

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

PLAN COMMISSION MEETING

MONDAY, JULY 17, 2017 - 6:00 PM

COUNCIL CHAMBERS, CITY HALL

Agenda

1. Meeting called to order by Mayor Kupsik.
2. Roll Call.
3. Approve Minutes of the June 19 Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review.
 - A. Application by Melissa Reuss, 150 Broad Street, Lake Geneva, WI 53147, to replace the canvas awning at 150 Broad Street, Geneva Gifts, Tax Key No. ZOP00329.
 - B. Application by Nicolas Carone, 177 Valencia Parkway, Gilberts, IL 60136, for a sign at 272 Broad Street, Frank's Original, Tax Key No. ZOP00244.
 - C. Application by Greg Odden, 705 Madison Street, Lake Geneva, WI 53147, to change the exterior color of façade at 201 Wrigley Drive, Visit Lake Geneva, Flat Iron Park.
7.
 - A. Public Hearing and Recommendation on a General Development Plan (GDP) filed by Mark & Jeanne Hathaway, 420 Elmwood Avenue, Lake Geneva, WI 53147, to allow for an existing two story accessory structure alteration at 420 Elmwood Avenue, Tax Key No. ZYUP00067.
 - B. Public Hearing and Recommendation on a Precise Implementation Plan (PIP) filed by Mark & Jeanne Hathaway, 420 Elmwood Avenue, Lake Geneva, WI 53147, to allow for an existing two story accessory structure alteration at 420 Elmwood Avenue, Tax Key No. ZYUP00067.
8.
 - A. Public Hearing and Recommendation on a Conditional Use Site Plan Amendment filed by Rick Bittner, 259 Skyline Drive, Lake Geneva, WI 53147, on behalf of Next Door Pub, to renovate two existing parking stalls to allow for additional exterior waiting area at 411 Interchange North, Tax Key No. ZYUP00137M.
9. Public Hearing and Recommendation on an Amendment to a Precise Implementation Plan filed by Eric Drazkowski, Engineer & Tom Schermerhorn, Architect of Excel Engineering, Inc, 100 Camelot Drive, Fond du Lac, WI 54935, on behalf of Brunk Industries, to modify walk and culvert connection between the existing facilities and new facility along E Sheridan Springs Road at 1225 Sage Street, Tax Key No. ZA471200001.
10. Public Hearing and Recommendation of a Precise Implementation Plan filed by McMurr II, LLC, 351 W. Hubbard, Suite 610, Chicago, IL 60654, for the continuation of phase I of the Summerhaven of Lake Geneva Condominiums.

11. Plan Commission Reviews the Comprehensive Plan Amendment Applications.

- A. White River Holdings LLC, 11 East Madison, Suite L-100, Chicago, IL 60602 for former Hillmoor Golf property on Tax Key Nos. ZYUP00001C, ZOP00001, ZYUP00131 and ZYUP00153.
- B. Core Commercial Inc., PO Box 1154, Appleton, WI 54912 for property near Edwards Blvd & Geneva Parkway North with Tax Key Nos. ZGEC00001, ZGEC00001A and ZGEC00002.
- C. Geneva Waterfront Inc., N2009 S Lake Shore Drive, Lake Geneva, WI 53147 and Bigfoot Holdings LLC (dta Geneva Inn) for Tax Key Nos. IL120000-5C, IL120000-5C2, IL120000-5D, IL120000-5E, IL120000-5F and IL120000-4.
- D. Jeffrey & Beverly Leonard, 1504 Dodge Street, Lake Geneva, WI 53147 for 905 Main Street, Lake Geneva, WI for Tax Key No. ZOP00243A.
- E. Terrence J O'Neill, 954 George Street, Lake Geneva, WI 53147 for request for Referendum included as part of process.

12. Adjournment

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate accommodations.

Posted 7/12/2017

**PLAN COMMISSION MEETING
MONDAY, JUNE 19, 2017 – 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Mayor Kupsik called the meeting to order at 6:04p.m.

Roll Call. Present: Mayor Kupsik, Alderman Doug Skates, John Gibbs, Sarah Hill, Tyler Frederick.
Absent (Excused): Ted Horne, Mike Slavney. Also Present: City Planner Mich, City Attorney Draper, City Administrator Oborn, Building and Zoning Administrator Walling, Building & Zoning Administrative Assistant Follensbee.

Approve the Minutes of April 17 and May 15, 2017 Plan Commission meeting as distributed.

Kupsik/Skates motion to approve. Motion carried 5 to 0.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will to be limited to 5 minutes.

Candace Kirchberg, 917 Marshall Street, Lake Geneva, thanked everyone regarding the Associated Bank project for considering the neighbors by proposing a landscaping plan to minimize the noise while being aesthetically pleasing. Candace also thanked Karen Klipp for taking into consideration the neighborhood and wanting to bring families to the area.

Acknowledgement of Correspondence.

Correspondence was received from Kwik Trip supporting the rezoning and conditional use permit for a new bank on the lots at 916 Marshall Street and 728 Williams Street. Correspondence was received from Bill Chesen in support of the addition and deck at 905 Platt Avenue filed by Steven and Leah Andersen. Correspondence was received from the National Association of Realtors with information on home rentals. Correspondence was received from Trish Schaefer opposing Commercial Indoor Lodging.

Downtown Design Review.

Application by Matt Morgan, 212 Hidden Trail, Elkhorn, WI 53121, to add 2 signs: one projecting sign and one wall mounted sign at 231 Cook Street, Tax Key No. ZOP00253.

Zoning Administrator Walling has worked with Matt Morgan to choose historic colors for his signs. The designs of the projecting sign and the wall mounted sign meet our downtown design overlay standards. The wall mounted sign also meets the size requirements of downtown design. Planner Mich stated all projecting signs (90 degrees from the wall) are limited to 3 sq. ft. The proposed projecting sign is 4.2 sq. ft. The Planning Commission is asking for a condition of approval that they reduce the projecting sign to 3 sq. ft.

Kupsik/Gibbs motion to approve and include all staff recommendations and the change in size of the projecting sign.

Roll Call: Kupsik, Skates, Gibbs, Hill, Frederick voting “yes.” Motion carried 5 to 0.

Application by Kathy & Thomas George, 3383 S. Shore Drive, Delavan, WI 53115, to change the exterior of a brick building at 832 Geneva Street, Tax Key No. ZOP00252.

Thomas George shared their vision to update the exterior of the building. They are requesting to override the statute for painting a brick building. The brick is very old and they feel a power washer would cause further erosion to the brick. They would like to paint the brick to seal it instead. Another option would be to recover it with hardy board siding which they have done at another building downtown. Since it is a residential building, they would like to keep the home aspect of the building and paint the brick. Zoning Administrator Walling shared information regarding maintenance and removal of paint from brick buildings by the State of Wisconsin. Thomas pointed out there are many brick buildings in the downtown district which have been painted and he feels painting the brick grey would help them stand out.

Mr. Walling has walked around the building and the brick is not failing. The brick could fail more quickly if painted or sealed. Guidelines state if brick is painted, it traps the moisture behind the brick. Wisconsin has frost freeze so water

expands and cracks the brick. In the downtown overlay ordinances, Lake Geneva wants to retain the historic character of the old brick buildings.

Skates/Frederick motion to deny the application.

Alderman Skates stated the brick is in great shape and painting any brick in Wisconsin will accelerate the disintegration of the brick face. His suggestion to the owner would be to put a cleaner on the brick which can be washed off. This cleaner will make a big difference without having to power wash the brick. Alderman Skates agrees with the ordinance and staff recommendations for this application.

Roll Call for entire meeting was taken a second time since Ann Esarco arrived after the meeting began.

Roll Call: Present: Mayor Kupsik, Alderman Doug Skates, John Gibbs, Ann Esarco, Sarah Hill, Tyler Frederick.

Absent (Excused): Ted Horne, Mike Slavney. Also Present: City Planner Mich, City Attorney Draper, City Administrator Oborn, Building and Zoning Administrator Walling, Building & Zoning Administrative Assistant Follensbee.

Roll Call for 832 Geneva Street: Skates, Esarco, Frederick, Walling (tie breaker) voting “yes.” Motion carried 4 to 3 with Gibbs, Hill, Kupsik voting “no.”

Application by Greg Odden, 705 Madison Street, Lake Geneva, WI 53147, to change the exterior of a brick building at 201 Wrigley Drive, Flat Iron Park.

David Lindelow, Visit Lake Geneva, 527 Center Street, Lake Geneva, WI, wants to redo the Visitors Center as it is in bad shape. He was not aware of the brick painting controversy. They want to match the other structures surrounding the Visitors Center and would like to paint the brick a cream color similar to the adjacent Brunk Pavilion as well as update the roof structure. They realize the need to rethink the color of the roof if they have to keep the red brick.

Commissioner Hill asked if the applicants were told they could not paint the brick. Zoning Administrator Walling stated the applicant was told during their discussion of this project that the bricks could not be painted. Ms. Hill asked if the previous applicant was told the brick could not be painted. Mr. Walling replied yes.

Greg Odden has worked in historical construction for many years and acknowledges the concern of moisture in buildings. Moisture migrates from higher density to lower density which occurs in the winter. Owners have to stop the moisture from the inside and allow air movement between the framed structure and the brick with proper venting. The brick in this project is a hard fired brick which allows painting without de-lamination. The paint industry has adjusted so there are options which do not trap moisture in brick.

Mayor Kupsik clarified with Mr. Walling the intent of the application was for painting the outside of the building. Mr. Walling stated the application request was for painting the brick, repairing the roof and updating windows. The roof and window requests can move forward immediately with permits which do not need review.

Commissioner Hill asked Mr. Walling for his suggestion for this application. Mr. Walling stated they should paint the wood and leave the brick as is. Administrator Oborn stated the roof would be an improvement. Mayor Kupsik reiterated the application request is for painting the brick.

Skates/Esarco motion to deny the application.

Roll Call: Kupsik, Skates, Gibbs, Esarco, Frederick, voting “yes.” Motion carried 5 to 1 with Hill voting “no.”

Public Hearing and Recommendation on a Conditional Use Application (CUP) filed by Jeffrey Walski, 1452 Sunrise Trail, Lyons, WI 53105, for an Indoor Commercial Entertainment land use and Outdoor Commercial Entertainment land use for a health café at 264 Center Street, Tax Key No. ZOP00259.

Jeff Walski wants to open an organic foods café. Planner Mich stated this application involves a Conditional Use Permit for Indoor Commercial Entertainment and Outdoor Commercial Entertainment for outdoor seating on the site which will remain on site and not encroach into the public right of way. Alderman Skates asked the applicant about the items served at this café. Mr. Walski said the café will have food such as smoothies, wraps, cafés, and sandwiches with organic ingredients without GMO's.

Hill/Skates motion to close the public hearing. Motion carried 6 to 0.

Kupsik/Frederick motion to approve the Conditional Use Permit for Indoor Commercial Entertainment Land Use and staff recommendation and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Kupsik/Gibbs motion to approve the Conditional Use Permit for Outdoor Commercial Entertainment Land Use and staff recommendation and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Downtown Design Application by Jeffrey Walski, 1452 Sunrise Trail, Lyons, WI 53105, to replace lettering on awning and add window decal sign at 264 Center Street, Tax Key No. ZOP00259.

Planner Mich stated the Marigold yellow color requested in the application shall be used for the window decal along with the lime green. The bright yellow is not allowed.

Skates/Esarco motion to approve and include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on a Zoning Map Amendment filed by Matt Schroeder of Associated Bank, 10701 National Avenue, West Allis, WI 53227, to change the zoning from General Business and Single Family Residential-4 to Neighborhood Business at 728 Williams Street, Tax Key No. Tax Key No. ZRA00034 and 916 Marshall Street, Tax Key No. ZRA00033.

Steve Rolfe, Midland Commercial Development, presented the zoning change for the proposed Associated Bank site. Steve Rolfe and Andrew Kerr met with people in the neighborhood and Alderwoman Cindy Flowers to hear their input for this project. Mr. Rolfe’s team has addressed the neighbor’s concerns in their design. The goal is to begin site work by mid August. Mr. Rolfe restated the requested the zoning change.

Speaker 1: Robert Klabunde, 308 Carlton Court, Genoa City, WI, owns the property across the street, 721 Williams Street, and asked if the current parking on the west side of the street will remain. Mr. Walling replied the stalls would remain.

Skates/Hill motion to close the public hearing. Motion carried 6 to 0.

Hill/Kupsik motion to approve and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Esarco, Frederick voting “yes.” Motion carried 5 to 1 with Gibbs voting “no.”

CSM Lot Combination Review filed by Matt Schroeder of Associated Bank, 10701 National Avenue, West Allis, WI 53227, for 728 Williams Street, Tax Key No. Tax Key No. ZRA00034 and 916 Marshall Street, Tax Key No. ZRA00033.

Steve Rolfe is requesting a combined CSM for the Associated Bank Project. Planner Mich stated staff has approved the proposed CSM subject to compliance with detailed technical review comments provided by the City’s consulting engineer, Kapur and Associates.

Kupsik/Frederick motion to approve and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Esarco, Frederick voting “yes.” Motion carried 5 to 1 with Gibbs voting “no.”

Public Hearing and Recommendation on a Conditional Use Permit filed by Matt Schroeder of Associated Bank, 10701 National Avenue, West Allis, WI 53227, for a drive-through In-Vehicle Sales and Service land use for a proposed Associated Bank at 728 Williams Street, Tax Key No. Tax Key No. ZRA00034 and 916 Marshall Street, Tax Key No. ZRA00033.

Andrew Kerr, Architect for Rinka Chung, Milwaukee, presented the exterior of the bank and site plan for the drive-thru. The exit to the alley will be a one way lane and has a jog to provide a buffer for the neighbors. The number of plantings was increased on the northwest corner of the site to provide screening the bright lights from Kwik Trip. Most bright green colored panels have been eliminated from the building exterior. All signs in back of bank have been omitted so the neighbors are not affected. The side yard was increased by 10’ with heavy landscaping for privacy.

Speaker 1: Cindy Flower, 533 Haskins Street, Lake Geneva, thanked the developer and architect for meeting with residents and making modifications to their plan. Ms. Flower asked for construction to be done during the hours found in our ordinances.

Kupsik/Skates motion to close the public hearing. Motion carried 6 to 0.

Skates/Hill motion to approve and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Hill, Esarco, Frederick voting “yes.” Motion carried 5 to 1 with Gibbs voting “no.”

Public Hearing and Recommendation of a Zoning Map Amendment/General Development Plan filed by Steven and Leah Andersen, 905 Platt Avenue, Lake Geneva, WI 53147, to expand the buildable envelope and construct a three-season porch and deck at the rear of the home at 905 Platt Avenue, Tax Key No. ZCOT00008.

Steve Andersen seeks approval for a zoning map amendment. Planner Mich described the need to change the buildable pad to allow building a three-season room and deck. This property is located in an existing Planned Development and requires an amendment. This amendment would be unique to this property and Plan Commission is not legally bound to grant this request to other properties in the Planned Development.

Speaker 1: Mark Altera, 846 Kenna Lane, on behalf of the Woodlands Condo Association, asked if this request is granted, would the building ordinances address the additional run-off from the project. Zoning Administrator Walling stated when the owner expands their building, they are responsible to maintain the waters that land on their property.

Kupsik/Frederick motion to close the public hearing. Motion carried 6 to 0.

Skates/Hill motion to approve and state the owner is responsible to maintain the water shed on their property and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on an amendment to a Precise Implementation Plan filed by Steven and Leah Andersen, 905 Platt Avenue, Lake Geneva, WI 53147, to expand the buildable envelope and construct a three-season porch and deck at the rear of the home at 905 Platt Avenue, Tax Key No. ZCOT00008.

Steve presented the construction plans for the three-season room and the deck.

Skates/Hill motion to close the public hearing. Motion carried 6 to 0.

Gibbs/Esarco motion to approve and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on a Conditional Use Permit filed by Fairwyn Ltd, 875 Townline Road Ste 103, Lake Geneva, WI 53147 to utilize setbacks for the Single Family Residential-4 zoning district in the Estate Residential-1 zoning district (as enabled by Section 98-407(3) of the Zoning Ordinance) at 930 Bayview Drive, Tax Key No. ZGB00026.

Brian Pollard, Fairwyn, 875 Townline Road, requesting the use of SR-4 setbacks in an ER-1 zoning district for a home remodel.

Speaker 1: Virginia Magda, 1878 Geneva Bay Drive, wanted to know the difference between the setbacks for ER-1 and SR-4. She also asked how close something can be built off the common property line since the tennis courts are shared by the two properties.

Kupsik/Skates motion to close the public hearing. Motion carried 6 to 0.

Kupsik/Skates motion to approve and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on Zoning Map Amendment/General Development Plan filed by Steven R. and Jen C. Evans, 763 Ivy Oaks Drive, Caledonia, IL, 61011 to establish a Commercial Indoor Lodging land use (vacation rental home) at 717 Geneva Street, Tax Key No. ZOP00160.

Steve and Jen Evans own the home at 717 Geneva Street. The 1st floor was used for business and the 2nd floor was a residential space. His son uses the 2nd floor as a living space and they want to construct a 1st floor unit for short term rental.

Hill/Kupsik motion to close the public hearing. Motion carried 6 to 0.

Kupsik/Esarco motion to approve and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on a Precise Implementation Plan filed by Steven R. and Jen C. Evans, 763 Ivy Oaks Drive, Caledonia, IL, 61011 to confirm zoning flexibilities to establish a Commercial Indoor Lodging land use (vacation rental home) at 717 Geneva Street, Tax Key No. ZOP00160.

Steve Evans plans to rent out this 1st floor unit as a short term vacation rental. Planner Mich stated the site plan was approved for vacation rental and Commercial Indoor Lodging land use is allowed with a valid Conditional Use.

Hill/Skates motion to close the public hearing. Motion carried 6 to 0.

Hill/Kupsik motion to approve and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on a Conditional Use Permit filed by Steven R. and Jen C. Evans, 763 Ivy Oaks Drive, Caledonia, IL, 61011 to establish a Commercial Indoor Lodging land use (vacation rental home) at 717 Geneva Street, Tax Key No. ZOP00160.

Steve Evans wants to establish the 1st floor unit for short term vacation rental which requires construction.

Commissioner Hill asked about the regulations of Commercial Indoor Lodging. Alderman Skates referred to the staff recommendations, Section 98-206(4)(k) pertaining to Commercial Indoor Lodging land uses. Zoning Administrator Walling asked if the 2nd floor had 1 or 2 exits. Mr. Evans answered the property had 1 exit. Mr. Walling stated the 2nd floor needs 2 exits to comply with the building code.

Speaker 1: Mary Jo Fesenmaier, 1085 S Lake Shore Dr, Lake Geneva, asked if the Conditional Use stays with the property (regular) or the owner (limited). She asks for a limited (owner) CUP.

Speaker 2: Karen Klipp, 7345 Hollow Drive, Lake Geneva, doesn't think limiting the Conditional Use to the owner will not help the resale of the property.

Kupsik/Skates motion to close the public hearing. Motion carried 6 to 0.

Skates/Kupsik motion to approve, to limit this Conditional Use to the applicant, the 2nd floor needs a 2nd exit and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on a Zoning Map Amendment/General Development Plan filed by Karen Klipp, 7345 Hollow Drive, Lake Geneva, WI 53147 to confirm zoning flexibilities to establish two Commercial Indoor Lodging land uses (vacation rental homes) at 824 Williams Street, Tax Key No. ZRA00018.

Karen Klipp, 7345 Hollow Drive, Lake Geneva, is asking for a zoning amendment for her property which has two buildings. Planner Mich stated the applicant is asking for flexibility to have two buildings on the property which includes 3 different lots and flexibility in the ordinance for the location of customer entrances from any residential structure.

Speaker 1: Paul Storeck, lives west of this property, asked the owner to extend the chain link fence to the alley. People park in his driveway. Commissioner Frederick referenced the privacy fence on the plans. Zoning Administrator Walling cautioned the vision triangle has to be addressed.

Hill/Kupsik motion to close the public hearing. Motion carried 6 to 0.

Hill/Kupsik motion to approve and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on a Precise Implementation Plan filed by Karen Klipp, 7345 Hollow Drive, Lake Geneva, WI 53147 to confirm zoning flexibilities to establish two Commercial Indoor Lodging land uses (vacation rental homes) at 824 Williams Street, Tax Key No. ZRA00018.

Planner Mich stated the site plan is addressed and shared the staff recommendations for this application.

Speaker 1: Cindy Flower, 533 Haskin Street, Lake Geneva, had concerns about the final site plan not being available to the public. Zoning Administrator Walling stated the official documents are kept in the city clerk’s office. The secondary documents are convenience documents. The notices state that anyone can come to City Hall to view any projects on the agenda. Commissioner Gibbs asked about the flexibility for customer entrances facing residential buildings. Mayor Kupsik stated that the distance of these entrances from residential buildings shall be stated for the application process.

Kupsik/Hill motion to close the public hearing. Motion carried 6 to 0.

Kupsik/Esarco motion to approve and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on a Conditional Use Permit filed by Karen Klipp, 7345 Hollow Drive, Lake Geneva, WI 53147 to establish a Commercial Indoor Lodging land use (vacation rental home) at 824 Williams Street, Tax Key No. ZRA00018.

Planner Mich read conditions for the applicant from the staff recommendations. Karen Klipp asked for the Conditional Use to be with the property.

Speaker 1: Mary Jo Fesenmaier, 1085 S Lake Shore Drive, Lake Geneva, asked the Plan Commission for the CUP to be with the applicant. Commissioner Gibbs asks for the Plan Commission to be consistent with the Conditional Use Permits.

Kupsik/Gibbs motion to close the public hearing. Motion carried 6 to 0.

Skates/Kupsik motion to approve the CUP application, specific to the applicant, have the western fence extended to the poles and include staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on a Zoning Map Amendment/General Development Plan filed by Chris Law, Geneva Lakes Christian Church, W2906 Willow Road, Lake Geneva, WI 53147, to amend the Zoning Map from the SR-4 Single-Family zoning district to Planned Development for a new worship facility at 1015 N. Bloomfield Road, Tax Key Nos. ZSF00232 and ZSF00231.

Bill Henry, Kehoe-Henry & Associates, Elkhorn, on behalf of Geneva Lakes Christian Church. Pastor Chris Law is looking to build a new worship facility.

Kupsik/Skates motion to close the public hearing. Motion carried 6 to 0.

Kupsik/Hill motion to approve and include staff recommendations and fact finding.

Planner Mich stated staff is recommending approval on flexibilities 1-6 but has additional comments on flexibilities 7-8. Flexibility 7, staff is allowing the on-site paving over a 2 year span but the staff requests 50 ft of the driveway to be paved within 6 months to reduce dirt tracking on Harmony Drive. Flexibility 8 – applicant is requesting 2 - free standing signs. Staff does not want to grant 2 - free standing signs since it has not approved it before. Staff believes the height of the building and steeple provides enough visibility. Zoning Administrator Walling wanted to verify that recycled asphalt would be used in the paving for the parking lot. Mr. Henry stated in the PIP application they have agreed to live with the one year completion of the black topping. They can certainly accommodate the request for the recycled asphalt for some of the base material.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on a Precise Implementation Plan filed by Chris Law, Geneva Lakes Christian Church, W2906 Willow Road, Lake Geneva, WI 53147, to construct a new worship facility at 1015 N. Bloomfield Road, Tax Key Nos. ZSF00232 and ZSF00231.

Bill Henry, Kehoe-Henry & Associates, Elkhorn, on behalf of Geneva Lakes Christian Church, apologized about the draft application that was submitted in May. He noted additional parking drawings came in for the final application which caused the site plan to get renumbered, and the parking calculations got left off of the drawing. The parking requirements as calculated in both the GDP application and the draft PIP was based on a worship area capacity of 230 which at 1 stall per 5 would be 46 stalls. The church will have 3 employees, so a total of 49 stalls are required. They are proposing 54. The staff report shows 77 stalls were required. He questioned why that was. Planner Mich said she was not sure where that number came from. Mr. Henry said the initial proposal had a larger number so perhaps that is what it could be.

Mr. Henry also addressed the fire hydrant. They would prefer to have it 60ft away rather than 50ft as there is no place within 50ft without having it by the front corner of the church. He noted Lieutenant Detkowski from the Fire Department stated he did not see an issue with that at the May 15th meeting. He was questioning why that was being denied. Mayor Kupsik said they can make that contingent upon the Fire Department’s approval. Mr. Henry also addressed the two monument signs. The PIP has been revised. The monument sign needs to be quite large because it will be off of Bloomfield and Harmony Dr a significant distance to accommodate the vision triangle as well as the setbacks due to the right of ways. They are also requesting a directional sign. Mayor Kupsik noted the smaller sign would be considered a directional sign. Mr. Skates stated this is only an indicator and is on their property. Ms. Mich stated they are permitted one sign per entrance but it can be no more than 9 square feet and the logo must be less than 1 square foot. Mr. Henry gave an overview of the materials planned for the outside of the building.

Kupsik/Skates motion to close the public hearing. Motion carried 6 to 0.

Kupsik/Skates motion to approve and include all staff recommendations including the location of the fire hydrant, the use of recycled asphalt for the driveway, one monument sign and one directional sign placed on the property to be compliant with the City’s ordinance, findings of fact, and items mentioned during the public hearing.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation to amend the Precise Implementation Plan / Conditional Use Permit filed by Lake Geneva Tennis Club LLC, 630 Veterans Pkwy, to expand a parking lot for a Physical Activity Studio land use (indoor tennis complex) at 630 Veterans Parkway, Tax Key Nos. ZLGBP200029, ZLGBP200030, ZLGBP200031, ZLGBP200032, & ZLGBP200033.

Speaker 1: Thomas Connolly, Autumn Wood Financial Corporation in Walworth, WI, represents Lake Geneva Tennis Club. This application was submitted because they need extra parking. This would add 10 parking spots. Mr. Oborn said the business is having growth needs, so he feels this is advantageous for them and the City.

Speaker 2: Cindy Flower, 533 Haskins St, commented on the site. She suggested revisiting the percent impervious as they are adding additional parking and the potential expansion of the outdoor tennis courts be revisited in relationship to the additional imperviousness that we are proposing to add. There was discussion in the past about tournaments which may require additional parking.

Hill/Kupsik motion to close the public hearing. Motion carried 6 to 0.

Mr. Gibbs stated he would like the landscaping to be cleaned up. Ms. Mich noted staff is recommending at least 40 new landscaping points be provided because the paving area is increasing.

Skates/Kupsik motion to approve including all staff recommendations and findings of fact.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation of a Conditional Use Permit filed by Reeds Construction LLC, W3199 S Lake Shore Drive, Lake Geneva, WI 53147, to construct a new boat slip at 1084 LaGrange Drive, Tax Key No. ZLE00003.

Jeff with Reeds Construction located at W3199 S Lake Shore Dr, is representing Michael Lynch. Mr. Lynch would like to put a slip on to his pier. It is 13 feet off the lot line which is a DNR requirement. Mr. Oborn asked the applicant if they had done the permit yet with the DNR. Jeff noted they are in the process and believes they are in the 30 day waiting period.

Kupsik/Skates motion to close the public hearing. Motion carried 6 to 0.

Kupsik/Gibbs motion to approve to include all staff recommendations, fact finding, and contingent upon approval of the DNR permit.

Roll Call: Kupsik, Skates, Gibbs, Hill, Esarco, Frederick voting "yes." Motion carried 6 to 0.

Public Hearing and Recommendation of a Conditional Use Permit filed by Julie Selby, 800 N Blue Spruce Circle, Hartland, WI 53029, for Indoor Commercial Entertainment for a studio at 262 Center Street, Tax Key No. ZOP00259.

Ms. Mich noted this is a Board & Brush Creative Studio which was previously located at 252 Center St. This will be a new location with different site conditions. The applicant did not provide information pertaining to anticipated class sizes, floor plans, and types of paint materials to be used during classes. Staff does not have any issues with the proposed land use in this location. They recommend approval of the conditional use provided that they use only paints and lacquers certified to be low voc or water based. Mayor Kupsik would feel more comfortable continuing this to the next meeting in order to have the applicant there to answer any questions or make any comments. Mr. Oborn stated the applicant went through this process for the first establishment, so they are fully aware. He and the Building & Zoning Administrative Assistant have had conversations with them.

Gibbs/Skates motion to close the public hearing. Motion carried 6 to 0.

Hill/Esarco motion to approve including all staff recommendations and fact finding in the affirmative.

Roll Call: Kupsik, Skates, Gibbs, Hill, Hartz, Esarco, Frederick voting "yes." Motion carried 6 to 0.

Downtown Design Application by Julie Selby, 800 N Blue Spruce Circle, Hartland, WI 53029, for vinyl window decals and a wood sign to the exterior of the building at 262 Center Street, Tax Key No. ZOP00259.

Hill/Skates motion to approve to include all staff recommendations.

Roll Call: Kupsik, Skates, Gibbs, Hill, Hartz, Esarco, Frederick voting "yes." Motion carried 6 to 0.

Public Hearing and Recommendation of a Conditional Use Permit filed by Halvar Petersen, 507 Broad Street, Lake Geneva, WI 53147, for Indoor Commercial Entertainment for a Bakery/Patisserie at 252 Center Street, Tax Key No. ZOP00258.

Ms. Mich emphasized this does not involve baking onsite. The items are all produced off site and sold on the premises. There is no proposed seating. No signage or exterior modifications are proposed to the building. Staff recommends that no additional conditions of approval be attached and recommends approval.

Speaker 1: Mary Jo Fesenmaier, 1085 S Lake Shore Dr, stated the applicant was there but had to run home to let out his puppy.

Gibbs/Frederick motion to close the public hearing. Motion carried 6 to 0.

Skates/Hill motion to approve to include all staff recommendations and finding of fact in the affirmative.

Roll Call: Kupsik, Skates, Gibbs, Hill, Hartz, Esarco, Frederick voting "yes." Motion carried 6 to 0.

Public Hearing and Recommendation of a Conditional Use Permit filed by Halvar Petersen, 507 Broad Street, Lake Geneva, WI 53147, for Indoor Commercial Entertainment for a Coffee School at 252 Center Street, Tax Key No. ZOP00258.

Ms. Mich stated this will be just across the hall from the previous item. This will be a by appointment only coffee school. They will be holding classes on coffee roasting, coffee origins, etc. Seating is proposed for up to 20 individuals. No signage or changes to the exterior of the building are proposed.

Skates/Kupsik motion to close the public hearing. Motion carried 6 to 0.

Esarco/Frederick motion to approve including all staff recommendations and findings of fact.

Roll Call: Kupsik, Skates, Gibbs, Hill, Hartz, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation of a Conditional Use Permit filed by Jes Bush-Christenson, 1515 Dodge Street, Lake Geneva, WI 53147, for Outdoor Commercial Entertainment at 747 W. Main Street, Tax Key No. ZOP00271.

Ms. Mich noted this is for Champs Sports Bar & Grill on Main Street. They have been using the temporary permit process to approve acoustic musical performances once in a while. Rather than go through that process all the time, they are going through the conditional use process to approve outdoor commercial entertainment with more regularity. She is not aware of any issues that have stemmed from this use. Staff recommends approval with the following conditions: music or other activities shall comply with the noise standards of Section 98-709, conditional use permit is limited to acoustic outdoor performances as depicted on the site plan during the hours of 2:00pm and 8:00pm any day of the week, and this permit does not include amplified sounds or music.

Kupsik/Hill motion to close the public hearing. Motion carried 6 to 0.

Kupsik/Esarco motion to approve to include all staff recommendations and fact finding.

Roll Call: Kupsik, Skates, Gibbs, Hill, Hartz, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation of a Conditional Use Permit filed by Curt Langille, Lanco Builders, Inc., 813 Eagleton Drive, Lake Geneva, WI 53147, to use SR-4 Setbacks in ER-1 zoning district at 837 Bayview Drive, Tax Key No. ZGB00007.

Curt Langille, Owner of Lanco Builders, noted he is the Builder/Developer working with the current Homeowners. They are looking for the SR-4 zoning for this property. It is an existing home that was built in the late 1950s. They are looking to build a new home on the property.

Kupsik/Skates motion to close the public hearing. Motion carried 6 to 0.

Kupsik/Esarco motion to approve to include all staff recommendations and fact findings.

Roll Call: Kupsik, Skates, Gibbs, Hill, Hartz, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Public Hearing and Recommendation on an amendment to the Zoning Ordinance proposed by the City of Lake Geneva to include the Commercial Indoor Lodging land use (per Section 98-206(4)(k)) as a conditional use in the Neighborhood Office and Neighborhood Business zoning districts.

Ms. Mich noted the idea of allowing commercial indoor lodging which includes hotels but would also include vacation rental homes as a conditional use in the neighborhood office and neighborhood business zoning districts has been discussed in the past. There are deeper setbacks and maximum building size requirements which will preclude a Marriott or Hyatt going into these districts. There were concerns about what the impact would be. This would still be a conditional use permit.

Speaker 1: Mary Jo Fesenmaier, 1085 S Lake Shore Dr, read concerns from another resident. The resident was concerned about the front door with regard to setbacks, the back deck with regard to noise, and if the conditional use goes to the property, the applicant, or the owner. The resident feels the layout of the property inside allows for many more guests than may rent the property. Mary asked for this to be tabled for a month, so other community members can state their concerns. She would like a notice to be mailed to the residents that are identified in the packet or further. She would like to see the hotels full especially because of room tax.

Ms. Mich added the commission could amend the proposed text change to make the conditional use permit limited to the applicant. City Attorney Draper suggested they not table it, but continue it if they wish. Commissioner Hill suggested moving forward as is.

Kupsik/Hill motion to close the public hearing. Motion carried 6 to 0.

Hill motions to approve. Motion fails due to lack of a second.

Mr. Skates questioned what the drive is to do this. Ms. Mich stated the City had received numerous requests for indoor commercial lodging in structures that are homes or used to be homes that are being operated as a business.

Skates/Gibbs motion to table this item.

Roll Call: Kupsik, Skates, Gibbs, Hartz, Esarco, Frederick voting “yes.” Motion carried 6 to 1 with Hill voting “no.”

Comprehensive Plan Strategy and Procedures for amending the City of Lake Geneva’s 2017 Comprehensive Plan.

Ms. Mich noted the City is doing its annual process to amend the Comprehensive Plan. The same process is used to amend the plan as is used to adopt a new plan.

Kupsik/Esarco motion to adopt the resolution as included in the packet.

Roll Call: Kupsik, Skates, Gibbs, Hill, Hartz, Esarco, Frederick voting “yes.” Motion carried 6 to 0.

Adjournment. Gibbs/Skates motion to adjourn at 9:50pm. Motion carried 6 to 0.

/s/ Stephanie Gunderson, Assistant City Clerk

THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: July 17, 2017

Agenda Item #6a.

Applicant:

Melissa L. Reuss
150 Broad Street
Lake Geneva, WI 53147

Request:

150 Broad Street
Downtown Design Review
Awning Review

Description:

The applicant is submitting an application for Downtown Design Review to review the proposed awning as submitted.

The property is subject to Downtown Design review. The City reviews all changes in the Downtown to confirm that they conform to the Downtown Design standards; particularly quantity, size, and color requirements. In the Plan Commission Packet, the applicant has submitted the proposed awning with color renditions which meets the size and has identified the color to be used which was selected from the Historic Color provided by the Benjamin Moore Company.

The proposed awning is identified in the photos to be re-located on the building as the current location of the existing awning.

Staff Recommendation:

The proposed change does meet the requirements of the Downtown Design Overlay Zoning district. Staff's recommendation is that the proposed awning to be approved.



City of Lake Geneva
 Building and Zoning
 626 Geneva Street
 Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.: Geneva Gifts, Inc ZOP-00329
150 Broad St Z-00128
Lake Geneva, WI 53147

Name & Address of Current Building Owner:
Melissa and Michael Reuss
218 Skyline Dr.
Lake Geneva, WI 53147

Telephone Number of Current Building Owner: 262-215-2642 cell 262-749-0866
262-248-6756 store

Name & Address of Applicant:
Melissa Reuss
218 Skyline Dr.
Lake Geneva, WI 53147

Telephone Number of Applicant: 262-215-2642

Proposed Design Change:
Replace canvas part of awning. Keep Geneva Gifts on front
of awning. Change North Facing end to: Fudge Souvenirs from
TShirts Jewelry. Change South Facing end to: Fudge Moccasins from
Moccasins Souvenirs

Zoning District: _____

Names & Address of Architect, Engineer, and/or Contractor of Project:
United Canvas & Awning
25434 W Rt. 173
Antioch, IL 60002

Description of Project: Replace existing awning. Canvas part
only.

Date: 7/3/2017 Signature of Applicant: Melissa L Reuss

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Melissa L. Reuss

, as applicant/petitioner for:

Name:

Melissa L. Reuss dba/ Geneva Gifts, Inc.

Address:

150 Broad St.

Lake Geneva, WI 53147

Phone:

262-215-2642, 262-248-6756 store

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 3rd day of July, 2017.

Melissa L. Reuss

Printed name of Applicant/Petitioner

Melissa L. Reuss

Signature of Applicant/Petitioner

UNITED CANVAS AWNING

25434 W. Rt. 173
Antioch, IL 60002

847-395-2235 phone
847-395-7695 fax

June 16, 2017 Geneva Gifts 150 Broad St Lake Geneva WI 53147



Replace valance under aluminum canopy will have scallop (not shown)
Front valance 28 ½ ft wide x 1' -11" high with "GENEVA GIFTS" painted in burgundy 12" high letters
Right side valance 5' -8" wide x 1' -11" high with "FUDGE SOUVENIRS" painted burgundy 6" high letters
Left side valance 5' -8" wide x 1' -11" high with "FUDGE MOCCASINS" painted 6" burgundy letters
Fabric: Stone Gray canvas
Includes removal and reinstall
\$1,860 with above graphics
\$1,290 without graphics
Available 50% IMS/50% cash
Requires 50% deposit with balance due upon completion or late fees will be assessed

Accepted by _____ Date _____

309

SW 2801
Rookwood Dark Red
Victorian

SW 2802
Rookwood Red
Victorian

SW 2803
Rookwood Terra Cotta
Victorian

SW 2804
Penwick Rose Beige



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: July 17, 2017

Agenda Item #6b.

Applicant:

Nicolas Carone
177 Valencia Parkway
Gilberts, IL 60136

Request:

272 Broad Street
Downtown Design Review
Signage Review

Description:

The applicant is submitting an application for Downtown Design Review to review the proposed sign as submitted.

The property is subject to Downtown Design review. The City reviews all signs in the Downtown to confirm that they conform to the Downtown Design standards; particularly quantity, size, and color requirements. In the Plan Commission Packet, the applicant has submitted the sign which meets the size and has identified the color to be used which was selected from the Historic Color provided by the Benjamin Moore Company.

The projecting sign is located on the building directly above the existing widow awnings.

Staff Recommendation:

The proposed sign does meet the requirements of the Downtown Design Overlay Zoning district. Staff's recommendation is the proposed sign to be approved.



City of Lake Geneva
 Building and Zoning
 626 Geneva Street
 Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

270 Broad

Site Address & Parcel No.:

272 BROAD STREET, Lake Geneva, WI 53147 ZOP 00244

Name & Address of Current Building Owner:

Mike Kocourek - Kocourek Properties LLC
880 S. Lake Shore Drive # 2
Lake Geneva, WI 53147

Telephone Number of Current Building Owner: 847-525-9060

Name & Address of Applicant:

NICOLA CARONE
177 VALESCIA PARKWAY
GILBERTS, IL 60136

Telephone Number of Applicant: 312 303 0221

Proposed Design Change:

REMOVE "FOR RENT" SIGN
ADD "FRANK'S" SIGN

Zoning District: CENTRAL BUSINESS

Names & Address of Architect, Engineer, and/or Contractor of Project:

BULLI SIGNS
DENNIS SPANKOWSKI
125 FRONT ST.
BURLINGTON, WI 53105

Description of Project:

ADD SIGN - SOLID PVC "FRANK'S" 2.5 FT X 8 FT, Red (BM)
PM-18
Heritage Red

Date: 7/6/17

Signature of Applicant: Nicola Carone

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

FRANK'S ORIGINAL LLC, as applicant/petitioner for:

Name: NICOLA F. CARONE

Address: 177 VALENCIA PARKWAY
GILBERTS, IL 60136

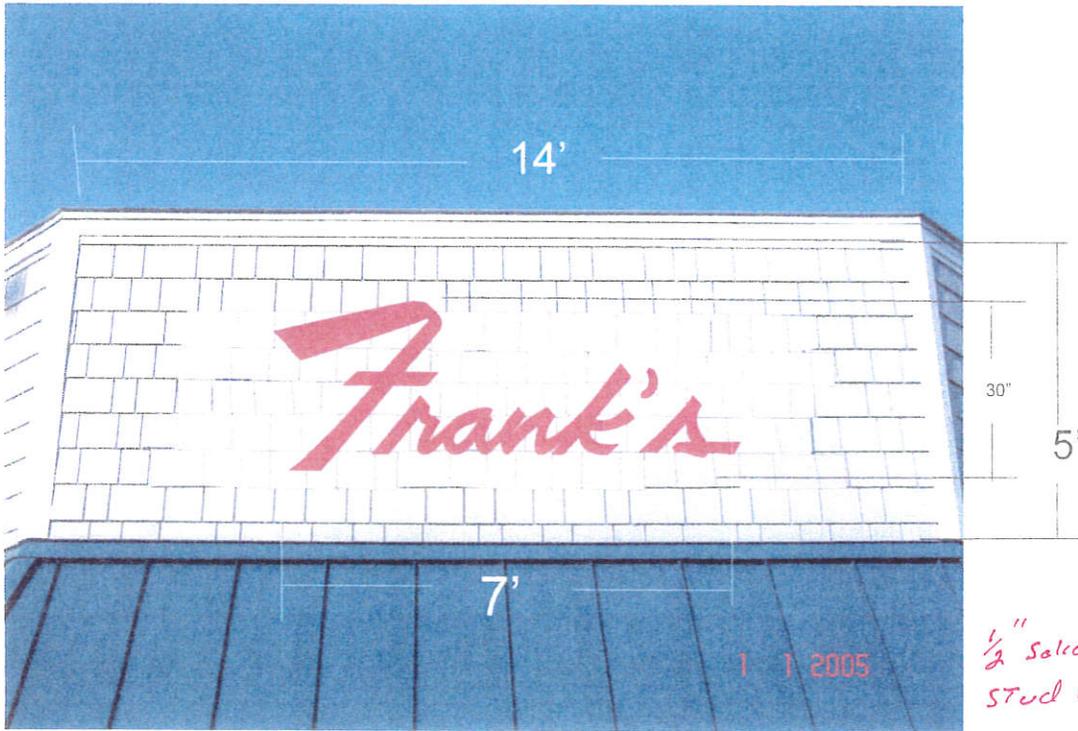
Phone: 312 303 0221

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 06 day of JULY, 2007.

NICOLA F. CARONE
Printed name of Applicant/Petitioner

[Signature]
Signature of Applicant/Petitioner



*1/2" Solid PVC.
Stud mounted*



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: July 17, 2017

Agenda Item #6c.

Applicant:

Greg Odden
705 Madison Street
Lake Geneva, WI 53147

Request:

201 Wrigley Drive
Downtown Design Review
Change to Exterior color

Description:

The applicant is submitting an application for Downtown Design Review to alter the color of the exterior façade, window frames and trim.

The property originally submitted in June to paint the exterior which was denied.

The applicants took the direction of the Plan Commission and amended the original request to only alter the wood façade in addition update the windows to include replacing the roof.

The applicants identified the historic colors to be used on the exterior wood siding that is going to be replaced with a conforming installation in accordance with the Downtown Design Overlay specifications.

Staff Recommendation:

The proposed installation is an allowable construction and staff recommends approving as requested.



City of Lake Geneva
 Building and Zoning
 626 Geneva Street
 Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

201 WRIGLEY DRIVE, LAKE GENEVA, WI 53147

Name & Address of Current Building Owner:

VISIT LAKE GENEVA
527 CENTER STREET
LAKE GENEVA, WI 53147

Telephone Number of Current Building Owner:

262-248-1000

Name & Address of Applicant:

GREG ODEN GLEN PERL CONSTRUCTION
705 MADISON STREET
LAKE GENEVA, WI 53147

Telephone Number of Applicant:

262-203-7034

Proposed Design Change:

COLOR CHANGE OF SHINGLES
SIDING, WINDOW FRAMES AND TRIM

Zoning District: _____

Names & Address of Architect, Engineer, and/or Contractor of Project:

GLEN PERL CONSTRUCTION
705 MADISON STREET
LAKE GENEVA, WI 53147

Description of Project:

REPLACE SHINGLE ROOF
REPAINT TRIM, REPLACE WINDOWS
REPLACE SIDING

Date: 7-10-17

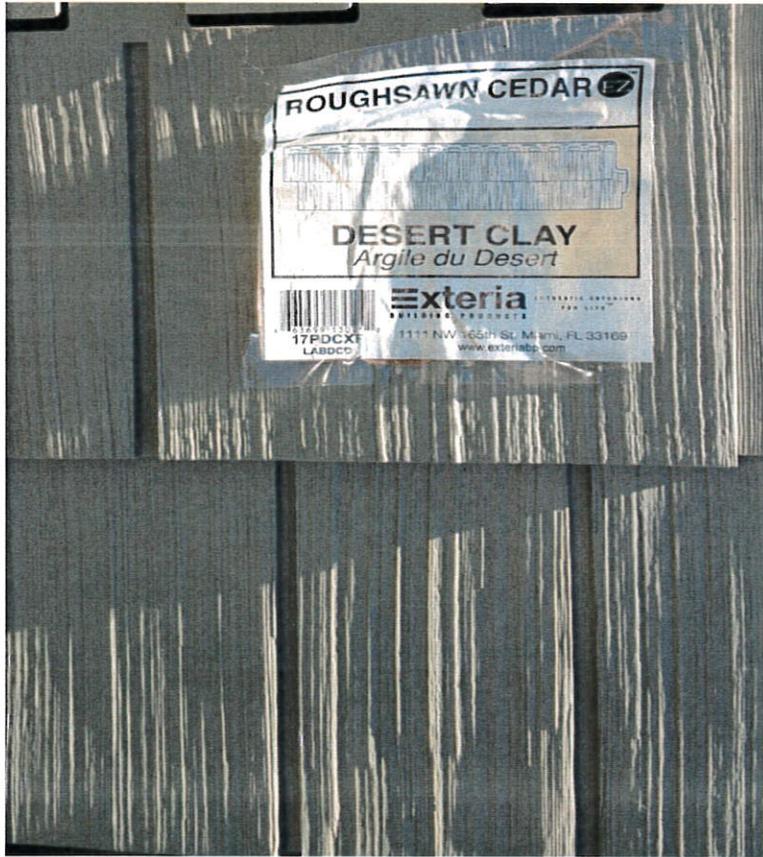
Signature of Applicant:



**VISIT LAKE GENEVA VISITORS CENTER
EXISTING EAST ELEVATION**

5/15/2015





SW 2845
Bunglehouse Gray

SHERWIN WILLIAMS HISTORICAL COLOR

BONE WHITE
LT411078

STONE WHITE
LT411113

BIRCH WHITE
LT410418

SIERRA WHITE
LT410468

POLAR WHITE
LT410085

PORTLAND STONE
LT420546

SANDSTONE
LT441434

SANDCASTLE
LT440449

HERRINGBONE
LT440423

YORKTOWN
LT420565

LIGHT STONE
LT441606

CONCH
LT430498

TAUPE
LT440376

QUAKER GRAY
LT420584

SHELBURNE
LT440556

DESERT ROSE
LT430253

STONE GRAY
LT420701

INDY GREEN
LT471600

BURNT ALMOND
LT440742

SAHARA TAN
LT440806

Actual color samples on metal should be requested for true color representation.
These samples can be requested on your website.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: July 17, 2017

Agenda Item #7 a & b

Applicant:

Mark & Jeanne Hathaway
420 Elmwood Ave
Lake Geneva, WI 53147

Request:

Proposed Planned Development

GDP / PIP

Description:

The applicant is submitting a request to consider a Planned Development for the property located at 420 Elmwood Ave which is located in the S-4 Zoning Classification which will require two approvals. This memo will suffice to review both requests the two step request to approve are:

1. General Development Plan
2. Precise Implementation Plan

The applicants were issued a building permit which was reviewed and inspected by a previous Lake Geneva inspector. The permit was issued in error.

The applicants were later notified the building was a non-conforming structure after the project was completed. They were informed by the interim-inspector the building was too high and too close to the allowed setbacks for an accessory structure.

The applicants identified in their request that the building was to be used as an office with bathroom area above the garage as identified and labeled on the plans that were approved on 3/31/16 by inspector Robers.

Staff's recommendation is to continue with the Planned Development process to allow the building to remain as built however identify the building is not to be used by any other uses than what was originally applied for and approved as of 3/31/16 by the applicant as "Office and Bathroom".

- No sleeping areas allowed -
- No Vacation Rental Permitted -

There currently is only 1 exit from the second floor area of the garage therefore does not allow for sleeping facilities in accordance with the building codes.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Planned Development (PD)

As part of the consideration of the requested PD, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;

- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Planned Development.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends that the *following conditions* be attached:
 - a. The structure is never used as a sleeping area or rental property (vacation or apartment) of which primary use would allow overnight sleeping quarters. The identified area does not meet the building codes to allow for required number of emergency egress points to grade which is a significant life safety concern.
 - b. All movable accessory structures currently on the property shall be located a minimum 3' from the property line as required in the S-4 zoning Classification.

Required Plan Commission Findings on the PD for Recommendation to the Common Council:

A proposed PD must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
 1. In general, the proposed Planned Development is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Planned Development is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Planned Development in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Planned Development maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Planned Development is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Planned Development outweigh all potential adverse impacts of the proposed Planned Development after taking into consideration the

Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Planned Development is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Planned Development is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Planned Development in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Planned Development does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Planned Development is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Planned Development do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Planned Development Permit:

4. Staff recommends that the Plan Commission recommend *approval* of the proposed Planned Development.
5. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
6. Staff recommends that the *following conditions* be attached:
 - a. The structure shall never be used as a sleeping area or rental property (vacation or apartment) which primary use would allow overnight sleeping quarters. The area does not meet the building codes to allow for proper emergency egress.

APPLICATION FOR ZONING MAP AMENDMENT FOR PLANNED DEVELOPMENT
ZONING INCLUDING GENEVRA DEVELOPMENT PLAN APPROVAL (PD/GDP) AND
ONE PRECISE IMPLEMENTATION PLAN APPROVAL (PD/PIP)

ZYUP 00867

Name of Applicant: Mark + Jeanne Hathaway

Address of Applicant: 420 Elmwood ave.
Lake Geneva WI 53147

Telephone No. (262) 745-9088 (847) 809-9503

Fax and/or email: () Jeannchathaway@gmail.com

Name of Owner: Mark + Jeanne Hathaway

Address of Owner: 420 Elmwood Ave.
Lake Geneva WI 53147

Telephone No. (262) 745-9088 (847) 809-9503

Fax and/or email: () markhathaway@gmail.com

Subject property address and/or complete legal description (use attached sheet if necessary):

- ALL THAT PART OF THE NE 1/4 OF SECTION 35, TOWNSHIP 2 NPRTH, RANGE 17 EAST, IN THE CITY OF LAKE GENEVA, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT A POINT
- 170 FEET SOUTH OF THE SOUTHWEST CORNER OF THE INTERSECTION OF ELMWOOD AVE.
- AT DODGE ST. IN SAID CITY OF LAKE GENEVA; THENCE SOUTH ALONG THE WESYT LINE OF ELMWOOD AVENUE 55.00 FEET; THENCE WEST 150.00 FEET; THENCE NORTH 55 FEET TO A POINT; THENCE EAST 150 FEET TO THE POINT OF BEGINNING.

Current Zoning District: SR 4

Fee of \$750.00 payable upon filing application.

4/26/2017
Date

Jeanne L. Hathaway
Signature of Applicant

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

OWNERS, as applicant/petitioner for:

Name: ourselves - Mark & Jeanne Hathaway
Address: 420 Elmwood Avenue
Lake Geneva, WI 53147
Phone: 262-745-9088

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 4/26 day of _____, 2017.

Jeanne L. Hathaway
Printed name of Applicant/Petitioner

Jeanne L. Hathaway
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
PLANNED DEVELOPMENT REVIEW AND APPROVAL (Per Section 98-914)**

This form should be used by the Applicant as a guide to submitting a complete application for a planned development and by the City to process said application. Parts II, III, V, and VII should be used by the Applicant to submit a complete application; Parts I - VIII should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

**✓ II. APPLICATION SUBMITTAL PACKET REQUIREMENTS
PD PROCESS STEP 1: PRE-APPLICATION**

Step 1 does not require the submittal of an application packet; however, Steps 2-4 do require submittal of all draft and final application packets to the Zoning Administrator prior to Plan Commission review.

A. **Contact the Zoning Administrator** to place an informal discussion item for the PD on the Plan Commission agenda. No details beyond the name of the Applicant and the identification of the discussion item as a PD is required to be given in the agenda.

___ B. **Engage in an informal discussion with the Plan Commission** regarding the potential PD. Appropriate topics may include: location, project themes and images, general mix of dwelling unit types and/or land uses being considered, approximate residential densities, and non-residential intensities, general treatment of natural features, general relationship to nearby properties and public streets, and relationship to the Comprehensive Plan.

NOTE: Points of discussion and conclusions reached in this stage of the process shall in no way be binding upon the Applicant or the City, but should be considered as the informal, non-binding basis for proceeding to the next step.

**APPLICATION SUBMITTAL PACKET REQUIREMENTS
PD PROCESS STEP 2: CONCEPT PLAN**

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

↓

_____ A. Provide Zoning Administrator with draft PD Concept Plan Submittal Packet for determination of completeness prior to placing the proposed PD on the Plan Commission agenda for Concept Plan review. The submittal packet shall contain all of the following items:

_____ (1) **A location map of the subject property** and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

_____ (2) **A general written description of proposed PD** including:

- _____ General project themes and images;
- _____ The general mix of dwelling unit types and/or land uses;
- _____ Approximate residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;
- _____ The general treatment of natural features;
- _____ The general relationship to nearby properties and public streets;
- _____ The general relationship of the project to the Master Plan;
- _____ An initial draft list of zoning standards which will not be met by the proposed PD and the location(s) in which they apply and, a complete list of zoning standards which will be more than met by the proposed PD and the location(s) in which they apply. Essentially, the purpose of this listing shall be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility; and,

_____ (3) **A written description of potentially requested exemption** from the requirements of the underlying zoning district, in the following order:

1. Land Use Exemptions;
2. Density and Intensity Exemptions;
3. Bulk Exemptions;
4. Landscaping Exceptions;
5. Parking and Loading Requirements Exceptions;

_____ (4) **A conceptual plan drawing** (at 11" x 17") of the general land use layout and the general location of major public streets and/or private drives. The Applicant may submit copies of a larger version of the plan in addition to the 11" x 17" reduction.

**FINAL APPLICATION PACKET INFORMATION
PD PROCESS STEP 2: CONCEPT PLAN**

_____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator:

Date: _____ by: _____

_____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:

Date: _____ by: _____

_____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:

Date: _____ by: _____

APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 3: GENERAL DEVELOPMENT PLAN (GDP)

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

↓

_____ A. Provide Zoning Administrator with a draft GDP Submittal Packet for determination of completeness prior to placing the proposed PD on the Plan Commission agenda for GDP review. The submittal packet shall contain all of the following items:

_____ (1) A location map of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

_____ (2) A map of the subject property for which the PD is proposed:

_____ Showing all lands within 300 feet of the boundaries of the subject property;

_____ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

_____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

_____ Map and all its parts clearly reproducible with a photocopier;

_____ Map size of 11" x 17" and map scale not less than one inch equals 800 feet;

_____ All lot dimensions of the subject property provided;

_____ Graphic scale and north arrow provided.

_____ (3) A general written description of proposed PD including:

_____ General project themes and images;

_____ The general mix of dwelling unit types and/or land uses;

_____ Approximate residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

_____ The general treatment of natural features;

_____ The general relationship to nearby properties and public streets;

_____ The general relationship of the project to the Master Plan,

_____ A statement of Rationale as to why PD zoning is proposed. This shall identify barriers that the Applicant perceives in the form of requirements of standard zoning districts and opportunities for community betterment the Applicant suggests are available through the proposed PD zoning.

_____ A complete list of zoning standards which will not be met by the proposed PD and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PD and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

_____ A written description of potentially requested exemption from the requirements of the underlying zoning district, in the following order:

1. Land Use Exemptions;

2. Density and Intensity Exemptions;

3. Bulk Exemptions;

4. Landscaping Exceptions;

5. Parking and Loading Requirements Exceptions.

- _____ (4) A General Development Plan Drawing at a minimum scale of 1"=100' (11" x 17" reduction shall also be provided by Applicant) of the proposed project showing at least the following information in sufficient detail to make an evaluation against criteria for approval:
- _____ A conceptual plan drawing (at 11" x 17") of the general land use layout and the general location of major public streets and/or private drives. The Applicant may submit copies of a larger version of the plan in addition to the 11" x 17" reduction;
 - _____ Location of recreational and open space areas and facilities and specifically describing those that are to be reserved or dedicated for public acquisition and use;
 - _____ Statistical data on minimum lot sizes in the development, the approximate areas of large development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
 - _____ Notations relating the written information provided in (3), above to specific areas on the GDP Drawing.
- _____ (5) General conceptual landscaping plan for subject property, noting approximate locations of foundation, street, yard and paving, landscaping, and the compliance of development with all landscaping requirements of this Ordinance (except as noted in the listing of exceptions) and the use of extra landscaping and bufferyards;
- _____ (6) A general signage plan for the project, including all:
- _____ Project identification signs;
 - _____ Concepts for public fixtures and signs (street light fixtures and/or poles or street sign faces and/or poles) which are proposed to vary from City standards or common practices;
- _____ (7) Written justification for the proposed Planned Development. *(See Section 98-905 for requirements of the conditional use procedure.)*

FINAL APPLICATION PACKET INFORMATION
PD STEP 3: GENERAL DEVELOPMENT PLAN (GDP)

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/GDP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

- _____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- _____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- _____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- _____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- _____ Class 2 Legal Notice published on _____ and _____ by: _____

APPLICATION SUBMITTAL REQUIREMENTS

PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

↓

_____ A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

_____ (1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

_____ (2) **A map of the subject property** for which the PD is proposed:

- _____ Showing all lands within 300 feet of the boundaries of the subject property;
- _____ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- _____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- _____ Map and all its parts clearly reproducible with a photocopier;
- _____ Map size of 11" by 17" and map scale not less than one inch equals 800 feet;
- _____ All lot dimensions of the subject property provided;
- _____ Graphic scale and north arrow provided.

_____ (3) **A general written description** of proposed PIP including:

- _____ Specific project themes and images;
- _____ The specific mix of dwelling unit types and/or land uses;
- _____ Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;
- _____ The specific treatment of natural features;
- _____ The specific relationship to nearby properties and public streets.
- _____ A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.
- _____ A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

_____ (4) **A Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*

- _____ A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;
- _____ Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;
- _____ Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of

various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
____ Notations relating the written information (3), above to specific areas on the GDP Drawing.

- ____ (5)A landscaping plan for subject property, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.
- ____ (6)A series of building elevations for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.
- ____ (7)A general signage plan including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.
- ____ (8)A general outline of the intended organizational structure for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.
- ____ (9)A written description which demonstrates the full consistency of the proposed PIP with the approved GDP.
- ____ (10)A written description of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,
- ____ (11)Proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development.

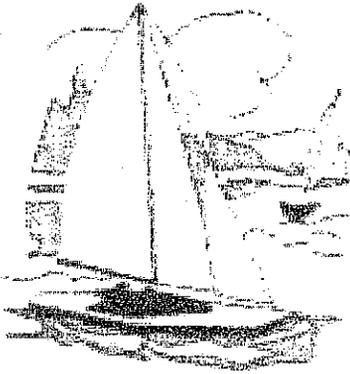
FINAL APPLICATION PACKET INFORMATION
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/PIP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five-years period by up to five additional years via a majority vote following a public hearing.

- ____ Receipt of 5 full scale copies in **blueline or blackline** of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- ____ **Class 2 Legal Notice published on _____ and _____ by: _____**



420 Elmwood Ave.



CITY OF LAKE GENEVA
Building Department
626 GENEVA STREET
LAKE GENEVA, WI 53147
Tel # (262) 248-3911 Fax # (262) 248-4715

Issue Date : 03/31/2016
 Applied for : 03/31/2016
 Expires : 03/31/2018

Permit # 20160140
 Type : BUILDING
 Parcel # ZYUP -00067

Address : 420 Elmwood Ave
 LAKE GENEVA, WI

Owner : Hathaway, Mark A & Jeane L
 420 Elmwood Ave
 Lake Geneva, WI 53147-0000

Main Contractor : Owner
 See contact information

Building : Value : \$ 30,000.00
 Unit : Square Footage : 1,536

FEE SCHEDULE

Accessory buildings & garages	\$	155.00
New, Add, Alt 1&2 Fam. & attd gar	\$	258.00
Occupancy Permit - Residential	\$	50.00
Plan Review Addn, Alt 1&2 Fam	\$	50.00
Zoning Permit	\$	50.00
SUBTOTAL FEES	\$	563.00
PAYMENTS	\$	0.00
BALANCE DUE	\$	563.00

NOTE: Fees must be paid in full before permit is valid for construction.



20160140

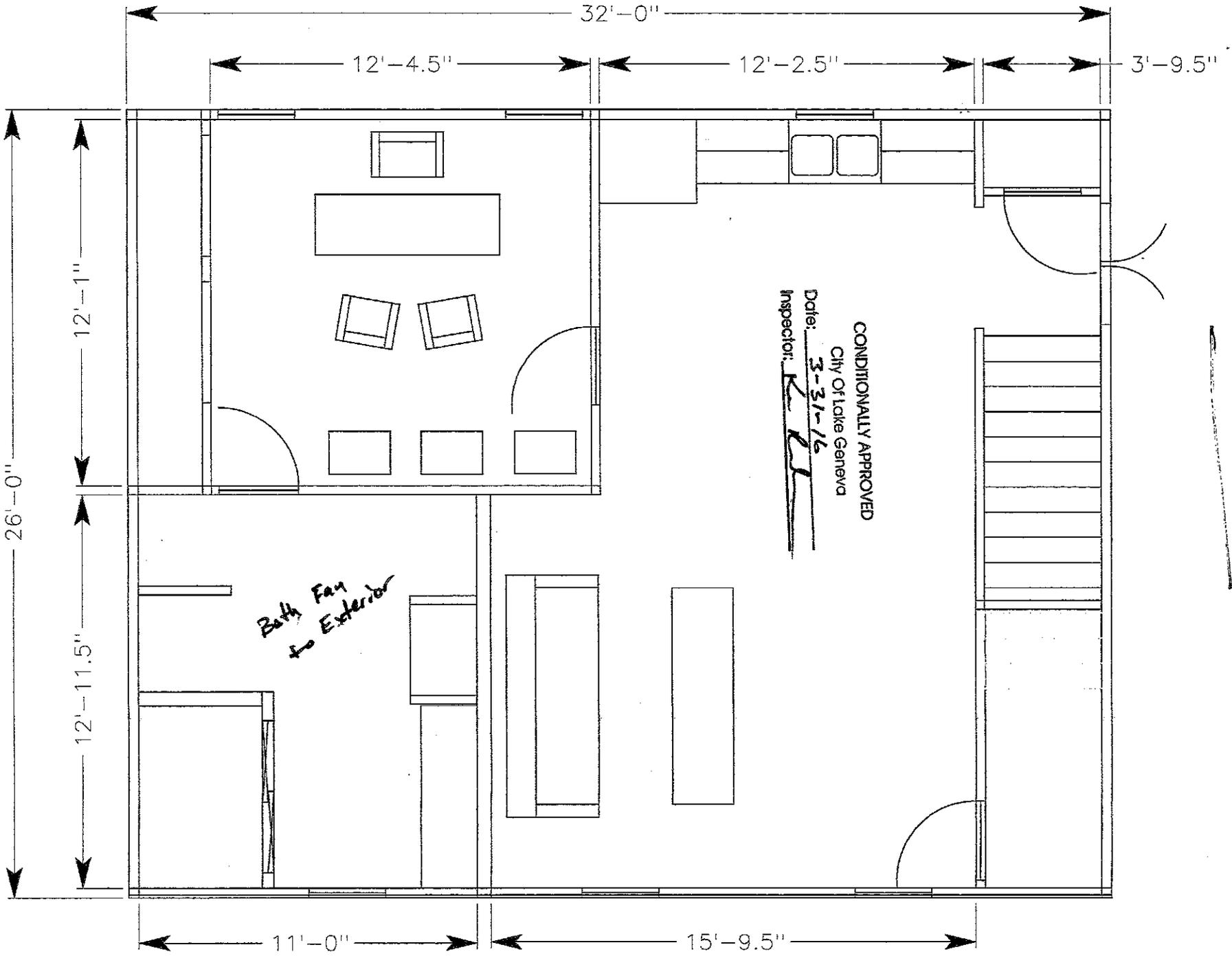
CITY OF LAKE GENEVA

*** CUSTOMER RECEIPT ***

DATE: 04/01/16 TIME: 10:49:38

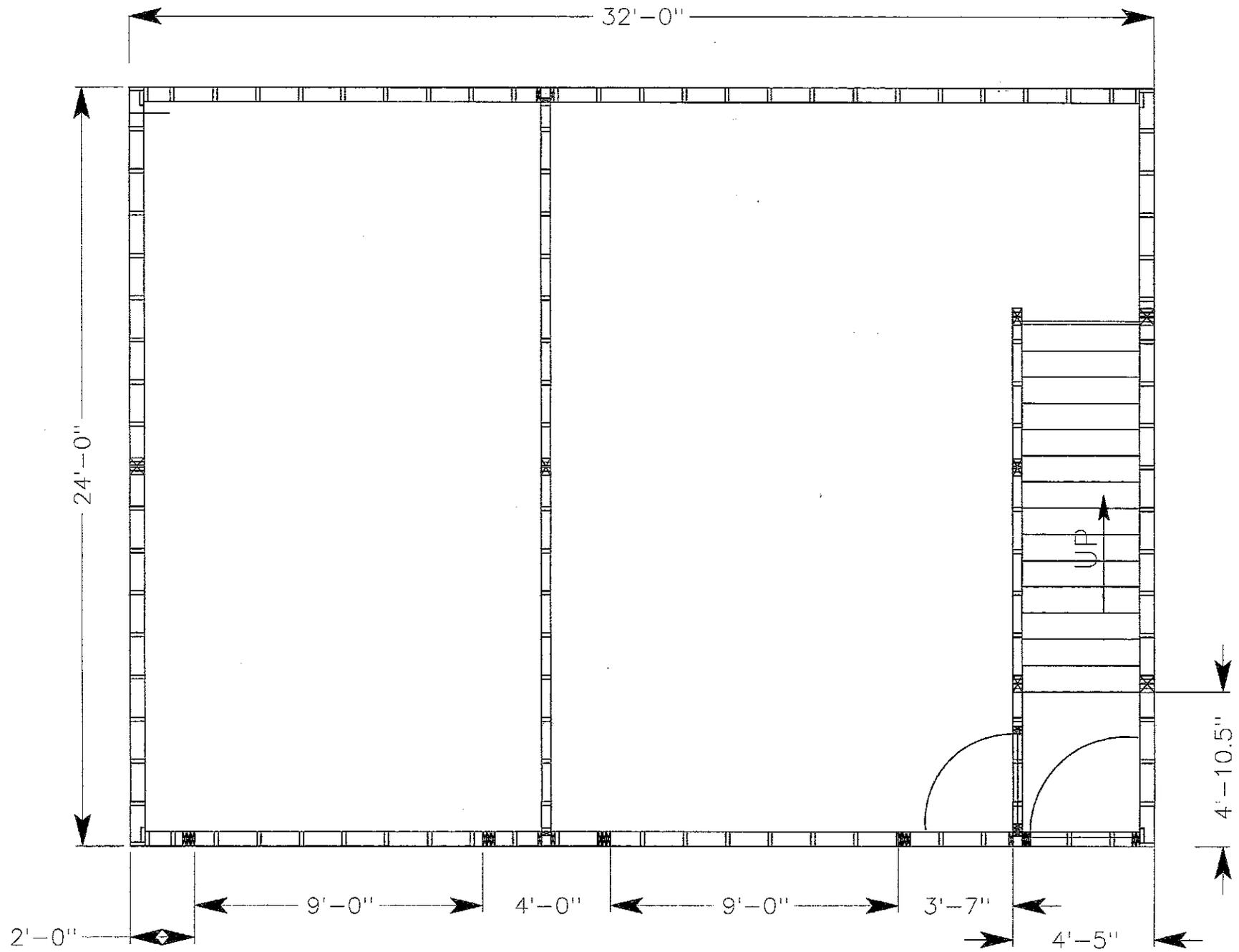
CUST NAME: Hathaway, Mark A & Jeane L

DESCRIPTION	PAY CD	AMOUNT
-----	-----	-----
PERMIT ISSUED	CK	563.00
20160140	1204	
TOTAL AMOUNT DUE		563.00
AMOUNT TENDERED		563.00
CHANGE DUE		.00
TRANS #: 1	CASHIER CODE: JGD	
BATCH #: C160401	REGISTER ID: JGD	



CONDITIONALLY APPROVED
City Of Lake Geneva
Date: 3-31-16
Inspector: [Signature]

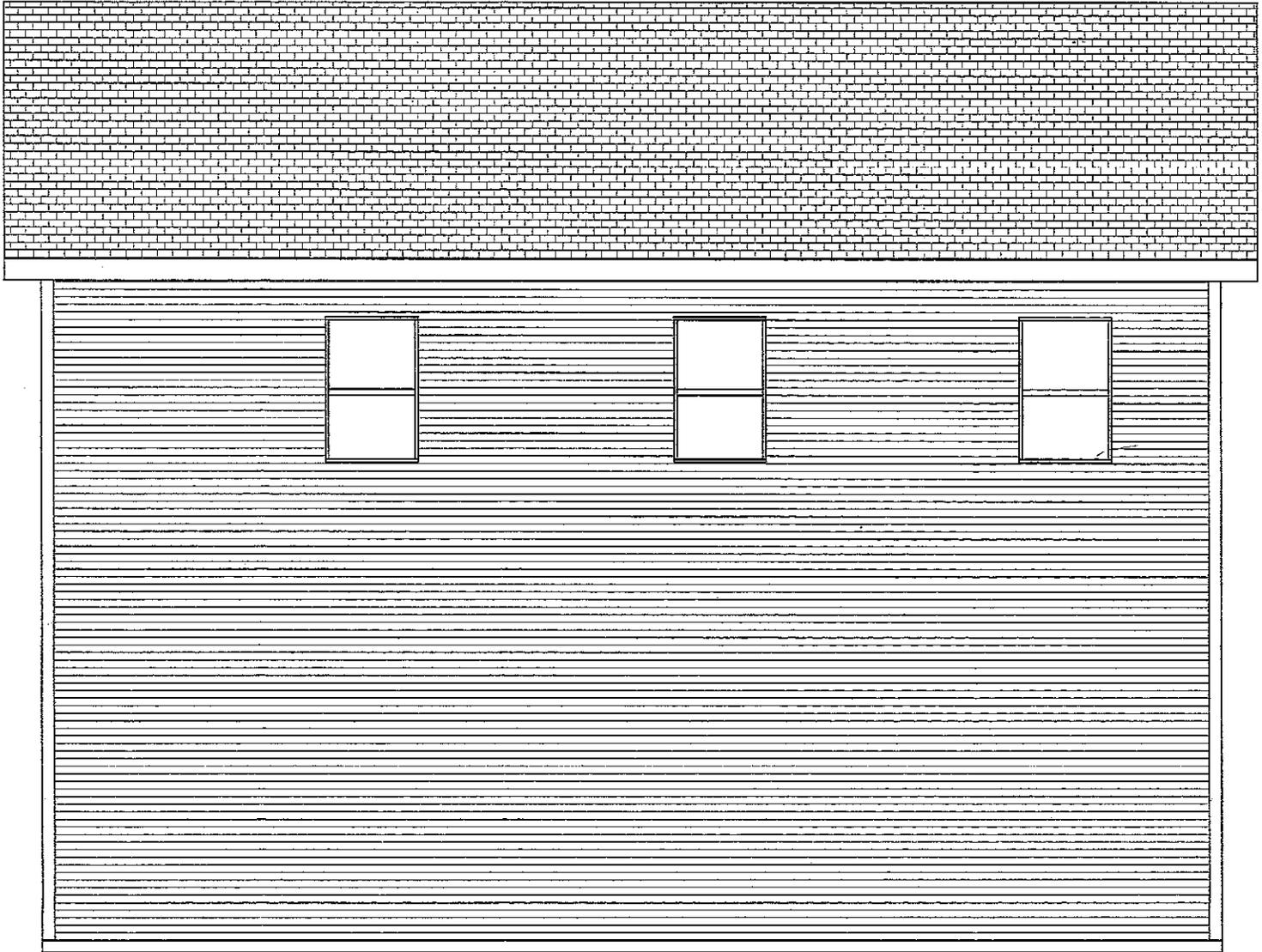
OWNERS COPY



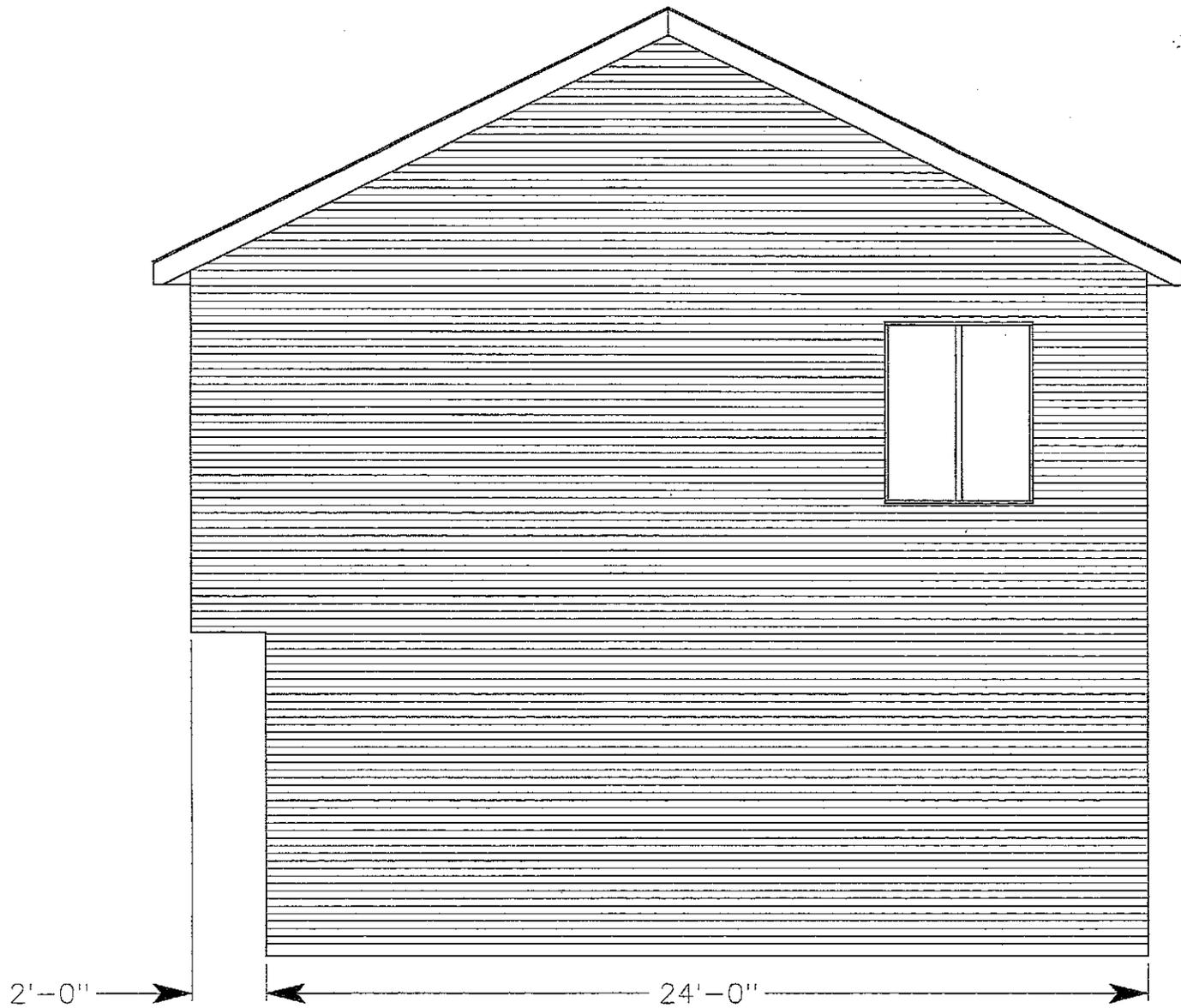


NORTH ELEVATION

420 ELMWOD AVENUE
LAKE GENEVA WI 53147



SOUTH ELEVATION
420 ELMWOD AVENUE
LAKE GENEVA WI 53147



WEST ELEVATION
420 ELMWOD AVENUE
LAKE GENEVA WI 53147



EAST ELEVATION
420 ELMWOD AVENUE
LAKE GENEVA WI 53147

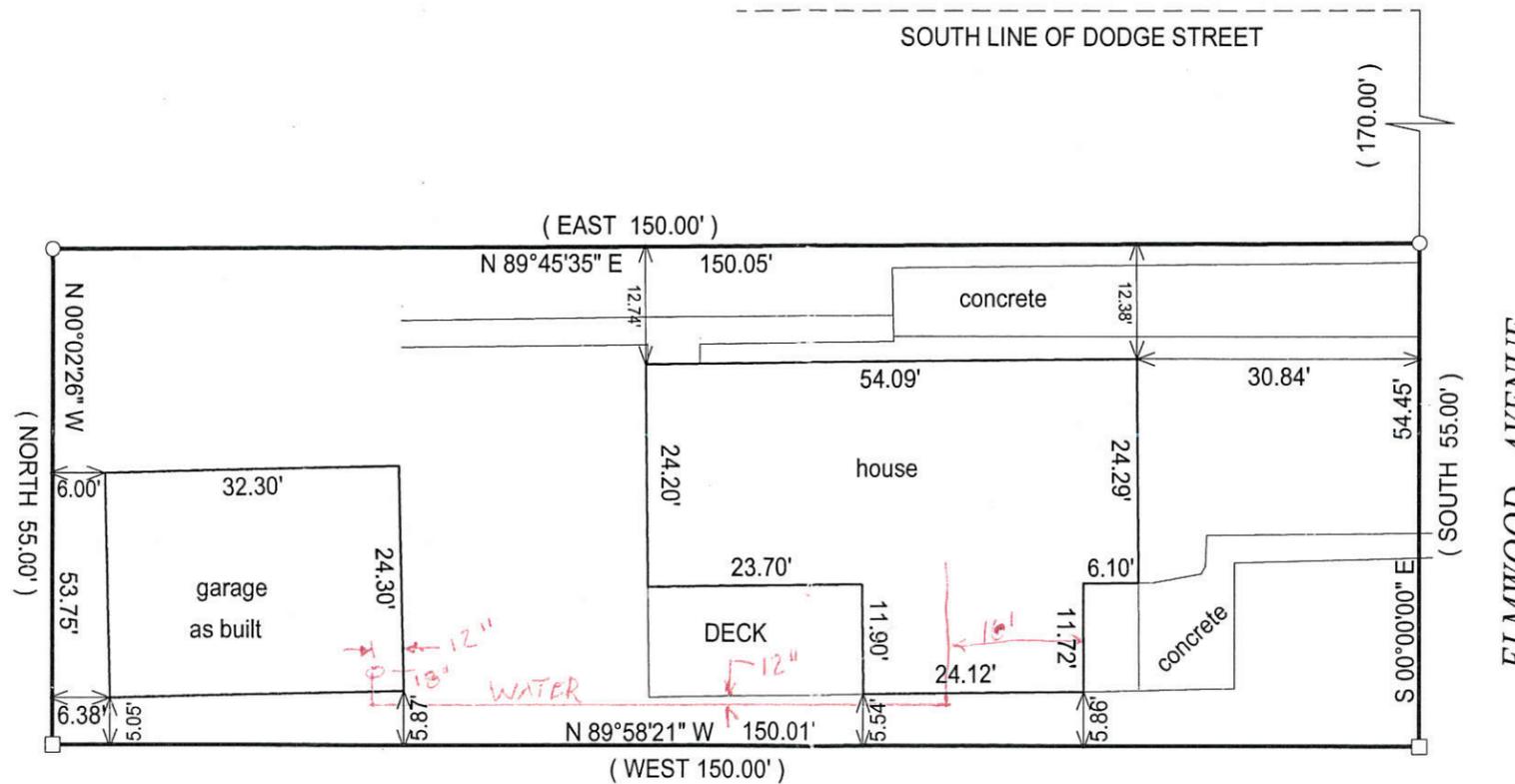
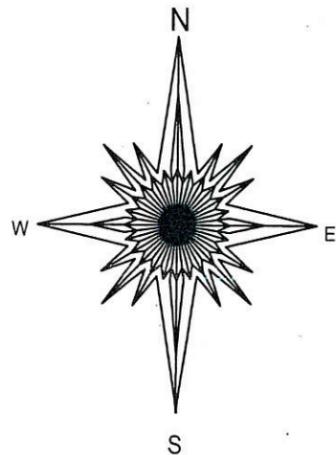
PREPARED FOR:
 MARK AND JEAN HATHAWAY
 420 ELMWOOD AVE
 LAKE GENEVA WI 53147

PLAT OF SURVEY

- OF -

PATHFINDER SURVEYING INC.
 (formerly)
 J.K. SURVEYING INC.
 P.O BOX 322
 LAKE GENEVA, WI. 53147
 WWW.PATHFINDERSURVEYING.NET
 262-248-8303

ALL THAT PART OF THE NE 1/4 OF SECTION 35, TOWNSHIP 2 NPTH, RANGE 17 EAST, IN THE CITY OF LAKE GENEVA, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT A POINT 170 FEET SOUTH OF THE SOUTHWEST CORNER OF THE INTERSECTION OF ELMWOOD AVE. AT DODGE ST. IN SAID CITY OF LAKE GENEVA; THENCE SOUTH ALONG THE WEST LINE OF ELMWOOD AVENUE 55.00 FEET; THENCE WEST 150.00 FEET; THENCE NORTH 55 FEET TO A POINT; THENCE EAST 150 FEET TO THE POINT OF BEGINNING.



ELMWOOD AVENUE

- () = recorded as
- = found iron bar
- = found iron pipe
- = set iron pipe
- = set iron bar

SCALE 1" = 20'

JOB # 14-222ud

TAX ID # ZYUP00067

** Kevin O'Leary (see) #2307340*



Rick Bower
 Plumbing Division

rickbower@olearyplumbingandheating.com



BASIS OF BEARING OF THIS PLAT: THE WEST LINE OF ELMWOOD AVE. WAS ASSUMED TO BEAR SOUTH.

"I hereby certify that I have surveyed the above described property and that the above map is a true representation of its exterior boundary and shows the size and location of all visible structures, apparent easements and encroachments if any."

This survey is made for the present owners of the property, and those who purchase, mortgage, or guarantee the title thereto, within one year from the date hereof.

DATED THIS 24TH DAY OF SEPTEMBER, 2014.

REVISED 04/11/2017 SHOW GARAGE AS BUILT

REVISED 10-1-2014 ADDED ADDITIONAL TIES



Jeffrey L. Kimps

JEFFREY L. KIMPS S - 2436
 Wisconsin Registered Land Surveyor
 (original if signed in red)



(Comp.)

424 EIMWOOD AVE.



Overview



Status

Active With Offer



Price/Sq Ft

\$169



On realtor.com®

1 day



Built

1945



Style

Condo/townho...

Move-in beautiful 4BR, 3BA, 2 story just 2.5 blocks to Geneva Lake. Enjoy 600' beachfront, boat moorings (wait list), fishing pier, kayak racks, dog beach, downtown shops and restaurants just an easy walk away. Features include wood floors throughout, custom kitchen w/center island + pantry, 2 paver brick patios, main flr BR/BA, laundry, spacious living rm w/9' ceilings, stone FP, dining w/built-in bookshelves, 4 season porch w/FP, 2nd flr master w/Kohler body spray shower, Jacuzzi, and balcony, 2 car det garage w/totally renovated guest suite above featuring kitchen and private sundeck.

Schools

- School District: Lake Geneva-Genoa City Uhs
- High School: Badger
- Middle School: Lgms
- Elementary School: Central Denison

Features

Bedrooms

- Bedrooms: 4
- Master Bedroom: 13x17
- Bedroom 2: 11x11
- Bedroom 3: 11x11
- Bedroom 4: 10x10
- Master Bedroom on Upper Level
- Bedroom 2 on Upper Level
- Bedroom 3 on Upper Level
- Bedroom 4 on Main Level

Bathrooms

- Full Bathrooms: 3
- At Least One Bathtub
- Ceramic Tile
- Jetted Tub
- Mbr Bath Separate Tub
- Mbr Bath Walk-In Shower
- Off Master Bedroom
- Shower Stall

Kitchen and Dining

- Kitchen: 11x19
- Dining: 11x10
- Kitchen on Main Level
- Dining on Main Level

Exterior and Lot Features

- Patio, Sprinkler System
- Guest House
- Storage Shed
- Est. Acreage: 0.19





STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: July 17, 2017

Agenda Item #8.

Applicant:

Rick Bittner
259 Skyline Dr
Lake Geneva, WI 53147

Request:

Next Door Pub
411 Interchange North
Proposed Conditional Use Site Plan Amendment

Description:

The applicant is submitting a request to amend the existing Conditional Use Permit (CUP) site plan to renovate two existing parking stalls to allow for additional exterior waiting area, located at 411 Interchange North. The City has previously approved CUP for this site, in order to permit the amendment staff has identified the current site is lacking in required parking stalls, and after discussions with the applicant and they provided the standing contract they have with the adjacent neighbor to rent areas for overflow parking.

The property is zoned Planned Business. No outdoor lighting is proposed. No permanent or structural changes are proposed to the exterior of the existing building only converting two parking spaces to outdoor waiting area. All activities will occur on private property.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed amendment to the Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed added exterior waiting area will have no impacts to neighborhoods are anticipated.

No lighting is proposed for the site. Staff notes that the Zoning Code allows for shielded full cutoff lighting fixtures are required in all other cases should they choose to add additional lighting in the future.

The amendment to the conditional use permit is to allow for the addition of exterior space which will allow for additional exterior waiting area.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other

plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend *approval* of the proposed amendment to the existing conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

411 INTERCHANGE NORTH, LAKE GENEVA WI 53147
Parcel # ZYUP 00137M

NAME AND ADDRESS OF CURRENT OWNER:

BITTNER Properties
259 SKYLANE, LAKE GENEVA, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: 414-429-2606

NAME AND ADDRESS OF APPLICANT:

Rick Bittner
259 SKYLANE LAKE GENEVA, WI 53147

TELEPHONE NUMBER OF APPLICANT: 414-429-2606

PROPOSED CONDITIONAL USE:

Addition to current front deck at Next Door Pub
& Pizzeria.

ZONING DISTRICT IN WHICH LAND IS LOCATED: _____

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

RICHARD DAMMEIR Builders
1033 Williams St. LAKE GENEVA, WI 53147
(262)-248-1411

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Waiting area expansion for Restaurant, Expansion of
beverage service & food service (14'x17')

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)] Paid 6/9/17

6/4/17
DATE

Rick Bittner
SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application.

[Signature], as applicant/petitioner for:

Name: Bittner Properties
Address: 259 SKYLINE
LAKE GENEVA, WI 53147
Phone: 414-429-2606

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 4th day of June, 2017.

RICHARD R. Bittner
Printed name of Applicant/Petitioner

[Signature]
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I.RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II.APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ (a)A map of the proposed conditional use:

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b)A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:



- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

positive effect as patrons are moved outside of building

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

NO IMPACT

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

NO CHANGE, HARD SURFACE COVERED WITH HARD SURFACE

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

NO IMPACT

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Reduce inside congestion at Restaurant front waiting area

IV.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

June 4, 2017

Submittal for Deck Expansion
Next Door Pub & Pizzeria
411 Interchange North
Lake Geneva, WI 53147

Written Description of Intended Use:

- No Change to existing Zoning is required
- No "business change of use" is being requested. Current business is a restaurant and that will remain
- Location has no residences and there are none at any adjacent properties
- There will be no change to the existing "hard surface" area of the partial. Proposed decking will be covering asphalt area.
- Plantings will be replaced 1 for 1 at a minimum.
- There will not be any changes to hours of operation.
- There will be a loss of two parking spaces, but both are not always used as they are very tight. We have replaced this loss with an addition to a rented parking lot to the rear of our building

Business basis for deck changes:

As the business has grown, we have attempted to increase the space available for guests waiting to be seated. We are now out of internal room to expand the waiting area without reducing the number of restaurant seats and negating the value of enlarging the waiting area. In addition, during the busiest summer months, we are pushing the building capacity limit of 185 persons.

Our plan is to add waiting area outside the building. This has only seasonal value but adding space will be available during the peak summer season. If we can encourage patrons waiting for table seating outside the restaurant, we reduce the congestion at the front door.

We currently offer beverage and appetizer service on the existing deck (service by a server only). Our plan is to just expand that service to a larger area.

The deck itself will look as close as possible to the current deck. We can't use the brick pavers that are on the current deck as we would trap water run-off from the property at the rear and there is a back to front natural slope to the entire area. We will not create any additional run-off with this addition. The deck will have below frost pylons as required and Trex, composite decking that is designed for this purpose.

The two parking spaces that we are removing are very tight and create a bottleneck area. We have recently upgraded and expanded the lot to the rear of the building. We are now well in excess of the required parking for the number of seats inside and also if we add any of the outside area seating.

Thank You for your consideration



2006



2006



2006



2006



2006



2009



411

Next Door Pub & Pizzeria

WINNER OF
Best of W. Tarrant
County 2015 Award
Best Pub • Best Local Dining
Best Pizza • Best Overall Restaurant

PROP. LINE

LANDSCAPED AREA: 2881 SF.

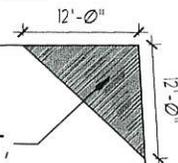
GARBAGE DUMPSTER

RAMP TO ADDITIONAL PARKING

20 19 18 17 16 15 14 13 12

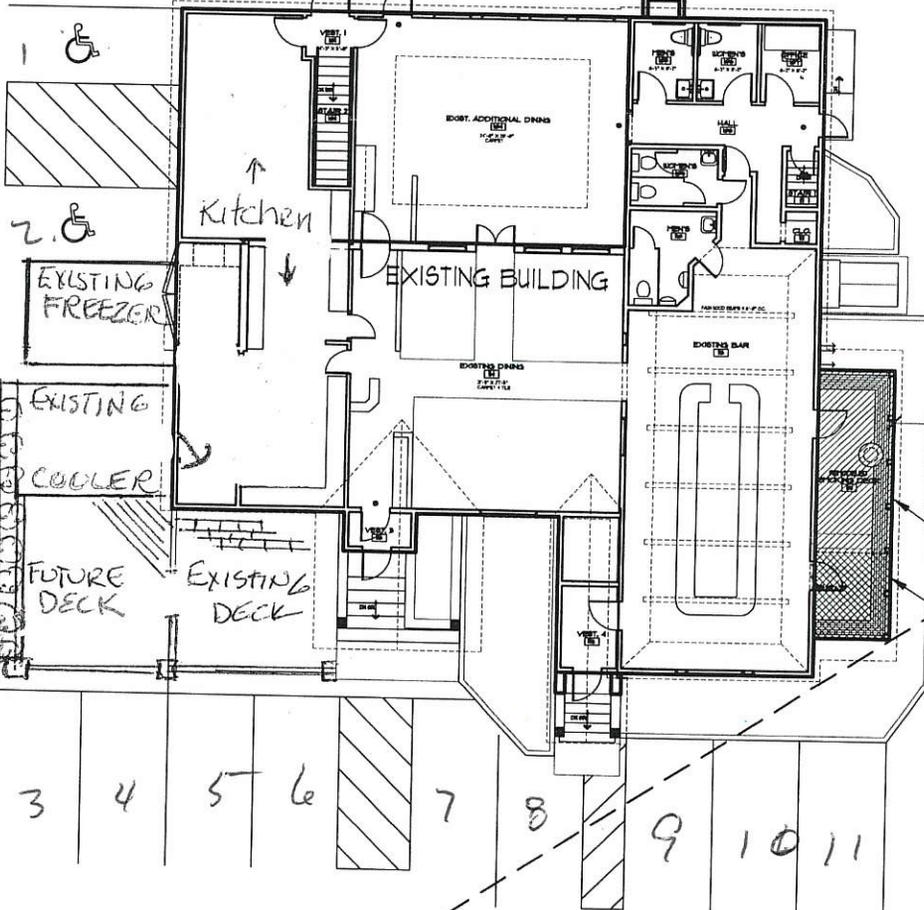
REMOVE EXISTING ASPHALT, ADD NEW LANDSCAPE AREA TO REPLACE 1/2# OF EXIST. LANDSCAPE COVERED BY NEW ADDITION

30' REAR YARD SETBACK



- 1 EXIST. LT. POLE
- 2 22
- 3 23
- 4 24
- 5 25
- 6 26
- 7 27
- 8 28
- 9 29
- 10 30
- 11 31
- 12 32
- 13 33

45 stalls



10' SIDE YARD SETBACK

NEW ROOF AT EXIST. DECK
NEW ROOF AT WD. DECK ADDITION (ADDITION: 12#)

EXISTING BUILDING

PROP. LINE

GRASS: 493 SF.

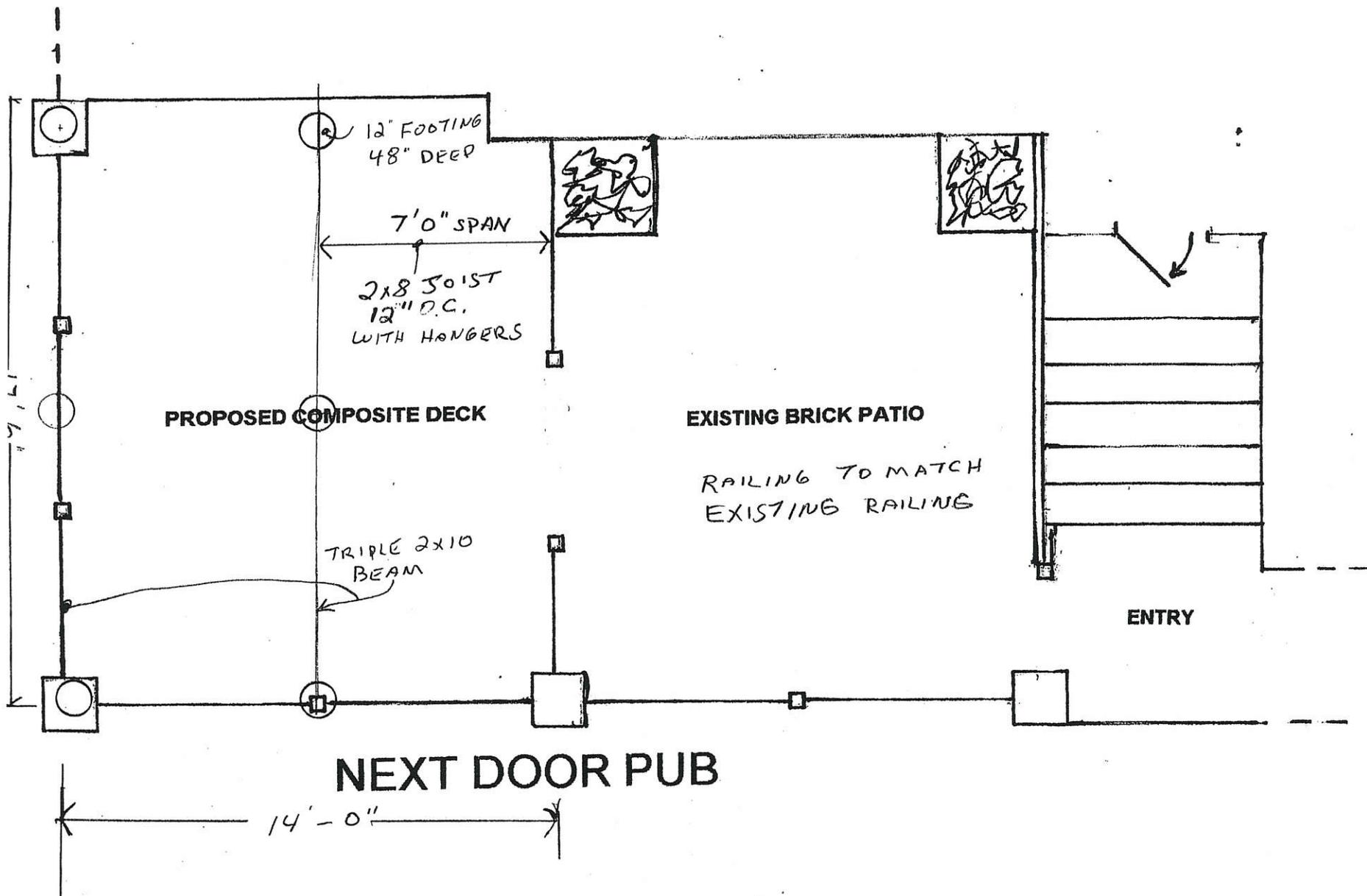
10' SIDE YARD SETBACK

34-39 stalls

3 4 5 6 7 8 9 10 11

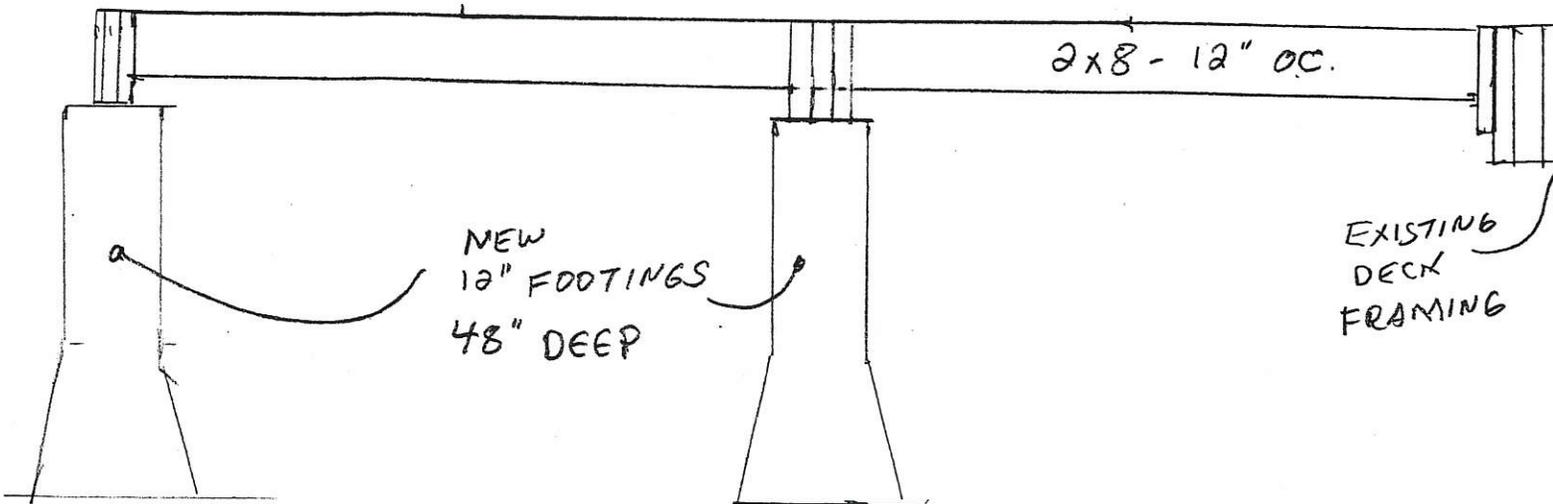
SIDE SETBACK

40 41 42 43 44 45





**1033 N. Williams Street
Lake Geneva, WI 53147
Phone 262-325-9103 Fax 262-248-1411**



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #9.

Applicant:

Brunk Industries Inc.
1225 Sage Street
Lake Geneva, WI. 53147

Request:

Amend the existing Certified Survey Map (CSM)

Description:

This request is to approve a proposed amendment to the existing Certified Survey Map (CSM) to modify walk and culvert connection between the existing facilities and new facility along E Sheridan Springs Road.

The result of this CSM will be the installation of a dual use walk and equipment access with the proposed width of 10' cross access in addition to the installation of a culvert, and with all of the minimum standards of the Planned Development (PD) zoning.

Project Details from Submittal dated May 12, 2017 and revisions dated June 21, 2017 to include Excel Engineering Survey CSM :

The proposed CSM drawing is provided on one page on project No. 1650900

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Certified Survey Map (CSM) amendment:

As part of the consideration of the requested CSM, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CSM amendment.

Staff Recommendation on the proposed Certified Survey Map (CSM) amendment:

1. Staff recommends that the Plan Commission recommend *approval* of the CSM as submitted, subject to approval of the proposed zoning map amendment for both side walk and culvert installation; and subject to compliance with detailed technical review comments provided by the City's consulting engineer.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

1225 Sage Street Lake Geneva, WI 53147

See attached previously approved CSM

Name and Address of Current Owner:

Brunk Factory Building, LLC

1225 Sage Street, Lake Geneva, WI 53147

Telephone No. of Current Owner including area code: 262-248-8873

Name and Address of Applicant:

Same as Owner

Telephone No. of Applicant including area code: Same as Owner

Proposed Use:

Manufacturing

Zoning District in which land is located: Planned Development-Planned Industrial Overlay

Names and Addresses of architect, professional engineer and contractor of project:

Excel Engineering Inc

CD Smith Construction Inc.

Eric Drazkowski-Engineer / Tom Schermerhorn-Architect

Joe Van Handel

100 Camelot Drive

889 E Johnson St

Fond du Lac, WI 54935

Fond du Lac, WI 54935

Short statement describing activities to take place on site:

Amendment to original PIP to modify walk and culvert for connection between
the existing facility and new facility along E Sheridan Springs Road.

PIP Amendment fee \$400.00, payable upon filing application.


Signature of Applicant

AGREEMENT FOR SERVICES

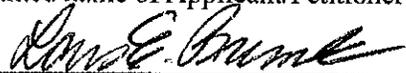
REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Lars Brunk, as applicant/petitioner for:

Name: Brunk Factory Building, LLC
Address: 1225 Sage Street
Lake Geneva, WI 53147
Phone: 262-248-8873

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

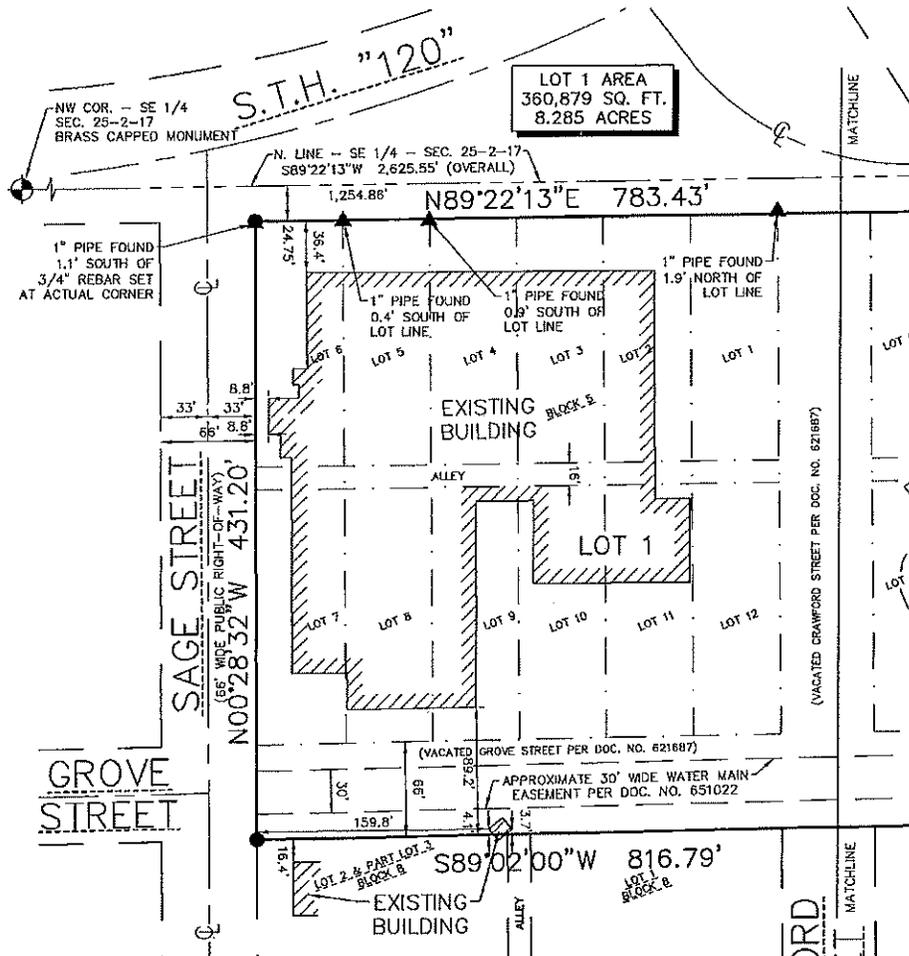
Dated this 15th day of March, 2017.

Lars Brunk
Printed name of Applicant/Petitioner

Signature of Applicant/Petitioner

CERTIFIED SURVEY MAP NO.

FOR
BRUNK FACTORY BUILDING, LLC.

LOTS 1-12 IN BLOCK 4, LOTS 1-12 IN BLOCK 5, PART OF VACATED GROVE STREET, PART OF VACATED CRAWFORD STREET, PART OF VACATED WAVERLY STREET, AND PART OF A VACATED ALLEY OF GENEVA LAKE CRAWFORD MANUFACTURING COMPANY'S ADDITION, ALL BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.



LOT 1 AREA
360,879 SQ. FT.
8.285 ACRES

1" PIPE FOUND
1.1' SOUTH OF
3/4" REBAR SET
AT ACTUAL CORNER

1" PIPE FOUND
1.9' NORTH OF
LOT LINE

1" PIPE FOUND
0.4' SOUTH OF
LOT LINE

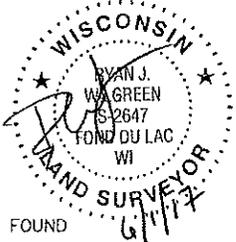
1" PIPE FOUND
0.9' SOUTH OF
LOT LINE

EXISTING
BUILDING

LOT 1

EXISTING
BUILDING

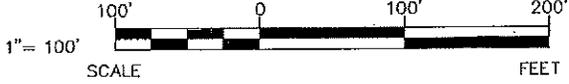
NOTE:
THIS SURVEY IS BASED UPON INFORMATION
CONTAINED IN QUIT CLAIM DEED RECORDED
AS DOC. NO. 941181



LEGEND

- - 3/4" IRON REBAR FOUND
- ⊙ - 2" IRON PIPE FOUND
- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
- ▲ - 1" IRON PIPE FOUND
- ⊕ - SECTION CORNER MONUMENT FOUND

NORTH POINT REFERENCED TO THE WISCONSIN COORDINATE GRID SYSTEM, SOUTH ZONE. THE NORTH LINE OF THE SOUTHEAST QUARTER HAS A RECORDED BEARING OF SOUTH $89^{\circ}-22'-13''$ WEST.



OWNER:
BRUNK FACTORY BUILDING, LLC.
1225 N. SAGE STREET
LAKE GENEVA, WI 53147
SHEET 1 OF 4 SHEETS



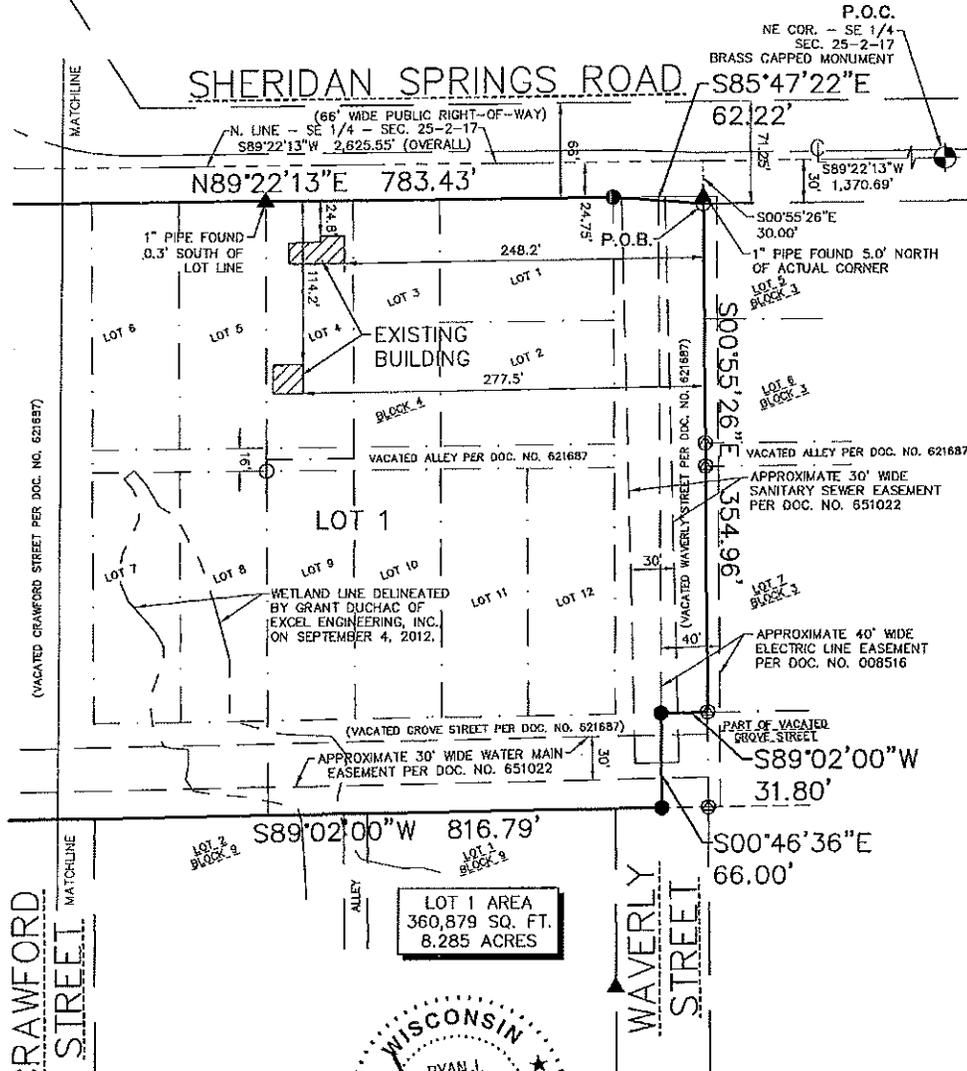
EXCEL
ENGINEERING, Inc.
SURVEYING GROUP
PROJECT NO. 1650900

Always a Better Plan
100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

CERTIFIED SURVEY MAP NO.

FOR
BRUNK FACTORY BUILDING, LLC.

LOTS 1-12 IN BLOCK 4, LOTS 1-12 IN BLOCK 5, PART OF VACATED GROVE STREET, PART OF VACATED CRAWFORD STREET, PART OF VACATED WAVERLY STREET, AND PART OF A VACATED ALLEY OF GENEVA LAKE CRAWFORD MANUFACTURING COMPANY'S ADDITION, ALL BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

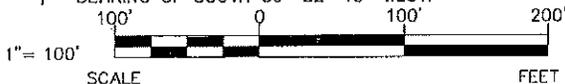


LOT 1 AREA
360,879 SQ. FT.
8.285 ACRES

LEGEND

- - 3/4" IRON REBAR FOUND
- ⊙ - 2" IRON PIPE FOUND
- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
- ▲ - 1" IRON PIPE FOUND
- ⊕ - SECTION CORNER MONUMENT FOUND

NORTH POINT REFERENCED TO THE WISCONSIN COORDINATE GRID SYSTEM, SOUTH ZONE. THE NORTH LINE OF THE SOUTHEAST QUARTER HAS A RECORDED BEARING OF SOUTH 89°-22'-13" WEST.



OWNER:
BRUNK FACTORY BUILDING, LLC.
1225 N. SAGE STREET
LAKE GENEVA, WI 53147
SHEET 2 OF 4 SHEETS



EXCEL
ENGINEERING
SURVEYING GROUP
PROJECT NO. 1650900

Always a Better Plan
100 CAMBLOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

CERTIFIED SURVEY MAP NO. _____

LOTS 1-12 IN BLOCK 4, LOTS 1-12 IN BLOCK 5, PART OF VACATED GROVE STREET, PART OF VACATED CRAWFORD STREET, PART OF VACATED WAVERLY STREET, AND PART OF A VACATED ALLEY OF GENEVA LAKE CRAWFORD MANUFACTURING COMPANY'S ADDITION, ALL BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of Brunk Factory Building, LLC bounded and described as follows:

Lots 1-12 in Block 4, Lots 1-12 in Block 5, part of vacated Grove Street, part of vacated Crawford Street, part of vacated Waverly Street, and part of a vacated alley of Geneva Lake Crawford Manufacturing Company's Addition to the Village of Geneva (now City of Lake Geneva) recorded July 2, 1875 in the Walworth County Register of Deeds Office on Pages 78 and 79, all being a part of the Northwest 1/4 of the Southeast 1/4 of Section 25, Township 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin being more particularly described as follows:

Commencing at the Northeast corner of the Southeast 1/4 of said Section 25; thence South 89°-22'-13" West along the North line of said Southeast 1/4, a distance of 1,370.69 feet to the Northerly extension of the Easterly right-of-way line of Waverly Street vacated per Order for Alteration of a recorded plat of subdivision recorded in the Walworth County Register of Deeds office as Document No. 621687; thence South 00°-55'-26" East along said Northerly extension, a distance of 30.00 feet to the Southerly right-of-way line of Sheridan Springs Road, said point also being the point of beginning; thence continuing South 00°-55'-26" East along said Easterly right-of-way line, a distance of 354.96 feet to the Northerly right-of-way line of Grove street vacated per said Document No. 621687; thence South 89°-02'-00" West along said Northerly right-of-way line, a distance of 31.80 feet to the centerline of said vacated Waverly Street; thence South 00°-46'-36" East along said centerline, a distance of 66.00 feet to the Southerly right-of-way line of said vacated Grove Street; thence South 89°-02'-00" West along said Southerly right-of-way line, a distance of 816.79 feet to the Easterly right-of-way line of Sage Street; thence North 00°-28'-32" West along said Easterly right-of-way line, a distance of 431.20 feet to the Westerly extension of the Southerly right-of-way line of Sheridan Springs Road, said line lies 24.75 feet South of and parallel with the North line of the Southeast 1/4 of said Section 25; thence North 89°-22'-13" East along said Southerly right-of-way line and it's Westerly extension, a distance of 783.43 feet to the Westerly right-of-way line of said vacated Waverly Street; thence South 85°-47'-22" East along said Southerly right-of-way line, a distance of 62.22 feet to the point of beginning and containing 8.285 acres (360,879 sq. ft.) of land more or less, and being subject to all easements and restrictions of record.

That such is a correct representation of all the exterior boundaries of the land surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinance of The City of Lake Geneva in surveying, dividing, and mapping the same.



Ryan Wilgreen 6/1/17
Ryan Wilgreen, P.L.S. No. S-2647
ryan.w@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935

Project Number: 1650900

CERTIFIED SURVEY MAP NO. _____

LOTS 1-12 IN BLOCK 4, LOTS 1-12 IN BLOCK 5, PART OF VACATED GROVE STREET,
PART OF VACATED CRAWFORD STREET, PART OF VACATED WAVERLY STREET, AND
PART OF A VACATED ALLEY OF GENEVA LAKE CRAWFORD MANUFACTURING
COMPANY'S ADDITION, ALL BEING PART OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4 OF SECTION 25, TOWNSHIP 2 NORTH, RANGE 17 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

Brunk Factory Building, LLC, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as Owner does hereby certify that said Limited Liability Company caused the land described on this plat to be surveyed, divided, and mapped as represented on this plat.

Brunk Factory Building, LLC does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1. City of Lake Geneva

WITNESS the hand and seal of said owners this _____ day of _____, 20__.

IN PRESENCE OF:

Brunk Factory Building, LLC

Witness

Lars E. Brunk, President

STATE OF WISCONSIN)
_____ COUNTY)SS

Personally came before me this _____ day of _____, 20__, the above named Lars E. Brunk to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, _____ County, WI

My Commission Expires: _____

PLAN COMMISSION CERTIFICATE

Approved by resolution by the City of Lake Geneva Planning Commission on this _____ day of _____, 20__.

Chairman

City Clerk



APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____



Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____



A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

Included in original and approved PIP package.

(1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

Included in original and approved PIP package.

(2) **A map of the subject property** for which the PD is proposed:

____ Showing all lands within 300 feet of the boundaries of the subject property;

____ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

____ Map and all its parts clearly reproducible with a photocopier;

____ Map size of 11" by 17" and map scale not less than one inch equals 800 feet;

____ All lot dimensions of the subject property provided;

____ Graphic scale and north arrow provided.

See Amendment Narrative

(3) **A general written description** of proposed PIP including:

____ Specific project themes and images;

____ The specific mix of dwelling unit types and/or land uses;

____ Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

____ The specific treatment of natural features;

____ The specific relationship to nearby properties and public streets.

____ A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.

____ A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall

be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

Amended Area Only 

- (4) **A Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*
- _____ A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;
 - _____ Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;
 - _____ Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
 - _____ Notations relating the written information (3), above to specific areas on the GDP Drawing.

Amended Area Only 

- (5) **A landscaping plan for subject property**, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.

Included in original and approved PIP package.

- (6) **A series of building elevations** for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.

Included in original and approved PIP package.

- (7) **A general signage plan** including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.

Included in original and approved PIP package.

- (8) **A general outline of the intended organizational structure** for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.

See Amendment Narrative 

- (9) **A written description** which demonstrates the full consistency of the proposed PIP with the approved GDP.

See Amendment Narrative 

- (10) **A written description** of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,



6/8/2017

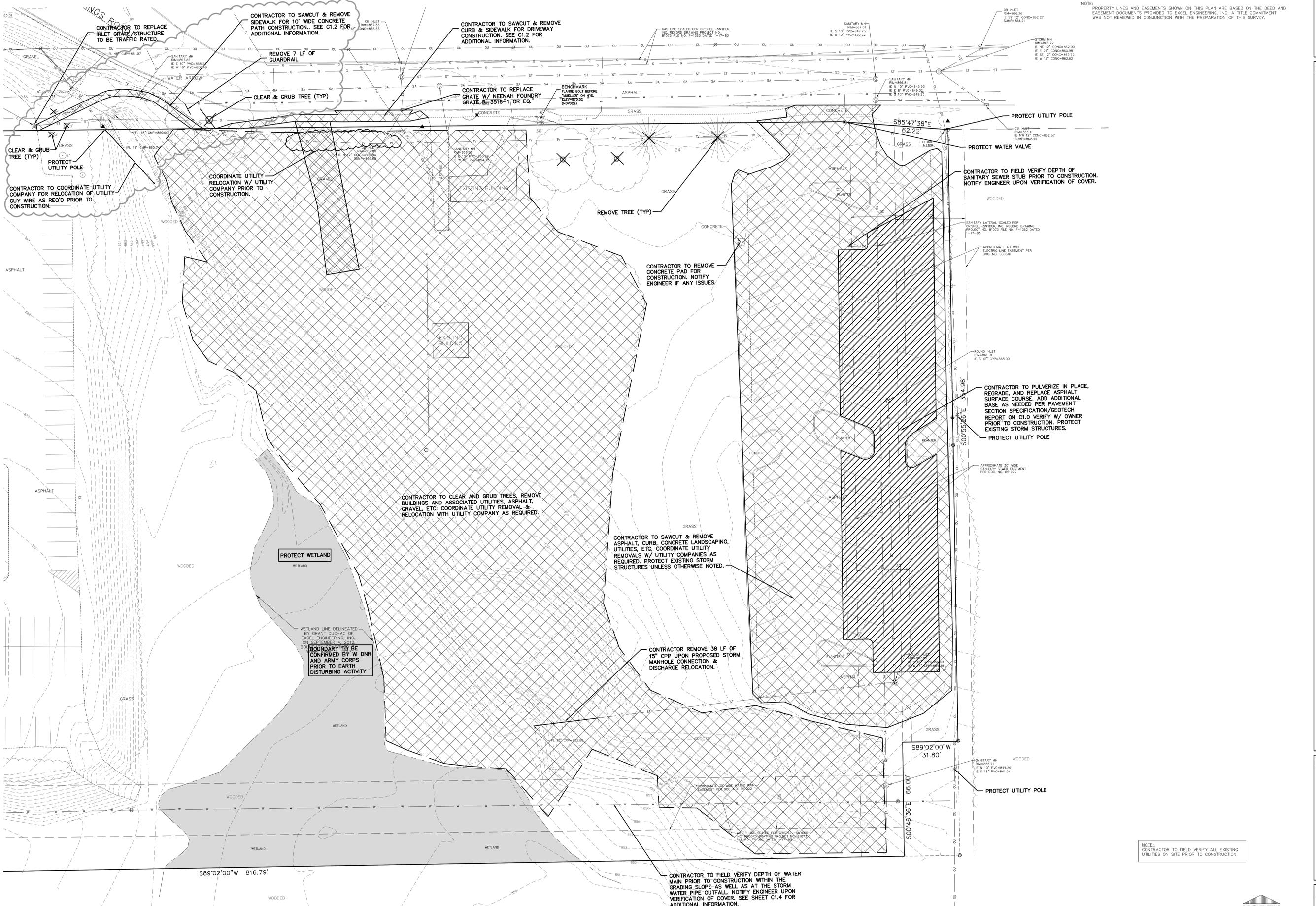
Brunk Industries, Inc.
Lake Geneva, WI

PIP Amendment Narrative

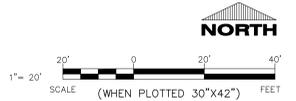
An Amendment to the Precise Implementation Plan to the already approved Planned Development is proposed to obtain approval for a culvert and sidewalk modification east of the existing Brunk Industries facility along E Sheridan Springs Road to connect the existing and new facilities. The culvert will be removed and relocated and the sidewalk will be expanded from 5' to 10'.

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS ON THE SURVEYED PARCEL HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES CRITICAL TO CONSTRUCTION.

NOTE: PROPERTY LINES AND EASEMENTS SHOWN ON THIS PLAN ARE BASED ON THE DEED AND EASEMENT DOCUMENTS PROVIDED TO EXCEL ENGINEERING, INC. A TITLE COMMITMENT WAS NOT REVIEWED IN CONJUNCTION WITH THE PREPARATION OF THIS SURVEY.



NOTE: CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES ON SITE PRIOR TO CONSTRUCTION



PROJECT INFORMATION

PROJECT NUMBER 1650900

PROPOSED BUILDING FOR:
BRUNK INDUSTRIES, INC.
1225 SAGE ST. • LAKE GENEVA, WI 53147

PROFESSIONAL SEAL

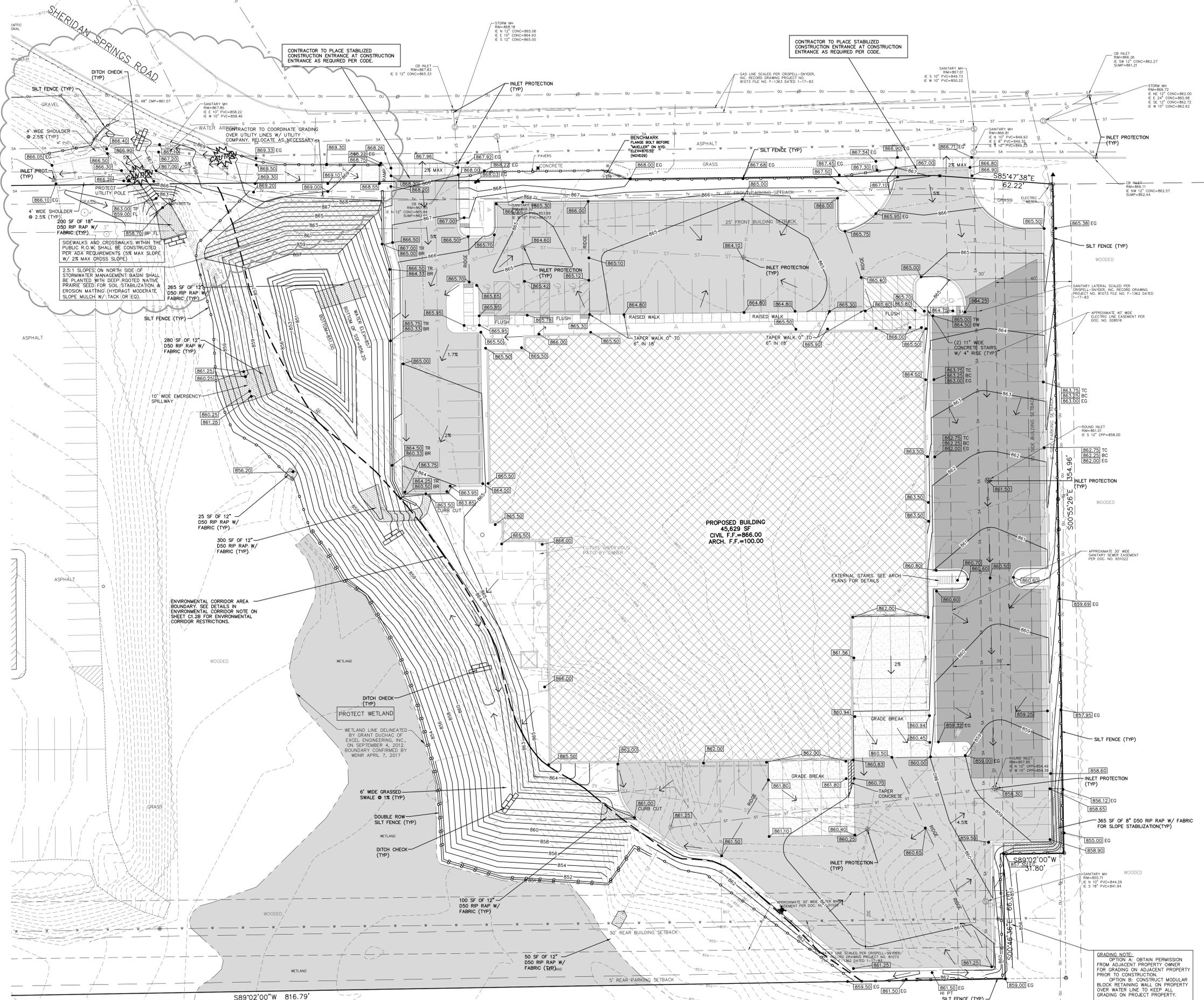
SHEET DATES

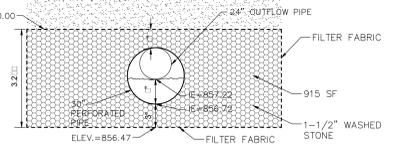
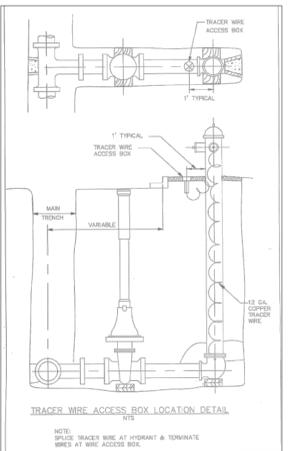
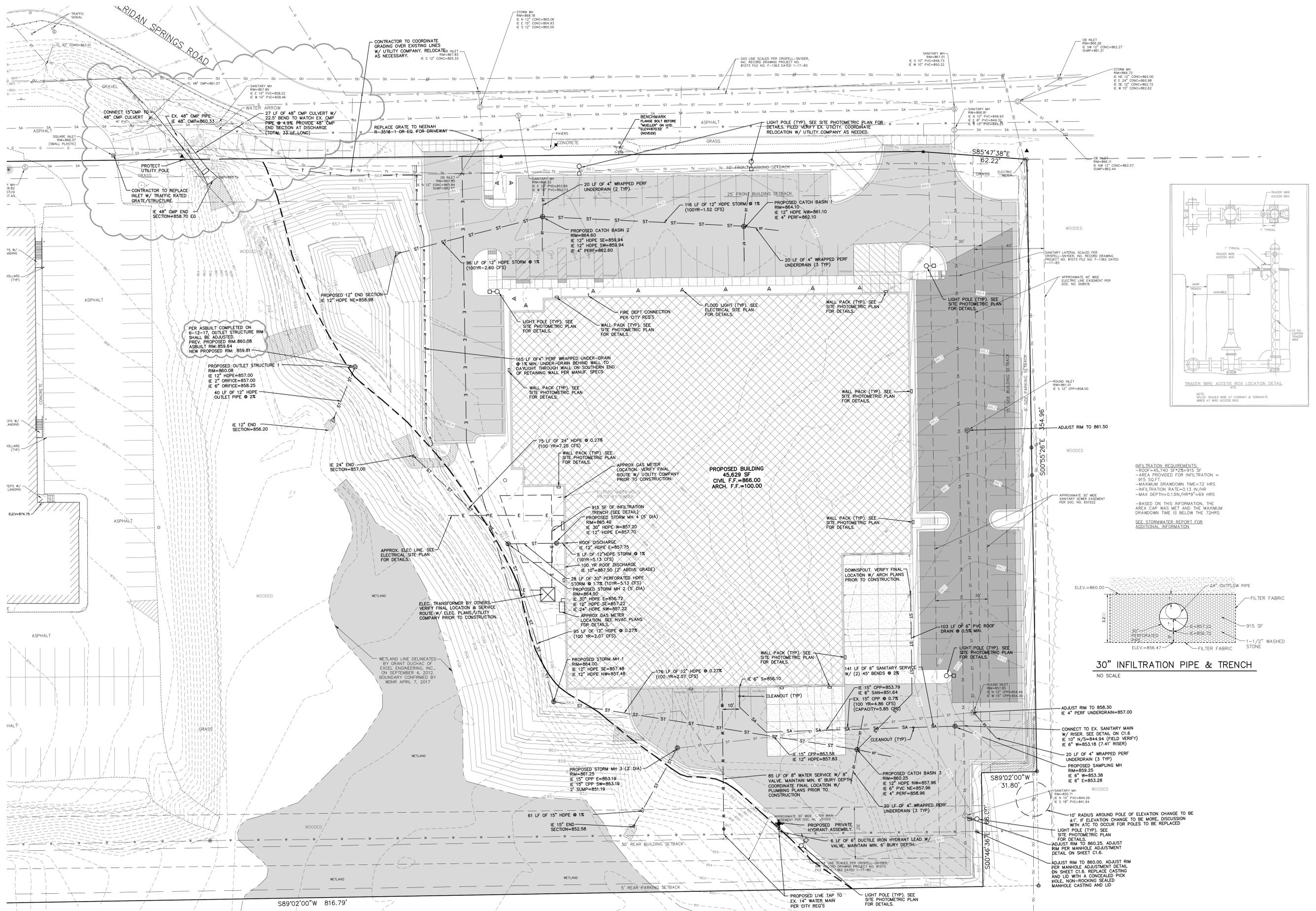
ISSUE DATE	APR. 12, 2017
REVISIONS	
CB1	MAY 12, 2017
CB3	JUN 21, 2017

SHEET INFORMATION

GRADING AND EROSION CONTROL PLAN
SHEET NUMBER

C1.3



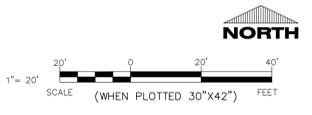


PROFESSIONAL SEAL

SHEET DATES

ISSUE DATE	APR. 12, 2017
REVISIONS	
CB1	MA 12, 2017
CB3	JUN 21, 2017

SHEET INFORMATION
UTILITY PLAN



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: July 17, 2017

Agenda Item #10.

Applicant:
McMurr II, LLC.
351 W. Hubbard, Suite 610
Chicago, IL 60654

Request:
Summerhaven of Lake Geneva
Condominiums
Planned Development / Precise
Implementation Plan

Description:

The applicant is submitting a proposal for a Planned Development / Precise Implementation PD/PIP for the continuation of phase I of the Summerhaven of Lake Geneva Condominiums.

1. The project would begin with the review of the existing residence on Summerhaven Drive property which they are requesting setback allowances to reduce the side and rear setbacks to allow the construction of an attached garage.
2. Pool house and Pool installation.
3. Reduce unit 209 & 207 duplex to a Single Family residence.
4. Final road lift installation on the Phase I roadway.
5. Road installation to a temporary “T – Turnaround” for Fire Department Vehicles on the propose Murry Drive extension.
6. Future development will require additional Public Hearings at a later date.

The proposed design summary as “Exhibit A” provided by the applicant identifies the items to be addressed for this proposal, they are listed however during discussions with staff it was identified by the Fire Department the original submittal that was approved the proposed cul-de-sac did not meet the current turning radius necessary for Lake Geneva Fire Department equipment per NFPA1 codes. Therefore, the plan to allow a temporary “T-turnaround” after the pool house and pool construction area was an acceptable proposal as a temporary installation.

Understanding the applicant will need to resubmit to amend the Condominium Subdivision once their considerations to redesign the remaining areas to allow for the continuation of the road and additional units to the proposed cul-de-sac. In addition the cul-de-sac will not have an island as proposed as submitted albeit the plans were rushed to be received and they are aware the island will not be permitted as drawn.

Project Details from PIP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Proposed Site Plans: (project # 8868) (dated 06/29/2017) generated by Farris, Hansen & Associates

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Precise Implementation Plan (PIP):

As part of the consideration of the requested PIP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed PIP;
- Include *findings* required by the Zoning Ordinance for PIPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed PIP includes:

1. Setbacks exceptions provided for the existing dwelling and the proposed setback reduction to install the attached garage.
2. Pool house and Pool installation
3. Reduce unit 209 & 207 duplex to a Single Family residence.
4. Final road lift installation on Phase I roadway.
5. Road installation to a temporary “T – Turnaround” for Fire Department Vehicles on the propose Murry Drive extension.

Required Plan Commission Findings on the PIP for Recommendation to the Common Council:

A proposed PIP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
 - a. In general, the proposed Precise Implementation Plan is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed Precise Implementation Plan is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed Precise Implementation Plan in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed Precise Implementation Plan maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

- e. The proposed Precise Implementation Plan is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed Precise Implementation Plan outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed Precise Implementation Plan is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed Precise Implementation Plan is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed Precise Implementation Plan in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed Precise Implementation Plan does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed Precise Implementation Plan is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed Precise Implementation Plan do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Precise Implementation Plan:

1. Staff recommends that the Plan Commission recommend approval of the proposed Precise Implementation Plan as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Finally, staff recommends that *the following additional condition of approval* be attached to the approval:
 - a. That the location of all approved building setbacks be verified by an on-site inspection by the Building Administrator prior to pouring building foundation walls.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

Summerhaven of Lake Geneva Condominium, southwest corner of intersection of Wells Street and Lake Geneva Boulevard. See attached Exhibit B for legal description.

Name and Address of Current Owner:

McMurr II, LLC, 351 W. Hubbard, Suite 610, Chicago, IL 60654, Attn: Murray S. Peretz

Telephone No. of Current Owner including area code: 312-527-3600 x 1

Name and Address of Applicant:

Same as Owner

Telephone No. of Applicant including area code: _____

Proposed Use:

See Project Narrative attached as Exhibit A hereto and incorporated herein.

Zoning District in which land is located: PD , Planned Development, Precise Implementation Plan

Names and Addresses of architect, professional engineer and contractor of project:

Warren Hansen, FARRIS, HANSEN & ASSOCIATES, INC., 7 West Ridgway, Elkhorn, WI 53121
262-723-2098

Short statement describing activities to take place on site:

See Exhibit A, Project Narrative.

PIP Amendment fee \$400.00, payable upon filing application.

McMurr II, LLC

By: 

Signature of Applicant Charles H. Jesser, Its
Authorized Representative

**APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)**

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

_____ A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

See Group Exhibit C -
Site Plan

_____ (1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

See Group Exhibit F

_____ (2) **A map of the subject property** for which the PD is proposed:

_____ Showing all lands within 300 feet of the boundaries of the subject property;

_____ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

_____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

_____ Map and all its parts clearly reproducible with a photocopier;

_____ Map size of 11" by 17" and map scale not less than one inch equals 800 feet;

_____ All lot dimensions of the subject property provided;

_____ Graphic scale and north arrow provided.

See Exhibit A -
Project Narrative

_____ (3) **A general written description** of proposed PIP including:

_____ Specific project themes and images;

_____ The specific mix of dwelling unit types and/or land uses;

_____ Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

_____ The specific treatment of natural features;

_____ The specific relationship to nearby properties and public streets.

_____ A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.

_____ A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall

be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

- See Group Exhibit C (4)A **Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*
- _____ A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;
 - _____ Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;
 - _____ Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
 - _____ Notations relating the written information (3), above to specific areas on the GDP Drawing.
- See Exhibit A _____ (5)A **landscaping plan** for subject property, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.
- See Exhibit A _____ (6)A **series of building elevations** for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.
- See Exhibit A _____ (7)A **general signage plan** including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.
- See Exhibit A _____ (8)A **general outline of the intended organizational structure** for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.
- See Exhibit A _____ (9)A **written description** which demonstrates the full consistency of the proposed PIP with the approved GDP.
- See Exhibit A _____ (10)A **written description** of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,

**SUMMERHAVEN
OF
LAKE GENEVA CONDOMINIUM**

**SECOND AMENDMENT TO PRECISE
IMPLEMENTATION PLAN (PIP)**

**Applicant: McMurr II, LLC,
an Illinois limited liability company**

June 1, 2017

EXHIBIT A
PIP SECOND AMENDMENT - NARRATIVE

The property described in the attached Exhibit B incorporated herein, approximately 8.04 acres, is zoned by the City of Lake Geneva (“City”) as PD, Planned Development Zoning District (“Summerhaven”). Ten (10) duplex dwellings in five (5) buildings for Summerhaven have been constructed, as well as three (3) single-family dwellings. Much of the public infrastructure (municipal water and sanitary sewer mains) and most of the private infrastructure (storm water management system, private streets, and public utilities) have been installed to accommodate the thirty-seven (37) units originally approved for Summerhaven, as well as capacity for an additional forty-seven (47) units approved for the second and third phases of the original project.

McMurr II, LLC, an Illinois limited liability company (“McMurr II”), the Successor Declarant of Summerhaven and the owner of seventeen (17) of the units and the lands comprising the second and third phases of the original project, among other things, has cleared Summerhaven of the piles of broken asphalt resulting from the demolition of a parking lot by an earlier developer, has cleaned out the storm water management ponds to restore their capacity, has altered the storm water drainage to avoid flooding neighboring property on the north boundary of Summerhaven, and extended Summerhaven Drive to Lake Geneva Boulevard, paving the emergency vehicles access for Summerhaven.

Under the First Amendment to the PIP for Summerhaven by McMurr II, approved by the City May 27, 2014 (“First Amendment”), the number of approved duplex units is fourteen (14) in seven (7) buildings, and fifteen (15) single-family units, a total of twenty-nine (29) units.

McMurr II proposes the following amendments to the PIP for Summerhaven under this Second Amendment:

1. **Residence Street Yard Setback Flexibility – Garage:** Unit 208 of Summerhaven (“Unit 208”) contains a single-family residence that formerly served as part of the Stone Manor Estate (“Residence”). The use of the Residence as a clubhouse under the original PIP has been eliminated by the Third Amendment to the Declaration of Condominium for Summerhaven (“Third Condominium Amendment”) that was approved simultaneously by the City with the First Amendment and by the requisite majority of the Summerhaven unit owners and their lenders. McMurr II proposes to sell the Residence as a single-family residence. To be sold, the Residence must include a garage and a connecting addition (collectively, “Garage”). The Residence, as approved, has already been granted flexibility from the 18½ foot minimum street yard setback from the right-of-way for Summerhaven Drive, with the northeast corner of the Residence 10.4 feet from such right-of-way, and the porch only 2.08 feet from the right-of-way. Given the limitations imposed by the size of Unit 208 and the location of the Residence on Unit 208, McMurr II proposes that the Garage be granted flexibility to be 10.85 feet from the right-of-way at its northwest corner. The Garage will conform in style, color and materials to blend with the Residence, and will comply with the six (6) foot side yard setback at 7.6 feet. See

the attached Group Exhibit C incorporated herein for the site plan, north and west elevations, and the floor plans for the Residence and Garage.

2. **Pool and Pool House:** The original plan of Summerhaven, as well as §8.23 of the Third Condominium Amendment, call for an outdoor swimming pool and a pool house as an amenity for the Summerhaven unit owners of all phases, to be used and maintained by them. McMurr II proposes to construct the promised outdoor swimming pool and pool house (collectively, “Pool and Pool House”) on a common element of Summerhaven in the same general location as under the original plan. The Pool House, approximately six hundred twenty (620) square feet inside, will house pool equipment and men’s and women’s bathrooms. A wrought-iron fence, at least four (4) feet in height, will enclose the Pool and Pool House. Exterior lighting of the Pool and Pool House Area will be provided, with the lighting properly mounted and shielded to meet the lighting requirements of §98-707 of the City Zoning Ordinance. A temporary construction road accessing Wells Street will be installed to permit construction of the next phase of construction of the project. The construction road will be completely removed, the curb cut eliminated, and the area landscaped when the road is no longer necessary. See the Pool and Pool House Plans attached as Group Exhibit D and incorporated herein for the site plan, floor plan, foundation plan, wall types, building section and handicap details.

3. **Change Duplex to One Single-Family Dwelling:** McMurr II proposes to convert Units 209 and 207 from two (2) duplexes in one (1) building with a zero side yard setback to no principal building on Unit 209 and a single-family dwelling on Unit 207, with one (1) driveway entrance for Unit 207 on Murray Drive only, limited to the northeast fifty (50) feet of Unit 207, to ensure a safe distance between the driveway entrance and the intersection of Murray Drive and Summerhaven Drive. McMurr II requests flexibility to permit a six (6) foot rear yard setback, instead of fifteen (15) feet, on Unit 207. In support of such flexibility, note that the neighboring Unit 209, only three thousand three hundred twenty-three (3,323) square feet in area and about thirty-eight (38) feet in width, is unlikely to have a single-family dwelling located on it, particularly with twelve (12) feet in total side yard setbacks. The change in the mix of duplexes and single-family dwellings will reduce the number of approved duplexes to twelve (12) in six (6) buildings, and increase the number of single-family dwellings to sixteen (16), with one (1) vacant land unit, i.e., Unit 209, in Summerhaven. See attached Exhibit E incorporated herein, depicting Unit 207 as proposed.

4. **Final Lift and Murray Drive Terminus Installed for Phase One:** McMurr II will install the final lift of asphalt on the portions of Summerhaven that have been paved to the surface course, and will install municipal water and sanitary sewer mains to serve five (5) lots on Murray Drive and the Pool and Pool House. McMurr has posted with the City sufficient bond to cover the cost of the final lift and the installation of the mains. McMurr II will also install a turnaround at the north terminus of Murray Drive that meets applicable standards, to accommodate emergency vehicles and other traffic. Such a turnaround may result in the loss of a dwelling unit in Summerhaven, reducing the total number from twenty-nine (29) to twenty-eight (28). Such turnaround may intrude on adjoining real property owned by McMurr II, approximately 1.75 acres, Property Index Number ZSUM 00001, which is more particularly described in the attached Exhibit F incorporated herein.

Planned density in Summerhaven will be reduced from approximately 3.625 dwelling units per acre to approximately 3.5 dwelling units per acre, a slightly lower density that will not threaten the viability of the Summerhaven community. The floor area ratio and the impervious surface ratio of Summerhaven will be reduced slightly by the one (1) or two (2) dwelling unit reduction.

The reduction of one (1) or two (2) dwelling units will not substantially change the private street configuration, will not affect the existing storm water management plans, and will reduce the load on the municipal water and sewer mains already in place. Consequently, extensive re-engineering of the infrastructure will not be required.

The PD, Planned Development Zoning District, zoning for the second and third phases of the original project has expired, and the City has rezoned the phases to TR-6, Two Family Zoning District. The ten (10) year period during which the phases could be added to Summerhaven as expansion units under the Wisconsin Condominium Ownership Act has also expired. McMurr II shall apply to the City to rezone these phases as PD, Planned Development Zoning District. McMurr II will propose a cross-easement agreement between Summerhaven and the condominium association of the other two (2) phases, to maintain, repair and replace the private roads, storm water management facilities, the Pool and Pool House, and other common amenities and infrastructure used by all.

A map of Summerhaven, showing all lands within three hundred (300) feet, and a list of the names and addresses of the owners of all lands on said map, indicating the current zoning of Summerhaven and its environs, and the jurisdiction, is attached as Group Exhibit G and incorporated herein.

Except as modified by this Second Amendment to the PIP for Summerhaven, the PIP remains unchanged. The landscaping, signage, lighting, organizational structure, and the consistency of the PIP, as amended hereby, and the GDP, are not materially changed. Because most of the public infrastructure improvements for Summerhaven are installed, no proof of additional financing capability is needed, although McMurr II will keep the performance bond deposited with the City up to date. McMurr II will provide proof of financing capability, in the form of a performance bond, letter of credit or other surety, for the construction of any additional public improvements, if the second and third phases of the project are rezoned and developed as a PD, Planned Development Zoning District.

McMurr II believes that this Second Amendment to the PIP will render Summerhaven a more viable and improved in-fill development for the City.

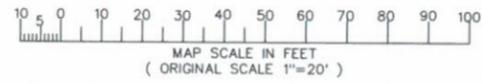
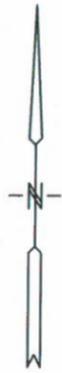
**SUMMERHAVEN OF LAKE GENEVA CONDOMINIUM
EXHIBIT B
LEGAL DESCRIPTION OF SUMMERHAVEN**

Units 101, 103, 107, 109, 112, 116, 126, 202, 204, 207, 208, 209, 210, 215, 216, 217, 221, 223, 224, 226, 227, 229, 230, 232, 237, 239, 241, 245, and 247 in the Summerhaven of Lake Geneva Condominium, created by a "Declaration of Condominium" recorded on March 28, 2007, in the Office of the register of Deeds for Walworth County, Wisconsin, as Document No. 704378, together with any amendments and/or corrections thereto, and by its Condominium Plat and any amendments and/or corrections thereto. Said condominium being located in the City of Lake Geneva, County of Walworth, and State of Wisconsin (end of legal description).

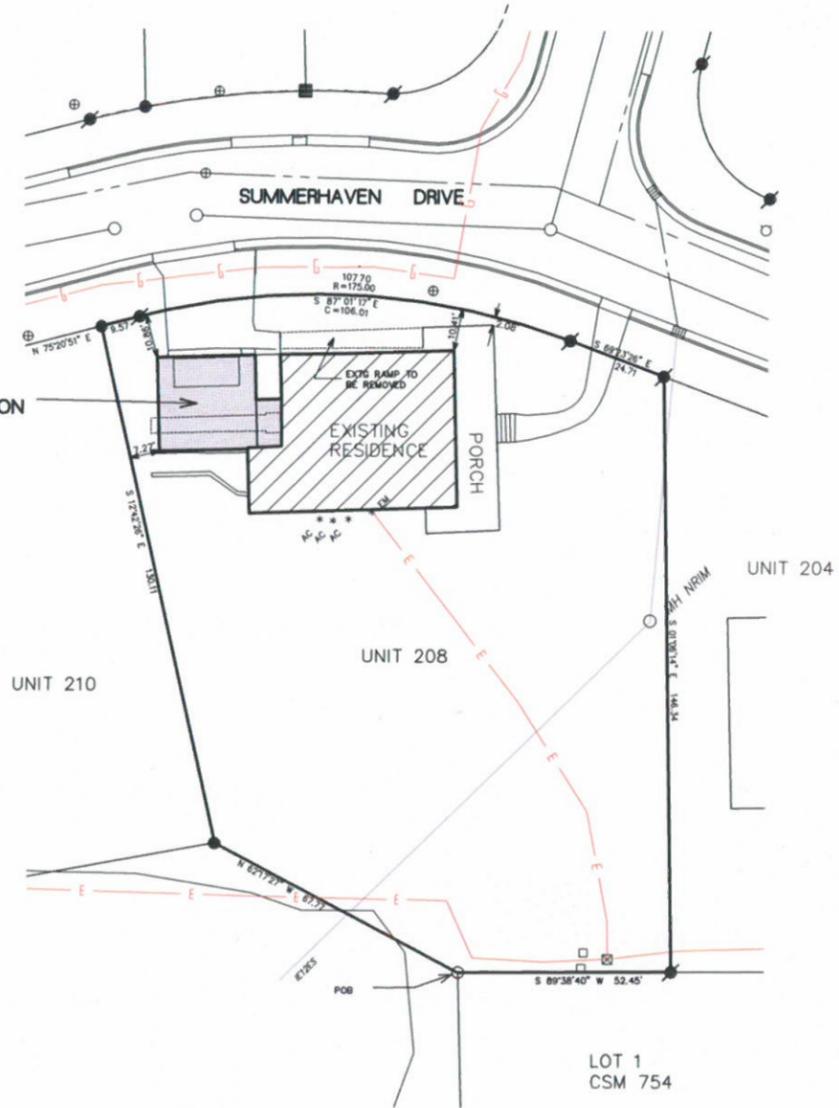
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**SUMMERHAVEN OF LAKE GENEVA CONDOMINIUM
GROUP EXHIBIT C
RESIDENCE & GARAGE
SITE PLANS, ELEVATIONS, & FLOOR PLANS**

See attached.



PROPOSED GARAGE & CONNECTING ADDITION



- LEGEND
- - FOUND MAG NAIL
 - - FOUND IRON PIPE STAKE
 - - FOUND IRON REBAR STAKE
 - - FOUND CONCRETE COUNTY MONUMENT
 - ⊙ - FOUND CONCRETE MONUMENT WITH CUT CROSS
 - ▬ - SET IRON REBAR STAKE, 3/4"
 - ▬ - SET IRON REBAR STAKE, 1/2"
 - * - SET IRON LANDSCAPE SPIKE
 - - UTILITY POLE LOCATED
 - - TRANSFORMER LOCATED
 - - UTILITY BOX LOCATED
 - ▲ - GAS WARNING POST LOCATED
 - ⊕ - ELECTRIC METER LOCATED
 - ⊕ - GAS METER LOCATED
 - ⊕ - AIR CONDITIONING UNIT LOCATED
 - - SANITARY SEWER/MANHOLE LOCATED
 - - WATER SERVICE/VALVE LOCATED
 - - HYDRANT LOCATED
 - - STORM SEWER/MANHOLE LOCATED
 - - FLAGGED ELECTRIC LINE LOCATED
 - - FLAGGED TELEPHONE LINE LOCATED
 - - FLAGGED GAS LINE LOCATED
 - - FENCE LINE LOCATED
 - [xxx] - RECORDED AS



INDEX of SHEETS

1	SITE PLAN
2	NORTH ELEVATION WEST ELEVATION
3	BASEMENT FLOOR PLAN
4	FIRST FLOOR PLAN
5	SECOND FLOOR PLAN BUILDING SECTION
6	THIRD FLOOR PLAN BUILDING SECTION



RESIDENCE REMODELING
SUMMERHAVEN LOT 208
SUMMERHAVEN DRIVE
LAKE GENEVA, WALWORTH, CO., WISCONSIN

SITE PLAN

FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Ridgeway Court P.O. Box 437
ELKHORN, WISCONSIN 53121
Office: (262) 723-2096
Fax: (262) 723-2666

REVISIONS

PROJECT NO.
8868208
DATE
09/01/16
SHEET NO.
1 of 6

Thursday, June 03, 2016 2:50:43 PM C:\Users\jshane\Documents\8868_208\8868208.dwg PROJECT: SITE PLAN



RESIDENCE REMODELING
 SUMMERHAVEN LOT 208
 SUMMERHAVEN DRIVE
 LAKE GENEVA, WALWORTH, CO., WISCONSIN

NORTH ELEVATION
 WEST ELEVATION

FARRIS, HANSEN & ASSOCIATES, INC.
 Engineering, Architecture, Surveying
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 ELKHORN, WISCONSIN 53121
 Office: (262) 723-2098
 Fax: (262) 723-5888

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PROJECT NO.
8868208
 DATE
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NORTH ELEVATION
 SCALE: 1/4"=1'-0"



WEST ELEVATION
 SCALE: 1/4"=1'-0"

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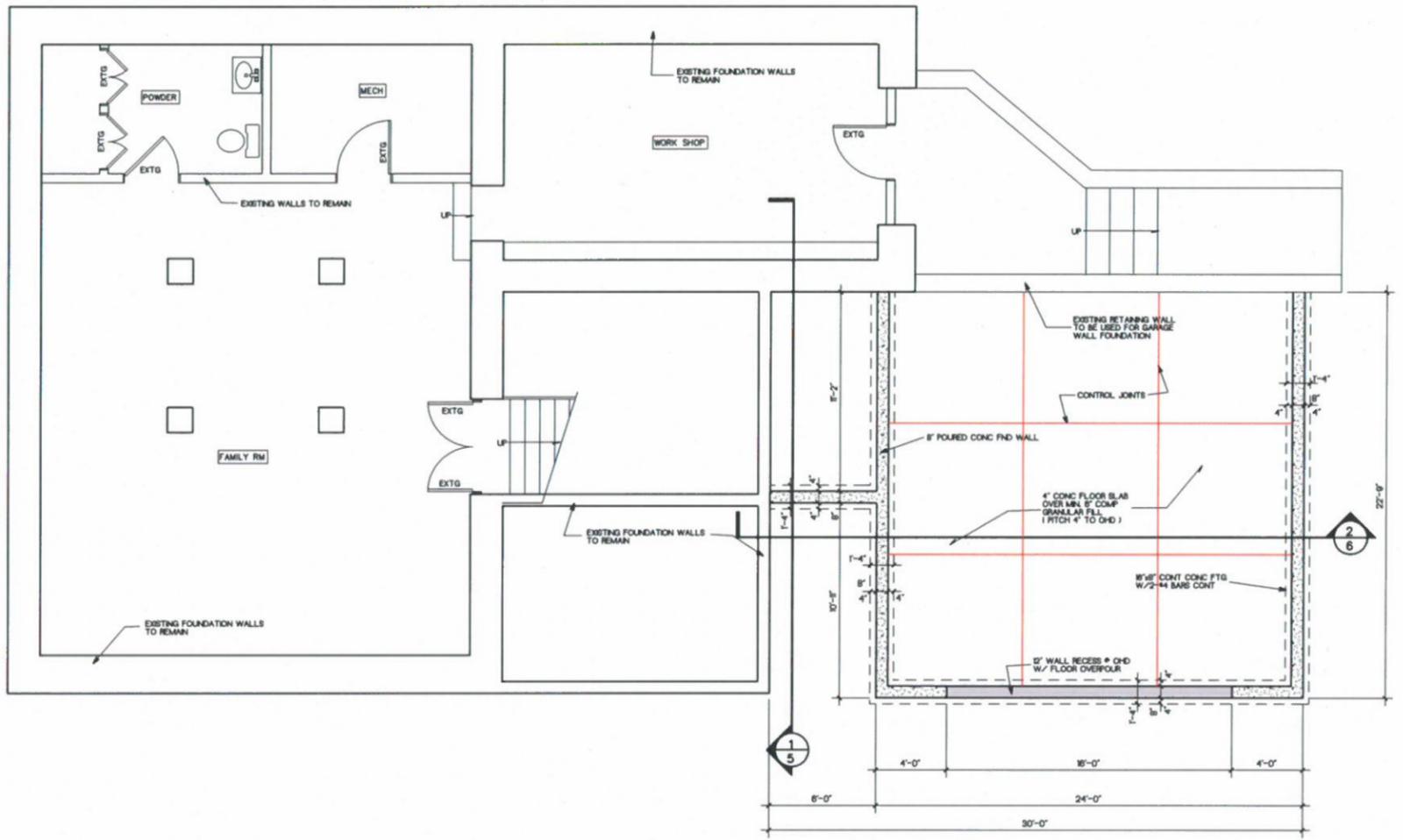
RESIDENCE REMODELING
 SUMMERHAVEN LOT 208
 SUMMERHAVEN DRIVE
 LAKE GENEVA, WISCONSIN

BASEMENT FLOOR PLAN

FARRIS, HANSEN & ASSOCIATES, INC.
 Engineering, Architecture, Surveying
 7 Ridgeway Court P. O. Box 437
 ELKHORN, WISCONSIN 53121
 Office: (262) 723-2098
 Fax: (262) 723-5886

NO.	REVISIONS

PROJECT NO.	8868.208
DATE	08/01/16
SHEET NO.	3 of 6



BASEMENT FLOOR PLAN
 SCALE: 1/4"=1'-0"



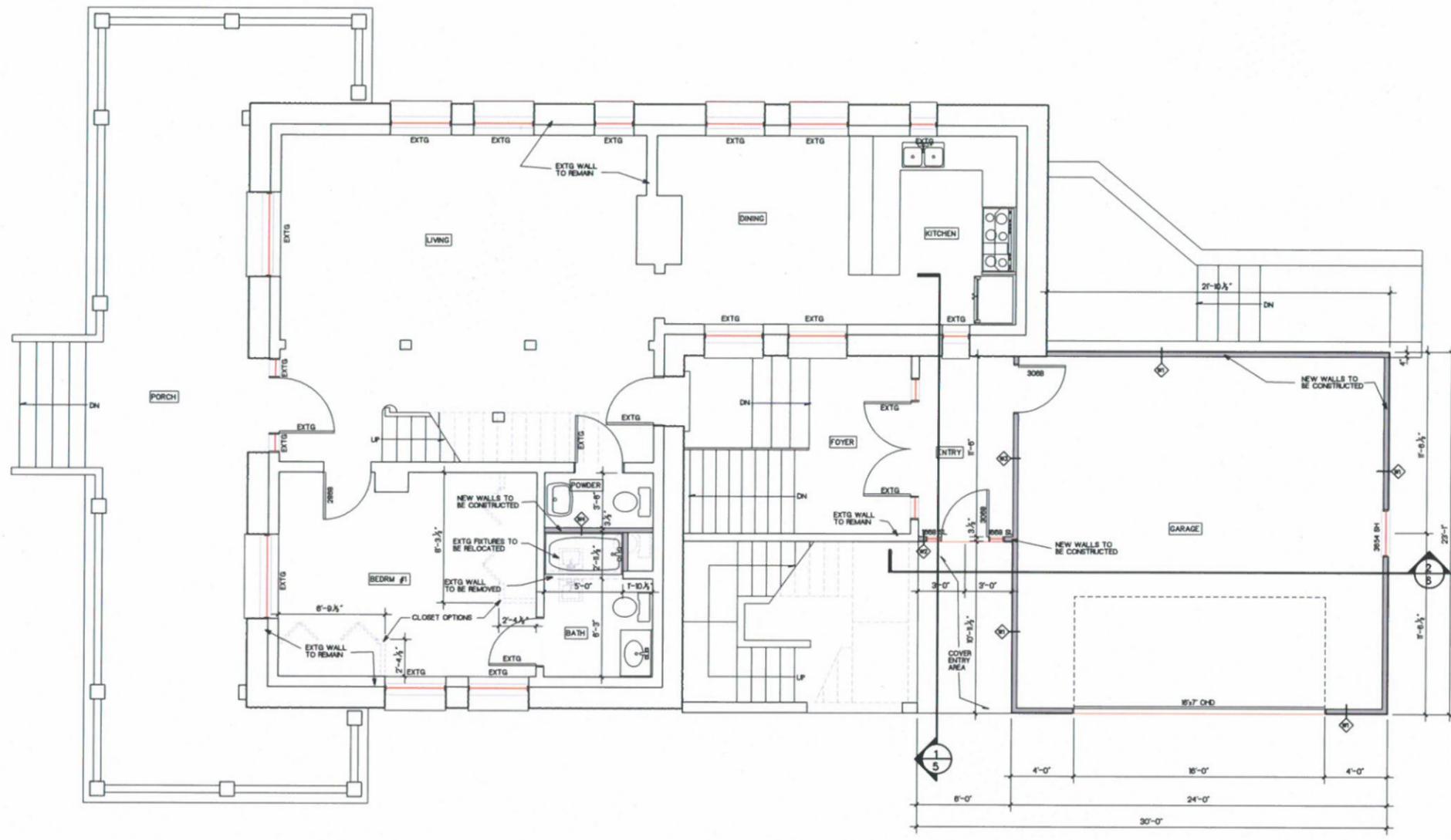
RESIDENCE REMODELING
 SUMMERHAVEN LOT 208
 SUMMERHAVEN DRIVE
 LAKE GENEVA, WISCONSIN

FIRST FLOOR PLAN

FARRIS, HANSEN & ASSOCIATES, INC.
 Engineering, Architecture, Surveying
 7 Ridgway Court P.O. Box 437
 ELKHORN, WISCONSIN 53121
 Office: (262) 723-2098
 Fax: (262) 723-5886

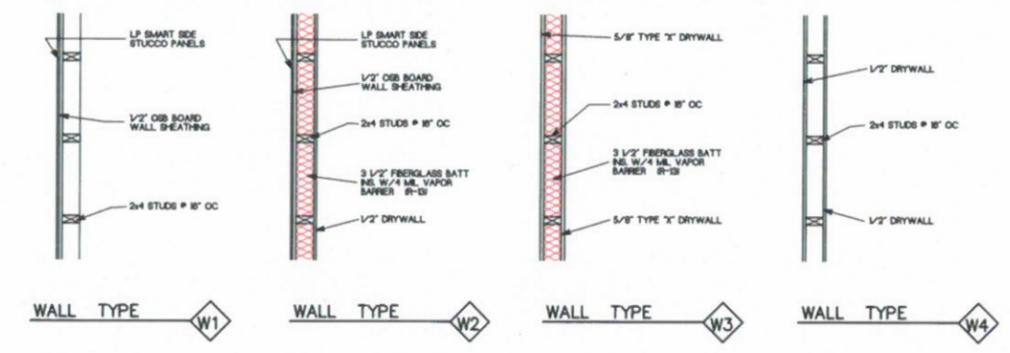
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PROJECT NO.
8868.208
 DATE
 08/01/18
 SHEET NO.
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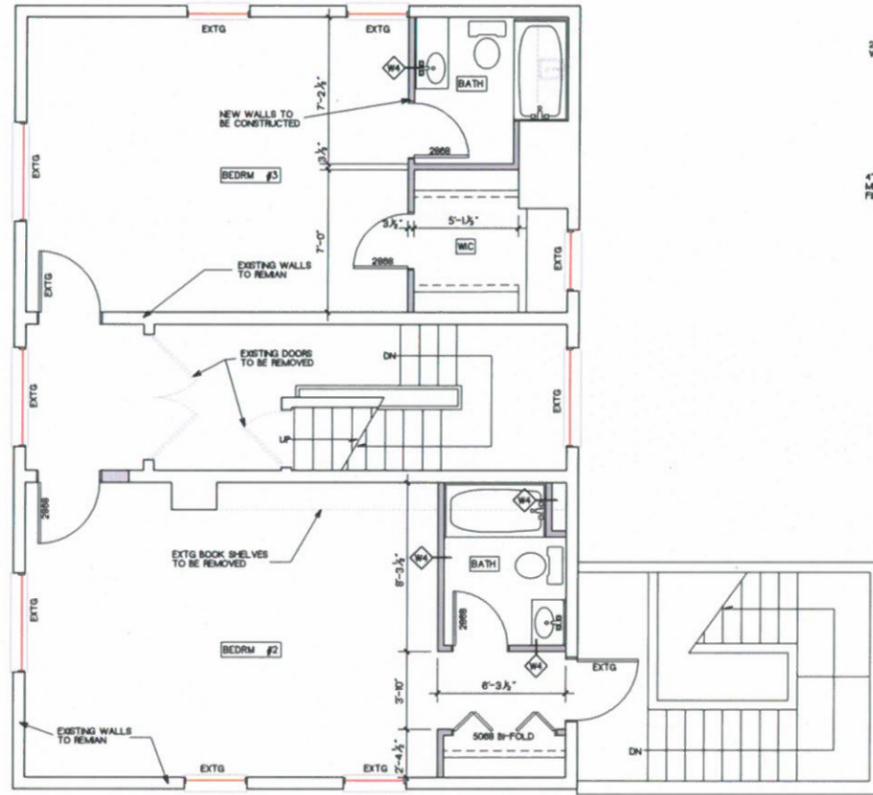
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 SCALE 1/4"=1'-0"

WALL TYPES

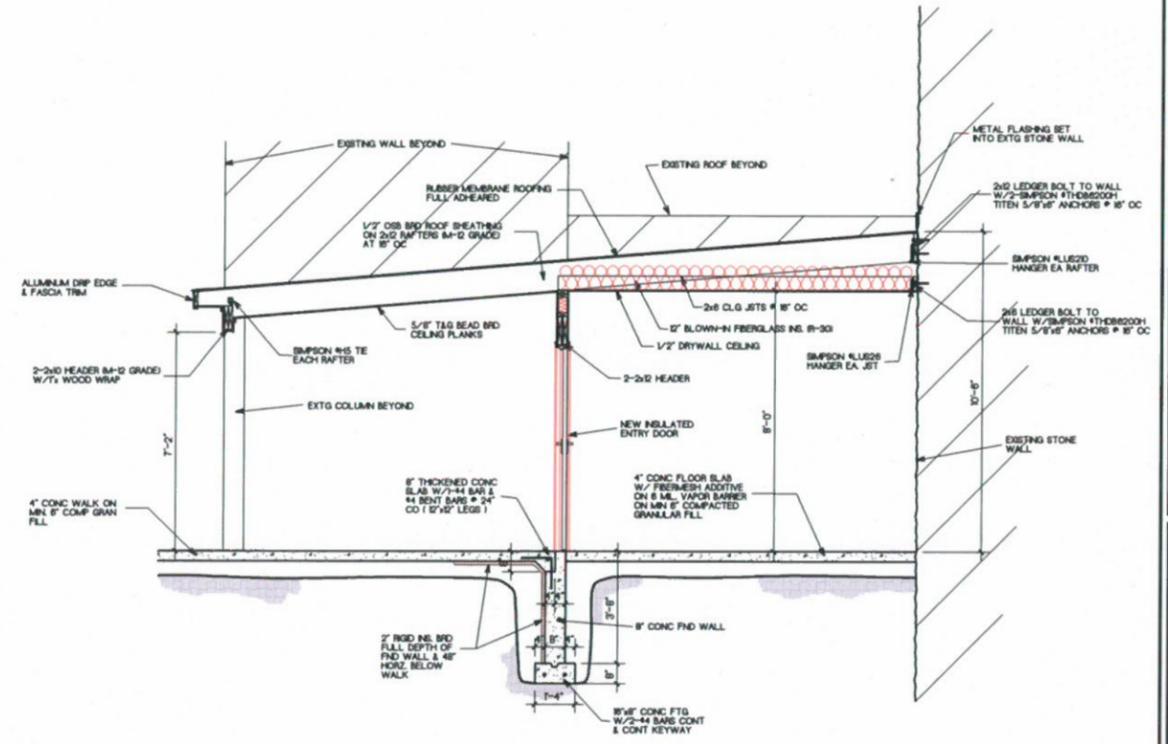


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SECOND FLOOR PLAN
SCALE 1/4"=1'-0"



BUILDING SECTION
SCALE 3/8"=1'-0" 1/5



**RESIDENCE REMODELING
SUMMERHAVEN LOT 208**
SUMMERHAVEN DRIVE
LAKE GENEVA, WISCONSIN

**SECOND FLOOR PLAN
BUILDING SECTION**

FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Ridgeway Court P.O. Box 437
ELKHORN, WISCONSIN 53121
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Fax: (262) 723-5866

REVISIONS

PROJECT NO.
8868.208
DATE
08/01/08
SHEET NO.
5 of 6



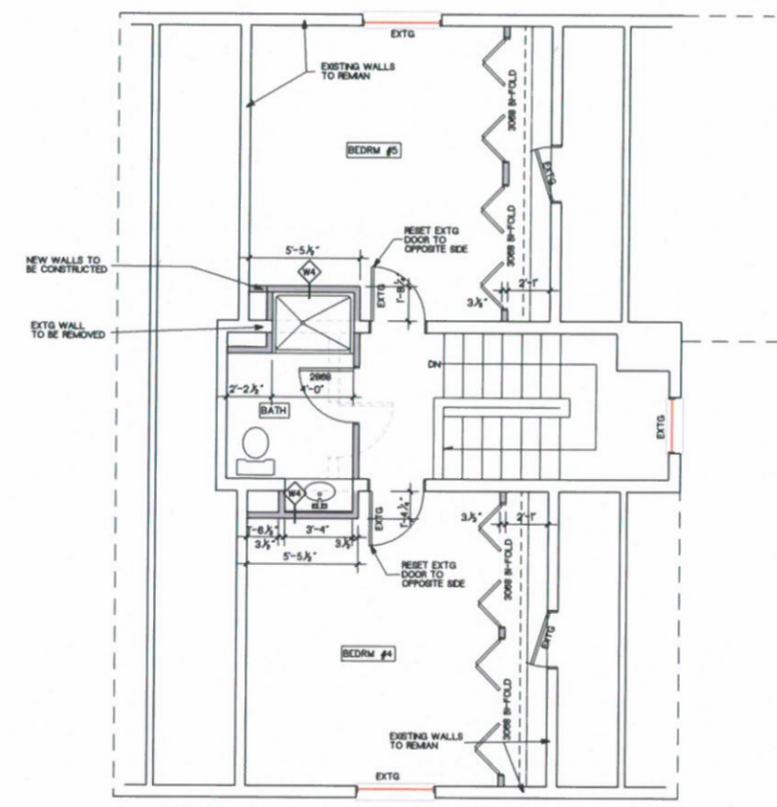
RESIDENCE REMODELING
 SUMMERHAVEN LOT 208
 SUMMERHAVEN DRIVE
 LAKE GENEVA, WISCONSIN

THIRD FLOOR PLAN
 BUILDING SECTION
 WIND BRACE DETAILS

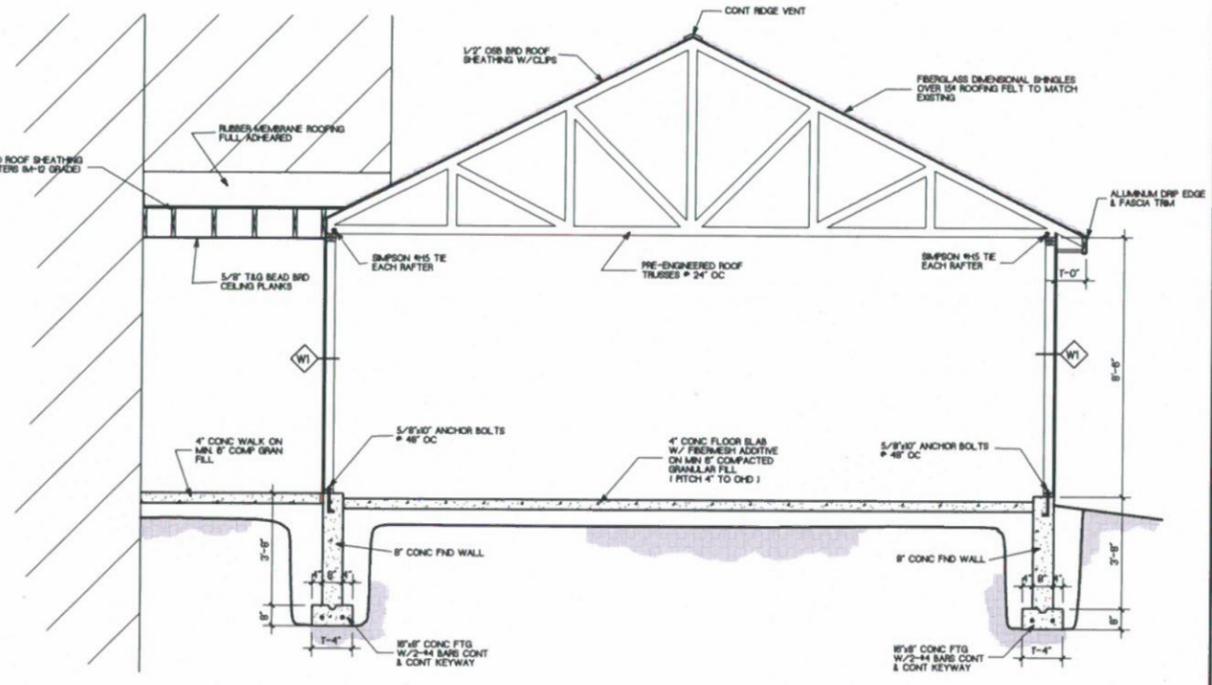
FARRIS, HANSEN & ASSOCIATES, INC.
 Engineering, Architecture, Surveying
 7 Ridgeway Court P.O. Box 437
 ELKHORN, WISCONSIN 53121
 Office: (262) 723-2098
 Fax: (262) 723-5886

REVISED

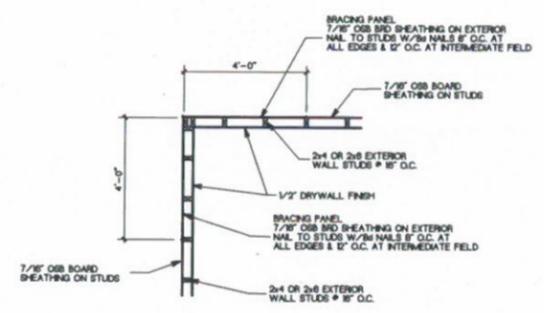
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8868.208
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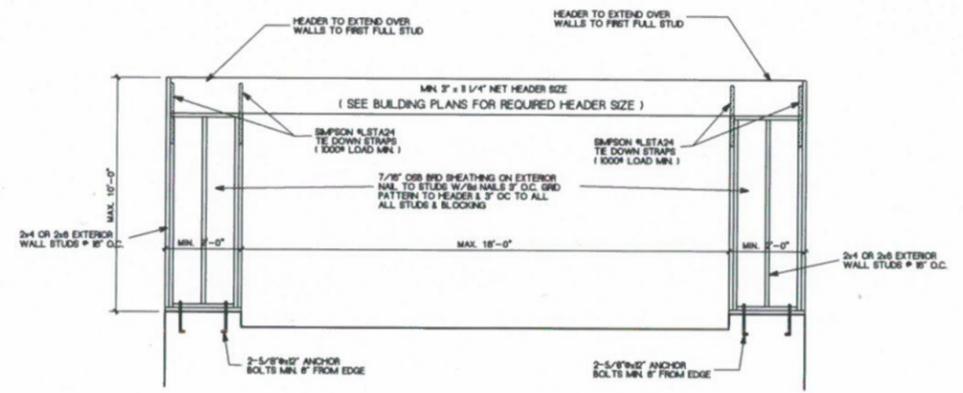
THIRD FLOOR PLAN
 SCALE 1/4"=1'-0"



BUILDING SECTION
 SCALE 3/8"=1'-0" 2
6



OUTSIDE CORNER DETAIL
 SCALE 1/2"=1'-0"



GARAGE DOOR OPENING DETAIL
 (BRACED FRAME AS VIEWED FROM INTERIOR)

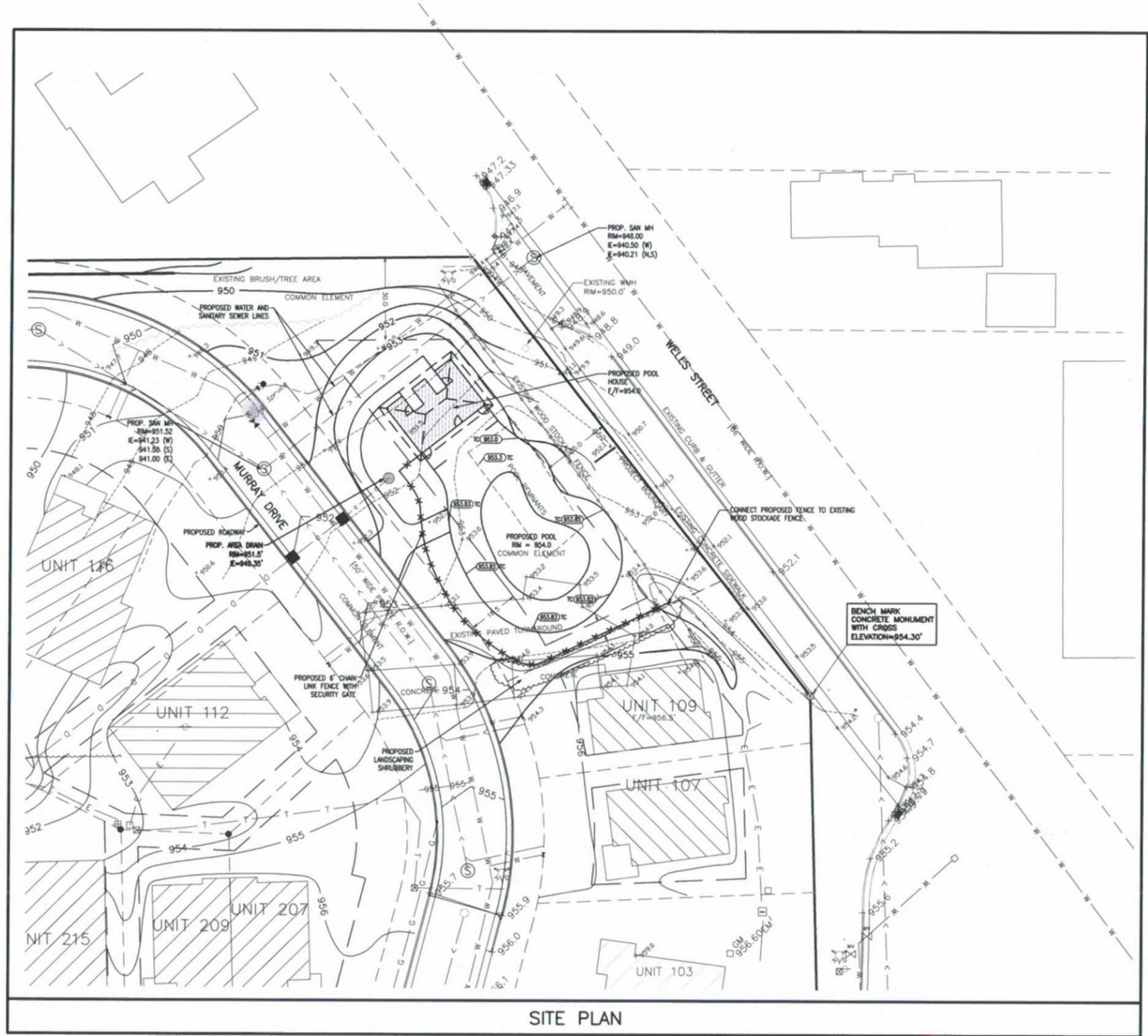
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**SUMMERHAVEN OF LAKE GENEVA CONDOMINIUM
GROUP EXHIBIT D
POOL & POOL HOUSE
SITE PLAN, FLOOR PLAN, FOUNDATION PLAN, WALL TYPES, BUILDING
SECTION AND HANDICAP DETAILS**

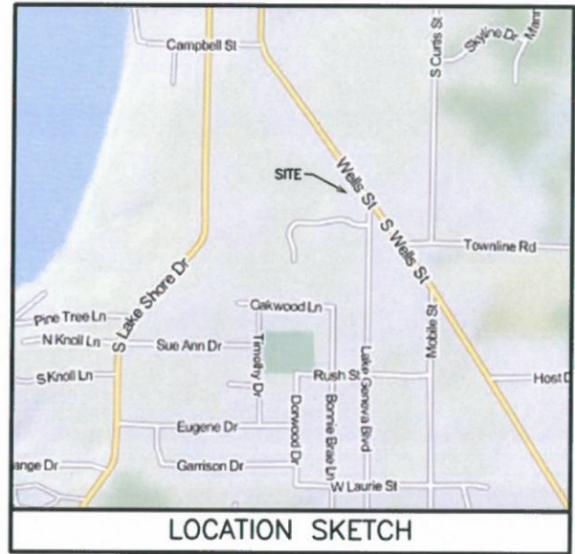
See attached.

PROPOSED POOL HOUSE SUMMERHAVEN OF LAKE GENEVA

LOCATED IN PART OF THE SE 1/4 OF THE SE 1/4 OF SECTION 36
TOWN 2 NORTH, RANGE 17 EAST, AND PART OF THE NE 1/4 OF THE SE 1/4 OF
SECTION 1, TOWN 1 NORTH, RANGE 17 EAST, ALL IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



SITE PLAN



LOCATION SKETCH

- GENERAL NOTES:
- ALL ELEVATIONS ARE IN RELATION TO NATIONAL GEODETIC VERTICAL DATUM OF 1929.
SOURCE BENCHMARK - COUNTY CONCRETE MONUMENT
SOUTHEAST CORNER SECTION 36-2-17
ELEVATION = 948.12'
 - BOUNDARY/UNIT LINES TAKEN FROM CONDOMINIUM PLAT OF SUMMERHAVEN OF LAKE GENEVA ADDENDUM NO. 2 RECORDED IN CONDO CABINET A ON SLIDE 701-702.

SHEET 1-	COVER SHEET/SITE PLAN
SHEET 2-	FLOOR PLAN EXTERIOR ELEVATIONS
SHEET 3-	FOUNDATION PLAN GENERAL SPECIFICATIONS WALL TYPES
SHEET 4-	BUILDING SECTION HANDICAP DETAILS

INDEX OF SHEETS



**PROPOSED POOL HOUSE
SUMMERHAVEN OF LAKE GENEVA**
MURRAY DRIVE
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

WORK ORDERED BY -
SPECTRUM REAL ESTATE PROPERTIES
351 WEST HUBBARD, SUITE 610
CHICAGO, IL 60654

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELAHOORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS

PROJECT NO.
8868
DATE
10/10/2016
SHEET NO.
1 OF 4

GENERAL SPECIFICATIONS

EARTHWORK

- Existing Utilities - Locate by hand excavation and provide protection from damage. Cooperate with G.C. and utility companies for maintaining services. Do not break utility connections without notifying G.C. a minimum of 48 hours in advance and providing acceptable temporary services.
- Repair Damages - To existing utilities as directed by utility company.
- Site fill and backfill material shall be a granular material free of debris, boulders, organic material and excessive silt.
- Base fill for slabs on grade shall be a reasonably well graded sand (SW) or Silt clean and free of organic material. Course aggregates shall not exceed 3/4" in size.
- Suitable materials obtained for excavation and cutting at the site may be used, if approved by soil ENGINEER.
- Stockpile excavated materials where directed by G.C. until required for backfill and fill.
- Excavate for structure to elevations and dimensions shown, extending excavation a sufficient distance to permit placing and removal of other work and for inspection. Trim bottom to required lines and grades to provide solid base to receive concrete.
- Excavate for trenches to depth indicated or required and to establish indicated flow lines for invert elevations. Maintain uniform width required for particular item to be installed, including width to provide ample working room. Provide 6" to 9" clearance on both sides of pipe or conduit. Outside building excava-tion trenches for water bearing piping so top of piping is below frost level where applicable, as per local building code/official.
- Remove existing walls, drives, curbs, foundations, cisterns, boulders, vegetation trees, stumps and roots 1" or larger in diameter within the lines of the building 5' beyond trash, and similar items as necessary to execute the work of this project.
- Notify the G.C. if abnormal or questionable soil conditions are encountered, and do not proceed with the work until directed by the G.C.
- Maintain excavations in a clean condition and keep free of water at all times. Protect bottoms of excavations from frost and freezing. Do not excavate to full depth during freezing weather unless footings or slabs can be poured immediately after completion of excavation work, and protect soil to prevent freezing after footings and slabs have been poured.
- Do not use frozen material or material containing ice or snow for fill. Do not place on soils that is frozen or covered with ice or snow. Take necessary precautions during freezing weather to prevent freezing of fill during placing and compaction.
- Place all fill materials in 6" layers, compacting each layer to require maximum density unless otherwise recommended in the approved soils report on record with G.C. Keep compacted lifts relatively smooth and level.
- Base fill compaction (within the lines of new building and site fill and backfill under pavement subgrades) - To be as recommended by soil ENGINEER. Excavate as necessary to remove all organic soils and loose existing fill, and fill to grade, compacting each lift of base fill according to the recommendation of the soil ENGINEER. Provide same method of compaction at all mechanical trenches and other similar areas.
- Provide minimum 6" sand/gravel base under all slabs-on-grade, unless otherwise noted or as recommended by approved soils report.
- Foundations were designated using a soil bearing value of 2000 psf as listed in the structural design stress notes or as recommended by soil ENGINEER. The soil ENGINEER shall confirm in writing the value determined in the field.

CAST-IN-PLACE CONCRETE

- CODES AND STANDARDS
 - ACI 301 ACI 308, comply with applicable provisions except as otherwise indicated.
- MIX PROPORTIONS AND DESIGN
 - Proportion mixes by either laboratory trial batch or field experience method complying with ACI 301.
- CONCRETE MATERIALS
 - Portland cement - ASTM C 150, type in structural notes.
 - Aggregates - ASTM C 33
 - Water - Clean, Drinkable
 - Air-Entraining Mixture - ASTM C 260.
- REINFORCING MATERIALS
 - Deformed reinforcing bars - ASTM A 615, Grade 40 unless otherwise indicated.
 - Welded wire fabric - ASTM A 185.
- CONCRETE PLACEMENT
 - Hot and cold weather comply with AC 308.
- CONCRETE STRENGTH
 - Concrete strength for walls to be 3000 psi in 28 days, and for floors to be 3500 psi in 28 days, slump not exceed 4 inches.
- COVER ON REINFORCING STEEL
 - Cover on reinforcing steel to be 3 inches next to ground, 2 inches next to wall forms. Lap reinforcing steel bars 24 bar diameters minimum and lap mesh 6 inches minimum.
- FINISHES AND CURING CONCRETE
 - Surfaces exposed to view: Provide smooth finish, remove fins and projections, patch defective areas with cement grout.
 - Sidewalks: Broom finish.
 - Curing: Begin initial curing as soon as free water has disappeared from exposed surfaces. Where possible, keep continuously moist for not less than 72 hours. Continue curing by use of moisture-retaining cover or curing compound.
 - Cure formed surfaces by moist curing until forms are removed.
 - Keep wall forms on 24 hours before stripping. Provide protection as required to prevent damage to exposed concrete surfaces.

CULTURED STONE VENEER - SEE DRAWINGS

- Cultured stone for exterior wainscot to be furnished by G.C. and installed by subcontractor. Color and style to be selected by OWNER.
 - Install all cultured stone and water table per manufacturer requirements and state and local codes.
- CARPENTRY
- GENERAL
 - All construction shall be done in accordance with Wisconsin Adm. Code Section IND 53.60 thru 53.63.
 - MATERIALS
 - Lumber: Comply with American Softwood Lumber Standard PS 20 U.S. Dept. of Commercial, 54S, 18% moisture at the time of dressing. Min. lumber grades to no.2 southern pine. For all wall studs 101500, all headers and joists and rafters to be no.1 or better 101200 min.

- Plywood: Comply with Softwood Plywood - Construction and Industrial PS 1 U.S. Dept. of Commercial, bearing DFFA grade trademarks.
- Pre-engineered Roof Trusses
 - Building shall have a gable roof and wood trusses - trusses shall be designed for a 20 psf dead load in addition to a 30 lb. snow load and a 20 lb. wind load. Roof load shall be provided for with only a 10% stress adjustment for snow load duration and all necessary additional snow drift loads.
 - Truss construction shall be in conformance with approved truss diagrams, load computation and fabrication details furnished by the truss manufacturer.
 - Truss manufacturer shall provide architect/engineer with a minimum of three sets of truss computations and diagrams for review and submit to the State for approval.
- Walls
 - All exterior walls shall be constructed of 2 x 4 No.2 grade studs 16" o/c. All all plates in contact with concrete shall be pressure treated and anchored to concrete with 5/8" dia. anchor bolts 48" o/c. All interior walls shall be constructed of 2 x 4 or 2x6 no.2 grade studs 16" o/c. See wall types.

MOISTURE PROTECTION

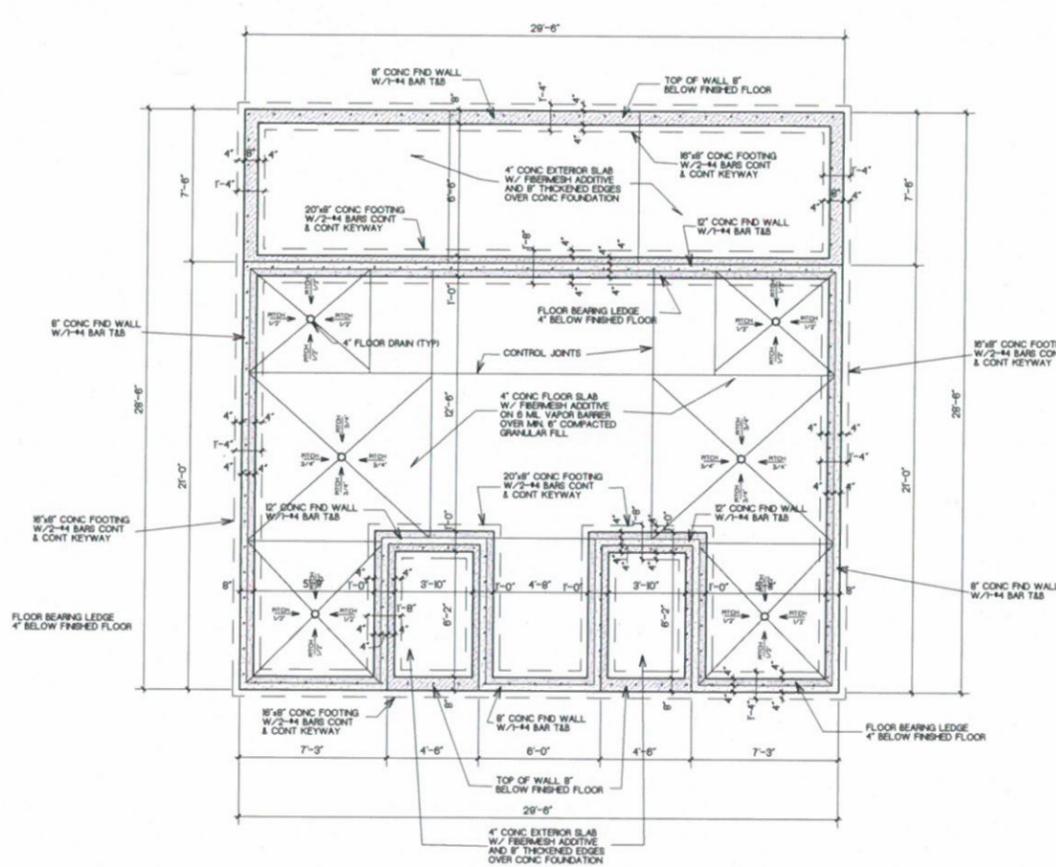
- BLANKET INSULATION
 - Batt or continuous blanket of thickness indicated, unfaced with 4 mil polyethylene vapor barrier.
- RIGID INSULATION
 - Polyethylene insulation, not less than 25 psi compressive strength for all vertical insulation and min of 60 psi for all horizontal insulation.
- VAPOR BARRIER
 - Clear polyethylene sheathing, 4 mils thick.
- BUILDING WRAP
 - Provide TYVEK building wrap on all exterior walls. Building wrap is to be installed per manufacturer requirements.
- SILL SEALER
 - 1" thick fiberglass sill sealer to be installed beneath all sole plates at exterior walls.
- SHINGLES ROOFING
 - Shingles
 - Organic felt, asphalt impregnated, top coated with ceramic granules, frosted brown color to be approved by Owner. Shingle shall have a minimum coverage of 225 lbs. per installed square, standard 12" x 36" 3 tabs, self-sealing, John-Manville, Celotex, or GAF.
 - Felt
 - Organic 15#, GAF Asphalt impregnated roofing felt.
- EXTERIOR SIDING
 - Top quality LP SMART SDE composite siding with 6" exposure. Contractor submit samples to Owner for approval. Owner to select color.
- EXTERIOR TRIMS
 - All fascia, rake, soffit and accent trim to be aluminum as indicated on plans. All trim to be pre-finished. Soffit panels to be perforated for ventilation. All corner trim to be LP SMARTSIDE TRIM. Color to be selected by Owner.
- SHEET METAL WORK
 - Flashing & Drip Caps
 - Paint grip - Zinc coated steel sheet. Commercial quality carbon steel sheets with minimum 0.20% copper content (ASTM A 536) hot-dip galvanized (ASTM A 525, G90) 22 gage unless otherwise indicated.
 - Gutters & Downspouts/OPTIONAL
 - Commercial quality pre-finished 22 gage. Gutters & downspouts to be provided at each main entrance and all other areas indicated. Provided splash blocks.
- CAULKING AND SEALANTS
 - Scope of Work:
 - Caulk side jamba, sills and heads of all windows, side jamba and heads of all exterior door wood frames, side jamba and heads of all hollow metal frames, masonry expansion joints and all points where dissimilar materials meet and caulking is noted on the drawings and or required to seal building against weather. Provide all necessary metal flashings.

FINISHES

- SUB-BASE MATERIALS
 - Gypsum Drywall
 - ASTM C 36, except ASTM C 442 permitted for base layers. Provide boards with top edges tapered for tight joint treatment. All drywall in restrooms to be moisture resistant.
 - Tile Backer: Densshield tile backer board, 1/2" thickness for all restroom walls to receive tile to 48" above finished floor.
- PAINTING
 - INTERIOR FINISHES
 - All gypsum board to receive one (1) coat sand finish, textured paint as base coat and one (1) finish coat. Owner to choose colors.
- CERAMIC TILE
 - Floor tile: All restroom floor s to receive slip resistant ceramic tile flooring. Owner to select style and colors.
 - Wall tile: All restroom walls to receive ceramic tile to a height of 48" above finished floor. Owner to select style and colors.
- DOORS
 - Entry Doors
 - Metal clad solid core doors with steel jamba. Provide escape lockset.

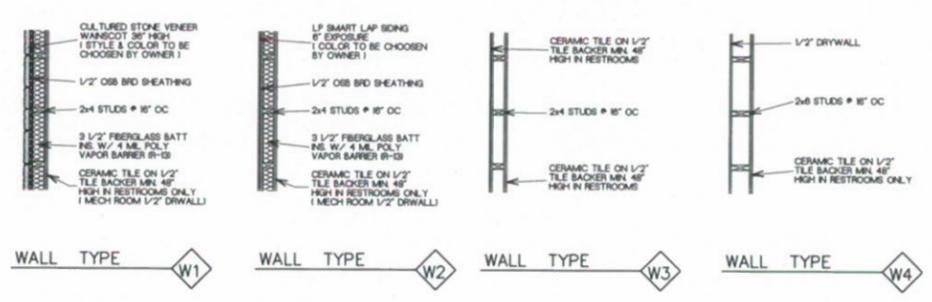
SPECIALTIES

- BATH ACCESSORIES
 - Toilet Paper Holder: Bobrick #B-2692 stainless steel twin jumbo-roll toilet tissue dispenser.
 - Soap Dispenser: Bobrick #B-40 liquid soap dispenser.
 - Paper Towel Dispenser: Bobrick #B-262 Surface-mounted paper towel dispenser.
 - Mirror: Bobrick #B-165 1830 16"x30" mirror in stainless steel channel frame.
 - Waste Receptacle: Bobrick #B-3844 Recessed stainless steel waste receptacle.
 - Changing Station: Koala Kare #KB100-00 horizontal wall-mounted baby changing station.



FOUNDATION PLAN
SCALE 1/4"=1'-0"

WALL TYPES



FH

PROPOSED POOL HOUSE
SUMMERHAVEN OF LAKE GENEVA
MERRY DRIVE
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

FOUNDATION PLAN
GENERAL SPECIFICATIONS
WALL TYPES

FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Ridgeway Court P.O. Box 437
ELKHORN, WISCONSIN 53121
Office: (262) 723-2098
Fax: (262) 723-5886

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO. 8888
DATE 08/11/16
SHEET NO. 3 of 4



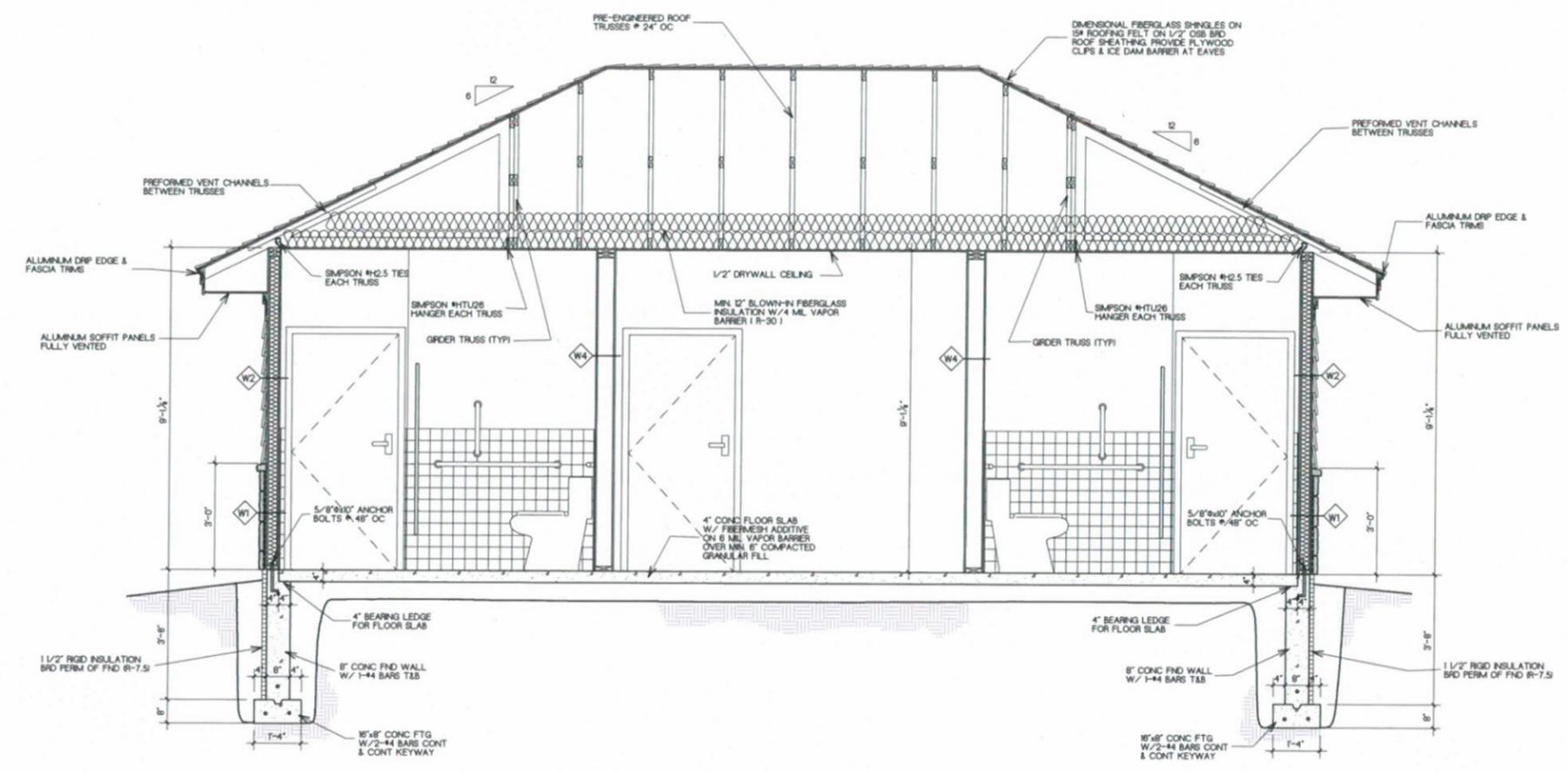
PROPOSED POOL HOUSE
 SUMMERHAVEN OF LAKE GENEVA
 MERRY DRIVE
 CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

BUILDING SECTION
 HANDICAP DETAILS

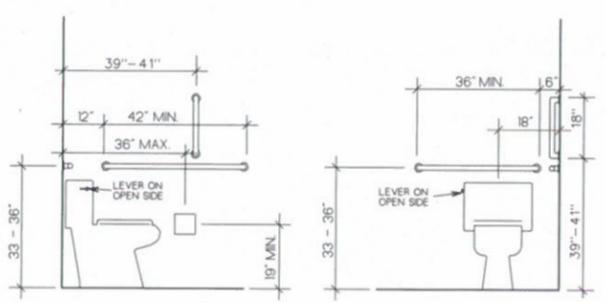
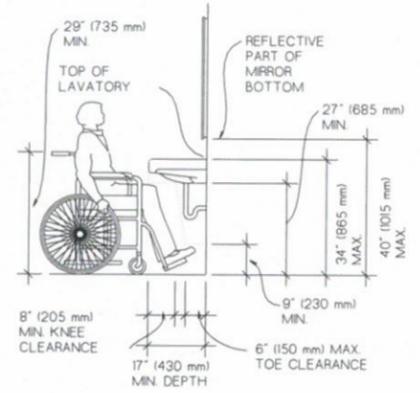
FARRIS, HANSEN & ASSOCIATES, INC.
 Engineering, Architecture, Surveying
 7 Ridgeway Court, P.O. Box 437
 ELKHORN, WISCONSIN 53121
 Office: (262) 723-2098
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REVISIONS

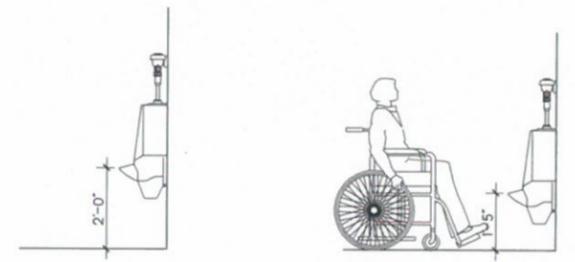
PROJECT NO.
8868
 DATE
08/1/16
 SHEET NO.
4 of 4



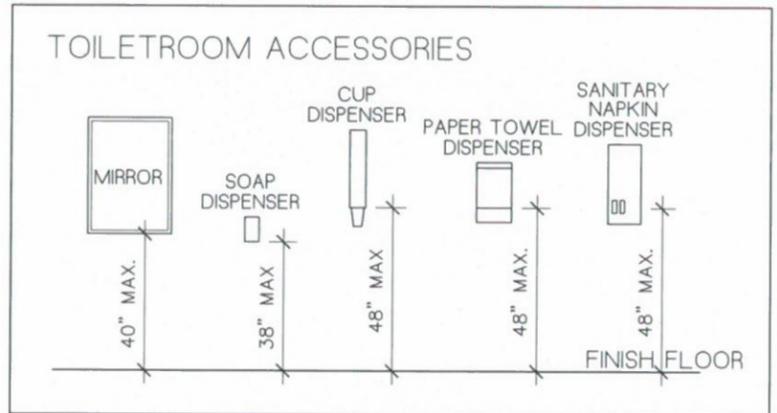
BUILDING SECTION 1
 SCALE 1/2"=1'-0"



WATER CLOSET HANDICAP GRAB BAR LOCATIONS



STANDARD URINAL MOUNTING HEIGHTS



Title Block, October 1, 2016
 8/1/16 10:58 AM 3045-CL-16-0001-SECTION-4

**SUMMERHAVEN OF LAKE GENEVA CONDOMINIUM
EXHIBIT E
UNIT 207 DEPICTION**

See attached.

FARRIS, HANSEN & ASSOCIATES, INC.

ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT - P.O. BOX 437 - ELKHORN, WISCONSIN 53121
PHONE: (262) 723-2098 FAX: (262) 723-5886

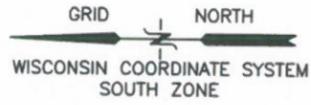
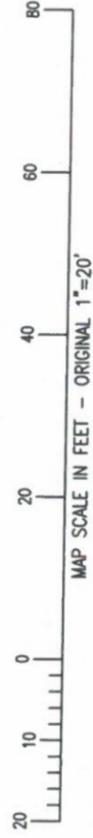
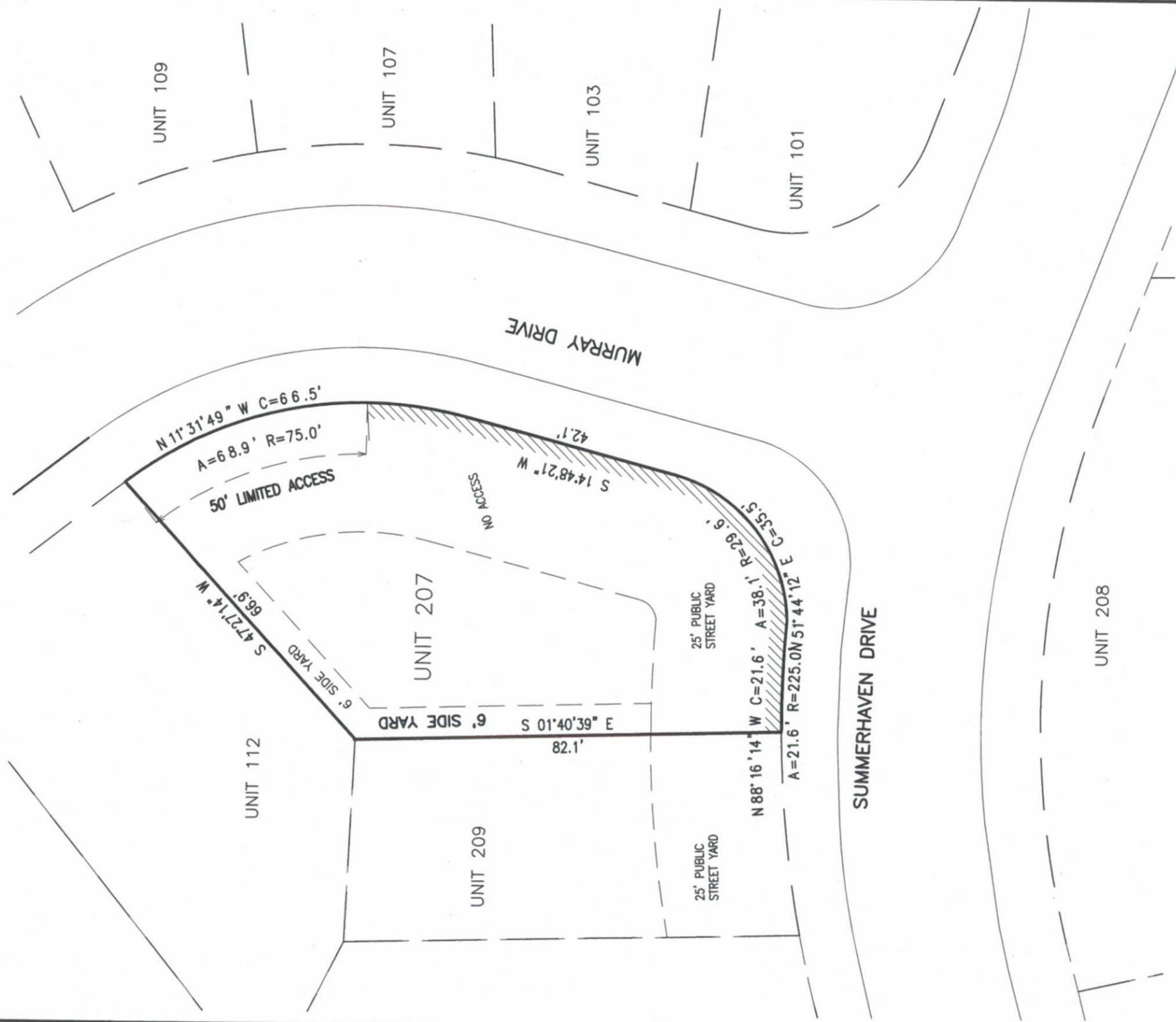


EXHIBIT UNIT 207 SUMMERHAVEN OF LAKE GENEVA

LOCATED IN THE SE 1/4 OF THE SE 1/4 SECTION 36
TOWN 2 NORTH, RANGE 17 EAST
& THE NE 1/4 OF THE NE 1/4 SECTION 1
TOWN 1 NORTH, RANGE 17 EAST
CITY OF LAKE GENEVA
WALWORTH COUNTY, WISCONSIN



PROJECT: 8868.207
DATE: 06/01/2017
SHEET 1 OF 1

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**SUMMERHAVEN OF LAKE GENEVA CONDOMINIUM
EXHIBIT F
LEGAL DESCRIPTION – ADJOINING 1.75 ACRE PARCEL
FOR TURNAROUND**

PARCEL 1: THAT PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 1 OF CERTIFIED SURVEY MAP NO. 754, RECORDED AS DOCUMENT NO. 28944 OF WALWORTH COUNTY CERTIFIED SURVEYS, SAID POINT LOCATED S 89DEG 31MIN 36SEC W, 733.28 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 36 (T2N, R17E); THENCE N 89DEG 38MIN 40SEC E, 89.98 FEET; THENCE N 89DEG 37MIN 23SEC E, 90.50 FEET TO THE WEST LINE OF LAKE GENEVA BOULEVARD; THENCE N 01DEG 34MIN 47SEC W, 348.82 FEET ALONG SAID BOULEVARD TO THE SOUTHWEST LINE OF WELLS STREET; THENCE N 37DEG 55MIN 32SEC W, ALONG SAID STREET, 202.94 FEET; THENCE S 89DEG 18MIN 48SEC W, 239.56 FEET TO THE POINT OF BEGINNING; THENCE S 00DEG 41MIN 12SEC E, 50.00 FEET; THENCE S 01DEG 55MIN 11SEC E, 134.92 FEET; THENCE S 89DEG 31MIN 07SEC W, 24.01 FEET; THENCE S 01DEG 12MIN 03SEC E, 16.91 FEET; THENCE S 88DEG 41MIN 15SEC W, 42.80 FEET; THENCE N 86DEG 27MIN 48SEC W, 126.62 FEET; THENCE S 88DEG 58MIN 07SEC W, 199.39 FEET TO THE EAST LINE OF LAKE SHORE VILLAGE CONDOMINIUM; THENCE ALONG SAID CONDOMINIUM, N 00DEG 11MIN 05SEC W, 6.62 FEET; THENCE CONTINUE, N 00DEG 47MIN 32SEC W, 187.44 FEET; THENCE N 89DEG 18MIN 48SEC E, 389.70 FEET TO THE POINT OF BEGINNING. CONTAINING 76,247 SQUARE FEET (1.75 ACRES) OF LAND, MORE OR LESS (end of legal description).

Property Index Number: ZSUM 00001

**SUMMERHAVEN OF LAKE GENEVA CONDOMINIUM
GROUP EXHIBIT G
PROPERTY OWNERS WITHIN 300 FEET
OF SUBJECT PROPERTY - LIST & MAP**

See attached.

LIST OF NAMES & ADDRESSES WITHIN 300' OF SUBJECT PARCEL:

- A. Lilypots llc
682 S. Wells Street
Lake Geneva, Wi. 53147
- B. Lester Synowiec
5234 W. Fullerton Ave
Chicago, IL 60639
- C. McCullough Walworth Properties
694 Wells St.
Lake Geneva, WI 53147
- D. 625 Wells Street LLC
625 Wells St.
Lake Geneva, WI 53147
- E. Rausch Family Trust
34010 Euclid Dr
Burlington, WI 53105
- F. M&J Real Estate LLC
715 Wells St
Lake Geneva, WI 53147
- G. M&J Real Estate LLC
715 Wells St
Lake Geneva, WI 53147
- H. M&J Real Estate LLC
715 Wells St
Lake Geneva, WI 53147
- I. Gurushabad LLC
797 S Wells St
Lake Geneva, WI 53147
- J. Molly M. Fine
Frederick Michaelis
204 Lookout Drive
Lake Geneva, Wi.
- K. John Manna Trust
Rosa Manna Trust
61 Arlington Heights Rd
Elk Grove Village, IL 60007
- L. David Heidenreich
Patricia L. Heidenreich
794 S. Wells St.
Lake Geneva, WI 53147
- M. Rita Popelka
1075 Lake Geneva Blvd
Lake Geneva, WI 53147
- N. Michael Nielsen
Victoria Nielsen
836 Wells St
Lake Geneva, WI 53147
- O. Bowman Farms Inc
2934 Fish Hatchery Road
Madison, Wi. 53713
- P. Sean Durbin
3526 N. Opal Drive
Chicago, IL 60634
- Q. Christopher J. Klockau
Karen A Klockau
4310 83rd Ave Ct
Milan, IL 61264
- R. Christopher J. Winters
Heather N. Winters
909 Lake Geneva Blvd
Lake Geneva, WI 53147
- S. Jean-Paul Meyer
2319 S Hidden Trail Blvd
Spring Grove, IL 60081
- T. John P Billings
808 Lake Geneva Blvd
Lake Geneva, WI 53147

U.	Bruce N. Jalosynski Joyce A. Jalosynski 914 Lake Geneva Blvd Lake Geneva, WI 53147	AF1	Jefferson & Madeline Killian 333 Oakwood Drive Lake Geneva, Wi. 53147
V.	Bruce N. Jalosynski Joyce A. Jalosynski 914 Lake Geneva Blvd Lake Geneva, WI 53147	AG.	Raj Handa Kulwinder Handa 375 Oakwood Ln. Lake Geneva, WI 53147
W.	Marilyn J. McLaughlin PO Box 1334 Lake Geneva, WI 53147	AH.	Dustin A & Maria J Dean 395 Oakwood Ln. Lake Geneva, WI 53147
X.	Linda L. Frame 940 Lake Geneva Blvd Lake Geneva, WI 653147	AI.	Marion Rosiak Lilija E. Rosiak 401 Oakwood Ln. Lake Geneva, WI 53147
Y.	Elmer Hansen 950 Lake Geneva Blvd Lake Geneva, WI 53147	AJ.	Arvanitakis Trust 425 Oakwood Ln. Lake Geneva, WI 53147
Z.	Jeffrey D. Levato Erica R. Levato 915 Bonnie Brae Ln Lake Geneva, WI 53147	AK.	David V. Hettiger Georgette P. Hettiger 445 Oakwood Ln Lake Geneva, WI 53147
AA.	Dorothy M. Philip 909 Bonnie Brae Ln Lake Geneva, WI 53147	AL.	Robert Robinson Lori Robinson 455 Oakwood Ln Lake Geneva, WI 53147
AB.	Andrew Wisniewski Christine Wisniewski 1022 Neuhaven Dr Antioch, IL 60002	AM.	Gabriel J. Hammerstrom 470 Oakwood Ln Lake Geneva, WI 53147
AC.	James & Grace Hanny 311 Oakwood Lane Lake Geneva, WI 53147	AN.	Michael D. Kramp Jennifer S. Kramp 460 Oakwood Ln Lake Geneva, WI 53147
AD.	Mark R Moller-Gunderson & Mary Ann Moller-Gunderson Trust 325 Oakwood Lane Lake Geneva, Wi. 53147	AO.	John E. Baldwin Pamela A. Baldwin 450 Oakwood Ln Lake Geneva, WI 53147
AF.	Jeffrey M Zukowski 355 Oakwood Ln. Lake Geneva, WI 53147		

AP.	Jane I Tully 950 Timothy Dr Lake Geneva, WI 53147	BA.	Frank R. Serrecchia Julie A. Serrecchia 1423 Vineyard Ln Libertyville, IL 60048
AQ.	Michael A. Woods Ruth A. Woods 949 Timothy Dr Lake Geneva, WI 53147	BB.	4Square LLC 951-4 S Lakeshore Dr Lake Geneva, WI 53147
AR.	Randall W. Sims Deborah K. Sims 360 Oakwood Ln Lake Geneva, WI 53147	BC.	Garrett C. Schultz 951 S Lakeshore Dr UT7 Lake Geneva, WI 53147
AS.	Dalia Ruzga 350 Oakwood Ln Lake Geneva, WI 53147	BBc.	Raymond Alois & Pamela Ann Ring 951 S Lakeshore Dr UT6 Lake Geneva, WI 53147
AT.	James R. Rulseh Darlene M. Rulseh 28419 69 th Pl Salem, WI	BD.	Donald Stoneberg Sandra Stoneberg 951 S Lakeshore Dr # 8 Lake Geneva, WI 53147
AU.	James R. Connors Lynn Y. Connors 320 Oakwood Ln Lake Geneva, WI 53147	BE.	Irwin Abrams Lisa Abrams 101 Westmoreland Dr Wilmette, IL 60091
AV.	Joseph Esposito PO Box 1059 Lake Geneva, WI 53147	BF.	Brian L. O'Byrn Gail M. O'Byrn 3 Jennifer Ct Barrington Kills, IL 60010
AW.	Raymond Alois Ring Pamela Ann Ring 951 S. Lakeshore Dr Unit 6 Lake Geneva, WI 53147	BG.	Elaine Vlahakis David Loomos 222 N Washington Park Ridge, IL 60068
AX.	Laura L. Selby 195 N. Harbor Drive, UT 2705 Chicago, Il. 60601	BH.	Joe Porter McLean Linda S. McLean 951 S Lakeshore Dr, Unit 12 Lake Geneva, WI 53147
AY.	Penelope Roehrer 951 S. Lakeshore Dr Unit 1 Lake Geneva, WI 53147	BI.	Albert J. Hinton Trust Geraldine L Hinton Trust 5701 Longview Dr Countrywide, IL 60525-3553
AZ.	Irwin & Lisa Abrams 101 Westmoreland Drive Wilmette, Il. 60091		

BJ.	Albert J. Hinton Trust Geraldine L Hinton Trust 5701 Longview Dr Countrywide, IL 60525-3553	BT1.	Kerry & Camille Trunkett 3936 Bordeaux Drive Northbrook, IL 60062
BK.	Evangelia Travlos 833 S Lakeshore Dr Lake Geneva, WI 53147	BU.	James Rys Rose Rys 164 Briarwood North Oak Brook, IL 60523
BL.	Mary Anne Gernand Trust 701 S Lakeshore Dr, # LL Lake Geneva, WI 53147	BV.	Kristian Kielhofner 2217 Hibiscus St Sarasota, FL 34232
BM.	Martin A. & Peggy A. Haeger Trust 1209 Beaver Creek Road Chesterfield, Mt 63017	BW.	Scott Gerami Sandy Gerami 104 Settlers Dr Naperville, IL 60565
BN.	Therese M. Boyle 10356 S Sawyer Ave Chicago, IL	BX.	Jeffrey A & Edith F Newman 2180 Oak Hill Drive Lisle, IL 60532
BO.	Martin K & Patricia A Lapointe 305 Anne Court Prospect Heights, IL 60070	BY.	Anthony J. Rucci Trust 7800 Tillinghast Dr Dublin, OH 43017
BP.	Daniel T. O'Carroll Gail A. O'Carroll 75 Sunset Ave Glen Ellyn, IL 60137	BZ.	Richard G & Nancy E Schmidt 1205 Montgomery Ave Rosemont, Pa 19010
BQ.	Mark L. Washack Karen A. Washack 11030 S. Keeler Oak Lawn, IL 60453	CA.	David M & Lynn F Coon 701 S. Lakeshore Dr, UT 3C Lake Geneva, WI 53147
BR.	Myra P. Zenke Trust 130 Commons Dr Palos Park, IL	CB.	Mark S. Johnson Rebecca L. Johnson 285 Willowbrook Dr Oswego, IL 60543
BS.	Anne M. Samyn Trust 1617 Galloway Dr Inverness, IL 60010	CC.	John J Malcolm Trust Denise R Malcolm Trust 6 Lancelot Lane Hawthorne Woods, IL 60047
BT.	William F & Julie R Snyder 1629 Bohns Point Road Wayzata, Mn 55391	CD.	Elenor M Ori Trust 317 Kathleen Dr Park Ridge, IL 60068

CE. Irving Segal
Linda Segal
5 Revere Dr, Suite 200
Northbrook, IL 60062

CF. Mark E. Pienkos
Ann L. Pienkos
703 S. Lakeshore Dr
Lake Geneva, WI 53147

CF. Patricia L. Wolter
703 S. Lakeshore Dr, Unit 1F
Lake Geneva, WI 53147

CH. Donna Jean Simon
Bryan W. Simon
453 Raintree Ct # 1F
Glen Ellyn, IL 60137

CI. Traci Marnul
703 South Lakeshore Dr
Lake Geneva, WI 53147

CJ. Donna G & Thomas Tabrosky
203 Hollow Way
Ingleside, IL 60041

CK. Mary Lynnn Brennan
705 South Lakeshore Dr, Unit B
Lake Geneva, WI 53147

CI. Karen A House
8422 163RD Street
Tinley Park, Il. 60487

Cm. Conrad & Roberta Rohatsch
170 Northwest Highway
Park Ridge, Il. 60068

CN. John Kolakowski
8029 W Catherine Ave
Chicago, Il. 60656

CO. William B. Ittner
705 S. Lakeshore Dr, # 2F
Lake Geneva, WI 53147

CP. Richard F. Corn
Patricia J. Corn
2217 Creek Ridge Dr
Carrollton, Tx 75007

CQ. Barbara Ann Hartke
705 S. Lakeshore Dr, # 2H
Lake Geneva, WI 53147

CR. Diana L. Wilson
909 S. Dundee Ave
Barrington, IL 60010

CS. Joan Faherty
707 S. Lakeshore Dr, Ste B
Lake Geneva, WI 53147

CT. Valentina Guran
6161 N. Hoyne Ave, Apt 402
Chicago, IL

CU. Ronald F. Muno Family Trust
Shirley J. Muno Family Trust
707 S. Lakeshore Dr
Lake Geneva, WI 53147

CV. Marilyn I Ellman
PO Box 1225
Lake Geneva, WI 53147

CW. Marilyn I Ellman
PO Box 1225
Lake Geneva, WI 53147

CX. Richard J Freiberg Trust
Kerry J Freiberg Trust
11980 W Pallottine Drive
Greenfield, Wi. 53228

CY. Charles F. Milici Trust
A Patricia Milici Trust
5919 48th Ave SW
Seattle, WA 98136

CZ.	Lyndon Wieseman Lise Wieseman 730 Harrison Beloit, WI	DJ.	John S Ritchie Jr 728 N. Briar Hill Lane UT 2 Addison, IL 60101
DA.	Louise E. Zapfe 709 Lakeshore Dr, Unit 4-F Lake Geneva, WI 53147	DK.	Louis M. Lobianco Terri L. Lobianco 821 Forrest View Park Ridge, IL 60068
DB.	Helen M. Radloff 709 S. Lakeshore Drive Unit G Lake Geneva, WI 53147	DL>.	John T. Pytel Jacqueline M. Pytel 908 Jeremy Ln Libertyville, IL 60048
DC.	Robert Z. Fox Bernadine F. Peletz-Fox 214 Miller Loop Fort Benning, GA 31905	DM.	Anne E. D'Ascanio 715 S. Lakeshore Dr - # 7B Lake Geneva, WI 53147
DD.	Leonard Walter Frank Judith Anne Terrall 415 W. Aldine Ave, Apt 3B Chicago, IL 60657	DN.	Sharon M Dvorak 715 S lakeshore Drive UT 7E Lakre Geneva, Wi. 53147
DE.	Gregory D. Howse Karen C. Howse 412 Kenneth Ct Glenwood, IL 60425	DO.	Ellen M. Liebner Trust Mary Ann Tanquary Trust 411 Ashland Ave River Forest, IL 60305
DF.	Jill D. Green 711 S. Lakeshore Dr Lake Geneva, WI 53147	DP.	Schillaci Family Trust 11200 S. Helena Dr Palos Hills, IL 60465
DG.	Sharon M. Specht Camille Malik 6049 S. Mulligan Ave. Chicago, IL	DQ.	Alan Kupsik Chistine Kupsik 717 S. Lakeshore Dr - #8B Lake Geneva, WI 53147
DH.	Patricia A. Schroeder Trust 713 S. Lakeshore Dr, # 6A Lake Geneva, WI 53147	DR.	Linda Iser Trust 7912 Trinity Circle 4SE Tinley Park, IL 60477
DI.	Mark Butitta Mary Butitta 2429 S. Alpine Rd Rockford, IL 61108	DS.	Carol T Wilcox Trust Christopher P Beardsley Trust 717 S Lakeshore Drive Lake Geneva, Wi. 53147

DT. Bruce R. Nelson
Joan M. Nelson
11775 Banchary Road
Belvidere, Il. 61008

DU. Russell D Sabac
PO Box 1192
Lake Geneva, Wi. 53147

DV. Victoria D Kuk Trust
8340 W Berwyn Ave
Chicago, IL 60656

DW. John W. Whittington
Charlotte A. Whittington
452 Winsor Dr
Antioch, IL 60002

DX. Lawrence B & Deanna L Wieland Trust
PO Box 5905
Sun City West, Az 85376

DY. Kenneth A Wiess
W3276 Hunt Ridge Drive
Elkhorn, Wi. 53121

DZ. Suzette Toia
PO Box 1193
Lake Geneva, Wi. 53147

EA. Gary S. Piper
Jadwiga Piper
9120 Oleander
Morton Grove, IL 60053

EB. Leszek Synowiec
1539 E. Marcus Ct
Park Ridge, IL 60068

EC. Frederick A. Gahl
Stacey A. Bresnahan
661 S. Lakeshore Dr
Lake Geneva, WI 53147

ED. Barbara M. Brown
Scott Carlson Brown
625 S. Lakeshore Dr
Lake Geneva, WI 53147

EE. Talmae LLC
N3189 Center St
Lake Geneva, WI 53147

EF. Jeffrey G. Buntrock
Roger D. Hulsebus
612 Wells St, Suite C
Lake Geneva, WI 53147

EG. Jeffrey G. Buntrock
Roger D. Hulsebus
612 Wells St, Suite C
Lake Geneva, WI 53147

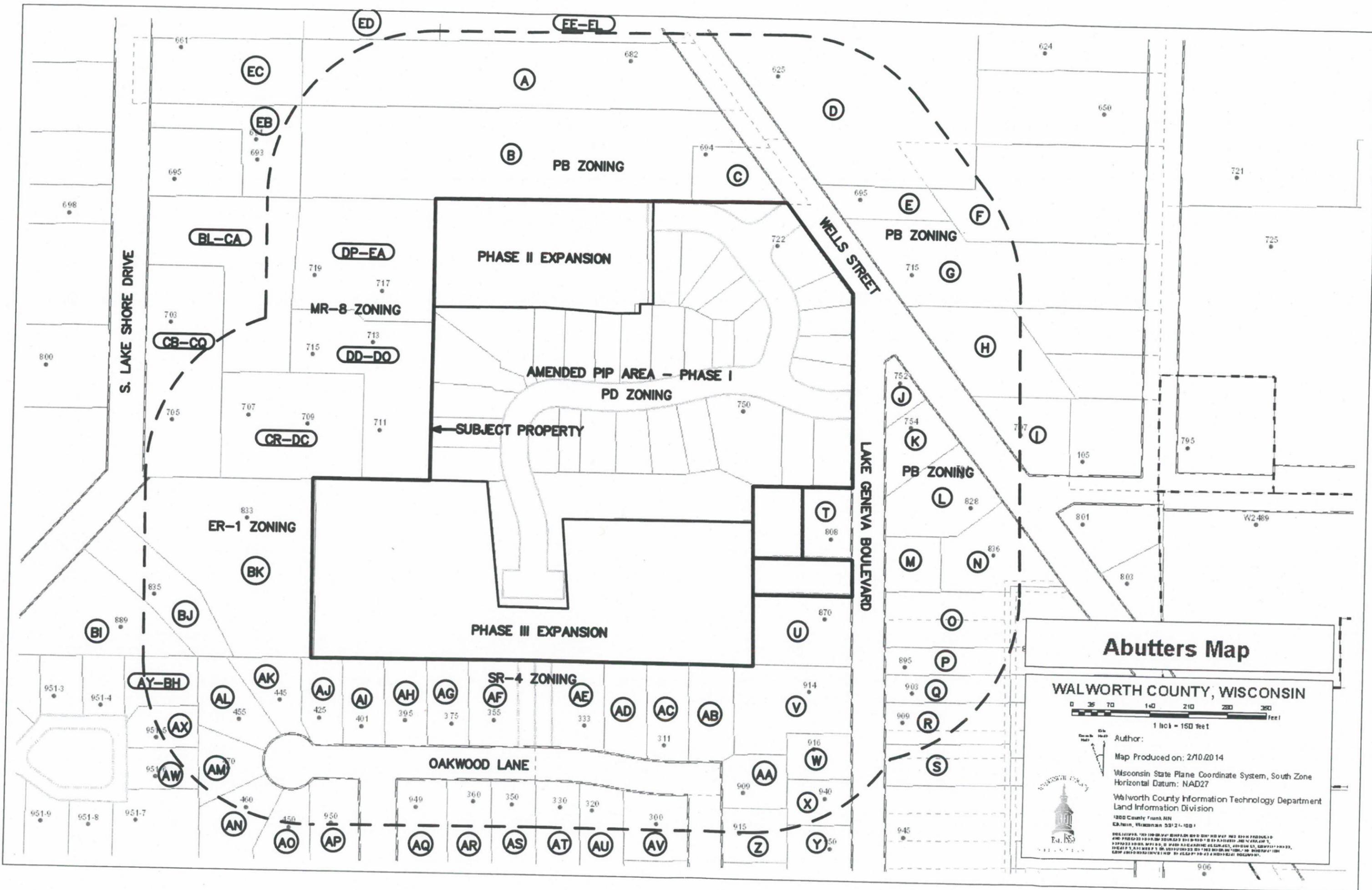
EH. Jeffrey G. Buntrock
Roger D. Hulsebus
612 Wells St, Suite C
Lake Geneva, WI 53147

EI. William L Tauber
415 Wells St, Unit 107
Lake Geneva, WI 53147

EJ. Kenneth Shields
1246 Kenton Rd
Deerfield, IL 60015

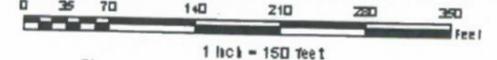
EK. James Paul-Norbert Kramer Trust
Karen Ann Kramer Trust
906 Platt Ave
Lake Geneva, Wi. 53147

EL. Taylor-Klewer Enterprises, LLC
PO Box 384
Lake Geneva, WI 53147



Abutters Map

WALWORTH COUNTY, WISCONSIN



Author:

Map Produced on: 2/10/2014

Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27

Walworth County Information Technology Department
Land Information Division

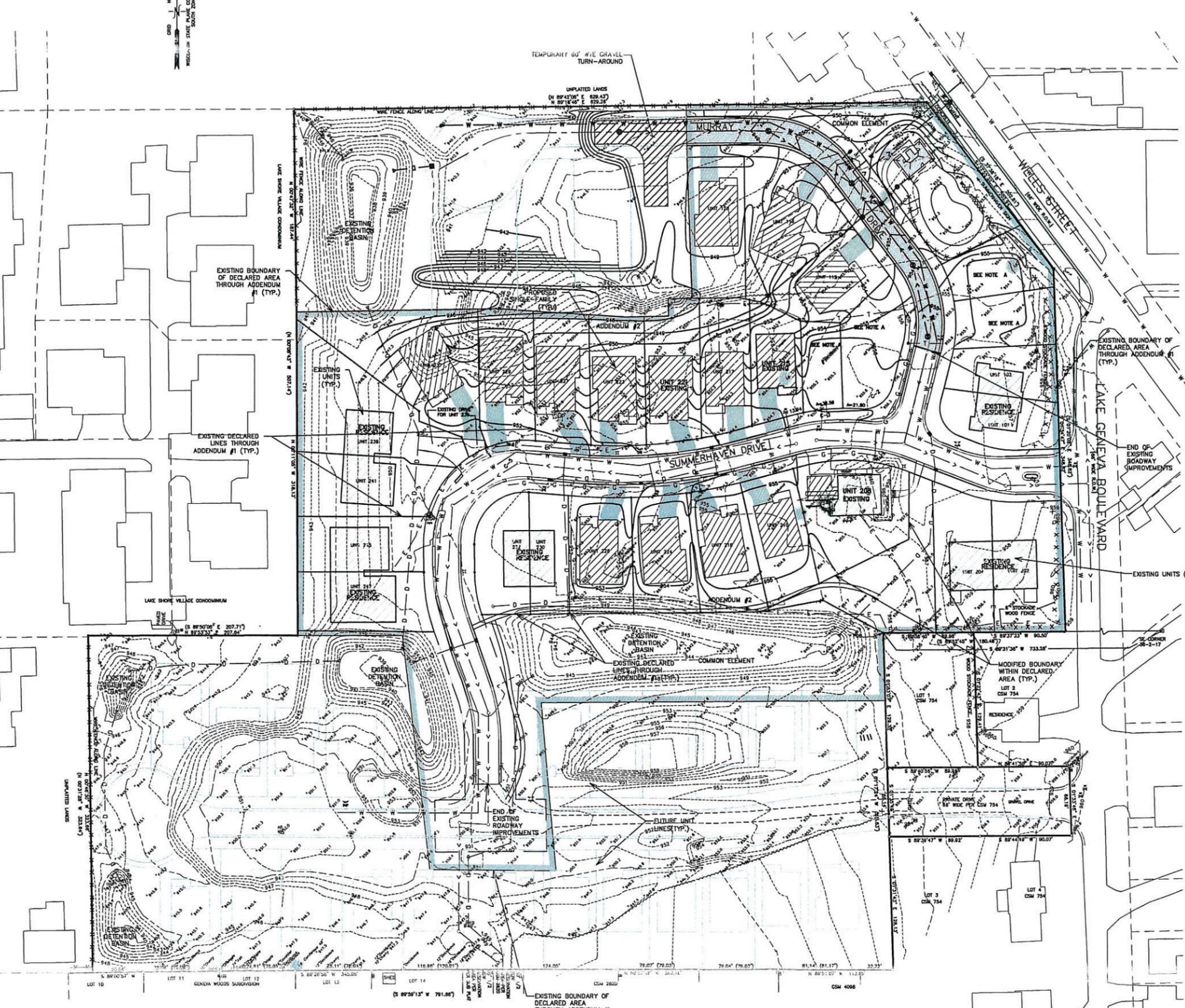
1200 County Trunk NN
Eaton, Wisconsin 53121-1001

UNLESS OTHERWISE SPECIFIED, THE INFORMATION ON THIS MAP IS THE PROPERTY OF WALWORTH COUNTY AND IS PROVIDED FOR YOUR INFORMATION ONLY. WALWORTH COUNTY IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER OF THIS MAP ASSUMES ALL LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THIS MAP. WALWORTH COUNTY IS NOT A PROFESSIONAL ENGINEER OR ARCHITECT. THIS MAP IS NOT TO BE USED AS A SUBSTITUTE FOR A PROFESSIONAL ENGINEER OR ARCHITECT. WALWORTH COUNTY IS NOT A PROFESSIONAL ENGINEER OR ARCHITECT. THIS MAP IS NOT TO BE USED AS A SUBSTITUTE FOR A PROFESSIONAL ENGINEER OR ARCHITECT.



AMENDMENT NO. 2 TO THE PRECISE IMPLEMENTATION PLAN "SUMMERHAVEN OF LAKE GENEVA ADDENDUM NO. 2"

LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 36 TOWN 2 NORTH,
RANGE 17 EAST AND THE NE 1/4 OF THE NE 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST,
IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



LEGAL DESCRIPTION
THAT PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 17 EAST, AND THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF CERTIFIED SURVEY MAP NO. 754, RECORDED AS DOCUMENT NO. 28414 OF WALWORTH COUNTY CERTIFIED SURVEYS, SAID POINT LOCATED S 89DEG 31MIN 36SEC W, 733.28 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 36 (T2N, R17E); THENCE S 81DEG 31MIN 07SEC E, ALONG THE WEST LINE OF SAID LOT 1 CSM 754, 129.55 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1; THENCE S 89DEG 48MIN 54SEC W, 39.91 FEET; THENCE N 01DEG 13MIN 07SEC W, 44.31 FEET; THENCE S 89DEG 35MIN 02SEC W, 310.84 FEET; THENCE S 84DEG 58MIN 22SEC E, 161.61 FEET; THENCE N 89DEG 41MIN 51SEC W, 124.31 FEET; THENCE N 89DEG 41MIN 55SEC W, 226.84 FEET; THENCE S 89DEG 55MIN 23SEC W, 103.47 FEET; THENCE N 89DEG 11MIN 58SEC W, 311.51 FEET; THENCE N 89DEG 38MIN 07SEC E, 199.39 FEET; THENCE S 86DEG 27MIN 48SEC E, 136.62 FEET; THENCE N 89DEG 41MIN 15SEC E, 42.40 FEET; THENCE N 01DEG 12MIN 05SEC W, 16.91 FEET; THENCE N 89DEG 31MIN 07SEC E, 24.01 FEET; THENCE N 89DEG 55MIN 15SEC W, 134.92 FEET; THENCE N 89DEG 41MIN 12SEC W, 59.09 FEET; THENCE N 89DEG 18MIN 48SEC E, 239.56 FEET TO THE SOUTHWEST CORNER OF WELLS STREET; THENCE S 37DEG 55MIN 23SEC E, ALONG WELLS STREET, 292.94 FEET TO THE WEST LINE OF LAKE GENEVA BOULEVARD; THENCE S 01DEG 44MIN 47SEC E, ALONG SAID BOULEVARD, 348.92 FEET TO THE NORTH LINE OF SAID CSM 754; THENCE S 89DEG 37MIN 13SEC W, 90.90 FEET; THENCE CONTINUE ALONG SAID CSM 1, S 89DEG 31MIN 40SEC W, 89.98 FEET TO THE POINT OF BEGINNING, CONTAINING 350,257 SQUARE FEET (8.01 ACRES) OF LAND, MORE OR LESS.

TOGETHER WITH SAID LOT 1 OF CERTIFIED SURVEY MAP NO. 754, RECORDED AS DOCUMENT NO. 28414 OF WALWORTH COUNTY CERTIFIED SURVEYS, CONTAINING 11,658 SQUARE FEET (0.27 ACRES) OF LAND, MORE OR LESS.

TOTAL AREA: 361,895 SQUARE FEET (8.31 ACRES) OF LAND, MORE OR LESS.

NOTE A:
EXISTING DUPLEX UNITS TO BECOME SINGLE FAMILY RESIDENCE UNITS BY AMENDMENT OF CONDO DECLARATION

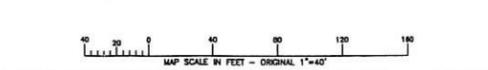
SITE SUMMARY

TOTAL LAND AREA PHASE I	- 8.31 ACRES
EXISTING ZONING	- PLANNED DEVELOPMENT
EXISTING DUPLEX	- 10 UNITS
EXISTING SINGLE FAMILY	- 1 UNIT
PROPOSED SINGLE FAMILY	- 18 UNITS
TOTAL UNITS FOR PHASE I	- 29 UNITS
OVERALL DENSITY	- 0.29 ACRES PER UNIT
IMPERVIOUS AREA	- 2.86 ACRES (34.4%)
GREEN SPACE	- 5.45 ACRES (65.6%)

NOTE: MINIMUM RESIDENTIAL BUILDING SEPARATION IS 12 FEET.

LEGEND

PROPOSED	EXISTING
FOUND IRON PIPE STAKE	○
FOUND IRON REBAR STAKE	●
FOUND CONCRETE COUNTY MONUMENT RECORDED AS	□ (000)
SET IRON REBAR STAKE	○
SANITARY MANHOLE	○
DRAINAGE MANHOLE	○
CATCH BASIN	○
WATER VALVE IN BOX	○
FIRE HYDRANT	○
UTILITY POLE	○
LIGHT POLE	○
DECIDUOUS TREE	○
CONIFEROUS TREE	○
TREELINE	○
WOOD STOCKADE FENCE	- X X -
WIRE FENCE	- - -
STORM SEWER	- - -
SANITARY SEWER	- - -
WATER MAIN	- - -
GIS MAIN	- - -
OVERHEAD WIRES	- - -
UNDERGROUND WIRES	- - -
TELEPHONE LINE	- - -
1' CONTOURS	- - -
SPOT ELEVATION	○
PAVEMENT	▨
BUILDING BOX	▨
CONCEPT DRIVEWAY LOCATIONS	▨



PRECISE IMPLEMENTATION PLAN
SUMMERHAVEN OF LAKE GENEVA
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

AMENDMENT NO. 2 TO THE
PRECISE IMPLEMENTATION PLAN
PHASE I

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT, P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5866

PROJECT NO.
8868
DATE
06/29/2017
SHEET NO.
1 OF 1

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CONTACT:
DIGGERS HOTLINE
Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

WIS STATUTE 182.075(174) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

OWNER/DEVELOPER
SPECTRUM REAL ESTATE PROPERTIES
351 WEST HUBBARD, SUITE 610
CHICAGO, IL 60654

MEMORANDUM

To: City of Lake Geneva
From: Mike Slavney, FAICP, City Planner
Date: July 12, 2017
Re: An Introduction to the Requested 2017 Amendments to the City of Lake Geneva Comprehensive Plan

Introduction

Every year, the City of Lake Geneva holds a Comprehensive Plan amendment period between May and October. The Annual Plan Amendment Cycle allows the months of May and June for Plan amendments to be proposed. This year, the City has received five proposals to amend the Plan.

The annual Cycle allows for informal Plan Commission discussion of Plan amendment proposals during the months of July and August, before starting the formal public hearing process in September. During the July and August Plan Commission meetings, an agenda item is created to introduce the proposed amendments, allow Plan amendment advocates to explain their proposals to the Commission, and for the Commission to discuss the proposals with one-another, and with the advocates. Other members of the public are also invited to weigh-in on the proposals.

During the May through June proposal process, five Comprehensive Plan amendments have been suggested for formal review. They include one proposed policy change, and four changes to the Future Land Use Map (and associated descriptive text in the body of the Land Use chapter of the Plan.

The attached Future Land Use Maps depicts the proposed areas of change. The current Future Land Use Category is the color depicted on the maps. The proposed Future Land Use Category is described in the text box and outlined with the solid red line.

Proposed 2017 Amendments to the Comprehensive Plan:

Proposed Amendment to Comprehensive Plan Policies:

- A. To add a policy that requires any proposed change to the Comprehensive Plan to be subject to approval by a public referendum.

Proposed Amendments to the Future Land Use Map are Presented on the Following Page.

Proposed Amendments to the Future Land Use Maps

(See attached Maps 5a – Planning Area Coverage; and Map 5b Central City Area Coverage):

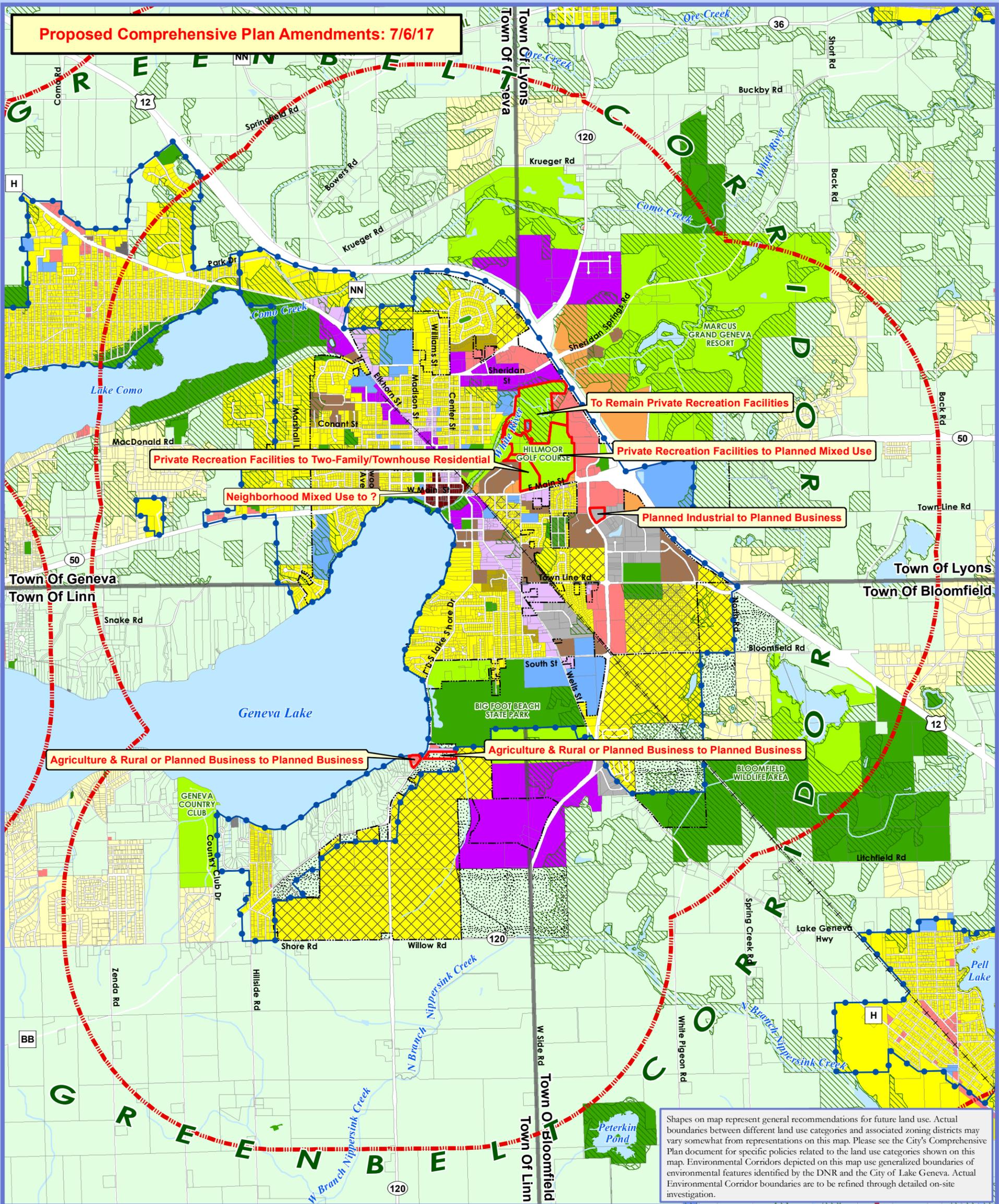
- 1. 905 West Main Street:** (See attached Planning Area and Zoom-In Maps.)
From the Neighborhood Mixed Use land use category to the Planned Business land use category.

- 2. Former Hillmoor Golf Course:** (See attached Planning Area and Zoom-In Maps.)
 - a. North Section to remain in the Private Recreation Facilities land use category;
 - b. Central Section to change from the Private Recreation Facility land use category to the Planned Mixed Use land use category;
 - c. Southwest Section to change from the Private Recreation Facility land use category to the Two-Family /Townhouse Residential land use category; and,
 - d. Wis Hwy 50 frontage to remain in the Private Recreation Facilities land use category;

- 3. Geneva Inn Parcels:** (See attached Planning Area and Zoom-In Maps.)
 - a. Parcels to remain in the Planned Business land use category;
 - b. Part of Eastern parcel (east of South Lakeshore Drive) to change from the Agricultural & Rural land use category to the Planned Business land use category; and,
 - c. 2 and 1/2 Western parcels (west of South Lakeshore Drive) to change from the Agricultural & Rural land use category to the Planned Business land use category.

- 4. 751 Geneva Parkway North plus adjacent remnant of Lot 2:** (See attached Planning Area and Zoom-In Maps.)
From the Planned Industrial land use category to the Planned Business land use category.

I encourage the Plan Commission to begin to discuss these proposals at the July Plan Commission meeting, including the possibility for public comments during the consideration of this item by proposing parties, as well as the general public.

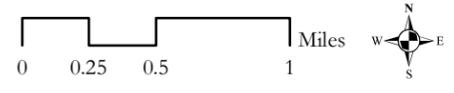


Shapes on map represent general recommendations for future land use. Actual boundaries between different land use categories and associated zoning districts may vary somewhat from representations on this map. Please see the City's Comprehensive Plan document for specific policies related to the land use categories shown on this map. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR and the City of Lake Geneva. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

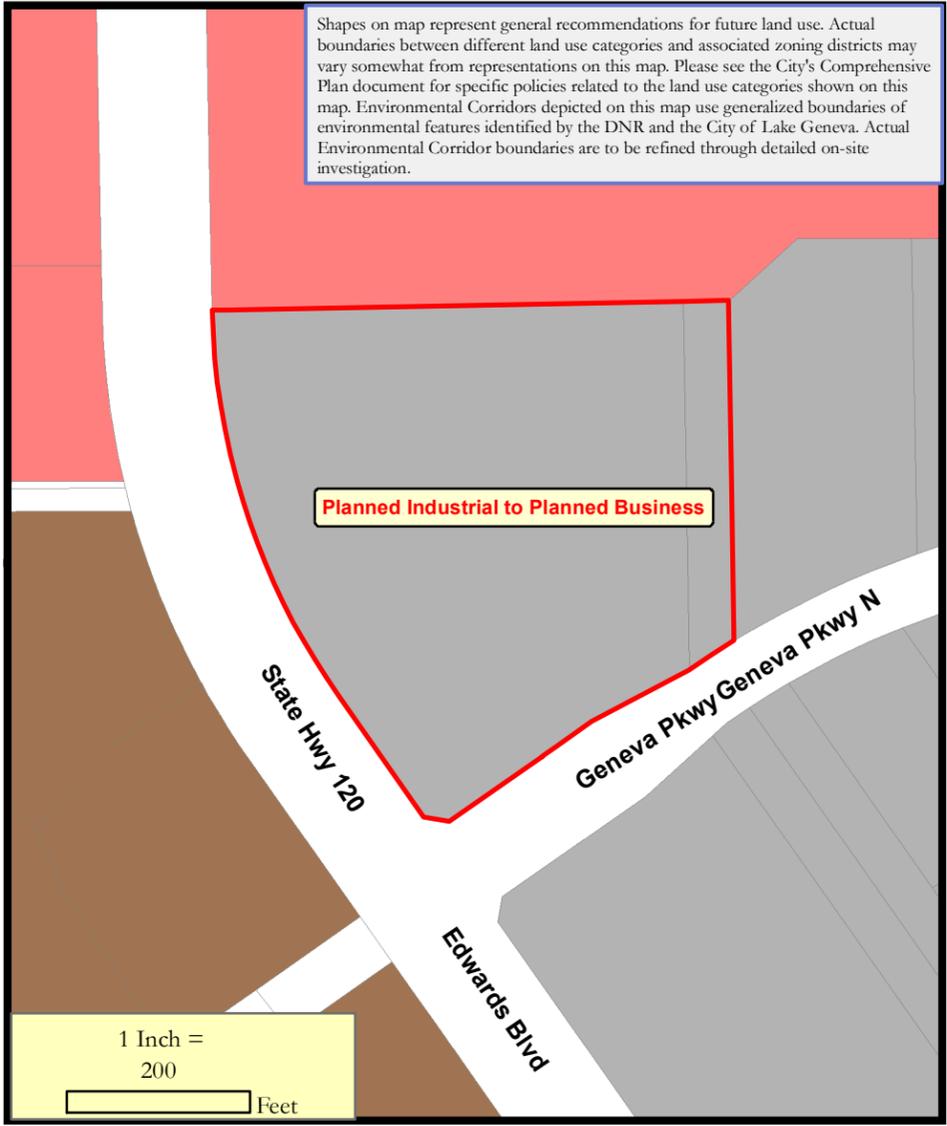
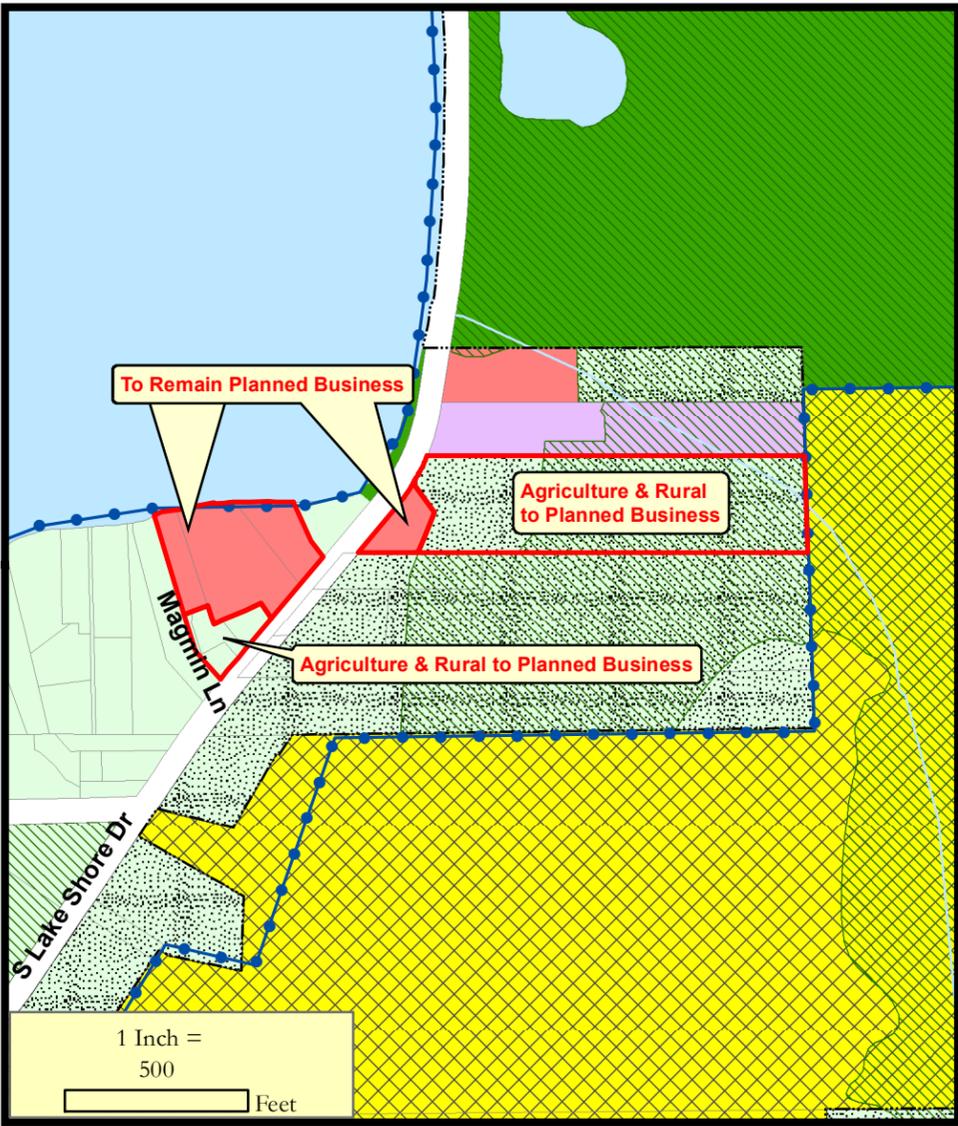
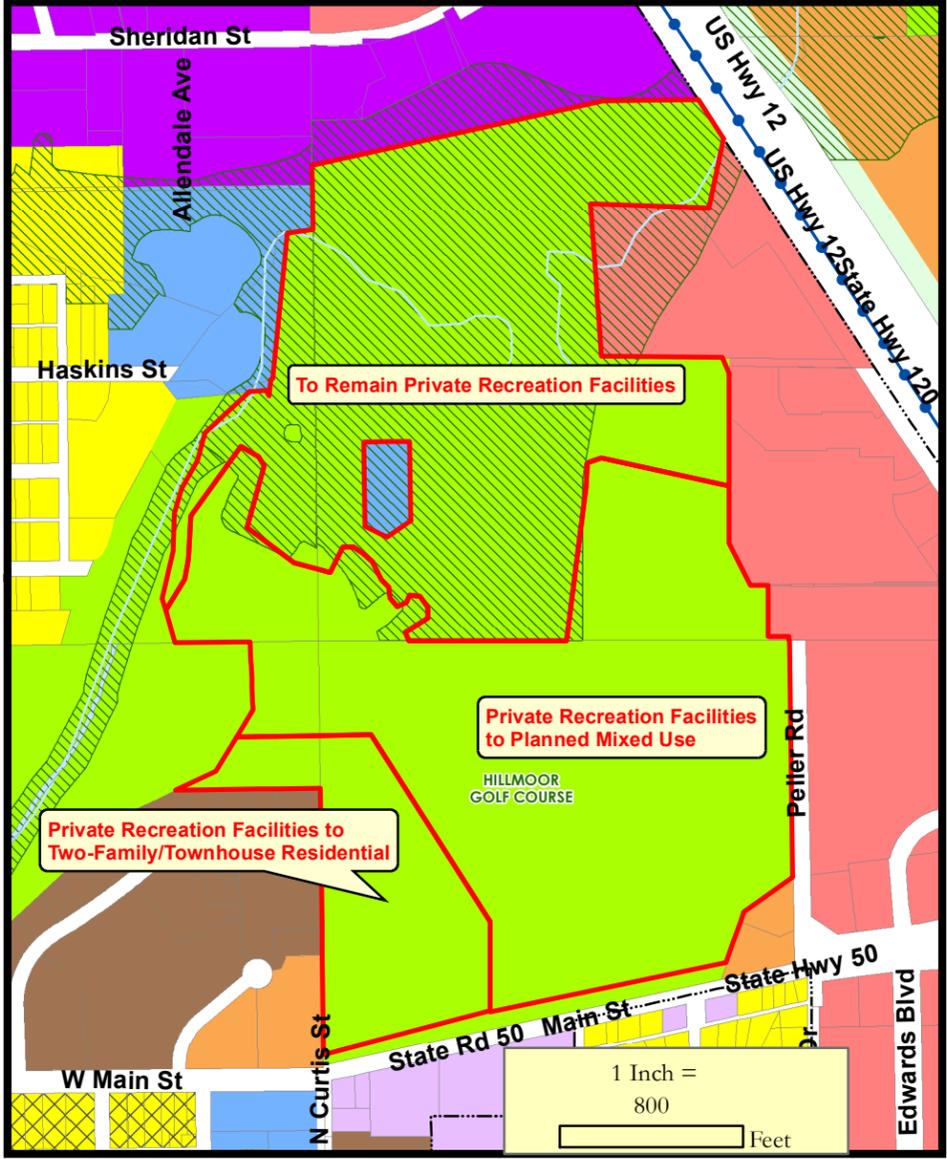
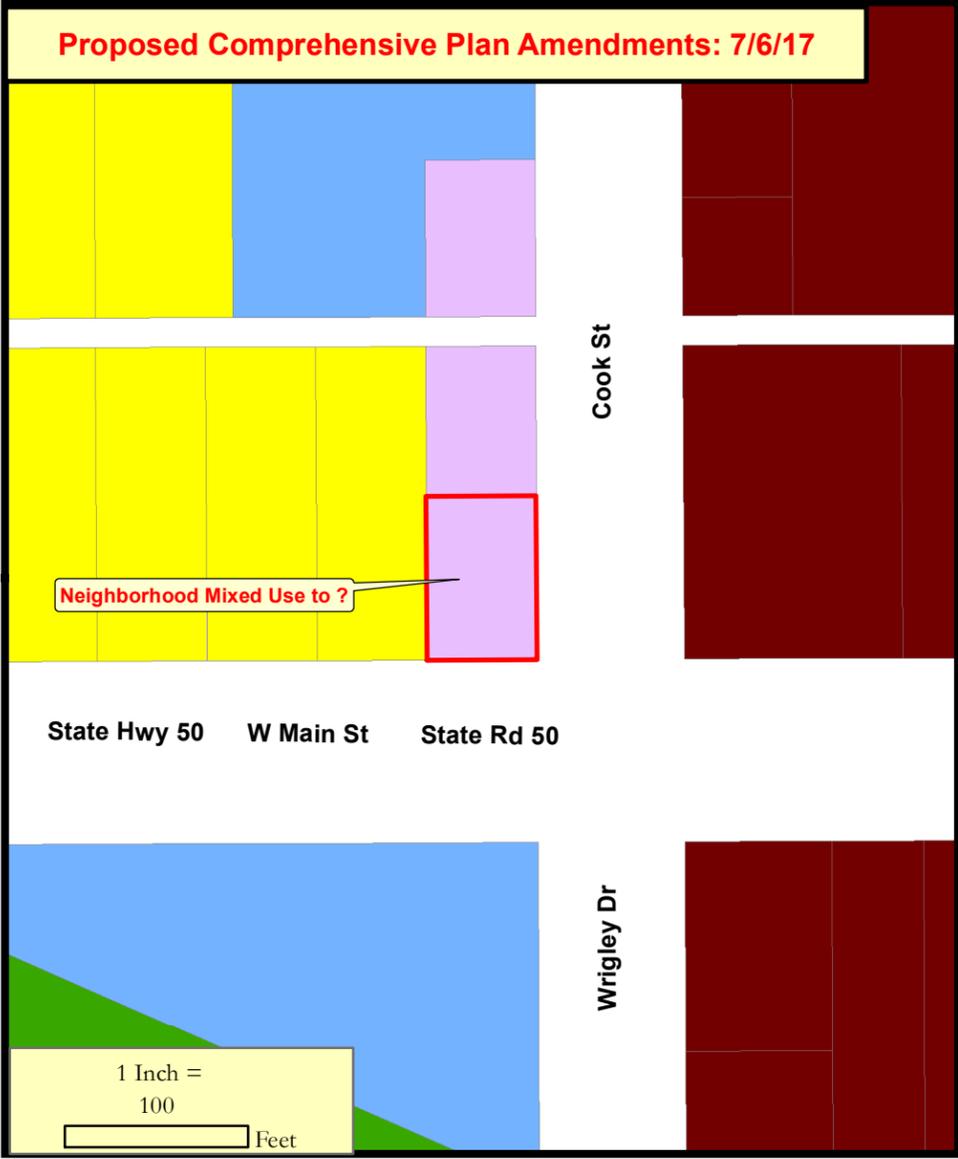
Map 5a: Future Land Use - City of Lake Geneva Comprehensive Plan

Land Use Categories

	Agricultural & Rural		Central Business District		City of Lake Geneva	
	Single Family Residential - Exurban		Planned Mixed Use		Township Boundary	
	Single Family Residential - Urban	*Each "Planned Mixed Use Area" may include mix of:				Urban Service Area Boundary
	Two-Family/Townhouse Residential	1. Planned Office			Extraterritorial Jurisdiction Boundary	
	Multi-Family Residential	2. Multi-Family Residential			Parcels	
	Planned Neighborhood	3. Institutional & Community Services			Surface Water	
*Each "Planned Neighborhood" may include a mix of:					Abandoned Railroad	
		4. Planned Business				
	Neighborhood Mixed Use		Planned Industrial			
	Planned Office		General Industrial			
	Planned Business		Institutional & Community Services			
			Private Recreation Facilities			
			Public Park & Recreation			
			Environmental Corridor			
			Long Range Exurban Growth Area			

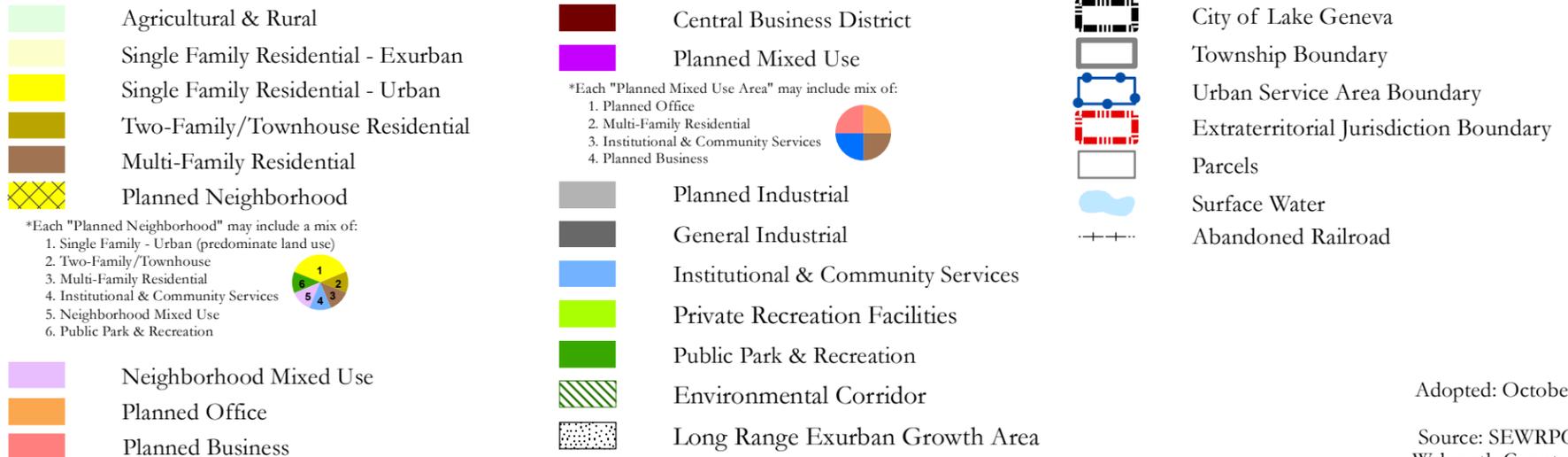


Adopted: October 24, 2014
 Source: SEWRPC, WIDNR, Walworth County LIO, V&A



Map 5a: Future Land Use - City of Lake Geneva Comprehensive Plan

Land Use Categories



Adopted: October 24, 2014

Source: SEWRPC, WIDNR, Walworth County LIO, V&A

**CITY OF LAKE GENEVA
APPLICATION FOR AMENDMENT TO THE COMPREHENSIVE PLAN**

NOTE: All applications for amendments to the Comprehensive Plan must be submitted to the City Clerk on or before June 30th.

PART A: AMENDMENT REQUEST

I, Paul Fitzpatrick, Manager, HEREBY REQUEST THE CITY OF LAKE GENEVA PLAN COMMISSION AND COMMON COUNCIL TO HOLD A PUBLIC HEARING ON THE FOLLOWING REQUEST FOR AMENDMENT TO THE LAKE GENEVA COMPREHENSIVE PLAN:

Please check all that apply:

- Amendment to the Future Land Use Map
- Amendment to the Community Facilities & Utilities Map
- Amendment to Other Maps
- Text Amendment (policies, programs, etc.)
- Other

PART B: CONTACT INFORMATION

APPLICANT:

Name (Person OR Firm): White River Holdings LLC Address: 11 East Madison, Suite L-100, Chicago, IL 60602
Email Address: pfitzpatrick@lleastpartners.com Daytime Telephone: (312) 675-5500

PROPERTY OWNER: (if different from Applicant) MY SIGNATURE INDICATES THAT I AUTHORIZE AND AGREE WITH ALL ASPECTS OF THIS REQUEST:

Name: Paul Fitzpatrick
Manager of White River Holdings LLC Signature: 

PART C: BRIEF DESCRIPTION OF THIS PROPERTY AND PROPOSED LAND USE:

(IF request is NOT linked to a particular property, skip to PART D.)

Parcel Number: See Exhibit "B" Address: 333 East Highway 50, Lake Geneva, WI 53147

BRIEF DESCRIPTION OF THE PROPOSED AMENDMENT REQUEST:

Change from "Private Recreation and Agricultural, Open Lands & Vacant" to "Private Recreation and Agricultural, Open Lands & Vacant, Planned Mixed Use, and Two-Family/Townhouse Residential" per Exhibits A-1 through A-6

CURRENT ZONING:

Zoning District: RH (Rural Holding)

FUTURE PROPOSED USE (be specific)

The proposed use is focused on maintaining open space and enhancing it with a planned development that would draw on amenities within the woodlands area and neighboring land use. The mixed use development will consist of recreation, commercial, lodging, retail and residential uses.

PART D: The Plan Commission and Common Council consider the following criteria when making recommendations regarding amendments to the Comprehensive Plan. Please respond to the following questions: (If you need additional space for your response, please attach to the back of this application form.)

1. How will the proposed amendment to the Comprehensive Plan benefit the public, City, and/or surrounding neighbors or neighborhoods?

The public benefits from this amendment range from enhancement of recreational opportunities and environmental preservation to addressing infrastructure concerns, offering varied housing alternatives, increasing tax revenue and job opportunities, as well as many others. Please see attached Addendum "1" for further details.

2. How does the request advance the Comprehensive Plan vision, and the goals, objectives and policies for the chapter within which the amendment affects?

Chapter 5 clearly state that the goal is to promote a future development pattern that contains a sustainable mix of land uses to serve the needs of a diverse City population and business community, which this plan achieves by addressing all six objectives and applicable land use policies. Please see attached Addendum "1" for further details.

3. As it affects the amendment request, what circumstances have changed or what new information is now available since the original adoption of the City's Comprehensive Plan, or in the case of a previously requested amendment, what circumstances have changed since the last amendment process?

The main circumstance that has changed from the original adoption of the Plan in 2009 is that the Site was purchased from the previous owner (an institutional bank group) by a private real estate development company with the experience and expertise to develop the Site. Please see attached Addendum "1" for further details.

4. Is there any additional information that the City of Lake Geneva should consider in its evaluation of this request?

The proposed changes are in harmony with the goals and objectives of the Land Use Plan and the goals and objective of the Comprehensive Plan. All the proposed changes require that a planned zoning classification be adopted to implement the plan, therefore control remains with the City throughout the rezoning stage. Please see attached Addendum "1" for further details.

PART E: Please describe below (or on a separate sheet) what your specific request for a Comprehensive Plan amendment is. Provide any necessary maps, charts, or other supporting data as needed, including conceptual development plans (if applicable). Applicant also **MUST ATTACH** a redline/strikeout of the proposed text amendment and/or a clearly labeled and marked-up version of the proposed Map Amendment.

See Exhibits A-1 through A-6


Signature of Applicant(s) Paul Fitzpatrick, Manager

Date

6/29/17

REQUESTED COMPREHENSIVE PLAN AMENDMENT FOR:

333 East Highway 50, Lake Geneva, WI 53147

Subject Property Address(s)

NAME OF OWNER(S)	ADDRESS(S):	
White River Holdings LLC	11 East Madison Street, Suite L-100	
	Chicago, IL	60602
SUBJECT PROPERTY:	ADDRESS(S):	PARCEL/LOT #
See attached Exhibit "B" for legal description		
PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY:		
(for Map Amendments only)		
NAME	ADDRESS	PARCEL/LOT #
See attached Exhibit "C"		

**ADDENDUM “1”
TO CITY OF LAKE GENEVA
APPLICATION FOR AMENDMENT TO THE COMPREHENSIVE PLAN**

C. Future Proposed Use: The Property (or the “Site”) is a large, strategically placed tract at the entryway to the City of Lake Geneva surrounded by a mix of uses, including multi-family residential, single-family residential, industrial, commercial and recreational uses. Highway 50 currently serves as the sole entrance to the Site, however the Site is immediately adjacent to Turkey Farm Road and Peller Road which presents enhanced opportunities for site development.

The Site is surrounded by a mix of zoning uses including, Planned Business “PB”, Planned Office “PO”, and Planned Development “PD” to the east, unzoned residential and Planned Business “PB” to the south, Planned Office “PO”, Planned Development “PD”, Two Family Residential “TR-6” and Rural Holding “RH” to the west and Planned Industrial “PI”, General Industrial “GI”: and Rural Holding “RH” to the north. In addition, part of the northern portion of the Site contains a Secondary and Primary Environmental Corridor and City Sewer Treatment Facility. Thus, the future proposed uses must be mixed and take into account the reality of the Site being surrounded by a mix of extremely divergent uses.

The Site is strategically located for a potential trail connection from downtown Lake Geneva proper to the White River Trail located northeast of Lake Geneva. The planning for the Site and its uses will incorporate this connection into the development plan by designating area route for the White River Trail extension through the Site.

Given all of the foregoing, retaining the designation of Private Recreation in the northern portion of the Site marries the potential future uses of the Site for purposes of the Comprehensive Plan, into categories of Planned Mixed Use and Two-Family/ Townhouse Residential, to the uses surrounding the Site, while allowing for the connectivity that is important to the planning for the Site.

All future development of the Site will require various City approvals along with public input collected through public hearing process, all governed by the City’s Zoning Ordinance. The conceptual uses anticipated and allowed by these planning designations may include the following:

- Single-family residential, townhouses, senior housing, neighborhood mixed uses and recreational uses within the Two-Family/Townhouse Residential.
- Hospitality, retail, community service/health club uses, multi-family and office uses in the Planned Mixed Use area.
- The Private Recreation area supports the open space and nature trail use anticipated for the Site.

Part D.

1. How will the proposed amendment to the Comprehensive Plan benefit the public, City, and/or surrounding neighbors or neighborhoods?

The Site is fallow since 2008, over nine years ago. Buildings were demolished and certain areas cleared of brush at the City's request in 2016. The Site is essentially an attractive nuisance and hardly creates an inviting entrance to the City. For all intents and purposes, the Site is blighted. The proposed development of the Site will eliminate these blighted conditions and place the Site back to an economically productive use, generate tax revenue and jobs for the City while at the same time enhancing recreation opportunities and providing environmental and other benefits more fully set forth in this Application.

Our understanding is that the residential community directly to the west of the Site currently encounters problems with storm water runoff during heavy rains. The development of the Site will allow storm water runoff to be properly managed in accordance with City, County and State regulation. This directly benefits the site to the west. The Two Family/Townhouse Residential designation is consistent with what these properties to the west are currently zoned.

Highway 50 experiences congestion when tourist traffic in the community is heavy which causes problems for residents traversing Highway 50, particularly those seeking to shop in the commercial areas along Edwards Blvd. The neighborhoods along Havenwood Drive, Hank Jay Drive and Country Club Drive are particularly adversely affected because they are dead end streets whose sole access is onto Highway 50. The development of the Site could allow for the improvement of Peller Road and Turkey Farm Road and provide an alternative east-west corridor parallel to Highway 50 for access to and from the Site, which should help alleviate traffic congestion on Highway 50. If approved, this cross access could also be provided to the Site lying to the west to provide them another means of ingress and egress from their Site. Such regional connectivity through roadway connections will benefit the public.

Housing supply in the City has traditionally focused on single family lots. This plan allows for and promotes housing alternatives, including single family, multi-family, senior housing, specifically senior housing addressing memory care, assisted living and independent living needs of the older population. Allowing seniors to age in place is an important public benefit supplied by the proposal. In addition, there appears to be a niche for cottage style homes developed in a green, non-traditional manner suitable for the larger acreage available in the Site. Supplying alternative housing meeting these markets would be a public benefit.

Retention of the Private Recreation Facilities classification on the northern part of the Site will preserve the environmental corridor. A proposed trail system, approximately one and a half miles long, would connect downtown Lake Geneva to the Red Route bike path on Edwards Boulevard allowing for access by the larger community for bicycling,

walking, cross country skiing and possibly a canoe launch area for the White River. Engagement with DNR as part of this development may permit enhancement of this area in an environmentally appropriate and educational manner, such as providing tree, plant and fauna identification markers, and view areas. Opening the Site in this manner is clearly a community benefit.

Adding hospitality venues to the Site will complement these recreational and other planned uses, and provide additional revenue to the City, which is another public benefit offered by the proposed changes to the Comprehensive Plan. Further, given the recreational opportunities, including the proposed trail system, the changes to the Plan allow for the hospitality venues to access these opportunities by walking as opposed to driving and adding traffic to Highway 50.

2. How does the request advance the Comprehensive Plan vision, and the goals, objectives and policies for the chapter within which the amendment affects?

As noted in Chapter 5 of the Comprehensive Plan, Section G, “the Comprehensive Plan is focused on minimizing potential future land use conflicts through thoughtful placement of possible conflicting new uses, high quality design and buffering of possible conflicting uses.” The proposal implements this focus and furthers the Comprehensive Plan by dividing the Site into appropriate uses that are complementary to the adjoining zoning classifications to the Site, the two proposed designations allow the Site to obtain zoning designations that complement or match the existing abutting land uses.

Chapter 5 of the Comprehensive Plan, Section I sets out that the goal of the Land Use Plan is to “promote a future development pattern that contains a sustainable mix of land uses to serve the needs of a diverse City population and business community.” The proposed Plan amendments achieve this goal by providing the public benefits noted in Part C. of this application, including, providing connectivity to valuable natural resources of the community through the trail corridor connecting the White River to downtown Lake Geneva, enhancing the environmental corridors, addressing traffic connectivity needs both from a vehicular standpoint of improved and better street connections but also pedestrian and bicycle access, providing alternative housing opportunities for underserved populations and retail and hospitality uses in proximity to a recreation center that serves as the hub of the development.

The six objectives of Chapter 5 of the Comprehensive Plan, Section I are met by the proposed Comprehensive Plan change as follows:

1. The division of the large 190 acre Site into smaller, compact areas promotes compact, appropriate development on the Site that complements surrounding uses while providing energy efficient land use patterns and an appropriate balance of preservation of open space.
2. The potential for connection to downtown Lake Geneva to the White River Trail which supports land uses and designs that enhance the City’s identity.

3. The plan provides opportunities for development by providing a mix of housing, recreation, office, retail and hospitality uses in a flexible manner that protects the long-term growth of the City.
 4. The plan allows for and promotes housing alternatives, including senior housing, cottages, single family residential and multi-family uses, meeting the objective of promoting a mix of housing in the community in one location as opposed to segregating housing types in different parts of the City.
 5. The entire design focus is interconnectivity from a pedestrian and vehicular standpoint that connects the larger community that is now split by the Site meeting the Comprehensive Plan objective to develop interconnected neighborhoods.
 6. The proposed Plan, through a development that features a strong recreational, retail and hospitality component by providing a Planned Mixed Use designation in the area adjoining the existing commercial area to the east, provides sufficient improved business sites for the City to be attractive in drawing and retaining high quality businesses.
- Section I, Chapter 5 of the Comprehensive Plan calls upon the City to “actively promote infill development and redevelopment where opportunities exist as a means to improve neighborhood conditions, increase local economic and shopping opportunities and make use of existing infrastructure investments.” As noted above, the Site is blighted, provides minimal tax revenue to the City and impedes pedestrian and vehicular connection through the City. The proposed Comprehensive Plan changes serve the policy of promoting infill development to improve neighborhood conditions by addressing storm water and traffic problems, providing potential access to downtown Lake Geneva and the White River Trail through a trail corridor, and by providing economic and shopping opportunities.
 - In addition, the proposed Plan implements the policy of utilizing existing infrastructure for development as sewer, water, electrical and gas run through the Site. This infrastructure will be incorporated into and, as appropriate, enhanced by the development of the Site.
 - Further, by balancing the Site with residential, retail, office and recreational uses, the proposed Plan creates neighborhood commercial uses that conveniently serve residential areas, advancing another policy goal of Section I, Chapter 5 of the Comprehensive Plan.
 - Moreover, the division of the Site into different land uses on the Comprehensive Plan Map further ensures logical transitions between potentially incompatible land uses as called for under the City’s policies implementing the Goals and Objectives of the Comprehensive Plan.
 - The Plan further preserves open spaces in the Plan while enhancing them through coordination with the City and DNR, another policy set out in the Comprehensive Plan.
 - Recognizing the policy of promoting master planning for sites, the proposed map changes call, as appropriate, for planned use categories, which provide for necessary City input and approval while also providing the desired connections to adjacent properties called for in City policies. Section I, Chapter 5 of the Comprehensive Plan sets out as a City policy that the City encourage developers to coordinate development plans with adjoining properties to achieve an efficient system of streets,

stormwater facilities, utilities and other public facilities; the proposed Comprehensive Plan amendments contemplate this coordinated development, taking into account storm water, traffic and pedestrian connectivity issues.

- Following submission of this application and the initial presentation of the Plan Amendment to the Commission, the applicant will engage in a public engagement process seeking input from the community. In addition, upon approval of this amendment to the Comprehensive Plan of the City of Lake Geneva, the owner will actively reach out to neighbors and community organizations to further implement the plan.
- City policies in Section I, Chapter 5 of the Comprehensive Plan also call for the diversification and expansion of economic opportunities by identifying areas for non-residential and employment-based land uses consistent with uses shown on Maps 5a and 5b: Future Land Use. The proposed Comprehensive Plan changes clearly implement this policy by providing for planned business and employment opportunities that are consistent with the surrounding land uses identified on Maps 5a and 5b: Future Land Use.
- In continuing to preserve, open up for trail use and enhance the environmental corridors, the proposed Plan changes provide open space and meet both the active and passive recreational needs of the community, which is another policy set out in Section I, Chapter 5 of the Comprehensive Plan.
- In short, the proposed Plan changes implement nine out of ten of the applicable policies set out in Section I, Chapter 5 of the Comprehensive Plan.

3. As it affects the amendment request, what circumstances have changed or what new information is now available since the original adoption of the City's Comprehensive Plan, or in the case of a previously requested amendment, what circumstances have changed since the last amendment process?

First and foremost, the ownership of the Site has changed from its previous institutional bank group to a private real estate development company with significant experience and the required expertise to develop the Site.

In 2006 the site was approved for 275 residential development units (pg. 50 of comprehensive plan). Due to the economy nothing was built. When the comprehensive plan was adopted by the City in 2009 the Site was given a Rural Holdings designation as a "holding zone". In accordance with Section 98-105 of the zoning code "...the Rural Holding (RH) District shall either serve as a designation which preserves and protects agricultural activities, or as a "holding zone" which provides an interim land use (agriculture) that will easily permit further development (with rezoning to another district) at the appropriate time."

Second, the proposed Comprehensive Plan amendments complement adjoining land uses and enhance environmental quality by providing a potential trail and corridor connecting the White River Trail to downtown Lake Geneva, working with DNR to enhance the environmental corridor. The housing proposed is appropriate in scale and, as called for in Chapter Eight: Housing and Neighborhood Development of the Comprehensive Plan, "offers a variety of

housing types to promote a desirable living environment for all residents.” Each of the Objectives of Chapter Eight is affirmatively addressed in the current proposal.

Third, the changes contemplated by the proposed Plan preserve for public use the important environmental corridors. This proposal specifically implements the Goals and Objectives set out in Chapter Three: Natural Resources of the Comprehensive Plan by not only preserving these elements but enhancing them. Notably, this Chapter calls for “linking the preservation of natural resources with passive recreational opportunities for residents and tourists,” which is precisely what this Plan achieves with its trail corridor.

Fourth, the proposed Comprehensive Plan amendment allocates a large portion of the Site as Private Recreational Facilities. A suitable location for a new, vibrant facility that will enhance the recreational and health environment of the entire community. The owner will engage in discussions with neighborhood groups to explore the possibilities “encourage[ing] the growth of civic and neighborhood organizations.” Chapter Seven: Community Facilities and Utilities of the Comprehensive Plan references as a Goal that development coordinate community facility systems planning with the land use, transportation, natural resources and recreation needs of the City and maintain the City’s high quality of life through access to a wide range of sustainable public services and facilities.” The proposed Comprehensive Plan changes, incorporating recreational uses into the Plan amendments, implements these Goals and implements Objectives set out in Chapter Seven of the Comprehensive Plan.

Fifth, this proposal specifically offers, in a positive manner, upgrades to traffic conditions on Highway 50 by providing alternative street connections in an east-west direction through the development while also calling for improvements to surrounding streets, namely, Peller Road and Turkey Farm Road. This proposal is also implanting the goal of Chapter Six: Transportation in “provid[ing] a safe and efficient transportation system that meets the needs of multiple users.” An examination of each of the Objectives of Chapter Six in light of the proposed Plan amendments, demonstrates that the proposed Plan accomplishes each of the applicable Plan Objectives of this Chapter by offering the opportunity for an east west road connection through the Site as well as also providing for a pedestrian and bicycle trail corridor through the Site.

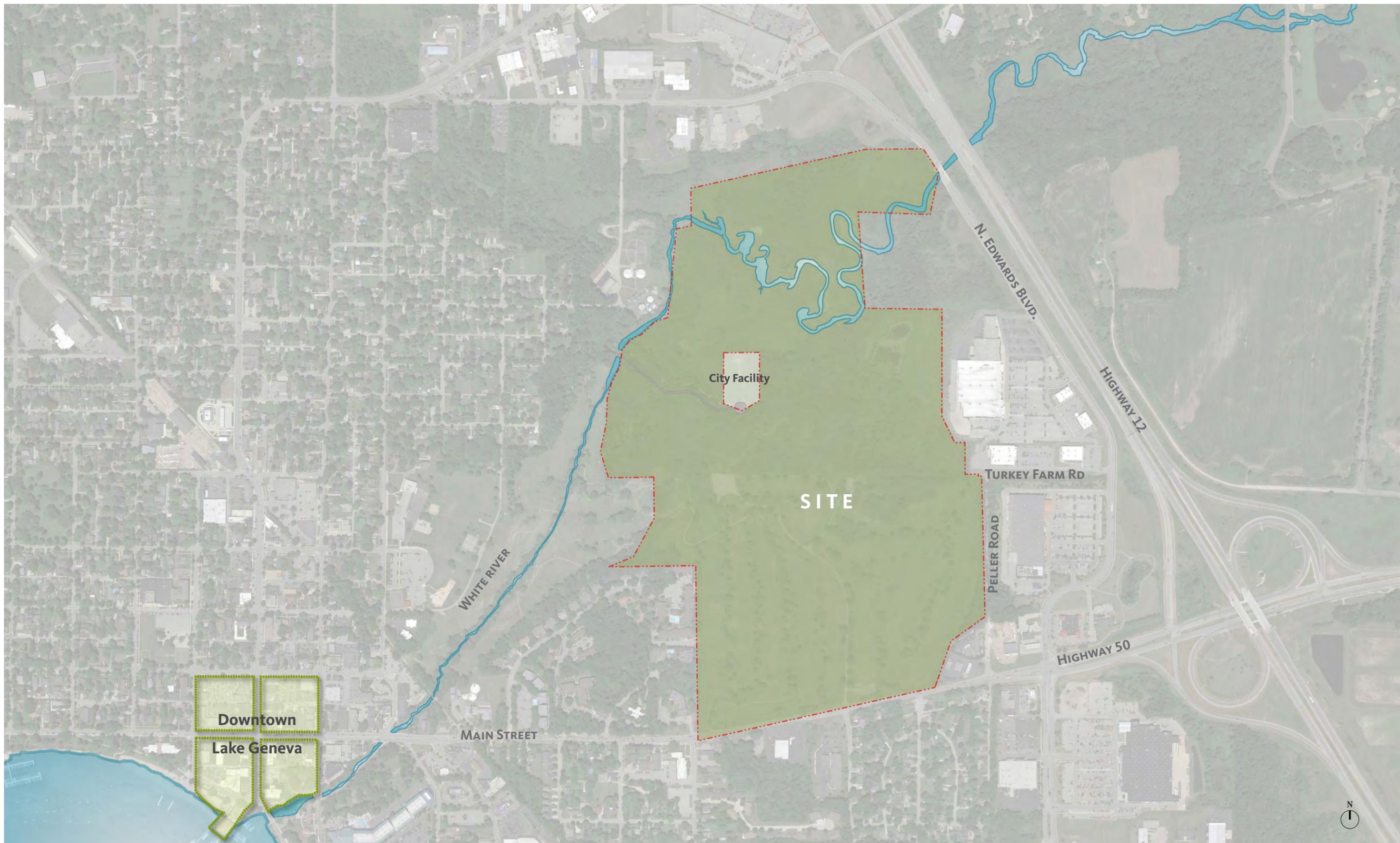
Sixth, the proposed changes contain a significant economic development component, promoting appropriate retail, office and commercial development on the Site in ways that appropriately relate to surrounding uses while providing necessary infrastructure and recreational opportunities. The proposed Plan implements the Goal set out in Chapter Nine: Economic Development to “attract and retain businesses that enhance the City’s character and appearance, and strengthen and diversify the non-residential tax base and employment opportunities.” Significantly, the economic components of this Plan not only “promote commercial development that will meet the shopping, service, and entertainment needs of residents and visitors” as called for in the Plan but also “balances economic growth with other community goals, such as neighborhood preservation and environmental protection.” In providing for the trail corridor and appropriately complementing uses to surrounding uses, the proposed Plan changes achieve this balance and offer the City an exciting economic opportunity.

4. Is there any additional information that the City of Lake Geneva should consider in its evaluation of this request?

The proposed changes are in harmony with the goals and objectives of the Land Use Plan, and the goals and objectives of the entire Comprehensive Plan, including the Chapters addressing Natural Resources, Cultural Resources, Transportation, Community Facilities and Utilities, Housing and Neighborhood Development and Economic Development. The proposed Comprehensive Plan changes recognize the challenges of the Site and respects not only the surrounding neighborhood but achieve important goals for the entire community.

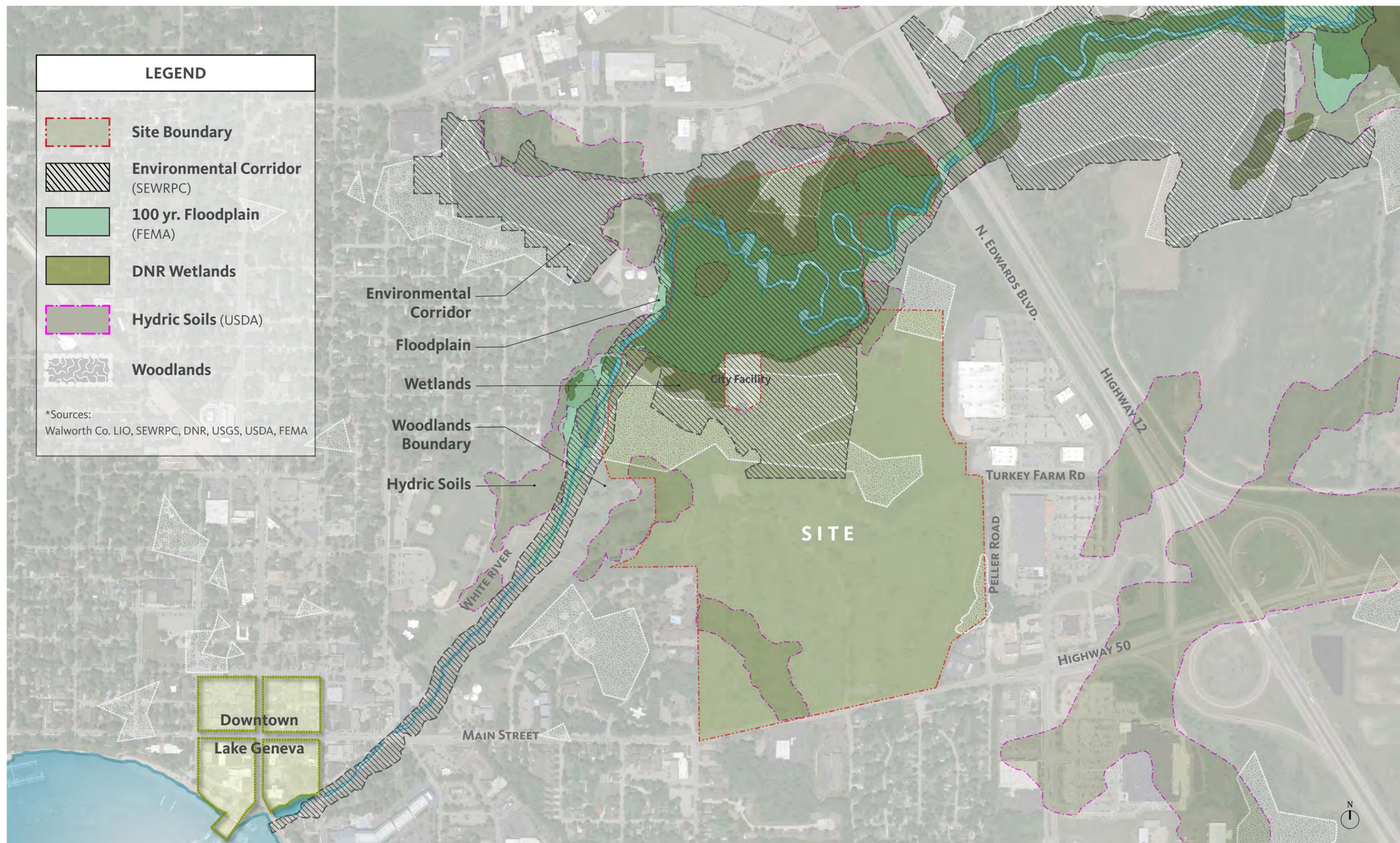
The development of the Site will be coordinated and carefully considered by the City at all stages of development because the owner has requested that all areas for development be designated planned areas, namely, Planned Mixed Use and Two-Family/ Townhouse Residential. No part of this project will be developed without careful and considerable input by the City. Further, the scale and scope of this development means that it will take time. Nothing will change instantly or in an uncontrolled manner because of the process and ordinances defined by the Lake Geneva Zoning Ordinance.

The proposed changes convert the blighted Site into a productive community hub for the City and its residents, and by providing a potential for the trail corridor connecting the White River Trail to downtown Lake Geneva. The significant environmental assets of the Site are preserved, enhanced and available to the entire community.



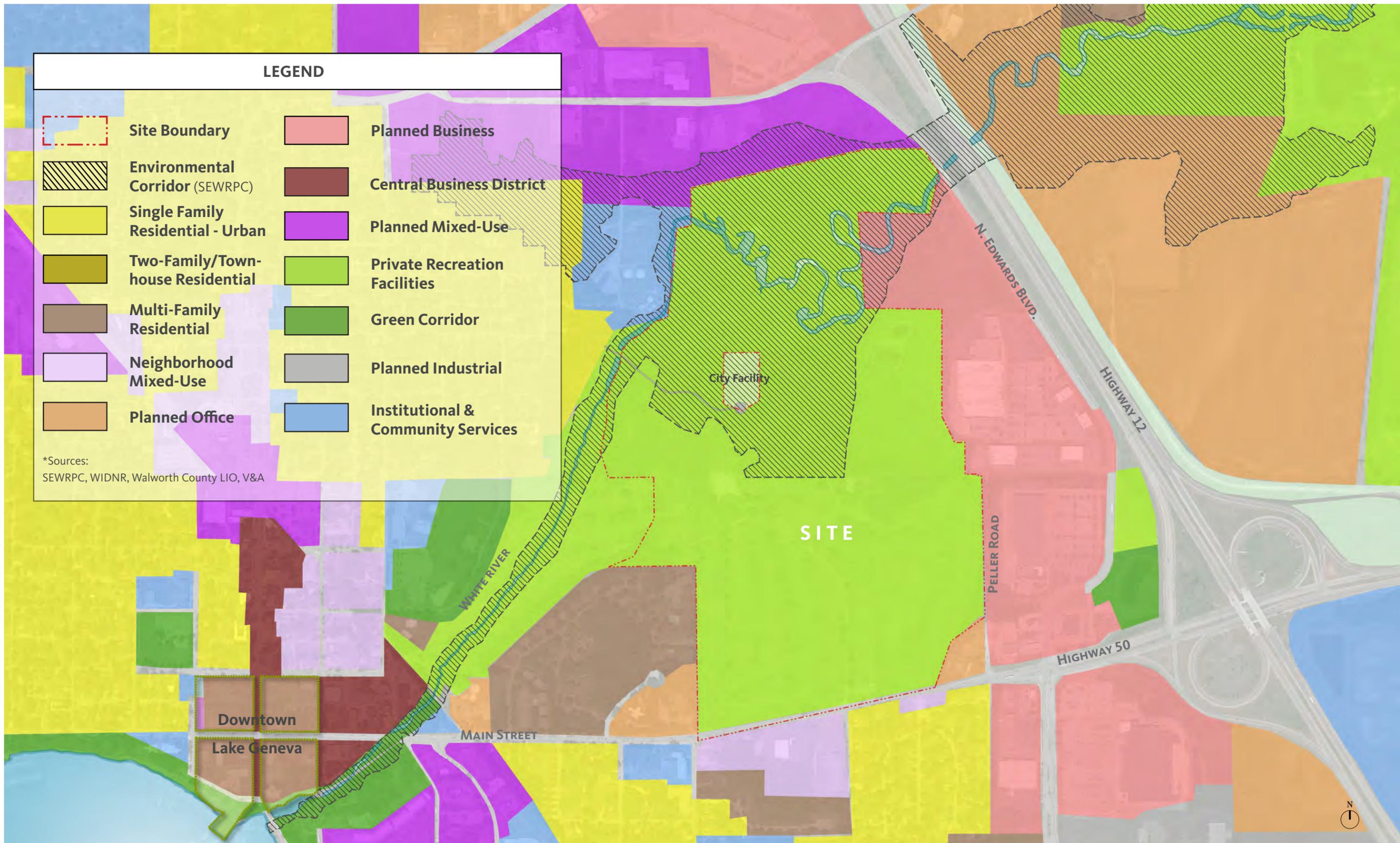
Location Map

LAKE GENEVA, WISCONSIN

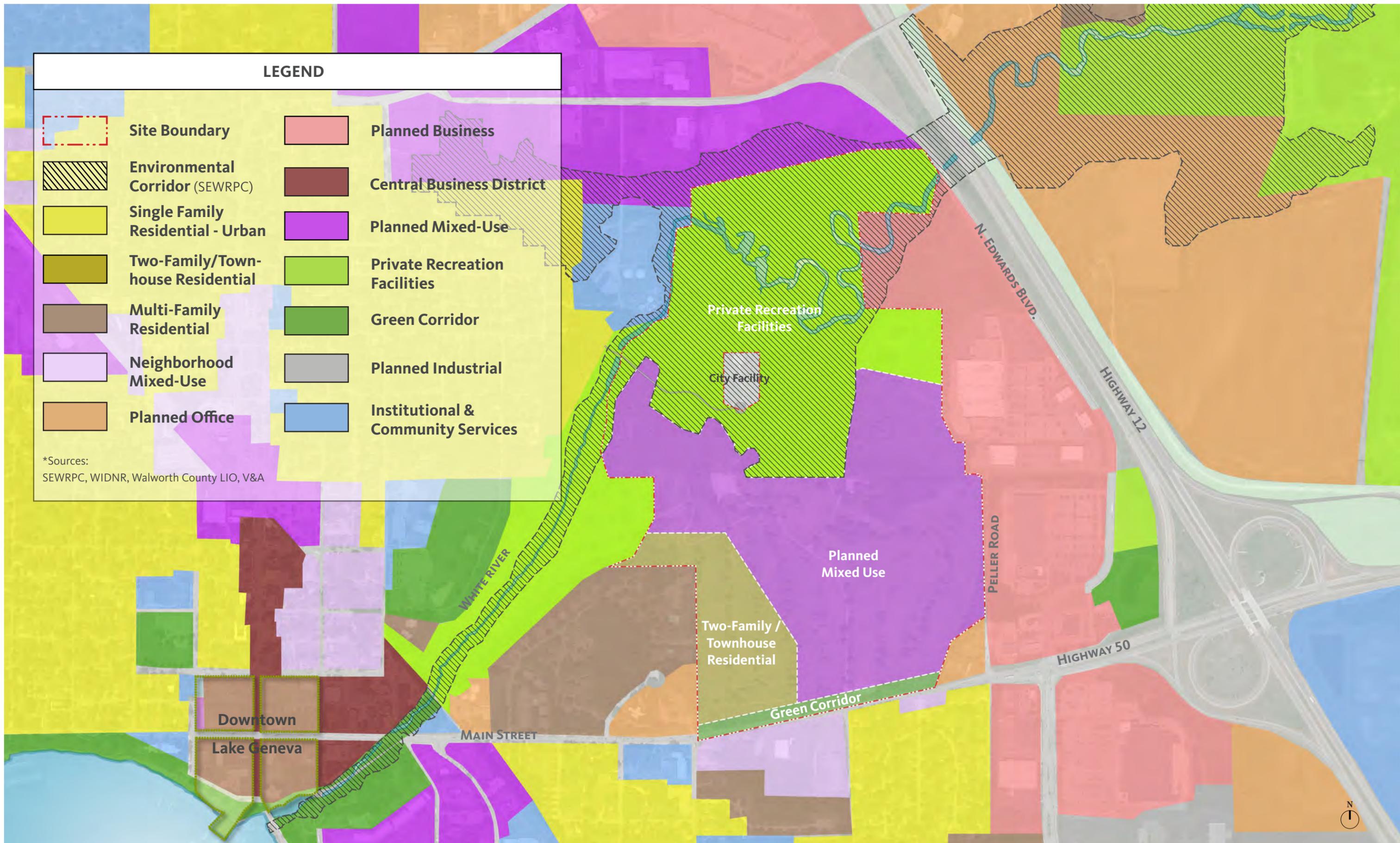


Site Inventory Map

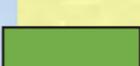
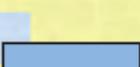
LAKE GENEVA, WISCONSIN



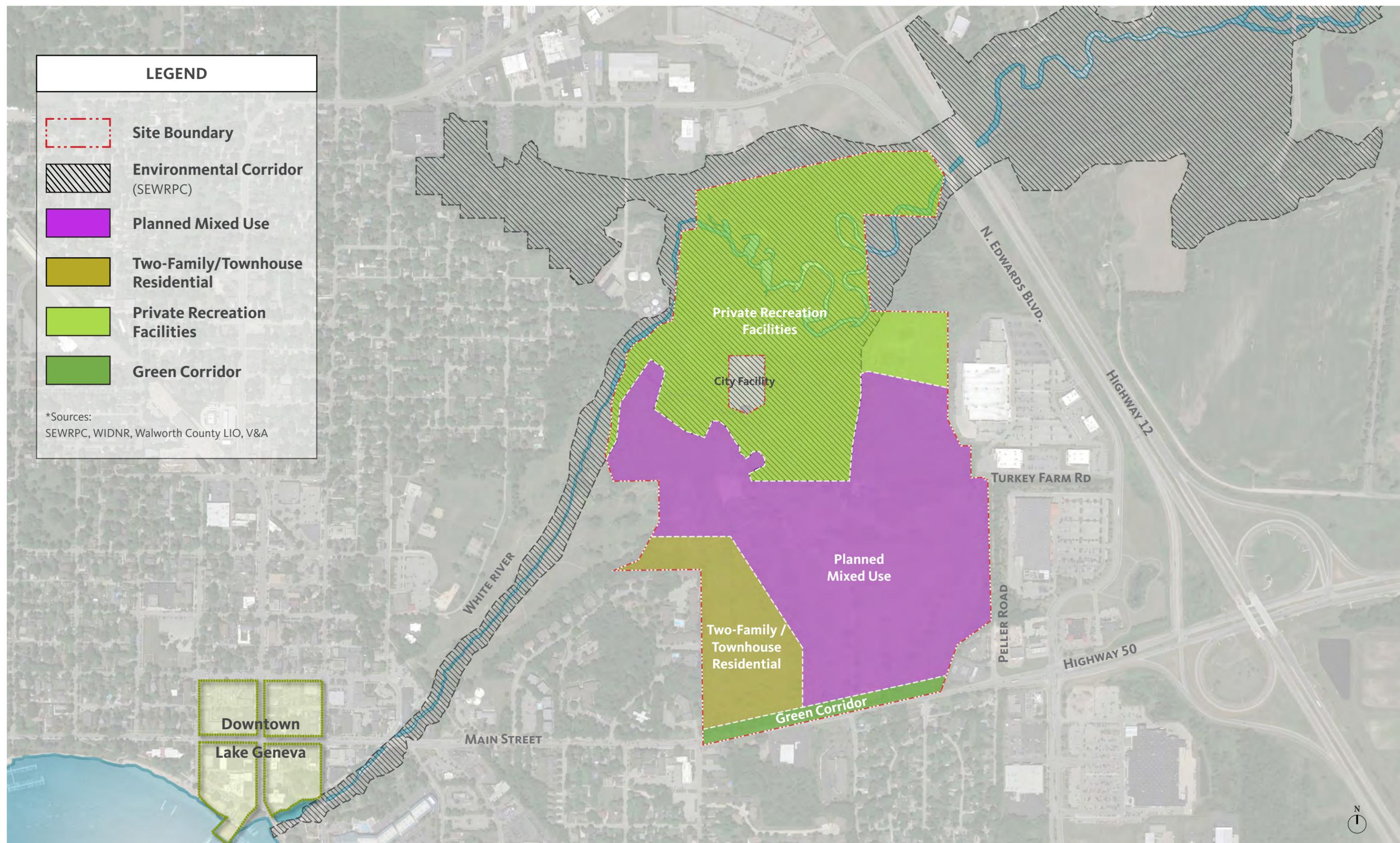
*Sources:
SEWRPC, WIDNR, Walworth County LIO, V&A



LEGEND

	Site Boundary		Planned Business
	Environmental Corridor (SEWRPC)		Central Business District
	Single Family Residential - Urban		Planned Mixed-Use
	Two-Family/Townhouse Residential		Private Recreation Facilities
	Multi-Family Residential		Green Corridor
	Neighborhood Mixed-Use		Planned Industrial
	Planned Office		Institutional & Community Services

*Sources:
SEWRPC, WIDNR, Walworth County LIO, V&A



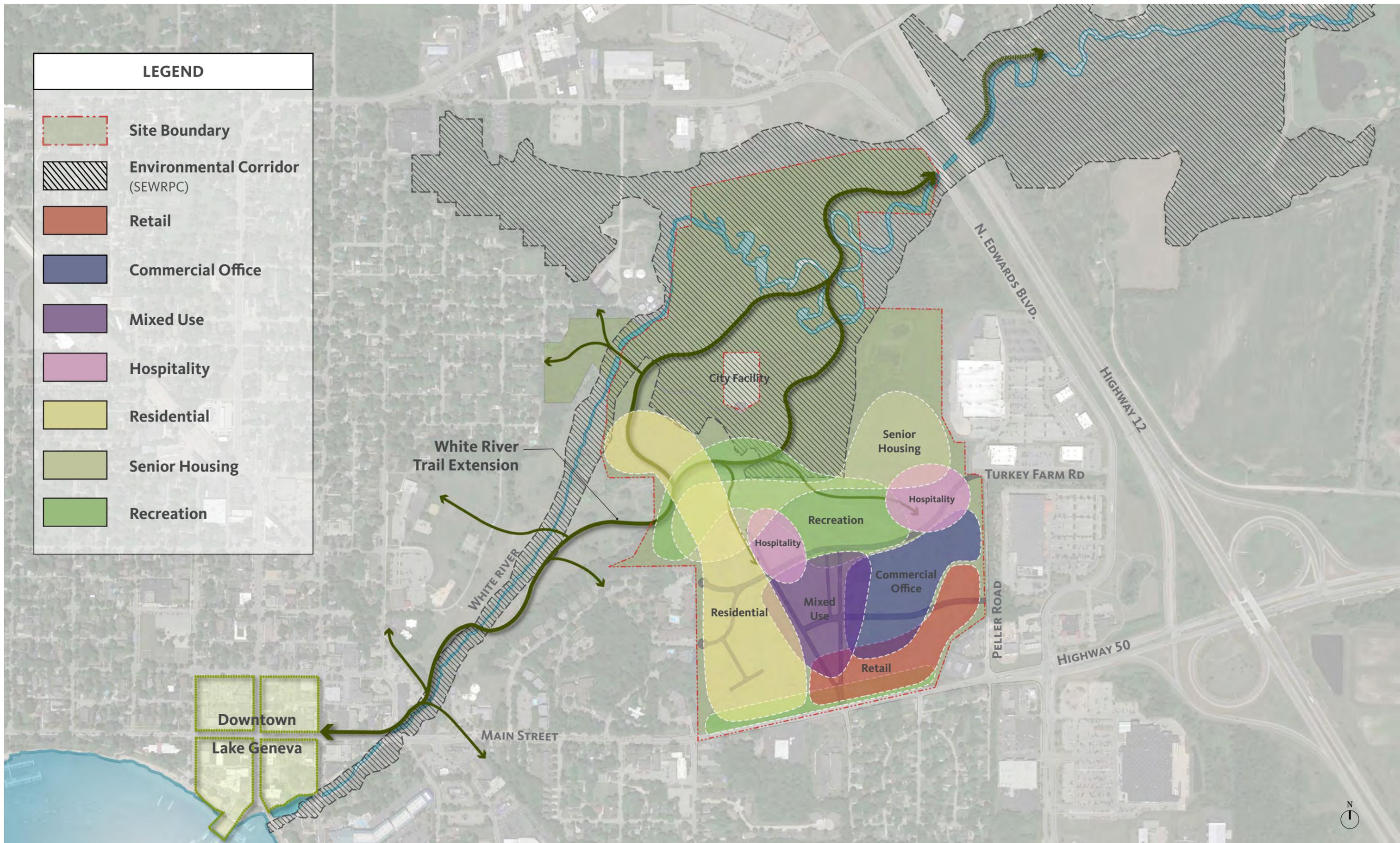
LEGEND

- Site Boundary**
- Environmental Corridor (SEWRPC)**
- Planned Mixed Use**
- Two-Family/Townhouse Residential**
- Private Recreation Facilities**
- Green Corridor**

*Sources:
SEWRPC, WIDNR, Walworth County LIO, V&A



Comprehensive Plan District Overlay Map



LEGEND

- Site Boundary**
- Environmental Corridor (SEWRPC)**
- Retail**
- Commercial Office**
- Mixed Use**
- Hospitality**
- Residential**
- Senior Housing**
- Recreation**

Land Use Exhibit

LAKE GENEVA, WISCONSIN

Exhibit "B"
Legal Description

PARCEL 1:

A parcel of land located in Sub-lots 3 and 4 of the Plat of Geneva, being sometimes known as the Original Plat of Lake Geneva, and the Northwest 1/4 of Section 31, T 2 N, R 18 E, and in the Northeast 1/4 of Section 36, T2N, R17E, City of Lake Geneva, Walworth County, Wisconsin and described as follows:

Beginning at the Northwest corner of said Section 31; thence N 89° 54' 15" E 2080.67 feet to the centerline of Turkey Farm Road; thence S 1° 22' 00" E 1016.52 feet along said centerline; thence S 54° 32' 20" W 302.47 feet; thence S 19° 13' 00" W 355.44 feet to the reference line of State Trunk Highway 50; thence S 77° 22' 40" W 1761.10 feet along said line; thence N 0° 41' 25" W 1264.99 feet along the West line of said Section 31; thence S 89° 19' 30" W 629.89 feet along the North line of Country Club Subdivision; thence N 67° 20' 10" E 192.92 feet; thence N 28° 37' 30" E 314.50 feet; thence N 0° 41' 25" W 297.00 feet to the North line of said Section 36; thence N 89° 15' 35" E 297.00 feet, along said North line to the place of beginning.

Tax Key No: ZOP 00001 and ZYUP 00131

PARCEL 2:

A parcel of land located in the Southeast 1/4 of Section 25, T2N, R17E, City of Lake Geneva, Walworth County, Wisconsin, being more particularly described as follows:

Beginning at a concrete monument marking the Southeast corner of said Section 25; thence South 89° 48' West, 625.11 feet; thence North 16° 17' West, 200.17 feet; thence North 12° 35' East, 213.89 feet; thence North 2° 29' East, 166.12 feet; thence North 15° 33' East, 113.58 feet; thence North 39° 00' 30" West, 210.52 feet; thence South 28° 17' 45" West, 332.17 feet; thence North 89° 52' West, 193.89 feet to the East line of Manufacturer's Avenue; thence North 0° 08' East along the East line of Manufacturer's Avenue; 440.18 feet; thence South 85° 57' 30" East, 124.86 feet; thence North 31° 12' East, 63.16 feet; thence North 27° 13' East, 40.99 feet; thence North 9° 08' East, 84.48 feet to the South line of Haskins Street; thence South 89° 59' East along the South line of Haskins Street and its Easterly extension, 429.22 feet; thence South 55° 18' 30" East, 100.43 feet; thence North 73° 50' East, 206.17 feet to the West line of Lot "H" of the Geneva

Exhibit "B"
Legal Description

Lake Crawford Manufacturing Company's Addition to the City of Lake Geneva; thence North 6° 32' East, (recorded as North 6° 15' East) 645.5 feet to the Northwest corner of said Lot "H"; thence North 82° East, 112.3 feet more or less along the North line of said Lot "H" to the East line of said Section 25; thence South along the said East line of Section 25, 1807.75 feet more or less to the point of beginning.

Tax Key No: ZYUP 00001C

PARCEL 3:

Part of the Southeast 1/4, Southwest 1/4, Northeast 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 30, Town 2 North, Range 18 East, in the City of Lake Geneva, Walworth County, Wisconsin, bounded and described as follows:

Commencing at the Southeast corner of the Southwest 1/4 of Section 30; thence South 89°54'09" West along the south line of said Southwest 1/4 Section 548.11 feet to the point of beginning of the lands to be described; thence continuing South 89°54'09" West along said south line 2056.22 feet to a point on the west line of the Southwest 1/4 of Section 30; thence North 00°46'41" West along said west line 2081.15 feet to a point; thence North 77°28'13" East 1301.13 feet to a point; thence North 89°32'32" East 414.52 feet to a point on the westerly line of USH "12"; thence South 33°01'04" East along said westerly line 203.83 feet to a point; thence South 11°20'04" West 309.68 feet to a point; thence North 88°00'24" West 522.16 feet to a point; thence South 04°06'36" East 697.13 feet to a point; thence South 89°15'36" East 557.97 feet to a point; thence South 00°00'15" West 775.32 feet to a point; thence South 26°19'37" East 207.41 feet to a point; thence North 89°27'46" East 74.05 feet to a point; thence South 00°32'08" East 230.92 feet to a point; thence North 88°22'57" East 95.37 feet to a point; thence South 00°26'51" East 15.38 feet to the point of beginning.

EXCEPTING THEREFROM THE FOLLOWING:

Lot 1 of Certified Survey Map No. 1918 being part of the Southwest 1/4 of the Southeast 1/4 of Section 30, Town 2 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin bounded and described as follows:

Commencing at the Southwest corner of said Section 30; thence North 0°46'41" West 607.53 feet; thence South 63°27'02" East 237.52 feet to the point of beginning; thence North 0°46'41" West 369.72 feet; thence North 89°13'19" East 200.00 feet; thence South 0°46'41" East 346.37 feet; thence South 55°16'59" West 128.36 feet; thence North 63°27'12" West 105.25 feet to the point of beginning.

Tax Key No: ZYUP 00153

EXHIBIT "C"

PROPERTY OWNERS

To be supplied by the City of Lake Geneva

CITY OF LAKE GENEVA
APPLICATION FOR AMENDMENT TO THE COMPREHENSIVE PLAN

NOTE: All applications for amendments to the Comprehensive Plan must be submitted to the City Clerk on or before June 30th.

PART A: AMENDMENT REQUEST

I, Rini Pschke, Core Commercial, Inc. HEREBY REQUEST THE CITY OF LAKE GENEVA PLAN COMMISSION AND COMMON COUNCIL TO HOLD A PUBLIC HEARING ON THE FOLLOWING REQUEST FOR AMENDMENT TO THE LAKE GENEVA COMPREHENSIVE PLAN:

Please check all that apply:

- Amendment to the Future Land Use Map
- Amendment to the Community Facilities & Utilities Map
- Amendment to Other Maps
- Text Amendment (policies, programs, etc.)
- Other

PART B: CONTACT INFORMATION

APPLICANT:

Name (Person OR Firm): Core Commercial, Inc. - Address: P.O. Box 1154, Appleton, WI 54912
Email Address: Rini@corewis.com Daytime Telephone: 920-205-9505

PROPERTY OWNER: (if different from Applicant) MY SIGNATURE INDICATES THAT I AUTHORIZE AND AGREE WITH ALL ASPECTS OF THIS REQUEST:

Name: Geneva Business Centre LLC Signature: See attached letter

PART C: BRIEF DESCRIPTION OF THIS PROPERTY AND PROPOSED LAND USE:

(IF request is NOT linked to a particular property, skip to PART D.)

Parcel Number: ZGBC 0002 Address: 753 Geneva Parkway, Unit 2
ZGBC 00001A Geneva Business Centre Condo expansion units
ZLGBP 00002 Lot 2 Lake Geneva Business Park

BRIEF DESCRIPTION OF THE PROPOSED AMENDMENT REQUEST:

Combination of the three parcels listed above for a proposed
retail development.

CURRENT ZONING:

Zoning District: Planned Industrial

June 29, 2017

Ms. Sabrina Waswo
City Clerk
City of Lake Geneva, Wisconsin
625 Geneva Street
Lake Geneva, WI 53147

RE: Application for Amendment to Comprehensive Plan

Dear Ms. Waswo,

Enclosed please find the following documents, including the Application for Amendment to the Comprehensive Plan from Core Commercial, Inc., for parcel # ZLGBP 00002, parcel # ZGBC 00001A and parcel # ZGBC 00002, further described as a portion of Units 1, 2 and the expansion units, Geneva Business Centre Condominium and Lot 2, Lake Geneva Business Park, from Planned Industrial to Planned Business.

- City of Lake Geneva Comprehensive Plan Map 5b:
Future Land Use with proposed Map Amendment
- Walworth County GIS for parcel # ZLGBP 00002, ZGBC 00001A and ZGBC 00002
- List of property owners within 200' of the property lines for the required notices
- Proposed site plan
- Proposed site plan with aerial overlay
- Letter from the current owner, Geneva Business Centre, LLC.
- Application fee

An electronic copy of all of the attached documents has been sent to you, as well.

Best Regards,


Kim Pischke

Enclosure

CC: Mr. Blaine Oborn
Geneva Business Centre, LLC.

FUTURE PROPOSED USE (be specific)

Planned Business for proposed retail, the same as the zoning for the Walmart development directly adjacent to the North property lines of the parcels proposed.

PART D: The Plan Commission and Common Council consider the following criteria when making recommendations regarding amendments to the Comprehensive Plan. Please respond to the following questions: (If you need additional space for your response, please attach to the back of this application form.)

1. How will the proposed amendment to the Comprehensive Plan benefit the public, City, and/or surrounding neighbors or neighborhoods?

The redevelopment of a vacant building and development of the vacant land will increase tax base, add jobs and revitalize the area.

2. How does the request advance the Comprehensive Plan vision, and the goals, objectives and policies for the chapter within which the amendment affects?

The zoning will be the same as the property to the immediate North and to the West.

3. As it affects the amendment request, what circumstances have changed or what new information is now available since the original adoption of the City's Comprehensive Plan, or in the case of a previously requested amendment, what circumstances have changed since the last amendment process?

Over half of the property has been vacant since it was zoned planned industrial and the office building has been vacant for over 2 years. Synergy of retail, office and medical continues to increase.

4. Is there any additional information that the City of Lake Geneva should consider in its evaluation of this request?

We have received signed, notarized amendments from over 15% of the owners in the Lake Geneva Business Park to remove the proposed, combined, approximately 4.2 acres from the business park.

PART E: Please describe below (or on a separate sheet) what your specific request for a Comprehensive Plan amendment is. Provide any necessary maps, charts, or other supporting data as needed, including conceptual development plans (if applicable). Applicant also MUST ATTACH a redline/strikeout of the proposed text amendment and/or a clearly labeled and marked-up version of the proposed Map Amendment.

See attached documents.

Kin Pischke, Core Commercial, Inc.
Signature of Applicant(s)

6-29-17
Date

CITY OF LAKE GENEVA, WISCONSIN
APPLICATION FOR AMENDMENT TO THE COMPREHENSIVE PLAN

PART D

Additional information for the City of Lake Geneva to consider in its evaluation of this request:

1. Due to the proximity to Walmart, this site naturally lends itself to a retail use.
2. The proposed development includes three new businesses to the City of Lake Geneva and Walworth County, creating new jobs at all three of the potential retail businesses.
3. Retail is a complimentary use with office and medical, as demonstrated by the DaVita Dialysis Center located in the target anchored development and the Aurora Medical Center, Advanced Eye Care, Foot and Ankle Clinic, Edward Jones and Piggly Wiggly at Geneva Square.
4. Most of all, the majority of owners in the Lake Geneva Business Park support the removal of this property from the business park for a proposed retail use. We have received signed, notarized Amendments approving our request for the removal of the property from the business park from the property owners totaling over 75% of the total acreage in the park, which equates to **over 90% or 40 of the 44** individual owners and/or ownership entities within the business park.

PART E

We request the Future Land Use Map of the City of Lake Geneva Comprehensive Plan be amended for parcel number ZLGBP 00002, ZGBC 00001A and ZGBC 00002, further described as a portion of Units 1, 2 and the expansion units, Geneva Business Centre Condominium and Lot 2, Lake Geneva Business Park, from Planned Industrial to Planned Business, for a proposed commercial retail development.

Please note: This request does not include the office building located at 751 Geneva Parkway, Lake Geneva, Wisconsin 53147.

This request is consistent with the zoning of the Walmart development, parcel number ZWAL00001, immediately adjacent to the North and parcel number ZA196100004, to the west.

A site plan of our proposed retail development is attached. As shown on the site plan, the proposed development includes an amendment to the cross access easement with Walmart, located at the northwest corner of the proposed development. The relocation of this cross access easement will line up the access drive from the proposal retail development with Walmart's current, west access drive. This will increase the current distance of that drive from Edwards Blvd, to increase safety and provide connectivity between the sites.

June 26, 2017

Mr. Blain Oborn
City of Lake Geneva
626 Geneva St.
Lake Geneva, WI 53147

Dear Blaine,

Please accept this as mail as approval for Kim Pischke, Core Commercial to make any applications for the approvals required for the development of the property owned by Geneva Business Center, LLC.

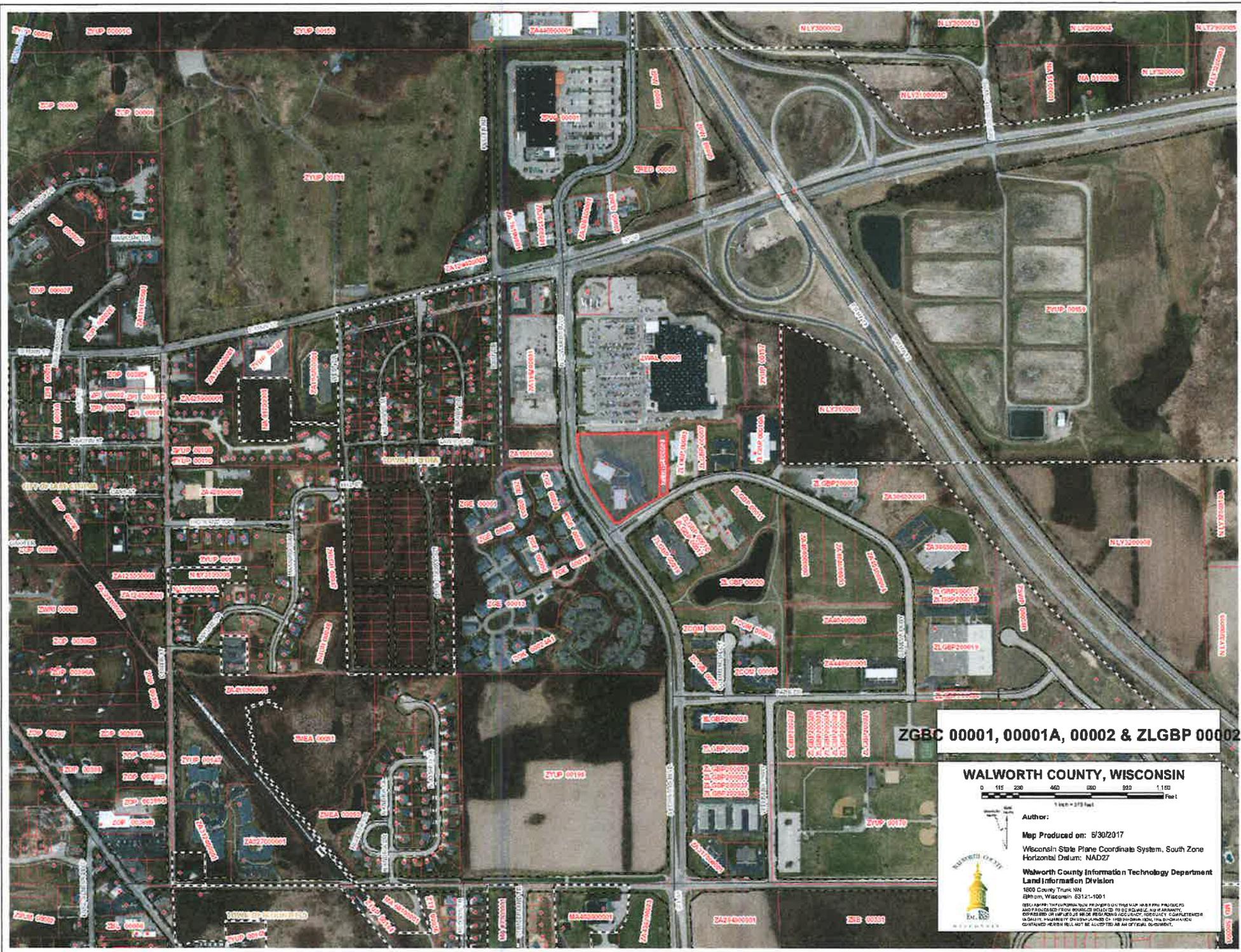
This approval is valid through December 31, 2017.

Sincerely,

A handwritten signature in black ink, appearing to read "Roger Wolff", written in a cursive style.

Roger Wolff

Geneva Business Centre, LLC, Member



ZGBC 00001, 00001A, 00002 & ZLGBP 00002

WALWORTH COUNTY, WISCONSIN



Author:

Map Produced on: 6/30/2017

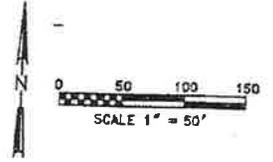
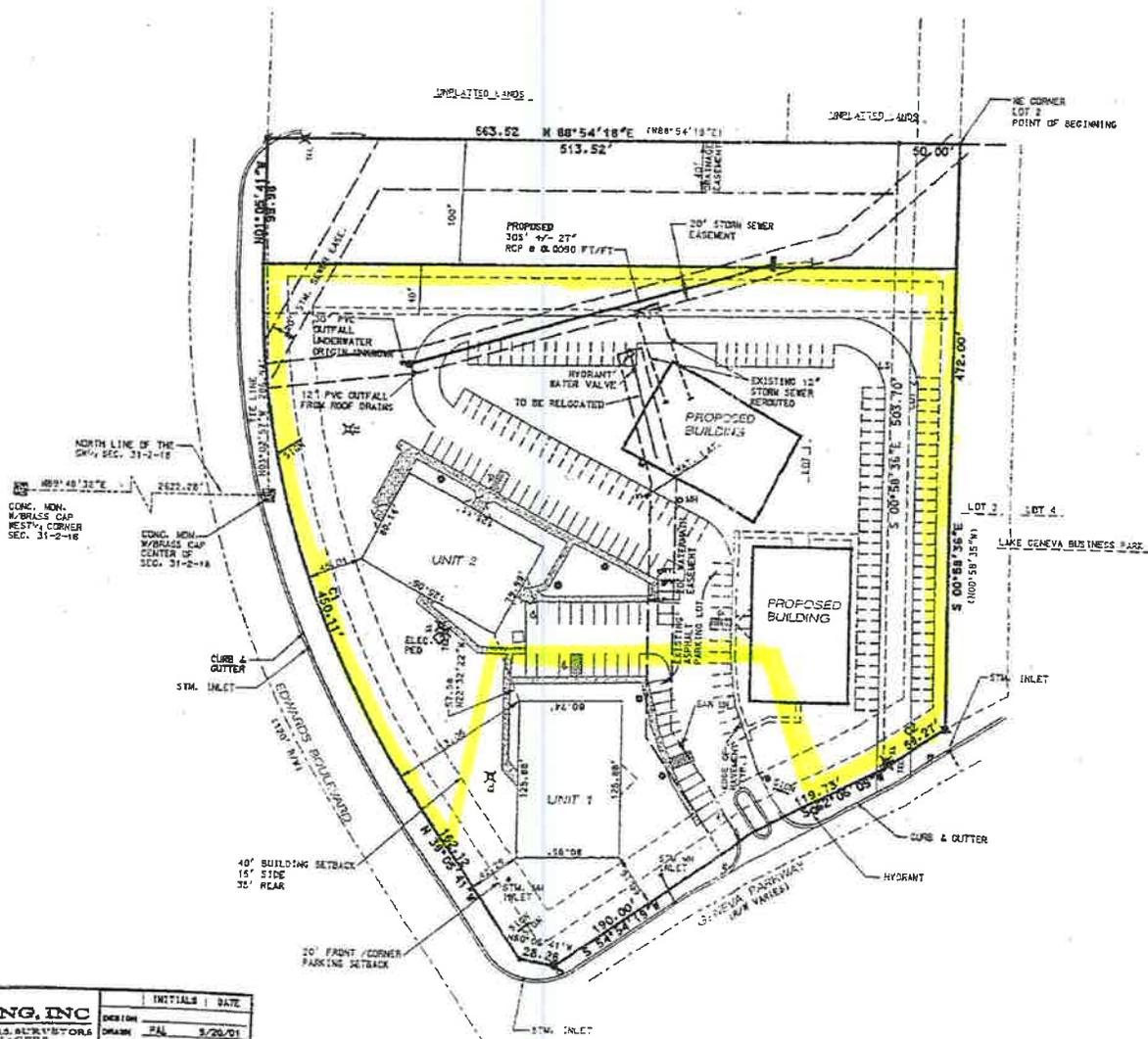
Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27

Walworth County Information Technology Department
Land Information Division
1800 County Trunk NN
Elkhorn, Wisconsin 53121-1001



THIS AERIAL PHOTOGRAPHIC MAP WAS PRODUCED AND PROVIDED FROM SOURCE DATA TO THE BEST OF OUR KNOWLEDGE AND BELIEF. HOWEVER, WE DO NOT WARRANT THE ACCURACY, COMPLETENESS, OR QUALITY OF THE DATA. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMISSIONS FROM THE APPROPRIATE OWNERS OF ANY RIGHTS IN THE DATA. WALWORTH COUNTY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS AERIAL PHOTOGRAPHIC MAP.

Geneva Business Centre, LLC Condominium



LOCATION MAP



SEC. 31- T2N - R15E

CURVE DATA

C1	C1
ARC	455.11'
DELTA	24°00'00"
RADIUS	758.51'
CHORD	443.53'
CHD. BRG.	118°05'41"W
C2	C1
ARC	59.27'
DELTA	55°18'58"
RADIUS	102.48'
CHORD	59.26'
CHD. BRG.	55°33'48"W

LEGEND

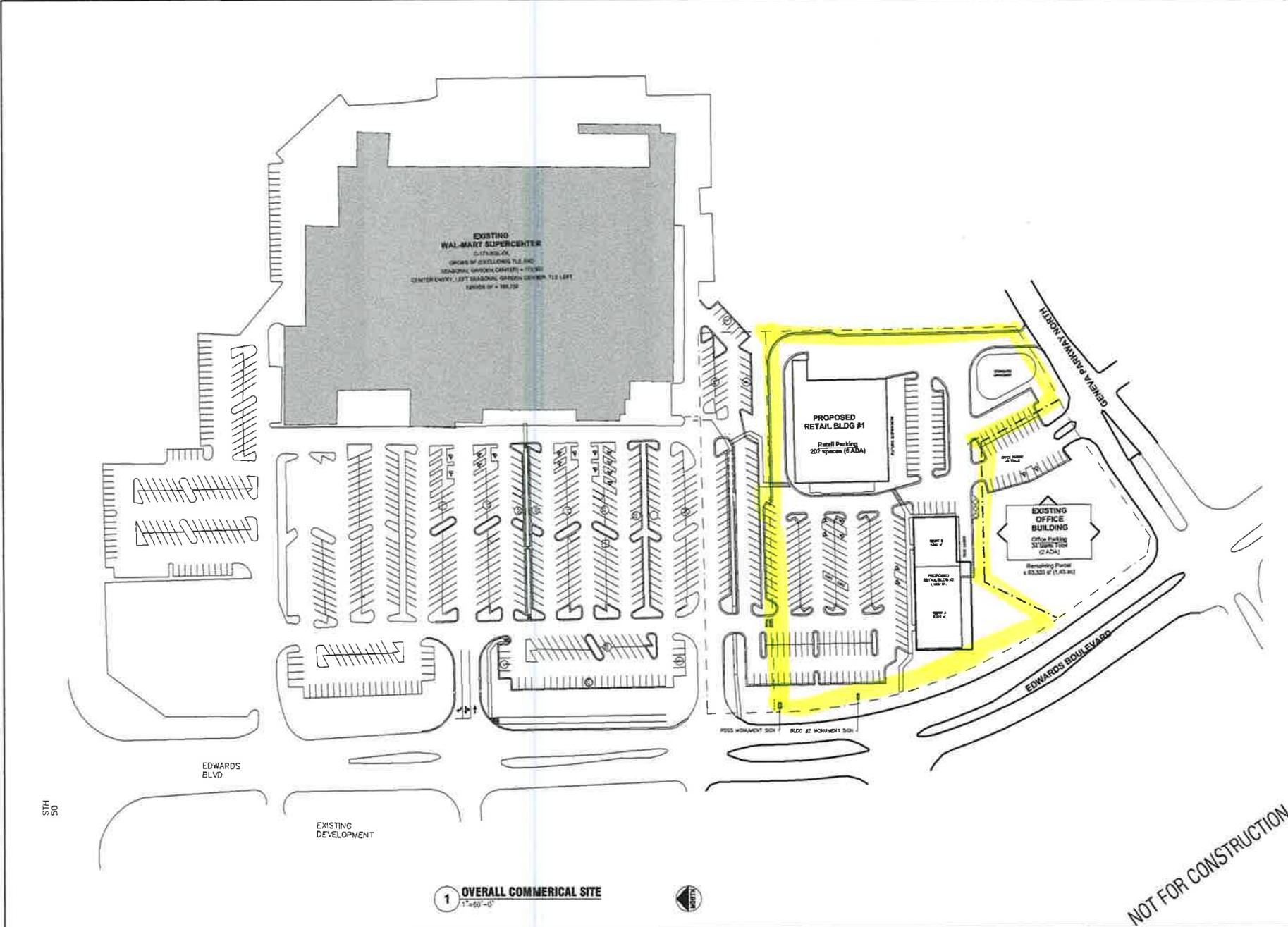
- IRON PIPE OR ROD FOUND
- ⊗ TELEPHONE PEDESTAL
- ⊗ ELECTRICAL PEDESTAL
- ▬ CONCRETE SIDEWALK
- ▬ FENCE
- ⊙ LIGHT ON POLE
- ⚠ EASEMENT NO. SEE TABLE
- ⊙ HYDRANT
- ⊙ WATER VALVE
- ▬ STORM SEWER
- ▬ CATCH BASIN

TOTAL AREA	242541.07 SQ. FT.
BUILDINGS	40222.18 SQ. FT.
EXISTING	20191.70 SQ. FT.
PROPOSED	20030.48 SQ. FT.
PAVEMENT	66255.92 SQ. FT.
GREEN SPACE	137052.97 SQ. FT.
PARKING	
EXISTING STALLS	58
PROPOSED STALLS	124
TOTAL	182

RSV ENGINEERING, INC.
 ENGINEERS, PLANNERS, SURVEYORS
 CONSTRUCTION MANAGERS
 ENVIRONMENTAL SCIENTISTS

1814 1/2 W. KILB STREET, WATKINSON, WISCONSIN 53149 18147 262-2004

DESIGN	INITIALS	DATE
DRAWN	JAL	5/20/01
CHECKED	R.S.	
APPROVED		



1 OVERALL COMMERCIAL SITE
 1"=50'-0"



NOT FOR CONSTRUCTION



ROSS DRESS FOR LESS
 RETAIL DEVELOPMENT
 LAKE GENEVA, WISCONSIN

SITE PLAN
 FULL COMMERCIAL SITE

05.11.2017
 SCREENED

A1.1

**Property Owners within 200' of Parcel # ZLGBP 00002,
Parcel # ZGBC 00001A and Parcel # ZGBC 00002
Application to Amendment of Comprehensive Plan**

Parcel # ZGE 00004

Parcel # ZGE 00005

Parcel # ZGE 00018

Parcel # ZA196100004

Ridges Limited Partnership

c/o Blake Capital Corp

731 N Jackson Street, Suite 400

Milwaukee, WI 53202

Parcel # ZLGBP 00018

TST LAKE GENEVA MOB, LLC.

1000 Urban Center Drive, Suite 675

Vestavia, AL 35242

Parcel # 246-ZUN 00001

Parcel # 246-ZUN 00004

Parcel # 246-ZUN 00005

Parcel # 246-ZUN 00006

Parcel # 246-ZUN 00007

Parcel # 246-ZUN 00007A

Parcel # 246-ZUN 00007B

FCB Properties, LLC. –Lake Geneva Series

165 S Randall Road

Elgin, IL 60123

Parcel # 246-ZUN 00003

Parcel # 246-ZUN 00004

JVS Investments, LLC.

c/o Lakes Area Physical Therapy

800 Geneva Parkway North

Lake Geneva, WI 53147

Parcel # ZA196100001

INTERRA-SKY LAKE GENEVA, LLC.

2400 Augusta Drive, Suite 330

Houston, TX 77057

Parcel # ZWAL 00001

Lake Geneva Shopping Center, LLC.

c/o Walmart Tax Department

P.O. Box 8050

Bentonville, AR 72712-0000

Parcel # 246-ZUN 00002

DC Investors, LLC.

612 Wells Street, Suite C

Lake Geneva, WI 53147

Parcel # ZLGBP 00003

Parcel # ZLGBP 00007

801 Geneva Parkway, LLC.

W288 Circle Drive

Genoa City, WI 53128

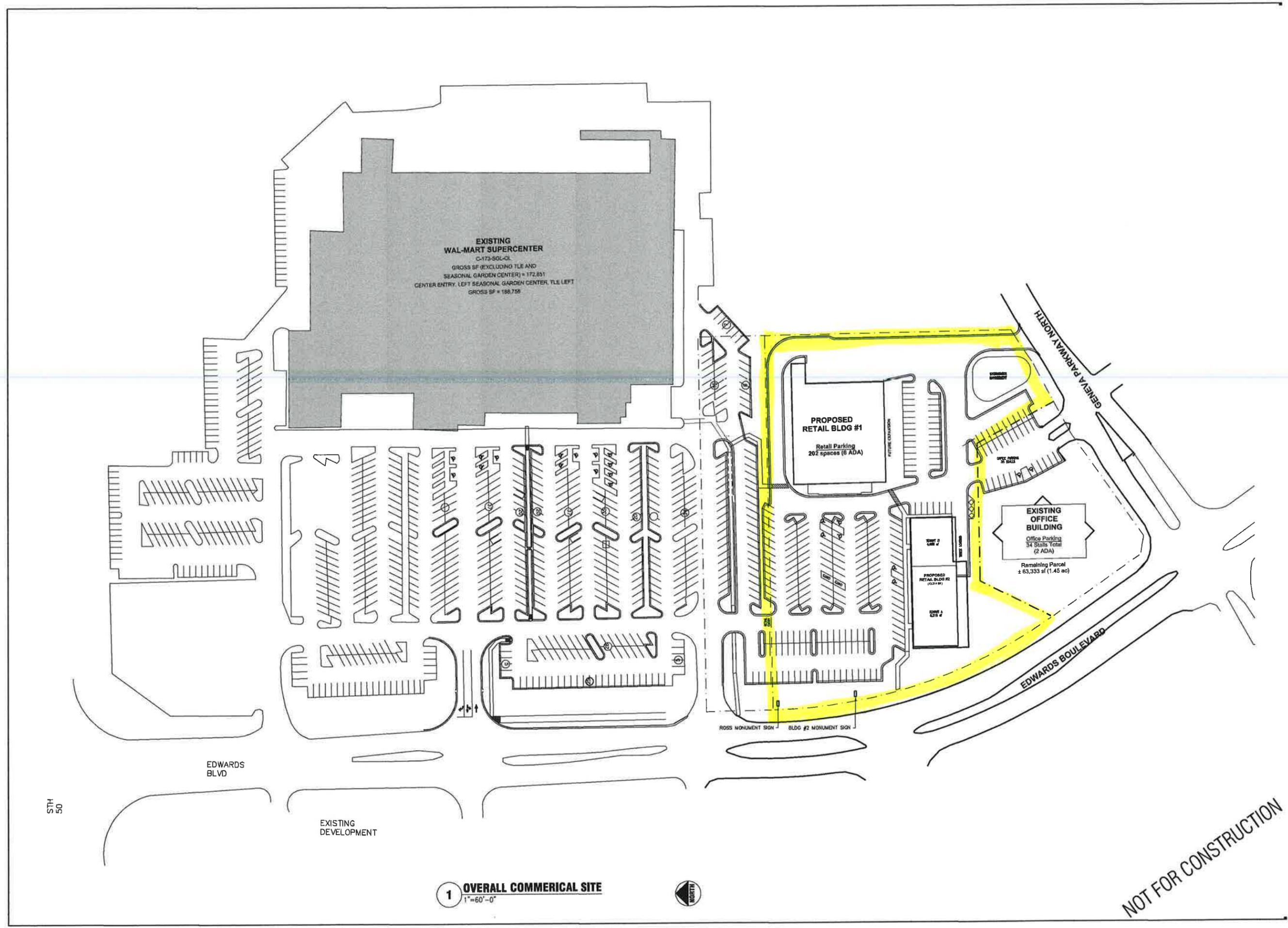


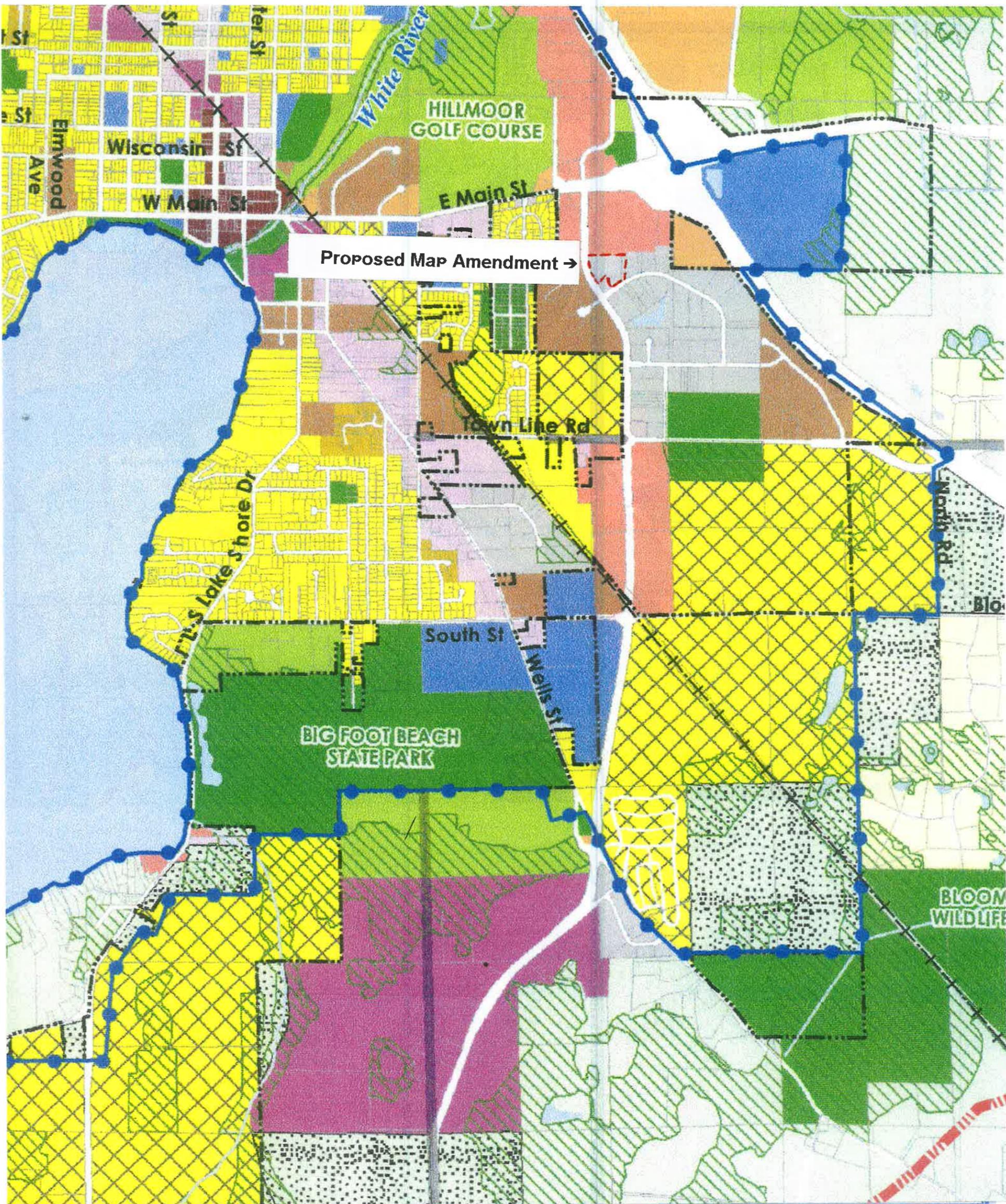
ROSS DRESS FOR LESS
RETAIL DEVELOPMENT
LAKE GENEEVA, WISCONSIN

SITE PLAN
FULL COMMERCIAL SITE

05.11.2017
SCHEMATIC

A1.1





Map 5a: Future Land Use - City of Lake Geneva Comprehensive Plan

Land Use Categories

- Agricultural & Rural
- Single Family Residential
- Single Family Urban
- Two-Family/Townhouse Residential
- Multi-Family Residential
- Planned Neighborhood
- Neighborhood Mixed Use
- Planned Office
- Planned Business

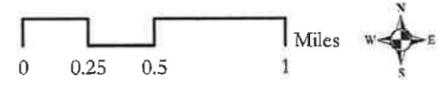
DRAFT

- Central Business District
- Planned Mixed Use
- Planned Industrial
- General Industrial
- Institutional & Community Services
- Private Recreation Facilities
- Public Park & Recreation
- Environmental Corridor
- Long Range Exurban Growth Area

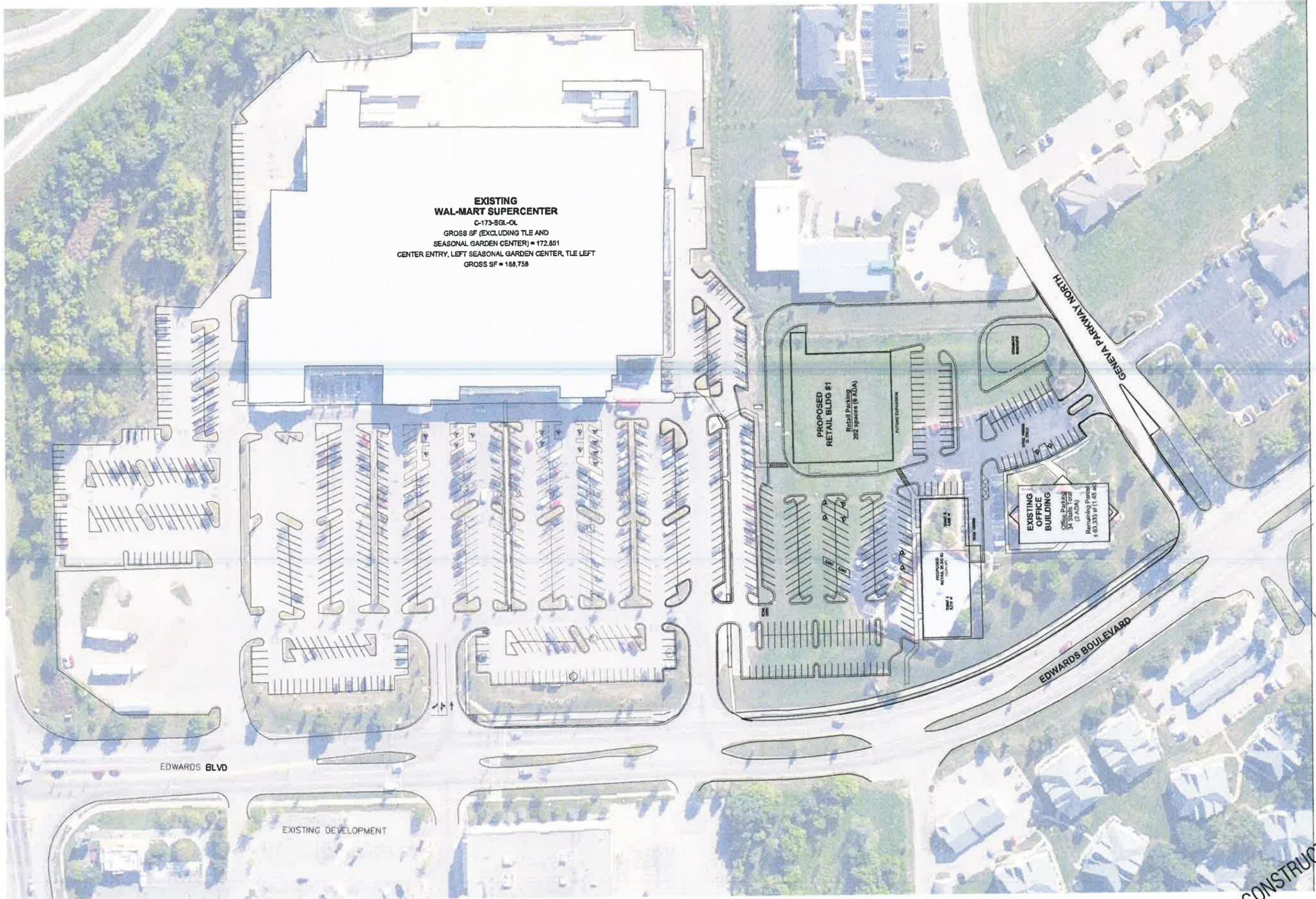
- City of Lake Geneva
- Township Boundary
- Urban Service Area Boundary
- Extraterritorial Jurisdiction Boundary
- Parcels
- Surface Water
- Abandoned Railroad

*Each "Planned Neighborhood" may include a mix of:
 1. Single Family - Urban (predominate land use)
 2. Two-Family/Townhouse
 3. Multi-Family Residential
 4. Institutional & Community Services
 5. Neighborhood Mixed Use
 6. Public Park & Recreation

*Each "Planned Mixed Use Area" may include mix of:
 1. Planned Office
 2. Multi-Family Residential
 3. Institutional & Community Services
 4. Planned Business



Adopted: October 24, 2014
 Source: SEWRPC, WIDNR, Walworth County LIO, V&A



**EXISTING
WAL-MART SUPERCENTER**
C-173-SGL-OL
GROSS SF (EXCLUDING TLE AND
SEASONAL GARDEN CENTER) = 172,851
CENTER ENTRY, LEFT SEASONAL GARDEN CENTER, TLE LEFT
GROSS SF = 188,758

**PROPOSED
RETAIL BLDG #1**
Retail Parking
202 spaces (8 ADA)

**EXISTING
OFFICE
BUILDING**
Office Parking
34 Spaces (1 ADA)
Remaining Parcel
± 60,333 sq ft (1.42 ac)

EDWARDS BLVD

EXISTING DEVELOPMENT

EDWARDS BOULEVARD

GENEVA PARKWAY NORTH

1 OVERALL COMMERCIAL SITE
1"=60'-0"



NOT FOR CONSTRUCTION



ROSS DRESS FOR LESS
RETAIL DEVELOPMENT
LAKE GENEVA, WISCONSIN

SITE PLAN
FULL COMMERCIAL SITE

06.20.2017
SCHEMATIC

A1.1

TORHORST LAW OFFICES LLC
RICHARD W. TORHORST

Attorney at Law

LAKE GENEVA PROFESSIONAL CENTER
500 COMMERCIAL COURT, SUITE 300
PO BOX 1300

LAKE GENEVA, WI 53147
TEL: 262-248-3333 FAX: 262-248-2595



June 30, 2017

Mr. Blaine Oborn
City Administrator
City of Lake Geneva
626 Geneva St.
Lake Geneva, WI 53147

Re: City of Lake Geneva Comprehensive Plan/Big Foot Holdings LLC/Geneva
Waterfront Inc.

Tax Parcel No(s). IL 120000-5C, IL120000-5C2, IL 120000-5D, IL 12000-05E,
IL 120000-5F and IL 120000-4

Dear Blaine:

On behalf of my clients, Geneva Waterfront Inc. and Big Foot Holdings LLC, I hereby apply for and request plan amendments to the Lake Geneva Comprehensive Plan to provide that the above-referenced tax key parcels be designated on the future land use map as planned mixed use. I have attached a schedule hereto setting forth the parcel numbers, parcel size, existing land use, current future land use map designation and the proposed future land use map designation for your reference.

Please advise if you need additional information regarding this application and request. Also please advise if you would like a representative of Big Foot Holdings LLC and/or Geneva Waterfront Inc. to appear at the July or August Plan Commission Meeting.

Sincerely,

A handwritten signature in blue ink, appearing to read "Richard W. Torhorst", written over a horizontal line.

Richard W. Torhorst

RWT:jmh
Enclosures

Geneva Inn Parcels

Parcel #	AREA (IN ACRES)	EXISTING LAND USE	CURRENT FUTURE LAND USE MAP DESIGNATION	PROPOSED FUTURE LAND USE MAP DESIGNATION
<i>Parcels West of South Lakeshore Drive</i>				
IL 120000 5C	0.5846 ac	Residence	Planned Mixed Use and Vacant	Planned Mixed Use
IL 120000 5C2	0.2294 ac	Residence	Agricultural & Rural	Planned Mixed Use
IL 120000 5D	1.5093 ac	Geneva Inn and Parking	Planned Mixed Use	Planned Mixed Use
IL 120000 5E	0.1908 ac	Parking and Vacant	Agricultural & Rural	Planned Mixed Use
IL 120000 5F	0.5766 ac	Residence	Planned Mixed Use	Planned Mixed Use
<i>Parcel East of South Lakeshore Drive</i>				
IL 120000 4	7.0000 ac	Parking Lot along S. Lakeshore Drive, and Vacant	Agricultural & Rural and Planned Mixed Use	Planned Mixed Use

City of Lake Geneva
Amendment to the Comprehensive Plan
APPLICATION FORM



PETITION: I, JEFFREY + BEVERLY LEONARD hereby petition the City of Lake Geneva consider the following request for amendment to the Lake Geneva Comprehensive Plan:

Please check those that apply:

- Future Land Use Map (Map 5)
- Other Maps (Transportation Facilities Map, etc.)
- Text Amendment (policies, programs, etc.)
- Other

Name of Applicant: Person(s) or Firm	JEFFREY + BEVERLY LEONARD
Address:	1504 DODGE ST. LAKE GENEVA, WI
Daytime Telephone:	262 248-8008
Email or Fax:	beverly@delaneystreet.com
Property Owner Name and Address: If different from applicant	
Description of Property, Parcel Number, or Street Address: If request is related to a particular property	905 W. MAIN ST.
Summary of the Proposed Amendment Request: Please describe here (or on a separate sheet) your specific request for a Comprehensive Plan amendment. Provide any necessary maps or supporting data as needed, including conceptual development plans, if applicable.	THE ORIGINAL CITY PLAN HAD THE WEST SIDE OF COOK ST. ZONED COMMERCIAL. COMMERCIAL ZONING REQUEST
Present Zoning: If applicable	P. D.
Future Proposed Use: Attach additional pages and/or concept plan as appropriate.	COMMERCIAL ZONING WOULD ENABLE FUTURE IMPROVEMENTS

The Lake Geneva Plan Commission will consider the following criteria when making recommendations regarding amendments to the Comprehensive Plan. Please respond to the following questions:

If additional space is needed for your response, please attach additional sheets to this form.

<p>1. How will the proposed amendment to the Comprehensive Plan benefit the public, City, and/or surrounding neighbors or neighborhoods?</p>	<p>INCREASE TAX REVENUE CONTINUITY WITH BUSINESS DISTRICT ENHANCE VISUAL APPEAL OF DOWNTOWN</p>
<p>2. How does the request advance the goals, objectives and policies of the Comprehensive Plan?</p>	<p>THE ORIGINAL CITY PLAN HAD THE WEST SIDE OF COOK ST. ZONED COMMERCIAL.</p>
<p>3. As it affects the amendment request, what circumstances have changed or what new information is now available since the 2011 adoption of the City's Comprehensive Plan, or in the case of a previously requested amendment, what circumstances have changed since the last amendment request?</p>	<p>REDUCED REVENUE DUE TO IMPACT OF INTERNET RETAIL NECESSITATES EXPANSION</p>
<p>4. Is there any additional information that the City of Lake Geneva should consider in its evaluation of this request?</p>	<p>ALL DOWNTOWN RETAIL BUSINESSES ARE EXPERIENCING NEGATIVE IMPACT OF AMAZON AND THE WEB AND MUST ADJUST.</p>

The deadline for requests to amend the Comprehensive Plan is Friday, June 30, 2017 at 4:00 p.m. Requests shall be submitted to City Hall or via email to bzclerk@cityoflakegeneva.com.

Sueley Leonard
Signature of Applicant

6/30, 2017
Date



City of Lake Geneva
Amendment to the Comprehensive Plan
APPLICATION FORM

PETITION: I, TERRENCE J. O'NEILL hereby petition the City of Lake Geneva consider the following request for amendment to the Lake Geneva Comprehensive Plan:

Please check those that apply:

- Future Land Use Map (Map 5)
- Other Maps (Transportation Facilities Map, etc.)
- Text Amendment (policies, programs, etc.)
- Other

Name of Applicant: Person(s) or Firm	Terrence J. O'Neill
Address:	954 George St., Lake Geneva, WA 53147
Daytime Telephone:	262-248-2230
Email or Fax:	tjoneill@wi.rr.com
Property Owner Name and Address: If different from applicant	
Description of Property, Parcel Number, or Street Address: If request is related to a particular property	
Summary of the Proposed Amendment Request: Please describe here (or on a separate sheet) your specific request for a Comprehensive Plan amendment. Provide any necessary maps or supporting data as needed, including conceptual development plans, if applicable.	Add the following to: Chapter 11: Implementation Section F. Plan Update All Plan Updates and changes to the Update section F shall require an approved referendum vote of the electorate of the City Of Lake Geneva.
Present Zoning: If applicable	
Future Proposed Use: Attach additional pages and/or concept plan as appropriate.	

The Lake Geneva Plan Commission will consider the following criteria when making recommendations regarding amendments to the Comprehensive Plan. Please respond to the following questions:

If additional space is needed for your response, please attach additional sheets to this form.

1. How will the proposed amendment to the Comprehensive Plan benefit the public, City, and/or surrounding neighbors or neighborhoods?	Because it would requires a vote of The electorate, the City Council will Be more align with residents.
2. How does the request advance the goals, objectives and policies of the Comprehensive Plan?	It absolutely assure citizen participation.
3. As it affects the amendment request, what circumstances have changed or what new information is now available since the 2011 adoption of the City's Comprehensive Plan, or in the case of a previously requested amendment, what circumstances have changed since the last amendment request?	Lack of trust in Future City Council action.
4. Is there any additional information that the City of Lake Geneva should consider in its evaluation of this request?	See attached Article:

The deadline for requests to amend the Comprehensive Plan is **Friday, June 30, 2017 at 4:00 p.m.**
 Requests shall be submitted to City Hall or via email to bzclerk@cityoflakegeneva.com.



 Signature of Applicant

June 27, 2017
 Date

Of what value will a public hearing on the changes to the city's Comprehensive Plan be, if city council members have already made up their minds and will ignore the public's comments as they have done in the past? It takes only 6 members of the city council to override the will of the city's 7,700 residents. The City Council has over the objections of the majority of the residents, annexed the Hummel property that increased the city's size by 30% and then a few years later in order to bail themselves out of the law suits that the annexation had caused, they changed the city's Comprehensive Plan's zoning on that annexed land that tripled the value of the property for the owner in exchange for settling the law suit which included dropping the law suit against 5 of the eight City Council members who voted on that Comprehensive Plan change. The city council like our federal government cannot be trusted on certain issues and therefore a Comprehensive Plan, like the U.S. Constitution should protect those issues by restricting the government's authority to change them without an approval vote of the electorate. Any change or amendment to the city's Comprehensive Plan needs to require a 2/3 approve vote of the city's residents in a manner somewhat analogous to an approval of 2/3 of the states to amend the U.S. Constitution. For residents of a city to have any control over the direction and future of their city, their approval needs to be part of the approval process. For people to be free there needs to be to restrictions on what a government can do and those restrictions cannot be changed by the government by itself (local, state or federal) but must require an approval vote of the electorate. Recalling elected officials or voting them out of office at the next election is not sufficient to prevent irreversible damage such as, the destruction of the historic buildings, the annexation of the Hummel property, settling law suits with zoning changes or the possible selling out the city's future by changing the zoning on the Hillmoor property from private recreation to include commercial or industrial development for some developer. The only way to prevent this is to amend the city's Comprehensive Plan's amendment procedure to require an approved vote of the electorate to make changes to the comprehensive plan. Because the procedure to amend the city's Comprehensive Plan is in the Comprehensive Plan itself, it could not be changed by the city council without an approve referendum by the residents thus protecting it from the arbitrary whims of the City Council. This protects it from changes by the City Council without the approval vote of the electorate as the city has done with other city ordinances that were intended to restrict the City Council's actions. The City Council eliminated the Big Box Ordinance that required 6 votes for approval so that 5 votes could approve large stores; they eliminated the ordinances that restricted the city to 50% of the lake front and parking funds and now take all but \$75,000; they gutted the direct legislation ordinance that required an approved referendum before the city could spend over \$1,050,000 on a project. If an approval vote of the electorate is not required to change the city's Comprehensive Plan, then nothing in the city's future can be safe or secure from pilferage by unscrupulous City Councils. The Comprehensive Plan like the U.S. Constitution is the resident's last line in a defense against an overbearing or out of control local government willing to sell away or give away the City of Lake Geneva's future as was done with the portion of the Hillmoor property that the city had once owned. The request change to the Plan Update section is only the first step toward accomplishing the above. By requiring citizen referendum approval for Plan Updates it assures that any Plan Update meets the approval of the City of Lake Geneva's electorate before the plan can be updated.