

**CITY OF LAKE GENEVA  
626 GENEVA STREET  
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING  
MONDAY JANUARY 21, 2019 - 6:00 PM  
COUNCIL CHAMBERS, CITY HALL**

**Agenda**

1. Meeting called to order by Tom Hartz.
2. Roll Call.
3. Approve Minutes of the December 17, 2018 Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review:
  - a. Application by 737 W. Main Street LLP, for the request to install an on building sign and a revised awning to the exterior of the property, located at 737 W. Main St., in the Business Central (BC) zoning district, Tax Key No. ZOP00273.
  - b. Application by 725 W. Main Street LLP, for the request to install an on awning sign and a revised awning to the exterior of the property, located at 725 W. Main St., in the Business Central (BC) zoning district, Tax Key No. ZOP0276.
7. Public Hearing and Recommendation of a General Development Plan (GDP) filed by Terence Pisano, 201 Broad St., Lake Geneva, WI 53147, for the property located at 333 Center St. The applicant is requesting to relocate the existing building currently located at 832 Geneva St. and to utilize exceptions to the site setbacks and site zoning restrictions. The property is located in the Neighborhood Office (NO) zoning district, Tax Key No. ZOP00139.
8. Public Hearing and Recommendation of a Precise Implementation Plan (PIP) filed by Terence Pisano, 201 Broad St., Lake Geneva, WI 53147, for the property located at 333 Center St. The applicant is requesting to relocate the existing building currently located at 832 Geneva St. and to utilize exceptions to the site setbacks and site zoning restrictions. The property is located in the Neighborhood Office (NO) zoning district, Tax Key No. ZOP00139.

9. Public Hearing and Recommendation on an application for the Precise Implementation Plan (PIP) filed by Daniel E. Schuld, 281 Yerkes Ave, Hampshire, IL 60140, requesting the change of use for the building at 727 Geneva St, for a Brewery, Tap Room, & Gift Shop, to include a building addition, and renovations to the existing exterior deck and patio, located in the Planned Development (PD) zoning district, Tax Key No. ZOP00157.
10. Public Hearing and Recommendation on an application to amend the existing Precise Implementation Plan (PIP) filed by Oakfire Properties LLC, for the Oakfire Restaurant, requesting to change the second floor deck area to install a roof structure and roll up temporary windows, located in the Central Business (CB) zoning district at 831 Wrigley Dr., Tax Key No. ZOP00340.
11. Continuation of the Public Hearing and Recommendation on an application for the General Development Plan (GDP) filed by Omega Homes, 201 O'Connor Dr. Suite 101, Elkhorn, WI 53121, requesting a Planned Development of 58 Single Family Homes at the property on LaSalle Street, also known as the Vistas of Lake Geneva (formerly Regent Hills subdivision), located in the Multi-Family – 8 (MR-8) zoning district, Tax Key No. ZA424700001.
12. Continuation of the Public Hearing and Recommendation on an application for the Conditional Use Permit (CUP) filed by House Around the Corner LLC., 3389 South Shore Dr., Delavan, WI 53115, requesting a (CUP) to Raze or Remove the existing building located at 832 Geneva Street, Lake Geneva, WI 53147, located in Central Business (CB) zoning district, Tax Key No. ZOP00252.
13. Continuation of the Public Hearing and Recommendation on an application for the General Development Plan (GDP) filed by House Around the Corner LLC., 3389 South Shore Dr., Delavan, WI 53115, requesting a Planned Development to construct a 5600 square foot commercial building at 832 Geneva Street, Lake Geneva, WI 53147, located in Central Business (CB) zoning district, Tax Key No. ZOP00252.
14. Adjournment.

**QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT**

*Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.*

*Posted 1/16/2019*

**PLAN COMMISSION MEETING  
MONDAY, DECEMBER 17, 2018 – 6:00 PM  
COUNCIL CHAMBERS, CITY HALL**

Mayor Hartz called the meeting to order at 6:05 p.m.

**Roll Call.** Present: Mayor Hartz, John Gibbs, Sarah Hill, Ted Horne, Ann Esarco, Michael Krajovic. Absent (Excused) Alderman Doug Skates, Building and Zoning Administrator Walling. Also Present: City Planner Slavney, City Attorney Draper, Building & Zoning Administrative Assistant Follensbee

**Approve Minutes of the November 17<sup>th</sup> Plan Commission meeting as distributed.**

Horne/Gibbs motion to approve. Motion carried unanimously.

**Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.**

**Acknowledgement of Correspondence.**

Correspondence was received from Kristin Stone, 233 Center Street, sharing concerns for the present building at 832 Geneva Street and any building being considered for this location. This correspondence was not received for the November 19<sup>th</sup> meeting due to an incorrect email address. Correspondence was received from Marilyn Ellman, resident of the Lake Shore Village Condominium Association, asking for postponement of the Public Hearing for the Summerhaven Phase II & III Development request. Correspondence was received by Penelope Jones, 1321 Dodge Street, and Loretta Shem, 499 Manning Way, in favor of the Conditional Use request at 846 Madison Street. Correspondence was also received from Joe Fusinato, 202 Summerhaven Lane, sharing concerns for the Summerhaven Development request. All correspondence has been distributed to the Plan Commission and the City Council.

**Downtown Design Review**

**6.a. Application by Oakfire Properties LLC, for the Oakfire Restaurant, a request to install vinyl screening & window on the second floor exterior dining area, located at 831Wrigley Dr., in the Business Central (BC) zoning district, Tax Key No. ZOP00340.**

David Scotney, 1551 Orchard Lane, owner of Oakfire, presented the application request. Planner Slavney stated the vinyl roll downs are a temporary use and suggested a sunset clause to remove the roll downs by May 1<sup>st</sup> as a part of the temporary approval. Slavney expects to see another application for a different roof over the pergola as depicted in photo. Mayor Hartz said the application would be an amendment to the PIP.

Esarco/ Horne motion to approve the temporary installation of vinyl roll downs with a sunset clause to be removed by May 1, 2019 and include all staff recommendations and fact finding.

Roll Call: Hartz, Gibbs, Hill, Horne, Esarco, Krajovic “yes.” Motion carried unanimously.

**7. Conceptual review which is step 2 of a Planned Development process, filed by Patrick & Rachel Lynch, 30715 Cedar Dr., Burlington, WI 53105, requesting to reduce the current lake shore setback in the Estate Residential -1 (ER-1) land use zoning district, at 940 Maytag Rd., Lake Geneva, WI, 53147, Tax Key No. ZCE00005.**

Jason Bernard, Lake Geneva Architects, representing Patrick & Rachel Lynch, presented the concept plan, asking for the SR-4 setbacks in the ER-1 zoning district and revised lake shore setback. Slavney explained the Planned Development process would give the Plan Commission the ability to add requirements if needed and allow the consideration of various factors for the project. Commissioner Gibbs asked if the owner received feedback from any neighbors. Owner, Patrick Lynch, 940 Maytag Road, met with owner at 930 Maytag to discuss the concept plan. The owners of 950 Maytag Road are there part time. Commissioner Hill is in favor of the revised setback. Commissioner Krajovic asked if city has vegetation regulations. Slavney said the city can suggest requirements. Krajovic stated the length of yard may not be as important as the quality of vegetation. He recommended the Plan Commission should consider ways to protect the water and the aesthetics of the vegetation. Hill asked about the existing trees on the

property. Slavney said one tree may be in the footprint of the new porch. Hartz suggested native planting along the lakeshore and a possible buffer around the house for a yard for the kids to play.

**8. Conceptual review which is step 2 of a Planned Development process filed by Terence Pisano, 201 Broad St, Lake Geneva, for the possible relocation of the existing Brick & Mortar building currently located at 832 Geneva St., to the property at 333 Center St., with exceptions to the request which is to reduce the current setbacks in the Neighborhood Office (NO) zoning district, Tax Key No. ZOP00139.**

Chris Pisano, engineer, on behalf of the owner, Terence Pisano, presented the concept plan to move the current building at 832 Geneva Street 2 ½ blocks to 333 Center Street. No tree will be disturbed in the move except for some trees on the 333 Center Street parcel. Any trees removed from the landscape footprint would be replaced or moved back into place. Only one electrical line on the Center street location would be moved. 333 Center Street is zoned Neighborhood Office with mixed use so the first floor will be commercial use with a new walk out basement and the second floor will be a residential apartment with attic space. There will be a new foundation for this building. Slavney stated the flexibilities needed for this Planned Development. Hill likes the plan and asked about liability for this project. Mr. Pisano said the Structural Moving Company has the proper insurance during the moving process. Terence Pisano, owner of 333 Center Street, explained the system used regarding the weight of the building when it is being moved. Hartz stated the city could ask for a bond to cover any road damage if this Planned Development gets approved. Attorney Draper said a Developers Agreement would be established to protect certain infrastructure such as the roads. Commissioners Esarco, Horne and Gibbs said they like the conceptual plan. Hartz said this building would be a nice transition to the neighboring lots.

**9. Continuation of the Public Hearing and Recommendation on an application for the General Development Plan (GDP) filed by House Around the Corner LLC., 3389 South Shore Dr., Delavan, WI 53115, requesting a Planned Development to construct a 5600 square foot commercial building at 832 Geneva Street, Lake Geneva, WI 53147, located in Central Business (CB) zoning district, Tax Key No. ZOP00252.**

Applicant has requested to continue the Public Hearing.

Hartz/Horne motion to continue the Public Hearing to the next Plan Commission meeting. Motion carried unanimously.

**10. Public Hearing and Recommendation on an application for the Conditional Use Permit (CUP) filed by House Around the Corner LLC., 3389 South Shore Dr., Delavan, WI 53115, requesting a CUP to Raze or Remove the existing building located at 832 Geneva Street, Lake Geneva, WI 53147, located in Central Business (CB) zoning district, Tax Key No. ZOP00252.**

Applicant has requested to continue the Public Hearing.

Hartz/Horne motion to continue the Public Hearing to the next Plan Commission meeting. Motion carried unanimously.

**11. Public Hearing and Recommendation on an application for a Conditional Use Permit (CUP) filed by Michelle Lundquist., 7929-48<sup>th</sup> Ave, Kenosha, WI 53142, requesting a CUP to continue the existing Commercial Animal Boarding land use at the building located at 846 Madison St., Lake Geneva, WI 53147, located in General Industrial (GI) zoning district, Tax Key Nos. ZYUP00033 & ZYUP00033A.**

Michelle & Eric Lundquist, 7929-48<sup>th</sup> Ave, Kenosha, WI, presented their request. Hartz asked how many dogs would be possible on-site. Ms. Lundquist is asking for a 40 dog limit which includes dog boarding, daycare, training & grooming. Hill asked about improvements & a timeline. Mr. Lundquist said they will paint, redo the roof, and work on the vegetation plus any needed interior updates and hopes to take occupancy within 60 days. Hartz asked about the number of staff members and what would take place if there is an issue overnight. Ms. Lundquist said there would be 5 staff members. Her parents live 5 minutes out of town and her sister has a business in town so either party would be available. Slavney asked when and where dogs would be outside and for how long. Ms. Lundquist said

daycare dogs would be in playgroups to be rotated indoor and outdoor, weather permitting. When outside, the dogs would be on the west side of the building.

Speaker #1: Candie Kirchberg, 917 Marshall Street, shared her support of this Conditional Use Permit.

Speaker #2: Cierra French, owner of 847 Madison Street, shared her support of this Conditional Use Permit.

Speaker #3: Alex Kondos, 10608 Main Street, Richmond, IL, current manager of The Dog Spot, shared her support of this Conditional Use Permit.

Speaker #4: Terry O'Neill, lives 400' away, shared his concerns and opposition of this Conditional Use Permit.

Speaker #5: Bill Huntress, 1015 Pleasant Street, shared his concerns for the current operation at this location and hopes the next owner will clean up and take care of the place.

Speaker #6: Christina Clements, 949 Madison Street, shared her concern of the current dog barking, but is not opposed to this request.

Speaker #7: Mary Jo Fesenmaier, 1085 S Lake Shore Drive, suggests adding a condition to place a yearly review for this permit request so neighbors have a process to weigh in.

Horne/Gibbs motion to close the Public Hearing. Motion carried unanimously.

Hill/Esarco motion to approve the limited Conditional Use Permit with a condition for the number of dogs for overnight stay limited to 10 and include all staff recommendations and fact finding.

Roll Call: Hartz, Gibbs, Hill, Horne, Esarco, Krajovic voting "yes." Motion carried unanimously.

**12. Public Hearing and Recommendation on an General Development Plan (GDP) for the Summerhaven Subdivision Phases II & III filed by McMurr II, LLC., 351 Hubbard, Suite 610, Chicago, IL 60054, for the properties located in the Summerhaven Subdivision on Lake Geneva Blvd., Lake Geneva, WI 53147, located in Planned Development (PD) zoning district, Tax Key Nos. ZSUM00001 thru ZSUM00247.**

Jim Howe, attorney at Godfrey Law Firm in Elkhorn, representing McMurr II LLC, presented the request. Gibbs asked about the single entrance to the subdivision. Howe stated the southern access road, presently, a fire safety access, will eventually become a 2<sup>nd</sup> entrance for the Phase III GDP. Hartz asked if there are as-builts for the improvements done to the property so far. Howe said the As-builts will be a part of the PIP for Phase II and Phase III. Hartz referenced 2 house plans: The Bombay and The Pine Ridge – which depict garages that stick out disproportionately to the house. Hartz asked the developer to reconsider these two layouts. Hartz also asked if the sidewalk on Wells Street can be replaced. Krajovic asked if there are guidelines, based on the density of this development, for greenspace or playground. Slavney explained the ordinance enables the city to require the dedication of land whenever additional residential units are created or a fee will be collected in lieu of land. The city does have the ability with any Conditional Use or Planned Development to require private recreational facilities. Esarco suggested enhancing the community by creating a play area for children. Gibbs recommended placing a tracking pad at the curb cut-out on Wells Street since there is mud on the sidewalk and road. Howe will relay these suggestions to his client.

Speaker #1: Al Kupsik, 717 S Lake Shore Drive, representing the Lake Shore Village Condo Association, shared concern regarding the flooding on the south side of Condo Association coming from Summerhaven. Kupsik identified other concerns such as erosion control, landscaping and who will maintain the retention ponds. Kupsik requested correspondence with the developer or documentation concerning the maintenance of the retention ponds, updates on the erosion plan and flooding issues.

Speaker #2: Helen Radloff, lives on south end of Lake Shore Village, shared concerns of flooding, landscaping and erosion control, and asked for an extension to review this project request.

Speaker #3: Bruce Jalousynski, 870 Lake Geneva Blvd, shared concerns regarding increased traffic at the southern access road and the work hours for construction during the week and weekends.

Hill/Krajovic motion to close the Public Hearing. Motion carried unanimously.

Mayor Hartz listed a number of issues to be addressed in the PIP application: flooding issues for properties on the west and south side of the development, proper erosion control, Developers Agreement regarding retention pond maintenance, landscaping, a small recreational area for children and As-builts for the current improvements.

Hartz/Esarco motion to approve the General Development Plan and include all staff recommendations and fact finding.

Roll Call: Hartz, Gibbs, Hill, Horne, Esarco, Krajovic voting “yes.” Motion carried unanimously.

- 13. Continuation of the Public Hearing and Recommendation on an application for the General Development Plan (GDP) filed by Omega Homes, 201 O’Connor Dr. Suite 101, Elkhorn, WI 53121, requesting a Planned Development of 58 Single Family Homes at the property on LaSalle Street, also known as the Vistas of Lake Geneva (formerly Regent Hills subdivision), located in the Multi-Family – 8 (MR-8) zoning district, Tax Key No. ZA424700001.**

Applicant has requested to continue the Public Hearing.

Hartz/Hill motion to continue the Public Hearing to the next Plan Commission meeting. Motion carried unanimously.

- 14. Public Hearing and Recommendation for proposed changes to amend the existing Ordinance 18-09 for Tourist Rooming House guidelines. Applicant: City of Lake Geneva.**  
Slavney presented the revisions to the Tourist Rooming House Ordinance with suggestions from staff and their experience with the Ordinance this past year.

8:25 pm - Commissioner Hill left the City Chambers

8:34 pm – Hill returned to the City Chambers

Horne asked what happens when owners transfer properties to one another. Plan Commission discussed a transfer of property from one LLC to another. Hartz offered his revisions to be reflected in the Ordinance Amendment.

Speaker #1: Doug Wheaton, on behalf of the Lakes Area Realtors Association, 1516 North County Club Pkwy, Elkhorn, shared a statement from the Lakes Area Realtors Association, with concerns regarding the Knox Box provisions in the proposed Ordinance Amendment.

Plan Commission discussed the Knox Box provisions, stating the Knox Box would be used to gain entry to properties for emergencies and required inspections which will be reflected in the revised language of the amendment.

Gibbs/Esarco motion to close the Public Hearing. Motion carried unanimously.

Hartz/Gibbs motion to recommend the city attorney write up the Amendment to the Ordinance, adopting the current edits in red and any additional edits made here tonight and then send the Amendment to the Ordinance directly to the Council.

Roll Call: Hartz, Gibbs, Hill, Horne, Esarco, Krajovic voting “yes.” Motion carried unanimously.

- 15. Potential Code Amendment Discussion to allow set-back averaging from ordinary mean hi-water line from the lake front.**  
Slavney presented the potential Code Amendment. A Plan Commission discussion followed.

- 16. Adjournment.** Hill/Esarco motion to adjourn at 9:00 p.m. Motion carried unanimously.

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/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

**THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION**

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: January 21, 2019

Agenda Item #6A

Applicant:

737 W. Main Street LLP  
PO Box 460  
Lake Geneva, WI 53147

Request:

737 W. Main Street  
Downtown Design Review for Sign & Awning  
installation  
Tax Key No. ZOP00273

Description:

The applicant is submitting an application for Downtown Design Review for the request to install a Sign & Awning to the exterior of the building above the public right of way at 737 W. Main Street Tax Key No. ZOP00273.

The City reviews all exterior alteration in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

Proposed colors correspond within the permitted downtown guidelines.

Staff Recommendations:

The colors submitted have been reviewed and comply with the Historic Colors of the historic color palette.

Staff recommends *approval* of the Awning installation request as submitted.



City of Lake Geneva  
 Building and Zoning  
 626 Geneva Street  
 Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

737 W. MAIN ST, LAKE GENEVA, WI 53147

Name & Address of Current Building Owner:

737 W MAIN ST LLP, P.O. Box 460, LAKE GENEVA, WI 53147

Telephone Number of Current Building Owner: (262) 248-4492

Email Address: roger@rogerwolff.com

Name & Address of Applicant:

AMY De GNAZIO + TOM Bachmann  
1856 NORMAN Blvd  
PARK RIDGE, IL 60068

Telephone Number of Applicant: 815 353 0245

Email Address: tbachmann911@gmail.com

Proposed Design Change:

Smaller Awning but no other changes to are approved details  
OR COLORS  
ADDITION OF A SIGN BOARD w/ STORE NAME ABOVE AWNING

Zoning District: \_\_\_\_\_

Names & Address of Architect, Engineer, and/or Contractor of Project:

NORTHROP AWNING Co  
411 S. Pearl ST  
Janesville, WI 53548  
Mike Freidel owner, mike@northrop-awning.com  
(608) 754-7158

Description of Project:

REPLACE Existing Awning w/ smaller version of the same  
ADD SIGN BOARD ABOVE AWNING  
This keeps this store in keeping of look of most other edie stores

Date: 1/11/19

Signature of Applicant:



edie logo approx.  
14" tall x 100" wide

Flowers approx. 14" dia.

18" vertical space

Awning dimesnions:  
23' 6" wide x 48" high x  
48" projection

Awning  
95" off ground



edie logo approx.  
24" tall x 66" wide

Customer edie

Location Lake Geneva, WI

Project Awning/graphics

Date 1-10-19

**NORTHROP**  
Awning Company **1890**

411 South Pearl Street, Janesville, Wisconsin  
608.754.7158 (fax) 608.754.7890

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: January 21, 2019

Agenda Item #6B

Applicant:

725 W. Main Street LLP  
PO Box 460  
Lake Geneva, WI 53147

Request:

725 W. Main Street  
Downtown Design Review for Sign & Awning  
installation  
Tax Key No. ZOP00276

Description:

The applicant is submitting an application for Downtown Design Review for the request to install a Sign & Awning to the exterior of the building above the public right of way at 725 W. Main Street Tax Key No. ZOP00276.

The City reviews all exterior alteration in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

Proposed colors correspond within the permitted downtown guidelines.

Staff Recommendations:

The colors submitted have been reviewed and comply with the Historic Colors of the historic color palette.

Staff recommends *approval* of the Awning installation request as submitted.



City of Lake Geneva  
 Building and Zoning  
 626 Geneva Street  
 Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

725 W. MAIN ST, LAKE Geneva WI 53147

Name & Address of Current Building Owner:

725 MAIN ST LLC, P.O. Box 460, LAKE Geneva WI 53147

Telephone Number of Current Building Owner: (262) 248 4492

Email Address: tkeefe@keefe realestate.com

Name & Address of Applicant:

AMY De GRAZIO + TOM BACHMANN - Edie INC  
1856 NORMAN BLVD  
PARK RIDGE IL 60068

Telephone Number of Applicant: (815) 353-0245

Email Address: tbachmann911@gmail.com or tom@shopedie.com

Proposed Design Change:

New Smaller AWNING wrapped in New Material + Color  
New Sign BOARD above AWNING with marigold lettering + logo  
PAINT 2nd Floor WINDOW FRAMES + REPAINT FRONT DOOR.

Zoning District: \_\_\_\_\_

Names & Address of Architect, Engineer, and/or Contractor of Project:

NORTHROP AWNING CO  
411 S. PEARL ST  
JANESVILLE, WI 53548  
MIKE FREIBEL owner, mike@northrop-awning.com (608) 754-7158

Description of Project:

new Smaller AWNING + ADDING SIGN BOARD  
PAINT 2nd Floor WINDOW FRAMES + FRONT DOOR.  
COLORS: BROWN PMS-476, Gold-4658-BM-11C-46, OYSTER ~~BM-11C-46~~ BM-11C-46, orange-PMS 02  
11C173

Date: 2/11/19

Signature of Applicant: [Signature]



THE DESIGN COACH

THE DESIGN COACH

THE  
Design  
COACH

336

337

WINTERFEST  
U.S. NATIONAL  
SNOW SCULPTING  
CHAMPIONSHIP  
STARTS JANUARY 30  
ENDS FEBRUARY 3  
WINTERFEST.COM

marigold logo approx.  
8-9" tall x 82" wide

Flowers approx. 20" dia.

27" vertical space

Awning dimensions:  
19' 9" wide x 41" high x  
48" projection

Awning  
84" off ground



marigold logo approx.  
7 1/2" tall x 70" wide

Customer Marigold

Location Lake Geneva, WI

Project Awning/graphics

Date 1-10-19

**NORTHROP** 1890

**Awning Company**

411 South Pearl Street, Janesville, Wisconsin  
608.754.7158 (fax) 608.754.7890

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: January 21, 2019

Agenda Item: 7

Applicant:

Terence Pisano  
201 Broad St  
Lake Geneva, WI 53147

Request:

General Development Plan (GDP)  
Moving a building to 333 Center St with site setback acceptations, and Raze the current structure at 333 Center St.  
Tax Key No. ZOP00139

Description:

The applicant is submitting a request for a General Development Plan (GDP) that would allow for the relocation of the building currently located at 832 Geneva St, and to be moved and located at 333 Center Street.

The exceptions are site related to the building that is to be relocated and site setback dimensions which would include the street side setback that is in keeping with the historic neighborhood average, in addition to this request the applicant will raze the existing building located 333 Center Street.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed General Development Plan (GDP):

As part of the consideration of the requested GDP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed GDP;
- Include *findings* required by the Zoning Ordinance for GDPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the GDP for Recommendation to the Common Council:

A proposed GDP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed General Development Plan (GDP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed General Development Plan (GDP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed General Development Plan (GDP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed General Development Plan (GDP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed General Development Plan (GDP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed General Development Plan (GDP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed General Development Plan (GDP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed General Development Plan (GDP) as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: January 21, 2019

Agenda Item: 8

Applicant:  
Terence Pisano  
201 Broad St  
Lake Geneva, WI 53147

Request:  
Precise Implementation Plan (PIP)  
Moving a building to 333 Center St with site setback acceptations, and Raze the current structure at 333 Center St.  
Tax Key No. ZOP00139

Description:

The applicant is submitting a request for a Precise Implementation Plan (PIP) that would allow for the relocation of the building currently located at 832 Geneva St, and to be moved and located at 333 Center Street.

The exceptions are site related to the building that is to be relocated and site setback dimensions which would include the street side setback that is in keeping with the historic neighborhood average, in addition to this request the applicant will raze the existing building located 333 Center Street.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Precise Implementation Plan (PIP):

As part of the consideration of the requested PIP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed PIP;
- Include *findings* required by the Zoning Ordinance for PIPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the PIP for Recommendation to the Common Council:

A proposed PIP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed Precise Implementation Plan (PIP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed Precise Implementation Plan (PIP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed Precise Implementation Plan (PIP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed Precise Implementation Plan (PIP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Precise Implementation Plan (PIP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed Precise Implementation Plan (PIP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed Precise Implementation Plan (PIP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed Precise Implementation Plan (PIP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed Precise Implementation Plan (PIP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Precise Implementation Plan (PIP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Precise Implementation Plan (PIP):

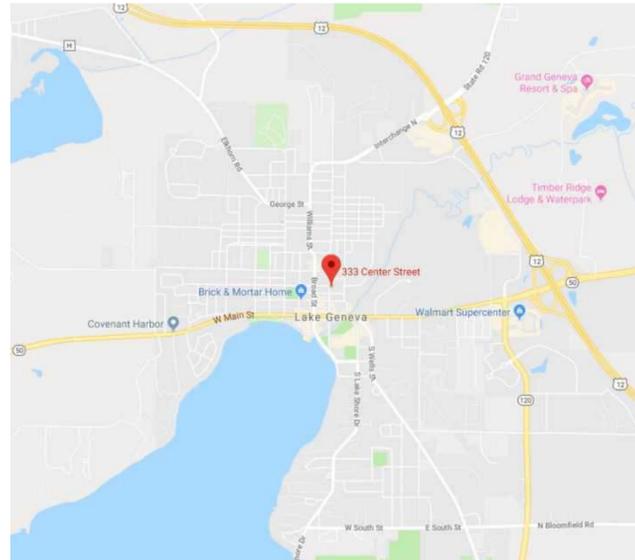
1. Staff recommends that the Plan Commission recommend *approval* of the proposed Precise Implementation Plan (PIP) as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

# RELOCATION OF FRANK JOHNSON RESIDENCE (BM) TO 333 CENTER ST.

333 CENTER ST. LAKE GENEVA, WI 53147

SUBMITTAL DATE 12/27/2018

**2401**  
INCORPORATED  
ARCHITECTURE . CONSTRUCTION MANAGEMENT . CONSULTING



Location Map



**Owner:**

**Terence Pisano**  
333 Center St.  
Lake Geneva, WI 53147  
T. (262)729-6537

**The Frank Johnson Residence - Built in 1902**

The Frank Johnson house is a brick-constructed example of the Queen Anne style. The entire building is constructed of cream bricks on a fieldstone foundation. The house has a two-story irregular plan with projecting two-story side bays and a projecting front gable. The bays and gable give the steeply-pitched hip roof a complex hip and gable form. The gable peaks are decorated with rusticated brick corbeling that suggests wood shingling and rusticated belt courses that suggest applied stickwork. The gables have central rectangular window openings.

**Architect:**

**2401**  
INCORPORATED  
ARCHITECTURE . CONSTRUCTION MANAGEMENT . CONSULTING

**2401 Inc. of Illinois**  
300 N. State St.- Suite 3812  
Chicago, IL 60654  
T 312.661.0140  
F 312.661.0270

Rusticated brick corbeling is also used at the comers to suggest stone quoins and more rusticated bricks were used to construct the tabbed surrounds and large flat lintels that decorate the windows. The windows are largely similar-sized and filled with single-light sashes. Heavy, wood brackets are attached to the upper corners of the side walls' two-story bays. The entrances to the house are obscured behind a large veranda that is enclosed with large glass panels. Modern awnings have been attached to the original hipped porch roof. Two modern steel doors are the current entrances into the building: But, behind the glass enclosed porch, the original entrances and porch construction details are extant, including the columns supporting the roof. A lattice-panel base sits under the veranda.

This house was built in 1902 for Frank Johnson. Johnson had a long-time grocery store on Main Street where he catered to families that wanted high quality and specialty groceries. In Lake Geneva, with its wealthy summer residents, this strategy was successful and is reflected in this large house. The house was threatened with demolition in the late 1990's, but with the help of the local Historic Preservation Commission and preservationists, it was saved.

**SHEET LIST**

Sheet Number	Sheet Name
COVER	COVER SHEET
AS.0	LOCATION MAP
AS.1	EXISTING SITE PLAN
AS.2	PROPOSED SITE PLAN
AS.3	PROPOSED LANDSCAPE PLAN
A.0	NEW BSMT & FOUNDATION PLAN
A.1	NEW 1ST & 2ND FLOOR PLAN
A.3	NEW EXTERIOR ELEVATIONS
A.4	NEW EXTERIOR ELEVATIONS
A.5	NEW BUILDING SECTION
MEP.1	NEW BSMT MEP PLAN

**Narrative of the Frank Johnson PD Preservation Project:**

Today, the Frank Johnson residence is again facing demolition as new development continues to change the landscape of the downtown Lake Geneva district. With the help of public officials, members of the LG community, the Lake Geneva Building and Planning Commission, The LG Historical Society and its associates, Local Contractors, the current owner Thomas George and local resident Terence Pisano the building can be saved again. By building a new foundation and moving the building just three blocks away to 333 Center St., the beautiful structure will be preserved for generations to come all the while keeping it in the commercial district of downtown Lake Geneva. It should be noted that NO trees, other than those on the PD site, will be affected by this move and the trees that are affected on the proposed PD will be preserved or replaced with equivalents.

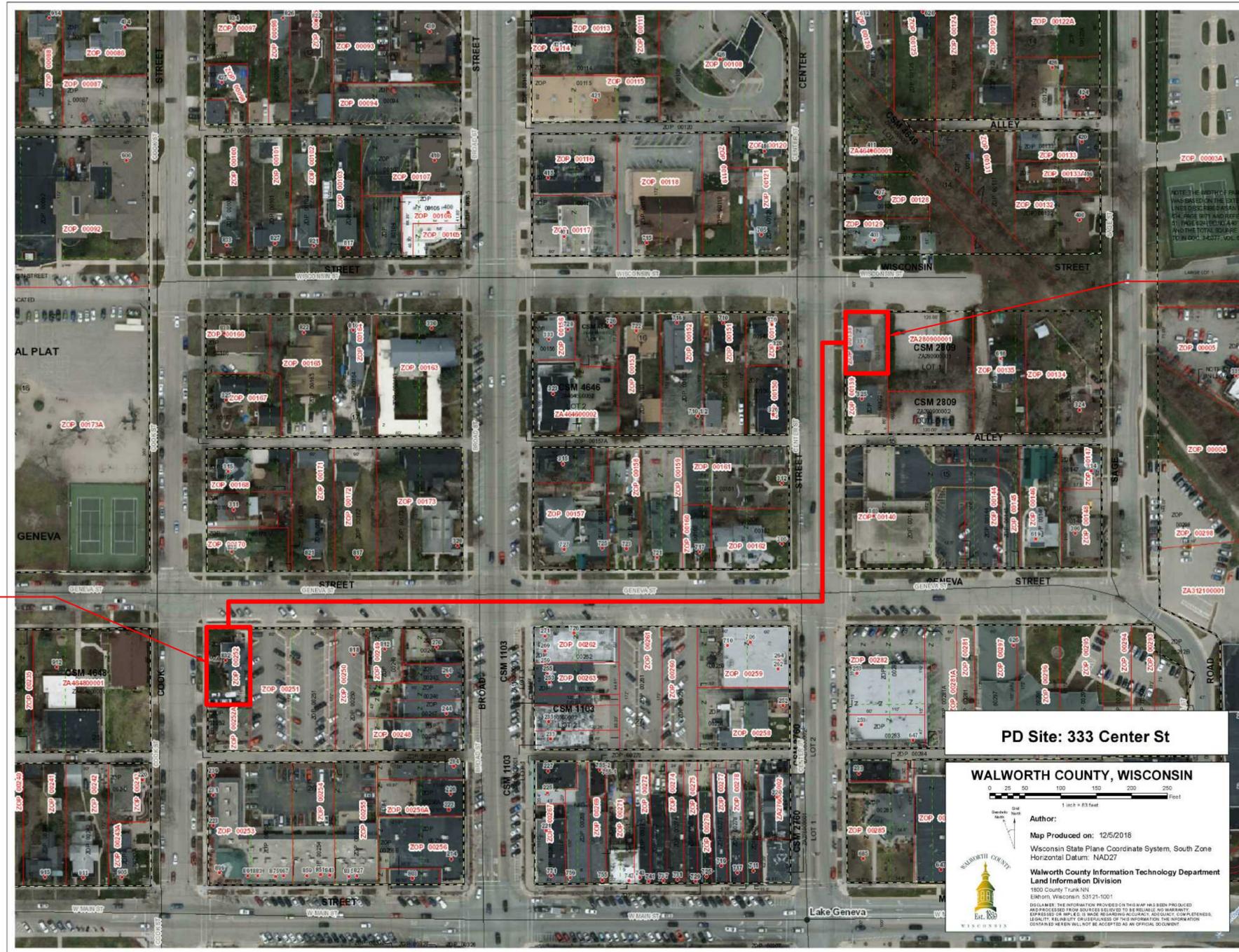
The intent of this project is to create a Planned Development to successfully address the numerous variances required to facilitate a project of this nature. By Design the PD(Planned Development) for this project will maximize future use of the space(Neighborhood Office Zoning for mixed Commercial/Residential space) all the while making minimal changes to the structure and it's aesthetic in order to preserve its historic look, feel and layout. The grade of the new site in addition of the new foundation enhances the buildings opportunity for commercial use. The existing porch will also be preserved an enhanced as it will now rest on the new extended basement foundational footprint.

The objective timeline of this project from start to completion is "Late January/Early February 2019" to "June/July 2019"

Terence Pisano will obtain the Financing for this PD project and the following outlines the high level steps required to complete this project: PIP Designed, Plan Development Review, City Council Approval, 2-3 Weeks On Site Preparation for Structural Move, Demolition of 333 Center St Structure, Excavation, New Foundation and Footings, Structural Move of Building(Involves City Traffic Control Coordination and Utility Coordination), Masonry work to connect New Foundation to Structure(30-60 days), Utility Re-Connects, Sewer/Drainage Build, Driveway/Basement/Landscape Concrete Pour, Exterior Deck/Stairs Build, Landscaping, Remedy unforeseen Issues and 2nd Fl. Renovations for bathroom and kitchen.

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**Architect**  
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Chicago IL 60654  
P. 312 661 0140  
E. 2401architects@gmail.com



832 COOK ST.(BRICK & MORTAR)  
- EXISTING BLDG TO BE RELOCATED TO SUBJECT PROPERTY

333 CENTER ST.(SUBJECT PROPERTY)  
- ZONED NO (NEIGHBORHOOD OFFICE)  
- 60' x 86' PROPERTY LOT SIZE (5,160 SF)

**LOCATION MAP**

RELOCATION OF FRANK JOHNSON  
RESIDENCE (BM) TO 333 CENTER ST.

333 CENTER ST. LAKE GENEVA, WI 53147

**REVISIONS**

Mark	Date	Description

**DATE ISSUED**

12/27/2018

**PROJECT STATUS**

SUBMITTAL DATE  
12/27/2018

**SHEET TITLE**

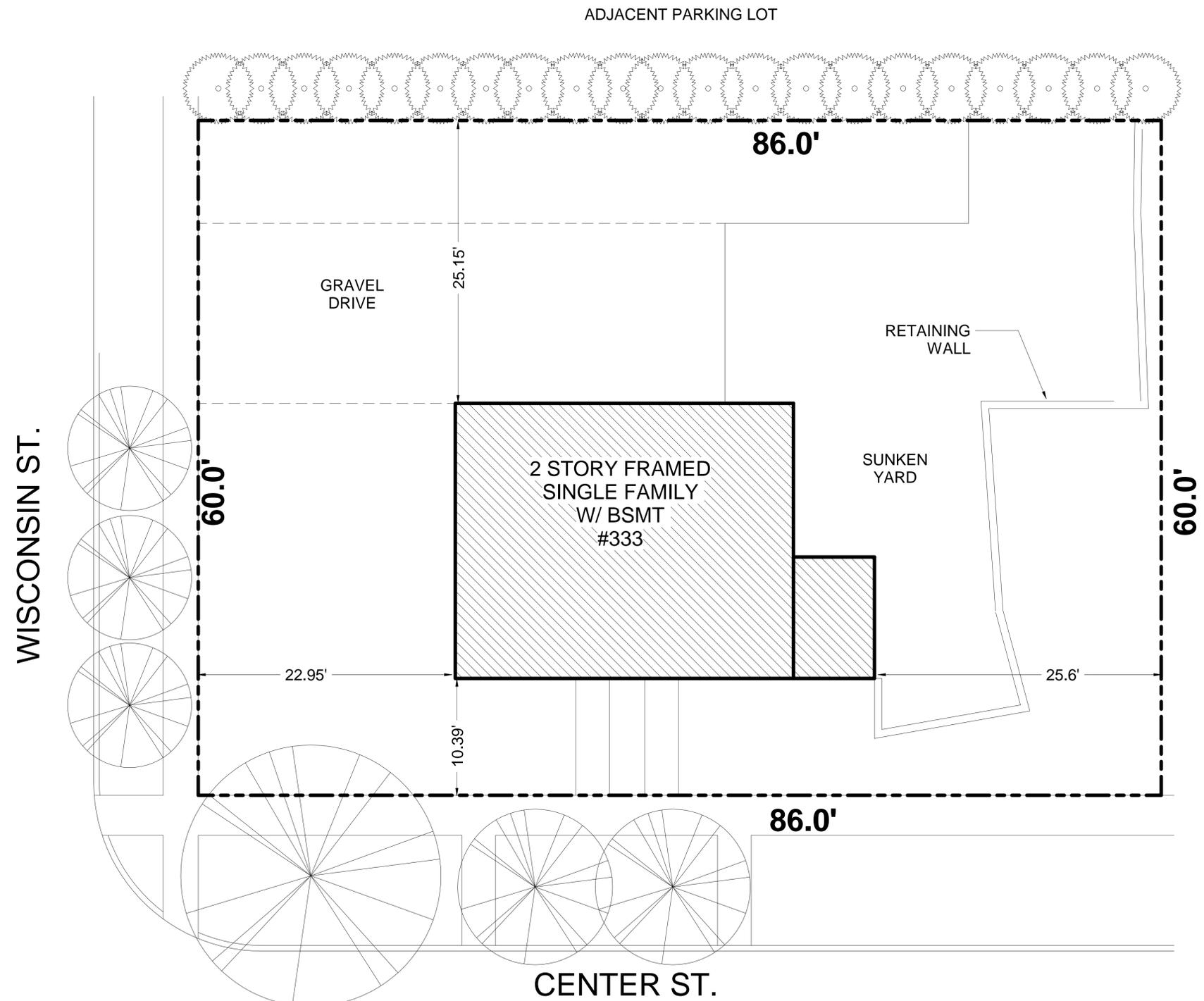
LOCATION MAP

**SHEET NO.**

AS.0

**Owner**  
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RELOCATION OF FRANK JOHNSON  
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333 CENTER ST. LAKE GENEVA, WI 53147

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**SHEET TITLE**

EXISTING SITE PLAN

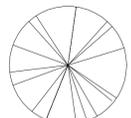
**SHEET NO.**

AS.1

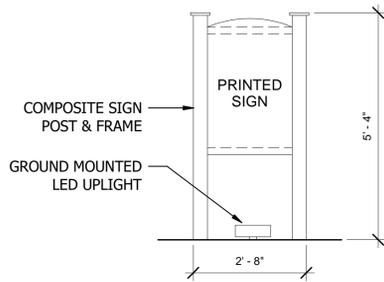
1 AS.1 3/16" = 1'-0" EXISTING SITE PLAN



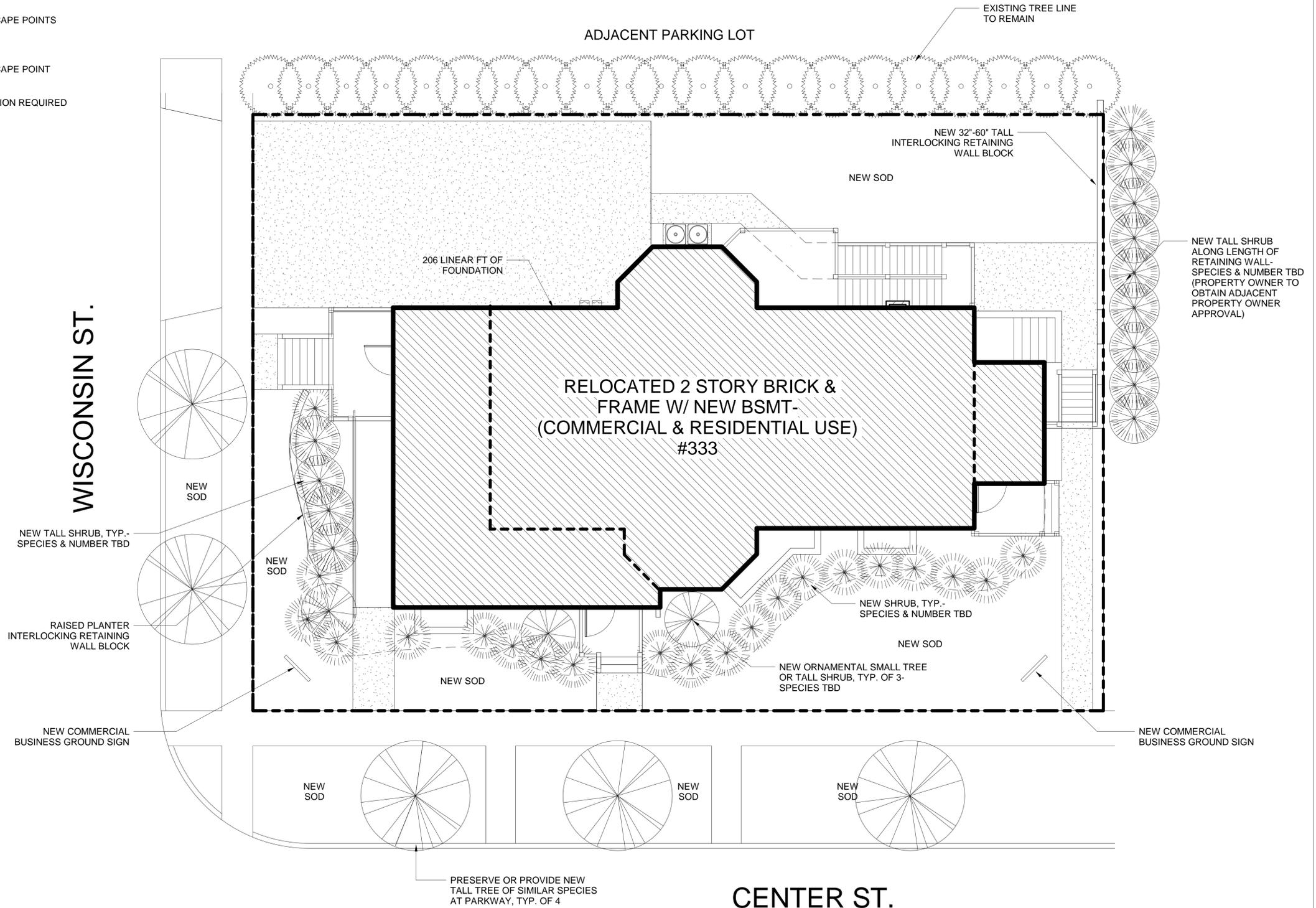
**PLANT SCHEDULE**

-  TALL SHADE TREE 30 LANDSCAPE POINTS
-  ORNAMENTAL SMALL TREE 10 LANDSCAPE POINTS
-  TALL SHRUB 5 LANDSCAPE POINTS
-  SMALL SHRUB 1 LANDSCAPE POINT

NOTE: 45 MIN. LANDSCAPE POINTS PER 100 FEET OF BUILDING FOUNDATION REQUIRED FOR COMMERCIAL LAND USE ON 'NO' ZONING DISTRICT



2 NEW TYP. GROUND SIGN ELEVATION  
AS.3 1/2" = 1'-0"



1 PROPOSED LANDSCAPE PLAN  
AS.3 3/16" = 1'-0"

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RELOCATION OF FRANK JOHNSON  
RESIDENCE (BM) TO 333 CENTER ST.

333 CENTER ST. LAKE GENEVA, WI 53147

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12/27/2018

**SHEET TITLE**

PROPOSED  
LANDSCAPE PLAN

**SHEET NO.**

AS.3

**Owner**  
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RELOCATION OF FRANK JOHNSON  
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333 CENTER ST. LAKE GENEVA, WI 53147

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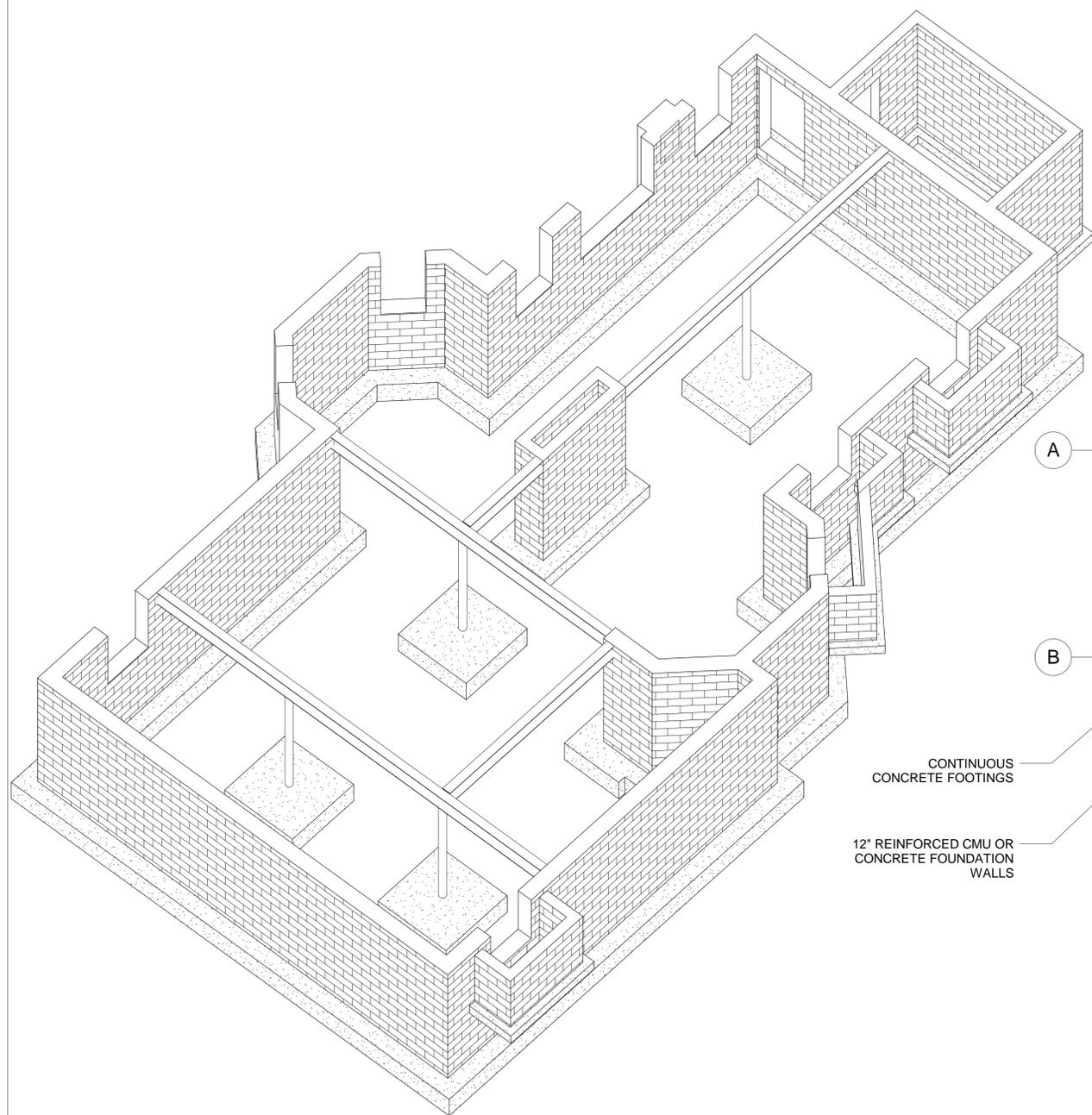
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12/27/2018

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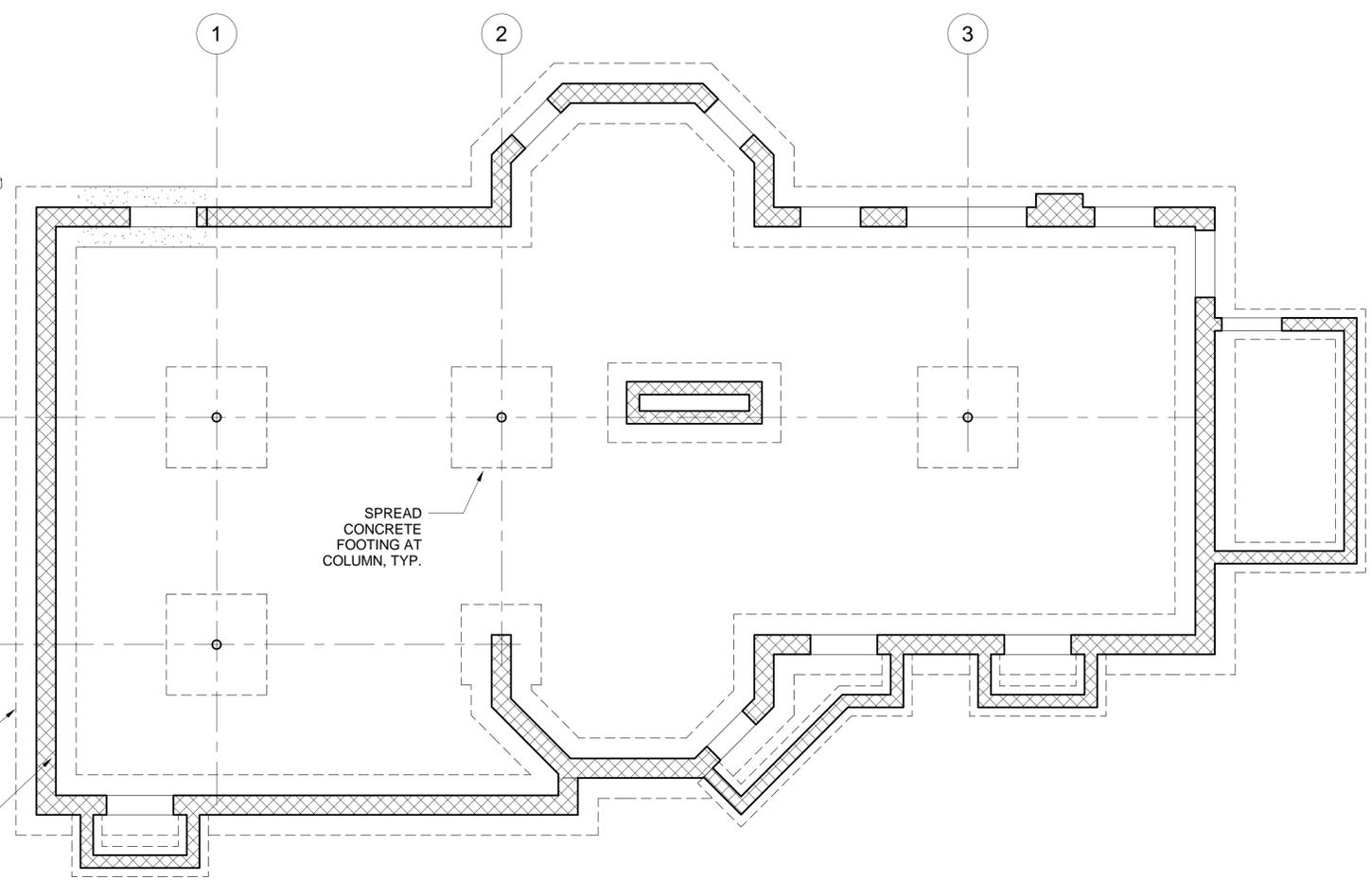
NEW BSMT &  
FOUNDATION  
PLAN

**SHEET NO.**

A.0



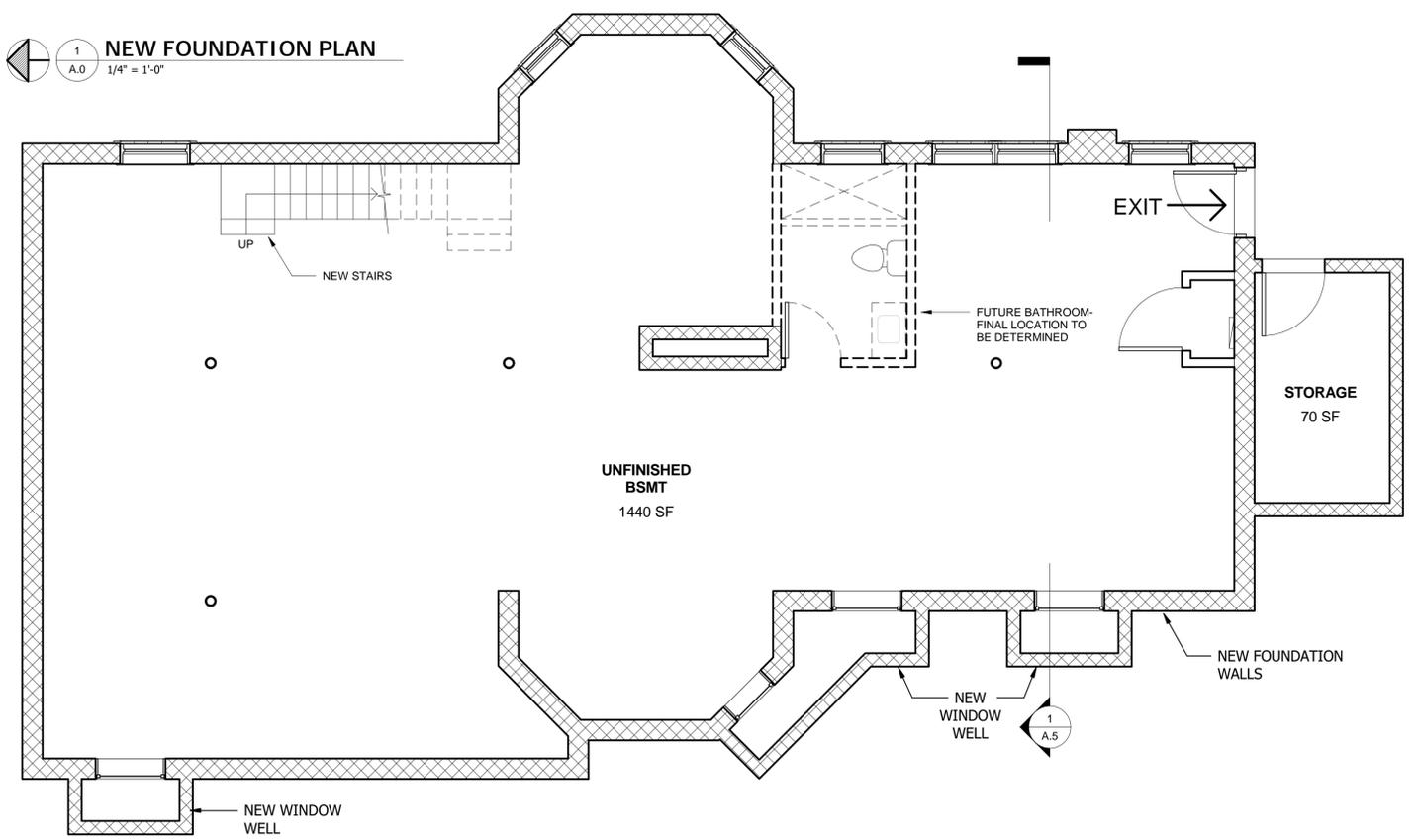
2  
A.0  
NEW FOUNDATION 3D VIEW



CONTINUOUS  
CONCRETE FOOTINGS

12" REINFORCED CMU OR  
CONCRETE FOUNDATION  
WALLS

1  
A.0  
NEW FOUNDATION PLAN  
1/4" = 1'-0"



3  
A.0  
NEW BSMT PLAN  
1/4" = 1'-0"

BSMT FLOOR AREA= 1,647 GSF





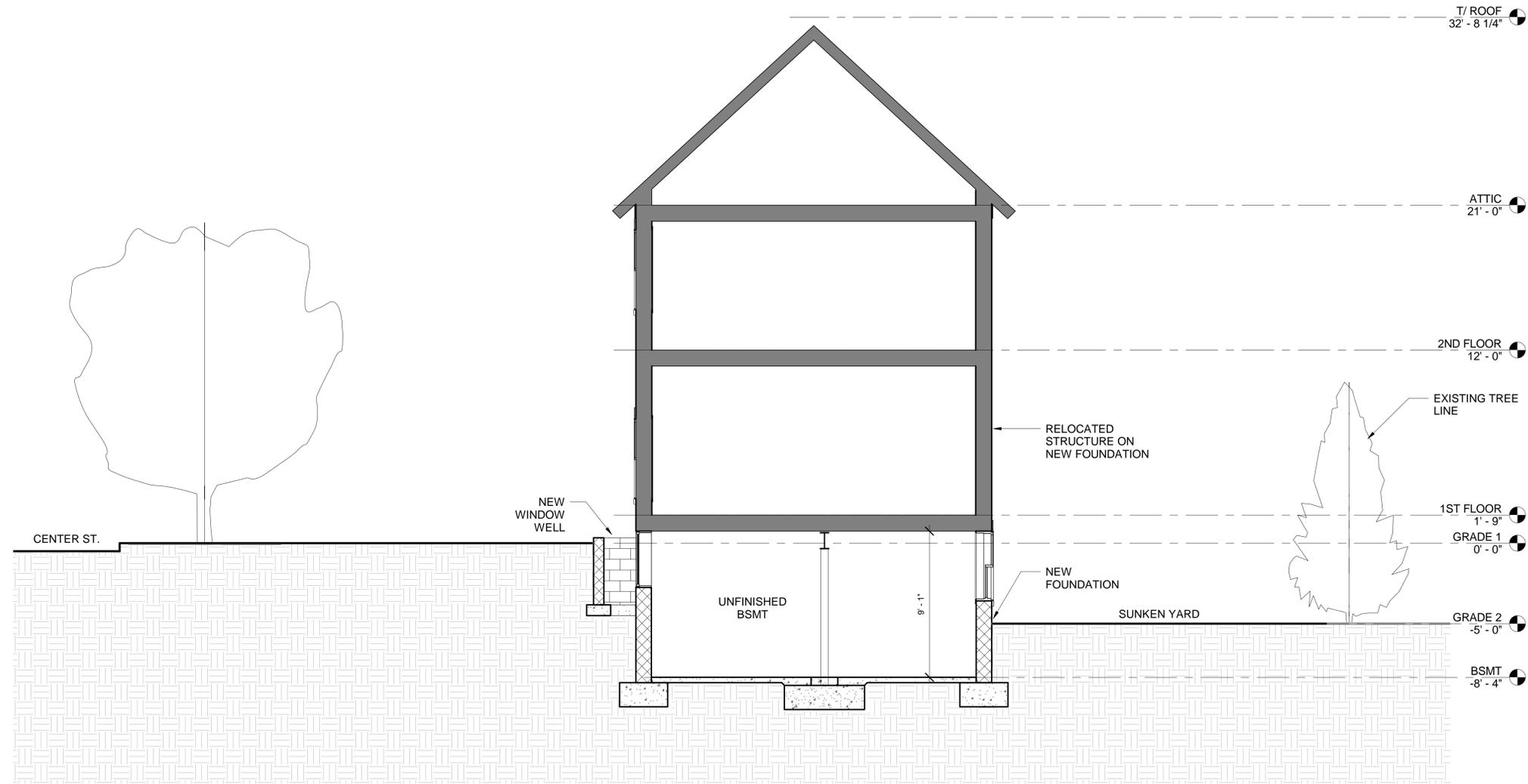


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RELOCATION OF FRANK JOHNSON  
RESIDENCE (BM) TO 333 CENTER ST.

333 CENTER ST. LAKE GENEVA, WI 53147



1  
A.5 NEW BUILDING SECTION  
1/4" = 1'-0"

REVISIONS

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12/27/2018

PROJECT STATUS

SUBMITTAL DATE  
12/27/2018

SHEET TITLE

NEW BUILDING  
SECTION

SHEET NO.

A.5



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**PROJECT STATUS**

SUBMITTAL DATE  
12/27/2018

**SHEET TITLE**

**PROJECT IMAGES**

**SHEET NO.**

P.5



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**RELOCATION OF FRANK JOHNSON  
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333 CENTER ST. LAKE GENEVA, WI 53147

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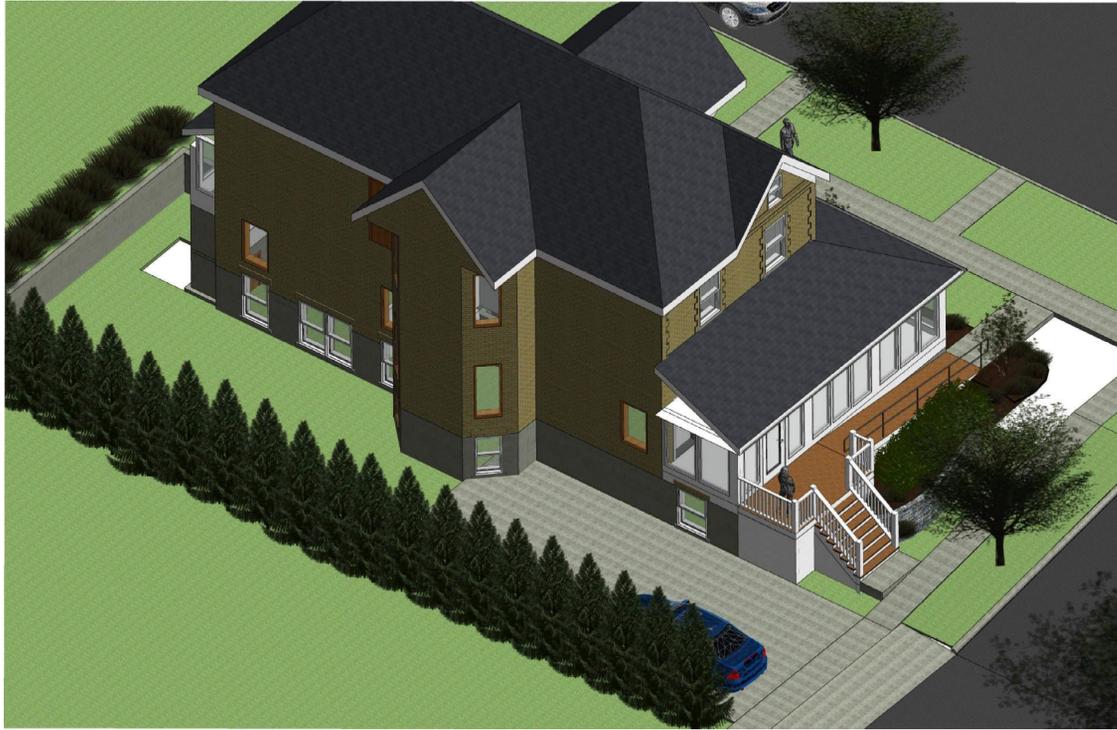
**PROJECT  
IMAGES**

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**RELOCATION OF FRANK JOHNSON  
RESIDENCE (BM) TO 333 CENTER ST.**

333 CENTER ST. LAKE GENEVA, WI 53147

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12/27/2018

**SHEET TITLE**

**PROJECT IMAGES**

**SHEET NO.**

**P.5**



STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: January 21, 2019

Agenda Item: 9

Applicant:

Daniel Schuld  
281 Yerkes Ave  
Hampshire, IL 60140

Request:

Precise Implementation Plan (PIP)  
Brewery, Tap-Room, Gift Shops  
727 Geneva Street  
Tax Key No. ZOP00157

Description:

The applicant is submitting a request for a Precise Implementation Plan (PIP) that would allow for the development of a Brewery, Tap-Room, & Gift Shops to be located at 727 Geneva Street.

The alterations to the exterior building dimension would include the razing of the existing garage in the rear of the property and the subsequent addition to the primary building in that general area. The other exterior renovations are to the deck and patio areas, to include unique sign structures.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Precise Implementation Plan (PIP):

As part of the consideration of the requested PIP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed PIP;
- Include *findings* required by the Zoning Ordinance for PIPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the PIP for Recommendation to the Common Council:

A proposed PIP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed Precise Implementation Plan (PIP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed Precise Implementation Plan (PIP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed Precise Implementation Plan (PIP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed Precise Implementation Plan (PIP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed Precise Implementation Plan (PIP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
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6. The potential public benefits of the proposed Precise Implementation Plan (PIP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Precise Implementation Plan (PIP):

If the Plan Commission members feel the submittal is acceptable -

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Precise Implementation Plan (PIP) as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

727 GENEVA STREET, LAKE GENEVA, WI 53147  
TAX KEY # ZOP 00157

Name and Address of Current Owner:

DANIEL E. SCHULD  
281 KEYES AVENUE, HAMPSHIRE, IL 60140

Telephone No. with area code & Email of Current Owner: (847) 778-7070

E-MAIL: daneschuld@gmail.com

Name and Address of Applicant:

SAME AS ABOVE

Telephone No. with area code & Email of Current Owner: SAME AS ABOVE

Proposed Use:

THE OWNER WISHES TO REPLACE SEVERAL OF THE EXISTING  
RETAIL SHOPS WITH A NEW BREWERY, TAP ROOM + GIFT SHOP + FOOD  
INCLUDING UPGRADING THE EXISTING OUTDOOR DECK + PATIO TRAILER  
AND POSSIBLE FUTURE REPLACING OF EXISTING GARAGE.

Zoning District in which land is located: PD- PLANNED DEVELOPMENT

Names and Addresses of architect, professional engineer and contractor of project:

MCCORMACK + ETTEN/ARCHITECTSHP, 400 BROAD ST., LAKE GENEVA, WI  
53147

Short statement describing activities to take place on site:

IN ADDITION TO SEVERAL RETAIL SPACES, THE PROPOSED  
NEW BREWERY, TAP ROOM + GIFT SHOP + FOOD TRAILER WOULD  
CREATE INDOOR + OUTDOOR COMMERCIAL ENTERTAINMENT  
USES WHICH ARE ALLOWED AS CONDITIONAL  
USES UNDER THE CENTRAL BUSINESS (CB)  
ZONING DISTRICT.

PIP Amendment fee \$400.00, payable upon filing application.

12.7.18

Date

UPDATED 1.16.19

  
Signature of Applicant

16125

W0010 W0010 W0010 W0010

McCormack + Eiten Architects, LLP

400 Broad St., Lake Geneva, WI 53147

Ph (262) 248-8391

Fax (262) 248-8392

79-1784/759

DATE

12.7.18

\$ 400.00

DOLLARS

City of Lake Geneva

Four Hundred and No/100

TOWN BANK

A WINTRUST COMMUNITY BANK

Edward J. Ceter

PAY TO THE ORDER OF

FOR DEPOSIT ONLY

⑈016125⑈ ⑆075917843⑆0050011243⑈

Details on back

Security Features

DANIEL E. SCHULD 727 GENEVA ST. Cost Recovery # \_\_\_\_\_  
LAKE GENEVA, WI  
Petitioner Name Project Address 53147

OFFICE USE ONLY Description of Request \_\_\_\_\_

**Agreement for Services**

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). An advanced deposit shall be required for the application related to Extraterritorial matters. Surplus deposits shall be returned to the Applicant at the conclusion of the project.

Project: DANIEL E. SCHULD, as applicant/petitioner for  
PROPOSED NEW BREWERY, TAPROOM + SHOPS  
Project Address: 727 GENEVA ST., LAKE GENEVA, WI 53147  
Name: DANIEL E. SCHULD  
Address: 281 KEYES AVENUE  
HAMPSHIRE, IL 60140

Cell Phone: 847-778-7070 Phone: ( ) - -

Email: daneschuld@gmail.com

Dated this 7 Day of DECEMBER, 20 18

DANIEL E. SCHULD  
Printed Name of Applicant / Petitioner

Signature of Applicant/Petitioner 

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

#### Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

**APPLICATION SUBMITTAL REQUIREMENTS**  
**PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)**

Prior to submitting the 20 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓  
*Draft Final Packet (1 Copy to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓

\_\_\_\_  A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

(1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

(2) **A map of the subject property** for which the PD is proposed:

Showing all lands within 300 feet of the boundaries of the subject property;

Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

Map and all its parts clearly reproducible with a photocopier;

Map size of 11" by 17" and map scale not less than one inch equals 800 feet;

All lot dimensions of the subject property provided;

Graphic scale and north arrow provided.

(3) **A general written description** of proposed PIP including:

Specific project themes and images;

The specific mix of dwelling unit types and/or land uses;

Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

The specific treatment of natural features;

The specific relationship to nearby properties and public streets.

A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.

A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall

be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

- (4) **A Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*
- A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;
  - Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;
  - Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
  - Notations relating the written information (3), above to specific areas on the GDP Drawing.

- (5) **A Property Site Plan drawing which includes:**
- A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
  - The date of the original plan and the latest date of revision to the plan;
  - A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
  - A reduction of the drawing at 11" x 17";
  - A legal description of the subject property;
  - All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
  - All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
  - All required building setback lines;
  - All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
  - The location and dimension (cross-section and entry throat) of all access points onto public streets;
  - The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

- ~~X~~ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- ~~X~~ The location of all outdoor storage areas and the design of all screening devices;
- ~~X~~ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- ~~X~~ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property – including the clear demonstration of compliance with Section 98-707;
- ~~X~~ All engineering requirements for utilities, site designs, etc;
- ~~X~~ The location and type of any permanently protected green space areas;
- ~~X~~ The location of existing and proposed drainage facilities for storm water;
- ~~X~~ In the legend, data for the subject property on:
  - ~~X~~ Lot Area;
  - ~~X~~ Floor Area;
  - ~~X~~ Floor Area Ratio (b/a);
  - ~~X~~ Impervious Surface Area;
  - ~~X~~ Impervious Surface Ratio (d/a);
  - ~~X~~ Building Height.

- \_\_\_\_\_ (6) **A landscaping plan for subject property**, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.
- ~~X~~ (7) **A series of building elevations** for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.
- ~~X~~ (8) **A general signage plan** including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.
- ~~X~~ (9) **A general outline of the intended organizational structure** for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.
- ~~X~~ (10) **A written description** which demonstrates the full consistency of the proposed PIP with the approved GDP.
- ~~X~~ (11) **A written description** of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,

- \_\_\_\_\_ (12) Proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development.

**FINAL APPLICATION PACKET INFORMATION  
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)**

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/PIP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

- \_\_\_\_\_ **Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:** Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ **Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ **A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.** Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ **Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:** Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ **Class 2 Legal Notice sent to official newspaper by City Clerk:** Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ **Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_**

December 7, 2018  
Updated: January 16, 2019



Mr. Fred Walling  
Building Inspector / Zoning Administrator  
City of Lake Geneva  
626 Geneva Street  
Lake Geneva, WI 53147

**Re: APPLICATION FOR AMENDMENT TO  
GDP – GENERAL DEVELOPMENT PLAN &  
PIP – PRECISED IMPLEMENTATION PLAN  
PD - PLANNED DEVELOPMENT ZONING  
PROPOSED BREWERY, TAP ROOM & SHOPS  
GENEVA STREET VILLAGE  
727 GENEVA STREET  
LAKE GENEVA, WISCONSIN  
JOB NO. 1840**

Dear Mr. Walling & Plan Commission Members:

Dan Schuld wishes to amend the *PD - Planned Development Zoning* for Geneva Street Village at 727 Geneva Street, Lake Geneva, Wisconsin, Tax Key #ZOP 00157, to allow for the creation of a New Brewery, Tap Room & Shops within the *Existing Building*, as described below.

The *Existing Site* consists of approximately 13,754 sq. ft. or 0.32 acres. In addition to the *Existing Building*, the *Site* contains a paved Outdoor Terrace and a Storage Garage on the north side, and Outdoor Deck and Access Ramp on the south (Geneva Street) side, and a limited amount of landscaped and green areas on the south and west sides.

The *Existing Building* consists of the original former *First Baptist Church*, the former *Parsonage*, and *connecting Entry Structure* that was built in 1998 when the Building was first remodeled for the Geneva Street Village. The former *Church* is a one story, brick and wood frame structure with a *Basement* that was built in 1910. The former *Parsonage* is a two-story wood framed structure that is also over 100 years old and the *connecting Entry Structure* dates to 1998 when the building was purchased and remodeled to create a group of small retail spaces called *Geneva Street Village*. The building was recently purchased by Dan Schuld who would now like to reconfigure the original *Church* space as a *Brewery & Tap Room* with the balance of the structure to include several other retail businesses. Under the Lake Geneva Zoning Ordinance, the current use was classified as "*Indoor Commercial Entertainment*", which was a *Conditional Use* within the *CB - Central Business Zoning District*. *When the Building was remodeled in 1998, the zoning was changed to PD - Planned Development.*

McCormack + Etten / Architects, LLP

400 Broad Street, Lake Geneva, WI 53147  
Email: [contact@mccormacketten.com](mailto:contact@mccormacketten.com)

Ph (262) 248-8391 Fax (262) 248-8392  
<http://www.mccormacketten.com>

In its present configuration, the **Building** contains retail spaces, a book store, a cooking school, bathrooms, storage and mechanical space on the *Main Floor*. The *Lower Level* of the *former Church* includes retail spaces, bathrooms, storage and mechanical space. The *Second Floor* of the *former Parsonage* contains private office space for the Owners and is not open to the public.

**A.** *Dan Schuld wishes to construct a small New Brewery & Tap Room within the Main Floor of the former Church, upgrade the Existing Outdoor Deck on the south side of the property in the area between the Building and the sidewalk along Geneva Street, remodel the Existing Patio on the north side as a Beer Garden, and continue to maintain several small retail spaces within the building. The intention would be to accommodate a maximum of approximately 200 occupants in the New Brewery & Tap Room on the First Floor and the Lower Level, include seasonal Outdoor Seating on the Existing Outdoor Deck on the south and New Beer Garden on the north, and possibly include an Outdoor Food Trailer. In the future, he may raze the Existing Garage and construct a New Brewery Addition attached to the Existing Building.*

*The New Reconfigured Site Plan, as currently proposed, would include the following:*

<b>FORMER CHURCH</b>		<b>EXISTING SOUTH</b>	
<b>BASEMENT LEVEL</b>	4,075 sq. ft.	<b>ACCESS DECK &amp; RAMP</b>	633 sq. ft.
<b>FORMER CHURCH</b>		<b>EXISTING NORTH</b>	
<b>MAIN FLOOR</b>	4,075 sq. ft.	<b>ACCESS DECK &amp; RAMP</b>	752 sq. ft.
<b>FORMER PASONAGE</b>		<b>EXISTING OUTDOOR</b>	
<b>FIRST FLOOR</b>	1,504 sq. ft.	<b>SOUTH SEATING DECK</b>	571 sq. ft.
<b>FORMER PASONAGE</b>		<b>EXISTING NORTH</b>	
<b>SECOND FLOOR</b>	1,340 sq. ft.	<b>PATIO / BEER GARDEN</b>	2,020 sq. ft.
<b>EXSTG. CONNECTING</b>		<b>NEW BREWERY BUILDING ADDN.</b>	
<b>ENTRY STRUCTURE</b>	610 sq. ft.	<b>(EXISTING GARAGE)</b>	1,380 sq. ft.

**B.** Under the current *City of Lake Geneva Zoning Ordinance*, the property is zoned *PD - Planned Development District* but it is surrounded by *CB - Central Business Zoning*. Several facts should be considered when viewing the remodeling for a New Brewery & Tap Room with Shops on this site:

- It is a unique, historic existing structure on a very limited site that was originally zoned *CB-Central Business* and has been a multi-tenant commercial building since 1998 when it was rezoned to its current *PD-Planned Development* zoning.

- It is located in close proximity to the *Central Business District Zoning* and its configuration would be more nearly in keeping with the criteria for the *Central Business (CB) District*. *It should be noted that the City currently allows for outdoor dining on the City street right-of-way within specific parameters. The proposed Outdoor Deck Area, Beer Garden and Food Trailer would be entirely within the property currently owned by the Geneva Street Village would increase the seating capacity of the Restaurant only seasonally.*
- *Since 2001, the adjoining properties along Broad Street were rezoned to CB - Central Business Zoning which relieved them of parking requirements for most commercial uses.*

*Since the Existing Geneva Street Village building, site and proposed use are so unique, we believe the best option would be to allow an Amendment to the current PD- Planned Development with criteria similar to those used in the Central Business (CB) Zoning District and to allow uses Permitted by Right or as Conditional Uses under CB Zoning.*

**C. Zoning Intensity and Bulk Standards Under CB - Central Business Zoning (Nonresidential Uses) That Would Be Met:**

<b>Maximum Number of Floors:</b>	<b>4 Floors Allowed / 2 Stories + Basement Provided. (3 Floors Total)</b>
<b>Minimum Lot Area:</b>	<b>1,750 s.f. Required / 13,754 s.f. Actual</b>
<b>Minimum Lot Width:</b>	<b>20' Required / 104.81' Provided.</b>
<b>Maximum Bldg. Height:</b>	<b>45' Max. / 20' Min. / Approx. 45' Actual</b>
<b>Front Street Setback @ Geneva Street:</b>	<b>0' Required @ Side Street Side 6' Provided</b>
<b>Side Street Setback @ Broad Street:</b>	<b>0' Required @ Front Street Side 2' Provided</b>
<b>Min. Rear Lot Line Setback @ North Side:</b>	<b>10'-0" Required / +/- 20'-0" Actual</b>
<b>Min. Paved Surface Setback:</b>	<b>0' Required / 2'+/- Actual on Broad St.</b>
<b>Min. Landscape Surface:</b>	<b>0% Required / 7% Provided (1,958 s.f.)</b>
<b>Maximum Floor Area Ratio:</b>	<b>3.0 Allowed / 0.94 Actual (12,984 s.f. Building / 13,754 s.f. Lot)</b>

**D. *Zoning Standards Under the present PD – Planned Development / Central Zoning (Nonresidential Uses) That Would Not Be Met:***

**Required Parking:                      Indoor & Outdoor Commercial Entertainment  
1 per Every 3 Patron Seats or at maximum  
capacity of establishment / None provided.**

**The following documents are enclosed to facilitate the review of the proposed  
Planned Development rezone:**

1.     ***A Location Map of the Subject Site*** and other lands within 300 feet of the  
       ***Subject Site*** on the ***City of Lake Geneva Zoning and Land Use Map***.
2.     ***A Certified Survey Map*** which depicts the dimensions of the ***Subject Site***.
3.     ***A General Written Description*** of the ***Proposed Amended GDP and Potential  
Requested Exemptions***.
4.     ***A Site Plan, Floor Plans & Elevations*** of the proposed additions and changes to  
       the Building.
5.     ***Landscaping, Signage, Exterior Colors & Lighting Information***.

Thank you for your consideration of the above project. Please let me know if you need  
additional information or have any questions.

Sincerely,



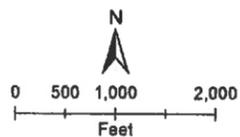
Kenneth L. Etten A.I.A.

McCormack + Etten / Architects

**A. GENERALIZED LOCATION MAP**

# City of Lake Geneva Zoning Map

March 19, 2015



gai consultants  
INCORPORATED 2004 2015

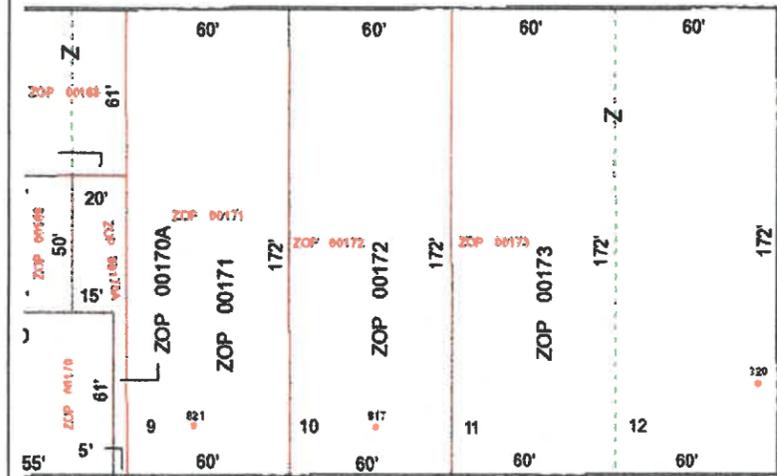
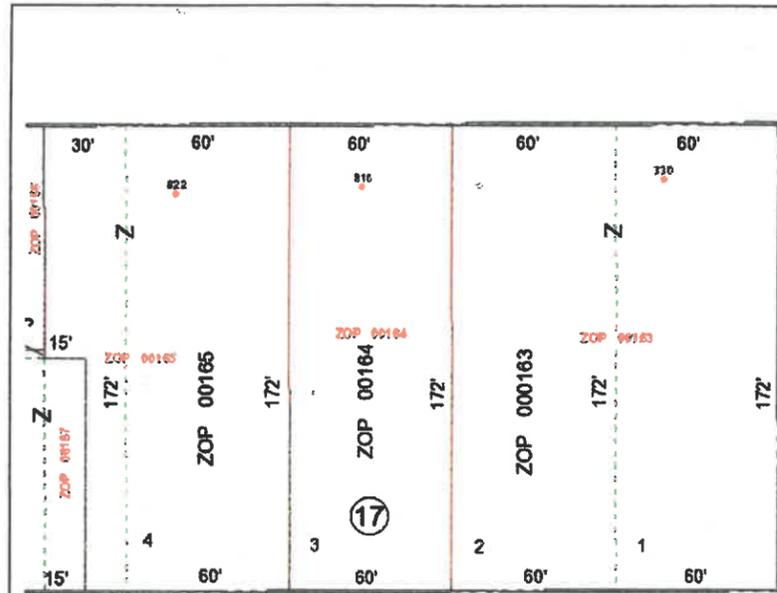
**SUBJECT SITE**

<b>RH</b>	<b>Rural Holding</b> Areas for agricultural uses; agricultural support businesses; schools, parks, churches or very low-density single-family residential at a density of less than one dwelling unit per 30 acres.
<b>CR-5</b>	<b>Countrywide Residential - SAC</b> Areas for very low density single-family development at maximum densities of one dwelling unit for every five gross acres, and support institutional uses such as schools, parks, and churches.
<b>ER-1</b>	<b>Estate Residential-1</b> Areas for low density single-family development at maximum densities of one dwelling unit per acre, and support institutional uses such as schools, parks, and churches.
<b>SR-3</b>	<b>Single-Family Residential-3</b> Areas for moderate density single-family development at maximum densities of three dwelling units per acre, and support institutional uses such as schools, parks, and churches.
<b>SR-4</b>	<b>Single-Family Residential-4</b> Areas for moderate density single-family development at maximum densities of four dwelling units per acre, and support institutional uses such as schools, parks, and churches.
<b>PD</b>	<b>Planned Development</b> Areas approved for planned development zoning unique to the subject property.
<b>TR-6</b>	<b>Two-Family Residential-6</b> Areas for single-family detached and two-family residential development at densities up to six dwelling units per acre, and support institutional uses such as schools, parks, and churches.
<b>MR-8</b>	<b>Two-Family Residential-8</b> Areas for mixed single-family detached and two-family, and multi-family residential development at densities up to eight dwelling units per acre and support institutional uses.
<b>C-2</b>	<b>Resource Conservation</b> Areas for fishing, floodwater overflow and storage; pedestrian trails; preservation of scenic, historic and scientific areas; soil and water conservation; stream bank and lakeshore protection; water retention ponds and wildlife areas.
<b>NO</b>	<b>Neighborhood Office</b> Areas for high-quality office and office-support commercial uses in older, transitioning residential areas of the community. Residential qualities set an attractive, high quality character.
<b>PO</b>	<b>Planned Office</b> Areas for office and office-support commercial and service uses. Generous landscaping and limited signage set an attractive, high quality character.
<b>NB</b>	<b>Neighborhood Business</b> Areas for small scale, neighborhood-oriented service and retail uses, which shall not spread into adjacent residential areas. (generous landscaping and limited signage)
<b>PB</b>	<b>Planned Business</b> Newly developing areas for a full complement of commercial, office, and institutional uses. (Generous landscaping and limited signage)
<b>GB</b>	<b>General Business</b> Existing areas for a full complement of commercial, office, and institutional uses (moderate amounts of landscaping and signage)
<b>CB</b>	<b>Central Business</b> Areas for a full complement of downtown and high density neighborhood character commercial, office, and institutional uses. (Pedestrian-oriented landscaping and signage)
<b>PI</b>	<b>Planned Industrial</b> Areas for a full complement of indoor office, manufacturing, assembly and storage uses. Generous landscaping and limited signage set an attractive, high-quality character.
<b>GI</b>	<b>General Industrial</b> Areas for a full complement of indoor light and heavy industrial land uses, and carefully controlled outdoor storage uses. Moderate amounts of landscaping and signage set an attractive character.
<b>HI</b>	<b>Heavy Industrial</b> Areas for primarily outdoor and/or heavy industrial production, storage, extraction and disposal uses.
<b>PBP</b>	<b>Planned Business Park</b> Areas approved for planned development zoning unique to the subject property.

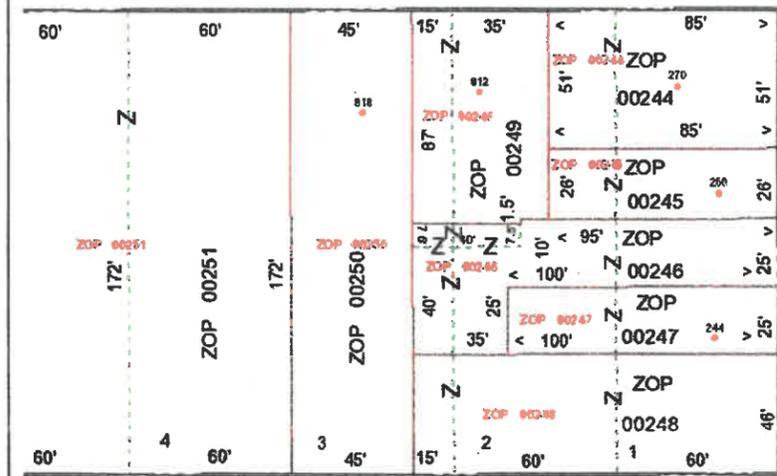
  

	Primary Environmental Corridor		City Boundary
	Woodlands Overlay		Downtown Design Review
	Lakeshore Overlay		Drainage Way
	FEMA Floodplain Overlay		Slope (12% or greater)
			Shorelines, Ponds and Streams

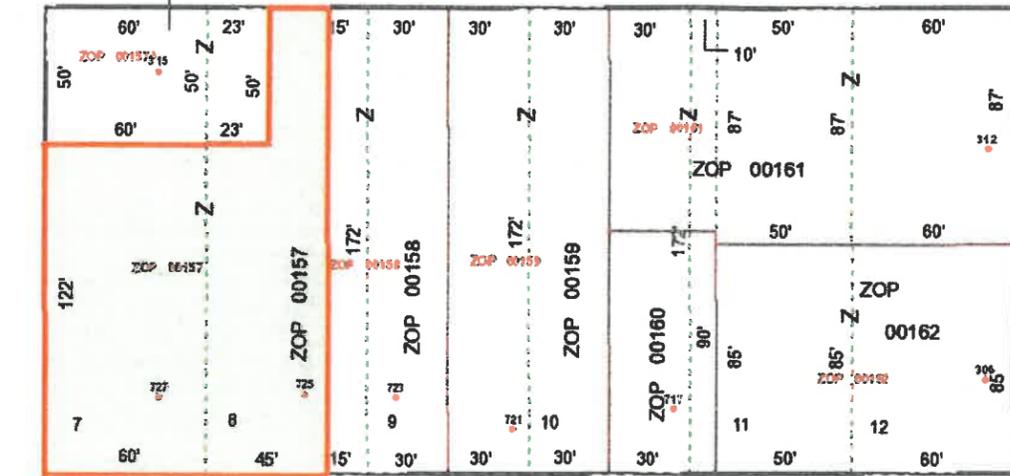
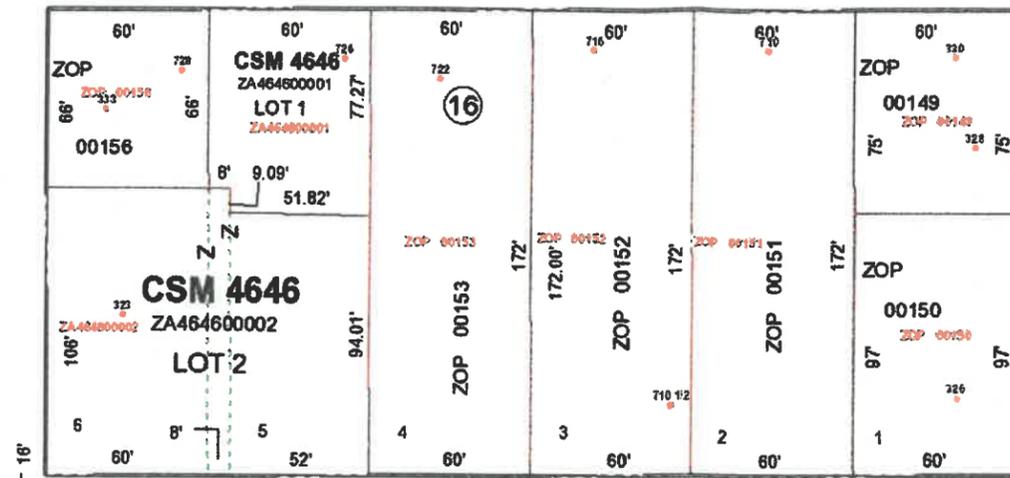
**B. MAP OF SUBJECT PROPERTY  
AND CERTIFIED SURVEY MAP**



**STREET**

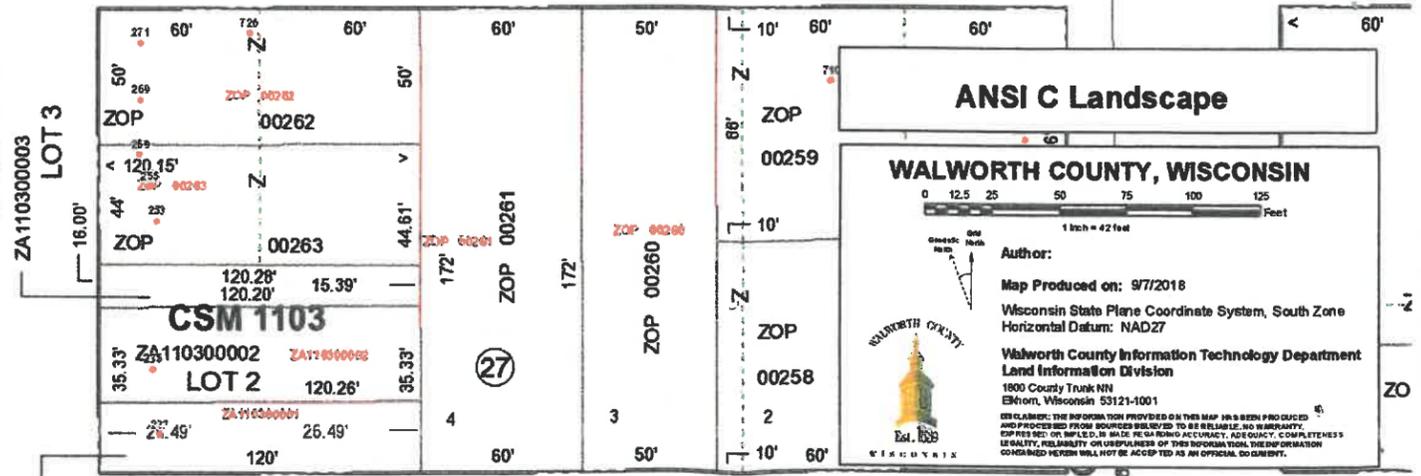


**BROAD**



**STREET**

**CSM 1103**



**ANSI C Landscape**

**WALWORTH COUNTY, WISCONSIN**

0 12.5 25 50 75 100 125 Feet

1 inch = 42 feet

Author:

Map Produced on: 9/7/2018

Wisconsin State Plane Coordinate System, South Zone  
Horizontal Datum: NAD27

Walworth County Information Technology Department  
Land Information Division  
1800 County Trunk NN  
Elkhorn, Wisconsin 53121-1001

FOR CLARITY: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE, NO WARRANTY, EXPRESS OR IMPLIED, IS MADE REGARDING ACCURACY, ADEQUACY, COMPLETENESS, QUALITY, RELIABILITY OR USEFULNESS OF THE INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.

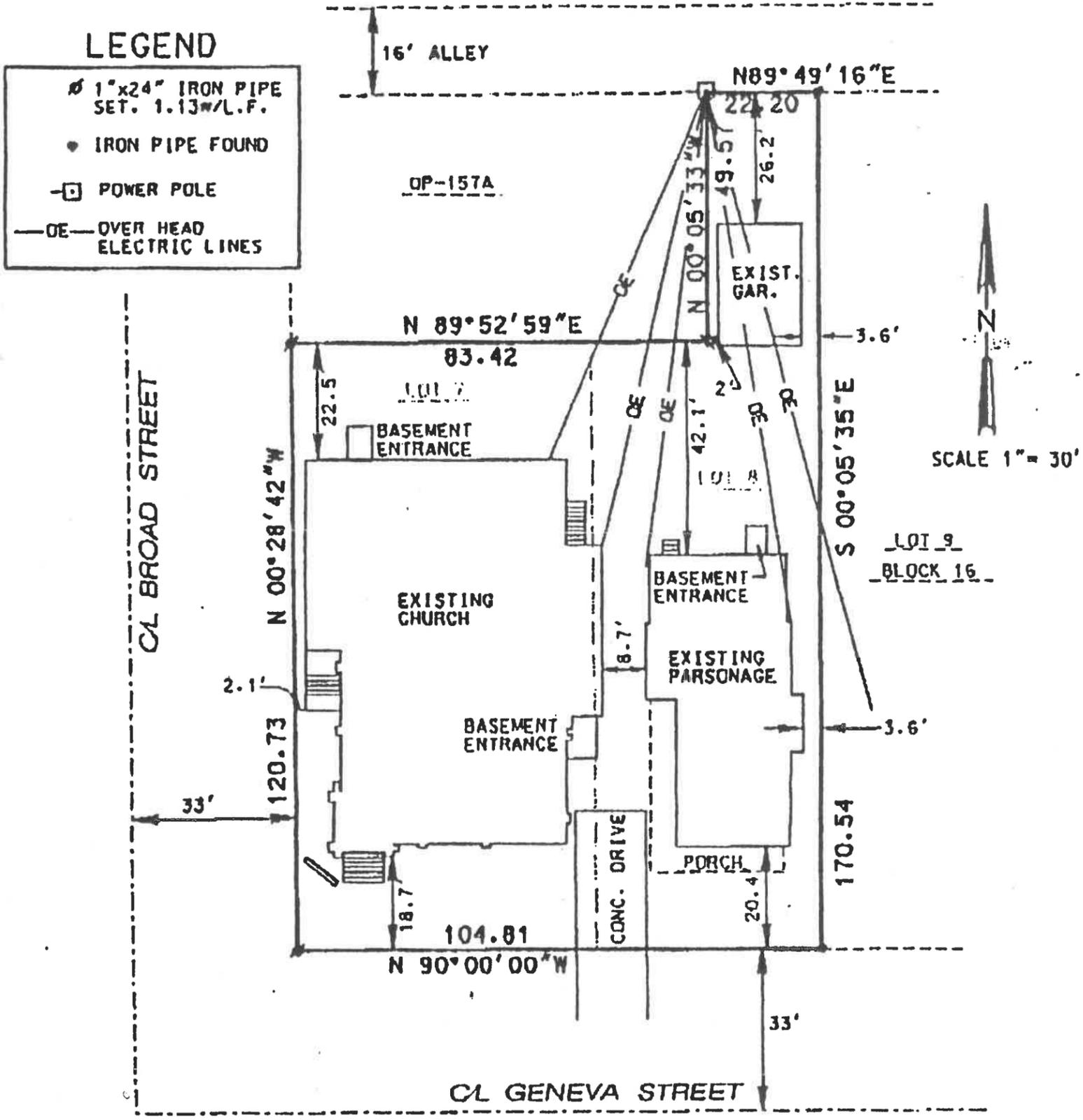
# PLAT OF SURVEY



FOR: KEEFE REAL ESTATE, INC.

DATE: 9/11/97

**DESCRIPTION:** BEING PART OF LOTS 7 AND 8 OF BLOCK 16, OF THE ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN BEING MORE COMPLETELY DESCRIBED AS FOLLOWS: COMMENCING AT THE SW CORNER OF SAID LOT 7; THENCE WITH THE EASTERLY RIGHT OF WAY OF BROAD STREET  $N00^{\circ}28'42''W$ , A DISTANCE OF 120.73' TO A POINT; THENCE  $N89^{\circ}52'59''E$ , A DISTANCE OF 83.42' TO A POINT; THENCE  $N00^{\circ}05'33''W$ , A DISTANCE OF 49.57' TO A POINT; THENCE  $N89^{\circ}49'16''E$ , A DISTANCE OF 22.20' TO A POINT; THENCE  $S00^{\circ}05'35''E$ , A DISTANCE OF 170.54' TO A POINT ON THE NORTHERLY RIGHT OF WAY OF GENEVA STREET; THENCE WITH SAID RIGHT OF WAY  $N90^{\circ}00'00''W$ , A DISTANCE OF 104.81' TO THE POINT OF BEGINNING. SAID PARCEL CONTAINING 13814 S.F.



THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF ALL THE PROPERTY, EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.

THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HERETO.

BRADFORD L. SPENCER, R.L.S. 2069  
RSV#97222.UGN

**C. GENERAL WRITTEN DESCRIPTION  
& POTENTIAL REQUESTED  
EXEMPTIONS**

## GENERAL WRITTEN DESCRIPTION OF PROPOSED PLANNED DEVELOPMENT AMENDMENT

---

**Dan Schuld** respectfully requests an *Amendment to PD - Planned Development Zoning* for his property to allow for the remodeling of the *Geneva Street Village Building* as described herein.

A. The *Existing Building* is located in the **City of Lake Geneva** at **727 Geneva Street** and presently consists of a **two story structure** with a partial basement plus a small **Garage** on the north. The main portion was originally a **Church and Parsonage** that was converted to a **commercial / retail use** in **1998** and operated for the past 20 years with a number of small retail businesses including a cooking school. *The last major remodeling of the building took place in 1998 when it was converted from a vacant Church to a multi-tenant commercial building.*

B. The *Existing Site* consists of **13,754 sq. ft.** or approximately **0.32 acres**. Under the current *PD - Planned Development Zoning*, the **Proposed Building Use** as a **Brewery & Tap Room with Outdoor Open Decks** is classified as *Indoor and Outdoor Commercial Entertainment*, which is a **Conditional Use** within the *CB - Central Business Zoning District*. *Portions of the Building will also continue to be used for Indoor Sales & Service along with all other uses permitted by right in the Central Business District.* In its present configuration, the **Building** contains a mix of small **commercial / retail shops** in the **original Church structure** on the **Main Floor** and the **Lower Level** and a **cooking school** in the **original Parsonage** plus **mechanical, storage and bathroom space**. There is also an **Existing Open Deck** on the south side of the **Church** and an **Open Paved Courtyard** on the north side plus **Open Handicapped Accessible Ramps and Porches** on the south and north plus a small **Garage / Storage Building** in the northeast corner of the property. There are limited green areas on the west, south and east sides of the **Building**. *The Site contains no on-site parking but there is public on-street parking on the Broad and Geneva Street plus two public Parking Lots within a block of the site.*

C. The *Proposed Brewery & Tap Room* **Dan Schuld** wishes to construct would consist of a small **Brewery space** for the production of beer on site along with a **Tap Room** and small **Gift Shop** on the **Main Floor** and additional **Tap Room seating and Brewery space** on the **Lower Level**. In addition, the **Existing Outdoor Deck** would be upgraded and used for seating along with the **Existing North Patio** for use as a **Beer Garden** with an **Outdoor Food Trailer**. The **Building** would also continue to include several small **Retail Spaces** in the **Church and Parsonage** structures. *This Proposed Outdoor Deck Area would be used only when weather conditions permit.*

**D.** The **Owner** wishes to continue the **Finish Materials** and **Landscaping** of the *Existing Building* in keeping with the current style. The **Exterior Finish Materials** would be predominately the same as the existing with minor upgrades to replaced damaged and/or aged materials. The colors would be consistent with the **current earth tones**, including **red brick, shades of white, terra cotta, and brown**. **New Landscaping, Signage and Lighting** would be done on the **Broad Street** and **Geneva Street** sides of the property in conjunction with the upgrades to **Existing Outdoor Deck Area** and the **Beer Garden Patio**. *One of the most significant requests would be for the Owner to provide an Outdoor Food Trailer in the Beer Garden on the north side of the Building and to install a new decorative Sculptural Monument Sign adjacent to the building to highlight its new use as a Brewery. In the future, he may also wish to raze the Existing Garage and replace it with a New Brewery addition attached to the Existing Building.*

**E.** *Dan Schuld wishes to operate the New Brewery & Tap Room, both indoor and outdoor spaces including the Outdoor Food Trailer, within the normal hours of operation as permitted under his brewery license and the Lake Geneva Ordinances for this type of facility.*

## WRITTEN JUSTIFICATION FOR REQUESTING PLANNED DEVELOPMENT ZONING AMENDMENT

---

There are several reasons for requesting the *Amendment to the Existing PD - Planned Development Zoning* under the **Lake Geneva Zoning Ordinance**, including the following items:

1. **SETBACKS:** Under *CB - Central Business District* requirements that exist on the adjoining properties, the required setback to a **Street Side Lot Line** would be 0' on **Geneva and Broad Streets**. The required **Side Lot Line Setback** on the East side would be 0', and the **Minimum Paved Surface Setback** would be 0'. The *Existing Building*, as situated, would be 2.25' from the 100' right-of-way for **Broad Street** on the west side, 2' off the right-of-way on **Geneva Street** on the south side, and approximately 5' from the **Non-Residential** property on the east side. The **Existing Paved Surface** on the north side abuts the lot line and the **Existing Garage** is 26' off the alley to the north and 3'-6" off the property to the east. *The Existing Outdoor Deck and New Beer Garden would be entirely within the Petitioner's property. The Owner would request an amendment to allow the use of the normal CB - Central Business Setback requirements.*

2. **OFF STREET PARKING SPACES:** The *Geneva Street Village Building* could, based on the *2015 International Building Code*, in theory have a **maximum occupancy** of approximately **128 people** on the **Main Floor Brewery / Bar** and **60 people** on the **Lower Level** plus an additional approximately **38 people** on the **Existing Outdoor Deck** and **40 people** in the **Proposed Beer Garden** on the north side for a total of approximately **266 people**. *Taking into account a comfortable arrangement of tables and chairs plus circulation space, the actual seating provided would probably be well under 200.* The requirements of the **Central Business District** for **Indoor Commercial Entertainment** require **1 Parking Stall** for every **3 Patron Seats**. *There is metered public parking on Broad Street and Geneva Street and two public parking lots less than a block away. The Owners would request an amendment and variance from any on-site parking requirements.*

3. **SPECIFIC PERFORMANCE STANDARDS:** This *Building* has been a part of the **Lake Geneva** community for over 100 years. From its remodeling from a **Church** to its current use as a **Multi-tenant Commercial Building** in 1998, there have been a commercial / retail uses at this location for 20 years. *Very few of the buildings on Broad Street within the adjoining CB - Central Business Zoning District would meet the Bulk and Intensity requirements or the Parking requirements called for in the Zoning Ordinance.* Given the location and the intent of the *CB - Central Business Zoning District*, we believe that this project with the proposed improvements would be an asset to the City of Lake Geneva. *Dan Schuld requests the cooperation of the Plan Commission and the City Council in allowing this Amendment to the current PD - Planned Development Zoning.*

**D. PLANS AND ELEVATIONS**



PROPOSED SOUTH ELEVATION (GENEVA STREET)

PRELIMINARY SHEET  
 R-1  
 of

DATE  
 1-16-2019  
 PROJECT NO.  
 1840

ADDITIONS AND ALTERATIONS TO THE  
**GENEVA STREET VILLAGE**  
 121 GENEVA STREET  
 LAKE GENEVA, WISCONSIN 53147  
 COMMENTS: NONE

**McCormack + Eitten / Architects**™, LLP  
 Lake Geneva, WI 53147  
 Ph (262) 248-8391  
 contact@mccormackeitten.com  
 www.mccormackeitten.com

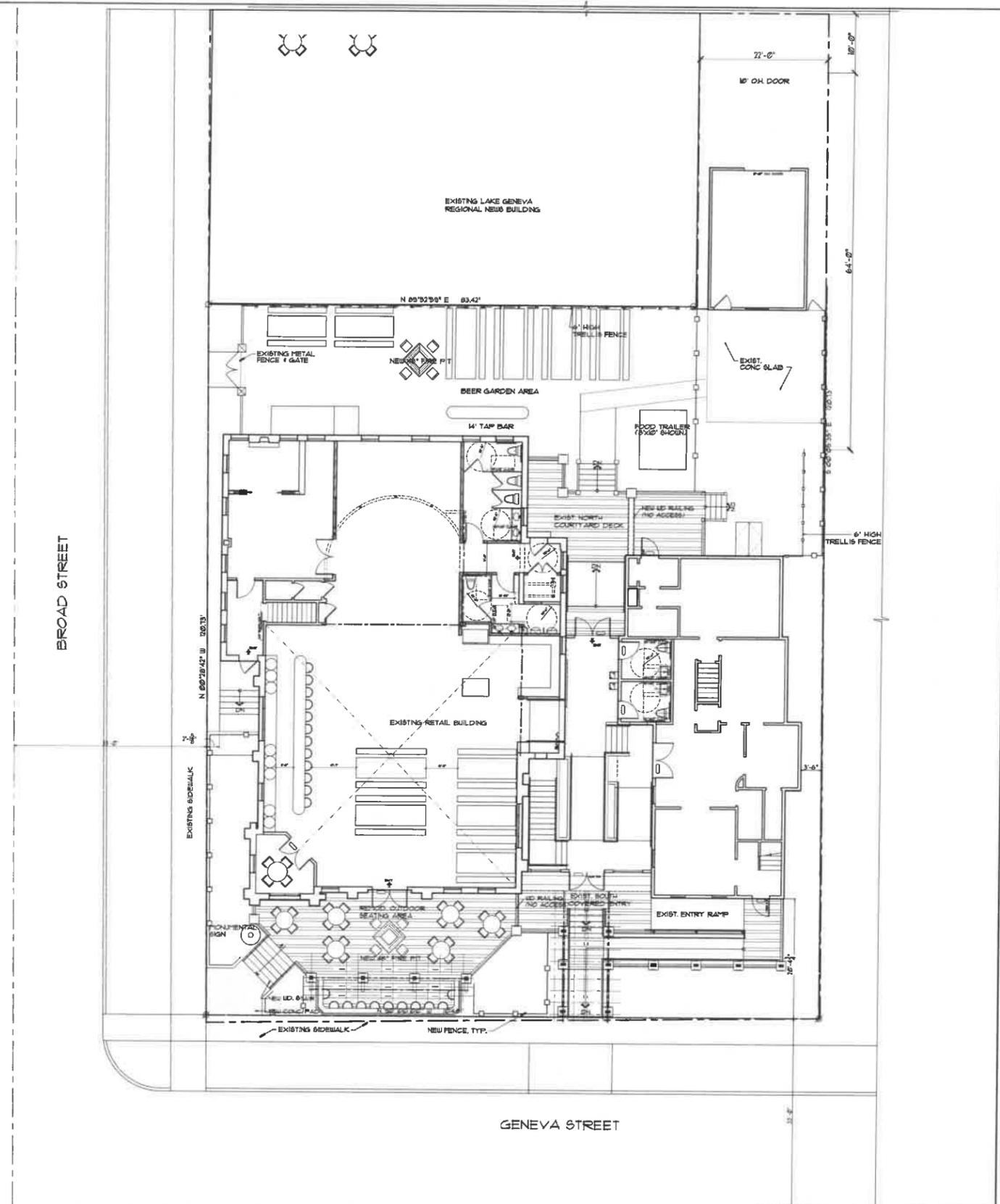
 © McCormack + Eitten / Architects, LLP

# ADDITIONS AND ALTERATIONS TO THE GENEVA STREET VILLAGE 727 GENEVA STREET LAKE GENEVA, WISCONSIN 53147

LOCATION MAP



PROJECT SKETCH



**PROPOSED SITE PLAN**  
SCALE: 1/4" = 1'-0"

SHEET INDEX

NO.	DESCRIPTION
01	LOCATION & PROPOSED SITE PLAN
AB01	EXISTING SITE PLAN
AB1	EXISTING LOWER LEVEL PLAN
AB2	EXISTING FIRST FLOOR PLAN
AB3	EXISTING SOUTH & WEST ELEVATIONS
A1	PROPOSED LOWER LEVEL PLAN
A2	PROPOSED FIRST FLOOR PLAN
A3	PROPOSED SOUTH & WEST ELEVATIONS

**McCormack + Eiten / Architects, LLP**  
400 Broad Street  
Lake Geneva, WI 53147  
Ph: (262) 249-8891  
Fax: (262) 249-8892  
www.mccormackeiten.com

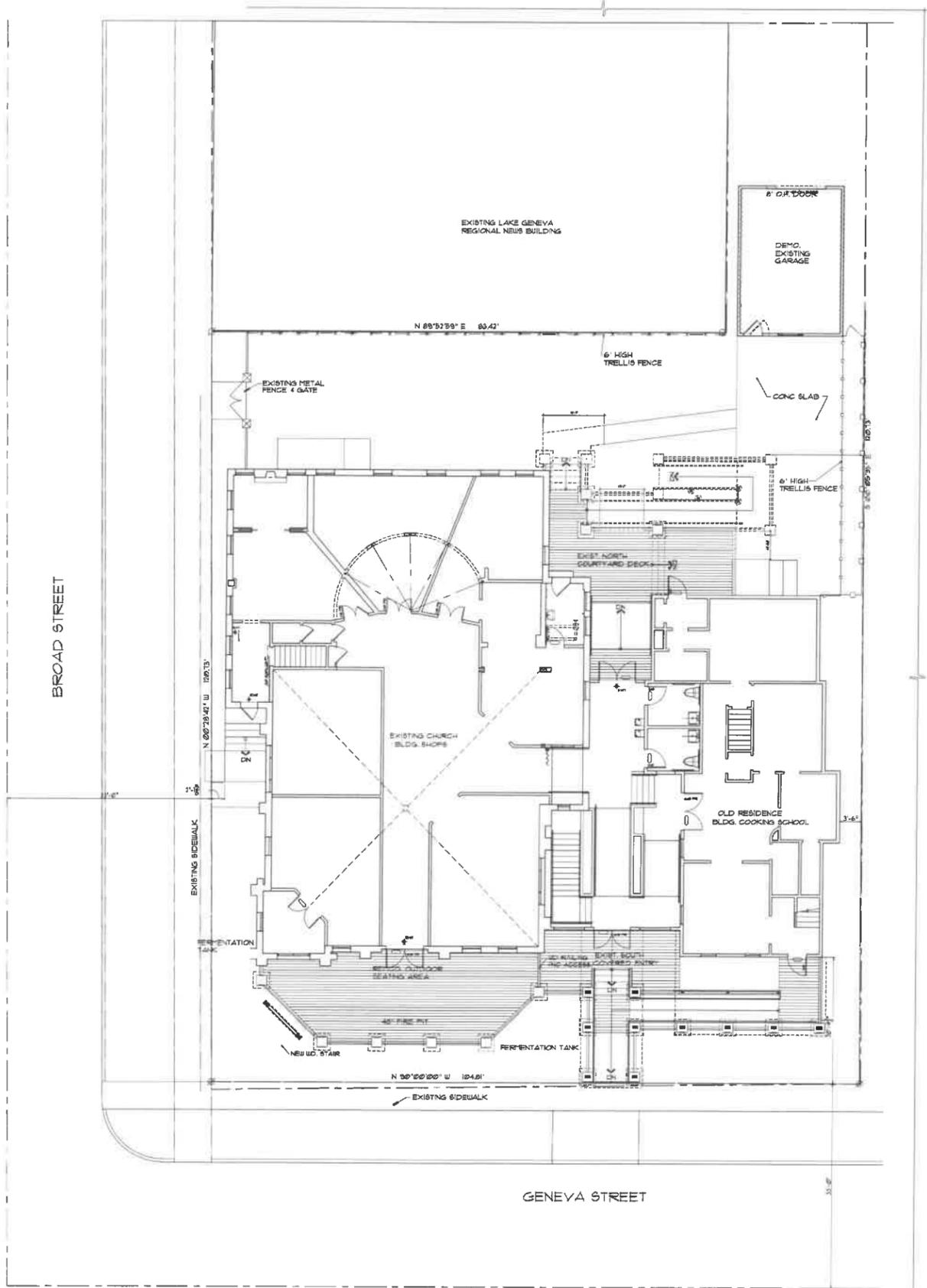
ADDITIONS AND ALTERATIONS TO THE  
**GENEVA STREET VILLAGE**  
727 GENEVA STREET  
LAKE GENEVA, WISCONSIN 53147

REVISIONS

PRELIMINARY  
 SUBMITTAL  
 PERMITS  
 CONSTRUCTION

DATE: 01/15/13

SHEET: 5-1



BROAD STREET

GENEVA STREET

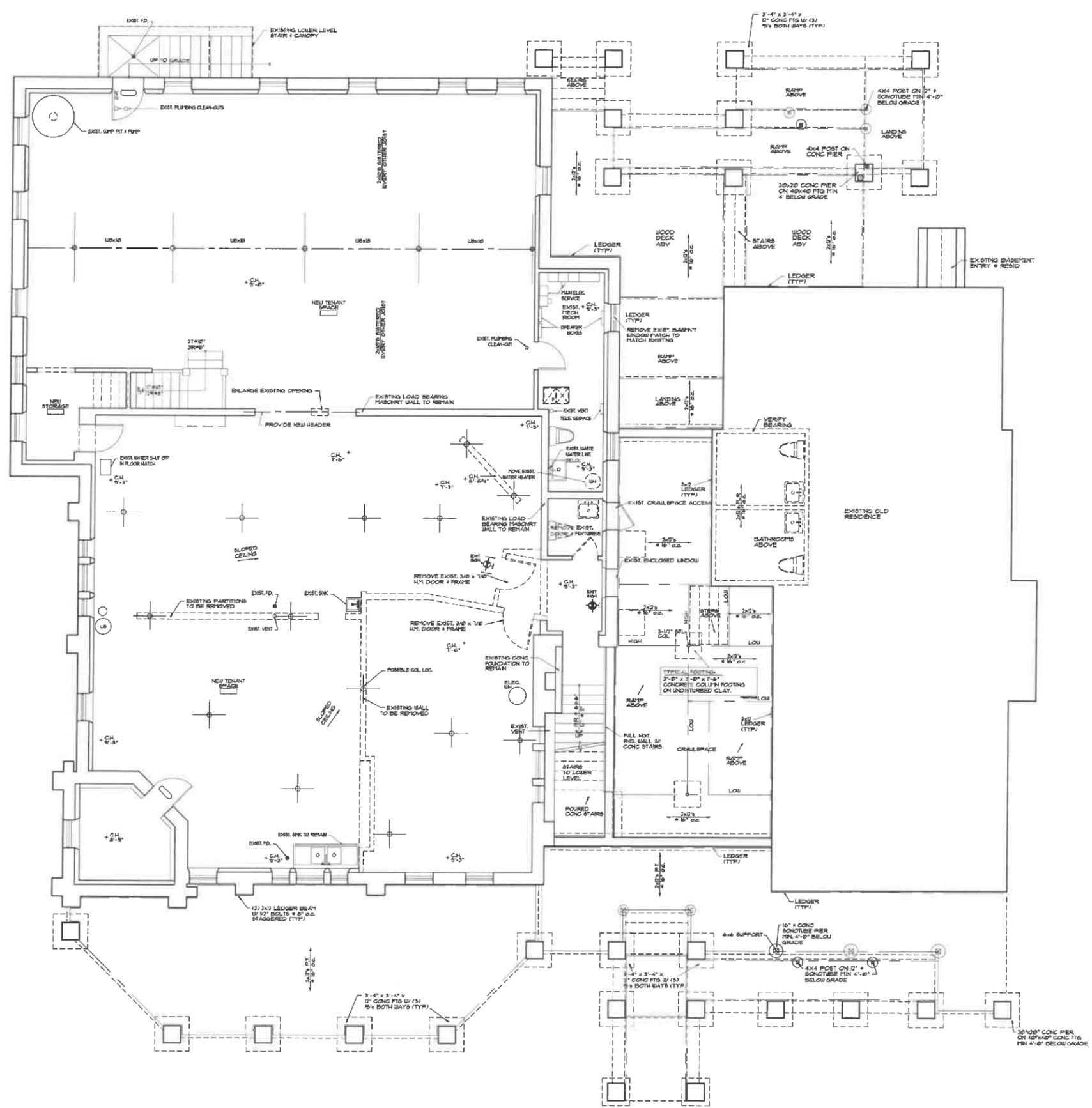
 **EXISTING SITE PLAN**  
SCALE: 1/4" = 1'-0"

 **McCormack + Eiten / Architects**, LLP  
400 Broad Street  
Lake Geneva, WI 53147  
Ph: (262) 248-1891  
Fax: (262) 248-5382  
www.mccormackeiten.com  
contact@mccormackeiten.com

ADDITIONS AND ALTERATIONS TO THE  
**GENEVA STREET VILLAGE**  
1771 GENEVA STREET  
LAKE GENEVA, WISCONSIN 53147

PROJECT NO.  
18-48

REVISIONS	
	PRELIMINARY
	SO APPROVAL
	PERMIT
	CONSTRUCTION
DATE 01.15.19	
SHEET ABS-1	



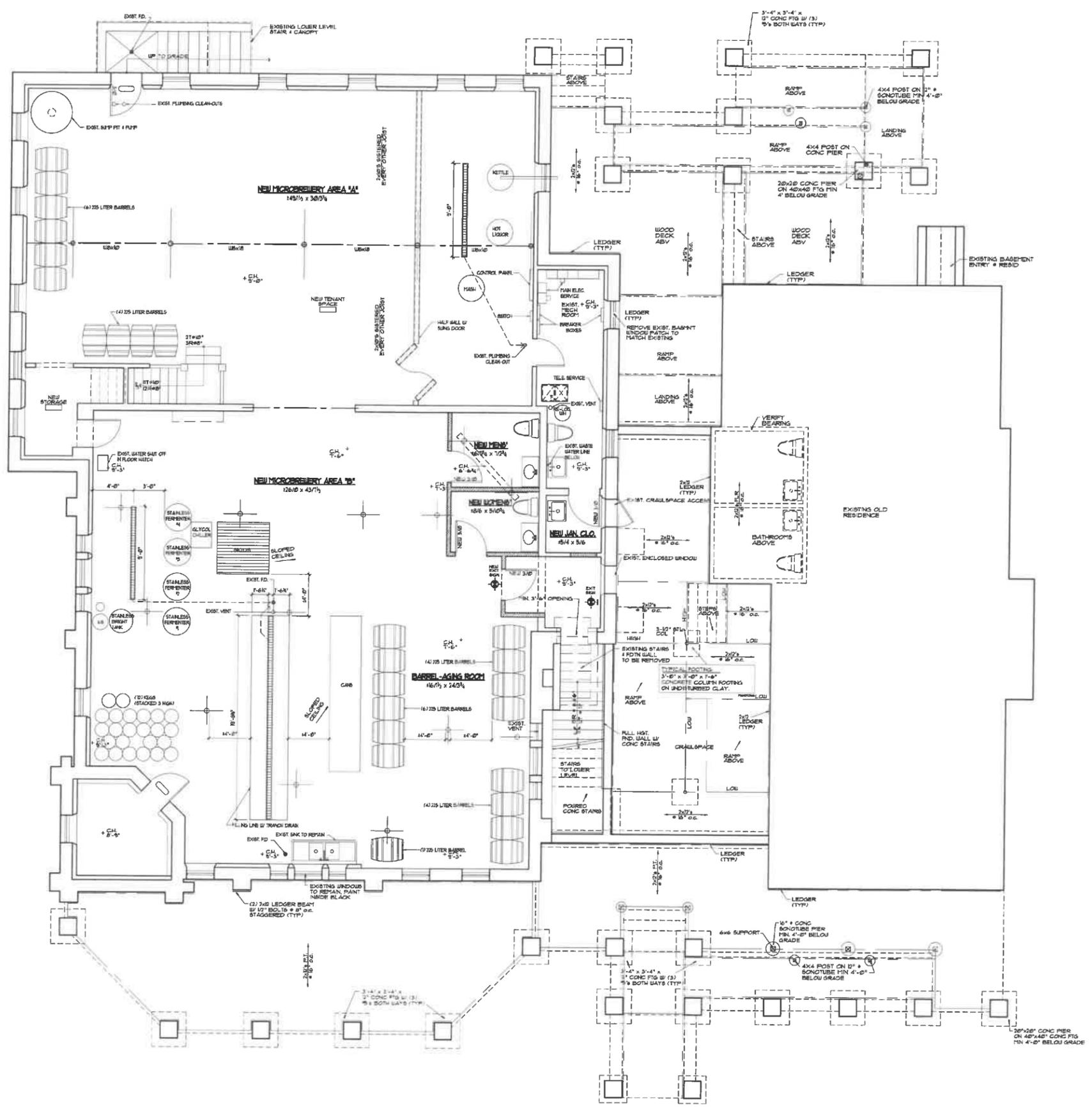
EXISTING / DEMO. LOWER LEVEL PLAN  
SCALE 1/4" = 1'-0"

**McCormack + Eiten / Architects**, LLP  
 401 E. Street  
 Lake Geneva, WI 53147  
 PH: (262) 246-0000  
 CONTACT: mcm@mcetn.com  
 WWW: mcm.com

ADDITIONS AND ALTERATIONS TO THE  
**GENEVA STREET VILLAGE**  
 171 GENEVA STREET  
 LAKE GENEVA, WISCONSIN 53147

REVISIONS	
■	PRELIMINARY
□	SCHEMATIC
□	PERM
□	CONSTRUCTION
DATE 01.15.15	
SHEET AB-1	
OF	





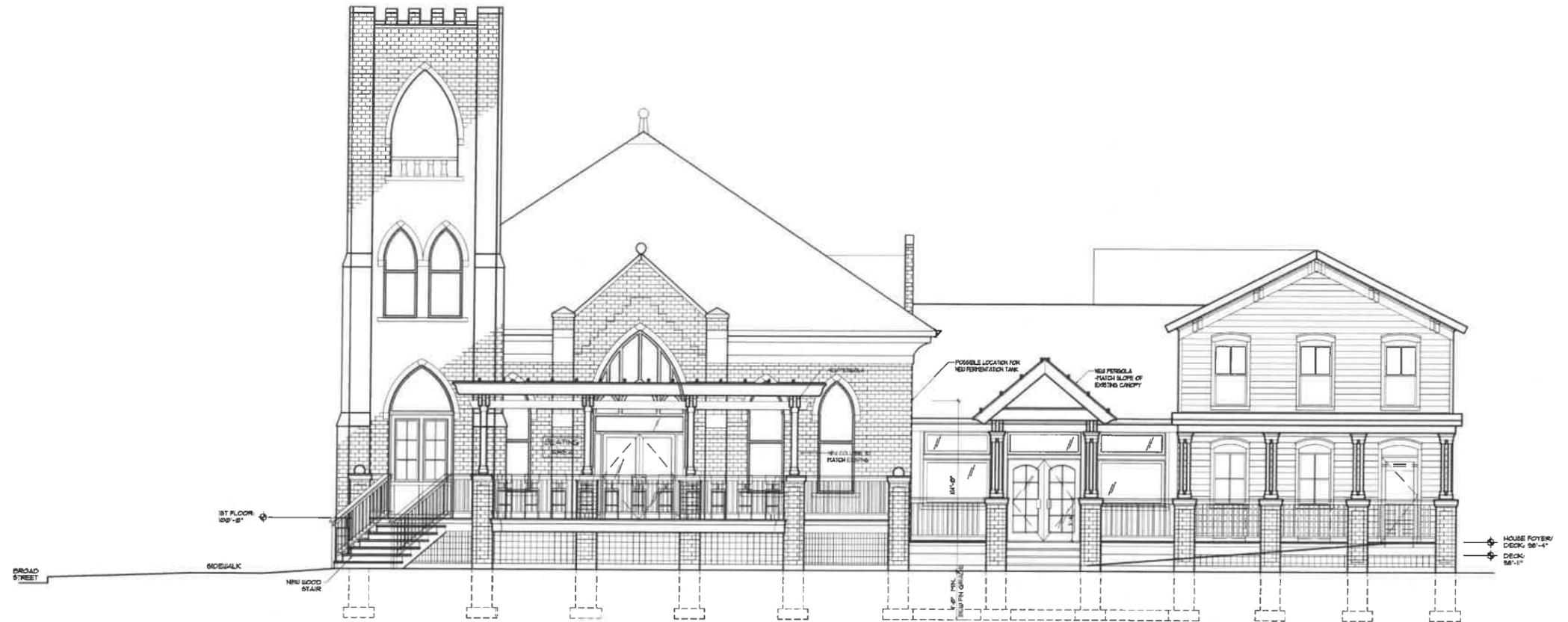
ADDITIONS AND ALTERATIONS TO THE  
**GENEVA STREET VILLAGE**  
 701 GENEVA STREET  
 LAKE GENEVA, WISCONSIN 53147

PROJECT NO. 18-02

REVISIONS	
■	PRELIMINARY
□	REVISION
□	APPROVAL
□	FOR
□	CONSTRUCTION
DATE 01.15.15	
SHEET	
A-1	

**PROPOSED LOWER LEVEL PLAN**  
 SCALE: 1/8" = 1'-0"





PROPOSED SOUTH ELEVATION (GENEVA STREET)  
SCALE: 1/16" = 1'-0"



PROPOSED WEST ELEVATION (BROAD STREET)  
SCALE: 1/16" = 1'-0"

**E. SIGNAGE, LANDSCAPING &  
LIGHTING**



SIGNAGE EXISTS  
ON BOTH SIDES  
OF BELL TOWER

PROPOSED SOUTH ELEVATION (GENEVA STREET)

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: January 21, 2019

Agenda Item: 10

Applicant:

Oakfire Properties LLC.  
831 Wrigley Dr.  
Lake Geneva, WI 53147

Request:

Oakfire to Amend Precise Implementation Plan (PIP) to allow for the 2<sup>nd</sup> floor Roof system and temporary window installation  
Tax Key No. ZOP00340

Description:

The applicant is submitting to amend the Precise Implementation Plan (PIP) to locate a second floor roof structure on the exterior deck area and install temporary windows to assist with customer comfort.

The change will require the recommendation for or against the amendment on a site plan review.

The proposed request does not require additional parking spaces.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including Precise Implementation Plan (PIP) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the land use category for the subject property. This category allows for neighborhood-scale mixed use development. The proposed PIP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the Planned Development (PD), the current zoning of the property, provides that comparison zoning district. The project is requesting the following:

As no other changes are proposed to the site that would change existing conditions, no other flexibilities are requested.

Approved Land Uses:

The PIP enables the following land uses as permitted:

- Planned Development (PD)

Zoning Map Amendment / PIP - Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / PIP

As part of the consideration of a requested Planned Development / Precise Implementation Plan (PIP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to PIP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the PIP for Recommendation to Common Council:

A proposed PIP must be reviewed by the standards for all Zoning Map Amendments, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.

1. The proposed PIP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
  - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
  - b. A mistake was made in mapping on the Official Zoning Map;
  - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
  - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
3. The proposed PIP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:

1. The proposed PIP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:

- a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
  - b. A mistake was made in mapping on the Official Zoning Map;
  - c. Factors have changed, making the subject property more appropriate for the proposed PIP zoning;
  - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
3. The proposed PIP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the Precise Implementation Plan (PIP):

1. Staff recommends that the Plan Commission recommend *approval* of the Precise Implementation Plan (PIP) as submitted, all other zoning requirements have been met.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

*City of Lake Geneva*

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

831 Wrigley Dr  
Lake Geneva WI 53147

Name and Address of Current Owner:

David Scotney (Oakfire)  
1551 Orchard Lane Lake Geneva WI 53147

Telephone No. with area code & Email of Current Owner: 312-451-1494

Name and Address of Applicant:

\_\_\_\_\_

Telephone No. with area code & Email of Current Owner: 312-451-1494

Proposed Use:

Replacing Vinyl Roof Cover With Tuffex  
Roofing product to be permanently attached to  
pergola. Permanent attachment of Roll down Curtains

Zoning District in which land is located: \_\_\_\_\_

Names and Addresses of architect, professional engineer and contractor of project:

Pete Juergens  
Geneva Bay Construction

Short statement describing activities to take place on site:

Replacing vinyl roof cover with Tuffex  
roofing product to be permanently attached  
to pergola. Permanently attach roll down  
curtains to pergola

PIP Amendment fee \$400.00, payable upon filing application.

Paid 12/28/18

12/26/18  
Date

[Signature]  
Signature of Applicant

**APPLICATION SUBMITTAL REQUIREMENTS**  
**PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)**

Prior to submitting the 20 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓  
*Draft Final Packet (1 Copy to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

\_\_\_\_  A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

\_\_\_\_  (1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

\_\_\_\_  (2) **A map of the subject property** for which the PD is proposed:

\_\_\_\_ Showing all lands within 300 feet of the boundaries of the subject property;

\_\_\_\_ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

\_\_\_\_ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

\_\_\_\_ Map and all its parts clearly reproducible with a photocopier;

\_\_\_\_ Map size of 11" by 17" and map scale not less than one inch equals 800 feet;

\_\_\_\_ All lot dimensions of the subject property provided;

\_\_\_\_ Graphic scale and north arrow provided.

\_\_\_\_  (3) **A general written description** of proposed PIP including:

\_\_\_\_ Specific project themes and images;

\_\_\_\_ The specific mix of dwelling unit types and/or land uses;

\_\_\_\_ Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

\_\_\_\_ The specific treatment of natural features;

\_\_\_\_ The specific relationship to nearby properties and public streets.

\_\_\_\_ A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.

\_\_\_\_ A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall

be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

✓  
(4) **A Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*

- \_\_\_\_\_ A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;
- \_\_\_\_\_ Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;
- \_\_\_\_\_ Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
- \_\_\_\_\_ Notations relating the written information (3), above to specific areas on the GDP Drawing.

✓  
(5) **A Property Site Plan drawing which includes:**

- \_\_\_\_\_ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- \_\_\_\_\_ The date of the original plan and the latest date of revision to the plan;
- \_\_\_\_\_ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- \_\_\_\_\_ A reduction of the drawing at 11" x 17";
- \_\_\_\_\_ A legal description of the subject property;
- \_\_\_\_\_ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- \_\_\_\_\_ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- \_\_\_\_\_ All required building setback lines;
- \_\_\_\_\_ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- \_\_\_\_\_ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- \_\_\_\_\_ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

- The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- The location of all outdoor storage areas and the design of all screening devices;
- The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property – including the clear demonstration of compliance with Section 98-707;
- All engineering requirements for utilities, site designs, etc;
- The location and type of any permanently protected green space areas;
- The location of existing and proposed drainage facilities for storm water;
- In the legend, data for the subject property on:
  - Lot Area;
  - Floor Area;
  - Floor Area Ratio (b/a);
  - Impervious Surface Area;
  - Impervious Surface Ratio (d/a);
  - Building Height.

NA

(6) A landscaping plan for subject property, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.

✓

(7) A series of building elevations for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.

NA

(8) A general signage plan including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.

NA

(9) A general outline of the intended organizational structure for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.

✓

(10) A written description which demonstrates the full consistency of the proposed PIP with the approved GDP.

✓

(11) A written description of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,

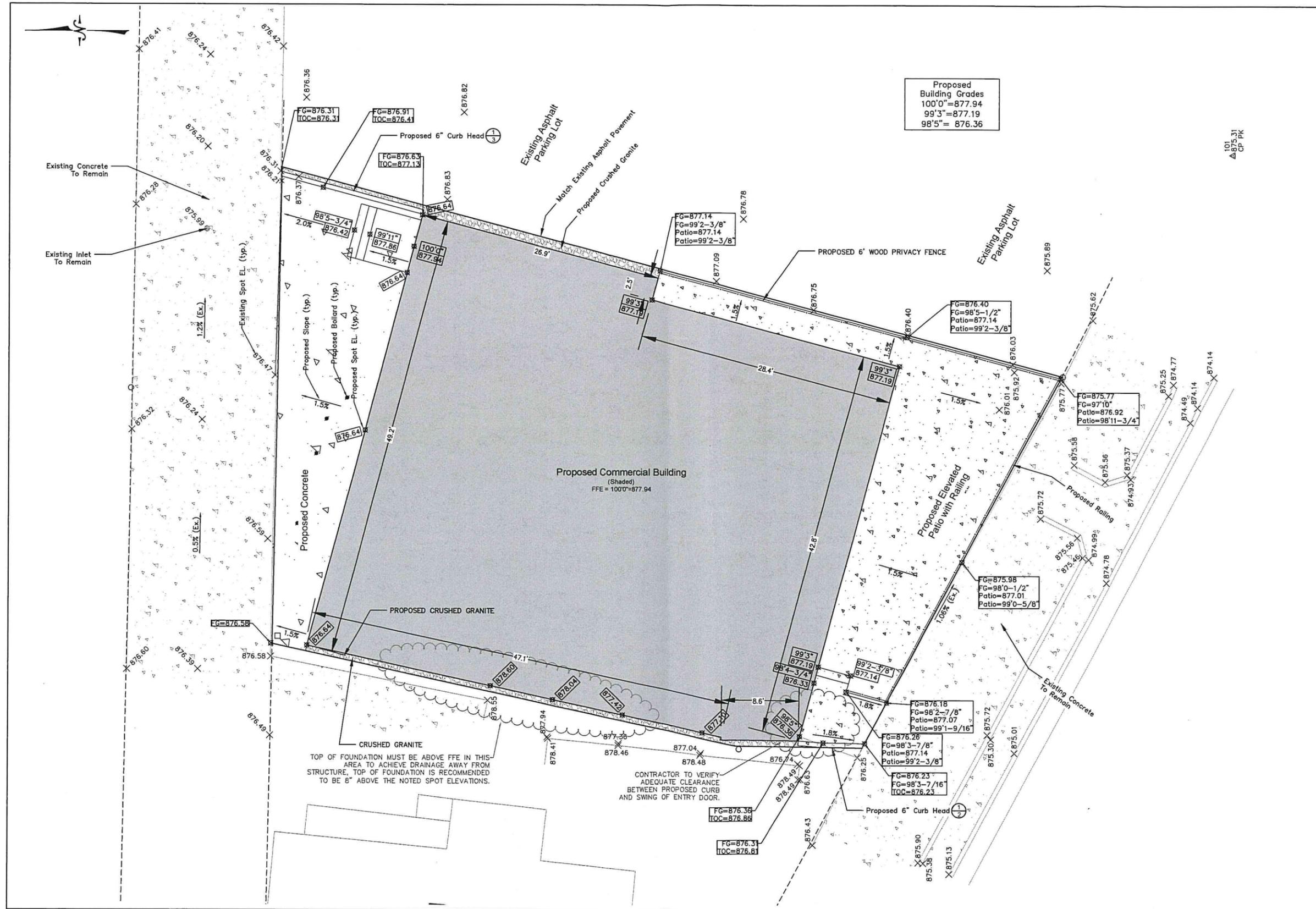
NA

(12) Proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development.

**FINAL APPLICATION PACKET INFORMATION  
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)**

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/PIP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

- \_\_\_\_ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Receipt of 20 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice sent to official newspaper by City Clerk:      Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_ Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_



Proposed Building Grades  
 100'0"=877.94  
 99'3"=877.19  
 98'5"=876.36

101  
 Δ875.31  
 CP PK

SITE IMPROVEMENT PLANS FOR  
**OAKFIRE PIZZA**  
 LAKE GENEVA, WI  
**LYNCH & ASSOCIATES**  
 ENGINEERING CONSULTANTS, LLC

SITE PLAN & GRADING PLAN	
NO.	REVISIONS
1	REVISE SITE AND GRADING PLAN PER ARCHITECTURAL REVISIONS
BY	DATE
KBM	12/22/16

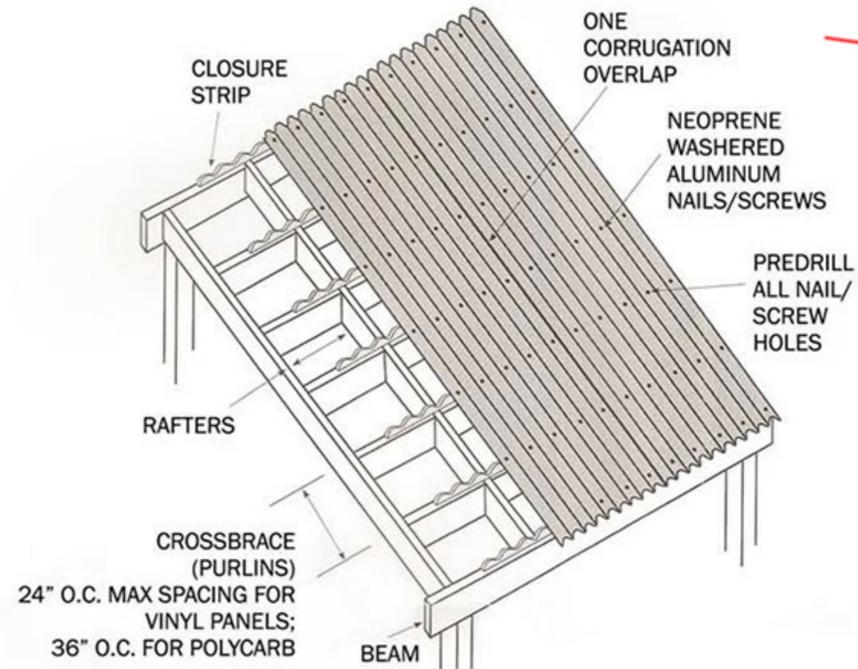
ISSUED FOR REVIEW
PLAN DATE 12.15.16
DESIGNED BY: KBM
PROJECT NO. 16-0059
SHEET NO. C300

Project: Replacing vinyl pergola covering with a permanent polycarbonate roofing product.

## TUFTEX®

Polycarbonate and Vinyl Building Panels by Onduline North America

### CANOPY FRAMING DETAIL



TUFTEX PolyCarb panels are available in:

- Clear
- **Translucent White**
- Smoke



Project: Install vinyl roll down curtains to be rolled down temporarily during incimate weather and rolled up during the summer. The roll downs will be permanently attached to the pergola using screws.



**HarborTime® Edge  
60\"/>**

Onyx  
Item # 775938



Clear Vinyl

Installation: Rolldowns will be secured to the building's pergola structure with screws along the top edge of the upper beams.



**Keller**  
PLANNERS ARCHITECTS BUILDERS

FOX CITIES  
N216 State Road 55  
P.O. Box 820  
Kaukauna, WI 54130  
PHONE (920) 766-5755  
FAX (920) 766-5004

MADISON  
711 Lois Dr.  
Sun Prairie, WI 53590  
PHONE (608) 318-2337  
FAX (608) 318-2334

MILWAUKEE  
W204 N11509  
Colts Neck Rd  
Germantown, WI 53022  
PHONE (262) 250-9710  
FAX (262) 250-9740

WAUSAU  
5605 Linc Ave  
Wausau, WI 54901  
PHONE (715) 849-3141  
FAX (715) 849-3161

www.kellerbuilds.com

- TOILET ACCESSORIES**
- M11 - 24" x 36" FRAMELESS MIRROR
  - M12 - 36" x 60" FRAMELESS MIRROR
  - GB1 - 42" GRAB BAR, BRADLEY-812
  - GB2 - 36" GRAB BAR, BRADLEY-812
  - GB3 - 24" GRAB BAR, BRADLEY-812
  - PT1 - PAPER TOWEL DISPENSER - OFCI
  - TP1 - MOUNT SO OPERABLE HEIGHT IS MAX. 48" AFF
  - SD1 - TOILET PAPER DISPENSER - OFCI
  - SD1 - SOAP DISPENSER - OFCI

NOTE: PROVIDE WOOD BLOCKING IN PARTITIONS AT ALL TOILET ACCESSORIES. GRAB BARS SHALL RESIST CONCENTRATED LOAD OF 250 LBS AT ANY POINT.

**C5 TOILET ACCESSORY LEGEND**

**CONSTRUCTION GENERAL NOTES**

1. 1ST & 2ND FLOOR FOOD SERVICE EQUIPMENT & SEATING DESIGNED BY OTHERS.
2. NORTH, EAST & WEST EXTERIOR WALLS ARE 1-HOUR RATED (UL# V478). ALL PENETRATIONS SHALL BE FIRE SEALED, INCLUDING BUT NOT LIMITED TO, STRUCTURAL STEEL, JOISTS, PIPES, CONDUITS & JUNCTION BOXES TO COMPLY WITH IBC 713.3.2.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE.
4. PLUMBING, HVAC AND ELECTRICAL DESIGN BUILD CONTRACTORS SHALL BE RESPONSIBLE FOR THE DESIGN OF THEIR SYSTEMS, COORDINATION WITH OTHER TRADES. THE CONTRACT DOCUMENTS INDICATE THE INTENT OF THE PLUMBING, HVAC AND ELECTRICAL WORK DIAGRAMMATICALLY. ALL CONTRACTORS AND/OR SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH THE GENERAL CONTRACTOR. THE VARIOUS CONTRACTORS / SUBCONTRACTORS SHALL ROUTE AND/OR OFFSET THEIR WORK TO AVOID CONFLICTS WHICH MAY APPEAR IN THE CONTRACT DOCUMENTS OR BECAUSE OF JOB CONDITIONS. THIS ROUTING AND/OR OFFSETTING SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER. WORK SHALL BE APPROVED BY OWNER AND ARCHITECT.
5. [A]-SYMBOL INDICATES WALL TYPE. SEE SHEET 501 FOR WALL TYPE DETAILS.
6. PROVIDE PORTABLE FIRE EXTINGUISHERS PER NFPA AND IBC CODE REQUIREMENTS AS SHOWN ON PLAN
7. ALL DRYWALL PARTITIONS SHALL BE TYPE 4, UNLESS NOTED OTHERWISE
8. FIELD VERIFY EXACT LOCATION OF ALL FLOOR DRAINS & HUB DRAINS
9. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED ARCHITECTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING, BUT NOT LIMITED TO BRACING AND SHORING. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT AND/OR THE ARCHITECT'S REPRESENTATIVE(S) SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES. SOIL BORINGS & GEOTECHNICAL REPORT ARE AVAILABLE FROM PSI, REPORT# 00521747, DATED DECEMBER 20, 2016

**FLOOR PLAN KEY NOTES:**

- 1 PAINT INTERIOR COLUMNS WITH 1 HR INTUMESCENT PAINT UL# X642 OR X673 (CARBOLINE FIREFILM III OR EQUAL)
- 2 PROVIDE 2"x2"x4'-0" HIGH SURFACE CORNER GUARDS MOUNTED ABOVE BASE
- 3 PUSH PLATE LOCATION FOR AUTO DOOR OPERATOR

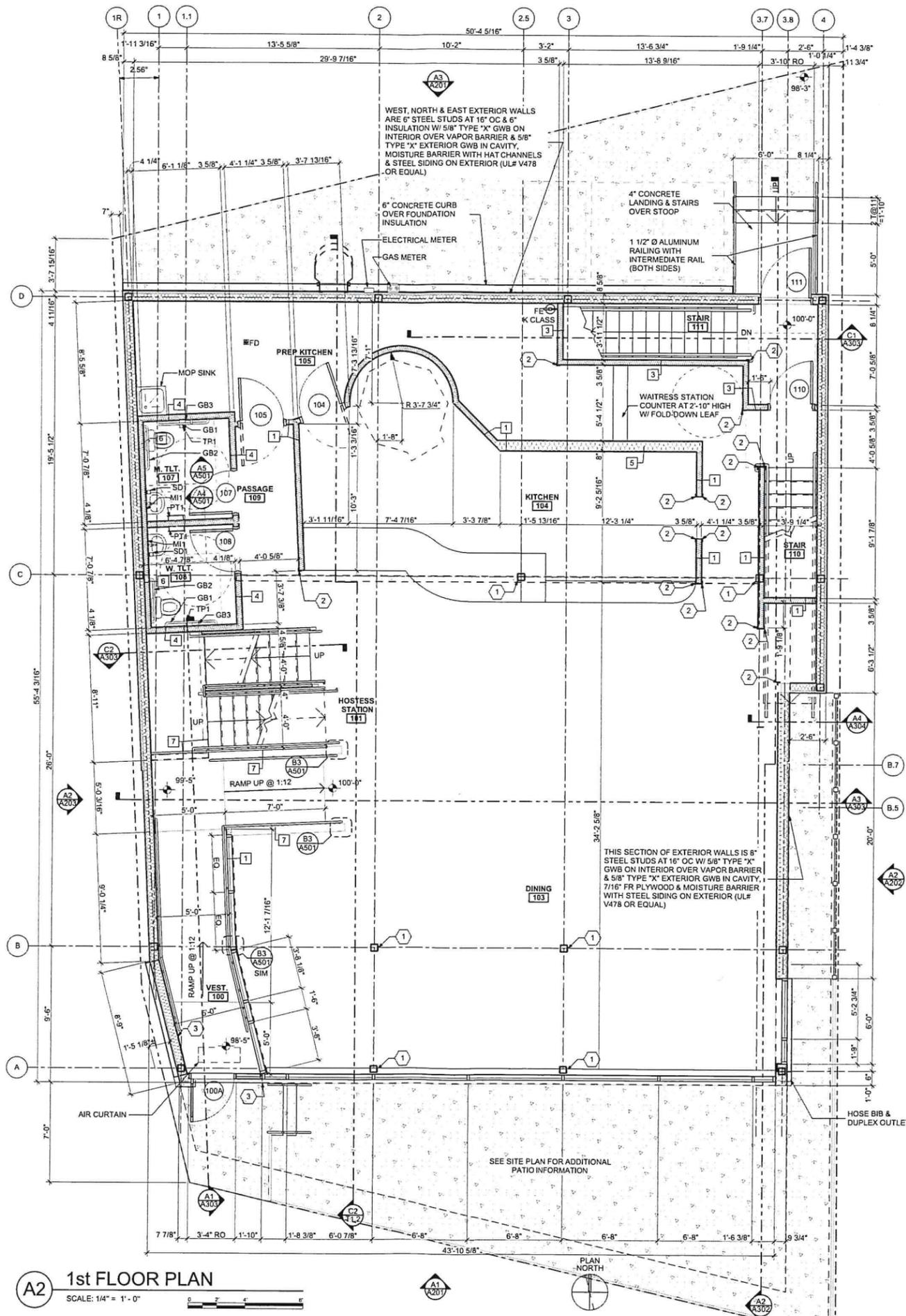
REVISIONS


PROJECT MANAGER: Nathan Laurent  
DESIGNER: Chris Manske  
DRAWN BY: B.J.L.  
EXPEDITOR: Shawn Timm  
SUPERVISOR: Doug Craker

PRELIMINARY NO:  
CONTRACT NO: 62555

DATE: Issue Date: 12/23/2016

SHEET: **A102**



**A2 1st FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**A5 GENERAL & KEYNOTES**

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WI

OAKFIRE LLC

LAKE GENEVA

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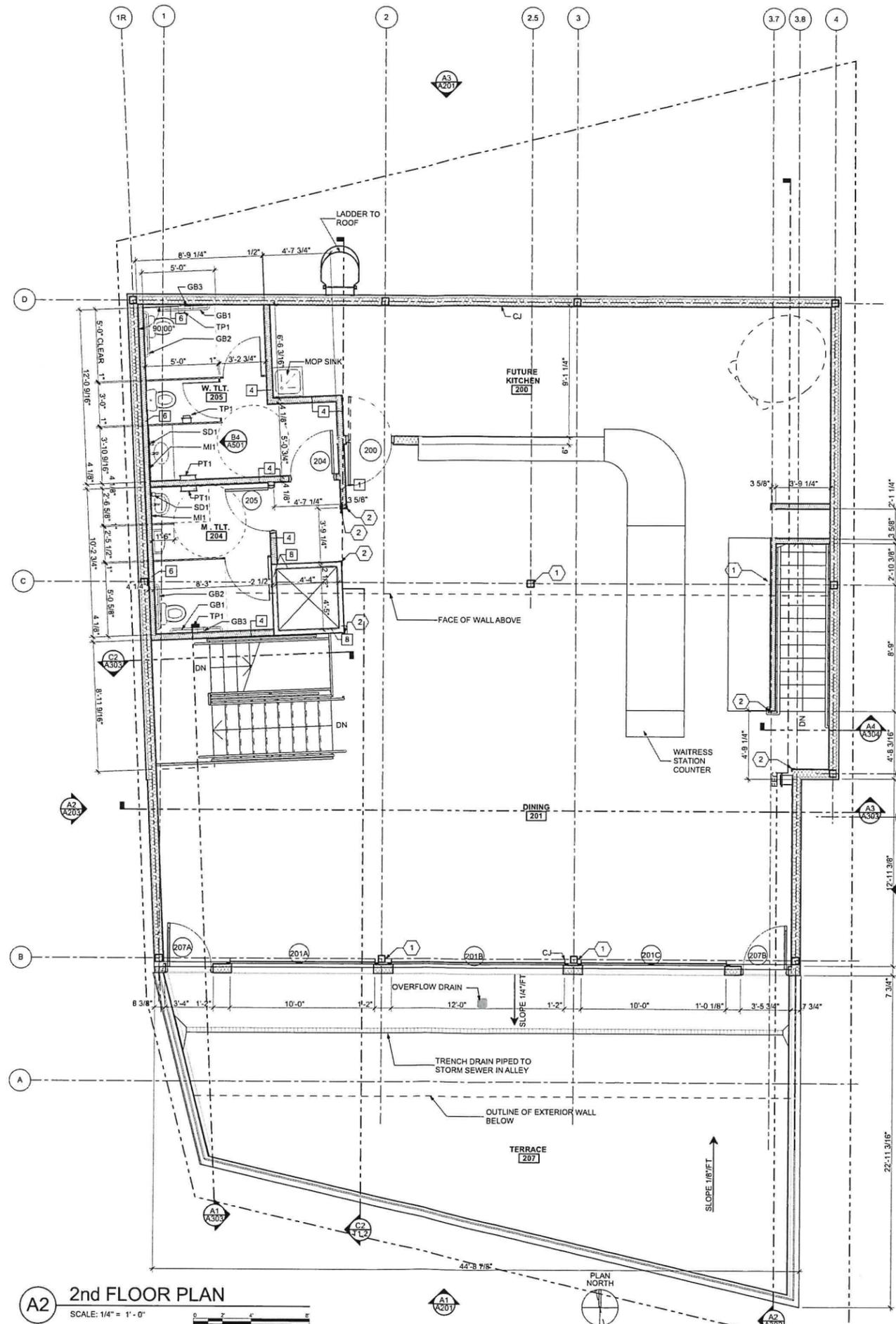
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FAX (262) 250-9740

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**A2** 2nd FLOOR PLAN  
SCALE: 1/4" = 1'-0"

- CONSTRUCTION GENERAL NOTES**
- 1ST & 2ND FLOOR FOOD SERVICE EQUIPMENT & SEATING DESIGNED BY OTHERS.
  - NORTH, EAST & WEST EXTERIOR WALLS ARE 1-HOUR RATED (UL# V478). ALL PENETRATIONS SHALL BE FIRE SEALED, INCLUDING BUT NOT LIMITED TO, STRUCTURAL STEEL JOISTS, PIPES, CONDUITS & JUNCTION BOXES TO COMPLY WITH IBC 713.3.2.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE.
  - PLUMBING, HVAC AND ELECTRICAL DESIGN BUILD CONTRACTORS SHALL BE RESPONSIBLE FOR THE DESIGN OF THEIR SYSTEMS, COORDINATION WITH OTHER TRADES. THE CONTRACT DOCUMENTS INDICATE THE INTENT OF THE PLUMBING, HVAC AND ELECTRICAL WORK DIAGRAMMATICALLY. ALL CONTRACTORS AND/OR SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH THE GENERAL CONTRACTOR. THE VARIOUS CONTRACTORS / SUBCONTRACTORS SHALL ROUTE AND/OR OFFSET THEIR WORK TO AVOID CONFLICTS WHICH MAY APPEAR IN THE CONTRACT DOCUMENTS OR BECAUSE OF JOB CONDITIONS. THIS REROUTING AND/OR OFFSETTING SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER. WORK SHALL BE APPROVED BY OWNER AND ARCHITECT.
  - # - SYMBOL INDICATES WALL TYPE. SEE SHEET 501 FOR WALL TYPE DETAILS.
  - PROVIDE PORTABLE FIRE EXTINGUISHERS PER NFPA AND IBC CODE REQUIREMENTS AS SHOWN ON PLAN
  - ALL DRYWALL PARTITIONS SHALL BE TYPE 4, UNLESS NOTED OTHERWISE
  - FIELD VERIFY EXACT LOCATION OF ALL FLOOR DRAINS & HUB DRAINS
  - THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED ARCHITECTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING, BUT NOT LIMITED TO BRACING AND SHORING. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT AND/OR THE ARCHITECT'S REPRESENTATIVE(S) SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES. SOIL BORINGS & GEOTECHNICAL REPORT ARE AVAILABLE FROM PSI, REPORT# 00521747, DATED DECEMBER 20, 2016

- FLOOR PLAN KEY NOTES:**
- 1 PAINT INTERIOR COLUMNS WITH 1 HR INTUMESCENT PAINT UL# X642 OR X673 (CARBOLINE FIREFILM III OR EQUAL)
  - 2 PROVIDE 2"x2"x4'-0" HIGH SURFACE CORNER GUARDS MOUNTED ABOVE BASE
  - 3 PUSH PLATE LOCATION FOR AUTO DOOR OPERATOR

**A5** GENERAL & KEYNOTES

Proposed New Facility for:  
**OAKFIRE LLC**  
 LAKE GENEVA

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**REVISIONS**

NO.	DESCRIPTION

**PROJECT MANAGER:** Nathan Laurent  
**DESIGNER:** Chris Mansko  
**DRAWN BY:** B.J.L.  
**EXPEDITOR:** Shawn Timm  
**SUPERVISOR:** Doug Craker

**PRELIMINARY NO.:** \_\_\_\_\_  
**CONTRACT NO.:** 62555  
**DATE:** Issue Date: 12/23/2016  
**SHEET:** **A103**

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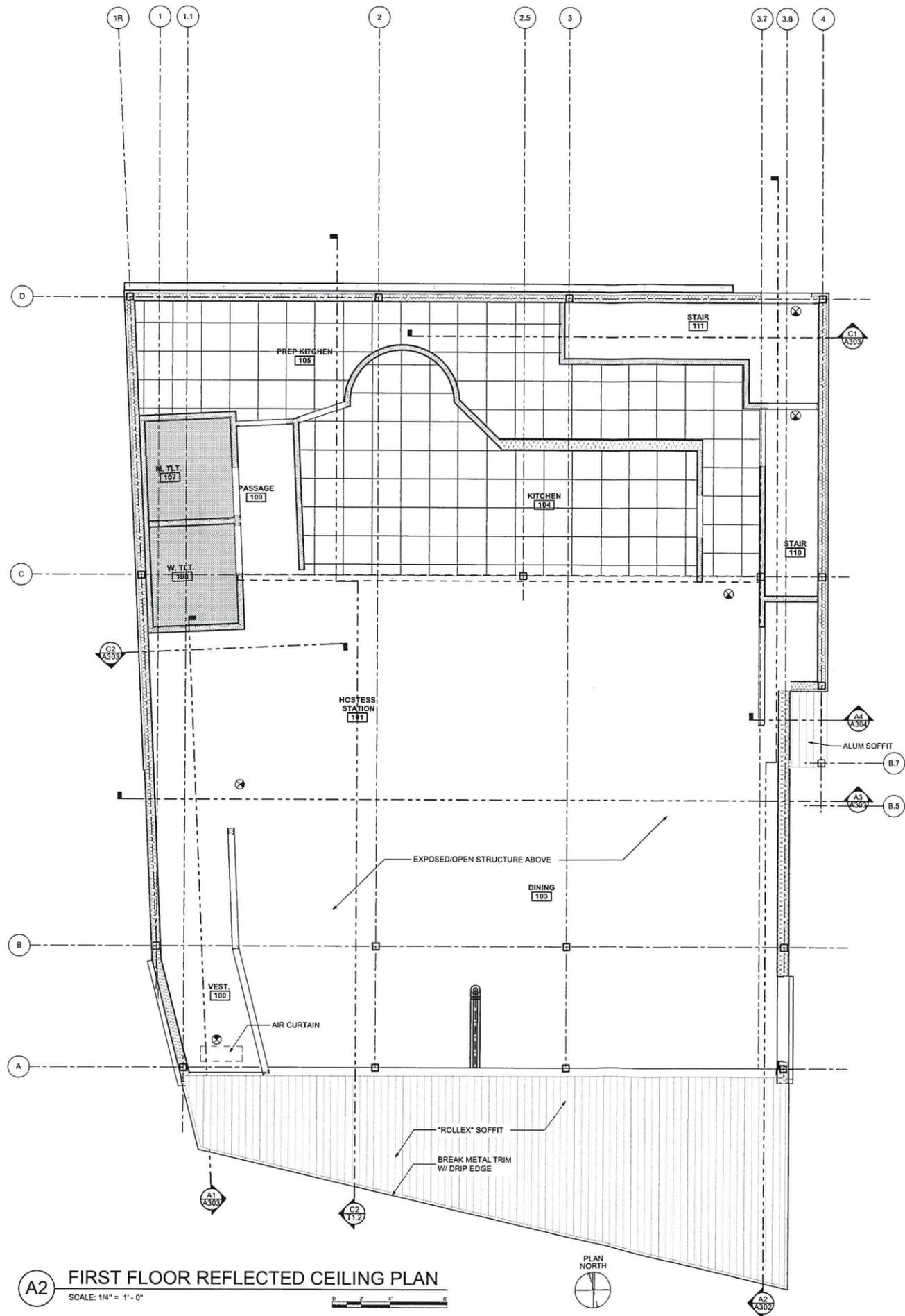
**FOX CITIES**  
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**A2** FIRST FLOOR REFLECTED CEILING PLAN  
 SCALE: 1/4" = 1' - 0"

**REFLECTED CEILING GENERAL NOTES**  
 1. ELECTRICAL DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR LIGHTING DESIGN, EGRESS & EXIT LIGHTING DESIGN, COMPLIANCE WITH CODE REQUIREMENTS AND SUBMITTAL (IF REQUIRED) TO AUTHORITY HAVING JURISDICTION.

**A4** CEILING PLAN NOTES

Proposed New Facility for:

**OAKFIRE LLC**

LAKE GENEVA

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REVISIONS


PROJECT MANAGER: Nathan Laurent  
 DESIGNER: Chris Manske  
 DRAWN BY: BJL  
 EXPEDITOR: Shawn Timm  
 SUPERVISOR: Doug Craker

PRELIMINARY NO:  
 CONTRACT NO: 62555  
 DATE: Issue Date: 12/23/2016  
 SHEET:

**A106**

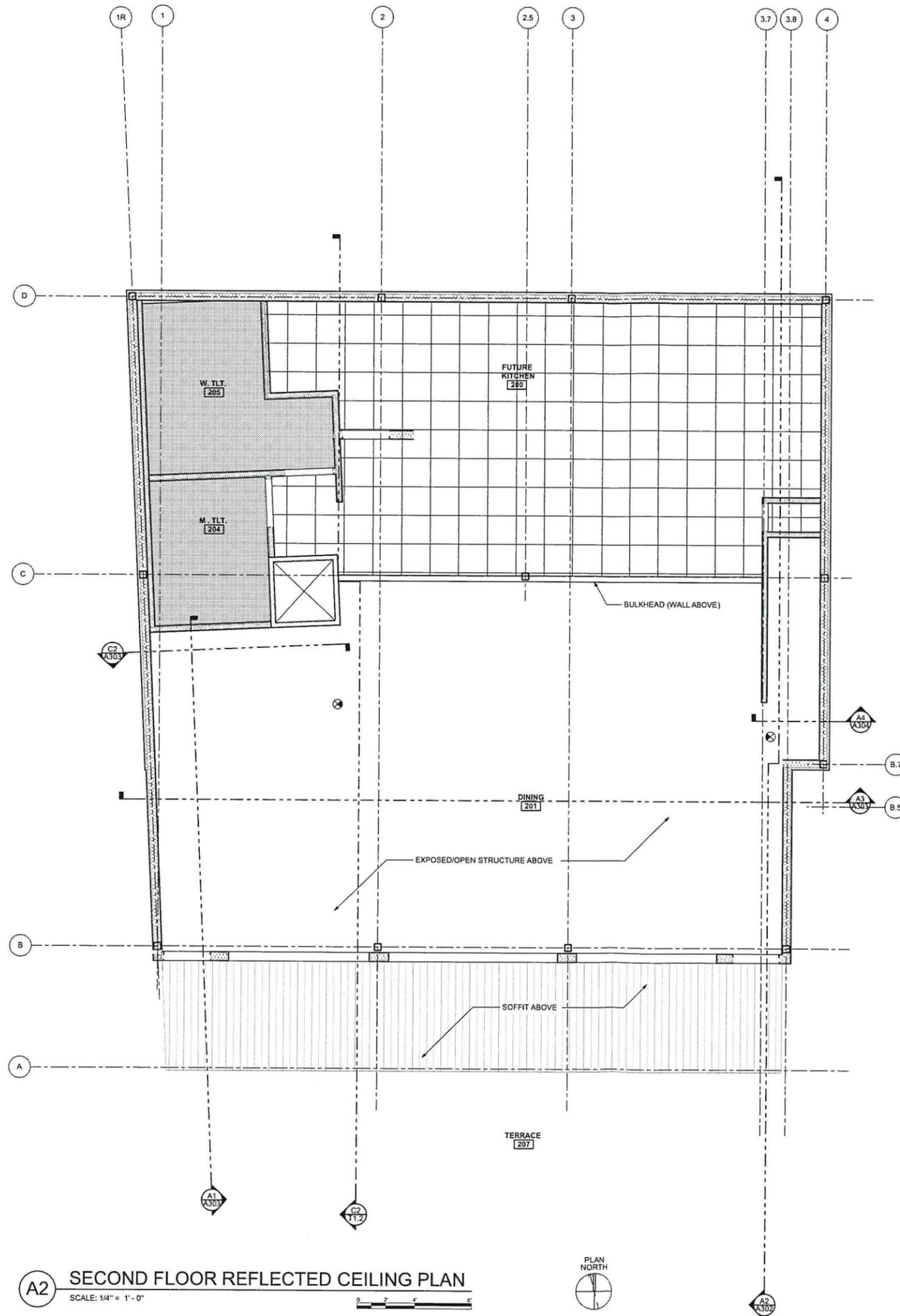
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**A2 SECOND FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

**A4 CEILING PLAN NOTES**

- REFLECTED CEILING GENERAL NOTES**
- ELECTRICAL DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR LIGHTING DESIGN, EGRESS & EXIT LIGHTING DESIGN, COMPLIANCE WITH CODE REQUIREMENTS AND SUBMITTAL (IF REQUIRED) TO AUTHORITY HAVING JURISDICTION.

Proposed New Facility for:

**OAKFIRE LLC**

LAKE GENEVA

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REVISIONS


PROJECT MANAGER: Nathan Laurent  
DESIGNER: Chris Manske  
DRAWN BY: B.J.L.  
EXPEDITOR: Shawn Timm  
SUPERVISOR: Doug Craker

PRELIMINARY NO: \_\_\_\_\_  
CONTRACT NO: 62555  
DATE: \_\_\_\_\_  
Issue Date: 12/23/2016

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**A107**



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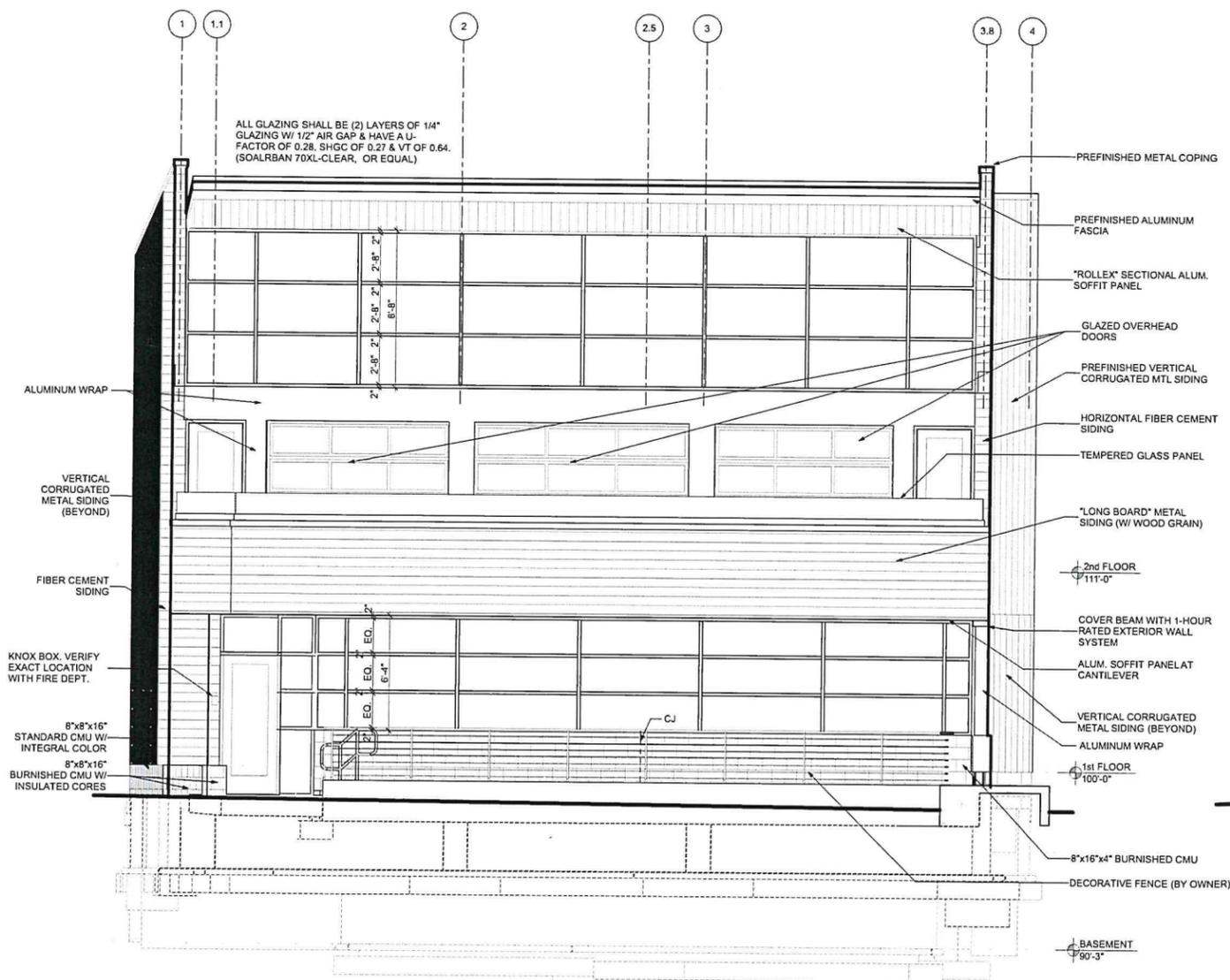
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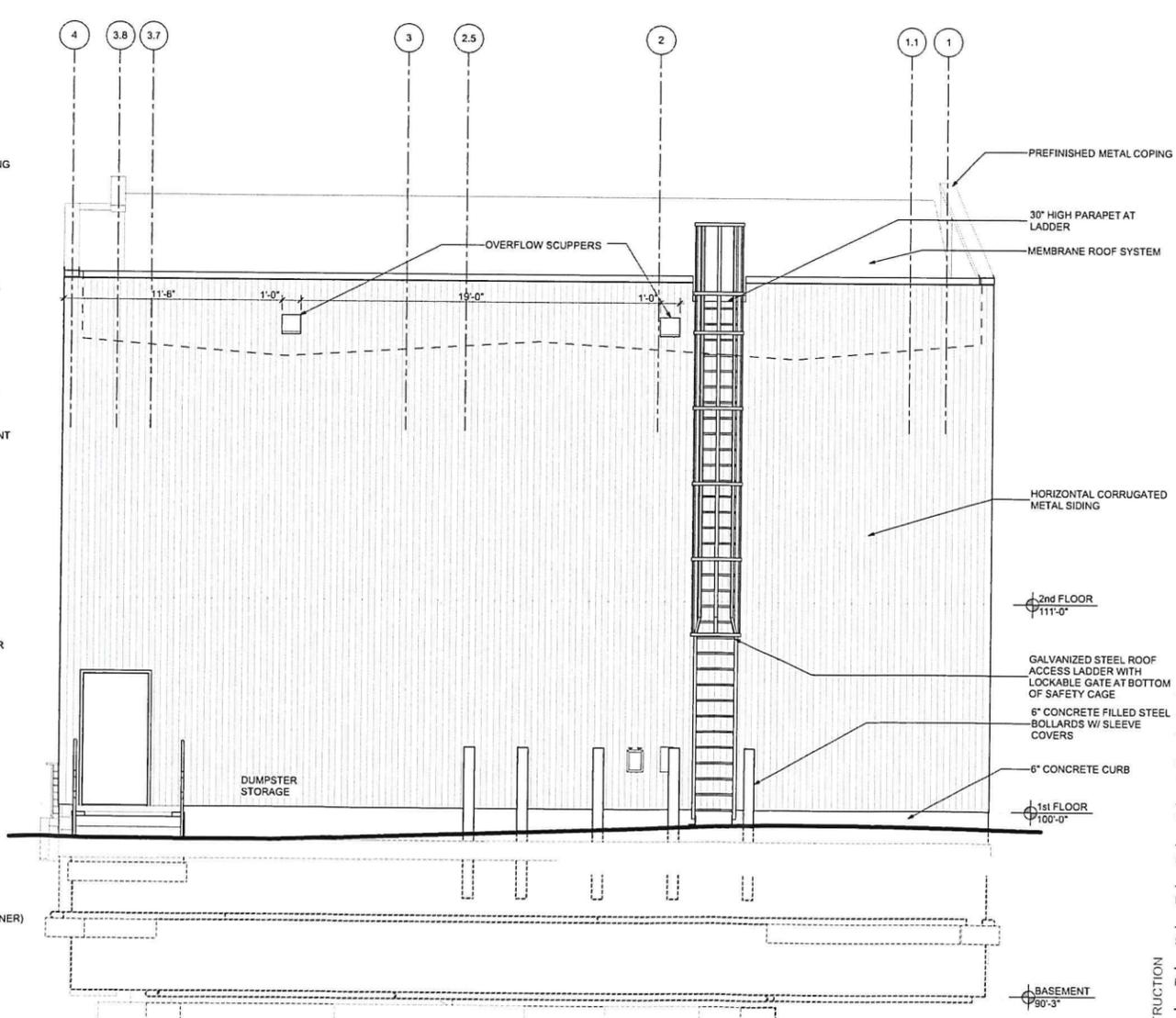
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1-800-236-2534  
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WI



**A1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**A3 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**OAKFIRE LLC**  
LAKE GENEVA

Proposed New Facility for:

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REVISIONS


PROJECT MANAGER: Nathan Laurent  
DESIGNER: Chris Manske  
DRAWN BY: BJL  
EXPEDITOR: Shawn Timm  
SUPERVISOR: Doug Craker  
PRELIMINARY NO:  
CONTRACT NO: 62555  
DATE: Issue Date: 12/23/2016  
SHEET: **A201**

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<p><b>MILWAUKEE</b> W204 N11529 Gokensale Rd Germantown, WI 53022 PHONE (262) 250-9710 1-800-236-2534 FAX (262) 250-9740</p>	<p><b>WAUSAU</b> 5605 Linc Ave Wausau, WI 54401 PHONE (715) 849-3141 FAX (715) 849-3181</p>

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LAKE GENEVA

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REVISIONS


PROJECT MANAGER:

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Chris Manske

DRAWN BY:

BJL

EXPEDITOR:

Shawn Timm

SUPERVISOR:

Doug Craker

PRELIMINARY NO:

CONTRACT NO:

62555

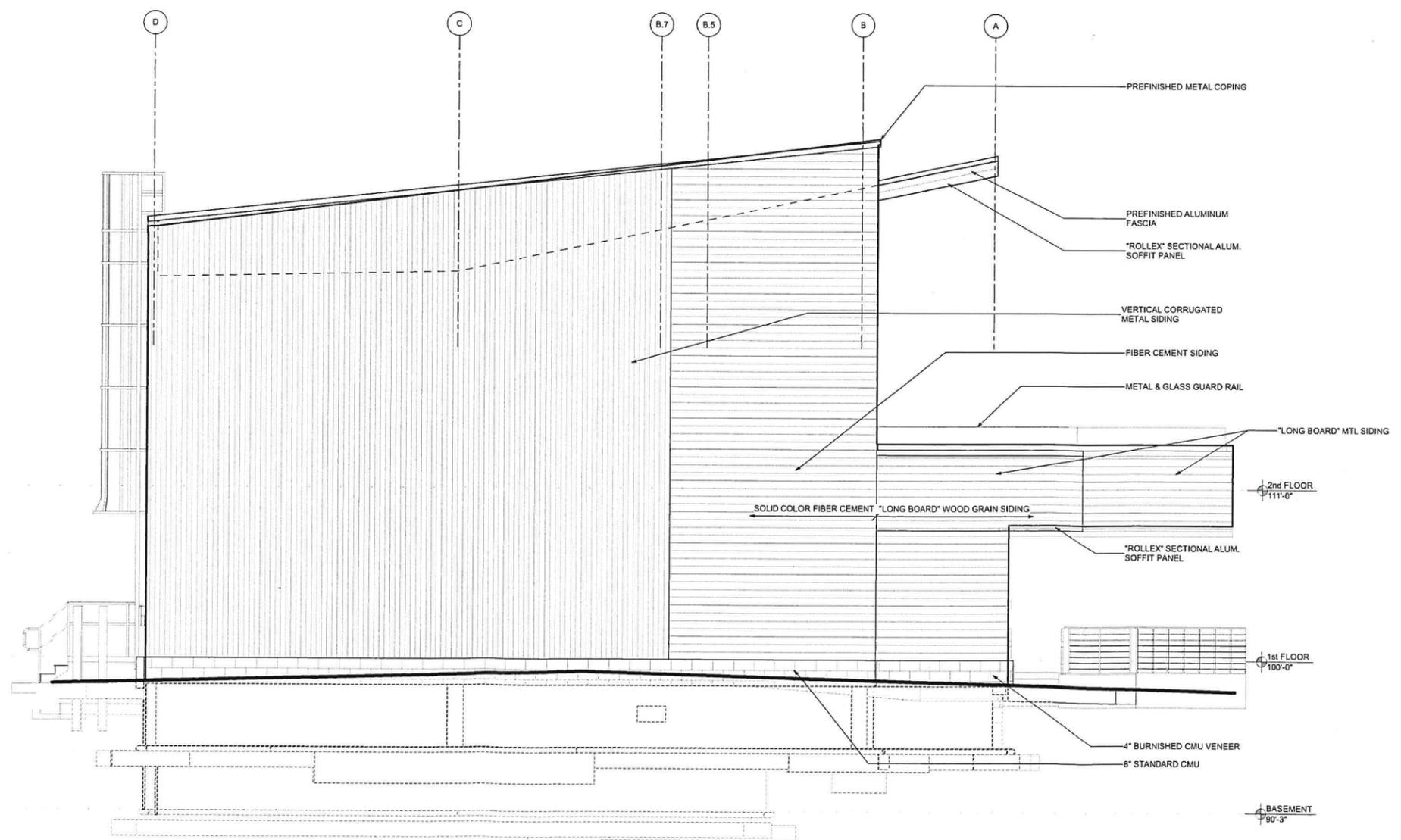
DATE:

Issue Date: 12/23/2016

SHEET:

**A203**

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**A2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"  
0 2 4 6

**EXTERIOR WALL SYSTEM:**

**FIRE-RESISTANCE DESIGN**

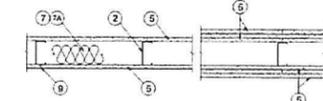
Assemblies, Usage Diagrams

**BXUV - Fire Resistance Ratings - ANSIUL 263**  
**BXUV7 - Fire Resistance Ratings - CANULC-S101 Certified for Canada**

See General Information for Fire Resistance Ratings - ANSIUL 263  
 See General Information for Fire Resistance Ratings - CANULC-S101 Certified for Canada

**Design No. V478**  
**Bearing Wall Ratings - 3H, 1-1/2 or 2 Hr (See Items 5 & 7)**

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



**1 Fiber and Ceiling Runners** — (Not Shown) — Channel shaped fabricated from min 0.020 in. bare metal thickness (No. 20 MSG) corrosion protected steel that provide a sound structural connection between steel studs and adjacent assemblies such as floors, ceilings and/or other walls. Attached to floor and ceiling assemblies with steel fasteners spaced not greater than 24 in. OC.

**2 Steel Studs** — Max 0.020 in. bare metal thickness (No. 20 MSG) corrosion protected steel studs, min 3-1/2 in. wide, cold formed, designed in accordance with the current edition of the Specification for the Design of Cold-Formed Steel Structural Members by the American Iron and Steel Institute (AISI). All design details enhancing the structural integrity of the wall assembly, including the axial design load of the studs, shall be as specified by the steel stud designer and/or producer, and shall meet the requirements of all applicable local code agencies. The max stud spacing shall not exceed 24 in. OC. Studs attached to floor and ceiling runners with 1/2 in. long Type S-12 steel screws on both sides of the studs or by welded or bolted connections designed in accordance with the AISI specifications.

**3A Steel Studs** — (As an alternate to Item 2) For use with Item 5A, 5B, and 5C — Channel shaped fabricated from min 20 MSG corrosion protected or galv steel, 3-1/2 in. min width, min 1-1/2 in. flanges and 1/4 in. ribs, spaced a max of 16 in. OC. Studs bottom fit into floor and ceiling runners.

**3 Lateral Support Members** — (Not Shown) — Where required for lateral support of studs, support shall be provided by means of steel struts, channels or other similar means as specified in the design of a particular steel stud wall system.

**4 Wood Structural Panel Sheathing** — (Optional) For use with Item 2 only — (Not Shown) — 1/2 in. thick exterior grade board (OSB, 1/2 in. thick structural 1 sheathing) complying with DOW DFW or PSC or APA Standard (SPR-100) manufactured with end grain applied vertically to the steel studs. Vertical joints staggered on studs, and staggered one stud space from wallboard joints. Attached to studs with fast head self-drilling tapping screws, 1/4 in. min. Thread diam of 0.202 in. at maximum 6 in. OC, perpendicular and 12 in. OC in the field. When used, gypsum panels attached over OSB or plywood sheathing and fastener lengths for gypsum panels increased by min. 1/2 in. The minimum loading on the steel studs was evaluated with threaded rods braced at mid-height and not braced by the plywood sheathing.

**5 Gypsum Board** — Gypsum panels with beveled, square or tapered edges, applied vertically or horizontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Vertical joints in adjacent layers (multi-layer systems) staggered one stud cavity. Horizontal joints need not be backed by steel framing. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered when load is reduced to 80 percent of max stud capacity. When load is at 100 percent, horizontal edge joints and horizontal butt joints on opposite sides of studs staggered a min of 12 in. Horizontal edge joints and horizontal butt joints in adjacent layers (multi-layer systems) staggered a min of 12 in. When used in widths other than 48 in., panels to be installed horizontally. The thickness and number of layers and percent of design load for the 45 min., 1-1/2 hr, and 2 hr ratings are as follows.

Rating	No. of Layers & Thins of Panel	% of Design Load
1 hr	1 layer, 5/8 in. thick	100
1-1/2 hr	2 layers, 5/8 in. thick	80
2 hr	2 layers, 5/8 in. thick	100
2 hr @	2 layers, 5/8 in. thick	100

(\*) Rating applicable when Batts and Blankets (Item 7) are used

**UNITED STATES GYPSUM CO** — Type ULX  
 5A Gypsum Board — (As an alternate to Item 5) when used as the base layer on one or both sides of wall. For direct attachment only, not to be used with Item 4) — 1/2 in. thick Type C, IP-XC, IPC-AR, or VRC, 5/8 in. thick Type AR, C, FR-AR, IP-XC, IPC-AR, ULX, USGX (Lamin tape and compound, Item 9 optional for use with Type ULX or VRC, 3/4 in. thick Types AR, IP-AR, IP-XC, ULTRACODE.

**USO BORAL ZAKWANI DRYPWALL L L C SPZ** — 1/2 in. Type C, 5/8 in. Types C, SCA ULTRACODE.

**USO MEXICO S A DE C V** — 1/2 in. thick Type C, IP-XC, IPC-AR, VRC, 5/8 in. thick Type AR, C, FR-AR, IP-XC, IPC-AR, SCA, ULX, USGX (Lamin tape and compound, Item 9 optional for use with Type ULX, VRC or VRC, 3/4 in. thick Types AR, IP-AR, IP-XC, ULTRACODE.

**5A Gypsum Board** — (As an alternate to Item 5) when used as the base layer on one or both sides of wall. For direct attachment only, not to be used with Item 4) — 1/2 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 10 ft long with a max thickness of 1/4 in., placed on the face of studs and attached to the stud with construction adhesive and led 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead back, nominal 3/8 in. diam by max 0.020 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips shall have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grade "C".

**RADIATION PROTECTION PRODUCTS INC** — Type RPP - Lead Lined Drywall

**5B Gypsum Board** — (As an alternate to Item 5) when used as the base layer on one or both sides of wall. For direct attachment only, not to be used with Item 4) — 1/2 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 10 ft long with a max thickness of 1/4 in., placed on the face of studs and attached to the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead back, nominal 3/8 in. diam by max 0.020 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips shall have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grades "A, B, C or D". Fasteners for face layer gypsum panels (Item 5) when installed over lead backed board to be min. 3/16 in. Type S-12 large lead steel screws spaced as described in Item 5.

**MAYCO INDUSTRIES INC** — "X-Ray Shielded Gypsum"

**5C Gypsum Board** — (As an alternate to Item 5) when used as the base layer on one or both sides of wall. For direct attachment only, not to be used with Item 4) — 1/2 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 10 ft long with a max thickness of 1/4 in., placed on the face of studs and attached to the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead back, nominal 3/8 in. diam by max 0.020 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips shall have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grades "A, B, C or D". Fasteners for face layer gypsum panels (Item 5) when installed over lead backed board to be min. 3/16 in. Type S-12 large lead steel screws spaced as described in Item 5.

**MAYCO INDUSTRIES INC** — "X-Ray Shielded Gypsum"

Rating	No. of Layers & Thins of Panel	% of Design Load
45 min	1 layer, 1/2 in. thick	100
1 hr	1 layer, 5/8 in. thick	100
1-1/2 hr	2 layers, 1/2 in. thick	100
2 hr	2 layers, 5/8 in. thick	80
2 hr @	2 layers, 5/8 in. thick	100
2 hr	3 layers, 1/2 in. thick	100
2 hr	2 layers, 3/4 in. thick	100

(\*) Rating applicable when Batts and Blankets (Item 7) are used

**UNITED STATES GYPSUM CO** — 1/2 in. thick Type C, IP-XC, IPC-AR, or VRC, 5/8 in. thick Type AR, C, FR-AR, IP-XC, IPC-AR, ULX, USGX (Lamin tape and compound, Item 9 optional for use with Type ULX or VRC, 3/4 in. thick Types AR, IP-AR, IP-XC, ULTRACODE.

**USO BORAL ZAKWANI DRYPWALL L L C SPZ** — 1/2 in. Type C, 5/8 in. Types C, SCA ULTRACODE.

**USO MEXICO S A DE C V** — 1/2 in. thick Type C, IP-XC, IPC-AR, VRC, 5/8 in. thick Type AR, C, FR-AR, IP-XC, IPC-AR, SCA, ULX, USGX (Lamin tape and compound, Item 9 optional for use with Type ULX, VRC or VRC, 3/4 in. thick Types AR, IP-AR, IP-XC, ULTRACODE.

**5A Gypsum Board** — (As an alternate to Item 5) when used as the base layer on one or both sides of wall. For direct attachment only, not to be used with Item 4) — 1/2 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 10 ft long with a max thickness of 1/4 in., placed on the face of studs and attached to the stud with construction adhesive and led 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead back, nominal 3/8 in. diam by max 0.020 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips shall have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grade "C".

**RADIATION PROTECTION PRODUCTS INC** — Type RPP - Lead Lined Drywall

**5B Gypsum Board** — (As an alternate to Item 5) when used as the base layer on one or both sides of wall. For direct attachment only, not to be used with Item 4) — 1/2 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 10 ft long with a max thickness of 1/4 in., placed on the face of studs and attached to the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead back, nominal 3/8 in. diam by max 0.020 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips shall have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grades "A, B, C or D". Fasteners for face layer gypsum panels (Item 5) when installed over lead backed board to be min. 3/16 in. Type S-12 large lead steel screws spaced as described in Item 5.

**MAYCO INDUSTRIES INC** — "X-Ray Shielded Gypsum"

**5C Gypsum Board** — (As an alternate to Item 5) when used as the base layer on one or both sides of wall. For direct attachment only, not to be used with Item 4) — 1/2 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 10 ft long with a max thickness of 1/4 in., placed on the face of studs and attached to the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead back, nominal 3/8 in. diam by max 0.020 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips shall have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grades "A, B, C or D". Fasteners for face layer gypsum panels (Item 5) when installed over lead backed board to be min. 3/16 in. Type S-12 large lead steel screws spaced as described in Item 5.

**MAYCO INDUSTRIES INC** — "X-Ray Shielded Gypsum"

**6 Fasteners** — (Not Shown) — Type S-12 steel screws used to attach panels to runners (Item 1) and studs (Item 2) or furring channels (Item 6). Single layer systems: 1 in. long for 1/2 in. and 5/8 in. thick panels or 1-1/4 in. long for 3/4 in. thick panels, spaced 8 in. OC when panels are applied horizontally, or 12 in. OC when panels are applied vertically. Two layer systems: First layer: 1 in. long for 1/2 and 5/8 in. thick panels or 1-1/4 in. long for 3/4 in. thick panels, spaced 16 in. OC. Second layer: 1-5/8 in. long for 1/2 in. and 5/8 in. thick panels or 2-1/4 in. long for 3/4 in. thick panels, spaced 16 in. OC with screws offset 6 in. from first layer. Three layer systems: First layer: 1 in. long for 1/2 in. thick panels, spaced 24 in. OC. Second layer: 1-5/8 in. long for 1/2 in. thick panels, spaced 12 in. OC. Third layer: 2-1/4 in. long for 1/2 in. thick panels, spaced 12 in. OC. Screws offset min 6 in. from first layer.

**6A Fasteners** — (Not Shown) — For use with Item 2D, Type S or S-12 steel screws used to attach panels to studs or furring channels (Item 6). Single layer systems: 1 in. long screws, spaced 8 in. OC when panels are applied horizontally, or 12 in. OC along vertical and bottom edges and 12 in. OC in the field when panels are applied vertically. Two layer systems: First layer: 1 in. long screws, spaced 16 in. OC. Second layer: 1-5/8 in. screws, spaced 8 in. OC with screws offset 6 in. from first layer.

**7 Batts and Blankets** — (Required as indicated under Item 5) — Item 2 in. thick mineral wool batts, friction fitted between studs and runners.

See Batts and Blankets (BXIV or BZ2). Categories for names of Classified companies.

**7A Batts and Blankets** — (Optional) Fused in situ cavities, any glass fiber or mineral wool insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.

See Batts and Blankets (BXIV or BZ2). Categories for names of Classified companies.

**7B Batts and Blankets** — (Required as indicated under Item 5D) — Placed in stud cavities, any min. 3-1/2 in. thick glass fiber or mineral wool insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.

See Batts and Blankets (BXIV or BZ2). Categories for names of Classified companies.

**8 Furring Channels** — (Optional on one or both sides, not shown for single or double layer systems) — Resilient furring channels fabricated from min 20 MSG corrosion protected steel, spaced vertically a max of 24 in. OC. Flange portion attached to each intersecting stud with 1/2 in. long Type S-12 panhead steel screws. Not for use with Type FRX-G gypsum panels and Item 5A.

**8A Steel Framing Members** — (Optional on one or both sides, not shown for single or double layer systems) — As an alternate to Item 8, furring channels and Steel Framing Members as described below.

**a. Furring Channels** — Formed of No. 20 MSG galv steel, 2-9/16 in. or 2-23/32 in. wide by 7/8 in. deep, spaced max. 24 in. OC perpendicular to studs. Channels secured to studs as described in Item 6. Gypsum board attached to furring channels as described in Item 6. Not for use with Type FRX-G gypsum panels and Item 5A.

**b. Steel Framing Members** — Used to attach furring channels (Item 8a) to studs (Item 2). Clips spaced max. 48 in. OC, and secured to studs with No. 8 x 1-1/2 in. minimum self-drilling, S-12 steel screw through the center grommet. Furring channels are friction fitted into clip. RISC-1 clip for use with 2-9/16 in. wide furring channels. RISC-1 (2.75) clip for use with 2-23/32 in. wide furring channels. PAC INTERNATIONAL L L C — Types RISC-1, RISC-1 (2.75).

**8B Steel Framing Members** — (Optional) Not Shown — Used as an alternate method to attach resilient channels (Item 8). Clips attached at each intersection of the resilient channel and the steel studs (Item 2). Resilient channels are friction fitted into clips, and then clips are secured to the stud with min. 1 in. long Type S-12 panhead steel screws through the center hole of the clip and the resilient channel flange.

**KEENE BUILDING PRODUCTS CO INC** — Type RC Assurance

**8C Steel Framing Members** — (Optional) Not Shown — Furring channels and Steel Framing Members as described below.

**a. Furring Channels** — Formed of No. 20 MSG galv steel, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item 6. Ends of adjoining channels overlapped 6 in. and secured together with four self-tapping No. 8 x 1/2 Self-Drilling screws D per side 1 in. and 4 in. from overlapping edge. Gypsum board attached to furring channels as described in Item 6. Side joint furring channels shall be attached to studs with RESILMOUNT Sound Isolation Clips - Type A237R located approximately 2 in. from each end of length of channel. Both Gypsum Boards at side joints fastened into channel with screws spaced 8 in. OC, approximately 1/2 in. from joint edge. Not for use with Type FRX-G gypsum panels and Item 5A.

**b. Steel Framing Members** — Used to attach furring channels (Item 8c) to studs (Item 2). Clips spaced 24 in. OC, and secured to studs with No. 10 x 2-1/2 in. coated steel bolts through the center hole. Furring channels are friction fitted into clips.

**STUDCO BUILDING SYSTEMS** — RESILMOUNT Sound Isolation Clips - Type A237R

**9 Joint Tape and Compound** — Vinyl or caulk, dry or premixed joint compound applied in two coats to joints and screw heads of outer layers. Paper face, nom 2 in. wide, embedded in first layer of compound over all joints of outer layers. Paper tape and compound may be omitted when gypsum boards are supplied with square edges.

**10 Batts, Block or Blotter** — (Optional) Not Shown — Aluminum vinyl or steel facing, block veneer or block, meeting the requirements of local code agencies. Block veneer attached to studs with corrugated metal web attached to each stud with steel screws, not more than each sixth course of block.

**11 Caulking and Sealants** — (Optional) Not Shown — A bead of acoustical sealant applied around the partition perimeter for sound control.

**12 Lead Batten Strips** — (Not Shown) For Use With Item 5A) — Lead batten strips, min 1-1/2 in. wide, max 10 ft long with a max thickness of 1/4 in. Strips placed on the interior face of studs and attached to the exterior face of the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead batten strips shall have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grade "C". Lead batten strips required behind vertical joints of lead backed gypsum wallboard (Item 5A) and optional at remaining stud locations. Required behind vertical joints.

**13 Lead Discs or Tabs** — (Not Shown) For Use With Item 5A) — Used in lieu of or in addition to the lead batten strip (Item 12) or optional at other locations. Max 24 in. diam by max 0.125 in. thick lead disc compression fitted or adhered over steel screw heads or max 1/2 in. by 1-1/4 in. by max 0.125 in. thick lead tabs placed on gypsum boards (Item 5A) underneath screw locations prior to the installation of the gypsum. Lead discs or tabs to have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grade "C".

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

**MAYCO INDUSTRIES INC** — "X-Ray Shielded Gypsum"

Last Updated on 2016-12-05

joints on opposite sides of studs need not be staggered. Horizontal edge joints and horizontal butt joints between layers need not be staggered. When used in widths other than 48 in., gypsum panels to be installed horizontally. Batts and Blankets (Item 7B) required when using Type ULX for the 1 Hour Rating. The thickness and number of layers and percent of design load are as follows:

Rating	No. of Layers & Thins of Panel	% of Design Load
1 hr	1 layer, 5/8 in. thick	100
2 hr	2 layers, 5/8 in. thick	80
2 hr @	2 layers, 5/8 in. thick	100

(\*) Rating applicable when Batts and Blankets (Item 7) are used

**UNITED STATES GYPSUM CO** — Type ULX

**5A Gypsum Board** — (As an alternate to Item 5) when used as the base layer on one or both sides of wall. For direct attachment only, not to be used with Item 4) — 1/2 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 10 ft long with a max thickness of 1/4 in., placed on the face of studs and attached to the stud with construction adhesive and led 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead back, nominal 3/8 in. diam by max 0.020 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips shall have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grade "C".

**RADIATION PROTECTION PRODUCTS INC** — Type RPP - Lead Lined Drywall

**5B Gypsum Board** — (As an alternate to Item 5) when used as the base layer on one or both sides of wall. For direct attachment only, not to be used with Item 4) — 1/2 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 10 ft long with a max thickness of 1/4 in., placed on the face of studs and attached to the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead back, nominal 3/8 in. diam by max 0.020 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips shall have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grades "A, B, C or D". Fasteners for face layer gypsum panels (Item 5) when installed over lead backed board to be min. 3/16 in. Type S-12 large lead steel screws spaced as described in Item 5.

**MAYCO INDUSTRIES INC** — "X-Ray Shielded Gypsum"

**5C Gypsum Board** — (As an alternate to Item 5) when used as the base layer on one or both sides of wall. For direct attachment only, not to be used with Item 4) — 1/2 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 10 ft long with a max thickness of 1/4 in., placed on the face of studs and attached to the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead back, nominal 3/8 in. diam by max 0.020 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips shall have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grades "A, B, C or D". Fasteners for face layer gypsum panels (Item 5) when installed over lead backed board to be min. 3/16 in. Type S-12 large lead steel screws spaced as described in Item 5.

**MAYCO INDUSTRIES INC** — "X-Ray Shielded Gypsum"

**6 Fasteners** — (Not Shown) — Type S-12 steel screws used to attach panels to runners (Item 1) and studs (Item 2) or furring channels (Item 6). Single layer systems: 1 in. long for 1/2 in. and 5/8 in. thick panels or 1-1/4 in. long for 3/4 in. thick panels, spaced 8 in. OC when panels are applied horizontally, or 12 in. OC when panels are applied vertically. Two layer systems: First layer: 1 in. long for 1/2 and 5/8 in. thick panels or 1-1/4 in. long for 3/4 in. thick panels, spaced 16 in. OC. Second layer: 1-5/8 in. long for 1/2 in. and 5/8 in. thick panels or 2-1/4 in. long for 3/4 in. thick panels, spaced 16 in. OC with screws offset 6 in. from first layer. Three layer systems: First layer: 1 in. long for 1/2 in. thick panels, spaced 24 in. OC. Second layer: 1-5/8 in. long for 1/2 in. thick panels, spaced 12 in. OC. Third layer: 2-1/4 in. long for 1/2 in. thick panels, spaced 12 in. OC. Screws offset min 6 in. from first layer.

**6A Fasteners** — (Not Shown) — For use with Item 2D, Type S or S-12 steel screws used to attach panels to studs or furring channels (Item 6). Single layer systems: 1 in. long screws, spaced 8 in. OC when panels are applied horizontally, or 12 in. OC along vertical and bottom edges and 12 in. OC in the field when panels are applied vertically. Two layer systems: First layer: 1 in. long screws, spaced 16 in. OC. Second layer: 1-5/8 in. screws, spaced 8 in. OC with screws offset 6 in. from first layer.

**7 Batts and Blankets** — (Required as indicated under Item 5) — Item 2 in. thick mineral wool batts, friction fitted between studs and runners.

See Batts and Blankets (BXIV or BZ2). Categories for names of Classified companies.

**7A Batts and Blankets** — (Optional) Fused in situ cavities, any glass fiber or mineral wool insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.

See Batts and Blankets (BXIV or BZ2). Categories for names of Classified companies.

**7B Batts and Blankets** — (Required as indicated under Item 5D) — Placed in stud cavities, any min. 3-1/2 in. thick glass fiber or mineral wool insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.

See Batts and Blankets (BXIV or BZ2). Categories for names of Classified companies.

**8 Furring Channels** — (Optional on one or both sides, not shown for single or double layer systems) — Resilient furring channels fabricated from min 20 MSG corrosion protected steel, spaced vertically a max of 24 in. OC. Flange portion attached to each intersecting stud with 1/2 in. long Type S-12 panhead steel screws. Not for use with Type FRX-G gypsum panels and Item 5A.

**8A Steel Framing Members** — (Optional on one or both sides, not shown for single or double layer systems) — As an alternate to Item 8, furring channels and Steel Framing Members as described below.

**a. Furring Channels** — Formed of No. 20 MSG galv steel, 2-9/16 in. or 2-23/32 in. wide by 7/8 in. deep, spaced max. 24 in. OC perpendicular to studs. Channels secured to studs as described in Item 6. Gypsum board attached to furring channels as described in Item 6. Not for use with Type FRX-G gypsum panels and Item 5A.

**b. Steel Framing Members** — Used to attach furring channels (Item 8a) to studs (Item 2). Clips spaced max. 48 in. OC, and secured to studs with No. 8 x 1-1/2 in. minimum self-drilling, S-12 steel screw through the center grommet. Furring channels are friction fitted into clip. RISC-1 clip for use with 2-9/16 in. wide furring channels. RISC-1 (2.75) clip for use with 2-23/32 in. wide furring channels. PAC INTERNATIONAL L L C — Types RISC-1, RISC-1 (2.75).

**8B Steel Framing Members** — (Optional) Not Shown — Used as an alternate method to attach resilient channels (Item 8). Clips attached at each intersection of the resilient channel and the steel studs (Item 2). Resilient channels are friction fitted into clips, and then clips are secured to the stud with min. 1 in. long Type S-12 panhead steel screws through the center hole of the clip and the resilient channel flange.

**8C Steel Framing Members** — (Optional) Not Shown — Furring channels and Steel Framing Members as described below.

**a. Furring Channels** — Formed of No. 20 MSG galv steel, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item 6. Ends of adjoining channels overlapped 6 in. and secured together with four self-tapping No. 8 x 1/2 Self-Drilling screws D per side 1 in. and 4 in. from overlapping edge. Gypsum board attached to furring channels as described in Item 6. Side joint furring channels shall be attached to studs with RESILMOUNT Sound Isolation Clips - Type A237R located approximately 2 in. from each end of length of channel. Both Gypsum Boards at side joints fastened into channel with screws spaced 8 in. OC, approximately 1/2 in. from joint edge. Not for use with Type FRX-G gypsum panels and Item 5A.

**b. Steel Framing Members** — Used to attach furring channels (Item 8c) to studs (Item 2). Clips spaced 24 in. OC, and secured to studs with No. 10 x 2-1/2 in. coated steel bolts through the center hole. Furring channels are friction fitted into clips.

**STUDCO BUILDING SYSTEMS** — RESILMOUNT Sound Isolation Clips - Type A237R

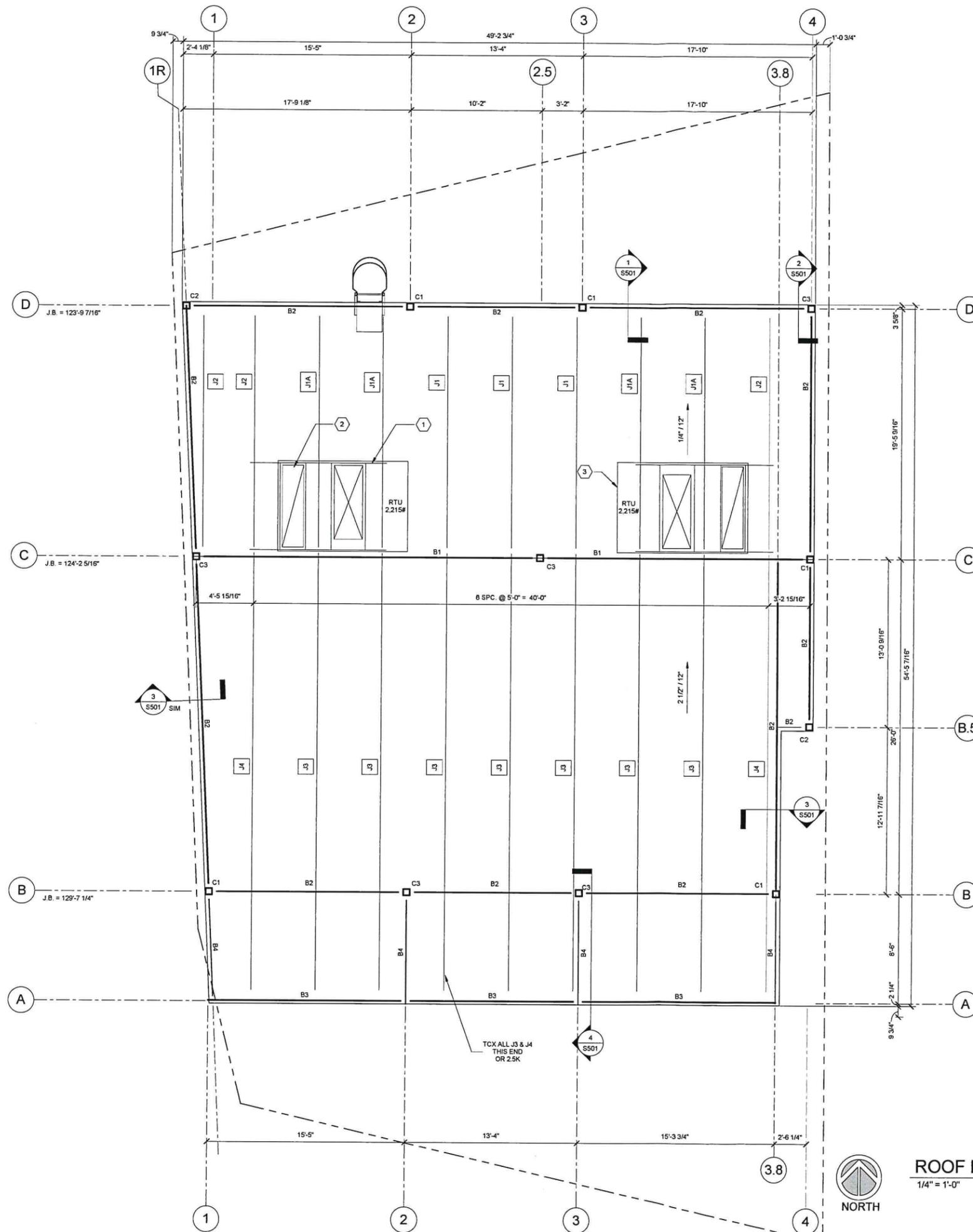
**9 Joint Tape and Compound** — Vinyl or caulk, dry or premixed joint compound applied in two coats to joints and screw heads of outer layers. Paper face, nom 2 in. wide, embedded in first layer of compound over all joints of outer layers. Paper tape and compound may be omitted when gypsum boards are supplied with square edges.

**10 Batts, Block or Blotter** — (Optional) Not Shown — Aluminum vinyl or steel facing, block veneer or block, meeting the requirements of local code agencies. Block veneer attached to studs with corrugated metal web attached to each stud with steel screws, not more than each sixth course of block.

**11 Caulking and Sealants** — (Optional) Not Shown — A bead of acoustical sealant applied around the partition perimeter for sound control.

**12 Lead Batten Strips** — (Not Shown) For Use With Item 5A) — Lead batten strips, min 1-1/2 in. wide, max 10 ft long with a max thickness of 1/4 in. Strips placed on the interior face of studs and attached to the exterior face of the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead batten strips shall have a purity of 99.9% meeting the Federal Specification QQ-L-2011, Grade "C". Lead batten strips required behind vertical joints of





**KEY NOTES**

- RTU CURB SUPPORT FRAME L4x4x1/4 ANGLES, OVER TOP OF JOISTS, COPE VERTICAL LEG AT EACH JOIST, COPE & WELD ANGLES TOGETHER, FLUSH TO EACH OTHER.
- ANY ROOF DECK OR FLOOR DECK OPENING > 12" DIA. TO BE FRAMED WITH L4x4x1/4 TO THE NEAREST JOIST, COPE VERTICAL LEG AT EACH JOIST, COPE & WELD ANGLES TOGETHER, FLUSH TO EACH OTHER. SEE DETAIL S/S503.
- SEE MECHANICAL PLANS FOR ADDITIONAL ROOF DECK OPENINGS. ANY ROOF DECK OR FLOOR DECK OPENING > 12" DIA. TO BE FRAMED WITH L4x4x1/4 TO THE NEAREST JOIST, COPE VERTICAL LEG AT EACH JOIST, COPE & WELD ANGLES TOGETHER, FLUSH TO EACH OTHER.

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WISCONSIN

Proposed New Facility for:

**OAKFIRE LLC.**

LAKE GENEVA

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REVISIONS


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DRAWN BY: B.J.L.

EXPEDITOR: Shawn Timm

SUPERVISOR: Doug Craker

PRELIMINARY NO:

CONTRACT NO: 62565

DATE: 12/23/2016

SHEET: **S302**

**ROOF FRAMING**  
1/4" = 1'-0"

**ISSUED FOR CONSTRUCTION**



# Keller

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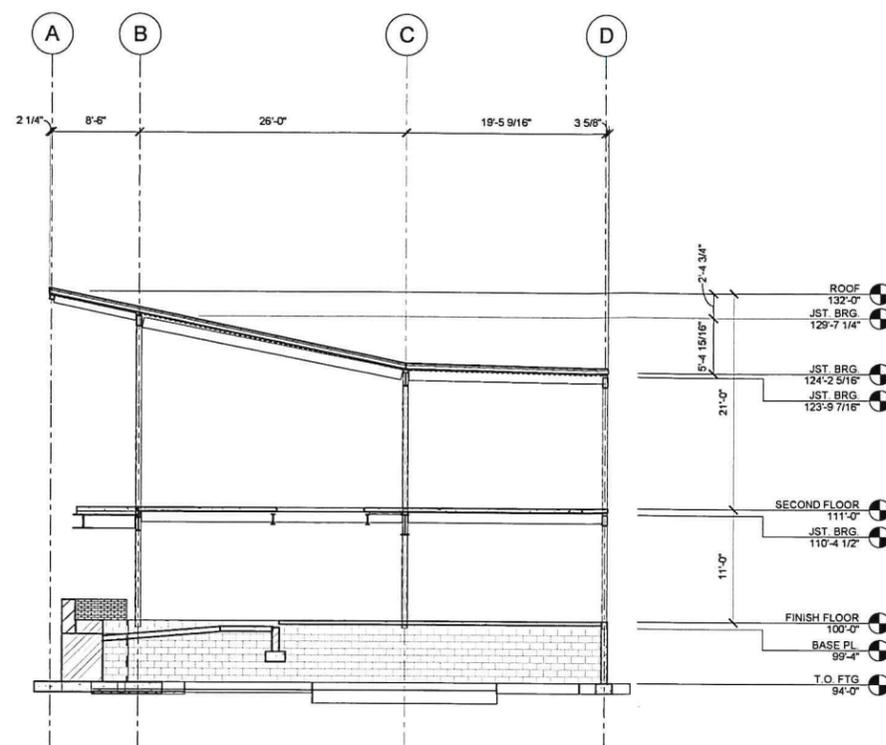
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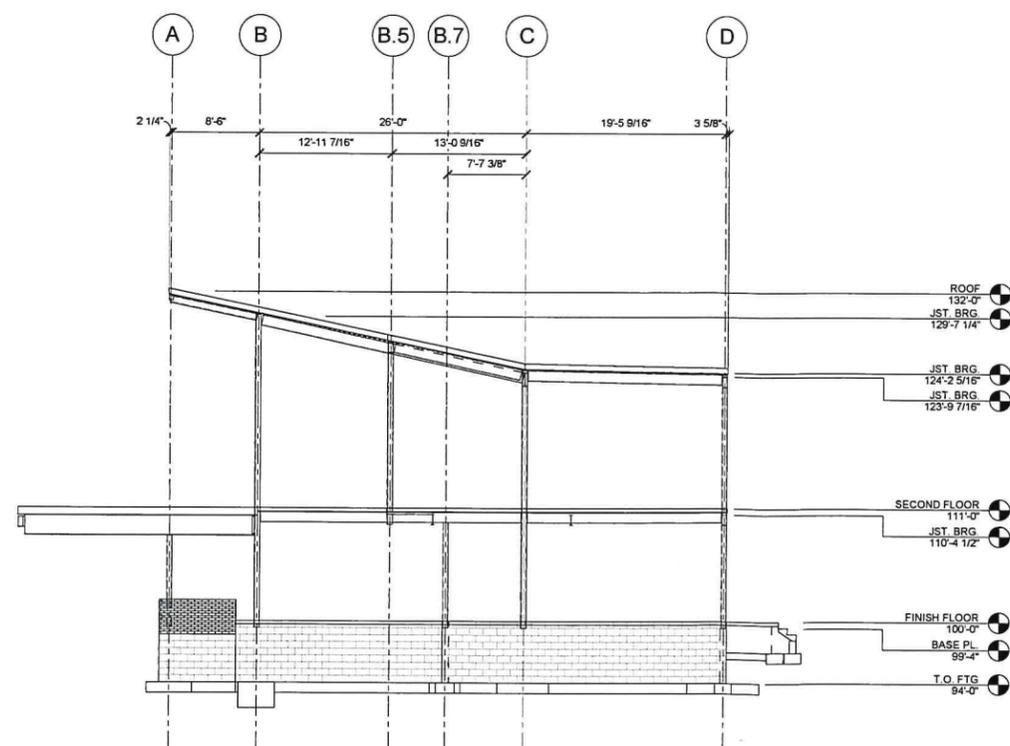
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WISCONSIN



FRAMING ELEVATION - LINE '1'

1/8" = 1'-0"



FRAMING ELEVATION - LINE '4'

1/8" = 1'-0"

Proposed New Facility for:

## OAKFIRE LLC

LAKE GENEVA

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REVISIONS

PROJECT MANAGER:

Nathan Laurent

DESIGNER:

Chris Marzke

DRAWN BY:

B.J.L.

EXPEDITOR:

Shawn Timm

SUPERVISOR:

Doug Craker

PRELIMINARY NO.:

CONTRACT NO.:

62566

DATE:

12/23/2016

SHEET:

# S401

ISSUED FOR CONSTRUCTION



STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: January 21, 2019

Agenda Item: 11

Applicant:

Omega Homes  
201 O'Connor Dr. suite 101  
Elkhorn, WI 53121

Request: Continuation of the public hearing

General Development Plan (GDP)  
Vistas of Lake Geneva located on LaSalle St.  
58 Single Family Dwelling Development  
Tax Key No. ZA424700001

Description:

The applicant is submitting a request for a General Development Plan (GDP) that would allow for the development of a new Single Family Development to be located at the former Regent Hill subdivision on LaSalle Street.

The applicant is requesting to construct 58 new single family dwellings, with the Planned Development request that would allow for the reduction in lot sizes, private Cul-de-Sac's road ways.

The property is located in the Multi-Family Residential – 8 (MR-8) zoning district.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed General Development Plan (GDP):

As part of the consideration of the requested GDP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed GDP;
- Include *findings* required by the Zoning Ordinance for GDPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the GDP for Recommendation to the Common Council:

A proposed GDP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance,

and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed General Development Plan (GDP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed General Development Plan (GDP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed General Development Plan (GDP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed General Development Plan (GDP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed General Development Plan (GDP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed General Development Plan (GDP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed General Development Plan (GDP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed General Development Plan (GDP) as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: January 21, 2019

Agenda Item: 12

Applicant:

House Around the Corner  
3389 South Lake Shore Dr.  
Delavan, WI 53115

Request: Continuation of the public hearing  
Conditional Use Permit (CUP)

Raze or Remove the Existing Commercial  
Building - 832 Geneva Street  
Tax Key No. ZOP00252

Description:

The applicant is submitting a request for a Conditional Use Permit (CUP) that would allow for the candidate to raze or remove the structure in accordance with the zoning requirements found in Section 98-913(5)(c) in the Downtown Design Overlay District, the existing building that is located at 832 Geneva Street.

The applicant is requesting to construct a new 5600 square foot commercial building at 832 Geneva Street which will have retail area & coffee shop, in order to construct this proposed building a Conditional Use Permit must be approved to “Raze or Remove” the existing structure

The property is located in the Central Business (CB) zoning district, onsite parking is not required in the Central Business district.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: January 21, 2019

Agenda Item: 13

Applicant:

House Around the Corner  
3389 South Lake Shore Dr.  
Delavan, WI 53115

Request: Continuation of the public hearing

General Development Plan (GDP)  
New 5600 sq. ft. Commercial Building  
832 Geneva Street  
Tax Key No. ZOP00252

Description:

The applicant is submitting a request for a General Development Plan (GDP) that would allow for the development of a new commercial building to be erected and located at 832 Geneva Street.

The applicant is requesting to construct a new 5600 square foot commercial building at 832 Geneva Street which will have retail area & coffee shop. The proposed site design allows for added green space for outdoor seating.

The property is located in the Central Business (CB) zoning district, onsite parking is not required in the Central Business district.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed General Development Plan (GDP):

As part of the consideration of the requested GDP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed GDP;
- Include *findings* required by the Zoning Ordinance for GDPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the GDP for Recommendation to the Common Council:

A proposed GDP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed General Development Plan (GDP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed General Development Plan (GDP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed General Development Plan (GDP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed General Development Plan (GDP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed General Development Plan (GDP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed General Development Plan (GDP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed General Development Plan (GDP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed General Development Plan (GDP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed General Development Plan (GDP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed General Development Plan (GDP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed General Development Plan (GDP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.