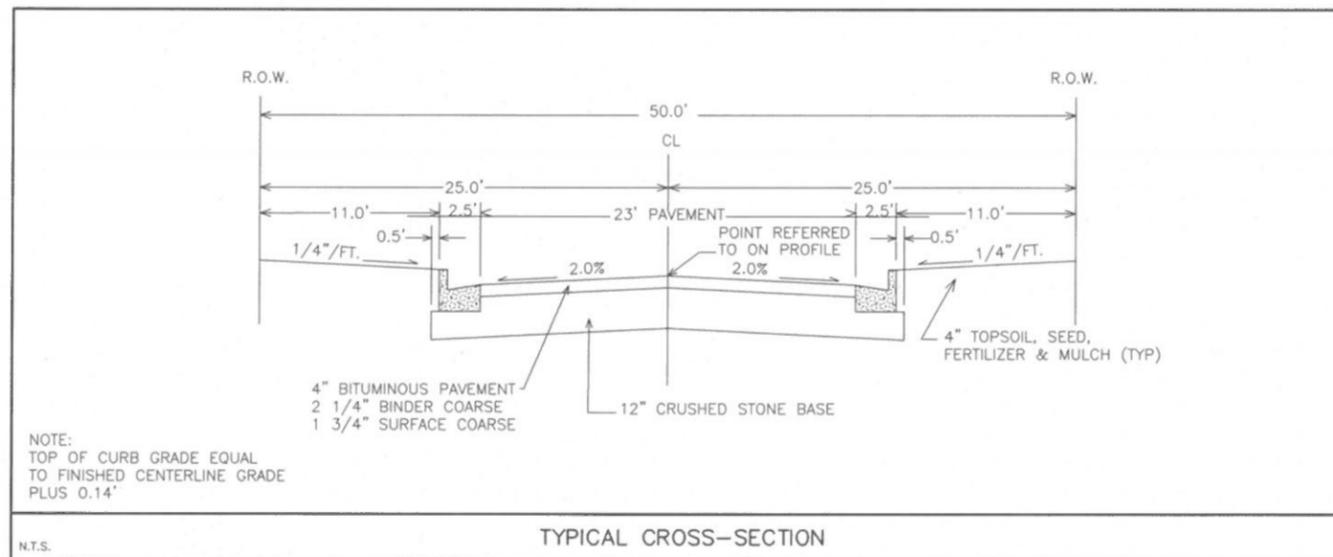
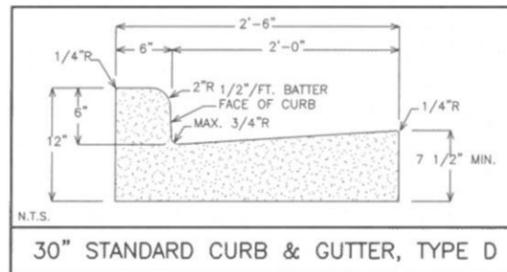
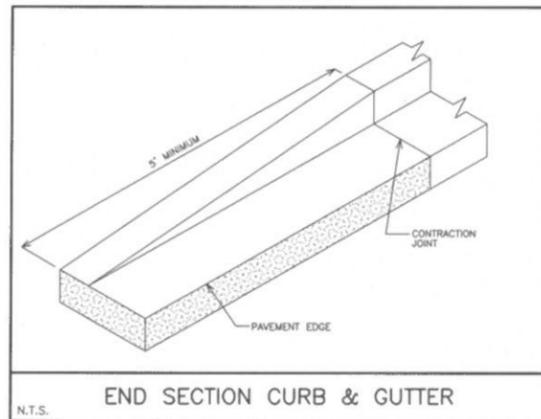
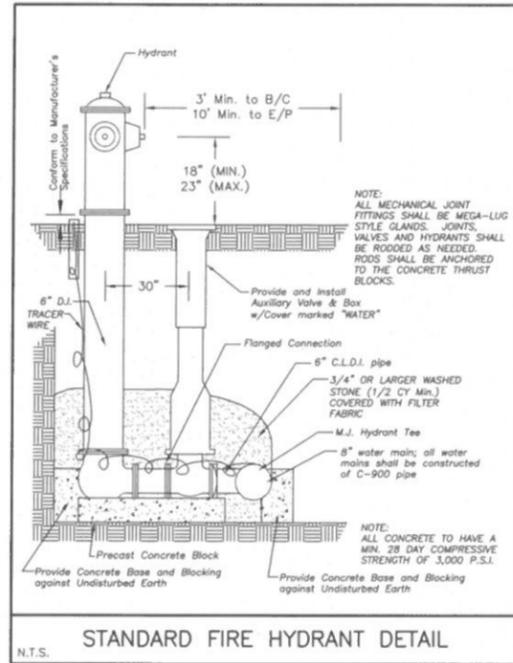
05/21/2018 - DSP
PER CITY COMMENTS

PROJECT NO.
8868

DATE
10/19/2016

SHEET NO.
8 OF 10





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EXHIBIT G
SUMMERHAVEN – PHASE II
PRECISE IMPLEMENTATION PLAN

PRECISE IMPLEMENTATION PLAN DRAWING

See attached.

GENERAL DEVELOPEMENT PLAN SUMMERHAVEN - PHASES 2 & 3

LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 36 TOWN 2 NORTH,
RANGE 17 EAST AND THE NE 1/4 OF THE NE 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST,
IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



LEGAL DESCRIPTION - OVERALL SUMMERHAVEN LANDS

THAT PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, AND THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF CERTIFIED SURVEY MAP NO. 754, RECORDED AS DOCUMENT NO. 28944 OF WALWORTH COUNTY CERTIFIED SURVEYS, SAID POINT LOCATED 5 90DEG 31MIN 56SEC W, 73.25 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 36 (72.4 FT); THENCE S 91DEG 31MIN 07SEC E, ALONG THE WEST LINE OF SAID LOT 1, CSM 754, 129.55 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1; THENCE S 90DEG 40MIN 54SEC W, 30.01 FEET; THENCE N 01DEG 35MIN 07SEC W, 64.71 FEET; THENCE S 90DEG 35MIN 02SEC W, 110.89 FEET; THENCE S 90DEG 34MIN 22SEC E, 161.01 FEET; THENCE N 90DEG 41MIN 51SEC W, 124.31 FEET; THENCE N 04DEG 41MIN 55SEC W, 228.04 FEET; THENCE S 90DEG 55MIN 25SEC W, 101.47 FEET; THENCE S 90DEG 11MIN 05SEC W, 311.31 FEET; THENCE N 90DEG 34MIN 07SEC E, 199.39 FEET; THENCE S 86DEG 27MIN 48SEC E, 126.62 FEET; THENCE N 90DEG 41MIN 51SEC E, 42.80 FEET; THENCE N 01DEG 12MIN 05SEC W, 16.91 FEET; THENCE N 90DEG 31MIN 07SEC E, 24.01 FEET; THENCE N 91DEG 55MIN 11SEC W, 134.92 FEET; THENCE N 09DEG 41MIN 12SEC W, 50.09 FEET; THENCE N 90DEG 18MIN 48SEC E, 239.56 FEET TO THE SOUTHWEST LINE OF WELLS STREET; THENCE S 73DEG 55MIN 33SEC E, ALONG WELLS STREET, 202.84 FEET TO THE WEST LINE OF LAKE GENEVA BOULEVARD; THENCE S 01DEG 34MIN 47SEC E, ALONG SAID BOULEVARD, 548.82 FEET TO THE NORTH LINE OF SAID CSM 754; THENCE S 90DEG 37MIN 23SEC W, 90.50 FEET; THENCE CONTINUE ALONG SAID CSM 754, S 91DEG 35MIN 48SEC W, 89.90 FEET TO THE POINT OF BEGINNING, CONTAINING 350,257 SQUARE FEET (8.04 ACRES) OF LAND, MORE OR LESS.

TOGETHER WITH SAID LOT 1 OF CERTIFIED SURVEY MAP NO. 754, RECORDED AS DOCUMENT NO. 28944 OF WALWORTH COUNTY CERTIFIED SURVEYS, CONTAINING 11,638 SQUARE FEET (0.27 ACRES) OF LAND, MORE OR LESS.

TOTAL AREA: 361,895 SQUARE FEET (8.31 ACRES) OF LAND, MORE OR LESS.

SEE EXHIBITS A & B OF THE GENERAL DEVELOPEMENT PLAN APPLICATION NARRATIVE FOR LEGAL DESCRIPTIONS OF PHASES II & III.

NOTE A: EXISTING DUPLEX UNITS TO BECOME SINGLE FAMILY RESIDENCE UNITS BY AMENDMENT OF CONDOMINIUM DECLARATION.

- MINIMUM LOT (UNIT) SIZE - 5,200 SQ. FT.
- AVERAGE FLOOR AREA - 1,800 SQ. FT. (35% OF UNIT)
- AVERAGE IMPERVIOUS SURFACE AREA - 2,900 SQ. FT. (56% OF UNIT)
- AVERAGE LANDSCAPE SURFACE AREA - 2,300 SQ. FT. (44% OF UNIT)

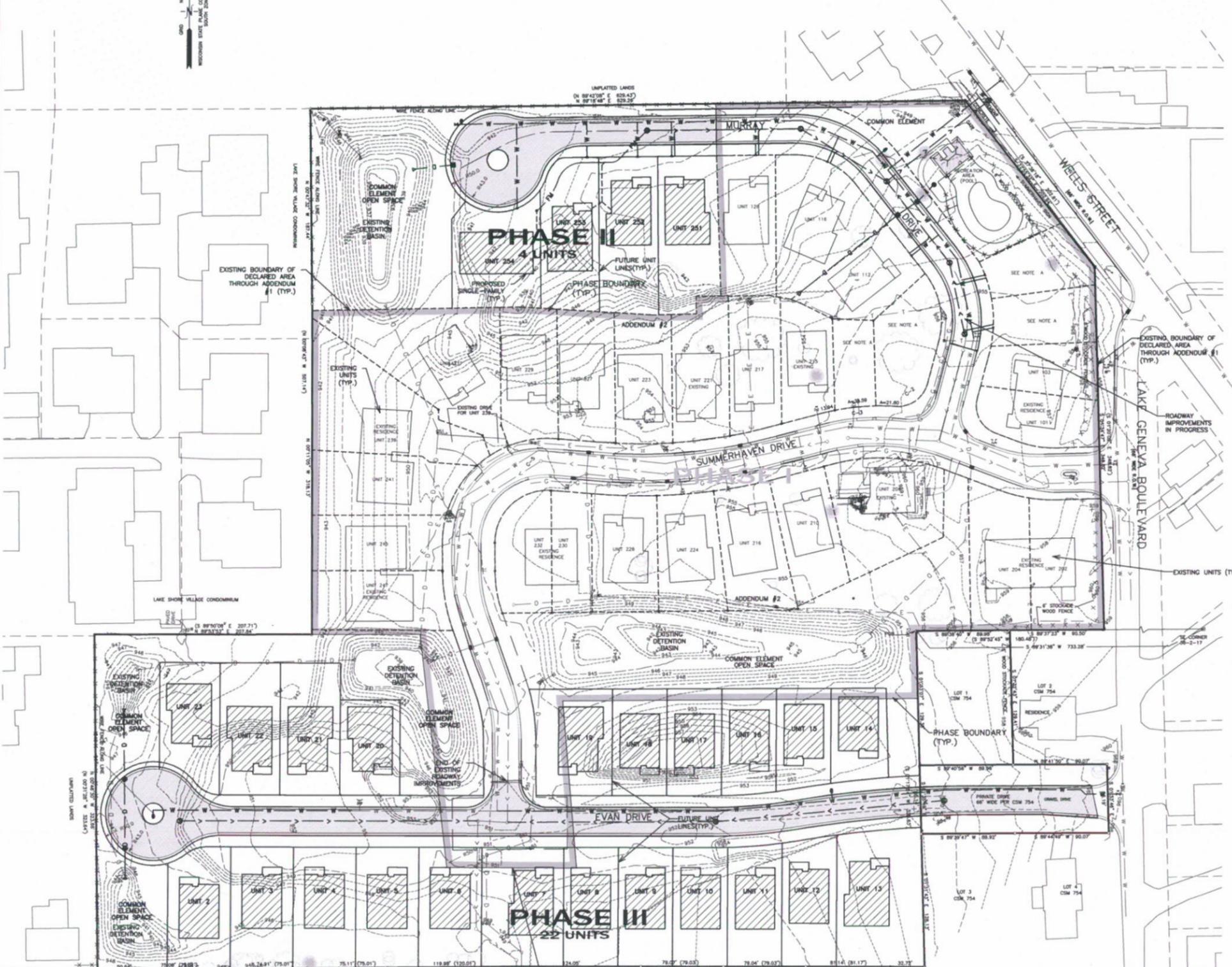
MINIMUM RESIDENTIAL BUILDING SEPARATION IS 12 FEET.

LEGEND

SYMBOL	DESCRIPTION
○	FOUND IRON PIPE STAKE
●	FOUND IRON REBAR STAKE
□	FOUND CONCRETE COUNTY MONUMENT
○ (000)	RECORDED AS
○	SET IRON REBAR STAKE
○	SAWTOOTH MANHOLE
○	DRAINAGE MANHOLE
○	CATCH BASIN
○	WATER VALVE IN BOX
○	FIRE HYDRANT
○	UTILITY POLE
○	LIGHT POLE
○	DECIDUOUS TREE
○	CONIFEROUS TREE
—	TREELINE
—	WOOD STORAGE FENCE
—	WIRE FENCE
—	STORM SEWER
—	SAWTOOTH SEWER
—	WATER MAIN
—	GAS MAIN
—	OVERHEAD WIRES
—	UNDERGROUND WIRES
—	TELEPHONE LINE
—	1' CONTOURS
—	PAVEMENT
—	BUILDING BOX

OWNER/DEVELOPER
McMURR II, LLC
351 WEST HUBBARD, SUITE 610
CHICAGO, IL 60654

NOTE: THERE WILL BE NO SPECIAL LANDSCAPING AROUND STORM WATER BASINS BUT SOME MAY BE ADDED IN THE FUTURE.
STREET LIGHTING WILL MATCH THAT WHICH WAS INSTALLED FOR PHASE I ALONG SUMMERHAVEN DRIVE.



SUMMERHAVEN OF LAKE GENEVA
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

GENERAL DEVELOPEMENT PLAN

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS

PROJECT NO.	8868
DATE	10/19/2018
SHEET NO.	1 OF 1

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: February 18, 2019

Agenda Item: 13

Applicant:
Omega Homes
201 O'Connor Dr. suite 101
Elkhorn, WI 53121

Request: Continuation of the public hearing
General Development Plan (GDP)
Vistas of Lake Geneva located on LaSalle St.
58 Single Family Dwelling Development
Tax Key No. ZA424700001

Description:

The applicant is submitting a request for a General Development Plan (GDP) that would allow for the development of a new Single Family Development to be located at the former Regent Hill subdivision on LaSalle Street.

The applicant is requesting to construct 58 new single family dwellings, with the Planned Development request that would allow for the reduction in lot sizes, private Cul-de-Sac's road ways.

The property is located in the Multi-Family Residential – 8 (MR-8) zoning district.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed General Development Plan (GDP):

As part of the consideration of the requested GDP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed GDP;
- Include *findings* required by the Zoning Ordinance for GDPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the GDP for Recommendation to the Common Council:

A proposed GDP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed General Development Plan (GDP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed General Development Plan (GDP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed General Development Plan (GDP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed General Development Plan (GDP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed General Development Plan (GDP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed General Development Plan (GDP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed General Development Plan (GDP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed General Development Plan (GDP) as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: February 18, 2019

Agenda Item: 14

Applicant:

House Around the Corner
3389 South Lake Shore Dr.
Delavan, WI 53115

Request: Continuation of the public hearing
Conditional Use Permit (CUP)

Raze or Remove the Existing Commercial
Building - 832 Geneva Street
Tax Key No. ZOP00252

Description:

The applicant is submitting a request for a Conditional Use Permit (CUP) that would allow for the candidate to raze or remove the structure in accordance with the zoning requirements found in Section 98-913(5)(c) in the Downtown Design Overlay District, the existing building that is located at 832 Geneva Street.

The applicant is requesting to construct a new 5600 square foot commercial building at 832 Geneva Street which will have retail area & coffee shop, in order to construct this proposed building a Conditional Use Permit must be approved to “Raze or Remove” the existing structure

The property is located in the Central Business (CB) zoning district, onsite parking is not required in the Central Business district.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: February 18, 2019

Agenda Item: 15

Applicant:

House Around the Corner
3389 South Lake Shore Dr.
Delavan, WI 53115

Request: Continuation of the public hearing

General Development Plan (GDP)
New 5600 sq. ft. Commercial Building
832 Geneva Street
Tax Key No. ZOP00252

Description:

The applicant is submitting a request for a General Development Plan (GDP) that would allow for the development of a new commercial building to be erected and located at 832 Geneva Street.

The applicant is requesting to construct a new 5600 square foot commercial building at 832 Geneva Street which will have retail area & coffee shop. The proposed site design allows for added green space for outdoor seating.

The property is located in the Central Business (CB) zoning district, onsite parking is not required in the Central Business district.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed General Development Plan (GDP):

As part of the consideration of the requested GDP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed GDP;
- Include *findings* required by the Zoning Ordinance for GDPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the GDP for Recommendation to the Common Council:

A proposed GDP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
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 5. The proposed General Development Plan (GDP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed General Development Plan (GDP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed General Development Plan (GDP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed General Development Plan (GDP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed General Development Plan (GDP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed General Development Plan (GDP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed General Development Plan (GDP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.