

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

PLAN COMMISSION MEETING

MONDAY, JUNE 19, 2017 - 6:00 PM

COUNCIL CHAMBERS, CITY HALL

Agenda

1. Meeting called to order by Mayor Kupsik.
2. Roll Call.
3. Approve Minutes of the April 17 Plan Commission meeting and May 15, 2017 Special Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review.
 - A. Application by Matt Morgan, 212 Hidden Trail, Elkhorn, WI 53121, to add 2 signs: one projecting sign and one wall mounted sign at 231 Cook Street, Tax Key No. ZOP00253.
 - B. Application by Kathy & Thomas George, 3383 S. Shore Drive, Delavan, WI 53115, to change the exterior of a brick building at 832 Geneva Street, Tax Key No. ZOP00252.
 - C. Application by Greg Odden, 705 Madison Street, Lake Geneva, WI 53147, to change the exterior of a brick building at 201 Wrigley Drive, Flat Iron Park.
7.
 - A. Public Hearing and Recommendation on a Conditional Use Application (CUP) filed by Jeffrey Walski, 1452 Sunrise Trail, Lyons, WI 53105, for an Indoor Commercial Entertainment land use and Outdoor Commercial Entertainment land use for a health café at 264 Center Street, Tax Key No. ZOP00259.
 - B. Downtown Design Application by Jeffrey Walski, 1452 Sunrise Trail, Lyons, WI 53105, to replace lettering on awning and add window decal sign at 264 Center Street, Tax Key No. ZOP00259.
8.
 - A. Public Hearing and Recommendation on a Zoning Map Amendment filed by Matt Schroeder of Associated Bank, 10701 National Avenue, West Allis, WI 53227, to change the zoning from General Business and Single Family Residential-4 to Neighborhood Business at 728 Williams Street, Tax Key No. Tax Key No. ZRA00034 and 916 Marshall Street, Tax Key No. ZRA00033.
 - B. CSM Lot Combination Review filed by Matt Schroeder of Associated Bank, 10701 National Avenue, West Allis, WI 53227, for 728 Williams Street, Tax Key No. Tax Key No. ZRA00034 and 916 Marshall Street, Tax Key No. ZRA00033.
 - C. Public Hearing and Recommendation on a Conditional Use Permit filed by Matt Schroeder of Associated Bank, 10701 National Avenue, West Allis, WI 53227, for a drive-through In-Vehicle Sales and Service land use for a proposed Associated Bank at 728 Williams Street, Tax Key No. Tax Key No. ZRA00034 and 916 Marshall Street, Tax Key No. ZRA00033.

9. A. Public Hearing and Recommendation of a Zoning Map Amendment/General Development Plan filed by Steven and Leah Andersen, 905 Platt Avenue, Lake Geneva, WI 53147, to expand the buildable envelope and construct a three-season porch and deck at the rear of the home at 905 Platt Avenue, Tax Key No. ZCOT00008.
B. Public Hearing and Recommendation on an amendment to a Precise Implementation Plan filed by Steven and Leah Andersen, 905 Platt Avenue, Lake Geneva, WI 53147, to expand the buildable envelope and construct a three-season porch and deck at the rear of the home at 905 Platt Avenue, Tax Key No. ZCOT00008.
10. Public Hearing and Recommendation on a Conditional Use Permit filed by Fairwyn Ltd, 875 Townline Road Ste 103, Lake Geneva, WI 53147 to utilize setbacks for the Single Family Residential–4 zoning district in the Estate Residential–1 zoning district (as enabled by Section 98-407(3) of the Zoning Ordinance) at 930 Bayview Drive, Tax Key No. ZGB00026.
11. A. Public Hearing and Recommendation on Zoning Map Amendment/General Development Plan filed by Steven R. and Jen C. Evans, 763 Ivy Oaks Drive, Caledonia, IL, 61011 to establish a Commercial Indoor Lodging land use (vacation rental home) at 717 Geneva Street, Tax Key No. ZOP00160.
B. Public Hearing and Recommendation on a Precise Implementation Plan filed by Steven R. and Jen C. Evans, 763 Ivy Oaks Drive, Caledonia, IL, 61011 to confirm zoning flexibilities to establish a Commercial Indoor Lodging land use (vacation rental home) at 717 Geneva Street, Tax Key No. ZOP00160.
C. Public Hearing and Recommendation on a Conditional Use Permit filed by Steven R. and Jen C. Evans, 763 Ivy Oaks Drive, Caledonia, IL, 61011 to establish a Commercial Indoor Lodging land use (vacation rental home) at 717 Geneva Street, Tax Key No. ZOP00160.
12. A. Public Hearing and Recommendation on a Zoning Map Amendment/General Development Plan filed by Karen Klipp, 7345 Hollow Drive, Lake Geneva, WI 53147 to confirm zoning flexibilities to establish two Commercial Indoor Lodging land uses (vacation rental homes) at 824 Williams Street, Tax Key No. ZRA00018.
B. Public Hearing and Recommendation on a Precise Implementation Plan filed by Karen Klipp, 7345 Hollow Drive, Lake Geneva, WI 53147 to confirm zoning flexibilities to establish two Commercial Indoor Lodging land uses (vacation rental homes) at 824 Williams Street, Tax Key No. ZRA00018.
C. Public Hearing and Recommendation on a Conditional Use Permit filed by Karen Klipp, 7345 Hollow Drive, Lake Geneva, WI 53147 to establish a Commercial Indoor Lodging land use (vacation rental home) at 824 Williams Street, Tax Key No. ZRA00018.
13. A. Public Hearing and Recommendation on a Zoning Map Amendment/General Development Plan filed by Chris Law, Geneva Lakes Christian Church, W2906 Willow Road, Lake Geneva, WI 53147, to amend the Zoning Map from the SR-4 Single-Family zoning district to Planned Development for a new worship facility at 1015 N. Bloomfield Road, Tax Key Nos. ZSF00232 and ZSF00231.
B. Public Hearing and Recommendation on a Precise Implementation Plan filed by Chris Law, Geneva Lakes Christian Church, W2906 Willow Road, Lake Geneva, WI 53147, to construct a new worship facility at 1015 N. Bloomfield Road, Tax Key Nos. ZSF00232 and ZSF00231.
14. Public Hearing and Recommendation to amend the Precise Implementation Plan / Conditional Use Permit filed by Lake Geneva Tennis Club LLC, 630 Veterans Pkwy, to expand a parking lot for a Physical Activity Studio land use (indoor tennis complex) at 630 Veterans Parkway, Tax Key Nos. ZLGBP200029, ZLGBP200030, ZLGBP200031, ZLGBP200032, & ZLGBP200033.
15. Public Hearing and Recommendation of a Conditional Use Permit filed by Reeds Construction LLC, W3199 S Lake Shore Drive, Lake Geneva, WI 53147, to construct a new boat slip at 1084 LaGrange Drive, Tax Key No. ZLE00003.
16. A. Public Hearing and Recommendation of a Conditional Use Permit filed by Julie Selby, 800 N Blue Spruce Circle, Hartland, WI 53029, for Indoor Commercial Entertainment for a studio at 262 Center Street, Tax Key No. ZOP00259.

- B. Downtown Design Application by Julie Selby, 800 N Blue Spruce Circle, Hartland, WI 53029, for vinyl window decals and a wood sign to the exterior of the building at 262 Center Street, Tax Key No. ZOP00259.
17. A. Public Hearing and Recommendation of a Conditional Use Permit filed by Halvar Petersen, 507 Broad Street, Lake Geneva, WI 53147, for Indoor Commercial Entertainment for a Bakery/Patisserie at 252 Center Street, Tax Key No. ZOP00258.
- B. Public Hearing and Recommendation of a Conditional Use Permit filed by Halvar Petersen, 507 Broad Street, Lake Geneva, WI 53147, for Indoor Commercial Entertainment for a Coffee School at 252 Center Street, Tax Key No. ZOP00258.
18. Public Hearing and Recommendation of a Conditional Use Permit filed by Jes Bush-Christenson, 1515 Dodge Street, Lake Geneva, WI 53147, for Outdoor Commercial Entertainment at 747 W. Main Street, Tax Key No. ZOP00271.
19. Public Hearing and Recommendation of a Conditional Use Permit filed by Curt Langille, Lanco Builders, Inc., 813 Eagleton Drive, Lake Geneva, WI 53147, to use SR-4 Setbacks in ER-1 zoning district at 837 Bayview Drive, Tax Key No. ZGB00007.
20. Public Hearing and Recommendation on an amendment to the Zoning Ordinance proposed by the City of Lake Geneva to include the Commercial Indoor Lodging land use (per Section 98-206(4)(k)) as a conditional use in the Neighborhood Office and Neighborhood Business zoning districts.
21. Comprehensive Plan Strategy and Procedures for amending the City of Lake Geneva's 2017 Comprehensive Plan.
22. Adjournment

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate accommodations.

Posted 6/14/2017

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #12a

Applicant:

Karen Klipp
7345 Hollow Drive
Lake Geneva, WI 53147

Request:

824 Williams Street, Lake Geneva, WI 53147
Proposed **General Development Plan (GDP)** to provide zoning flexibilities to enable the consideration of Commercial Indoor Lodging land use

Description:

The applicant is submitting a General Development Plan to propose distinct Commercial Indoor Lodging (vacation rental home) land uses in two buildings located at 824 Williams Street. The subject property is zoned General Business (GB) and is planned for *Neighborhood Mixed Use* in the Comprehensive Plan. Properties to the north, east, and southeast are also zoned GB. Properties to the west and southwest are zoned Single-Family (SR-4). This a transitional site between business and single-family areas. The applicant proposes a 6-foot-high solid wood privacy fence along the west and north property lines.

The subject property includes two principal buildings on three lots: a single-family home fronting Williams Street and a two-family building on the south side of the lot, adjacent to the alley. Lot lines run through both buildings.

The single-family building contains one dwelling unit with three bedrooms. The two-family building contains two dwelling units with a total of five bedrooms. Two entrances to the two-family building are both located within 100 feet of the single-family property the west.

Commercial Indoor Lodging land uses require one parking space per bedroom, which amounts to eight parking spaces required for this property. The site currently provides parking in three locations on the site for a total of 11 parking spaces. Eight spaces paved in asphalt are located on the southeast side of the site; these are accessed from the alley. Two spaces are located in the southwest corner of the site, behind the two-family building, also accessed from the alley. One space is paved in concrete and the other is gravel/recycled pavement. An additional gravel parking space is located on the northeast corner of the site. This space in the front yard, adjacent to the single-family building, and is accessed from Williams Street.

No changes are proposed to the buildings' exteriors. Residing of the two-family building is in progress.

The zoning ordinance does not permit more than one principal building on a single lot, nor does it allow buildings to straddle lot lines. In order to consider a new land use (Commercial Indoor Lodging) in this location, a Planned Development is required to grant flexibilities from the zoning ordinance. This involves review and approval of a General Development Plan (GDP) and Precise Implementation Plan (PIP). In addition, the proposed Commercial Indoor Lodging land use requires a separate Conditional

Use Permit (CUP). All steps are being reviewed at the same time. The PIP and CUP are reviewed in separate reports.

Essentially, the GDP creates a customized zoning district for a particular development. The GDP focuses primarily on the mix of uses, procedural requirements, and flexibilities from the development standards of the underlying zoning district, particularly density/intensity and bulk requirements. This report focuses on these issues.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including General Development Plans) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the *Neighborhood Mixed Use* land use category for the subject property. This category allows for neighborhood-scale mixed use development. The proposed GDP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the General Business (GB) zoning district, the current zoning of the property, provides that comparison zoning district. The project is requesting the following 2 flexibilities:

1. The applicant is requesting approval for two principal buildings that straddle three lots, each building containing a distinct Commercial Indoor Lodging land use. The presence of two buildings placed across three lots and split by lot lines is a nonconforming situation that currently exists on the site. The Commercial Indoor Lodging land uses reflect an alternation from the current nonconforming situation.
2. The applicant is requesting approval to allow two customer entrances within 100 feet of a residentially zoned property.

As no other changes are proposed to the site that would change existing conditions, no other flexibilities are requested.

Approved Land Uses:

The GDP enables the following land uses as permitted by right:

- Single-family Residential in the single-family building (east) or two-family building (west)
- Two-Family Residential in the two-family building (west)

The GDP enables the following land uses by *conditional use and subject to PIP approval*:

- Commercial Indoor Lodging in the single-family building (east) and two-family building (west)

Zoning Map Amendment / GDP - Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / GDP

As part of the consideration of a requested Planned Development / General Development Plan (GDP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to GDP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

Staff believes that this is a suitable location for a Commercial Indoor Lodging land use due to the surrounding commercial land uses and zoning. The site is currently zoned General Business, like other properties along Williams Street and is planned for *Neighborhood Mixed Use* in the Comprehensive Plan, a category conducive to neighborhood-scale mixed use development.

Staff believes that the site as it is currently zoned is not suitable for Commercial Indoor Lodging, because there are two principal buildings straddling three lots. Granting the GDP establishes custom zoning regulations for the subject property that would enable the consideration of Commercial Indoor Lodging land uses for both buildings, contingent on Conditional Use and PIP approval.

Staff recommends approving the Conditional Use Permit (CUP) separately from the GDP and PIP. This would give the City the ability to revoke the CUP if needed. The Commercial Indoor Lodging use should only be permitted with a valid CUP.

Required Plan Commission Findings on the GDP for Recommendation to Common Council:

A proposed GDP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed GDP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
 3. The proposed GDP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed GDP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:

- a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
3. The proposed GDP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the General Development Plan:

1. Staff recommends that the Plan Commission recommend *approval* of the GDP as submitted, including the granting of all requested zoning ordinance flexibilities (1 through 2, above.)
2. Staff recommends the *affirmative set of findings* provided above, noting that the proposal meets factor 2c. Specifically, the proposal responds to an emerging market for vacation rental homes and maintains the desired consistency of land uses, land use intensities, and land use impacts as a transition between existing residential development to the west and existing commercial development to the east.
3. Staff recommends the following *additional conditions of approval* be attached:
 - a. The units shall not be occupied until a Precise Implementation Plan (PIP) and Conditional Use Permit (CUP) allowing Commercial Indoor Lodging are issued by City staff.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #12b

Applicant:

Karen Klipp
7345 Hollow Drive
Lake Geneva, WI 53147

Request:

824 Williams Street, Lake Geneva, WI 53147
Proposed **Precise Implementation Plan (PIP)** to confirm zoning flexibilities to enable the consideration of Commercial Indoor Lodging land use

Description:

The applicant is submitting a General Development Plan to propose distinct Commercial Indoor Lodging (vacation rental home) land uses in two buildings located at 824 Williams Street. The subject property is zoned General Business (GB) and is planned for *Neighborhood Mixed Use* in the Comprehensive Plan. Properties to the north, east, and southeast are also zoned GB. Properties to the west and southwest are zoned Single-Family (SR-4). This a transitional site between business and single-family areas. The applicant proposes a 6-foot-high solid wood privacy fence along the west and north property lines.

The subject property includes two principal buildings on three lots: a single-family home fronting Williams Street and a two-family building on the south side of the lot, adjacent to the alley. Lot lines run through both buildings.

The single-family building contains one dwelling unit with three bedrooms. The two-family building contains two dwelling units with a total of five bedrooms. Two entrances to the two-family building are both located within 100 feet of the single-family property the west.

Commercial Indoor Lodging land uses require one parking space per bedroom, which amounts to eight parking spaces required for this property. The site currently provides parking in three locations on the site for a total of 11 parking spaces. Eight spaces paved in asphalt are located on the southeast side of the site; these are accessed from the alley. Two spaces are located in the southwest corner of the site, behind the two-family building, also accessed from the alley. One space is paved in concrete and the other is gravel/recycled pavement. An additional gravel parking space is located on the northeast corner of the site. This space in the front yard, adjacent to the single-family building, and is accessed from Williams Street.

No changes are proposed to the buildings' exteriors. Residing of the two-family building is in progress.

The zoning ordinance does not permit more than one principal building on a single lot, nor does it allow buildings to straddle lot lines. In order to consider a new land use (Commercial Indoor Lodging) in this location, a Planned Development is required to grant flexibilities from the zoning ordinance. This involves review and approval of a General Development Plan (GDP) and Precise Implementation Plan

(PIP). In addition, the proposed Commercial Indoor Lodging land use requires a separate Conditional Use Permit (CUP). All steps are being reviewed at the same time. The GDP and CUP are reviewed in separate reports.

The PIP focuses primarily on the detailed physical characteristics of the site such as the precise locations of all development, landscaping, parking, and building materials. It also allows for flexibilities from the zoning ordinance relating to site plan components. This report focuses on these issues.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the General Business (GB) zoning district, the current zoning of the property, provides that comparison zoning district. The proposed Precise Implementation Plan is requesting the following 3 flexibilities:

1. The applicant is requesting approval for two principal buildings that straddle three lots, each building containing a distinct Commercial Indoor Lodging land use. The presence of two buildings placed across three lots and split by lot lines is a nonconforming situation that currently exists on the site. The Commercial Indoor Lodging land uses reflect an alternation from the current nonconforming situation.
2. The applicant is requesting approval to allow two customer entrances within 100 feet of a residentially zoned property.
3. Section 98-206(4)(k) pertaining to Commercial Indoor Lodging requires a bufferyard with a minimum opacity of 0.6 along all property borders that abut residentially-zoned property. The applicant requests instead a 6-foot-high solid wood fence along the west and north property lines, due to space constraints on the site.

As no other changes are proposed to the site that would change existing conditions, no other flexibilities are requested.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Precise Implementation Plan (PIP):

As part of the consideration of the requested Planned Development / Precise Implementation Plan step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed PIP;
- Include *findings* required by the Zoning Ordinance for PIPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

Planned Developments are intended to provide for flexible development standards to accommodate unique sites, mixtures of land uses, or development configurations. In exchange for such flexibility, the Planned Development are expected to provide much higher level of site design, architectural design and other aspects of aesthetic and functional excellence than normally required for other developments. Staff believes that the site as it exists currently is not suitable for Commercial Indoor Lodging, in part due to the fact that there are two principal buildings straddling three lots and numerous aesthetic and functional issues. Addressing these issues through the Planned Development process will enable the City to consider Commercial Indoor Lodging on this site.

Specifically:

- Properties to the west (rear), south, and southwest (across the alley) are zoned for single-family residential, which will require a bufferyard to protect neighboring residential uses.
- Staff has concerns about the aging siding and overall appearance of the rear building.
- Staff recommends landscaping and screening parking areas from Williams Street to minimize the visibility of parking areas.

Granting the PIP approves the proposed site plan for the subject property. The applicant is reminded that future changes to the site plan or on-site operational characteristics will likely require an amendment to the approved PIP and/or GDP.

Staff recommends approving the Conditional Use Permit (CUP) separately from the GDP and PIP. This would give the City the ability to revoke the CUP if needed. The Commercial Indoor Lodging use should only be permitted with a valid CUP.

Required Plan Commission Findings on the PIP for Recommendation to the Common Council:

A proposed PIP must be reviewed by the standards for Conditional Use Permits, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be for all of the following:
1. In general, the proposed PIP is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed PIP is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed PIP in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed PIP maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed PIP is located in an area that will be adequately served by, and will not impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed PIP outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be for one or more of the following:

1. In general, the proposed PIP is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed PIP is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed PIP in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed PIP does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed PIP is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed PIP do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Precise Implementation Plan:

1. Staff recommends that the Plan Commission recommends *approval* of the PIP as submitted, including the granting of all requested zoning ordinance flexibilities (1 through 3), above.
2. Staff recommends the *affirmative set of findings* provided above, noting that the proposal is consistent with the Comprehensive Plan's Future Land Use Map which allows for mixed use development; proposes minimal changes to existing development intensity and bulk characteristics; and will be complementary to surrounding land uses upon installation of a bufferyard.
3. Staff recommends the following *additional conditions of approval* be attached:
 - a. The proposed wood fence shall be at least 6 feet in height, shall be 100% opaque, and shall utilize a shadowbox, basketweave, or similar solid wood design. A stockade fence is not desirable.
 - b. Within the front yard setback, the fence shall not exceed 36 inches in height and shall be a maximum of 60% opaque, per Section 98-720 of the Zoning Ordinance.
 - c. At least 30 landscaping points shall be provided along the street frontage. At least 20 landscaping points shall be provided within ten feet of the parking areas (or in another suitable location on the site). (Refer to Section 98-603)
 - i. Landscaping points may be provided in addition to or in lieu of the proposed blue spruce trees.

- d. The two-family building shall be re-sided.
- e. The applicant shall allow a site and building inspection by the City for use as a Commercial Indoor Lodging facility.
- f. The units shall not be occupied until a Conditional Use Permit (CUP) allowing Commercial Indoor Lodging is issued by City staff.
- g. After approval, the proposed wood fence shall be installed by December 1, 2017.
- h. The units shall not be occupied for Commercial Indoor Lodging use until the above conditions are met and approved by City staff.

APPLICATION FOR ZONING MAP AMENDMENT FOR PLANNED DEVELOPMENT
ZONING INCLUDING GENEVRAL DEVELOPMENT PLAN APPROVAL (PD/GDP) AND
ONE PRECISE IMPLEMENTATION PLAN APPROVAL (PD/PIP)

Name of Applicant: Karen Klipp

Address of Applicant: 7345 Hollow Dr.

Lake Geneva, WI 53147

Telephone No. (262) 903-4455

Fax and/or email: Karen.Klipp@gmail.com

Name of Owner: Karen Klipp

Address of Owner: 7345 Hollow Dr.

Lake Geneva, WI 53147

Telephone No. (262) 903-4455

Fax and/or email: Karen.Klipp@gmail.com

Subject property address and/or complete legal description (use attached sheet if necessary):

See Attached

Current Zoning District: GB

Fee of \$750.00 payable upon filing application.

4/21/17
Date

Karen Klipp
Signature of Applicant

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Karen Klipp, as applicant/petitioner for:
Name: Karen Klipp
Address: 7345 Hollow Dr.
Lake Geneva, WI 53147
Phone: (262) 903-4455

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 21 day of April, 20011

Karen Klipp
Printed name of Applicant/Petitioner

Karen Klipp
Signature of Applicant/Petitioner



Karen Klipp <karenklipp@gmail.com>

824 Main St.

1 message

Karen Klipp <karenklipp@gmail.com>
To: Karen Klipp <karenklipp@gmail.com>

Fri, Apr 21, 2017 at 2:57 PM

I am applying for the rezone to create a legal conforming parcel. There are two separate livable structures on one parcel.

First American Title Insurance Company

**By DOMINION TITLE LLC
3000 RIVERSIDE DRIVE, SUITE 130
GREEN BAY, WI 54301
PH. 920-593-7922**

EXHIBIT A Commitment No.: DTI-14810-16 (Revision No. 2)

The South 1/2 of Lots 18, 19 and 20, according to the recorded Plat of Rich's Addition to the Village of Geneva (now City of Lake Geneva), in the City of Lake Geneva, Walworth County, Wisconsin.

Tax Parcel No. ZRA 00018

Property Address: 824 Williams Street, Lake Geneva, WI 53147 (for informational purposes only)

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
PLANNED DEVELOPMENT REVIEW AND APPROVAL (Per Section 98-914)**

This form should be used by the Applicant as a guide to submitting a complete application for a planned development and by the City to process said application. Parts II, III, V, and VII should be used by the Applicant to submit a complete application; Parts I - VIII should be used by the City as a guide when processing said application.

I.RECORDATION OF ADMINISTRATIVE PROCEDURES

____ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

____ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

____ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

____ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

**II.APPLICATION SUBMITTAL PACKET REQUIREMENTS
PD PROCESS STEP 1: PRE-APPLICATION**

Step 1 does not require the submittal of an application packet; however, Steps 2-4 do require submittal of all draft and final application packets to the Zoning Administrator prior to Plan Commission review.

____ **A. Contact the Zoning Administrator** to place an informal discussion item for the PD on the Plan Commission agenda. No details beyond the name of the Applicant and the identification of the discussion item as a PD is required to be given in the agenda.

____ **B. Engage in an informal discussion with the Plan Commission** regarding the potential PD. Appropriate topics may include: location, project themes and images, general mix of dwelling unit types and/or land uses being considered, approximate residential densities, and non-residential intensities, general treatment of natural features, general relationship to nearby properties and public streets, and relationship to the Comprehensive Plan.

NOTE: Points of discussion and conclusions reached in this stage of the process shall in no way be binding upon the Applicant or the City, but should be considered as the informal, non-binding basis for proceeding to the next step.

**APPLICATION SUBMITTAL PACKET REQUIREMENTS
PD PROCESS STEP 2: CONCEPT PLAN**

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

↓

_____ A. Provide Zoning Administrator with draft PD Concept Plan Submittal Packet for determination of completeness prior to placing the proposed PD on the Plan Commission agenda for Concept Plan review. The submittal packet shall contain all of the following items:

_____ (1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

_____ (2) **A general written description** of proposed PD including:

_____ General project themes and images;

_____ The general mix of dwelling unit types and/or land uses;

_____ Approximate residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

_____ The general treatment of natural features;

_____ The general relationship to nearby properties and public streets;

_____ The general relationship of the project to the Master Plan;

_____ An initial draft list of zoning standards which will not be met by the proposed PD and the location(s) in which they apply and, a complete list of zoning standards which will be more than met by the proposed PD and the location(s) in which they apply. Essentially, the purpose of this listing shall be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility; and,

_____ (3) **A written description** of potentially requested exemption from the requirements of the underlying zoning district, in the following order:

1. Land Use Exemptions;

2. Density and Intensity Exemptions;

3. Bulk Exemptions;

4. Landscaping Exceptions;

5. Parking and Loading Requirements Exceptions;

_____ (4) **A conceptual plan drawing** (at 11" x 17") of the general land use layout and the general location of major public streets and/or private drives. The Applicant may submit copies of a larger version of the plan in addition to the 11" x 17" reduction.

**FINAL APPLICATION PACKET INFORMATION
PD PROCESS STEP 2: CONCEPT PLAN**

_____ Receipt of 5 full scale copies in blueline or blackline
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

**APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 3: GENERAL DEVELOPMENT PLAN (GDP)**

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

_____ A. Provide Zoning Administrator with a draft GDP Submittal Packet for determination of completeness prior to placing the proposed PD on the Plan Commission agenda for GDP review. The submittal packet shall contain all of the following items:

_____ (1) A **location map of the subject property** and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

_____ (2) A **map of the subject property** for which the PD is proposed:

_____ Showing all lands within 300 feet of the boundaries of the subject property;

_____ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

_____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

_____ Map and all its parts clearly reproducible with a photocopier;

_____ Map size of 11" x 17" and map scale not less than one inch equals 800 feet;

_____ All lot dimensions of the subject property provided;

_____ Graphic scale and north arrow provided.

_____ (3) A **general written description** of proposed PD including:

_____ General project themes and images;

_____ The general mix of dwelling unit types and/or land uses;

_____ Approximate residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

_____ The general treatment of natural features;

_____ The general relationship to nearby properties and public streets;

_____ The general relationship of the project to the Master Plan,

_____ A statement of Rationale as to why PD zoning is proposed. This shall identify barriers that the Applicant perceives in the form of requirements of standard zoning districts and opportunities for community betterment the Applicant suggests are available through the proposed PD zoning.

- _____ A complete list of zoning standards which will not be met by the proposed PD and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PD and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.
- _____ A written description of potentially requested exemption from the requirements of the underlying zoning district, in the following order:
 1. Land Use Exemptions;
 2. Density and Intensity Exemptions;
 3. Bulk Exemptions;
 4. Landscaping Exceptions;
 5. Parking and Loading Requirements Exceptions.
- _____ (4) **A General Development Plan Drawing** at a minimum scale of 1"=100' (11" x 17" reduction shall also be provided by Applicant) of the proposed project showing at least the following information in sufficient detail to make an evaluation against criteria for approval:
 - _____ A conceptual plan drawing (at 11" x 17") of the general land use layout and the general location of major public streets and/or private drives. The Applicant may submit copies of a larger version of the plan in addition to the 11" x 17" reduction;
 - _____ Location of recreational and open space areas and facilities and specifically describing those that are to be reserved or dedicated for public acquisition and use;
 - _____ Statistical data on minimum lot sizes in the development, the approximate areas of large development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
 - _____ Notations relating the written information provided in (3), above to specific areas on the GDP Drawing.
- _____ (5) **General conceptual landscaping plan** for subject property, noting approximate locations of foundation, street, yard and paving, landscaping, and the compliance of development with all landscaping requirements of this Ordinance (except as noted in the listing of exceptions) and the use of extra landscaping and bufferyards;
- _____ (6) **A general signage plan** for the project, including all:
 - _____ Project identification signs;
 - _____ Concepts for public fixtures and signs (street light fixtures and/or poles or street sign faces and/or poles) which are proposed to vary from City standards or common practices;

_____ (7) Written justification for the proposed Planned Development. (See Section 98-905 for requirements of the conditional use procedure.)

FINAL APPLICATION PACKET INFORMATION
PD STEP 3: GENERAL DEVELOPMENT PLAN (GDP)

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/GDP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

- _____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- _____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- _____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- _____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- _____ Class 2 Legal Notice published on _____ and _____ by: _____

APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- Initial Packet (5 Copies to Zoning Administrator)* Date: _____ by: _____
- ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____
- ↓

_____ A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

- _____ (1) A location map of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

- _____ (2) **A map of the subject property** for which the PD is proposed:
 - _____ Showing all lands within 300 feet of the boundaries of the subject property;
 - _____ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - _____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
 - _____ Map and all its parts clearly reproducible with a photocopier;
 - _____ Map size of 11" by 17" and map scale not less than one inch equals 800 feet;
 - _____ All lot dimensions of the subject property provided;
 - _____ Graphic scale and north arrow provided.

- _____ (3) **A general written description** of proposed PIP including:
 - _____ Specific project themes and images;
 - _____ The specific mix of dwelling unit types and/or land uses;
 - _____ Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;
 - _____ The specific treatment of natural features;
 - _____ The specific relationship to nearby properties and public streets.
 - _____ A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.
 - _____ A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

- _____ (4) **A Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*
 - _____ A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;
 - _____ Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;
 - _____ Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio

and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and

____ Notations relating the written information (3), above to specific areas on the GDP Drawing.

- ____ (5)A landscaping plan for subject property, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.
- ____ (6)A series of building elevations for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.
- ____ (7)A general signage plan including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.
- ____ (8)A general outline of the intended organizational structure for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.
- ____ (9)A written description which demonstrates the full consistency of the proposed PIP with the approved GDP.
- ____ (10)A written description of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,
- ____ (11)Proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development.

**FINAL APPLICATION PACKET INFORMATION
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)**

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/PIP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

____ Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Certification of complete Final Application Packet and

required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
____ Class 2 Legal Notice published on _____ and _____ by: _____

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #12c

Applicant:

Karen Klipp
7345 Hollow Drive
Lake Geneva, WI 53147

Request:

824 Williams Street, Lake Geneva, WI 53147
Proposed **Conditional Use Permit** for
Commercial Indoor Lodging (Vacation Rental
Home)

Description:

The applicant is submitting a General Development Plan to propose distinct Commercial Indoor Lodging (vacation rental home) land uses in two buildings located at 824 Williams Street. The subject property is zoned General Business (GB) and is planned for *Neighborhood Mixed Use* in the Comprehensive Plan. Properties to the north, east, and southeast are also zoned GB. Properties to the west and southwest are zoned Single-Family (SR-4). This a transitional site between business and single-family areas. The applicant proposes a 6-foot-high solid wood privacy fence along the west and north property lines.

The subject property includes two principal buildings on three lots: a single-family home fronting Williams Street and a two-family building on the south side of the lot, adjacent to the alley. Lot lines run through both buildings.

The single-family building contains one dwelling unit with three bedrooms. The two-family building contains two dwelling units with a total of five bedrooms. Two entrances to the two-family building are both located within 100 feet of the single-family property the west.

Commercial Indoor Lodging land uses require one parking space per bedroom, which amounts to eight parking spaces required for this property. The site currently provides parking in three locations on the site for a total of 11 parking spaces. Eight spaces paved in asphalt are located on the southeast side of the site; these are accessed from the alley. Two spaces are located in the southwest corner of the site, behind the two-family building, also accessed from the alley. One space is paved in concrete and the other is gravel/recycled pavement. An additional gravel parking space is located on the northeast corner of the site. This space in the front yard, adjacent to the single-family building, and is accessed from Williams Street.

No changes are proposed to the buildings' exteriors. Residing of the two-family building is in progress.

The zoning ordinance does not permit more than one principal building on a single lot, nor does it allow buildings to straddle lot lines. In order to consider a new land use (Commercial Indoor Lodging) in this location, a Planned Development is required to grant flexibilities from the zoning ordinance. This involves review and approval of a General Development Plan (GDP) and Precise Implementation Plan (PIP). In addition, the proposed Commercial Indoor Lodging land use requires a separate Conditional

Use Permit (CUP). All steps are being reviewed at the same time. The PIP and CUP are reviewed in separate reports.

The CUP focuses primarily on the operational characteristics of the land use described in Section 98-206(4)(k) of the Zoning Ordinance. This report centers on these issues.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

Commercial Indoor Lodging is permitted by conditional use in the GB zoning district. Staff recommends that the proposed use comply with all applicable requirements of Section 98-206(4)(k) pertaining to Commercial Indoor Lodging land uses unless explicitly granted flexibility by the GDP or PIP.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional conditions of approval* be attached:
 - a. The use shall comply with all applicable requirements of Section 98-206(4)(k) pertaining to Commercial Indoor Lodging land uses, unless flexibility has been explicitly provided by the PIP.
 - b. Vehicles shall not be parked on the grass areas or in the alley.

- c. No outdoor storage of equipment or recreational accessories such a pool floats, life jackets, etc. shall be permitted.
- d. The units shall not be occupied for Commercial Indoor Lodging use unless the PIP and CUP are approved, and the above conditions are met and approved by City staff.
- e. After approval, the applicant shall prepare a Certified Survey Map (CSM) to combine all three lots into a single lot. The CSM shall be submitted to the City by December 1, 2017.
- f. After approval, the applicant shall apply for City Business License.
- g. After approval, the applicant shall apply for and comply with the room tax permit.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

824 Williams St. Tax Parcel No. ZAA 00018

Sec Attached

NAME AND ADDRESS OF CURRENT OWNER:

Karen Klipp 7345 Hollow Dr. Lake Geneva
WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: (262) 903-4455

NAME AND ADDRESS OF APPLICANT:

Karen Klipp 7345 Hollow Dr. Lake Geneva
WI 53147

TELEPHONE NUMBER OF APPLICANT: (262) 903-4455

PROPOSED CONDITIONAL USE:

Commercial Indoor Lodging

ZONING DISTRICT IN WHICH LAND IS LOCATED: General Business

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Overnite Lodging, Cooking, Watching TV, Sleeping

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

4/12/2017
DATE

Karen Klipp
SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Karen Klipp, as applicant/petitioner for:

Name: Karen Klipp

Address: 7345 Hollow Dr.

Lake Geneva, WI 53147

Phone: (262) 903-4455

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 12 day of March, 2017.

Karen Klipp
Printed name of Applicant/Petitioner

Karen Klipp
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

↓

___ (a) A map of the proposed conditional use:

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

_____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

_____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

_____ (e) Written justification for the proposed conditional use:

_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

It is sitting in General Business district it is a single family home surrounded by other businesses

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

This will accommodate groups of families & friends that visit our town, to enjoy a family atmosphere.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No I do not believe there will be any adverse impact on the nearby property. Pizzeria & Laundry are across the st. a pizza place next door & retail on the other side & across the street

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

I think this would be the highest & best use for this property. The home has been a rental for years. I will keep up and maintain the home as to make it a desirable place to vacation

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

I believe they do outweigh any adverse impacts

IV.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

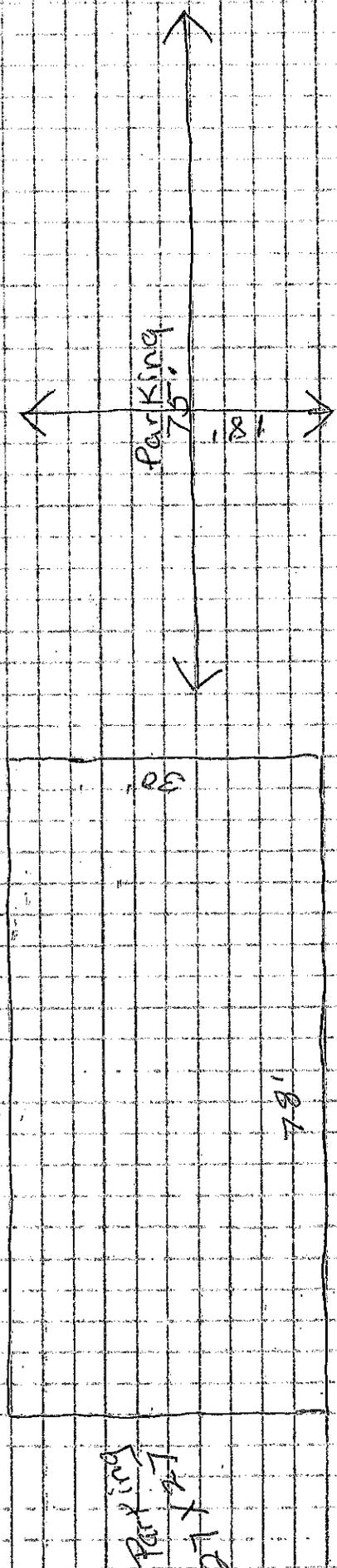
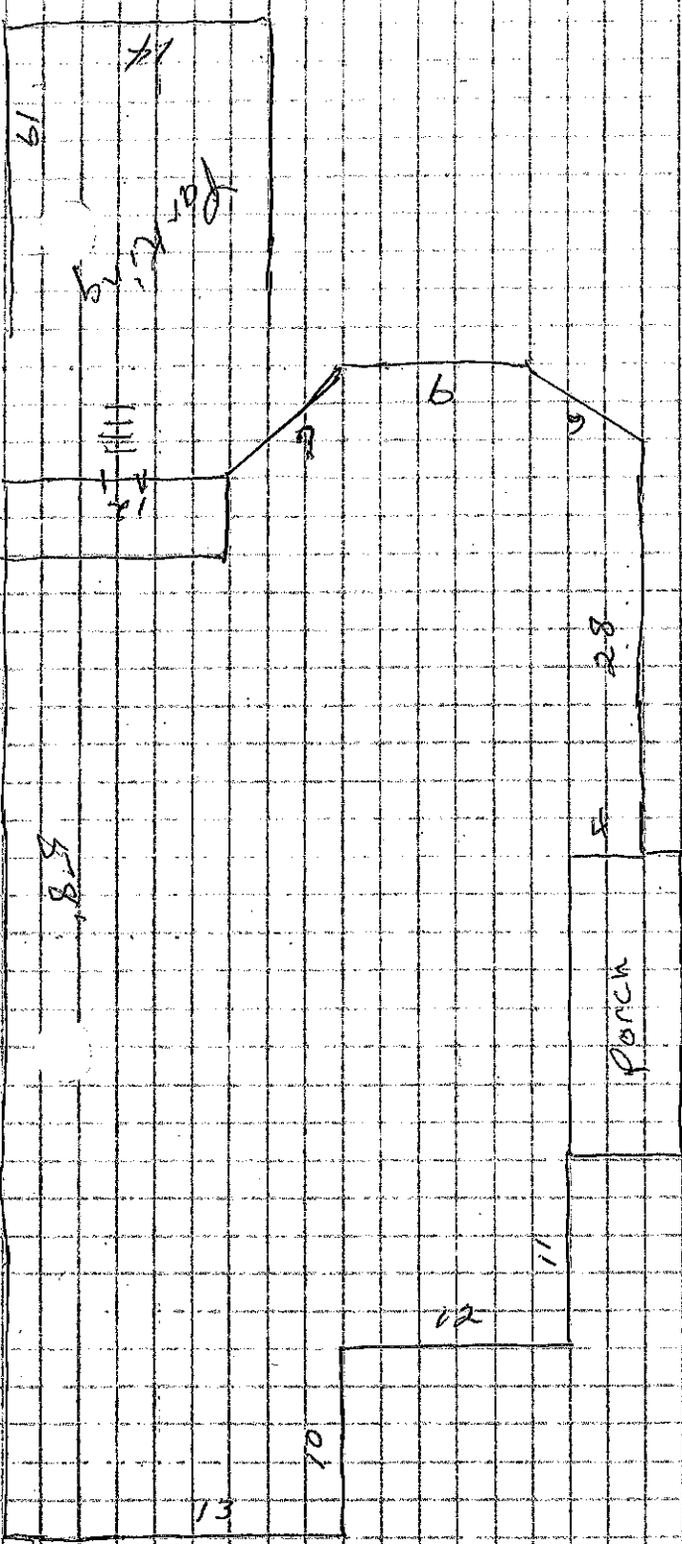
____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____



HENRY ST

60'

Lot 75.5 x 198



CITY OF LAKE GENEVA

Letter (ANSI A) Landscape

WALWORTH COUNTY, WISCONSIN



Author:
Map Produced on: 4/17/2017

Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27

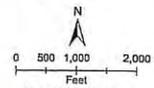


Walworth County Information Technology Department
Land Information Division

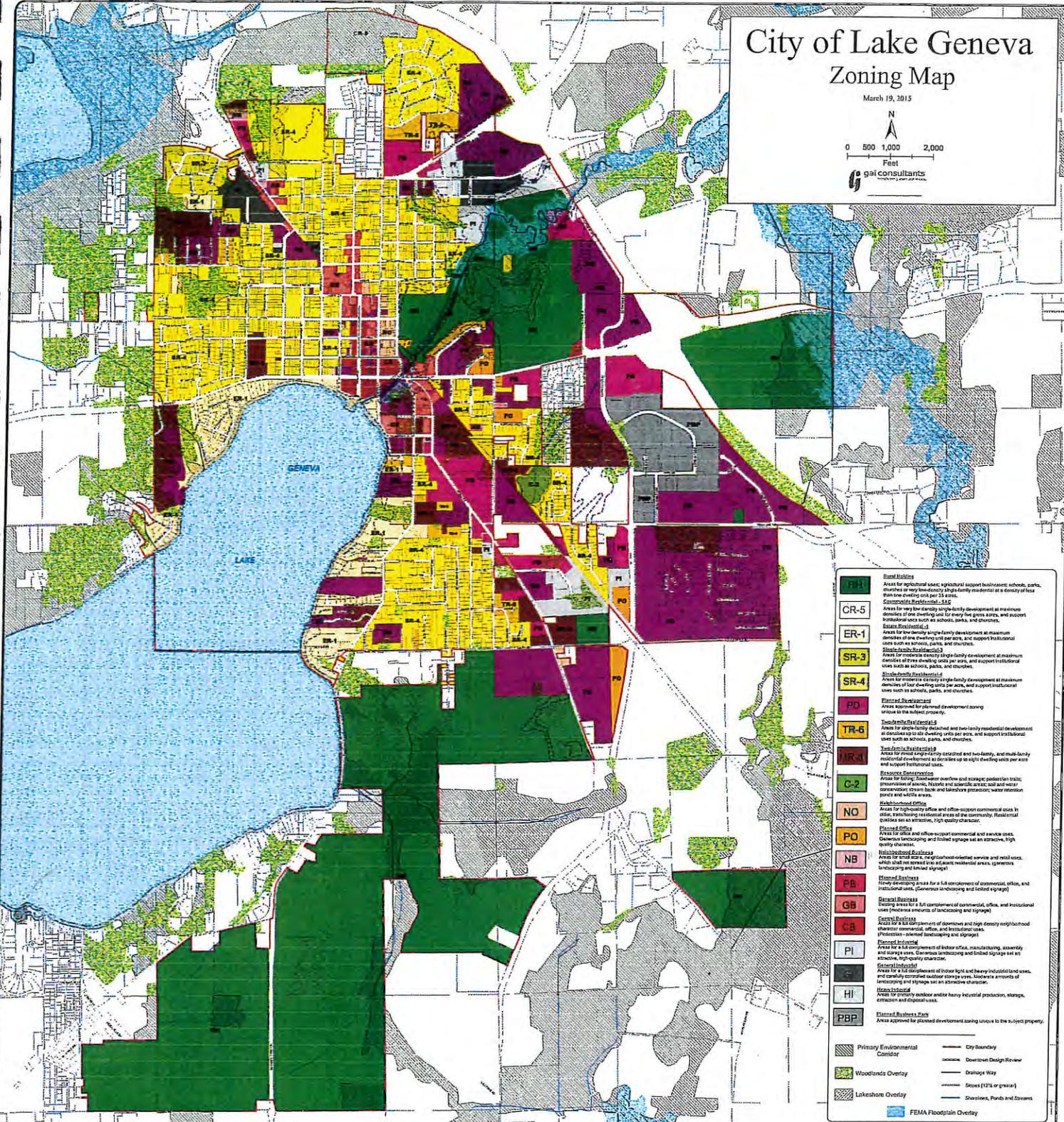
1500 County Trunk N N
Eshwera, Wisconsin 53121-1001
DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PROVIDED
AND IS NOT GUARANTEED FOR ACCURACY OR RELIABILITY. NO WARRANTY,
EXPRESS OR IMPLIED, IS MADE, INCLUDING ACCURACY, COMPLETENESS,
OR QUALITY. PLEASE CONSULT THE OFFICIAL RECORDS FOR THE INFORMATION
CONTAINED HEREIN. THIS MAP IS NOT TO BE USED AS A SUBSTITUTE FOR A SURVEY.

City of Lake Geneva Zoning Map

March 19, 2015



gai consultants
INCORPORATED



RH	Rural Housing Areas for agricultural uses, agricultural support facilities, schools, parks, churches or any low-density, low-density residential use at a density of less than one dwelling unit per 25 acres.
CR-5	Community Residential Areas for very low density single-family development at maximum densities of one dwelling unit for every five acres, and support institutional uses such as schools, parks, and churches.
ER-1	Executive Residential Areas for low density single-family development at maximum densities of one dwelling unit per acre, and support institutional uses such as schools, parks, and churches.
SR-3	Single-Family Residential Areas for moderate density single-family development at maximum densities of three dwelling units per acre, and support institutional uses such as schools, parks, and churches.
SR-4	Single-Family Residential Areas for moderate density single-family development at maximum densities of four dwelling units per acre, and support institutional uses such as schools, parks, and churches.
PD	Planned Development Areas approved for planned development zoning subject to subject property.
TR-6	Two-Family Residential Areas for single-family detached and two-family residential development at densities up to six dwelling units per acre, and support institutional uses such as schools, parks, and churches.
MR-4	Medium Density Residential Areas for medium density detached and two-family residential development at densities up to eight dwelling units per acre and support institutional uses.
C-2	Business Center Areas for office, lower-level service and storage, pedestrian traffic, institutional uses, hotels and specific retail and water conservation, storm water and landscape practices, water retention ponds and wetland areas.
NO	Neighborhood Office Areas for high-quality office and office-support commercial uses in office, manufacturing, residential areas of the community. Residential character as an attractive, high quality character.
PQ	Professional Office Areas for office and office-support commercial and service uses. General landscaping and limited signage set an attractive, high quality character.
NB	Neighborhood Business Areas for retail, neighborhood-oriented services and retail uses, which should be served by all-weather residential areas. (General landscaping and limited signage)
P6	Planned Business Heavy shopping areas for a full complement of commercial, office, and institutional uses. (General landscaping and limited signage)
GB	General Business General business areas for a full complement of commercial, office, and institutional uses (moderate amounts of landscaping and signage)
CB	Central Business Areas for a full complement of downtown and high density neighborhood-oriented commercial, office, and institutional uses. (Professional-oriented landscaping and signage)
PI	Planned Industrial Areas for a full complement of indoor office, manufacturing, assembly and storage uses. General landscaping and limited signage set an attractive, high quality character.
HI	Heavy Industrial Areas for a full complement of indoor light and heavy industrial uses, and certain outdoor storage uses. Moderate amounts of landscaping and signage set an attractive character.
PBP	Planned Business Park Areas approved for planned development zoning subject to the subject property.

	Primary Environmental Corridor		Dry Boundary
	Woodlands Overlay		Downsized Design Review
	Lakeshore Overlay		Drainage Way
	FEMA Floodplain Overlay		Slopes (12% or greater)
			Shoals, Ponds and Streams











NO PARKING
EXCEPT
AS SHOWN



Lake Geneva
Antique Mall

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INC.

DEL'S SERVICES, INC.

DEL'S SERVICES, INC.

SHAN 83



SPEED
LIMIT
25

DRIVE CAREFULLY
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CONDITIONS
TO PREVENT
ACCIDENTS
AND INJURIES
USE CAUTION
IN ALL WEATHER
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TO PREVENT
ACCIDENTS
AND INJURIES

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STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item 13a

Applicant:

Geneva Lake Christian Church
SE corner of Bloomfield Rd & Harmony Dr

Represented by:

William R. Henry, Architect/P.E.
25 Kehoe-Henry & Associates, Inc.
North Wisconsin Street
Elkhorn, WI 53121

Request:

Proposed Zoning Map Amendment
From the SR-4 Single Family zoning district
To General Development Plan

for an Indoor Institutional land use --
(worship facility) on 6.85 acres

Description:

The applicant is submitting a request to amend the Zoning Map to allow a new church with an unique design needs to locate in the Symphony Bay subdivision on the north side of Bloomfield Road, east of Harmony Drive. The specific request is to amend the Zoning Map from the SR-4 Single-Family zoning district to Planned Development / General Development Plan (GDP) zoning.

The requested GDP zoning is being proposed to allow several design components that are not permitted under the SR-4 zoning district. These requested flexibilities are discussed below.

The proposed GDP is generally consistent with the Concept Plan presented to the Plan Commission at its March 2017 meeting. The proposed GDP varies from the Concept Plan in that the proposed main access drive has been shifted south along Harmony Drive to align with the northern access drive of the Golden Years senior facility. Other changes are minor.

A full description of the project (dated April 21, 2017) is contained within the Plan Commission Packet. The City-Wide Location Map and the zoomed-in air photo, in the Plan Commission packet, depict the outlines of the subject property. The proposed building will contain about 12,400 square feet of floor area – with about 6,200 square feet on each floor. The northeast side of the building will provide the main entrance and connection to the parking lot, with the upper level at grade. The southeast side of the building will have both the upper and lower levels fully exposed.

A walk-out will connect the lower level to a large patio on the south side of the building. A playground area is proposed east of the building. The parking lot is designed to initially accommodate 51 spaces, with an additional expansion area of 18 more spaces on the north side of the lot.

The proposed building's exterior design and materials are designed to create a traditional "country church" character with a steeply-pitched roof with dormer sidelights and tall steeple.

Report on the Geneva Lakes Christian Church GDP continues on the next page.

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including General Development Plans) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the Planned Neighborhood land use category for the subject property. This category allows for Institutional land uses, such as the proposed church. The proposed GDP zoning *is consistent* with the Comprehensive Plan.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the Single-Family-Four (SR-4) zoning district provides that comparison zoning district. The project is requesting 8 such flexibilities:

1. The maximum *height of the building* is requested to be 48.5 feet – which results from the walk-out exposure of the lower level and the steeply-pitched roof – compared to the 35-foot maximum height limit in the SR-4 zoning district;
2. The maximum *height of the steeple spire* is requested to be 70.5 feet to achieve the desired country church character, which is increased by the exposed lower level – compared to the 45-foot maximum resulting from adding the standard permitted 10-foot height extension allowed for steeples and related building appurtenances by the zoning ordinance;
3. The maximum *parking lot light fixture mounting heights* are requested to be 18 feet – compared to the 8-foot tall mounting heights required in all residential zoning districts.
4. The minimum *landscaped peninsula requirements for parking rows* containing ten or more parking spaces is requested to be waived for each row of parking – balanced by providing double-wide landscaped areas at the end of each parking row;
5. The maximum *time delay of 1 year after building occupancy for all required on-site landscaping* is requested to be extended to three full years;
6. The use of a *mountable curb and gutter design*, rather than the standard curb and gutter, to better achieve stormwater management quality objectives;
7. The maximum *time delay of 1 year after building occupancy for all on-site paving* is requested to be two full years after final paving for Harmony Drive is completed along that street’s full frontage of the subject property; and,
8. The maximum *number of freestanding signs per lot* is requested to be a total of two signs – compared to the maximum of one freestanding sign for all lots in the City.

All other zoning requirements are met, or in most cases met with “room to spare”.

Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / GDP

As part of the consideration of a requested Planned Development / General Development Plan (GDP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to GDP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The Plan Commission had a favorable reaction to the proposed Concept Plan for the proposal when presented at the March 2017 meeting. The proposed building's design and character will provide a strong gateway feature for the Symphony Bay neighborhood, and reflects the City's desired small city character emphasized by the Comprehensive Plan.

The proposed site plan is carefully designed to respond to the grade of the site, and provides generous setbacks for the building and parking lot in all directions. Planning staff considers these large setbacks to adequately counteract the requested flexibilities (1-3, above) for the heights of the building, the steeple and spire, and the light poles.

Planning staff supports the requested flexibility to eliminate the landscaped peninsulas in each parking row (4, above), in exchange for providing the double-wide landscaped areas at the ends of each aisle.

Planning staff also recognizes the current relatively undeveloped setting of the subject property, and the nature of the land use, and supports the requested three full years to complete all on-site landscaping following initial building occupancy (5, above).

Planning staff also supports the use of a mountable curb and gutter system on this site providing significant building and pavement setbacks (6, above).

Planning staff also supports the requested two full years to complete all on-site paving following the completion of Harmony Drive paving along the full length of the site frontage (7, above). However, staff recommends that the western fifty feet of the entry drive be paved in asphalt or concrete within six months of building initial occupancy – to greatly reduce the tracking of gravel, mud, and sand from the subject property onto Harmony Drive. The specific design of the transition within the Harmony Drive right-of-way should be subject to City Engineering and Public Works staff approval.

Planning staff recommends denial of the requested flexibility for two freestanding monument signs, (8, above) noting that such flexibility has never been granted for a use in the City, and that the significant height of the building and steeple will provide sufficient awareness of the church's location.

Required Plan Commission Findings on the GDP for Recommendation to Common Council:

A proposed GDP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed GDP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map. And;

3. The proposed GDP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Or:

- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
 1. The proposed GDP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
 2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
 - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
 - b. A mistake was made in mapping on the Official Zoning Map;
 - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
 - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
 3. The proposed GDP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the General Development Plan:

1. Staff recommends that the Plan Commission recommend *approval* of the GDP as submitted, including the granting of requested zoning ordinance Flexibilities 1 through 6, above; the granting of requested zoning ordinance Flexibility 7 with the requirement for pavement of the driveway approach for 50 feet; and the denial of requested zoning ordinance Flexibility 8 regarding two monument signs.
2. Staff recommends the affirmative set of findings provided above, noting that the proposal meets Factor 3. Specifically, the proposal maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property, by enabling the development of a classic country church design near the southeastern edge of the City.
3. Finally, staff recommends that *no additional conditions of approval* be attached.

Michael A. Slavney, FAICP
City Planning Consultant

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 17, 2017

Agenda Item 13b

Applicant:

Geneva Lake Christian Church
SE corner of Bloomfield Rd. & Harmony Dr.

Request:

Proposed Precise Implementation Plan
for an Indoor Institutional land use --
(worship facility) on 6.85 acres

Represented by:

William R. Henry, Architect/P.E.
Kehoe-Henry & Associates, Inc.
25 North Wisconsin Street
Elkhorn, WI 53121

Description:

The applicant is submitting a Precise Implementation Plan (PIP) request that provides development details for the proposed church in the Symphony Bay subdivision on the north side of Bloomfield Road, east of Harmony Drive. The specific request is to approve the submitted PIP project, including 15 requested items of flexibility from the City's Zoning Ordinance.

The proposed PIP is generally consistent with the Concept Plan presented to the Plan Commission at its March 2017 meeting, and with the GDP presented to the Plan Commission at its June 2017 meeting. The proposed PIP varies from the Concept Plan in that the proposed main access drive has been shifted south along Harmony Drive to align with the northern access drive of the Golden Years senior facility. The PIP also adds a proposed storage accessory building and trash enclosure near the northeast corner of the parking lot, and adjusts the number of long-range parking spaces. Other changes are minor.

A full description of the PIP project (dated May 15, 2017) is contained within the Plan Commission Packet. The City-Wide Location Map and the zoomed-in air photo, in the Plan Commission packet, depict the outlines of the subject property. The proposed building will contain 12,344 square feet of floor area – with 6,152 square feet on the first (main) floor, and 6,192 square feet on the lower level. The northeast side of the building will provide the main entrance and connection to the parking lot, with the upper Main Floor level of the building at grade. The southeast side of the building will have both the upper and lower levels fully exposed.

A walk-out will connect the lower level to a large patio on the south side of the building. A playground area is proposed east of the building. The parking lot is designed to initially accommodate 54 spaces, with an additional expansion area of 18 more spaces on the north side of the lot. Thus, under the submitted PIP Site Plan 72 parking spaces are provided for, whereas 77 parking spaces are required by the 230-seat capacity of the main worship area.

The proposed building's exterior design and materials are designed to create a traditional "country church" character with a steeply-pitched roof with dormer sidelights and tall steeple.

Report on the Geneva Lakes Christian Church PIP continues on the next page.

Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the Single-Family-Four (SR-4) zoning district provides that comparison zoning district. The project submittal addresses requesting 15 such flexibilities in the PIP submittal of May 15, 2017:

1. The maximum *height of the building* is requested to be 48.5 feet – which results from the walk-out exposure of the lower level and the steeply-pitched roof – compared to the 35-foot maximum height limit in the SR-4 zoning district;
2. The maximum *height of the steeple spire* is requested to be 70.5 feet to achieve the desired country church character, which is increased by the exposed lower level – compared to the 45-foot maximum resulting from adding the standard permitted 10-foot height extension allowed for steeples and related building appurtenances by the zoning ordinance;
3. The minimum *landscaped peninsula requirements for parking rows* containing ten or more parking spaces is requested to be waived for each row of parking – balanced by providing double-wide landscaped areas at the end of each parking row;
4. The use of a *mountable curb and gutter design*, rather than the standard curb and gutter, to better achieve stormwater management quality objectives;
5. The *absence of fencing around the playground/playfield area* – in recognition of the large setbacks from the playground area to the surrounding road network;
6. The submittal notes that at this time, no proposal or flexibility for a food pantry, child or adult daycare center or other land use is part of this proposed PIP;
7. The submittal notes the addition of an accessory building to the GDP submittal. The 600 square-foot maximum floor area does not need any flexibility;
8. The maximum *time delay of 1 year after building occupancy for all required on-site landscaping* is requested to be extended to three full years;
9. The application requests the consideration for a *reduction in the amount of required landscaping* – due to not developing the entire site. The landscaping plan currently provides the required amounts of landscaping for each of the four generating factors;
10. The PIP application acknowledges the City Staffs’ recommendation to not grant flexibility on the requirement to complete on-site paving for the vehicle circulation areas within one year of building occupancy, so as to eliminate the tracking of gravel and sediments into Harmony Drive;
11. Use of an *interior grease trap without a garbage disposal*, because the kitchen will be limited to a service kitchen only;
12. The request that *blanket flexibilities* be granted for all requirements in conflict with the proposed Concept Plan. STAFF NOTES THAT THIS REQUEST CANNOT BE GRANTED. ALL FLEXIBILITIES MUST BE EXPLICITLY REQUESTED IN THE APPLICATION AND GRANTED BY INCLUSION IN THE APPROVING PLAN COMMISSION AND COMMON COUNCIL MOTIONS.

Report on the Geneva Lakes Christian Church PIP continues on the next page.

13. The maximum *number of freestanding signs per lot* is requested to be a total of two signs – compared to the maximum of one freestanding monument sign for all lots in the City;
14. The maximum *parking lot light fixture mounting heights* are requested to be 18 feet – compared to the 8-foot tall mounting height required in all residential zoning districts; and.
15. Placement of a fire hydrant approximately *60 feet* from the fire department connection, rather than the 50-foot City requirement.

All other zoning requirements are met, or in most cases met with “room to spare”.

Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Precise Implementation Plan.

As part of the consideration of a requested Planned Development / Precise Implementation Plan (PIP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed PIP;
- Include *findings* required by the Zoning Ordinance for PIP; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The Plan Commission had a favorable reaction to the proposed Concept Plan for the proposal when presented at the March 2017 meeting. The proposed building’s design and character will provide a strong gateway feature for the Symphony Bay neighborhood, and reflects the City’s desired small city character emphasized by the Comprehensive Plan.

The Planning Staff has the following comments in relation to the list of requested flexibilities from the Zoning Ordinance:

- A. The proposed site plan is carefully designed to respond to the grade of the site, and provides generous setbacks for the building and parking lot in all directions. Planning staff considers these large setbacks to adequately counteract the requested flexibilities (requested Flexibilities 1, 2 and 14, above) for the heights of the building, the steeple and spire, and the light poles.
- B. Planning staff supports the requested flexibility to eliminated the landscaped peninsulas in each parking row (Flexibility 3), in exchange for providing the double-wide landscaped areas at the ends of each aisle -- as depicted on the Site Plan.
- C. Planning staff also recognizes the current relatively undeveloped setting of the subject property, and the nature of the land use, and supports the requested 3 full years to complete all on-site landscaping following initial building occupancy (Flexibility 8).

Report on the Geneva Lakes Christian Church PIP continues on the next page.

- D. Planning Staff also supports the requested reduction in the requirements for Street Frontage Landscaping to one-half (50%) of the typical requirement based on the length of street frontage for the lot (Flexibility 9) – noting that about one-half of the lot’s length will not be developed with buildings or pavement. Staff notes that the other three landscaping formulas are based on actual building perimeter, actual building footprint area, and actual paved areas, and recommends that no flexibility be granted for those requirements.
- E. Planning staff also supports the requested use of a mountable curb and gutter system (Flexibility 4), or flat concrete curbs in some area on this site, noting the potential to improve stormwater.
- F. Planning staff also supports the requested waiver of playground fencing (Flexibility 5). Staff notes that the intervening stormwater basin and swale, combined with the large setbacks of the play area, will provide sufficient separation from the adjacent roads.
- G. City staff appreciates the applicant’s agreement to comply with on-site paving requirements, including the requirement to complete all on-site paving for vehicle circulation and parking areas within one year of building occupancy (Flexibility 10). This flexibility is not needed.
- H. City staff supports the requested flexibility to allow for an interior in-floor grease trap, combined with no garbage disposal (flexibility 11).
- I. City staff notes that the proposed delayed construction of the accessory building and trash enclosure does not require flexibility (Flexibility 7). Staff notes that the exterior accessory building and trash enclosure materials must either match one or more of the exterior building materials on the main structure (such as the proposed LP Smart Siding), or be some other exterior material permitted in Section 98-718 of the Zoning Ordinance. These minor accessory structures can be approved by City Staff, without the need for an amended PIP.
- J. Although not explicitly requested, Planning Staff supports the reduction in the number of initially required paved parking spaces. Staff notes that adequate room is present along the northern edge of the parking lot to provide future spaces as noted on the Site Plan, including some additional spaces not currently depicted.
- K. Planning staff recommends denial of the requested flexibility to increase hydrant spacing from the fire department connection from 50 feet to 60 feet (Flexibility 15), noting that this is an essential public health and safety requirement city-wide.
- L. Planning staff recommends denial of the requested flexibility for two monument signs, (Flexibility 13) noting that such flexibility has never been granted for a use in the City, and that the significant height flexibilities requested for the building and the steeple will provide sufficient awareness of the church’s location. Staff notes that a small on-site directional sign is permitted by the Zoning Ordinance at the main driveway on Harmony Drive.
- M. Planning staff recommends denial of the requested blanket flexibility (Flexibility 12) for any other standards not met by the Concept Plan, noting that the main purpose of the City of Lake Geneva’s Planned Development Ordinance is to clearly and explicitly identify requested flexibilities, so that each may be considered and acted upon in a clear manner.
- N. Planning staff notes that in regard to future additional land uses on the site (Flexibility 6), any additional land use not depicted or described in the GDP and PIP submittals will require an amended GDP and PIP which grant such additional land uses, including, but not limited to any school, daycare, or food pantry – whether operated by the church or another entity. Planning staff recommends denial of this requested flexibility.

Report on the Geneva Lakes Christian Church PIP continues on the next page.

Required Plan Commission Findings on the PIP for Recommendation to Common Council:

A proposed PIP must undergo the review standards for all Conditional Use Permits, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Factors 1-6 of the following.
1. The proposed PIP (the use in general, independent of its location) is in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. The proposed PIP (in its specific location) is in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed PIP, in its proposed location and as depicted on the required site plan (see (3)(d), above), does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed PIP maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed PIP is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed PIP outweigh all potential adverse impacts of the proposed PIP (as identified in Items 1. through 5., above), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Factors 1-6 of the following:
1. The proposed PIP (the use in general, independent of its location) is not in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. The proposed PIP (in its specific location) is not in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed PIP, in its proposed location and as depicted on the required site plan (see (3)(d), above), does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation

of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed PIP does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed PIP is located in an area that will not be adequately served by, and/or will impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed PIP do not outweigh all potential adverse impacts of the proposed PIP (as identified in Items 1. through 5., above), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the PIP: Staff recommends the Plan Commission adopt a motion to recommend approval of the PIP, subject to the following findings and recommended rulings on requested flexibilities:

1. Staff recommends the affirmative set of findings provided above, noting that the proposal meets Factors 1-6. Specifically, the proposed use in its specific location is in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan and other adopted City policies; does not result in a substantial impact on nearby property; provides the Middle School with needed storage space; and will not impact City improvements, facilities, utilities or services. The potential public benefits of the proposed PIP outweigh all potential adverse impacts of the proposed PIP.
2. Staff recommends approval of the PIP, including most, but not all, of the requested flexibilities – as addressed explicitly in 2.a) through 2.d)., below:
 - a) Staff recommends granting approval of the requested Flexibilities 1, 2, 3, 4, 5, 8, 11, and 14 as listed on pages 2 and 3 of this report;
 - b) Staff recommends granting partial approval of requested Flexibility 9, as listed on page 3 of this report by allowing for the reduction in required Street Frontage Landscaping to requiring only 50% of the landscaping points based on the street frontages of Harmony Drive and North Bloomfield Road;
 - c) Staff recommends granting conditional approval of the requested Flexibility 7, as listed on page 3 of this report to bring forward detailed Site Plans and Building Exterior Plans for the accessory building and the trash enclosure at a later date for City Staff approval, subject to compliance of both structures with all provisions of the Zoning Ordinance as determined through Staff review;
 - d) Staff recommends not granting approval of requested Flexibilities 6 (to allow future unspecified land uses on the site), 10 (to delay site paving), 12 (to provide blanket flexibilities for unspecified items shown on the Concept Plan), 13 (to allow for two monument signs on the subject property), and 15 (to increase the distance between the on-site fire hydrant to the fire department connection from 50 feet to 60 feet) as listed on pages 2 and 3 of this report.
 - e) Staff recommends the depiction of an additional 5 future potential parking spaces to meet the minimum parking space requirement based on the capacity of the Worship Area.

Michael Slavney, FAICP; City Planning Consultant

KEHOE - HENRY & ASSOCIATES, INC.
ARCHITECTURE & ENGINEERING

25 North Wisconsin Street
ELKHORN, WISCONSIN 53121

Daniel R. Kehoe, Architect
Voice 262-723-2660
Fax 262-723-5986

William R. Henry, Architect - P.E.
Voice 262-723-4399
Fax 262-723-4299

May 19, 2017

City of Lake Geneva

626 Geneva Street
P. O. Box 340
Lake Geneva, WI 53147

Attn: Mr. Blaine Oborn
City Administrator

Re: Proposed New Building for
GENEVA LAKES CHURCH
Lake Geneva, Wisconsin
Job No. 1411

Dear Mr. Oborn:

The Geneva Lakes Church wishes to construct a new worship facility on vacant land located at the northeast corner of Bloomfield Road and Harmony Drive, which is presently under construction. Attached please find 25 copies of the final combined General Development Plan and Precise Implementation Plan application packet for this project, including the following:

- Application for Planned Development Zoning Map Amendment
- Walworth County GIS Land Information Sheet for Parcels ZSF 00231 and 00232
- \$750.00 Application Fee (our check no. 42713 – previously hand delivered to your office)
- Agreement for Services (signed by Applicant/Owner)
- Planned Development Checklist for Step 1: Pre-Application, Step 2: Concept Plan, Step 3: General Development Plan, and Step 4: Precise Implementation Plan
- Location Map/City of Lake Geneva Land Use Plan Map (11" x 17")
- Map of lands within 300' of site
- List of owners within 300' of site

May 19, 2017

Mr. Blaine Oborn, City Administrator

- Mailing labels of owners within 300' of site
- Combined General Development and Precise Implementation Plans (sheets C-1 through C-4, D-1, D-3, L-1, L-2, A-1 through A-4, and PH-1, 11" x 17")
- Exterior light fixture cut sheets
- Proposed monument and directional signage

Also attached is one full size (24" x 36") set of combined General Development and Precise Implementation Plan drawings (sheets C-1 through C-4, D-1, D-3, L-1, L-2, A-1 through A-4, and PH-1). An electronic copy (PDF) is also being emailed to your office.

The Geneva Lakes Church owns approximately 7 acres of vacant land within the Symphony Bay (former Southland Farms) Development. It proposes to construct a new one-story church with a ground floor exposed on the southeast side.

As directed by Mr. Mike Slavney, the proposed Planned Development project shall be compared to the non-residential intensity and bulk requirements of the SR-4 Single-Family Residential District. The proposed floor area ratio (FAR) is approximately .040, well below the SR-4 maximum FAR of .15. The proposed impervious surface area ratio is approximately 18.8%, including the future 18 parking stalls, accessory building, and dumpster enclosure shown on the site plan. This results in a landscape surface ratio (LSR) well above the SR-4 minimum LSR of 50%.

While being well within the FAR and LSR limits, the Geneva Lakes Christian Church does request exemptions to the following SR-4 non-residential intensity and bulk requirements.

1. The proposed building height is approximately 48.5 feet from grade at the ground floor patio to the ridge on the southeast elevation facing Bloomfield Road, which will exceed the SR-4 maximum building height of 35 feet. However, as viewed from the primary street, the proposed building height would be approximately 35.5 feet from grade to the ridge on the northwest elevation facing Harmony Drive, which will exceed the SR-4 maximum building height by only approximately 0.5 feet.
2. Church spires may exceed the maximum height regulation by 10 feet, or higher with approval. The proposed steeple height is approximately 70.5 feet above the ground floor, which will exceed the SR-4 maximum height of 45 feet. Again, as viewed from the primary street, the proposed steeple height would be approximately 57.5 feet above the first floor.
3. We request exemption from the landscaped island or peninsula requirements. This would create obstacles to efficient snow removal.
4. A temporary storm water management feature to serve the Symphony Bay construction project is being proposed by the developer for the southeast corner of the church site.

The developer intends to abandon this feature in place at the completion of Phase I of the Symphony Bay Development. The church intends to redevelop this feature into a "dry pond" to permanently serve the church site. We understand the developer will construct a drainage swale completely within the Bloomfield Road right-of-way from the storm outlet shown on the drawings to the east beyond the east property line of the church parcel. The developer has stated that the four building sites shown along the northeast property line of the church parcel will not be developed until Phase IV of the Symphony Bay Development. Upon completion of Phase I, the developer shall regrade this area so that no storm water crosses the property line onto the church's property. Also, when the four building sites are developed in the future, the developer has stated that no storm water from this area shall be allowed to enter the church property. We request that the city keep these commitments for work within the Bloomfield Road right-of-way and development of the building sites to the northeast in mind as development of Symphony Bay moves forward now and in the future. The church grading plan is still being developed, but we hope to drain our project naturally to the aforementioned "dry pond" in the southeast corner of the church site. This could potentially reduce the need for concrete curb and gutter, and therefore, we request exemption from providing complete curb and gutter at all edges of pavement. We further propose to use a mountable curb and gutter design.

5. The church is proposing an outdoor play and recreation area, which may consist of modest playground equipment and portable soccer goal(s), in addition to the basketball backboard shown on sheet C-3. At this time, the church does not plan to install any fencing.
6. At this time, the church does not foresee allowing any outside groups to operate within the proposed building on a regular basis, such as a food pantry, child or adult daycare center, etc.
7. The church plans to erect a future accessory building of not to exceed 600 square feet. A future dumpster enclosure is also planned adjacent to the accessory building. Based on the future needs of the church, either of these project components may be constructed independent of the other.
8. The church requests up to 3 years after occupancy vs. 1 year to complete the landscaping work. Lawn work shall be completed as part of the initial project to stabilize the site.
9. The church also requests exemptions from some of the landscape requirements. Given the fact that the site is approximately 7 acres with large amounts of street frontage along Bloomfield Road and Harmony Drive, the amount of landscaping required to fully comply with the city ordinance is quite extensive. We understand the developer of Symphony Bay will be installing parkway trees along Harmony Drive spaced at approximately 80' to 100' intervals. The church requests that the city accept the developer's parkway trees as meeting the street frontage requirements along Harmony Drive for the church project. The church also requests that the city waive the street frontage requirements along Bloomfield Road. As noted in Item 4 above, the developer

will be creating a drainage swale within the Bloomfield Road right-of-way east of its proposed storm outlet. This will most likely require that 5 existing trees along Bloomfield Road be removed. The church proposes to place new trees on the Bloomfield Road side of the new building as shown on sheet L-1, which have a landscape point total equal to or greater than the 5 existing trees that will be removed. As requested, the revised required point totals and supplied point totals calculations have been added to sheets L-1 and L-2.

10. We understand that Harmony Drive may not be fully improved to just north of Gallant Drive until 2019. The church is proposing its entry drive location aligned with the north service drive to Golden Years. However, it is our understanding that the city shall insist that the church complete the paving work for its parking lot and drives within 1 year of occupancy.
11. The proposed kitchen will function as a serving kitchen only. Meals to be served are potluck style with members of the church preparing a dish to pass at home and bringing it to the serving kitchen. No garbage disposal will be provided. Therefore, the church proposes to install an interior, in-floor grease interceptor. As requested, the new sanitary manhole to be located approximately 60 feet northwest of the new building, as shown on sheet C-4, will be constructed as a sampling manhole.
12. Exemptions shall be required for any other non-residential performance standard that does not presently exist on the site or is in conflict with the proposed concept plans submitted herewith.
13. Exemptions are also requested to the signage regulations. The church proposes to install two signs on the project. A monument type sign is to be constructed near the intersection of Bloomfield Road and Harmony Drive. It will have fixed text (no electronic messages) and be illuminated by ground mounted light fixtures. The other sign shall be similar in style, but a smaller directional sign to identify the entry drive to the project. It, too, will be illuminated by ground mounted light fixtures. A rendering of the two signs is included in the submittal packet. While the combined sign face area will be less than the permitted 50 square feet, the overall area of the signs with their monument bases and mountings will be greater. Also, due to its distance from the center of the boulevard entrance at the intersection of Harmony Drive and Bloomfield Road, the overall height of the sign above grade is proposed to be slightly over the permitted height of 8 feet. Information on the ground mounted light fixtures is included with the exterior lighting information.
14. As shown on the exterior lighting/site plan included with the final combined General Development Plan and Precise Implementation Plan submittal packet, an exemption will be required from the SR-4 District maximum pole mounted fixture height of 8 feet. The total height of the pole mounted fixtures is proposed at 18 feet.
15. As requested, a fire hydrant is to be provided on the site. The proposed location is northwest of the new building adjacent to the three parking stalls near the main entry.

Page 5
May 19, 2017
Mr. Blaine Oborn, City Administrator

This location will be approximately 60 feet from the fire department connection for the fire sprinkler system, which will exceed the city's recommended distance of 50 feet.

16. Please see Notes 1 through 3 within the Step 4: PIP portion of the attached checklist outlining additional information to be submitted.

We understand that we are not required to attend the staff meeting on June 19, 2017. We shall be on the plan commission agenda for June 19, 2017 for both the General Development Plan and Precise Implementation Plan review public hearings.

Very truly yours,

KEHOE-HENRY & ASSOCIATES, INC.

William R. Henry

William R. Henry
Architect – P. E.

Enclosures

cc: Mr. Mike Slavney
Ms. Sabrina Waswo
Pastor Chris Law
Mr. Gary Powers
Mr. Brian Pollard
File

**APPLICATION FOR ZONING MAP AMENDMENT FOR PLANNED DEVELOPMENT
ZONING INCLUDING GENEVRA DEVELOPMENT PLAN APPROVAL (PD/GDP) AND
ONE PRECISE IMPLEMENTATION PLAN APPROVAL (PD/PIP)**

Name of Applicant: Geneva Lakes Christian Church, Chris Law, Pastor

Address of Applicant: W2906 Willow Road

P.O. Box 307

Lake Geneva, WI 53147

Telephone No. (262) 248-6411

~~Fax~~ and/or email: () chris@genevalakes.org

Name of Owner: Same as Applicant

Address of Owner: _____

Telephone No. ()

Fax and/or email: ()

Subject property address and/or complete legal description (use attached sheet if necessary):

See attached Land Information sheets from Walworth County GIS

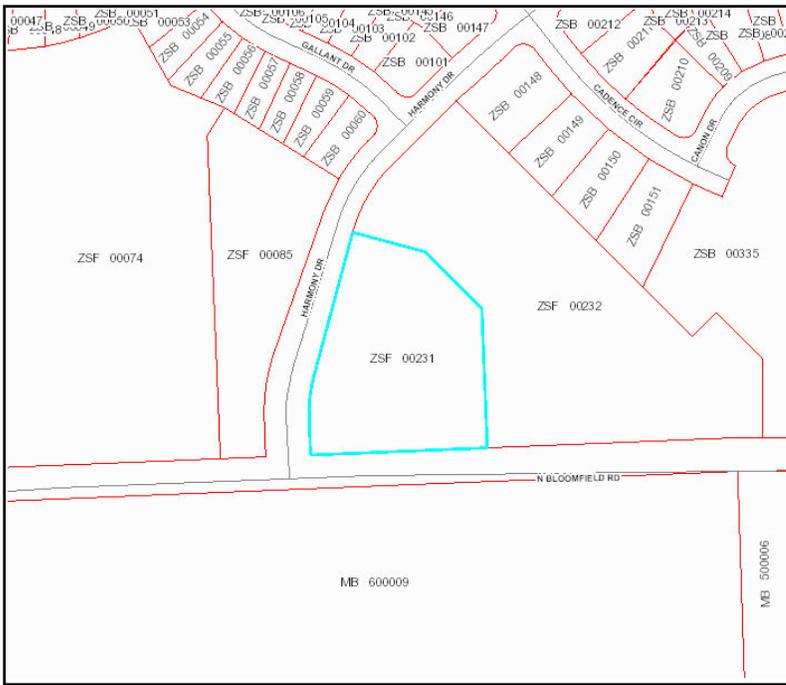
website for Parcels ZSF 00231 & 00232

Current Zoning District: PD - Planned Development

Fee of \$750.00 payable upon filing application.

1/23/17
Date

Chris Law
Signature of Applicant



Walworth County, WI Land Information Division

Property Details

Municipality: CITY OF LAKE GENEVA
 Parcel Number: ZSF 00231
 School District: 2884-UHS LAKE GENEVA-GENOA CI
 Zoning District:

Owner Information

Owner Name: GENEVA LAKES CHRISTIAN CHURCH
 Owner Name 2:
 Mailing Address: PO BOX 307

LAKE GENEVA WI, 53147

2016 Valuation Information

Land: \$0.00
 Improvements: \$0.00
 Total: \$0.00
 Acres: 2.2800
 Fair Market Value: \$0.00
 Assessment Ratio: 1.0014714530
 Mill Rate: 0.0212805480

Tax Information

First Dollar Credit: \$0.00	School Credit: \$0.00
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$0.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$0.00	Woodland Tax Law Taxes: \$0.00
Net Tax: \$0.00	

Tax Jurisdictions

CITY OF LAKE GENEVA \$0.00
 GATEWAY TECHNICAL \$0.00
 SCH LAKE GENEVA J 1 \$0.00
 WALWORTH COUNTY \$0.00
 STATE OF WISCONSIN \$0.00
 UHS LG-GENOA CITY \$0.00

Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)
 State Representative: Tyler August(R) (32nd District)
 State Senator: Stephen Nass(R) (11th District)
 US Representative: Paul Ryan(R) (1st District)
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

Special Assessments / Charges

Soil Classification

<u>Soil Type</u>	<u>Soil Name</u>	<u>Acres</u>
MpB	MCHENRY SILT LOAM, 2 TO 6 PERCENT SLOPES	2.2806

Property Address

1015 N BLOOMFIELD RD LAKE GENEVA

Legal Description

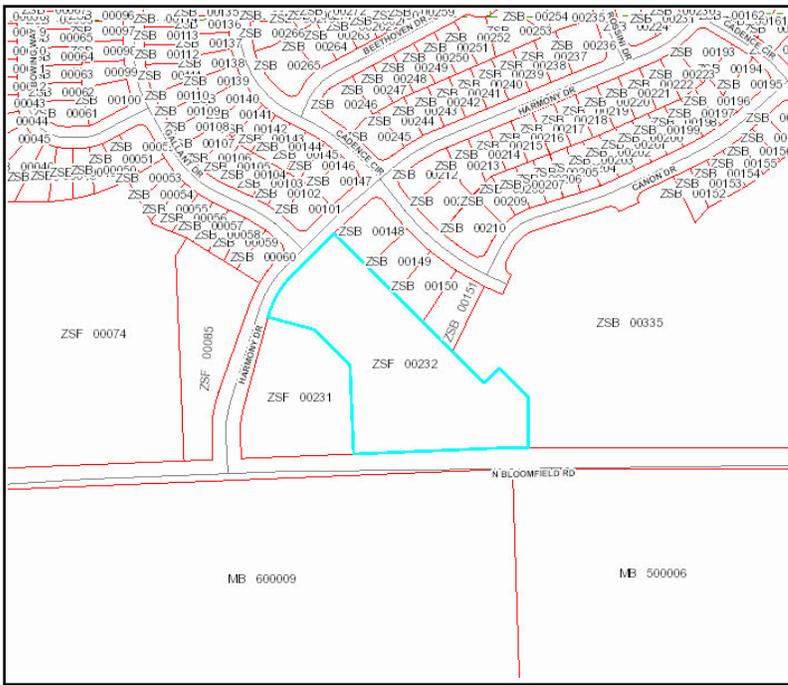
LOT 231 SOUTHLAND FARMS, A SUBDIVISION AS RECORDED IN CAB D SLIDE 139 WCR. LOCATED IN NE 1/4 SEC 6 & NW 1/4 SEC 5 T1N R18E. 99344 SQ FT CITY OF LAKE GENEVA OMITTS ZYUP-174, ZYUP-173, ZYUP-149A, ZYUP-149C, ZYUP-149D, ZA1027-1.

Disclaimer

The information provided in this property information page is not official information. All official tax information is recorded in the Walworth County Treasurer's Office. To verify tax payment/payoff status, contact the Walworth County Treasurer's Office at 262-741-4251.



Walworth County, WI Land Information Division



Property Details

Municipality: CITY OF LAKE GENEVA
 Parcel Number: ZSF 00232
 School District: 2885-SCH LAKE GENEVA J 1
 Zoning District:

Owner Information

Owner Name: GENEVA LAKES CHRISTIAN CHURCH
 Owner Name 2:
 Mailing Address: PO BOX 307

 LAKE GENEVA WI, 53147

2016 Valuation Information

Land: \$0.00
 Improvements: \$0.00
 Total: \$0.00
 Acres: 4.8400
 Fair Market Value: \$0.00
 Assessment Ratio: 1.0014714530
 Mill Rate: 0.0212805480

Tax Information

First Dollar Credit: \$0.00	School Credit: \$0.00
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$0.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$0.00	Woodland Tax Law Taxes: \$0.00
Net Tax \$0.00	

Tax Jurisdictions

STATE OF WISCONSIN \$0.00
 CITY OF LAKE GENEVA \$0.00
 GATEWAY TECHNICAL \$0.00
 UHS LG-GENOA CITY \$0.00
 WALWORTH COUNTY \$0.00
 SCH LAKE GENEVA J 1 \$0.00

Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)
 State Representative: Tyler August(R) (32nd District)
 State Senator: Stephen Nass(R) (11th District)
 US Representative: Paul Ryan(R) (1st District)
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

Special Assessments / Charges

Soil Classification

<u>Soil Type</u>	<u>Soil Name</u>	<u>Acres</u>
MpB	MCHENRY SILT LOAM, 2 TO 6 PERCENT SLOPES	4.5706

Property Address

Legal Description

LOT 232 SOUTHLAND FARMS, A SUBDIVISION AS RECORDED IN CAB D SLIDE 139 WCR. LOCATED IN NE 1/4 SEC 6 & NW 1/4 SEC 5 T1N R18E. 210694 SQ FT CITY OF LAKE GENEVA OMITS ZYUP-174, ZYUP-173, ZYUP-149A, ZYUP-149C, ZYUP-149D, ZA1027-1.

Disclaimer

The information provided in this property information page is not official information. All official tax information is recorded in the Walworth County Treasurer's Office. To verify tax payment/payoff status, contact the Walworth County Treasurer's Office at 262-741-4251.

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Chris Law, Pastor, as applicant/petitioner for:

Name: Geneva Lakes Christian Church

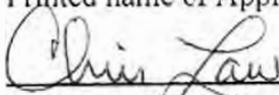
Address: W2906 Willow Road, P.O. Box 307
Lake Geneva, WI 53147

Phone: 262-248-6411

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 20th day of January, 2017.

Chris Law, Pastor
Printed name of Applicant/Petitioner


Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
 PLANNED DEVELOPMENT REVIEW AND APPROVAL (Per Section 98-914)**

This form should be used by the Applicant as a guide to submitting a complete application for a planned development and by the City to process said application. Parts II, III, V, and VII should be used by the Applicant to submit a complete application; Parts I - VIII should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

Pre-submittal staff meeting scheduled:

Date of Meeting: 2-20-17 Time of Meeting: 4:00 p.m. Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

_____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

_____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

_____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

_____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

_____ Application form filed with Zoning Administrator: Date: _____ by: _____

_____ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

_____ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

**II. APPLICATION SUBMITTAL PACKET REQUIREMENTS
 PD PROCESS STEP 1: PRE-APPLICATION**

Step 1 does not require the submittal of an application packet; however, Steps 2-4 do require submittal of all draft and final application packets to the Zoning Administrator prior to Plan Commission review.

A. Contact the Zoning Administrator to place an informal discussion item for the PD on the Plan Commission agenda. No details beyond the name of the Applicant and the identification of the discussion item as a PD is required to be given in the agenda.

B. Engage in an informal discussion with the Plan Commission regarding the potential PD. Appropriate topics may include: location, project themes and images, general mix of dwelling unit types and/or land uses being considered, approximate residential densities, and non-residential intensities, general treatment of natural features, general relationship to nearby properties and public streets, and relationship to the Comprehensive Plan.

NOTE: Points of discussion and conclusions reached in this stage of the process shall in no way be binding upon the Applicant or the City, but should be considered as the informal, non-binding basis for proceeding to the next step.

**APPLICATION SUBMITTAL PACKET REQUIREMENTS
PD PROCESS STEP 2: CONCEPT PLAN**

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓
Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

↓

_____ A. Provide Zoning Administrator with draft PD Concept Plan Submittal Packet for determination of completeness prior to placing the proposed PD on the Plan Commission agenda for Concept Plan review. The submittal packet shall contain all of the following items:

_____ (1) **A location map of the subject property** and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

_____ (2) **A general written description of proposed PD** including:

_____ General project themes and images;

_____ The general mix of dwelling unit types and/or land uses;

_____ Approximate residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

_____ The general treatment of natural features;

_____ The general relationship to nearby properties and public streets;

_____ The general relationship of the project to the Master Plan;

_____ An initial draft list of zoning standards which will not be met by the proposed PD and the location(s) in which they apply and, a complete list of zoning standards which will be more than met by the proposed PD and the location(s) in which they apply. Essentially, the purpose of this listing shall be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility; and,

_____ (3) **A written description of potentially requested exemption** from the requirements of the underlying zoning district, in the following order:

1. Land Use Exemptions;

2. Density and Intensity Exemptions;

3. Bulk Exemptions;

4. Landscaping Exceptions;

5. Parking and Loading Requirements Exceptions;

_____ (4) **A conceptual plan drawing** (at 11" x 17") of the general land use layout and the general location of major public streets and/or private drives. The Applicant may submit copies of a larger version of the plan in addition to the 11" x 17" reduction.

**FINAL APPLICATION PACKET INFORMATION
PD PROCESS STEP 2: CONCEPT PLAN**

- _____ **Receipt of 5 full scale copies in blueline or blackline
of complete Final Application Packet by Zoning Administrator:** **Date: _____ by: _____**

- _____ **Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator:** **Date: _____ by: _____**

- _____ **Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk:** **Date: _____ by: _____**

**APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 3: GENERAL DEVELOPMENT PLAN (GDP)**

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

_____ A. Provide Zoning Administrator with a draft GDP Submittal Packet for determination of completeness prior to placing the proposed PD on the Plan Commission agenda for GDP review. The submittal packet shall contain all of the following items:

_____ (1) **A location map of the subject property** and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

_____ (2) **A map of the subject property** for which the PD is proposed:

_____ Showing all lands within 300 feet of the boundaries of the subject property;

_____ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

_____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

_____ Map and all its parts clearly reproducible with a photocopier;

_____ Map size of 11" x 17" and map scale not less than one inch equals 800 feet;

_____ All lot dimensions of the subject property provided;

_____ Graphic scale and north arrow provided.

_____ (3) **A general written description** of proposed PD including:

_____ General project themes and images;

_____ The general mix of dwelling unit types and/or land uses;

_____ Approximate residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

_____ The general treatment of natural features;

_____ The general relationship to nearby properties and public streets;

_____ The general relationship of the project to the Master Plan,

_____ A statement of Rationale as to why PD zoning is proposed. This shall identify barriers that the Applicant perceives in the form of requirements of standard zoning districts and opportunities for community betterment the Applicant suggests are available through the proposed PD zoning.

- A complete list of zoning standards which will not be met by the proposed PD and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PD and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.
 - A written description of potentially requested exemption from the requirements of the underlying zoning district, in the following order:
 1. Land Use Exemptions;
 2. Density and Intensity Exemptions;
 3. Bulk Exemptions;
 4. Landscaping Exceptions;
 5. Parking and Loading Requirements Exceptions.
- (4) **A General Development Plan Drawing** at a minimum scale of 1"=100' (11" x 17" reduction shall also be provided by Applicant) of the proposed project showing at least the following information in sufficient detail to make an evaluation against criteria for approval:
- A conceptual plan drawing (at 11" x 17") of the general land use layout and the general location of major public streets and/or private drives. The Applicant may submit copies of a larger version of the plan in addition to the 11" x 17" reduction;
 - Location of recreational and open space areas and facilities and specifically describing those that are to be reserved or dedicated for public acquisition and use;
 - Statistical data on minimum lot sizes in the development, the approximate areas of large development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
 - Notations relating the written information provided in (3), above to specific areas on the GDP Drawing.
- (5) **General conceptual landscaping plan** for subject property, noting approximate locations of foundation, street, yard and paving, landscaping, and the compliance of development with all landscaping requirements of this Ordinance (except as noted in the listing of exceptions) and the use of extra landscaping and bufferyards;
- (6) **A general signage plan** for the project, including all:
- Project identification signs;
 - Concepts for public fixtures and signs (street light fixtures and/or poles or street sign faces and/or poles) which are proposed to vary from City standards or common practices;

- _____ (2) **A map of the subject property** for which the PD is proposed:
 - _____ Showing all lands within 300 feet of the boundaries of the subject property;
 - _____ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - _____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
 - _____ Map and all its parts clearly reproducible with a photocopier;
 - _____ Map size of 11" by 17" and map scale not less than one inch equals 800 feet;
 - _____ All lot dimensions of the subject property provided;
 - _____ Graphic scale and north arrow provided.

- _____ (3) **A general written description** of proposed PIP including:
 - _____ Specific project themes and images;
 - _____ The specific mix of dwelling unit types and/or land uses;
 - _____ Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;
 - _____ The specific treatment of natural features;
 - _____ The specific relationship to nearby properties and public streets.
 - _____ A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.
 - _____ A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

- _____ (4) **A Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*
 - _____ A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;
 - _____ Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;
 - _____ Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio

and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and

X Notations relating the written information (3), above to specific areas on the GDP Drawing.

X (5)A **landscaping plan for subject property**, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.

see Note 2 (6)A **series of building elevations** for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.

X (7)A **general signage plan** including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.

see Note 3 (8)A **general outline of the intended organizational structure** for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.

X (9)A **written description** which demonstrates the full consistency of the proposed PIP with the approved GDP.

X (10)A **written description** of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,

N/A (11)**Proof of financing capability** pertaining to construction and maintenance and operation of public works elements of the proposed development.

Note 2: Exterior colors and samples to be submitted prior to drafting of staff/planning consultant report for public hearing on June 19, 2017.

Note 3: Storm water management feature maintenance agreement and related documents to be submitted prior to drafting of staff/planning consultant report for public hearing on June 19, 2017.

FINAL APPLICATION PACKET INFORMATION

PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

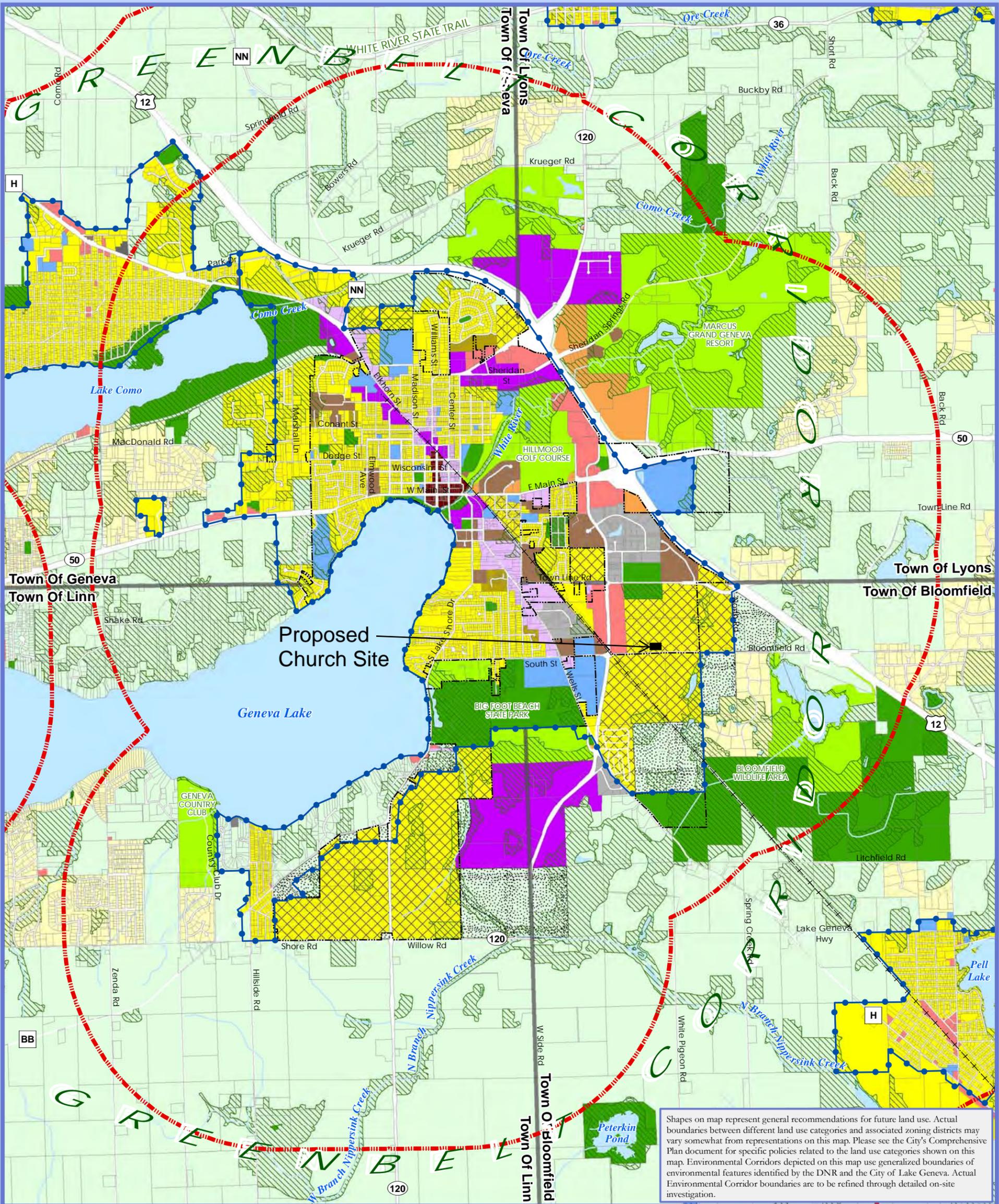
The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/PIP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

____ **Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____

____ **Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____

____ **Certification of complete Final Application Packet and**

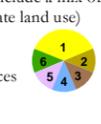
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
____ Class 2 Legal Notice published on _____ and _____ by: _____

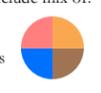


Shapes on map represent general recommendations for future land use. Actual boundaries between different land use categories and associated zoning districts may vary somewhat from representations on this map. Please see the City's Comprehensive Plan document for specific policies related to the land use categories shown on this map. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR and the City of Lake Geneva. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

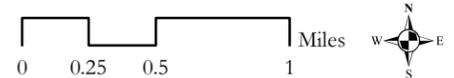
Map 5a: Future Land Use - City of Lake Geneva Comprehensive Plan

Land Use Categories

- Agricultural & Rural
 - Single Family Residential - Exurban
 - Single Family Residential - Urban
 - Two-Family/Townhouse Residential
 - Multi-Family Residential
 - Planned Neighborhood
- *Each "Planned Neighborhood" may include a mix of:
1. Single Family - Urban (predominate land use)
 2. Two-Family/Townhouse
 3. Multi-Family Residential
 4. Institutional & Community Services
 5. Neighborhood Mixed Use
 6. Public Park & Recreation
- 
- Neighborhood Mixed Use
 - Planned Office
 - Planned Business

- Central Business District
 - Planned Mixed Use
- *Each "Planned Mixed Use Area" may include mix of:
1. Planned Office
 2. Multi-Family Residential
 3. Institutional & Community Services
 4. Planned Business
- 
- Planned Industrial
 - General Industrial
 - Institutional & Community Services
 - Private Recreation Facilities
 - Public Park & Recreation
 - Environmental Corridor
 - Long Range Exurban Growth Area

- City of Lake Geneva
- Township Boundary
- Urban Service Area Boundary
- Extraterritorial Jurisdiction Boundary
- Parcels
- Surface Water
- Abandoned Railroad



Adopted: October 24, 2014

Source: SEWRPC, WIDNR, Walworth County LIO, V&A



Geneva Lakes Church - w/in 300 FT

WALWORTH COUNTY, WISCONSIN

0 80 160 320 480 640 Feet

1 inch = 375 feet

Author:
Map Produced on: 4/17/2017

Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD27

Walworth County Information Technology Department
Land Information Division
1800 County Trunk N N
Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NOW ANYWAY, EXPRESS OR IMPLIED, IS MADE REGARDING ACCURACY, QUALITY, COMPLETENESS, SECURITY, RELIABILITY OR USEFULNESS OF THIS INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.

TaxKey	Owner1	Owner2	Address1	Address2	City	State	Zip
MB 500006	MAPLE GLEN LLC		W1951 N BLOOMFIELD RD		LAKE GENEVA	WI	531470000
MB 600009	MAPLE GLEN LLC		W1951 N BLOOMFIELD RD		LAKE GENEVA	WI	531470000
ZSF 00074	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSF 00085	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSF 00231	GENEVA LAKES CHRISTIAN CHURCH		PO BOX 307		LAKE GENEVA	WI	53147
ZSF 00232	GENEVA LAKES CHRISTIAN CHURCH		PO BOX 307		LAKE GENEVA	WI	53147
ZSB 00056	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00057	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00058	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00059	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00060	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00101	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00102	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00103	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00104	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00105	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00143	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00144	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00145	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00146	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00147	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00148	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00149	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00150	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00151	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00210	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00211	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00212	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00245	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00246	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147
ZSB 00335	SOUTHLAND FARMS LLC		875 TOWNLINE RD	STE 103	LAKE GENEVA	WI	53147

MAPLE GLEN LLC
W1951 N BLOOMFIELD RD
LAKE GENEVA, WI 53147

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LAKE GENEVA, WI 53147

SOUTHLAND FARMS LLC
875 TOWNLINE RD
STE 103
LAKE GENEVA, WI 53147-4700

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LAKE GENEVA, WI 53147-4700

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875 TOWNLINE RD
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LAKE GENEVA, WI 53147-4700

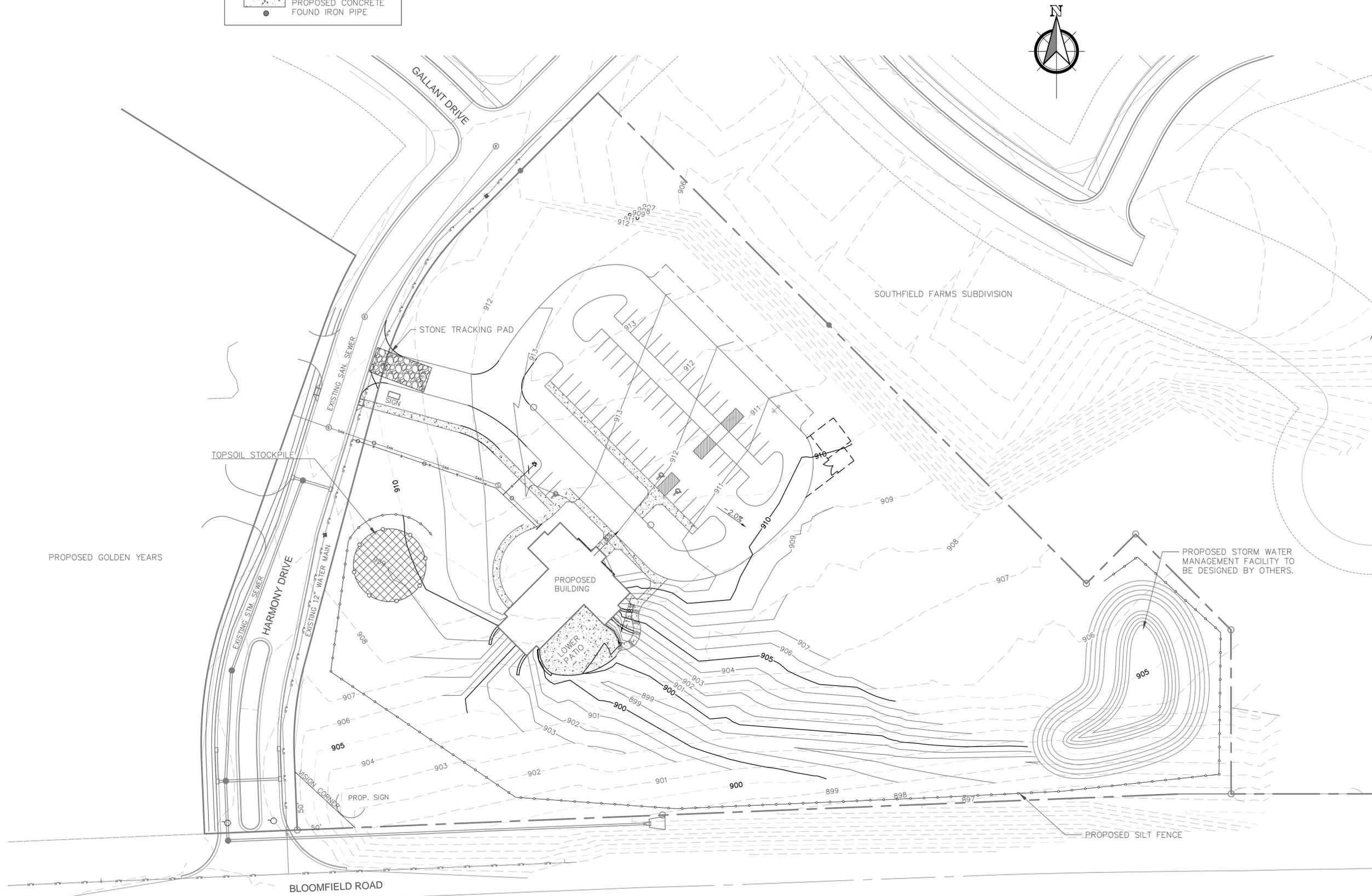
SOUTHLAND FARMS LLC
875 TOWNLINE RD
STE 103
LAKE GENEVA, WI 53147-4700

ACAD.DWG: H: 2014.1411: Working Drawings: Site Plan.DWG DATE: 2-16-17

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- SANITARY SEWER
- WATER MAIN
- HYDRANT
- PROPOSED CONCRETE
- FOUND IRON PIPE

- NOTES:**
1. SEE EROSION CONTROL NOTES ON SHEET D-3.
 2. DEMOLITION TO BE COMPLETED BY DEVELOPER OF PROPOSED SUBDIVISION.
 3. STORM WATER MANAGEMENT FACILITY TO BE CONSTRUCTED BY DEVELOPER OF SOUTHFIELD FARMS SUBD.



1
C-1

EROSION CONTROL PLAN

SCALE: 1" = 40'-0"

0' 20' 40' 80'

North

CARDINAL
ENGINEERING

DESIGNING IN TRUE DIRECTIONS
262-737-8778
www.cardinalengineeringWI.com

REVISIONS

EROSION CONTROL PLAN

New Building For
Geneva Lakes Christian Church
N. Bloomfield Road
Lake Geneva, Wisconsin 53147

KEHOE - HENRY & ASSOCIATES, INC.
ARCHITECTURE & ENGINEERING

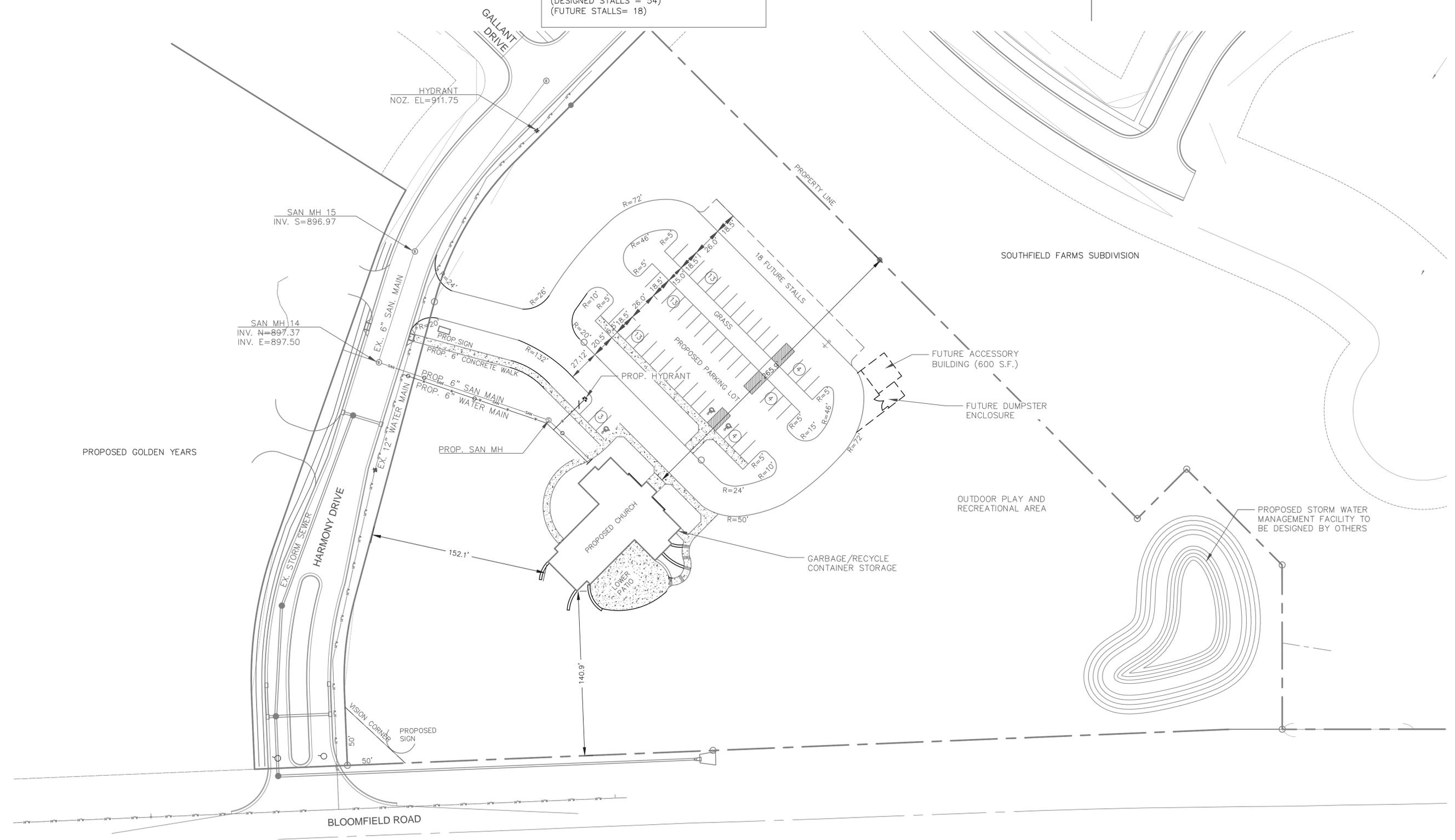
25 NORTH WISCONSIN STREET
ELKHORN, WISCONSIN 53121
TELEPHONE 262.723.4399
FAX 262.723.4299

JOB NO.
1411

DATE
5/15/17

SHEET NO.
C-1

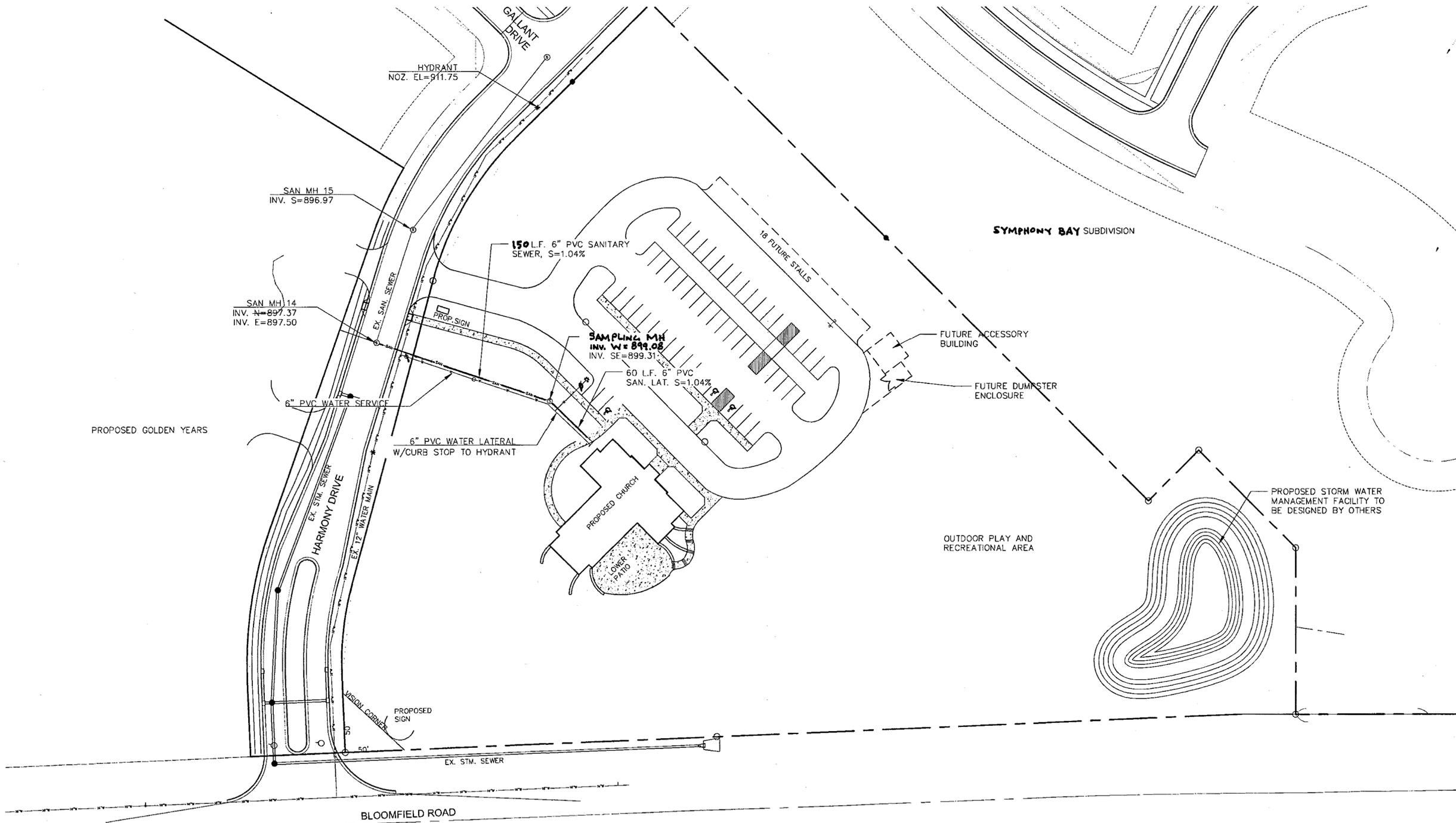
SITE DATA: 6.85 ACRES		
TOTAL AREA =	298,386 S.F.	100%
TOTAL IMPERVIOUS =	56,934 S.F.	19%
(BUILDING = 6,212 S.F.)		
(CONCRETE = 7,337 S.F.)		
(PAVEMENT = 38,589 S.F.)		
(FUTURE ITEMS = 4,796 S.F.)		
TOTAL GREENSPACE =	241,452 S.F.	81%
PARKING STALLS PROPOSED = 72		
(DESIGNED STALLS = 54)		
(FUTURE STALLS = 18)		



1 SITE LAYOUT
 C-2 SCALE: 1" = 40'-0"
 0' 20' 40' 80'



- NOTES:
1. WATER PIPING SHALL BE PVC C900.
 2. SANITARY SHALL BE PVC SDR35.
 3. WATER BENDS MAY BE OMITTED IF THE PIPE MAY BE BENT AT EACH JOINT WITHIN MANUFACTURER'S SPECIFICATIONS.
 4. TRACER WIRE SHALL BE USED AND STUBBED UP AT ALL RISERS AND ACCESSIBLE LOCATIONS.



1
C-4
UTILITY PLAN
SCALE: 1" = 40'-0"
0' 20' 40' 80'



REVISIONS

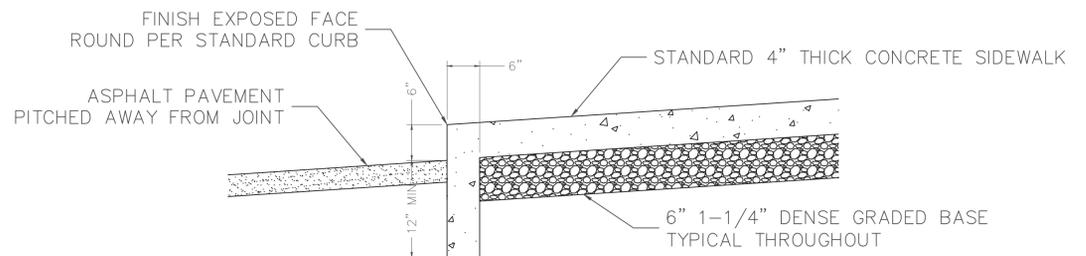
UTILITY PLAN

New Building For
Geneva Lakes Christian Church
 N. Bloomfield Road
 Lake Geneva, Wisconsin 53147

KEHOE - HENRY & ASSOCIATES, INC.
 ARCHITECTURE & ENGINEERING
 25 NORTH WISCONSIN STREET
 LAKE GENEVA, WISCONSIN 53147
 TELEPHONE 262-723-4399
 FAX 262-723-4299

JOB NO.
1411
 DATE
5/15/17
 SHEET NO.
C-4

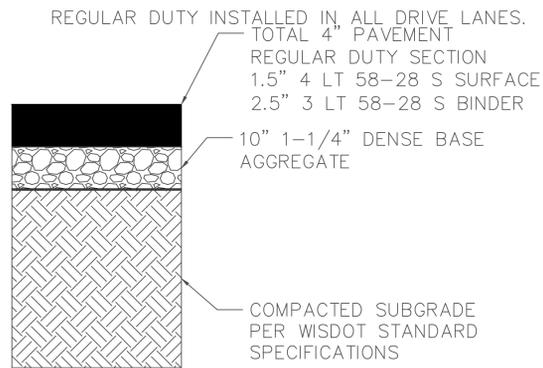
ACAD.DWG - H:2014-1411-Working Drawings Site Plan.DWG DATE: 2-16-17



NOTE: THICKEN EXPOSED FACE AS NECESSARY TO MATCH GRADES SHOWN
 THIS DETAIL TYPICAL ALL SIDEWALK AND PAVEMENT JOINTS THAT ARE NOT SHOWN AS CURB AND GUTTER

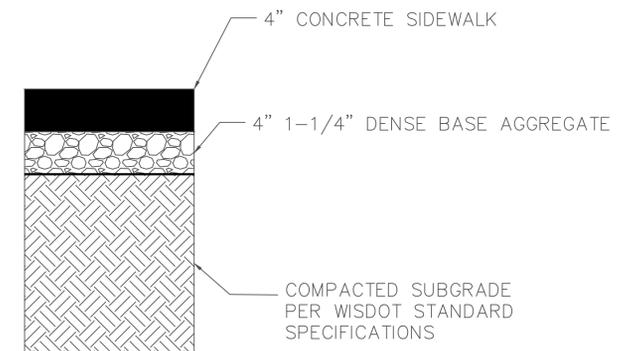
INTEGRAL SIDEWALK AND CURB DETAIL
 NTS

NOTE!! LIGHT DUTY PAVEMENT TO BE UTILIZED IN PARKING STALLS AT 3.5" TOTAL THICKNESS. 2" OF 3 LT 58-28S AND 1.5" OF 4 LT 58-28S ON 8" OF 1 1/4" AGGREGATE.



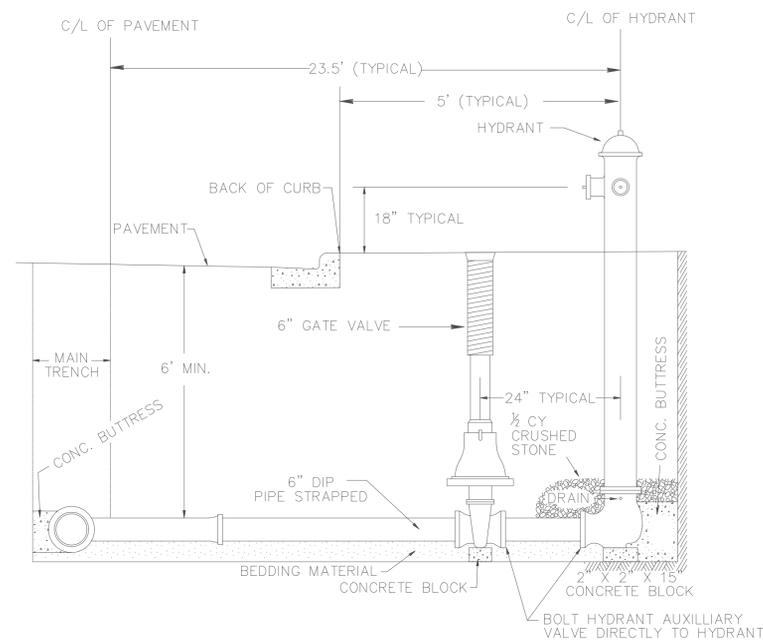
REGULAR DUTY INSTALLED IN ALL DRIVE LANES. TOTAL 4" PAVEMENT
 REGULAR DUTY SECTION
 1.5" 4 LT 58-28 S SURFACE
 2.5" 3 LT 58-28 S BINDER
 10" 1-1/4" DENSE BASE AGGREGATE

ASPHALT PAVEMENT DETAIL
 NTS

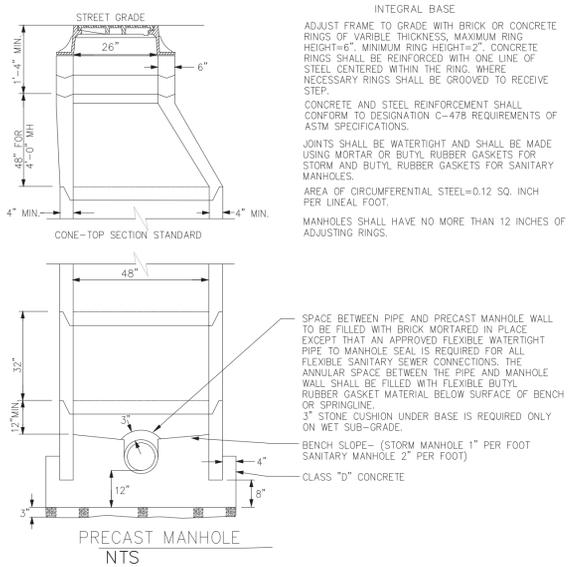


CONFORM TO WISCONSIN STANDARD SPECIFICATION SECTION 602 AND RELATED REQUIRED SUBGRADE, FABRIC, BASE AGGREGATE, AND CONCRETE PAVEMENT.

CONCRETE SIDEWALK DETAIL
 NTS



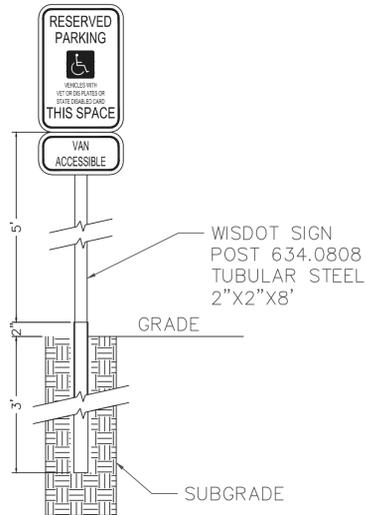
TYPICAL HYDRANT ASSEMBLY
 NTS



INTEGRAL BASE
 ADJUST FRAME TO GRADE WITH BRICK OR CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT=6". MINIMUM RING HEIGHT=2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING. WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.
 CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.
 JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING MORTAR OR BUTYL RUBBER GASKETS FOR STORM AND BUTYL RUBBER GASKETS FOR SANITARY MANHOLES.
 AREA OF CIRCUMFERENTIAL STEEL=0.12 SQ. INCH PER LINEAL FOOT.
 MANHOLES SHALL HAVE NO MORE THAN 12 INCHES OF ADJUSTING RINGS.

SPACE BETWEEN PIPE AND PRECAST MANHOLE WALL TO BE FILLED WITH BRICK MORTARED IN PLACE EXCEPT THAT AN APPROVED FLEXIBLE WATERTIGHT PIPE TO MANHOLE SEAL IS REQUIRED FOR ALL FLEXIBLE SANITARY SEWER CONNECTIONS. THE ANNULAR SPACE BETWEEN THE PIPE AND MANHOLE WALL SHALL BE FILLED WITH FLEXIBLE BUTYL RUBBER GASKET MATERIAL BELOW SURFACE OF BENCH OR SPRINGLINE.
 3" STONE CUSHION UNDER BASE IS REQUIRED ONLY ON WET SUB-GRADE.
 BENCH SLOPE- (STORM MANHOLE 1" PER FOOT SANITARY MANHOLE 2" PER FOOT)
 CLASS "D" CONCRETE

PRECAST MANHOLE
 NTS



SIGNS AS STIPULATED BY TRANS. 200.07 OF THE WISCONSIN ADMINISTRATIVE CODE. A 12"x18" MIN. SIZE SIGN IS REQUIRED AT EACH ACCESSIBLE PARKING STALL.

ADA ACCESSIBLE PARKING SPACE SIGN
 NTS



CONSTRUCTION NOTES

1. THE LANDOWNER OR THEIR AUTHORIZED AGENT SHALL KEEP APPROVED PLAN, PERMIT, AND EROSION CONTROL INSPECTION RECORDS ONSITE AT ALL TIMES UNTIL THE SITE IS STABILIZED AND NOTICE OF TERMINATION FILED.
2. CHANGES TO THIS PLAN MUST BE APPROVED BY THE CITY OF LAKE GENEVA, ENGINEER, AND OTHER JURISDICTIONAL AUTHORITIES PRIOR TO IMPLEMENTATION.
3. AT A MINIMUM, CONSTRUCTION SITE EROSION CONTROL INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND WITHIN 24 HOURS OF AFTER A PRECIPITATION EVENT OF 0.5 INCH OR GREATER. A PRECIPITATION EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION IN ANY CONTINUOUS 24-HOUR PERIOD. CONTINUE THROUGH STABILIZATION.
4. MAINTAIN INSPECTION RECORDS WITH FORM 3400-017, CURRENT REVISION, OR DOCUMENT WITH EQUIVALENT INFORMATION AS PER NR 216.48(4)(c). RECORDS SHALL BE KEPT ONSITE AND AVAILABLE UPON REQUEST.
5. ALL EQUIPMENT USED FOR THE PROJECT SHALL BE DE-CONTAMINATED FOR INVASIVE AND EXOTIC VIRUSES AND SPECIES PRIOR TO AND AFTER USE. FOLLOW MOST RECENT DEPARTMENT APPROVED WASHING AND DISINFECTION PROTOCOLS AND DEPARTMENT APPROVED BEST MANAGEMENT PRACTICES.
6. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. IN THE EVENT DEWATERING BECOMES NECESSARY, NOTIFY ENGINEER IMMEDIATELY, AND OBTAIN APPROPRIATE PERMITS PRIOR TO CONTINUING WORK.
8. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
9. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
10. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE. MONITOR FOR ONE YEAR AFTER PROJECT COMPLETION. DURING MONITORING PERIOD, THE GRADING SITE SHALL BE INSPECTED REGULARLY, AND ANY AREAS REQUIRING ADDITIONAL STABILIZATION OR REVEGETATION SHALL BE ADDRESSED TO ENSURE FINAL STABILIZATION.
11. EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE AREAS THEY SERVE HAVE ESTABLISHED VEGETATIVE COVER, OR 70% GROWTH.
12. ONE YEAR AFTER PROJECT COMPLETION, A REPORT AND PHOTOGRAPHS SHALL BE SUBMITTED TO THE DEPARTMENT TO DEMONSTRATE THAT THE GRADING SITE IS STABILIZED. IF AFTER ONE YEAR, FINAL STABILIZATION HAS NOT BEEN ACHIEVED OR MAINTAINED, THE DEPARTMENT MAY REQUIRE THE LANDOWNER TO SUBMIT A REVISED VEGETATION PLAN TO THE DEPARTMENT, AND IMPLEMENT THE REVISED PLAN.
13. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE CITY OF LAKE GENEVA. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
14. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO RECEIVING CHANNEL.
15. MAKE PROVISIONS FOR WATERING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
16. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC.), OR AS DIRECTED BY THE ENGINEER, CITY OF LAKE GENEVA, OR WDNR.
17. THIS PLAN INCLUDES WORK FOR THE CONSTRUCTION OF COMMERCIAL PROPERTY DISTURBING MORE THAN 1 ACRE
18. THE FOLLOWING SEQUENCE OF WORK IS EXPECTED:
 SITE CLEARING: JUNE 2017
 SITE GRUBBING: JUNE 2017
 EXCAVATION AND ROUGH GRADING: JULY 2017
 NEW BUILDING CONSTRUCTION: TBD
 SITE SEEDING AND MATTING: SEPTEMBER 2017
 FINAL SITE CLEANUP: OCTOBER 2017
 FULL RESTORATION: OCTOBER 2017
19. THE FOLLOWING SEQUENCE OF EROSION CONTROL SHALL BE FOLLOWED:
 INSTALL PERIMETER EROSION CONTROL AND ROCK TRACKING PAD CONSTRUCTION GRADING STAGED TO MINIMIZE EXPOSED AREA
 REPAIR OF BREAKS AND GAPS IN SILT FENCE IMMEDIATELY
 ONGOING SITE DUST CONTROL
 TEMPORARY AND FINAL STABILIZATION AND EROSION MATTING

EROSION CONTROL NOTES

THE FOLLOWING EROSION CONTROL SPECIFICATIONS SHALL BE FOLLOWED FOR THIS PROJECT.

1. THESE BEST MANAGEMENT PRACTICES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.
 - 1.1. SILT FENCE: SEE TECHNICAL STANDARD 1056 FOR FURTHER GUIDANCE.
 - 1.1.A. SILT FENCE SHALL BE PLACED ON THE CONTOUR, NOT PERPENDICULAR TO THE CONTOUR.
 - 1.1.B. THE ENDS OF THE FENCE SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
 - 1.1.C. INSTALLED SILT FENCE SHALL BE MINIMUM 14 INCHES HIGH AND SHALL NOT EXCEED 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
 - 1.1.D. SILT FENCES SHALL BE SUPPORTED BY WOOD SUPPORTS. FOR STEEL SUPPORTS, SEE FURTHER GUIDANCE IN WDNR TECHNICAL STANDARD 1056. THE FULL HEIGHT SHALL BE SUPPORTED BY 1-1/8" BY 1-1/8" AIR OR KILN DRIED POSTS OF HICKORY OR OAK.
 - 1.1.E. THE FABRIC SHALL BE STAPLED, USING AT LEAST 0.5-INCH STAPLES, TO THE UPSLOPE SIDE OF THE POSTS IN AT LEAST 3 PLACES. THE POSTS SHALL BE A MINIMUM 3 FEET LONG FOR 24-INCH SILT FENCE AND 4 FEET FOR 36-INCH SILT FENCE FABRIC.
 - 1.1.F. THE SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH WIDE BY 6-INCH DEEP TRENCH, OR A S 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. THE TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER AND DEEPER THAN NECESSARY FOR PROPER INSTALLATION. ON THE TERMINAL ENDS OF SILT FENCE, THE FABRIC SHALL BE WRAPPED AROUND THE POST SUCH THAT THE STAPLES ARE NOT VISIBLE.
 - 1.1.G. THE GEOTEXTILE FABRIC SHALL BE LISTED ON THE WISDOT PAL, OR AS DETAILED ON WDNR TECHNICAL STANDARD 1056.
 - 1.1.H. SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION.
 - 1.2. TRACKING PAD: SEE TECHNICAL STANDARD 1057 FOR FURTHER GUIDANCE
 - 1.2.A. THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
 - 1.2.B. THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIAL TO BE RETAINED ON A 3-INCH SIEVE.
 - 1.2.C. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WSDOT TYPE R GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
 - 1.2.D. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE AT A MINIMUM 50 FEET LONG.
 - 1.2.E. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR CONVEYED UNDER AND AROUND THEM BY USING A VARIETY OF PRACTICES, SUCH AS CULVERTS, WATER BARS, OR OTHER SIMILAR PRACTICES.
 - 1.2.F. IF CONDITIONS ON THE SITE ARE SUCH THAT THE SEDIMENT IS NOT REMOVED FROM VEHICLE TIRES BY THE TRACKING PAD, THEN TIRES SHALL BE WASHED UTILIZING PRESSURIZED WATER BEFORE ENTERING A PUBLIC ROAD.
 - 1.2.G. THE WASHING STATION SHALL BE LOCATED ON-SITE IN AN AREA THAT IS STABILIZED AND DRAINS INTO SUITABLE SEDIMENT TRAPPING OR SETTLING DEVICE.
 - 1.2.H. THE WASH RACK SHALL CONSIST OF A HEAVY GRATING OVER A LOWERED AREA. THE RACK SHALL BE STRONG ENOUGH TO SUPPORT THE VEHICLES THAT WILL CROSS IT.
 - 1.2.I. ROCKS LODGED BETWEEN THE TIRES OF DUAL WHEEL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE CONSTRUCTION SITE.
2. THE FOLLOWING MEASURES SHALL BE FOLLOWED DURING ALL LAND DISTURBING OPERATIONS.
 - 2.1. DUST CONTROL: SEE TECHNICAL STANDARD 1068 FOR FURTHER GUIDANCE.
 - 2.1.A. THE IMPLEMENTATION OF DUST CONTROL SHALL LIMIT THE AREA EXPOSED FOR DUST GENERATION.
 - 2.1.B. ASPHALT AND PETROLEUM BASED PRODUCTS CANNOT BE USED FOR DUST CONTROL.
 - 2.1.C. MUCH AND VEGETATION - MUCH OR SEED AND MULCH MAY BE APPLIED TO PROTECT EXPOSED SOIL FROM BOTH THE WIND AND WATER EROSION, PER APPROPRIATE TECHNICAL STANDARDS.
 - 2.1.D. WATER - WATER UNTIL THE SURFACE IS WET AND REPEAT AS NEEDED. WATER SHALL BE APPLIED AT RATES SO THAT RUNOFF DOES NOT OCCUR. TREATED SOIL SURFACES THAT RECEIVE VEHICLE TRAFFIC REQUIRE A STONE TRACKING PAD OR TIRE WASHING AT ALL POINTS OF ACCESS.
 - 2.1.E. TILLAGE - A CONTROL MEASURE PERFORMED WITH CHISEL TYPE PLOWS ON EXPOSED SOILS. TILLAGE SHALL BEGIN ON THE WINDWARD SIDE OF THE SITE. TILLAGE IS ONLY APPLICABLE TO FLAT AREAS.
 - 2.1.F. POLYMERS - POLYMERS CAN BE AN EFFECTIVE PRACTICE FOR AREAS THAT DO NOT RECEIVE VEHICLE TRAFFIC. DRY APPLIED POLYMERS MUST BE INITIALLY WATERED FOR ACTIVATION TO BE EFFECTIVE FOR DUST CONTROL.
 - 2.1.G. TACKIFIERS AND SOIL STABILIZERS TYPE A - PRODUCTS MUST BE SELECTED FROM AND INSTALLED AT RATES CONFORMING TO THE WSDOT EROSION CONTROL PAL.
 - 2.1.H. CHLORIDES - CHLORIDES SHALL BE APPLIED ACCORDING TO THE MOST RECENT VERSION OF THE WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION.
 - 2.1.I. BARRIERS - BARRIERS SHALL BE PLACED AT RIGHT ANGLES TO PREVAILING WIND CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT. SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND BLOWN SOIL.
3. THE FOLLOWING MEASURES SHALL BE FOLLOWED UPON TEMPORARY AND FINAL SITE RESTORATION
 - 3.1. SITE SEEDING: SEE TECHNICAL STANDARD 1059 FOR FURTHER GUIDANCE.
 - 3.1.A. TEMPORARY SEEDING REQUIRES A SEEDBED OF LOOSE SOIL TO A MINIMUM DEPTH OF 2-INCHES.
 - 3.1.B. FERTILIZER APPLICATION IS NOT GENERALLY REQUIRED FOR TEMPORARY SEEDING. HOWEVER, ANY APPLICATION OF FERTILIZER OR LIME SHALL BE BASED ON SOIL TESTING RESULTS.
 - 3.1.C. THE SOIL SHALL HAVE A pH RANGE OF 5.5 TO 8.0
 - 3.1.D. TOPSOIL INSTALLATION SHALL BE COMPLETED PRIOR TO PERMANENT SEEDING
 - 3.1.E. PERMANENT SEEDING REQUIRES A SEEDBED OF LOOSE TOPSOIL TO A MINIMUM DEPTH OF 4-INCHES WITH THE ABILITY TO SUPPORT A DENSE VEGETATIVE COVER.
 - 3.1.F. APPLICATION RATES OF FERTILIZER OR LIME SHALL BE BASED ON SOIL TESTING RESULTS.
 - 3.1.G. PREPARE A TILLED, FINE BUT FIRM SEEDBED. REMOVE ROCKS, TWIGS, FOREIGN MATERIAL AND CLODS OVER TWO INCHES THAT CANNOT BE BROKEN DOWN.
 - 3.1.H. THE SOIL SHALL HAVE A pH RANGE OF 5.5 TO 8.0
 - 3.1.I. SEE MIXTURES THAT WILL PRODUCE DENSE VEGETATION SHALL BE SELECTED BASED ON SOIL AND SITE CONDITIONS AND INTENDED FINAL USE.
 - 3.1.J. SEED MIXTURES THAT CONTAIN POTENTIALLY INVASIVE SPECIES OR SPECIES THAT MAY BE HARMFUL TO NATIVE PLANT COMMUNITIES SHALL BE AVOIDED.
 - 3.1.K. SEED SHALL NOT BE USED LATER THAN ONE YEAR AFTER THE TEST DATE THAT APPEARS ON THE LABEL.
 - 3.1.L. SEED RATES, INOCULATION, AND SOWING, SHALL ALL CONFORM TO THE TECHNICAL STANDARD, MANUFACTURERS RECOMMENDATIONS, AND THE WSDOT PAL.
 - 3.2. NON-CHANNEL EROSION MAT: SEE TECHNICAL STANDARD 1052 FOR FURTHER GUIDANCE.
 - 3.2.A. ONLY WSDOT PAL APPROVED MATS WILL BE ACCEPTED FOR THIS PROJECT. SEE THE PAL FOR ACCEPTABLE SLOPE AND SLOPE LENGTH APPLICATIONS. TO DIFFERENTIATE APPLICATIONS, EROSION MATS ARE ORGANIZED INTO THREE CLASSES OF MATS, WHICH ARE FURTHER BROKEN DOWN INTO VARIOUS TYPES. FOLLOW THE INFORMATION CALLED FOR IN THE PLANS AND SPECIFICATIONS PROVIDED HEREIN AND IN THE WSDOT PAL.
 - 3.2.B. ECRM'S SHALL BE INSTALLED AFTER ALL TOPSOILING, FERTILIZING, LIMING, AND SEEDING IS COMPLETE.
 - 3.2.C. THE MAT SHALL BE IN FIRM AND INTIMATE CONTACT WITH THE SOIL. IT SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S RECOMMENDATION.
 - 3.2.D. TRM SHALL BE INSTALLED IN CONJUNCTION WITH THE TOPSOILING OPERATION AND SHALL BE FOLLOWED BY ECRM INSTALLATION.
 - 3.2.E. AT TIME OF INSTALLATION, DOCUMENT THE MANUFACTURER AND MAT TYPE BY RETENTION OF MATERIAL LABELS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. RETAIN THIS DOCUMENTATION UNTIL THE SITE HAS BEEN STABILIZED.

REVISIONS

CIVIL NOTES

New Building For
Geneva Lakes Christian Church
 N. Bloomfield Road
 Lake Geneva, Wisconsin 53147

KEHOE - HENRY & ASSOCIATES, INC.
 ARCHITECTURE & ENGINEERING
 25 NORTH WISCONSIN STREET
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 TELEPHONE 262-723-4399
 FAX 262-723-4299



JOB NO.
 1411
DATE
 5/15/17
SHEET NO.
 D-3

GENEVA LAKES CHRISTIAN CHURCH

N. BLOOMFIELD ROAD
LAKE GENEVA, WI 53147

MAY 15, 2017

BY: SLS

SCHEEL &
ASSOCIATES

LANDSCAPE DESIGN
RESIDENTIAL AND COMMERCIAL
LOW VOLTAGE OUTDOOR LANDSCAPE LIGHTING
DESIGN/INSTALLATION/MAINTENANCE
N2020 CITY RD 11 8561
LAKE GENEVA WI 53147
Phone: (262) 348-1315
E-mail: scheelassociates@gmail.com
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PLANT SCHEDULE			
QTY	BOTANICAL NAME	COMMON NAME	SIZE
7	ACER X FREEMANII 'MARMO'	MARMO RED MAPLE	2"
1	ACER SACCHARUM 'GREEN MOUNTAIN'	SUGAR MAPLE	2"
2	CELTIS OCCIDENTALIS 'CHICAGOLAND'	HACKBERRY	2"
6	MALUS SP. 'PROFUSION'	PROFUSION CRABAPPLE	2"
5	PICEA ABIES	NORWAY SPRUCE	6"
3	PICEA PUNGENS 'GLAUCA'	BLUE SPRUCE	6"
2	QUERCUS ALBA	WHITE OAK	2"
4	SHADE TREES INSTALLED BY DEVELOPER. SPECIES TBD		

CITY OF LAKE GENEVA LANDSCAPING POINT SCHEDULE
(ZONING DISTRICT SR-4)

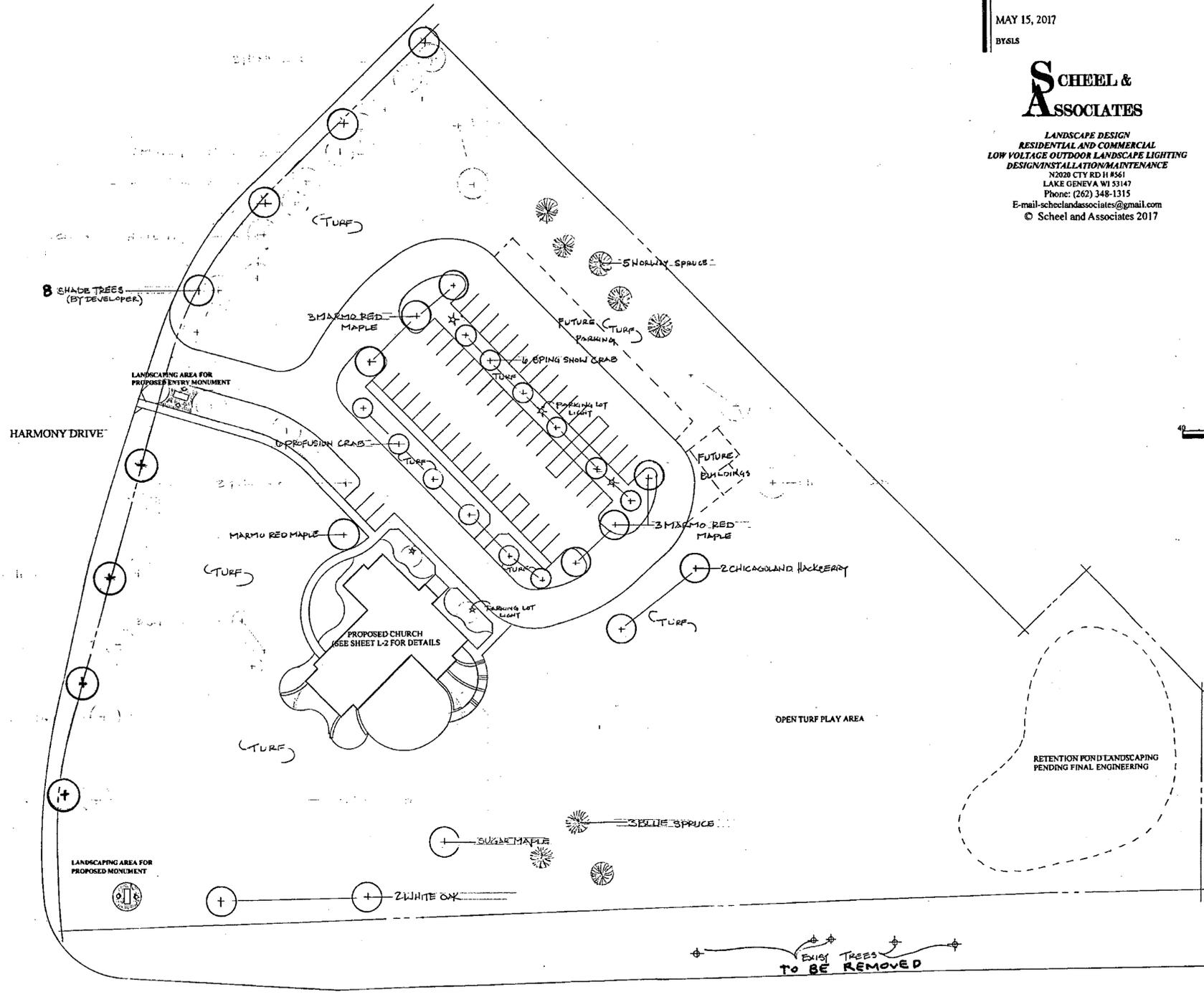
STREET FRONTAGE
750 LF-100040-300 REQUIRED POINTS
1 CLIMAX DECID TREE @ 75 PTS EA-75 POINTS
4 TALL DECID TREES @ 30 PTS EA-120 POINTS (DEVELOPER)
2 TALL DECID TREES @ 30 PTS EA-60 POINTS (OWNER)
3 TALL EVERGREEN TREES @ 40 POINTS EA-120 POINTS
TOTAL POINTS-375 SUPPLIED POINTS

DEVELOPED LOT
12,344 SF-100020-247 REQUIRED POINTS
3 LARGE EVERGREEN @ 40 PTS EA-200 PTS
3 TALL DECID TREES @ 30 PTS EA-90 PTS
TOTAL POINTS-290 SUPPLIED POINTS

PAVED AREA
26,500 SF-10,800X80-293 REQUIRED POINTS
6 TALL DECID TREES @ 30 PTS EA-180 PTS
12 LOW DECID TREES @ 10 PTS EA-120 PTS
TOTAL POINTS-300 SUPPLIED POINTS

NOTES AND SPECIFICATIONS

- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH CITY, VILLAGE OR OTHER LOCAL LANDSCAPING OR CONSTRUCTION SPECIFICATIONS
- ALL INDIVIDUAL TREES TO RECEIVE 3" CLEAN SHREDDED HARDWOOD BARK MULCH IN 4" DIAMETER MOW LINC.
- ALL PLANTING BEDS TO RECEIVE 3" MIN. SHREDDED BARK MULCH.
- ALL PLANTING BEDS TO BE SPADE EDGED.
- ALL PLANT MATERIAL TO BE OF SPECIEN QUALITY AND MEET THE AMERICAN STANDARDS FOR NURSERY STOCK, WHICH IS PUBLISHED BY THE ANA (AMERICAN ASSOCIATION OF NURSERYMEN).
- ALL PLANTS (UNLESS OTHERWISE SPECIFIED) ARE TO BE BALLED & BURLAPPED OR APPROVED CONTAINER STOCK.
- ALL TREE, SHRUB BACK FILL MIX TO BE:
4 PARTS CLEAN PULVERIZED TOPSOIL
1 PART MUSHROOM COMPOST
- ALL PERENNIAL PLANTING MIX TO BE:
3 PARTS CLEAN PULVERIZED TOP SOIL
1 PART MUSHROOM COMPOST
1 PART SAND
40 # / 100 SF GYPSUM
(FILL 3" OF THIS MIX IN 4" DEEP)
- CONTRACTOR TO SUBMIT IN WRITING TO PROPERTY OWNERS A ONE YEAR-100% PLANT GUARANTEE TO COMMENCE ON THE DAY OF PROJECT COMPLETION.
- CONTRACTOR RESPONSIBLE FOR CALLING DIGGERS HOTLINE 1-800-342-8511 TO LOCATE ALL UTILITIES PRIOR TO STARTING PROJECT.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED FOR PROJECT INSTALLATION.
- CONTRACTOR TO ADJUST PLANTINGS FOR UNDERGROUND UTILITY LINES, ESCAPE WINDOWS, CONDENSER UNITS AND UTILITY METERS AND OVERHEAD UTILITY LINES.



SITE LANDSCAPING

SHEET
L-1

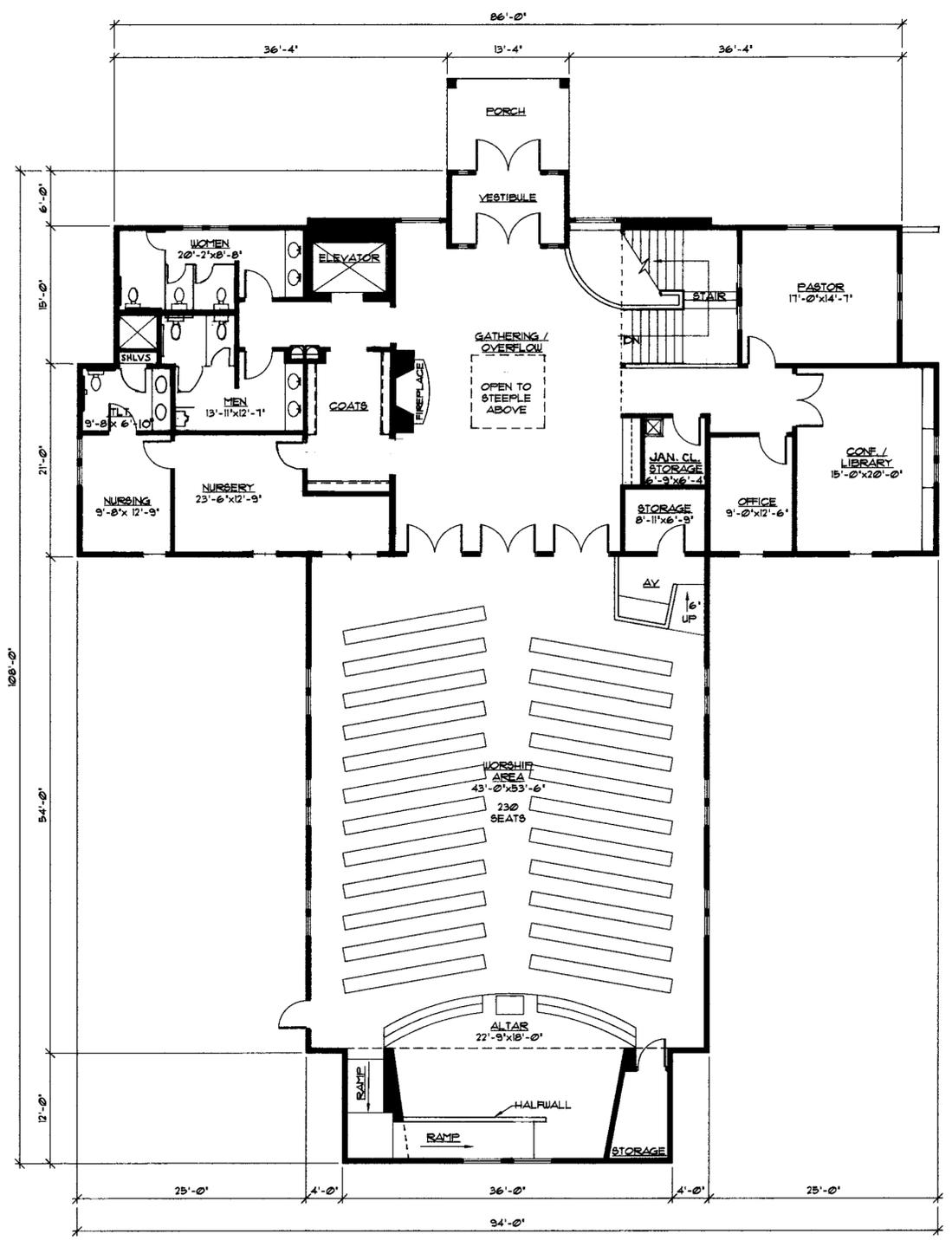
REVISIONS
4-25-17
5-15-17

FIRST FLOOR PLAN

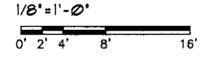
New Building For
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N. Bloomfield Road
Lake Geneva, Wisconsin 53147

KEHOE - HENRY & ASSOCIATES, INC.
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FAX 262-723-4296

JOB NO.
1411
DATE
4/17/17
SHEET NO.
A-1



FIRST FLOOR PLAN

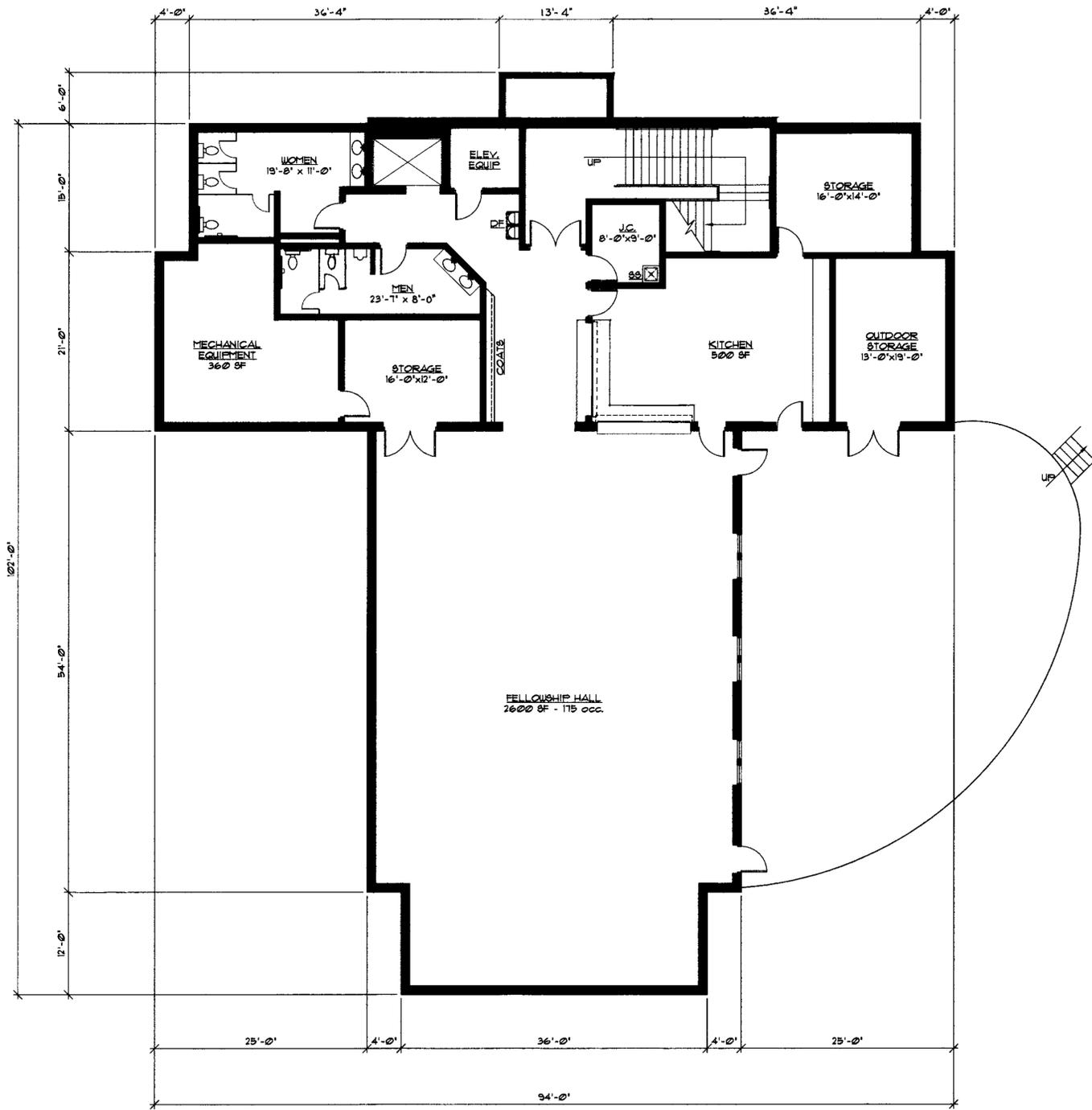


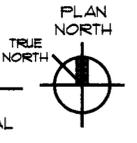
6,152 S.F.
12,344 S.F. TOTAL



ACAD.DWG: H:\2014\1110\1110.dwg, PLOT DATE: 2-23-17

ACAD.PLW 11/20/14 11:00:00 Drawing: Lower Level.PLW DATE: 2-23-17




 PLAN NORTH
 TRUE NORTH
LOWER LEVEL PLAN
 1/8" = 1'-0"
 0' 2' 4' 8' 16'
 6,192 SF.
 12,344 SF. TOTAL

REVISIONS
4-15-17

LOWER LEVEL PLAN

New Building For
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A-2

REVISIONS
4-25-17
5-8-17
5-15-17

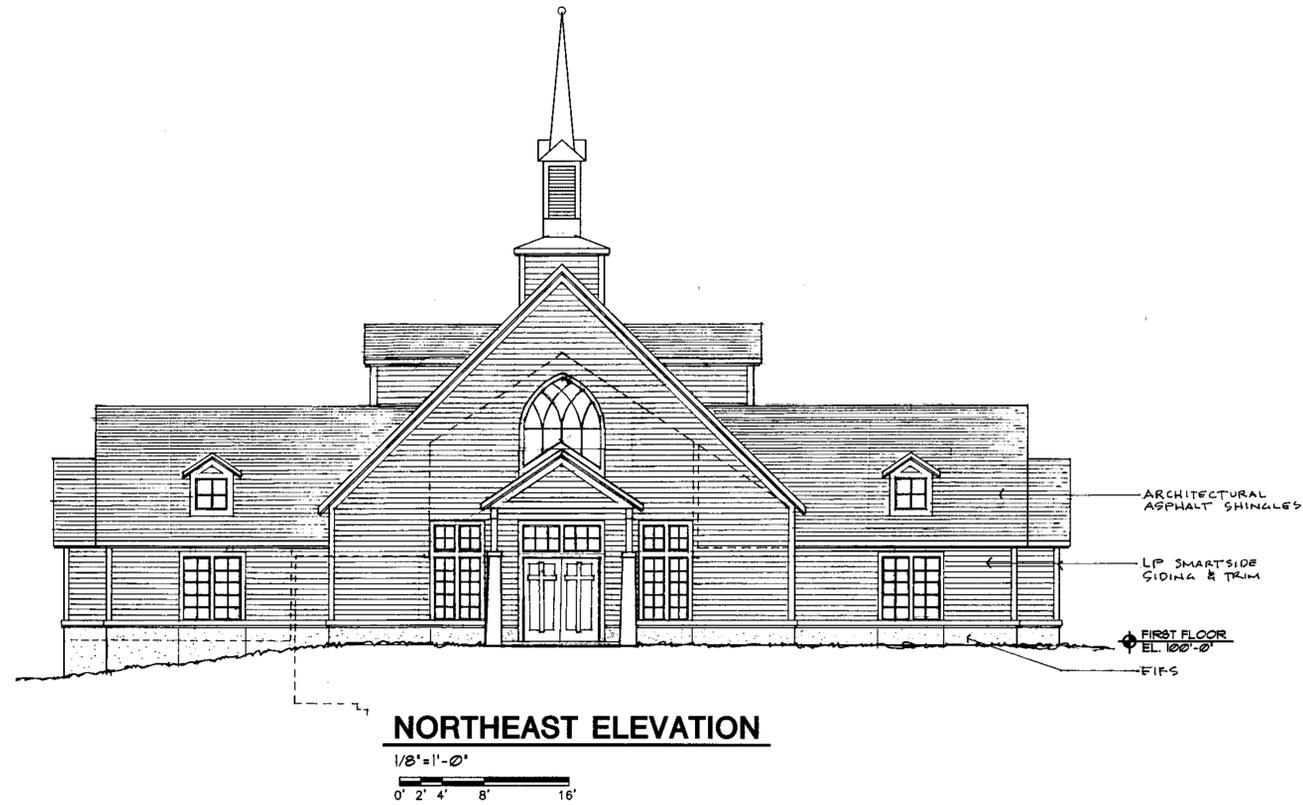
EXTERIOR ELEVATIONS

New Building For
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 Lake Geneva, Wisconsin 53147

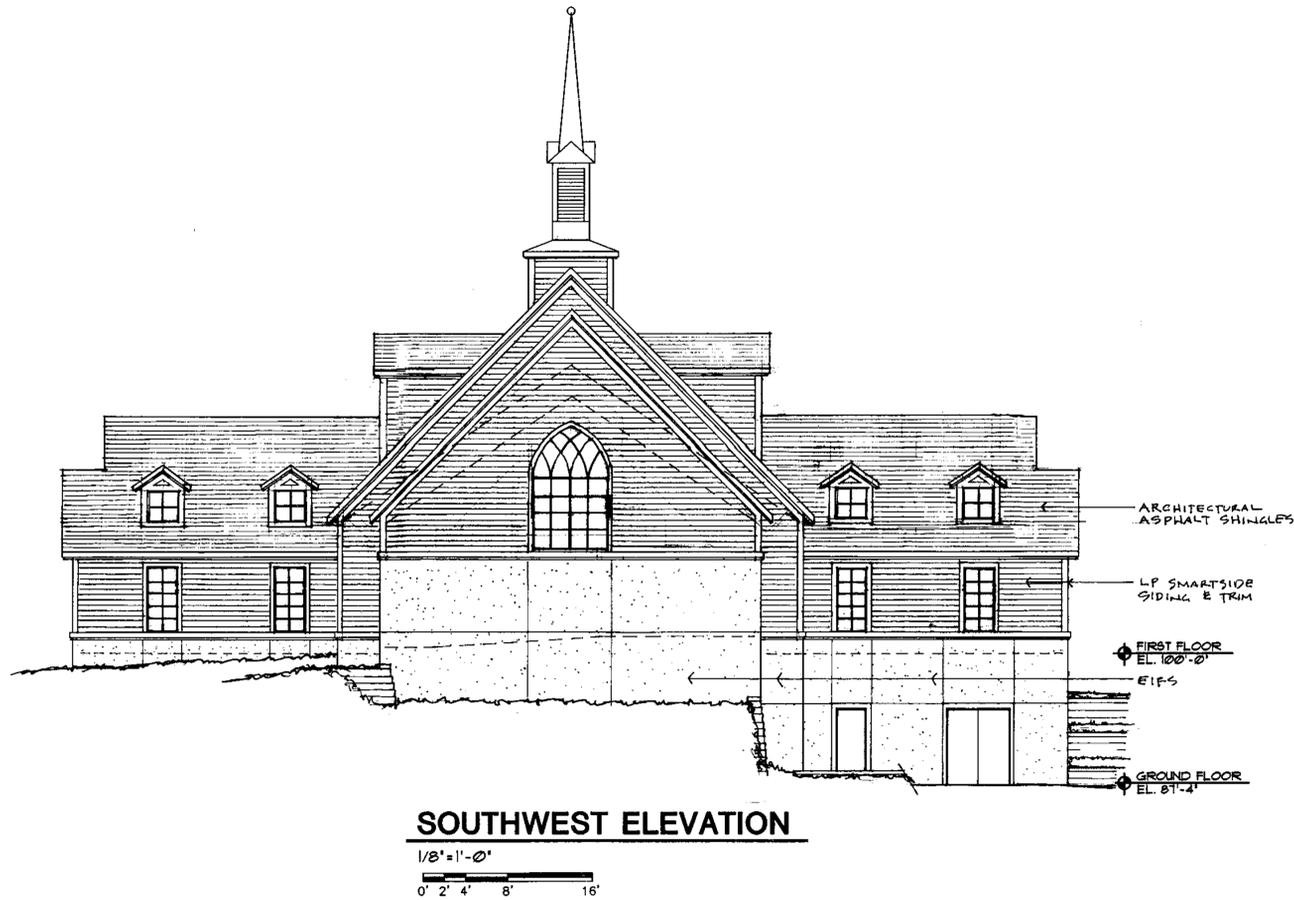
KEHOE - HENRY & ASSOCIATES, INC.
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NORTHEAST ELEVATION



SOUTHWEST ELEVATION

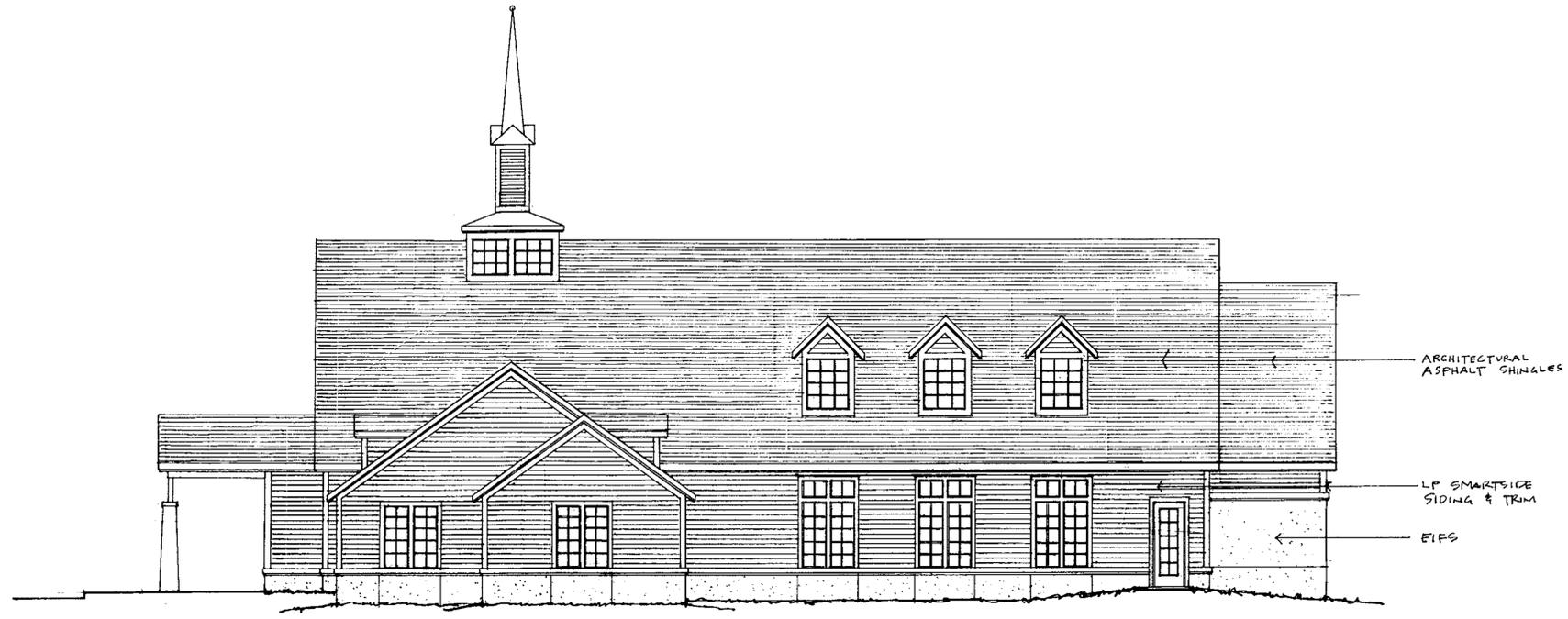
REVISIONS
 4-25-17
 5-8-17
 5-19-17

EXTERIOR ELEVATIONS

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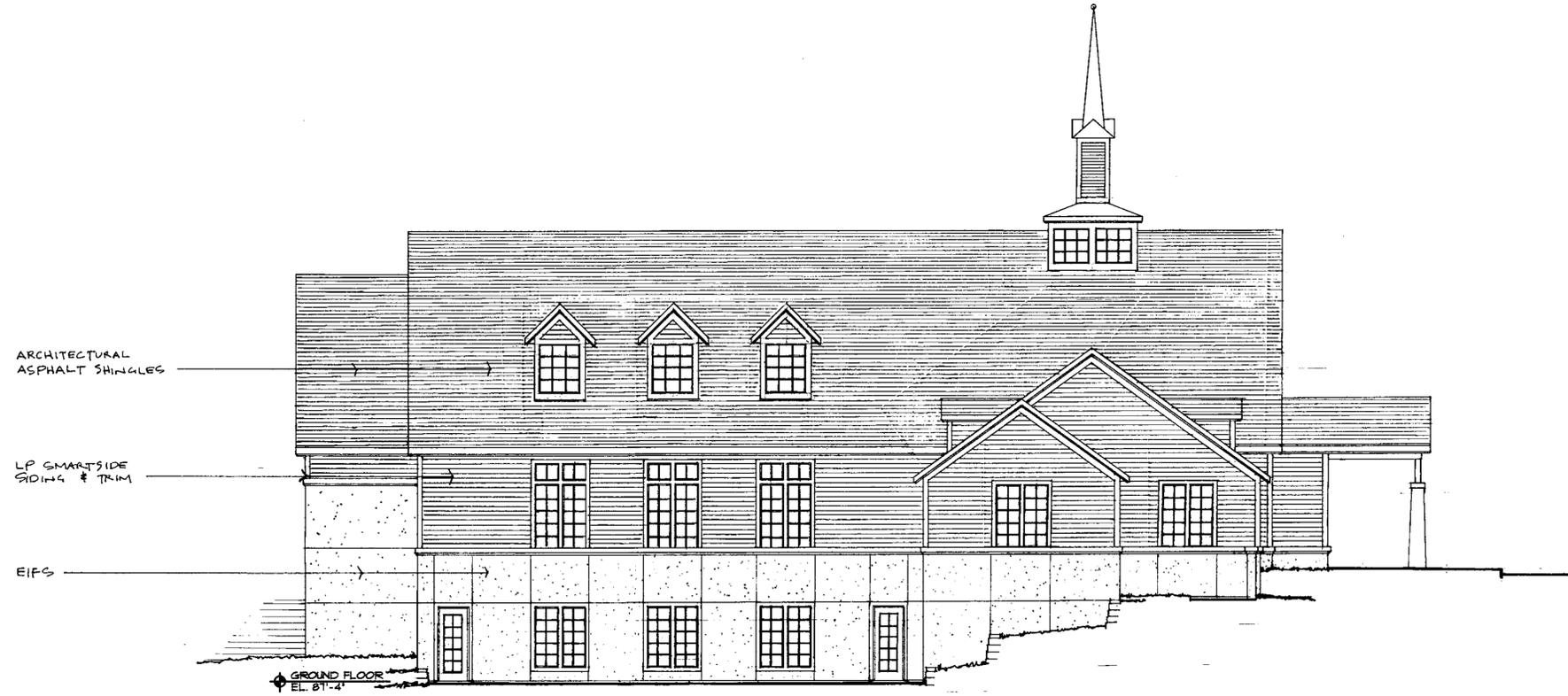
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 DATE
4/17/17
 SHEET NO.
A-4



NORTHWEST ELEVATION

1/8"=1'-0"
 0' 2' 4' 8' 16'

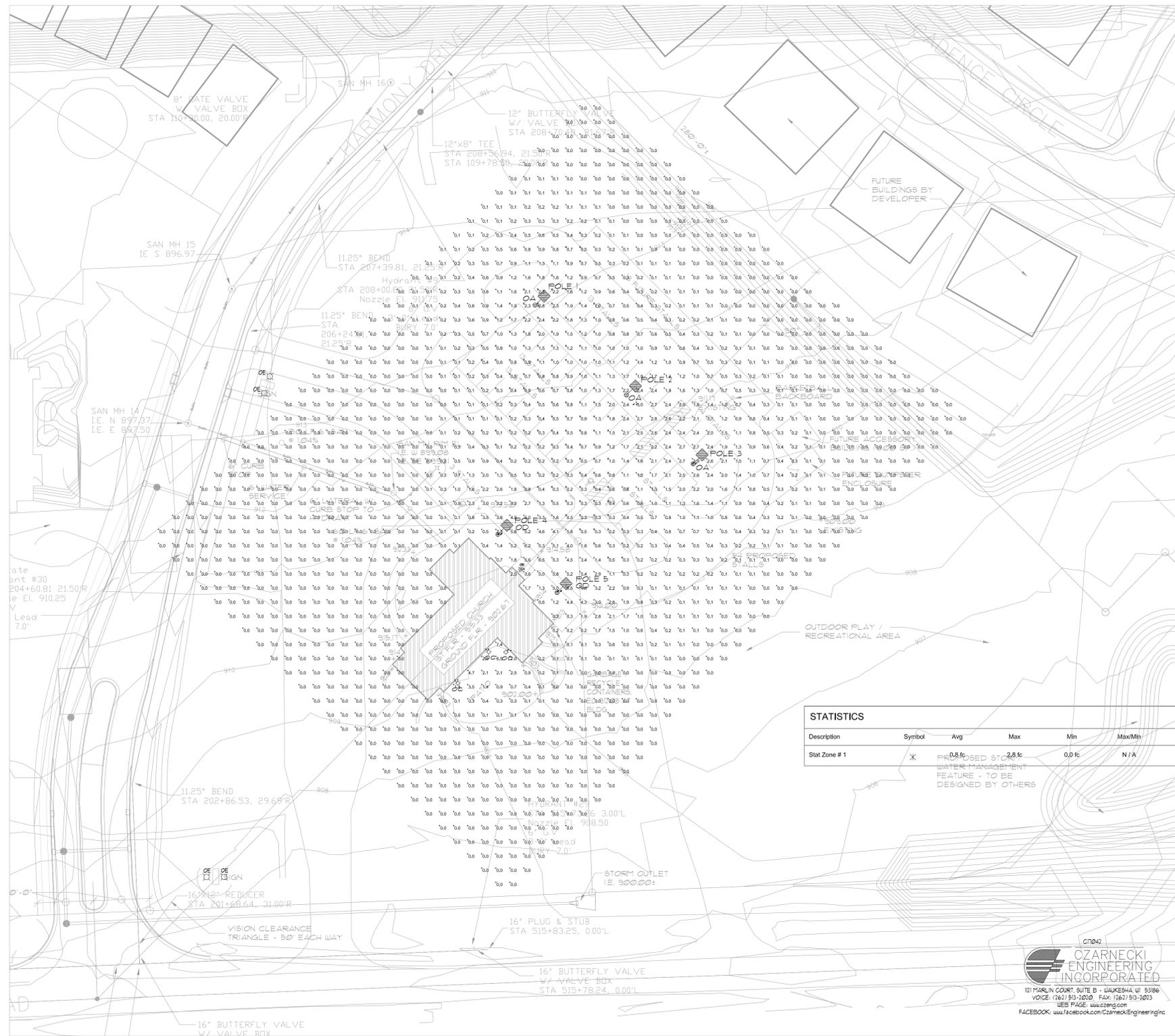
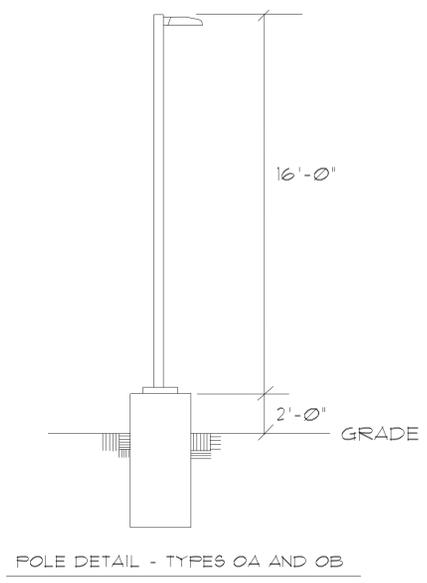


SOUTHEAST ELEVATION

1/8"=1'-0"
 0' 2' 4' 8' 16'

ACAD.PLW 142014 Millwrights Drawings First Floor DWG DATE: 2-22-17

NOT FOR CONSTRUCTION



STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Stat Zone # 1	X	2.8 fc	2.8 fc	0.0 fc	N/A	N/A

CZARNECKI ENGINEERING INCORPORATED
101 MARKIN COURT, SUITE B - WAUKESHA, WI 53186
VOICE: (262) 933-0009 FAX: (262) 933-0003
WEB PAGE: www.czeeng.com
FACEBOOK: www.facebook.com/CzarneckiEngineeringInc

SITE PLAN
SCALE: 1" = 40'-0"
0' 20' 40' 80'



DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.

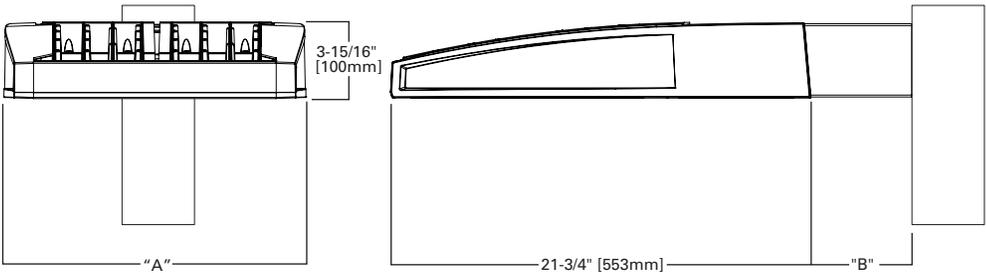


GLEON GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS

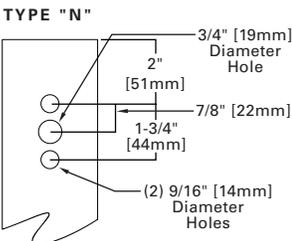


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA

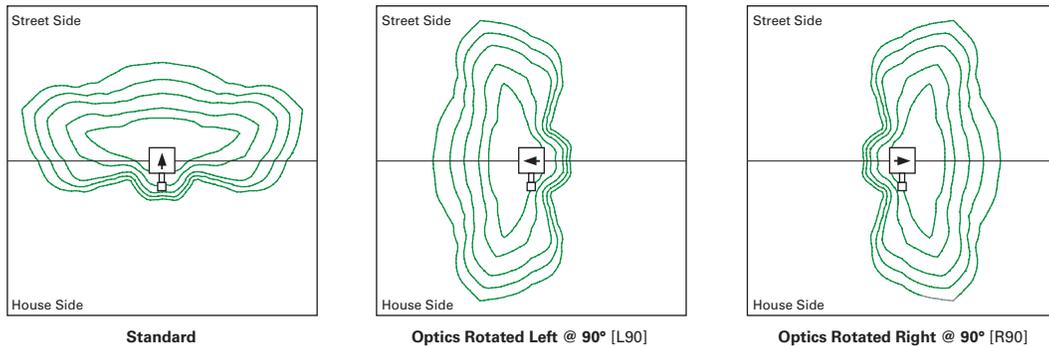
UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified*

ENERGY DATA

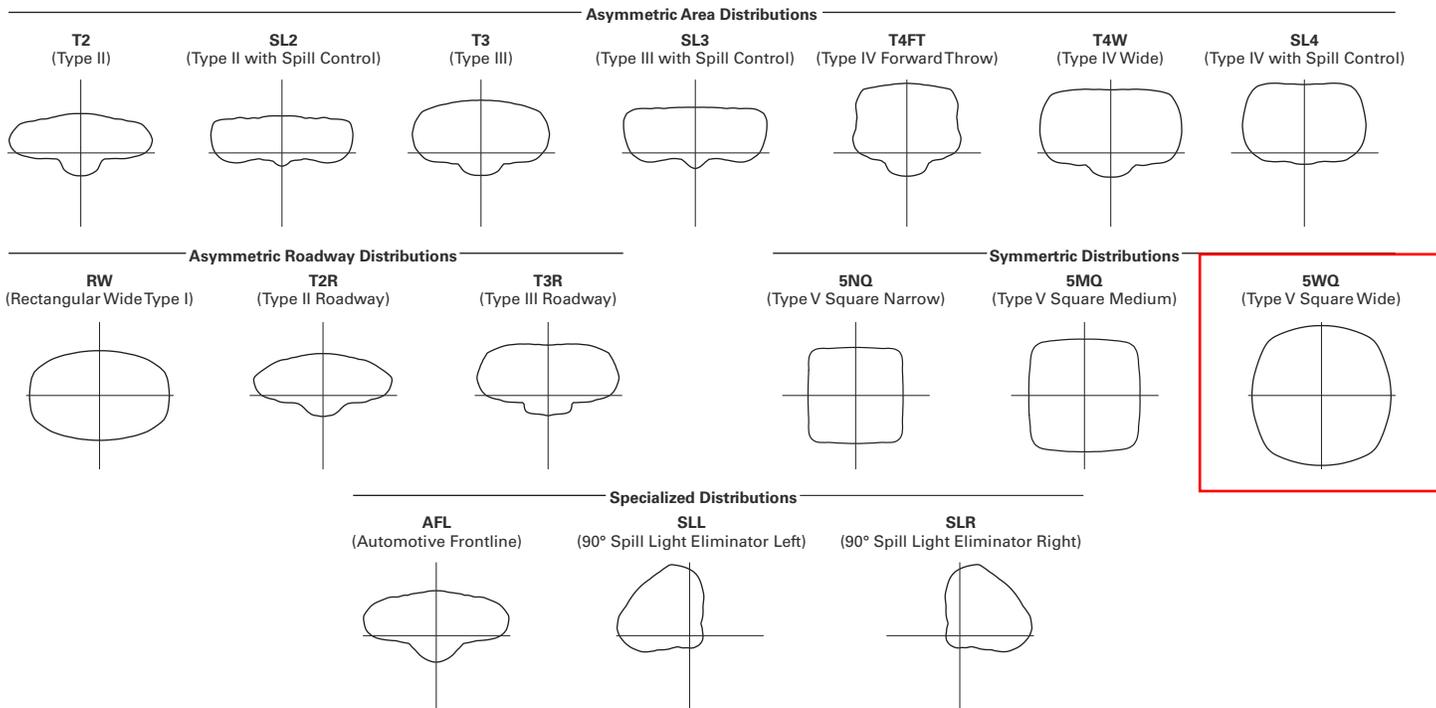
Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)



OPTIC ORIENTATION



OPTICAL DISTRIBUTIONS

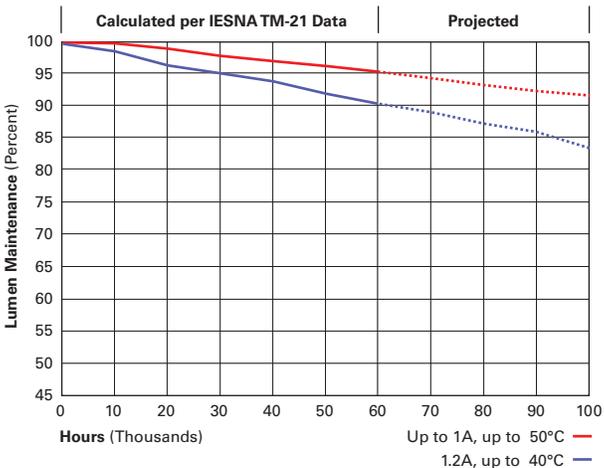


LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	416,000
1.2A	Up to 40°C	> 90%	205,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97



NOMINAL POWER LUMENS (1A)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	59	113	166	225	279	333	391	445	501	558	
Input Current @ 120V (A)	0.51	1.02	1.53	2.03	2.55	3.06	3.56	4.08	4.6	5.07	
Input Current @ 208V (A)	0.29	0.56	0.82	1.11	1.37	1.64	1.93	2.19	2.46	2.75	
Input Current @ 240V (A)	0.26	0.48	0.71	0.96	1.19	1.41	1.67	1.89	2.12	2.39	
Input Current @ 277V (A)	0.23	0.42	0.61	0.83	1.03	1.23	1.45	1.65	1.84	2.09	
Input Current @ 347V (A)	0.17	0.32	0.50	0.64	0.82	1.00	1.14	1.32	1.50	1.68	
Input Current @ 480V (A)	0.14	0.24	0.37	0.48	0.61	0.75	0.91	0.99	1.12	1.28	
Optics											
T2	4000K/5000K Lumens	6,116	11,951	17,833	23,563	29,195	34,937	41,317	46,814	52,221	57,817
	3000K Lumens	5,414	10,579	15,786	20,858	25,843	30,926	36,574	41,440	46,226	51,180
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T2R	4000K/5000K Lumens	6,493	12,688	18,932	25,015	30,994	37,090	43,863	49,699	55,439	61,380
	3000K Lumens	5,748	11,231	16,759	22,143	27,436	32,832	38,828	43,994	49,075	54,334
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
T3	4000K/5000K Lumens	6,234	12,181	18,176	24,017	29,756	35,609	42,111	47,715	53,225	58,930
	3000K Lumens	5,518	10,783	16,089	21,260	26,340	31,521	37,277	42,237	47,115	52,165
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T3R	4000K/5000K Lumens	6,372	12,453	18,580	24,550	30,418	36,400	43,048	48,776	54,409	60,239
	3000K Lumens	5,640	11,023	16,447	21,732	26,926	32,221	38,106	43,177	48,163	53,324
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
T4FT	4000K/5000K Lumens	6,270	12,252	18,282	24,156	29,929	35,815	42,356	47,992	53,534	59,271
	3000K Lumens	5,550	10,845	16,183	21,383	26,493	31,703	37,494	42,483	47,388	52,467
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
T4W	4000K/5000K Lumens	6,189	12,094	18,045	23,844	29,543	35,352	41,809	47,372	52,843	58,506
	3000K Lumens	5,479	10,706	15,973	21,107	26,151	31,294	37,009	41,934	46,777	51,790
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL2	4000K/5000K Lumens	6,105	11,931	17,803	23,522	29,144	34,877	41,245	46,734	52,130	57,717
	3000K Lumens	5,404	10,561	15,759	20,822	25,798	30,873	36,510	41,369	46,145	51,091
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL3	4000K/5000K Lumens	6,233	12,180	18,174	24,013	29,753	35,604	42,106	47,708	53,218	58,921
	3000K Lumens	5,517	10,782	16,088	21,256	26,337	31,517	37,272	42,231	47,109	52,157
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL4	4000K/5000K Lumens	5,922	11,572	17,268	22,816	28,269	33,829	40,006	45,330	50,566	55,984
	3000K Lumens	5,242	10,244	15,286	20,197	25,024	29,945	35,413	40,126	44,761	49,557
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	4000K/5000K Lumens	6,429	12,563	18,746	24,768	30,688	36,723	43,429	49,208	54,891	60,775
	3000K Lumens	5,691	11,121	16,594	21,925	27,165	32,507	38,443	43,559	48,590	53,798
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
5MQ	4000K/5000K Lumens	6,547	12,794	19,090	25,224	31,253	37,400	44,228	50,114	55,902	61,893
	3000K Lumens	5,795	11,325	16,898	22,328	27,665	33,106	39,151	44,361	49,484	54,788
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
5WQ	4000K/5000K Lumens	6,564	12,828	19,141	25,291	31,336	37,499	44,347	50,248	56,051	62,058
	3000K Lumens	5,810	11,255	16,944	22,388	27,739	33,194	39,256	44,480	49,616	54,934
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
SLL/SLR	4000K/5000K Lumens	5,478	10,703	15,970	21,102	26,145	31,286	37,001	41,924	46,765	51,777
	3000K Lumens	4,849	9,474	14,137	18,679	23,144	27,694	32,753	37,111	41,396	45,833
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
RW	4000K/5000K Lumens	6,371	12,449	18,576	24,544	30,411	36,392	43,037	48,764	54,396	60,225
	3000K Lumens	5,640	11,020	16,443	21,726	26,920	32,214	38,096	43,166	48,151	53,311
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
AFL	4000K/5000K Lumens	6,394	12,494	18,644	24,634	30,521	36,524	43,194	48,942	54,593	60,444
	3000K Lumens	5,660	11,060	16,504	21,806	27,017	32,331	38,235	43,323	48,326	53,505
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4

* Nominal data for 70 CRI.



Low-profile vandal-resistant fixture covers the footprint of most traditional canopy lights. Available in flat or drop lens.

Color: White

Weight: 11.8 lbs

Project:	Type: OB
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	20W
120V:	0.30A	Color Temp:	5000K
208V:	0.20A	Color Accuracy:	74 CRI
240V:	0.17A	L70 Lifespan:	100000
277V:	0.15A	Lumens:	2,347
Input Watts:	22W	Efficacy:	109 LPW
Efficiency:	93%		

Technical Specifications

Listings

UL Listing:

Suitable for wet locations.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities.

DLC Product Code: PR5FDZY9

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Electrical

Driver:

Class 2, Constant Current, 100-277V, 50-60Hz, 500mA

THD:

19.3% at 277V

Construction

Maximum Ambient Temperature:

Suitable for use in 104° F (40°C) ambient temperatures

Cold Weather Starting:

Minimum starting temperature is -40° F (-40° C)

Housing:

Die-cast aluminum housing and lens frame with (4) 1/2" NPS side conduit entries and weatherproof rear wire plug and access plate

Mounting:

Ceiling mount to recessed junction with knockout template or directly to ceiling surface, utilizing side conduit entry points.

IP Rating:

Ingress Protection rating of IP66 for dust and water

Lens:

Vandal-resistant polycarbonate textured opaque for low glare flat lens

Reflector:

Semi-specular, vacuum-metalized polycarbonate

Gaskets:

High-temperature silicone gaskets

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

LED Characteristics

LEDs:

Discreet LEDs on PCB board

Color Stability:

RAB LEDs exceed industry standards for chromatic stability.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. See our full warranty

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

Buy American Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

Recovery Act (ARRA) Compliant:

This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods-- Buy American Act-- Construction Materials (October 2010).

GSA Schedule:

Suitable in accordance with FAR Subpart 25.4.

California Title 24:

See VANLED20/PCS, VANLED20/PCS2 or VANLED20MS for a 2013 California Title 24 compliant model.

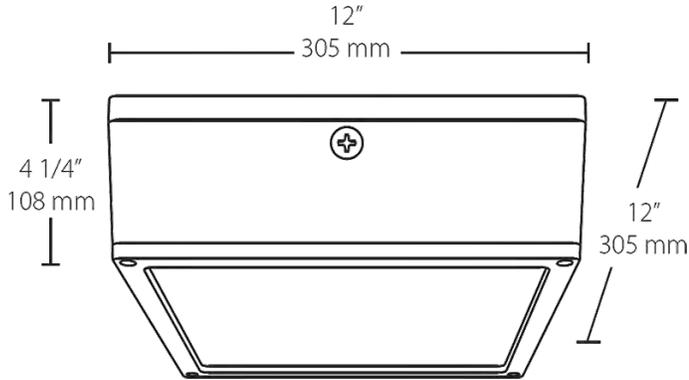
Replacement:

Replaces up to 70W Metal Halide.

VANLED20FW



Dimensions



Features

- Fits the footprint of older canopy lights
- Vandal resistant and UV resistant lens
- Ultra-high efficiency
- Clean, contemporary, low-profile design
- Available with drop lens or flat lens
- IP66 rated, keeps dust, bugs and water out
- Photo and motion sensor options available

Ordering Matrix

Family	Watts	Color Temp	Lens	Finish	Voltage	Dimming
VANLED	10 = 10W 20 = 20W 40 = 40W 52 = 52W 65 = 65W 75 = 75W	Blank = 5000K (Cool) Y = 3000K (Warm) N = 4000K (Neutral)	Blank = Drop lens F = Flat lens	Blank = Bronze W = White	Blank = 120-277V /480 = 480V (10W & 20W not available)	Blank = No Dimming /D10 = Dimmable (10W & 20W not available)



Ultra-high efficiency LED 18 Watt wallpack. Patent Pending thermal management system. 100,000 hour L70 lifespan. 5 Year Warranty.

Color: White

Weight: 7.5 lbs

Project:	Type: OC
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	18W
120V:	0.17A	Color Temp:	5000K
208V:	0.11A	Color Accuracy:	73 CRI
240V:	0.09A	L70 Lifespan:	100000
277V:	0.08A	Lumens:	2,508
Input Watts:	20W	Efficacy:	124 LPW
Efficiency:	89%		

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities.

DLC Product Code: P00001751

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

LED:

Multi-chip, high-output, long-life LED

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

Electrical

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz, 4 kV surge protection, 500mA, 100-240VAC: 0.3-0.15A, 277VAC: 0.15A, Power Factor: 99%

Construction

Maximum Ambient Temperature:

Suitable for use in 104° F (40°C) ambient temperatures

Cold Weather Starting:

Minimum starting temperature is -40° F (-40° C)

Thermal Management:

Superior heat sinking with external Air-Flow fins

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC or toxic heavy metals.

Reflector:

Semi-specular, vacuum-metalized polycarbonate

Gaskets:

High-temperature silicone gaskets

Housing:

Die-cast aluminum housing, lens frame and mounting arm

Mounting:

Heavy-duty mounting arm with "O" ring seal & stainless steel screws

Green Technology:

Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

Other

California Title 24:

WPLED18 with available photocell options comply with 2013 California Title 24 building and electrical codes as a commercial outdoor non-pole-mounted fixture ≤ 30 Watts. Add /PC, /PC2, /PCS or /PCS2 to RAB catalog number to add a photocell.

For Use on LEED Buildings:

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

Patents:

The design of WPLED18 is protected by US patent D608,040, Canada patent 138280, and China patent CN301649064S.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

Country of Origin:

Designed by RAB in New Jersey and assembled in Taiwan.

Trade Agreements Act Compliant:

This product is a product of Taiwan and a "designated country" end product that complies with the Trade Agreements Act.

GSA Schedule:

Suitable in accordance with FAR Subpart 25.4.

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type
Project		OD
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.

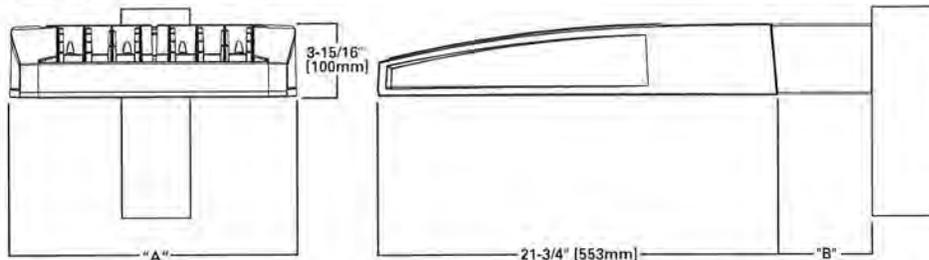


GLEON GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS

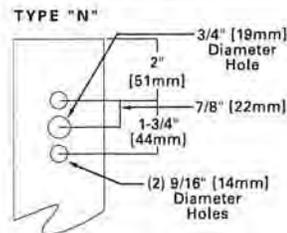


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA

UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)



NOMINAL POWER LUMENS (1A)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	59	113	166	225	279	333	391	445	501	558	
Input Current @ 120V (A)	0.51	1.02	1.53	2.03	2.55	3.06	3.56	4.08	4.6	5.07	
Input Current @ 208V (A)	0.29	0.56	0.82	1.11	1.37	1.64	1.93	2.19	2.46	2.75	
Input Current @ 240V (A)	0.26	0.48	0.71	0.96	1.19	1.41	1.67	1.89	2.12	2.39	
Input Current @ 277V (A)	0.23	0.42	0.61	0.83	1.03	1.23	1.45	1.65	1.84	2.09	
Input Current @ 347V (A)	0.17	0.32	0.50	0.64	0.82	1.00	1.14	1.32	1.50	1.68	
Input Current @ 480V (A)	0.14	0.24	0.37	0.48	0.61	0.75	0.91	0.99	1.12	1.28	
Optics											
T2	4000K/5000K Lumens	6,116	11,951	17,833	23,563	29,195	34,937	41,317	46,814	52,221	57,817
	3000K Lumens	5,414	10,579	15,786	20,858	25,843	30,926	36,574	41,440	46,226	51,180
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T2R	4000K/5000K Lumens	6,493	12,688	18,932	25,015	30,994	37,090	43,863	49,699	55,439	61,380
	3000K Lumens	5,748	11,231	16,759	22,143	27,436	32,832	38,828	43,994	49,075	54,334
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
T3	4000K/5000K Lumens	6,234	12,181	18,176	24,017	29,756	35,609	42,111	47,715	53,225	58,930
	3000K Lumens	5,518	10,783	16,089	21,260	26,340	31,521	37,277	42,237	47,115	52,165
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T3R	4000K/5000K Lumens	6,372	12,453	18,580	24,550	30,418	36,400	43,048	48,776	54,409	60,239
	3000K Lumens	5,640	11,023	16,447	21,732	26,926	32,221	38,106	43,177	48,163	53,324
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
T4FT	4000K/5000K Lumens	6,270	12,252	18,282	24,156	29,929	35,815	42,356	47,992	53,534	59,271
	3000K Lumens	5,550	10,845	16,183	21,383	26,493	31,703	37,494	42,483	47,388	52,467
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
T4W	4000K/5000K Lumens	6,189	12,094	18,045	23,844	29,543	35,352	41,809	47,372	52,843	58,506
	3000K Lumens	5,479	10,706	15,973	21,107	26,151	31,294	37,009	41,934	46,777	51,790
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL2	4000K/5000K Lumens	6,105	11,931	17,803	23,522	29,144	34,877	41,245	46,734	52,130	57,717
	3000K Lumens	5,404	10,561	15,759	20,822	25,798	30,873	36,510	41,369	46,145	51,091
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL3	4000K/5000K Lumens	6,233	12,180	18,174	24,013	29,753	35,604	42,106	47,708	53,218	58,921
	3000K Lumens	5,517	10,782	16,088	21,256	26,337	31,517	37,272	42,231	47,109	52,157
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL4	4000K/5000K Lumens	5,922	11,572	17,268	22,816	28,269	33,829	40,006	45,330	50,566	55,984
	3000K Lumens	5,242	10,244	15,286	20,197	25,024	29,945	35,413	40,126	44,761	49,557
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	4000K/5000K Lumens	6,429	12,563	18,746	24,768	30,688	36,723	43,429	49,208	54,891	60,775
	3000K Lumens	5,691	11,121	16,594	21,925	27,165	32,507	38,443	43,559	48,590	53,798
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
5MQ	4000K/5000K Lumens	6,547	12,794	19,090	25,224	31,253	37,400	44,228	50,114	55,902	61,893
	3000K Lumens	5,795	11,325	16,898	22,328	27,665	33,106	39,151	44,361	49,484	54,788
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
5WQ	4000K/5000K Lumens	6,564	12,828	19,141	25,291	31,336	37,499	44,347	50,248	56,051	62,058
	3000K Lumens	5,810	11,355	16,944	22,388	27,739	33,194	39,256	44,480	49,616	54,934
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
SLL/SLR	4000K/5000K Lumens	5,478	10,703	15,970	21,102	26,145	31,286	37,001	41,924	46,765	51,777
	3000K Lumens	4,849	9,474	14,137	18,679	23,144	27,694	32,753	37,111	41,396	45,833
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
RW	4000K/5000K Lumens	6,371	12,449	18,576	24,544	30,411	36,392	43,037	48,764	54,396	60,225
	3000K Lumens	5,640	11,020	16,443	21,726	26,920	32,214	38,096	43,166	48,151	53,311
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
AFL	4000K/5000K Lumens	6,394	12,494	18,644	24,634	30,521	36,524	43,194	48,942	54,593	60,444
	3000K Lumens	5,660	11,060	16,504	21,806	27,017	32,331	38,235	43,323	48,326	53,505
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4

* Nominal data for 70 CRI.

FFLED18



Rectangular shaped LED floodlight designed to replace 70W Metal Halide. Patent Pending airflow technology ensures long LED and driver lifespan. Use for building facade lighting, sign lighting, LED landscape lighting and instant-on security lighting.

Color: Bronze

Weight: 4.8 lbs

Project:

Type:

O/E

Prepared By:

Date:

Driver Info

Type:	Constant Current
120V:	0.2A
208V:	0.15A
240V:	0.13A
277V:	0.11A
Input Watts:	23W
Efficiency:	80%

LED Info

Watts:	18W
Color Temp:	5000K
Color Accuracy:	72 CRI
L70 Lifespan:	100000
Lumens:	2310
Efficacy:	103 LPW

Technical Specifications

Listings

UL Listing:

Suitable For Wet Locations. Suitable for ground mounting.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Optical

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

NEMA Type:

NEMA Beam Spread of 7H x 6V

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water

Airflow:

Airflow technology heat sink for superior cooling.

Ambient Temperature:

Suitable for use in 104° F (40° C) ambient temperatures.

Cold Weather Starting:

Minimum starting temperature is -40° F (-40° C)

Thermal Management Housing:

Die-cast aluminum housing, lens frame and mounting arm.

Mounting:

Heavy-duty mounting arm with "O" ring seal & stainless steel screw.

Reflector:

Semi-specular anodized aluminum.

Gaskets:

High-temperature silicone gaskets.

Finish:

Formulated for high-durability and long lasting color.

Green Technology:

Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

LED Characteristics

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2015.

Electrical

Driver:

Constant Current, Class 2, 100 - 277V, 50 - 60 Hz, 100 - 277VAC 0.4 Amps.

Surge Protection:

6kV

Other

California Title 24:

See FFLED18/PC, FFLED18/PCS, FFLED18/PC2 or FFLED18/PCS2 for a 2013 California Title 24 compliant model.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

Patents:

The FFLED design is protected by U.S. Pat. D643,147, Canada Pat. 140798, China Pat. ZL201130171304.1, Mexico Pat. 36757 and pending patent in Taiwan.

American Bureau of Shipping (ABS) :

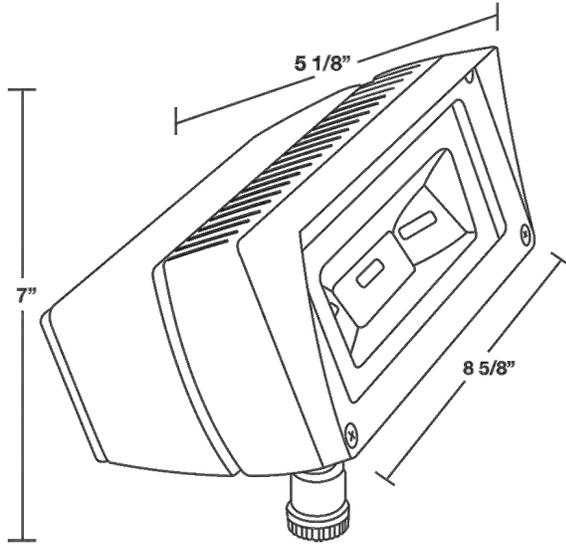
For use on Mobile Offshore Drilling Units (MODU) and shipping vessels.

Equivalency:

Equivalent to 70W Metal Halide.

FFLED18

Dimensions

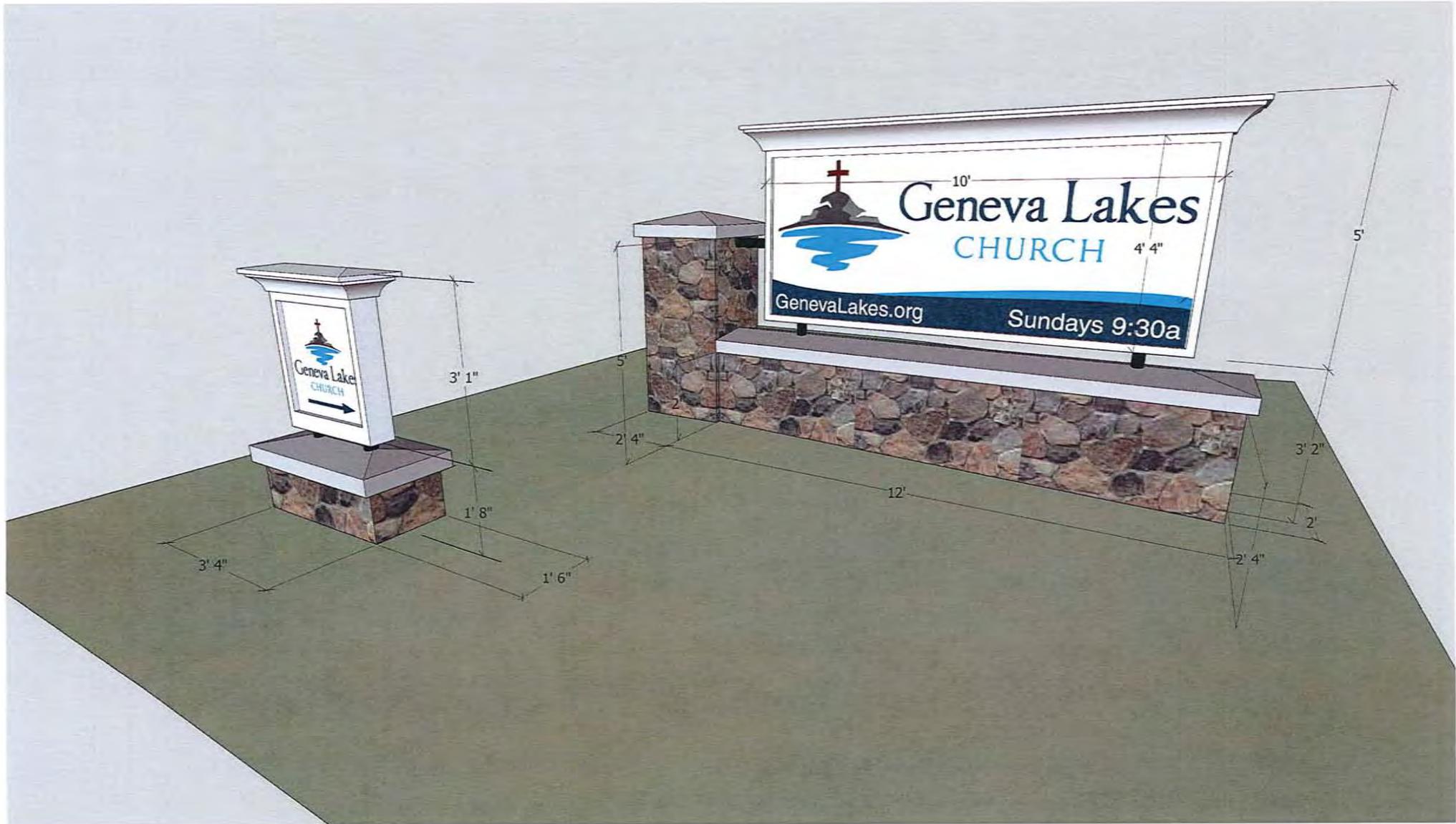


Features

- Ultra efficient LED and optical design
- Replaces 70W MH floodlights
- 100,000 hour life based on LM-80 tests
- NEMA type - 7H x 6V
- Air-flow technology heatsink
- 5-year warranty

Ordering Matrix

Family	Watts	Color Temp	Finish	Photocell
FFLED	18 = 18W	Blank = 5000K (Cool) Y = 3000K (Warm) N = 4000K (Neutral)	Blank = Bronze W = White	Blank = No Photocell /PC = 120V Button /PC2 = 277V Button



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #14

Applicant:

Lake Geneva Tennis, LLC
630 Veterans Parkway, Lake Geneva, WI 53147

Request:

630 Veterans Parkway, Lake Geneva, WI 53147
Proposed Conditional Use Permit to Expand
Parking Lot for a Physical Activity Studio land use

Description of Proposed Conditional Use:

The applicant is submitting a Conditional Use Permit (CUP) to expand a parking lot located at 630 Veterans Parkway. As it involves a change to the site plan, this requires an amendment to the approved Conditional Use Permit for Physical Activity Studio under Section 98-206(4)(s) of the Zoning Ordinance.

The applicant proposes ten additional parking spaces on the northeast side of the property, in line with the existing row of parking adjacent to the building. The new spaces would be located between the existing parking area (and building) and Veterans Parkway.

The property is zoned Planned Business Park (PBP).

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The parking stalls are proposed to be 8 x 17 feet. Section 98-704(6) of the Zoning Ordinance requires that parking stalls be at least 9 x 17 feet or 9 x 18.5 feet if including a 1.5-foot curb overhang.

The total landscape surface area would be reduced from 41,910 square feet to 40,380 square feet. The site will continue to meet its minimum landscape surface ratio of 40 percent.

The increased paved area will require additional landscaping points on the site.

The proposed parking area meets the paved area setback of 20 feet for street yards in the PBP zoning district. It also meets the minimum throat length of 25 feet for commercial uses of this scale.

The site plan submitted did not depict the individual parking stalls. Staff has sketched in parking stalls, sidewalk, and curb that meet Zoning Ordinance requirements. Staff recommends that the applicant submit a final site plan before the conditional use permit can be granted.

The Zoning Ordinance requires that adequate lighting (between 0.4 and 1.0 footcandles) be provided for parking lots.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend *approval* of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends that the *following conditions* be attached:
 - a. The applicant shall provide a final site plan based on the attached Exhibit A. The site plan shall be drawn to scale, shall meet all requirements of Section 98-908(3), including the dimensions of the parking spaces, curbs, and sidewalks, and shall be approved by City staff.
 - b. All parking spaces shall be consistent with Section 98-704(6) of the Zoning Ordinance.
 - c. Parking stalls shall be at least 9 x 17 feet or 9 x 18.5 feet if including a 1.5-foot curb overhang.
 - d. Parking stalls shall be clearly marked.
 - e. A curbed sidewalk shall be provided on the south side of the new parking stalls, identical to the sidewalk and curb provided for the existing parking stalls.
 - f. The applicant shall provide 40 landscaping points along the street frontage nearest the new parking stalls.
 - g. Light fixtures shall be installed that provide between 0.4 and 1.0 footcandles of illumination for the new parking stalls.



LOT 48 OF LAKE GENEVA BUSINESS PARK PHASE II
LAKE GENEVA TENNIS

SITE PLAN

FARMY, HANSEN & ASSOCIATES, INC.
ARCHITECTURAL, INTERIOR DESIGN, PLANNING
2000 W. WISCONSIN ST., SUITE 200
LAKE GENEVA, WI 53147
TEL: (262) 704-0000
FAX: (262) 704-0000

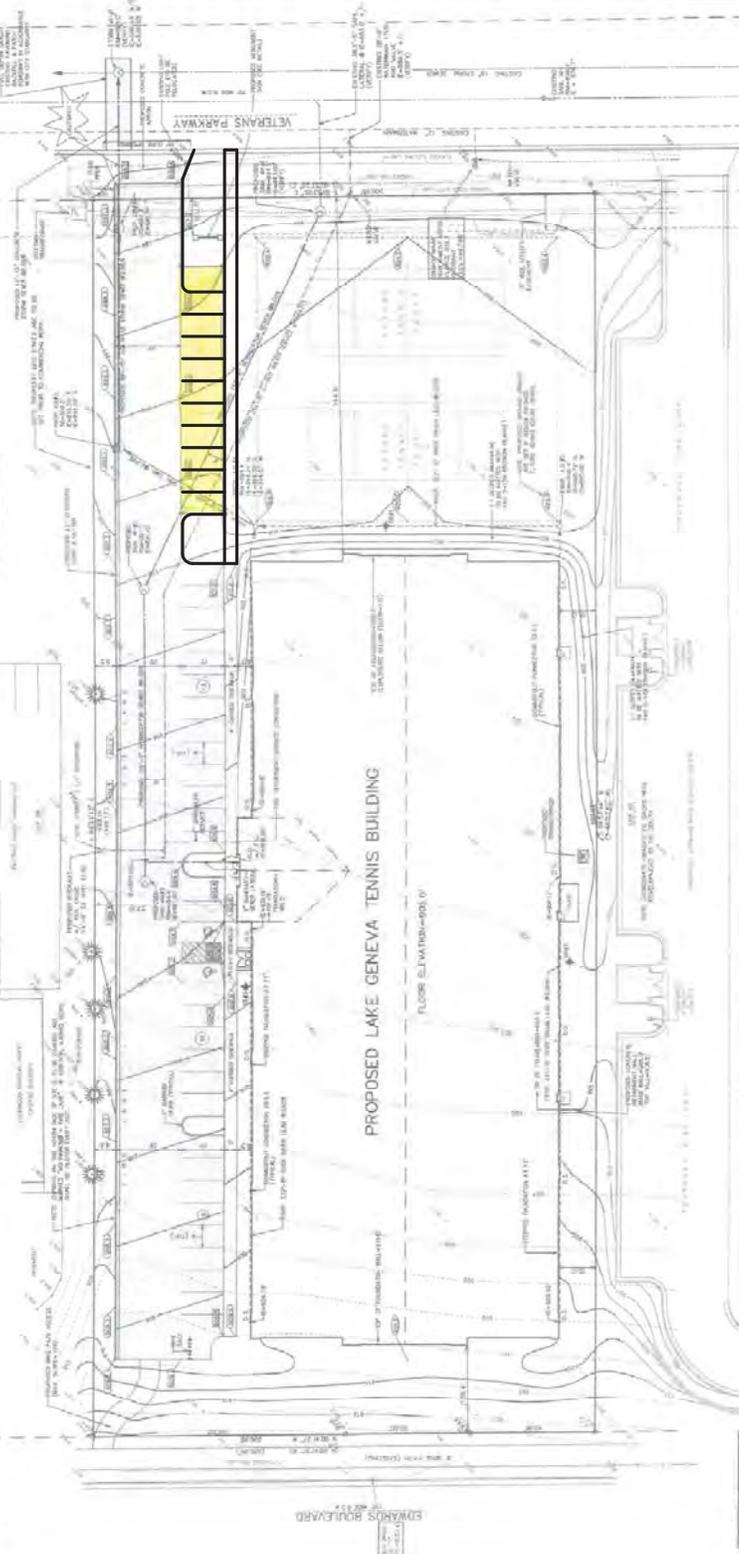
DATE: 11/15/2011
DRAWN BY: [Name]
CHECKED BY: [Name]

SCALE: 1" = 10' 0"

Exhibit A

SITE PLAN
LAKE GENEVA TENNIS
LOT 48 OF LAKE GENEVA BUSINESS PARK PHASE II
CITY OF LAKE GENEVA, WAUKESHA COUNTY, WISCONSIN

- SITE SUMMARY**
- TOTAL LOTS: 2 (2.28 ACRES)
 - EXISTING ZONING: - MSP (PLANNED BUSINESS PARK)
 - PROPOSED ZONING: - MSP (PLANNED BUSINESS PARK)
 - PROPOSED BUILDING AREA: - 36,000 SF (83,000)
 - PROPOSED LOT AREA: - 13,800 SF (31,400)
 - PROPOSED GREEN SPACE: - 4,000 SF (9,120) INCLUDING FUTURE TENNIS COURTS
 - PROPOSED PARKING: - 32 SPACES (INCLUDING 3 HANDICAP)
 - PROPOSED LAKE DISTURBANCE: - 2.3 ACRES



SHEET INDEX	
SHEET 1 - SITE PLAN	SHEET 8 - BALANCE SECTION
SHEET 2 - EXTENSIVE TELESCOPE	SHEET 9 - HANGUP DETAILS
SHEET 3 - FIRST FLOOR PLAN	SHEET 10 - WALL SECTION
SHEET 4 - SECOND FLOOR PLAN	SHEET 11 - GENERAL SPOOR/GARAGE
SHEET 5 - SECTION THROUGH BUILDING	SHEET 12 - GENERAL WEED/GARAGE
SHEET 6 - SECTION THROUGH BUILDING	
SHEET 7 - SECTION THROUGH BUILDING	
SHEET 8 - SECTION THROUGH BUILDING	



LOCATION SECTION

- LEGEND**
- 1" = 10' 0"
 - 1" = 20' 0"
 - 1" = 40' 0"
 - 1" = 80' 0"
 - 1" = 160' 0"
 - 1" = 320' 0"
 - 1" = 640' 0"
 - 1" = 1280' 0"
 - 1" = 2560' 0"
 - 1" = 5120' 0"
 - 1" = 10240' 0"
 - 1" = 20480' 0"
 - 1" = 40960' 0"
 - 1" = 81920' 0"
 - 1" = 163840' 0"
 - 1" = 327680' 0"
 - 1" = 655360' 0"
 - 1" = 1310720' 0"
 - 1" = 2621440' 0"
 - 1" = 5242880' 0"
 - 1" = 10485760' 0"
 - 1" = 20971520' 0"
 - 1" = 41943040' 0"
 - 1" = 83886080' 0"
 - 1" = 167772160' 0"
 - 1" = 335544320' 0"
 - 1" = 671088640' 0"
 - 1" = 1342177280' 0"
 - 1" = 2684354560' 0"
 - 1" = 5368709120' 0"
 - 1" = 10737418240' 0"
 - 1" = 21474836480' 0"
 - 1" = 42949672960' 0"
 - 1" = 85899345920' 0"
 - 1" = 171798691840' 0"
 - 1" = 343597383680' 0"
 - 1" = 687194767360' 0"
 - 1" = 1374389534720' 0"
 - 1" = 2748779069440' 0"
 - 1" = 5497558138880' 0"
 - 1" = 10995116277760' 0"
 - 1" = 21990232555520' 0"
 - 1" = 43980465111040' 0"
 - 1" = 87960930222080' 0"
 - 1" = 175921860444160' 0"
 - 1" = 351843720888320' 0"
 - 1" = 703687441776640' 0"
 - 1" = 1407374883553280' 0"
 - 1" = 2814749767106560' 0"
 - 1" = 5629499534213120' 0"
 - 1" = 11258999068426240' 0"
 - 1" = 22517998136852480' 0"
 - 1" = 45035996273704960' 0"
 - 1" = 90071992547409920' 0"
 - 1" = 180143985094819840' 0"
 - 1" = 360287970189639680' 0"
 - 1" = 720575940379279360' 0"
 - 1" = 1441151880758558720' 0"
 - 1" = 2882303761517117440' 0"
 - 1" = 5764607523034234880' 0"
 - 1" = 11529215046068469760' 0"
 - 1" = 23058430092136939520' 0"
 - 1" = 46116860184273879040' 0"
 - 1" = 92233720368547758080' 0"
 - 1" = 184467440737095516160' 0"
 - 1" = 368934881474191032320' 0"
 - 1" = 737869762948382064640' 0"
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APPLICATION FOR PRECISE IMPLEMENTATION PLAN AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):
630 Veteran's Parkway, Lake Geneva, WI 53147

-See attached plot plan, #48

Name and Address of Current Owner:

Lake Geneva Tennis, LLC

630 Veteran's Parkway, Lake Geneva, WI 53147

Telephone No. of Current Owner including area code: 262-812-0033

Name and Address of Applicant:

Lake Geneva Tennis, LLC

630 Veteran's Parkway, Lake Geneva, WI 53147

Telephone No. of Applicant including area code: 262-812-0033

Proposed Use:

Ten, 8' x 17' car parking spaces.

Zoning District in which land is located: Lake Geneva Business Park, Lot~~48~~ 52

Names and Addresses of architect, professional engineer and contractor of project:

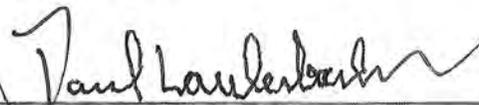
Warren Hansen, Architect & Engineer 7 Ridgeway Ct. Elkhorn, WI

Gary Starck, Starck & Company, Inc 255 Smythe DR, Williams Bay, WI 53191

Short statement describing activities to take place on site:

Indoor Tennis Facility with ten additional parking spots

PIP Amendment fee \$400.00, payable upon filing application.


Signature of Applicant

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Paul Lauterbach, as applicant/petitioner for:

Name: Lake Geneva Tennis, LLC
Address: 630 Veteran's Parkway, Lake Geneva, WI 53147

Phone: 262-812-0033

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 13th day of April, 2017.

Paul Lauterbach

Printed name of Applicant/Petitioner

Paul Lauterbach

Signature of Applicant/Petitioner

Lake Geneva Tennis, LLC.

All information requested on the last three pages was submitted under the original "Application For Conditional Use" dated 03/03/2016.

The plot plan changes by the addition of 10 parking spaces. Further, the green space is reduced from 41,910 to 40,380.

No other changes are sought.

APPLICATION SUBMITTAL REQUIREMENTS
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

↓

Draft Final Packet (1 Copy to Zoning Administrator)

↓

Date: _____ by: _____

Date: _____ by: _____

_____ A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

_____ (1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

_____ (2) **A map of the subject property** for which the PD is proposed:

_____ Showing all lands within 300 feet of the boundaries of the subject property;

_____ Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);

_____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

_____ Map and all its parts clearly reproducible with a photocopier;

_____ Map size of 11" by 17" and map scale not less than one inch equals 800 feet;

_____ All lot dimensions of the subject property provided;

_____ Graphic scale and north arrow provided.

_____ (3) **A general written description** of proposed PIP including:

_____ Specific project themes and images;

_____ The specific mix of dwelling unit types and/or land uses;

_____ Specific residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;

_____ The specific treatment of natural features;

_____ The specific relationship to nearby properties and public streets.

_____ A Statement of Rationale as to why PD zoning is proposed identifying perceived barriers in the form of requirements of standard zoning districts and opportunities for community betterment through the proposed PD zoning.

_____ A complete list of zoning standards which will not be met by the proposed PIP and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PIP and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall

be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

- (4) **A Precise Implementation Plan Drawing** at a minimum scale of 1"=100' (and reduced to 11" x 17") of the proposed project showing at least the following information in sufficient detail: *(See following page)*
 - A PIP site plan conforming to all requirements of Section 98-908(3). If the proposed PD is a group development (per Section 98-208) also provide a proposed preliminary plat or conceptual plat;
 - Location of recreational and open space areas and facilities specifically describing those that are to be reserved or dedicated for public acquisition and use;
 - Statistical data on minimum lot sizes in the development, the precise areas of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and
 - Notations relating the written information (3), above to specific areas on the GDP Drawing.

- (5) **A landscaping plan** for subject property, specifying the location, species, and installed size of all trees and shrubs. Include a chart which provides a cumulative total for each species, type and required location (foundation, yard, street, paved area or bufferyard) of all trees and shrubs.

- (6) **A series of building elevations** for the entire exterior of all buildings in the PD, including detailed notes as to the materials and colors proposed.

- (7) **A general signage plan** including all project identification signs, concepts for public fixtures and signs (such as street light fixtures and/or poles or street sign faces and/or poles), and group development signage themes which are proposed to vary from City standards or common practices.

- (8) **A general outline of the intended organizational structure** for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any.

- (9) **A written description** which demonstrates the full consistency of the proposed PIP with the approved GDP.

- (10) **A written description** of any and all variations between the requirements of the applicable PD/GDP zoning district and the proposed PIP development; and,

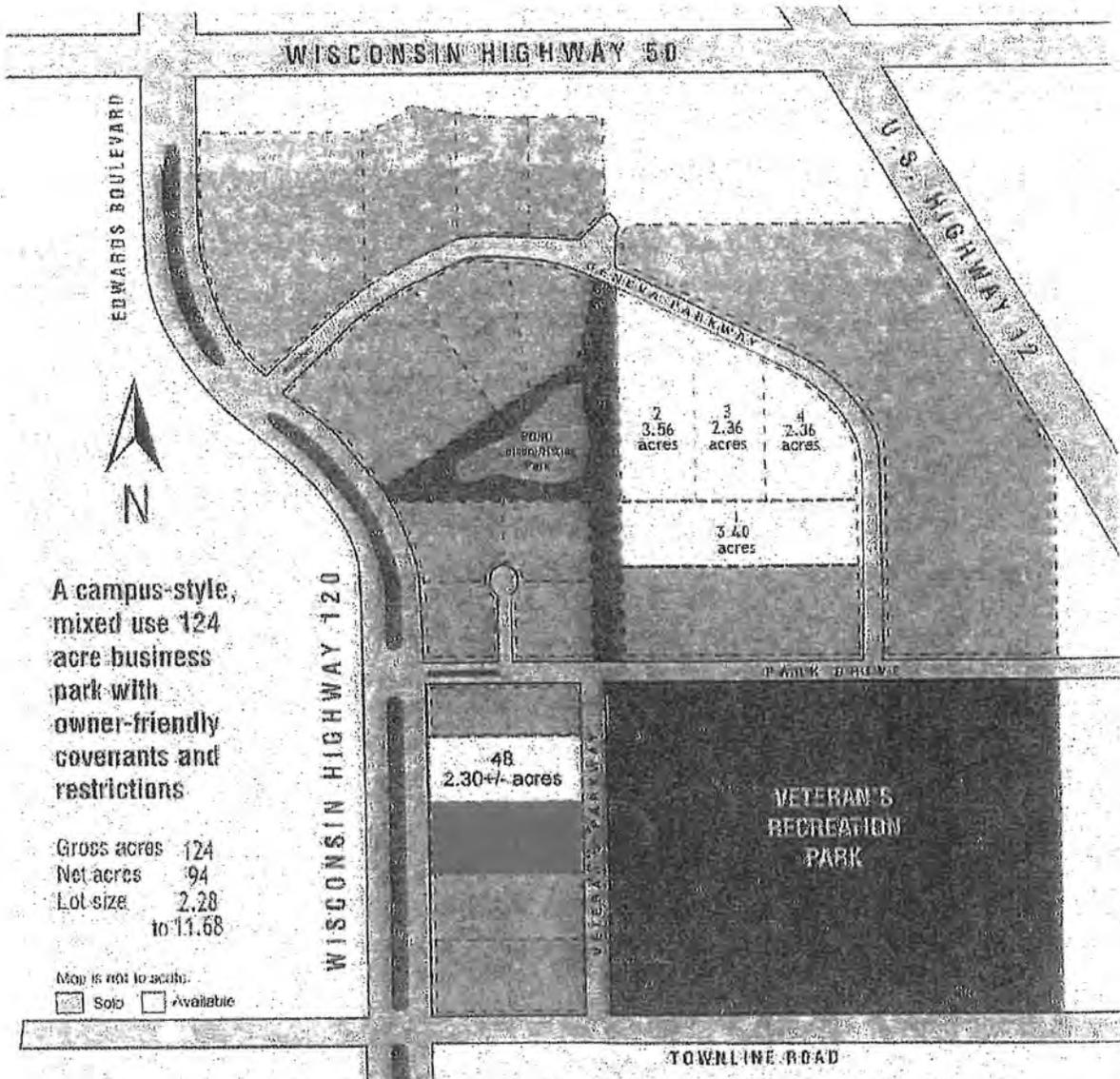
- ____ (11) Proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development.

FINAL APPLICATION PACKET INFORMATION
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/PIP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

- ____ **Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____
- ____ **Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____
- ____ **Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:** Date: _____ by: _____
- ____ **Class 2 Legal Notice sent to official newspaper by City Clerk:** Date: _____ by: _____
- ____ **Class 2 Legal Notice published on _____ and _____ by: _____**

LAKE GENEVA BUSINESS PARK



A campus-style, mixed use 124 acre business park with owner-friendly covenants and restrictions

Gross acres 124
 Net acres 94
 Lot size 2.28 to 11.68

Map is not to scale.
 Sold Available

Wisconsin State Highway 120 connects to Illinois 47 at the state line.

Improved lots from \$1 per square foot!

Owner (s):

LAKE GENEVA ECONOMIC DEVELOPMENT CORP

Location:

Mailing Address:

LAKE GENEVA ECONOMIC DEVELOPMENT CORP

500 COMMERCIAL COURT

LAKE GENEVA, WI 53147-0000

School District:

2884 - UHS Lake Geneva-Genoa City

Tax Parcel ID Number:

ZLGBP200029

Tax District:

246-City of Lake Geneva

Status:

Active

Acres:

2.3000

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):

LOT 48 LAKE GENEVA BUSINESS PARK PHASE II AS RECORDED IN CAB B SLIDE 174 WCR. LOCATED IN NE 1/4 SE 1/4, SE 1/4 SE 1/4 & SW 1/4 SE 1/4 SEC 31 T2N R18E. 100380 SQ FT. CITY OF LAKE GENEVA OMTS ZYUP-169 & ZA2524-1

Site Address (es): *(Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)*

PREPARED FOR:
KENNELLY DEVELOPMENT COMPANY, L.L.C.
303 BRIAN LANE PROSPECT HEIGHTS, ILL.
60070

PLAT OF SURVEY

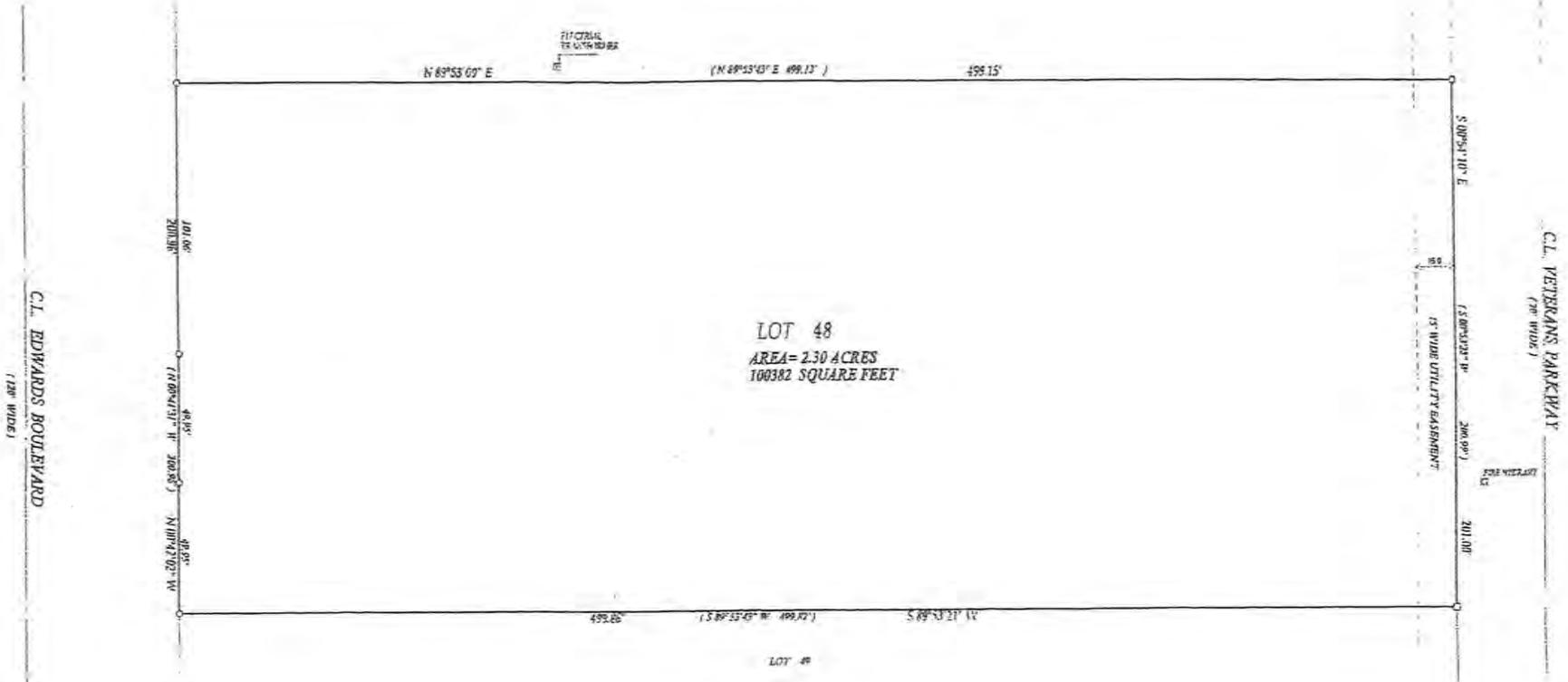
JR SURVEYING INC.
2500 WILLOWBEND LANE
LAKE GENEVA, WI 53117
763-245-3697

- OF -

LOT 48 OF LAKE GENEVA BUSINESS PARK PHASE 1, LOCATED IN THE
SOUTHEAST 1/4 OF SECTION 31, TOWN 2 NORTH, RANGE 14 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

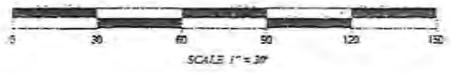
311

LOT 47



LOT 48
AREA = 2.30 ACRES
100382 SQUARE FEET

- LEGEND
- () = revealed as
 - = found iron bar
 - = found iron pipe
 - = set iron pipe
 - = set iron bar



BEARINGS ARE REFERENCED TO THE RECORD
PLAT OF LAKE GENEVA BUSINESS PARK PHASE 1

BOUNDARY LOCATION, OCCUPATION HEREIN AND CHANGING THEREAFTER, NOT BEING RESTRICTED BY THIS SURVEY. NO WARRANTY IS MADE BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION HEREON.

"I hereby certify that I have surveyed the above described property and that the above map is a true representation thereof and shows the size and location of all visible structures, apparent easements and encroachments if any."
This survey is made for the present owners of the property, and those who purchase, mortgage, or guarantee the title thereto, within one year from the date hereof.



JOHN KROTT 5-2258
Wisconsin Registered Land Surveyor
(original signed in red)

DATED THIS 10th DAY OF FEBRUARY, 2006

007-2103

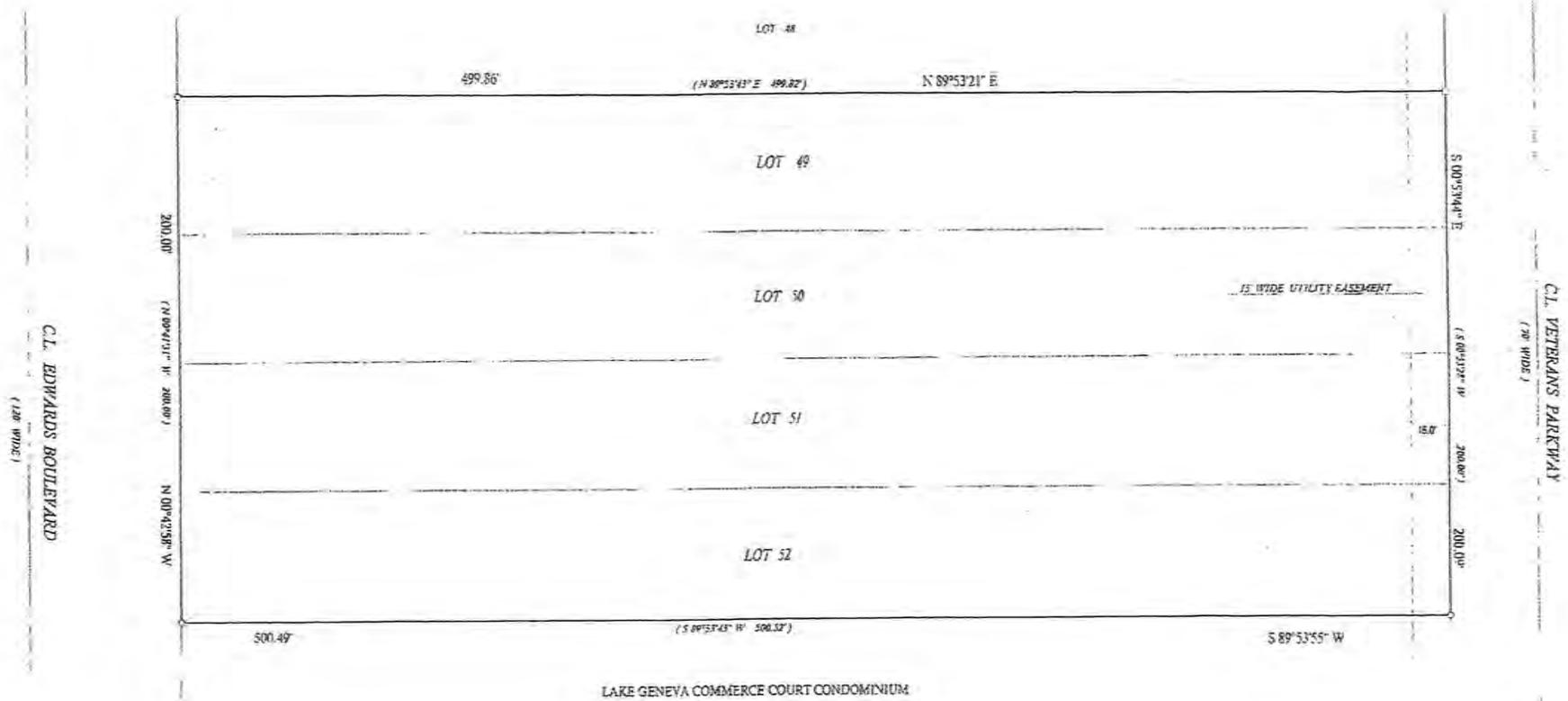
PREPARED FOR:
KENNELLY DEVELOPMENT COMPANY, L.L.C.
301 BRIAN LAKE PROSPECT HEIGHTS, ILI,
60670

PLAT OF SURVEY

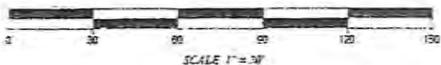
J.R. SERVING INC.
1430 WILLOWBEND LANE
LAKE GENEVA, WI 53127
262-248-3297

5076

LOTS 48 THROUGH 52 OF LAKE GENEVA BUSINESS PARK, PHASE 2, LOCATED
IN THE SOUTHEAST 1/4 OF SECTION 31, TOWN 2 NORTH, RANGE 12 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.



- LEGEND
- () for recorded or
 - - - found iron bar
 - - - found iron pipe
 - = set iron pipe
 - = set iron bar



COMMON LEGAL DESCRIPTION HEREIN DRAWN WITH DEDICATED HEREIN IN RESPECT OF THE
EASEMENTS AND ENCUMBRANCES TO BE SHOWN APPROVED FOR RECORD IN WALWORTH COUNTY, WISCONSIN
THE SURVEY IS NOT RESPONSIBLE TO ANY OTHER PARTY.

"I hereby certify that I have surveyed the above described property and that
the above map is a true representation thereof and shows the size and
location of all visible structures, appurtenant easements and encumbrances
if any.
This survey is made for the present owners of the property, and those who
purchase, mortgage, or guarantee the title thereof, within one year from
the date hereof.



JOHN KROTT 5-2254
Wisconsin Registered Land Surveyor
(original signed in red)

JOB # 05-09
TAX ID

BEARINGS ARE REFERENCED TO THE RECORD
PLAT OF LAKE GENEVA BUSINESS PARK PHASE 2

DATED THIS 19th, DAY OF FEBRUARY, 2006

ZIGOP2 301433

007-2404



LAKE GENEVA TENNIS
LOT 48 OF LAKE GENEVA BUSINESS PARK PHASE II
CITY OF LAKE GENEVA
WALWORTH COUNTY, WISCONSIN

SITE PLAN

FARRIS, HANSEN & ASSOCIATES, INC.
Engineering, Architecture, Surveying
7 Ridgeway Court P.O. Box 437
Elkhorn, Wisconsin 53121
Office: (262) 723-2098
Fax: (262) 723-9586

REVISIONS
3/18/2016-KB
ADD SOIL TEST BORINGS
3/24/2016-KB
PER CITY COMMENTS

PROJECT NO.
9368

DATE
3/15/2016

SHEET NO.
1 OF 12

SITE PLAN

LAKE GENEVA TENNIS

LOT 48 OF LAKE GENEVA BUSINESS PARK PHASE II

CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

WORK ORDERED BY
PAUL LAUTERBACH
LAKE GENEVA TENNIS CLUB
914 BENNETT COURT
WALWORTH, WI. 53184

- LEGEND
- = FOUND IRON PIPE STAKE
 - = SET IRON REBAR STAKE
 - (XXX) = RECORDED AS
 - XXX--- = EXISTING LAND CONTOURS
 - XXX--- = PROPOSED LAND CONTOURS
 - XXX--- = EXISTING GROUND ELEVATION
 - XXX--- = PROPOSED FINISHED PAVEMENT ELEVATION
 - XXX--- = PROPOSED FINISHED CONCRETE GRADE
 - XXX--- = PROPOSED FINISHED GROUND GRADE
 - M.E. = MATCH EXISTING

SITE SUMMARY

- TOTAL LAND AREA - 100,380 S.F. (2.30 ACRES)
- EXISTING ZONING - PBP (PLANNED BUSINESS PARK)
- PROPOSED BUILDING AREA - 39,000 S.F. (38.9%)
- PROPOSED IMPERVIOUS AREA - 19,470 S.F. (19.4%)
- FUTURE TENNIS COURT - 13,680 S.F. (13.6%)
- PROPOSED GREEN SPACE AREA - 41,910 S.F. (41.7%) INCLUDING FUTURE TENNIS COURTS
- PROPOSED PARKING - 32 SPACES (INCLUDING 2 HANDICAP)
- PROPOSED LAND DISTURBANCE - 2.3 ACRES

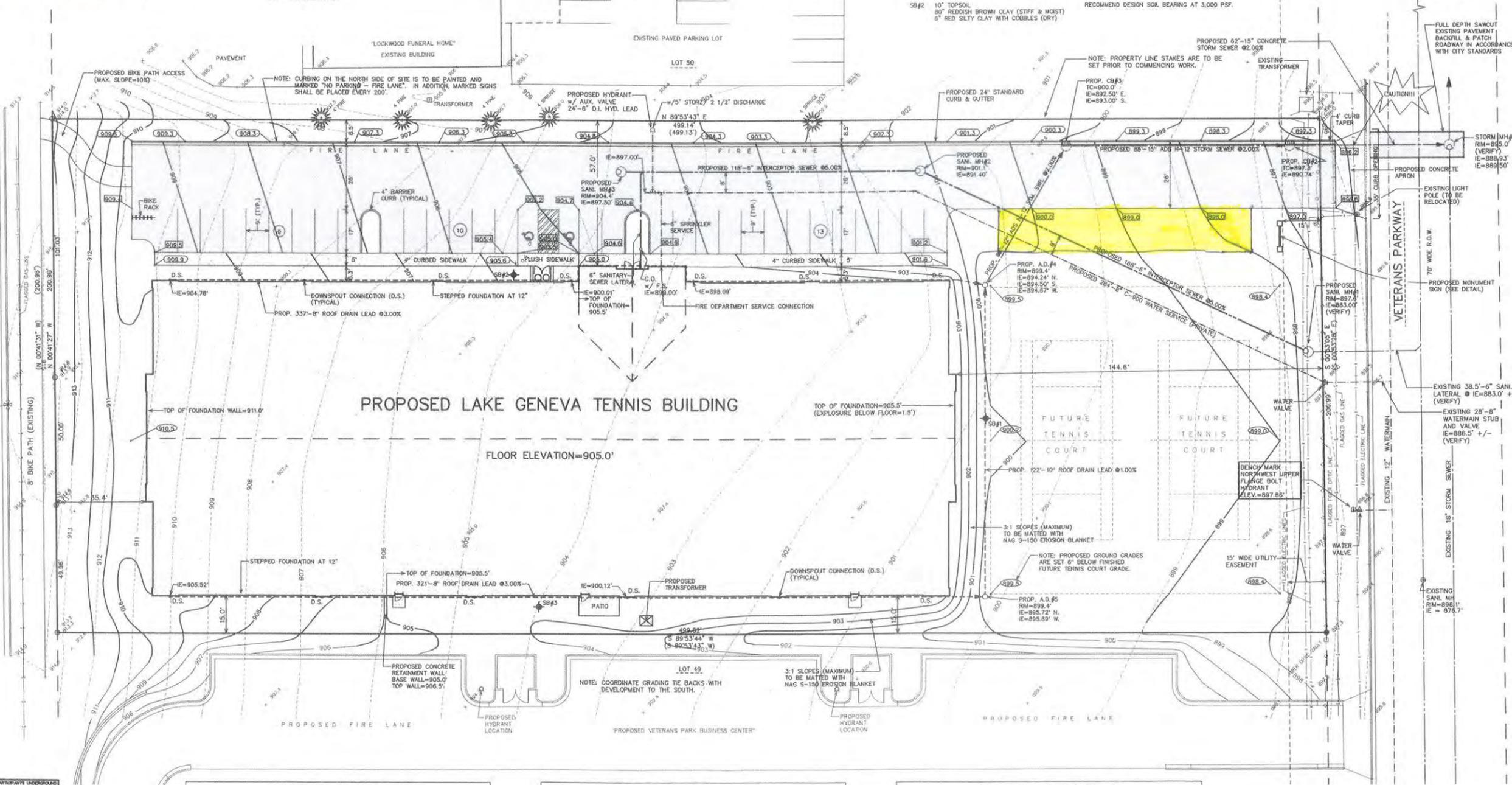
LEGAL DESCRIPTION:
LOT 48 OF LAKE GENEVA BUSINESS PARK, PHASE 2 BEING LOCATED IN THE SOUTHEAST 1/4 OF SECTION 31, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

SOIL TEST PITS SUMMARY:

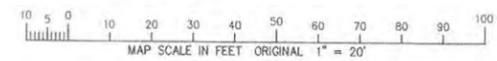
- SB#1 10" TOPSOIL
50" REDDISH BROWN CLAY (STIFF & MOIST)
28" SILTY SAND WITH COBBLES (DRY)
 - SB#2 10" TOPSOIL
80" REDDISH BROWN CLAY (STIFF & MOIST)
6" RED SILTY CLAY WITH COBBLES (DRY)
 - SB#3 10" TOPSOIL
32" REDDISH BROWN CLAY, SOME COBBLES (MOIST)
36" COARSE SAND WITH GRAVEL (DRY)
- RECOMMEND DESIGN SOIL BEARING AT 3,000 PSF.



LOCATION SKETCH



DIGGERS HOTLINE
Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 545-2289
www.DiggersHotline.com
WE STRIVE TO EXCEED YOUR EXPECTATIONS.
3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



PROPOSED BUILDING #2		PROPOSED BUILDING #1	
SHEET 1	- SITE PLAN	SHEET 9	- BUILDING SECTION - HANDICAP DETAILS
SHEET 2	- EXTERIOR ELEVATIONS	SHEET 10	- WALL SECTIONS
SHEET 3	- FIRST FLOOR PLAN	SHEET 11	- WALL SECTIONS - GENERAL SPECIFICATIONS
SHEET 4	- DETAIL FIRST FLOOR PLAN - DETAIL MEZZANINE PLAN	SHEET 12	- GENERAL SPECIFICATIONS
SHEET 5	- FOUNDATION PLAN - COLUMN FOOTING SCHEDULE		
SHEET 6	- BUILDING SECTION - WALL TYPES - ANCHOR BOLT DETAILS - DETAILS		
SHEET 7	- BUILDING SECTION - DETAILS		
SHEET 8	- BUILDING SECTION - DETAILS		

SHEET INDEX

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #15

Applicant:

Reeds Construction LLC
W3199 S Lake Shore Drive
Lake Geneva, WI 53147

Request:

1084 LaGrange Drive, Lake Geneva, WI 53147
Proposed Conditional Use Permit for a Boat Slip

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a new boat slip at 1084 LaGrange Drive. The slip would involve a wood pier with three wood cribs filled with rock. Detailed crib and decking designs are included in the submittal. The slip is proposed to be 3 x 55 feet and would be connected to the existing main pier by a 3 x 15-foot catwalk. The boat slip would be parallel to the main pier and would be used for private boat docking and summer boat storage.

The City conditions all Conditional Use Permits for boat slips and piers on approval from the DNR. A copy of the Wisconsin DNR Water Resources permit application is included in the submittal.

As proposed, the new boat slip meets the 100-foot maximum length for piers (per Section 90-142 of the Lake Geneva Municipal Code). The pier meets the 12.5-foot setback from the adjacent riparian zone boundary (Section 90-143(e)). The pier does not seem to create an unlawful obstruction, although this will be confirmed by the required review by Wisconsin DNR.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Municipal Ordinance.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the

implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached.
 - a. Conditional Use Permit approval is contingent on review and approval of the proposed slip by the Wisconsin DNR.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

ZLE00003

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

1084 LaGrange Dr. Lake Geneva WI 53147
Lot 3 Lake Geneva East Shore Estates Sub City of Lake Geneva
sect 1, Township 1 North, Range 17 East

NAME AND ADDRESS OF CURRENT OWNER:

Michael Lynch 1084 LaGrange Dr.
Lake Geneva WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: 1-262-716-4000

NAME AND ADDRESS OF APPLICANT:

Reeds Construction LLC
W3199 S Lake Shore Dr. Lake Geneva WI 53147

TELEPHONE NUMBER OF APPLICANT: B 262-248-2934 cell 262-949-5064
Jeff Reed

PROPOSED CONDITIONAL USE:

Build slip on to main pier 3'x55' with 3'x15'6" catwalk

ZONING DISTRICT IN WHICH LAND IS LOCATED: Residential

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Reeds Construction LLC
W3199 S Lake Shore Drive
Lake Geneva WI 53147

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

put 3 cribs in water and fill with rock, then building
of Jack, stringer and decking at shop Then haul it to lake
and put it together

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

2-27-17
DATE

Jeff Reed
SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Reed's Construction LLC, as applicant/petitioner for:

Name: Jeff Reed

Address: W 3199 S Lake Shore Drive
Lake Geneva WI 53147

Phone: Shop 262-248-2934 cell 262-949-5064

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 25 day of Feb, 2017.

Jeff Reed
Printed name of Applicant/Petitioner

Jeff Reed
Signature of Applicant/Petitioner

- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 - _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1-6 (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Slip 3' x 55' with a 3' x 15 catwalk
will be 12' 6" off lot line

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Going to be used as private boat docking and
summer housing for boat

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No this is all on private property is a pier
Just like all the other pier on lake

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

used for private boat dock

CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

___ (a) A map of the proposed conditional use:

___ Showing all lands for which the conditional use is proposed;

___ Showing all other lands within 300 feet of the boundaries of the subject property;

Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County as provided by the City of Lake Geneva;

___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

Map and all its parts are clearly reproducible with a photocopier;

Map size of 11" by 17" and map scale not less than one inch equals 800 ft;

___ All lot dimensions of the subject property provided;

___ Graphic scale and north arrow provided.

___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

This is down on the water and the home owner is responsible for repair and up keep. It is made of a building and hauled in to be installed. It is stored on private property when removed during winter.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Public does not benefit, this is a private pier for private use only. Will not cost public anything.

IV. FINAL APPLICATION PACKET INFORMATION

- ____ Receipt of 5 full scale copies in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice published on _____ and _____ by: _____
- ____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

Notice: Pursuant to chs. 30 and 31, Wis. Stats., ch. 281, Wis. Stats., and s. 283.33, Wis. Stats., this form is used to apply for coverage under the state construction site storm water runoff general permit, and to apply for a state or federal permit or certification for waterway and wetland projects or dam projects. This form and any required attachments constitute the permit application. Failure to complete and submit this application form may result in a fine and/or imprisonment or forfeiture under the provisions of applicable laws including s. 283.91, Wis. Stats. Personal information collected will be used for administrative purposes and may be provided to requesters to the extent required by Wisconsin's Public Records Laws (ss. 19.31-19.39, Wis. Stats.).

Use this form for (check all that apply):

- Work in public waters (DNR - ch. 30, Wis. Stats.) Storm water NOI - New land disturbing construction activity
- Work in waters of the U.S (Corps of Engineers) Storm water NOI - Renewal FIN # _____
- Permit for Wetland Fill (DNR or Corps of Engineers) Dam projects (DNR or Corps of Engineers)

Read all instructions provided before completing. If additional space is needed, attach additional pages.

Section 1: Applicant/Permittee Information

Applicant Name (Ind., Org. or Entity) Michael Lynch		Authorized Representative Michael Lynch		Title Owner	
Mailing Address 1084 LaGrange Dr		City Lake Geneva		State WI	ZIP Code 53147
Email Address mlynch@lynchtruckcenter.com		Phone Number (incl. area code) 1-262-716-4000		FAX Number (incl. area code)	

Section 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind., Org. or Entity) Michael Lynch		Contact Person Michael Lynch		Title Owner	
Mailing Address 1084 LaGrange Dr		City Lake Geneva		State WI	ZIP Code 53147
Email Address		Phone Number (incl. area code) 1-262-716-4000		FAX Number (incl. area code)	

Section 3: Other Contact Information (check one)

Consultant or Plan Preparer Contractor Agent Other If Other, specify: _____

Name (Ind., Org. or Entity) Reed's Construction		Contact Person Jeff Reed		Title Owner	
Mailing Address W3199 South Lake Shore Dr.		City Lake Geneva		State WI	ZIP Code 53147
Email Address		Phone Number (incl. area code) 262-248-2934		FAX Number (incl. area code) 262-248-3537	

Section 4: Project or Site Location

Project Name Michael Lynch		County Walworth		<input checked="" type="checkbox"/> City <input type="checkbox"/> Town <input type="checkbox"/> Village of	
Location Address/Description 1084 LaGrange Dr Lake Geneva WI 53147					

Section 5: Location Information

Create a map depicting the project location or the perimeter of the construction site (land disturbance) and relationship to nearby water resources using the Surface Water Data Viewer <http://dnr.wis.gov/topics/water/swdvw/> or a 7.5-minute series topographic map. You can print the map and then draw the location on the map.

Provide the section, range, township information and if available, the Latitude and Longitude information.

PLSS (Public Land Survey System) Method					
Quarter-Quarter	Quarter	Section	Township	Range	If this site is not wholly contained on the quarter-quarter section, more description
Gout. Lot 3		1	1 N	17	<input checked="" type="checkbox"/> E <input type="checkbox"/> W

8'x100' main pier was permit 2012
 pier # 859
 permit #

PLEASE COMPLETE BOTH PAGES 1 & 2 OF THIS APPLICATION. PRINT OR TYPE. The Department requires use of this form for any application filed pursuant to Chapter 30, Wis. Stats. The Department will not consider your application unless you complete and submit this application form. Personally identifiable information on this form will not be used for any other purpose, but it must be made available to requesters under Wisconsin's open records law [s. 19.31-19.39, Wis. Stats.].

1. Applicant (Individual or corporate name) <u>Michael Lynch</u>		2. Agent/Contractor (firm name) <u>Reed Construction LLC</u>	
Address <u>1084 LaGrange Dr</u>		Address <u>W3199 South Lake Shore Dr</u>	
City, State, Zip Code <u>Lake Geneva WI 53147</u>	Fire Number <u>1084</u>	City, State, Zip Code <u>WI 53147</u>	Fire Number <u>262-248-2934</u>
Telephone No. (Include area code)	Tax Parcel Number <u>246 ZLE 00003</u>	Telephone No. (Include area code)	

3. If applicant is not owner of the property where the proposed activity will be conducted, provide name and address of owner and include letter of authorization from owner. Owner must be the applicant or co-applicant for structure, diversion and stream realignment activities.

Owner's Name	Address	City, State, Zip Code
--------------	---------	-----------------------

4. Is the applicant a business? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If YES, is the permit or approval you are applying for necessary for you to conduct this business in the State of Wisconsin? <input type="checkbox"/> Yes <input type="checkbox"/> No If YES, please explain why (attach additional sheets if necessary):	5. Project Location	
	Address <u>1084 LaGrange Dr.</u>	
	Village/City/Town <u>Lake Geneva</u>	
	Fire Number <u>1084</u>	Tax Parcel Number <u>246 ZLE 0000</u>
Waterway <u>Lake Geneva</u>		
County <u>Walworth</u>		
Govt. Lot <u>3</u> OR <u>1/4</u> , <u>1/4</u> , of Section <u>1</u> .		
Township <u>1</u> North, Range <u>17</u> (East) (West)		

6. Adjoining Riparian (Neighboring Waterfront Property Owner) Information

Name of Riparian #1 <u>John Huelskamp</u>	Address	City, State, Zip Code
Name of Riparian #2 <u>Property owners Ass. James Majerowicz</u>	Address <u>845 LaGrange Dr</u>	City, State, Zip Code <u>Lake Geneva</u>

7. Project Information (Attach additional sheets if necessary)

(a) Describe proposed activity (include how this project will be constructed)
Wood construction pier with wood crib filled with rock

(b) Purpose, need and intended use of project
Add 1 Boat slip to main pier 12x55' with canopy + 1 shore station

(c) I have applied for or received permits from the following agencies: (Check all that apply) Total of 2 Boats

Municipal County Wis. DNR Corps of Engineers

(d) Date activity will begin if permit is issued ASAP; be completed: Dec 2017

(e) Is any portion of the requested project now complete? Yes No
 If yes, identify the completed portion on the enclosed drawings and indicate here the date activity was completed:
The main pier is

I hereby certify that the information contained herein is true and accurate. I also certify that I am entitled to apply for a permit, or that I am the duly authorized representative or agent of an applicant who is entitled to apply for a permit. Any inaccurate information submitted may result in permit revocation, the imposition of a forfeiture(s) and requirement of restoration.

Signature of Applicant(s) or Duly Authorized Agent <u>Jeff Reed</u>	Date Signed <u>2-25-17</u>
--	-------------------------------

LEAVE BLANK - FOR RECEIVING AGENCY USE ONLY		
Corps of Engineers Process No.	Wisconsin DNR File No.	
Received By	Date Received	Date Application Was Complete

<p>Drawings of proposed activity should be prepared in accordance with sample drawing.</p>	<p>Location Sketch (Indicate scale) Show route to project site: include nearest main road and crossroad.</p>
<p>Proposed Materials 3 Rock Filled cribs All wood will be Doug Fir 6X6 post + Jack 4X6 stringer 2X8 Decking wood crib Filled with stone</p>	<p>N 1" = _____ ft. Fire Number <u>1089</u></p> <p style="text-align: center; font-size: 2em;">See Next pages</p>

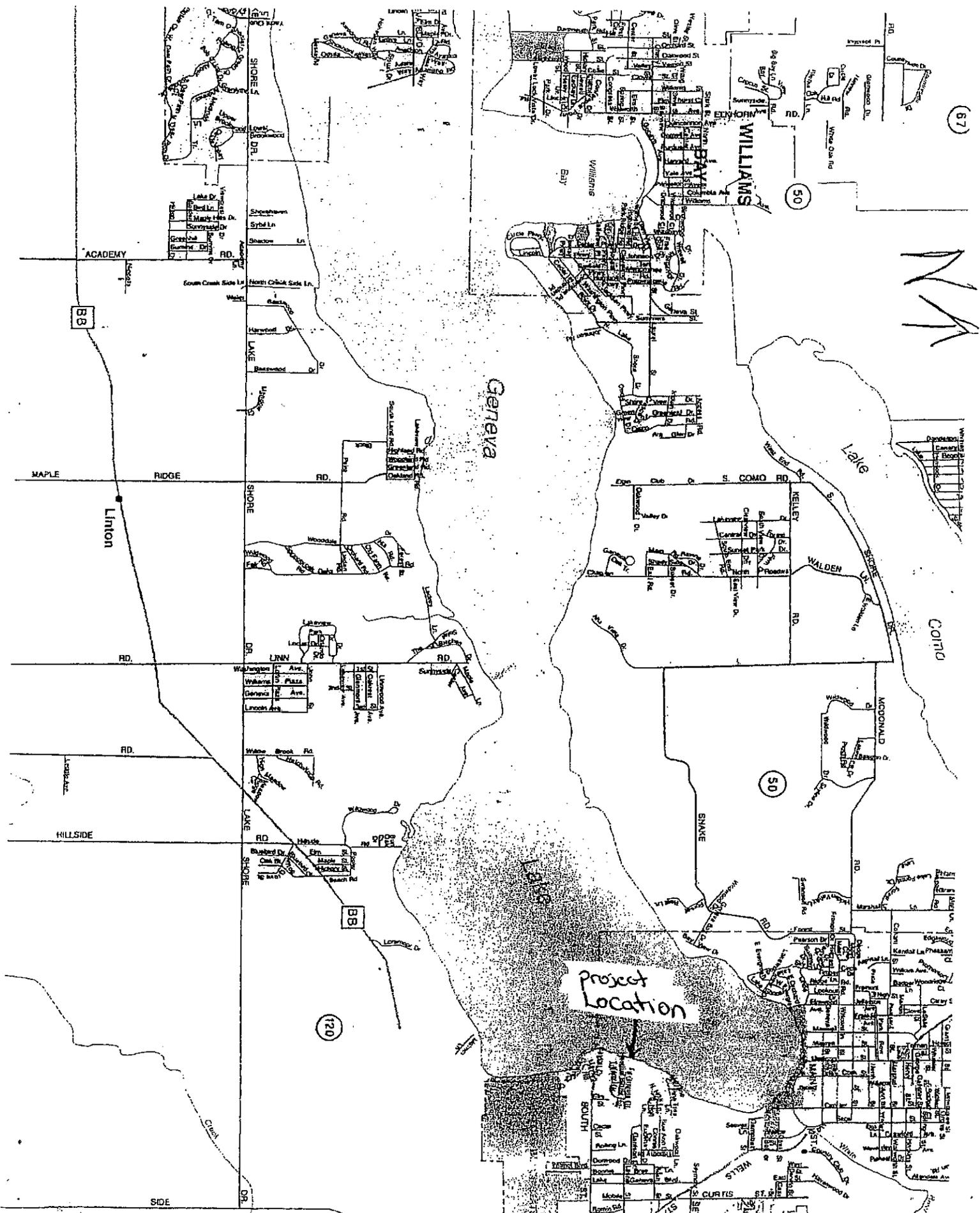
Project Plans (Include top view and typical cross sections. Clearly identify features and dimensions or indicate scale.)
Use additional sheets if necessary.

<p>N 1" = _____ ft. ▲</p>	<p>Top View</p>
-------------------------------	------------------------

See Next pages

Cross Section

See Next pages



67

50

B8

50

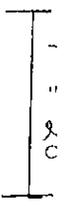
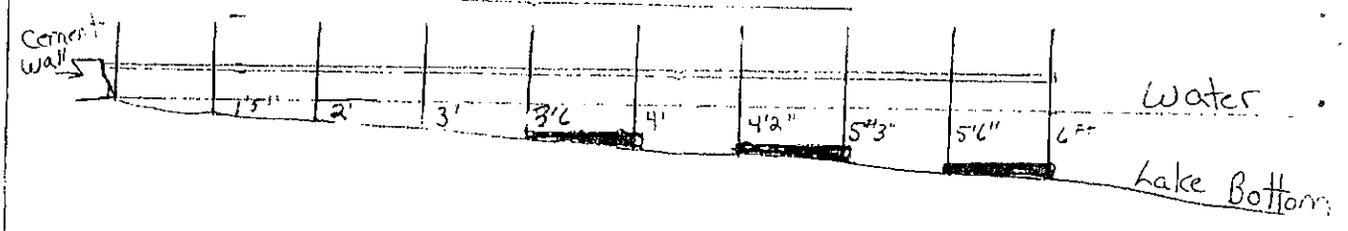
120

Project Location

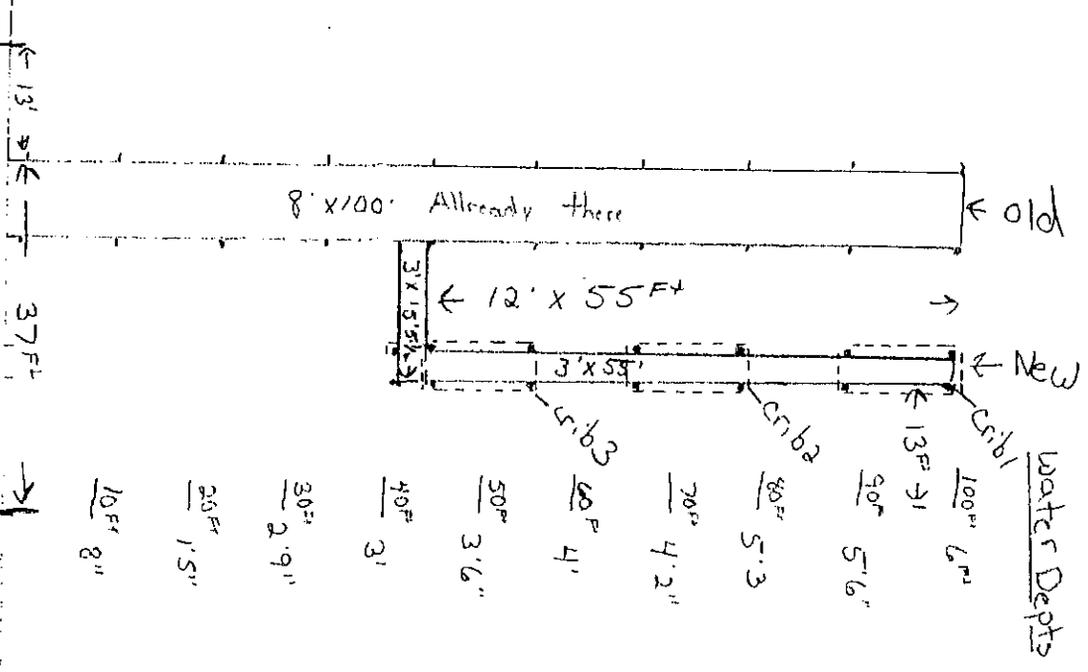


CONT'D

John Huelstkamp



of line
Michael
Lynch



Top View

Water Depths
 100' 6"
 90' 5'6"
 80' 5'3"
 70' 4'2"
 60' 4'
 50' 3'6"
 40' 3'
 30' 2'9"
 20' 1'5"
 10' 8"

Crib 1 65 sq ft
 Crib 2 65 sq ft
 Crib 3 65 sq ft
 Total crib 195 sq ft

East Shore Estates

Lake Geneva City Treasurer
626 Geneva St
Lake Geneva, WI 53147

**WALWORTH COUNTY - STATE OF WISCONSIN
PROPERTY TAX BILL FOR 2016
REAL ESTATE**

LYNCH, MICHAEL
KATHERINE LYNCH

Parcel Number: 246 ZLE 00003
Bill Number: 259614

Important: Be sure this description covers your property. Note that this description is for tax bill only and may not be a full legal description. See reverse side for important information.

Location of Property/Legal Description
1084 LAGRANGE DR

LOT 3, EXC COM NE COR LOT 3, N88D30'47"W 197.13' TO POB S57D48'52"W 34', N14D19'42"E 19.33', S88D30'47"E 24' TO POB ALSO ALL LAND BETW MEANDER LN & LAKE LAKE GENEVA EAST SHORE ESTATES SUB CITY OF LAKE GENEVA

0.410 ACRES

259614/246 ZLE 00003
MICHAEL LYNCH
KATHERINE LYNCH
1084 LAGRANGE DR
LAKE GENEVA WI 53147

Please inform treasurer of address changes.

ASSESSED VALUE: LAND	ASSESSED VALUE IMPROVEMENTS	TOTAL ASSESSED VALUE	AVERAGE ASSMT. RATIO	NET ASSESSED VALUE RATE	NET PROPERTY TAX
998,100	836,900	1,835,000	1.001471453	0.02128055 <small>(Does NOT reflect credits)</small>	38,969.43
ESTIMATED FAIR MARKET VALUE LAND	ESTIMATED FAIR MARKET VALUE IMPROVEMENTS	TOTAL ESTIMATED FAIR MARKET VALUE	<input type="checkbox"/> A star in this box means unpaid prior year taxes.	School taxes also reduced by school levy tax credit	3,930.38
996,600	835,700	1,832,300			
TAXING JURISDICTION	2015 EST. STATE AIDS ALLOCATED TAX DIST.	2016 EST. STATE AIDS ALLOCATED TAX DIST.	2015 NET TAX	2016 NET TAX	% TAX CHANGE
STATE OF WISCONSIN	0	0	245.82	311.48	26.7%
WALWORTH COUNTY	208,100	216,058	6,647.68	8,239.53	23.9%
City of Lake Geneva	874,696	772,856	8,478.84	10,937.24	29.0%
Sch Lake Geneva J I	4,090,652	4,195,047	8,772.76	10,945.57	24.8%
UHS LG-Genoa City	490,264	825,442	6,114.99	7,142.49	16.8%
Gateway Technical	1,178,829	1,379,130	1,151.40	1,473.50	28.0%
TOTAL	6,842,541	7,388,533	31,411.49	39,049.81	24.3%
FIRST DOLLAR CREDIT			-81.21	-80.38	-1.0%
LOTTERY AND GAMING CREDIT			0.00	0.00	0.0%
NET PROPERTY TAX			31,330.28	38,969.43	24.4%

TOTAL DUE: \$38,969.43
FOR FULL PAYMENT, PAY TO LOCAL
TREASURER BY:
JANUARY 31, 2017

Warning: If not paid by due dates,
installment option is lost and total taxes
delinquent subject to interest and, if
applicable, penalty.
Failure to pay on time. See reverse.

FOR INFORMATION PURPOSES ONLY - Voter Approved Temporary Tax Increases

Taxing Jurisdiction	Total Additional Taxes	Total Additional Taxes Applied to Property	Year Increase Ends	Taxing Jurisdiction	Total Additional Taxes	Total Additional Taxes Applied to Property	Year Increase Ends
---------------------	---------------------------	---	-----------------------	---------------------	---------------------------	---	-----------------------

PAY 1ST INSTALLMENT OF: \$19,484.72

BY JANUARY 31, 2017

AMOUNT ENCLOSED _____

MAKE CHECK PAYABLE AND MAIL TO:

LAKE GENEVA CITY TREASURER
626 GENEVA ST
LAKE GENEVA, WI 53147

PIN# 246 ZLE 00003
LYNCH, MICHAEL
BILL NUMBER: 259614

PAY 2ND INSTALLMENT OF: \$19,484.71

BY JULY 31, 2017

AMOUNT ENCLOSED _____

MAKE CHECK PAYABLE AND MAIL TO:

WALWORTH COUNTY TREASURER
100 W WALWORTH PO BOX 1001
ELKHORN, WI 53121

PIN# 246 ZLE 00003
LYNCH, MICHAEL
BILL NUMBER: 259614

PAY FULL AMOUNT OF: \$38,969.43

BY JANUARY 31, 2017

AMOUNT ENCLOSED _____

MAKE CHECK PAYABLE AND MAIL TO:

LAKE GENEVA CITY TREASURER
626 GENEVA ST
LAKE GENEVA, WI 53147

PIN# 246 ZLE 00003
LYNCH, MICHAEL
BILL NUMBER: 259614



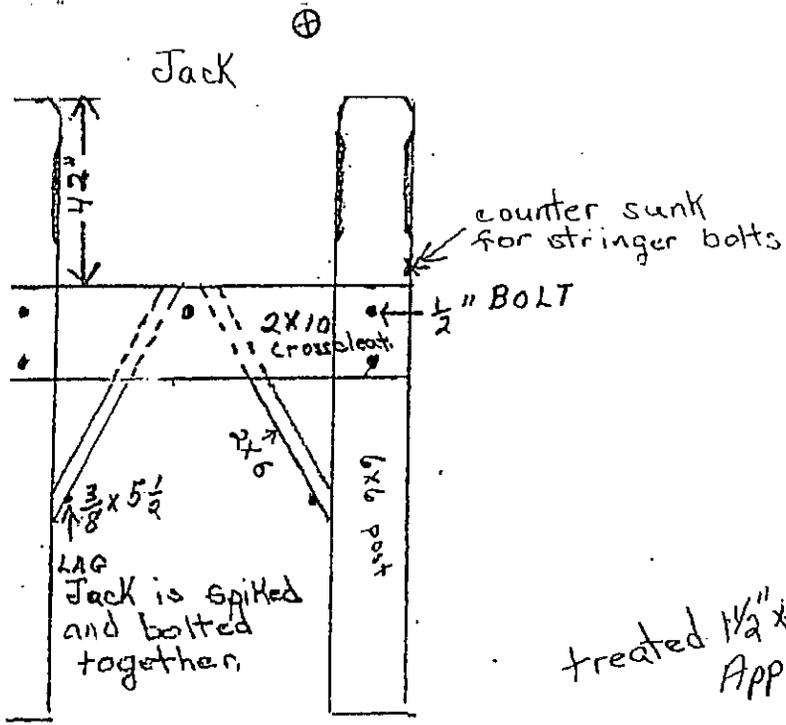
INCLUDE THIS STUB WITH YOUR PAYMENT



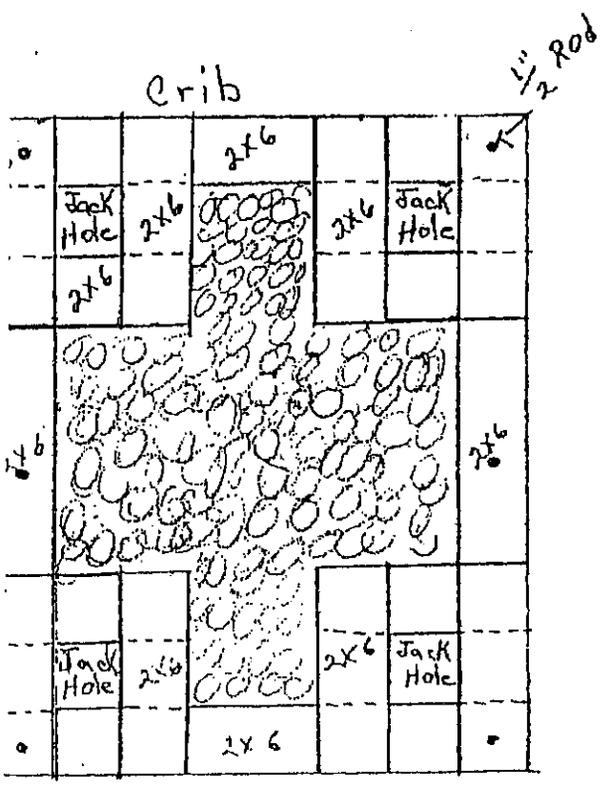
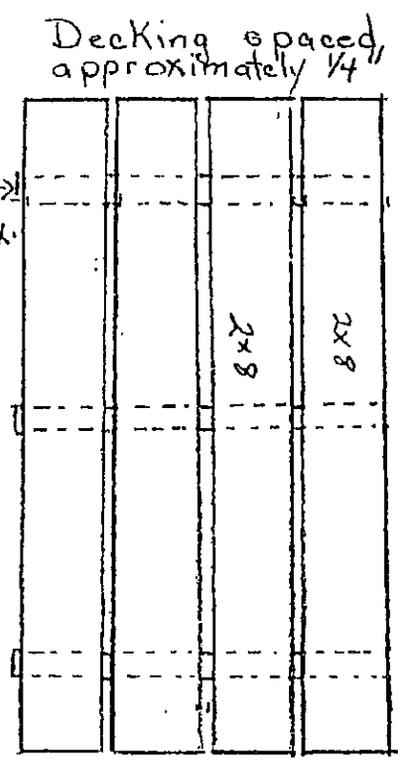
INCLUDE THIS STUB WITH YOUR PAYMENT



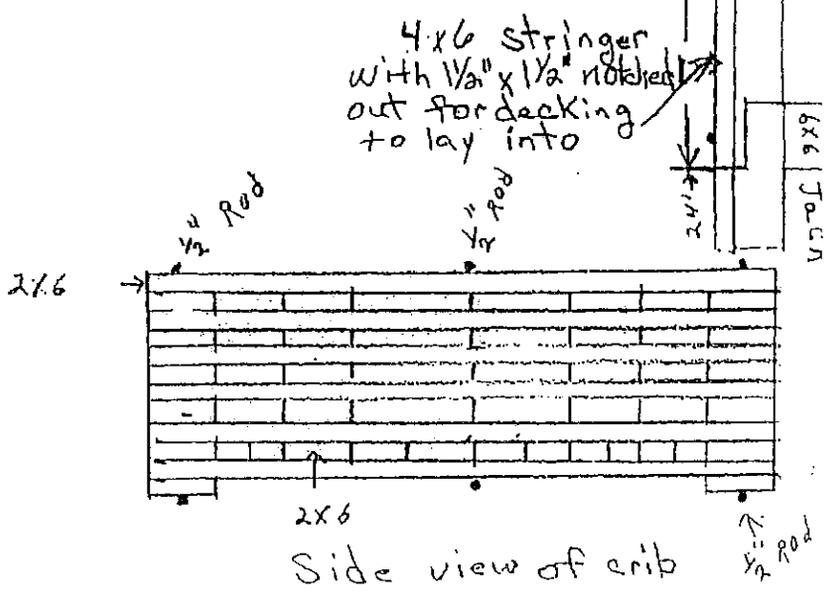
INCLUDE THIS STUB WITH YOUR PAYMENT



treated 1 1/2" x 3" approx.



Top view of crib



Side view of crib

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #16

Applicant:

Julie Selby
800 N. Blue Spruce Circle
Hartland, WI 53029

Request:

262 Center Street, Lake Geneva, WI 53147
Proposed Conditional Use Permit for
Indoor Commercial Entertainment for
Board & Brush Creative Studio
Downtown Design Review – Signage

Description of Proposed Conditional Use:

The applicant is submitting a Conditional Use Permit (CUP) to propose an arts and crafts studio in an approved multi-tenant building located at 264 Center Street. The property is located in the Central Business District. The business is relocating from 252 Center Street in favor of a larger location.

The business offers instructional workshops for making wood home décor/signs. Light snacks and malt beverages will be served during the workshops.

No information has been provided pertaining to class sizes anticipated, floor plans, or materials/chemicals to be used during the classes.

Description of Proposed Signage:

Changes to the exterior are subject to Downtown Design Review. The applicant proposes two wall signs and three in-window signs.

A black vinyl window decal is proposed for the front door. The decal on the front door is considered a wall sign. That sign would be approximately 15 square feet and falls within the maximum permitted wall signage area for the east building façade (21 square feet). A similar black vinyl window decal is proposed for the interior door. Since it is generally not visible from the street, it is not subject to zoning approval.

A second wall sign is proposed on the south side of the building, facing the parking lot. This sign would be 16 square feet and falls within the maximum permitted wall signage area for the south building façade (25 square feet). The design of that sign is depicted on the last page of the submittal. Note that the proposed design is depicted on a projecting sign (mounted perpendicular to the wall). This is just an example; the proposed design will be on a wood sign mounted flat against the wall.

Three window decals are proposed for the front windows. In-window signs are not subject to Downtown Design Review. In-window signs are limited to 15% of the total window area, and the proposed window decals meet this requirement when including the transom in the total window area.

Proposed colors for all signs include black, white, and brown. These are consistent with Downtown Design requirements.

The existing awning is proposed to remain in place, and the existing text on the awning would be removed. No other exterior modifications are proposed to the building.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is consistent with the requirements of the Zoning Ordinance. Staff notes that all commercial land uses are subject to Section 98-711 pertaining to odor standards, which limits odors that are detectable from the property line to be present for a maximum of 15 minutes per day (total). Staff recommends low-odor products, paints, and lacquers. Additional precautions may be desirable that would minimize odors that could affect neighboring tenants.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.

6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on Proposed Conditional Use:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached.
 - a. Only paints and lacquers certified to be low-VOC or water-based shall be permitted.

Staff Recommendation on Proposed Signage:

Staff recommends *approval* of the proposed front door sign, the flat-mounted wall sign on the south side of the building, and the three proposed window decals.



City of Lake Geneva
 Building and Zoning
 626 Geneva Street
 Lake Geneva, WI 53147

→ 24 copies of
 each
 color

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

262 Center St. Lake Geneva, WI 53147

Board & Brush Creative Studios -
 same signage new location

Name & Address of Current Building Owner:

Kocourek Property Holdings LLC
 880 Lakeshore Dr
 Lake Geneva, WI 53147

Telephone Number of Current Building Owner: 847-525-9060

Name & Address of Applicant:

Julie Selby
 800 Bluespruce Circle
 Hartland, WI 53029

Telephone Number of Applicant: 937-307-7066

Proposed Design Change:

- ① Window decals on front left door & interior door
- ② Window decals on 3 large front windows
- ③ Wood sign outside on left side of building - half of space

Zoning District: CB

Names & Address of Architect, Engineer, and/or Contractor of Project:

Signarma - Pewaukee
 609 Ryan St
 Pewaukee, WI
 262-691-9994

Description of Project:

Add vinyl window decals & wood sign to exterior side of building. Black out existing name on awning.

Date: 5/8/17

Signature of Applicant:

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Julie Selby, as applicant/petitioner for:

Name: Board+ Brush Creative Studio

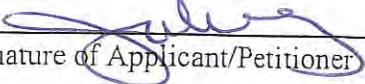
Address: 262 Center St
Lake Geneva, WI 53147

Phone: 937-307-2066

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 8 day of May, 2017

Julie Selby
Printed name of Applicant/Petitioner


Signature of Applicant/Petitioner



door decals
door is 30x76

3 window decals - Bb circles

262 Center Street



Visit our website

FOR THE STUDIO SCHEDULE & INFO

WWW.BOARDANDBRUSH.COM/LAKEGENEVA

262-409-1639

* Door decals (exterior + interior doors)

Door Decals on exterior + interior doors



Example of another location

From: Curt Selby

Date: October 21, 2015 at 10:03 AM

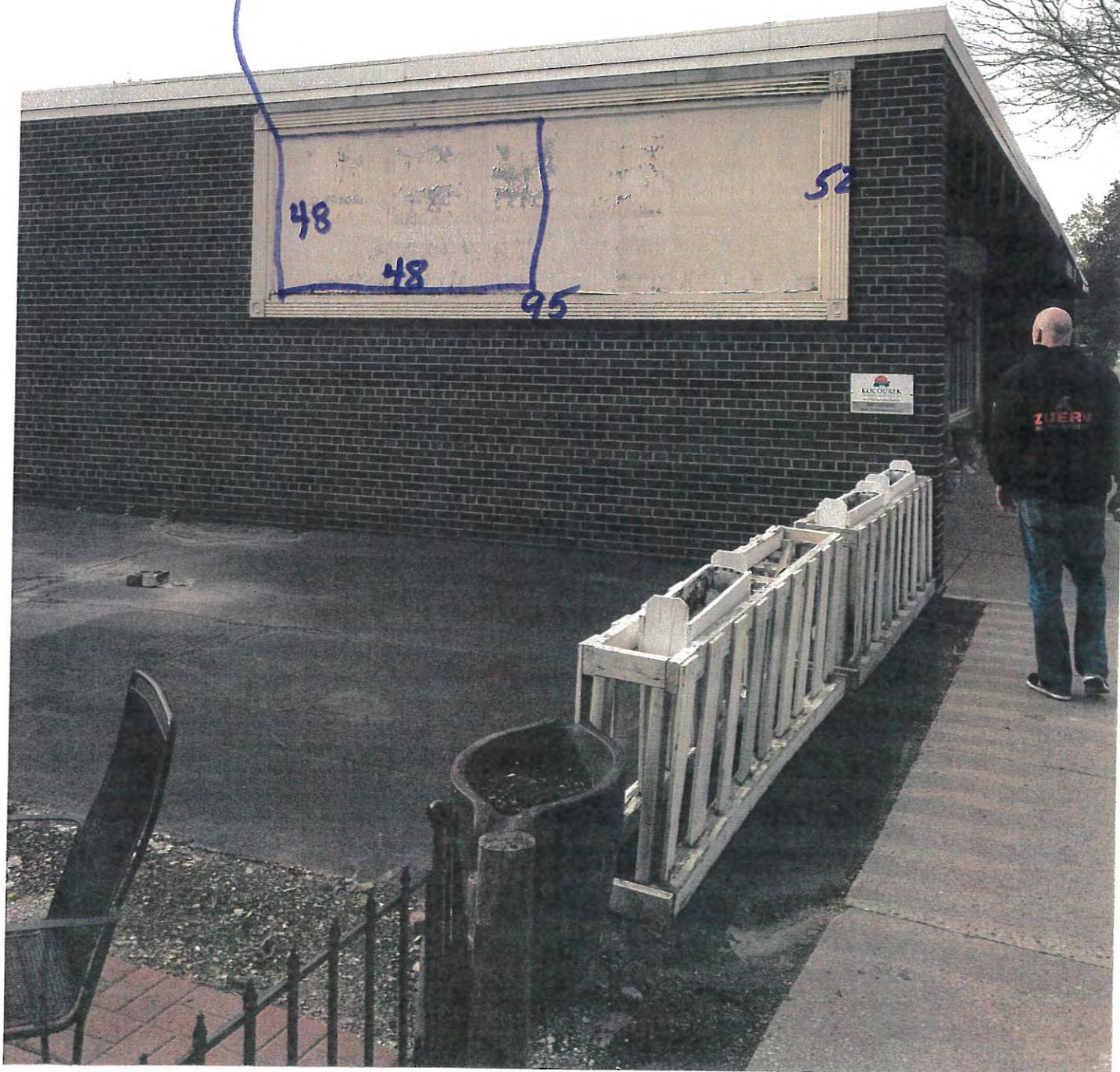
To: Curtis Selby





3 window decals (Front)
windows are 48x58
Circles will be 24 inch

→ Exterior wood plank sign



Board
&
Brush
creative studio

48

48 (side of building)

SCHOOL AND GALLERY

110 W. CARTER

PL 111

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

262 Center St. Lake Geneva, WI 53147

NAME AND ADDRESS OF CURRENT OWNER:

Kocourek Property Holdings LLC
880 Lake Shore Dr
Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: 847-525-9060

NAME AND ADDRESS OF APPLICANT:

Julie Selby

800N Bluespruce Circle, Hartland WI 53029

TELEPHONE NUMBER OF APPLICANT: 937-307-7066

PROPOSED CONDITIONAL USE:

Art/Woodworking Studio with instructional workshops.
Malt beverages served during workshop - will also
serve at no charge. light snacks.

ZONING DISTRICT IN WHICH LAND IS LOCATED: CB

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

Using existing vacant space. We are moving from 252
Center St. to accommodate our growing clientele with
a larger studio.

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

Art/Woodworking Studio with instructional workshops.
Malt beverages served during workshop

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

5/8/17

DATE

Julie Selby

SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Julie Selby, as applicant/petitioner for:

Name: Board & Brush Creative Studio - Lake Geneva

Address: 262 Center St
Lake Geneva, WI 53147

Phone: 937-307-7066

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 8th day of May, 2017

Julie Selby
Printed name of Applicant/Petitioner

Julie Selby
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ **Pre-submittal staff meeting scheduled:**
- Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ **Follow-up pre-submittal staff meetings scheduled for:**
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ **Application form filed with Zoning Administrator:** Date: _____ by: _____
- ___ **Application fee of \$ _____ received by Zoning Administrator:** Date: _____ by: _____
- ___ **Reimbursement of professional consultant costs agreement executed:** Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
- ↓ Draft Final Packet (1 Copy to Zoning Administrator) Date: _____ by: _____
- ↓

- ___ (a) **A map of the proposed conditional use:**
 - ___ Showing all lands for which the conditional use is proposed;
 - ___ Showing all other lands within 300 feet of the boundaries of the subject property;
 - ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
 - ___ Map and all its parts are clearly reproducible with a photocopier;
 - ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
 - ___ All lot dimensions of the subject property provided;
 - ___ Graphic scale and north arrow provided.
- ___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**



_____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

_____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

_____ (e) Written justification for the proposed conditional use:

_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Studio will use existing vacant space

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Studio will use existing vacant space. Studio is moving from building next door to accommodate growing clientele.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

No

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Commercial business use of existing space. We will offer instructional workshops demonstrating to customers how to make wood home decor signs. We will also serve craft beverages to customers during workshops. All workshops take place inside.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes.

IV.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

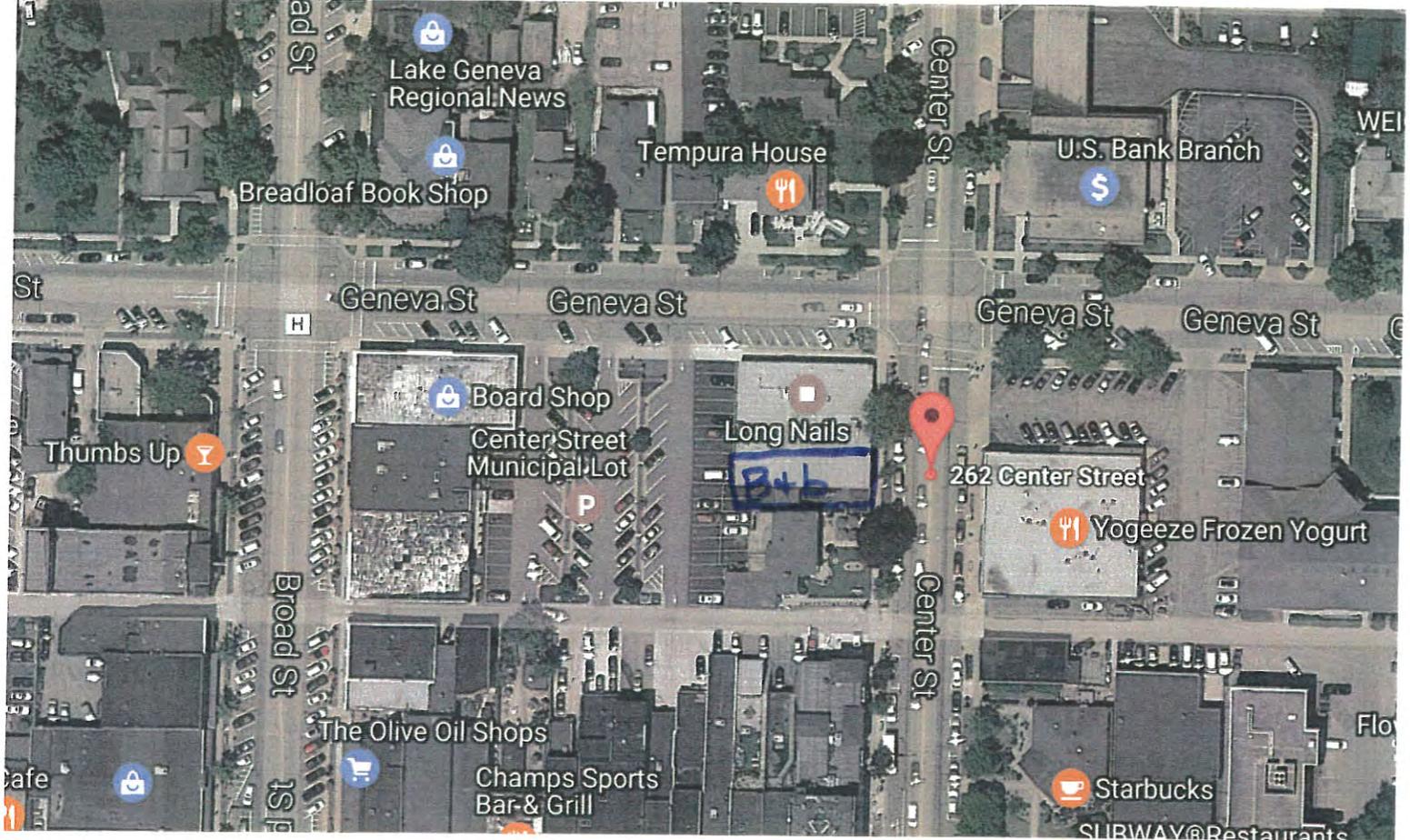
____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

262 Center St

262 Center St, Lake Geneva, WI 53147



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #17a

Applicant:

Halvar A. Petersen
507 Broad Street
Lake Geneva, WI 53147

Request:

252 Center Street, Lake Geneva, WI 53147
Proposed Conditional Use Permit for Indoor
Commercial Entertainment for a Bakery/Patisserie

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose a bakery/patisserie in an approved multi-tenant building located at 252 Center Street. The property is located in the Central Business District.

The proposed business would involve sales of baked goods that would be produced offsite.

No seating is proposed. The floor plan depicts shelves and display cases, a refrigerated case, and a cashier station. The business can be accessed through the front hallway connected to the main entrance on Center Street or through the rear hallway connected to the other businesses in the building.

Maximum operating hours are anticipated to be 9:00 a.m. to 5:00 p.m., Monday through Sunday. One employee would be on-site during business hours.

No signage or other exterior modifications are proposed to the building.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Zoning Ordinance.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the

implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends that no additional conditions of approval be attached.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

252 CENTER ST. LAKE GENEVA WI. 53147

NAME AND ADDRESS OF CURRENT OWNER:

KOCUREK PROPERTY HOLDINGS
P.O. BOX 126 LAKE GENEVA W. 53147

TELEPHONE NUMBER OF CURRENT OWNER:

947-525-9060

NAME AND ADDRESS OF APPLICANT:

HALVAR A. PETERSEN
507 BROAD ST. LAKE GENEVA W. 53147

TELEPHONE NUMBER OF APPLICANT:

262 949 5877

PROPOSED CONDITIONAL USE:

TO RETURN SPACE BACK TO RETAIL
IN THE FOOD INDUSTRY AREA. WAS
PREVIOUSLY APPROVED AS SPICE + TEA

ZONING DISTRICT IN WHICH LAND IS LOCATED:

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

N/A

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

RETAIL BAKED GOODS
PASTRY DECORATING CLASSES

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

8 MAY 2017

DATE

SIGNATURE OF APPLICANT



AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

HALVAR A. PETERSEN, as applicant/petitioner for:

Name: ~~LAKE~~ LAKE GENEVA

Address: 253 CENTER ST.
LAKE GENEVA W. 53147

Phone: 262 949 5877

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 8 day of May, 2017

HALVAR A PETERSEN
Printed name of Applicant/Petitioner

Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ (a) A map of the proposed conditional use:

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:



- _____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;
- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
 _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

THE SPACE HAS BEEN APPROVED PREVIOUSLY
FOR PROPOSED USE A SERVICE TO
COMMUNITY & TOURISM

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

IT IS IN LINE WITH PREVIOUSLY APPROVED
LOW IMPACT SERVICE RETAIL TO THE
COMMUNITY AND TOURISM

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

THERE WOULD BE NO ADVERSE EFFECT
BUT WOULD RETAIN ITS ONGOING HISTORICAL
GRANTED USE APPROVED

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

WOULD AS IN THE PAST BE A SERVICE
TO COMMUNITY & TOURISM WITH NO
ADVERSE EFFECT BUT A POSITIVE
IMPACT

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

THE PÂTISSIERIE WILL POSE NO BURDEN
THE AREA HAS BEEN PREVIOUSLY APPROVED FOR
RETAIL IN THE FOOD INDUSTRY AS
LAKE GENEVA SPIG CO. 0

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

TO THE RESIDENT & TOURIST THERE IS NO PLACE
IN TOWN TO JUST BUY FRESH MADE PASTRIES
PÂTISSIERIE WILL COMPLETELY SELL NOT
PRODUCT SALE ITEMS

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blue/line or black/line
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

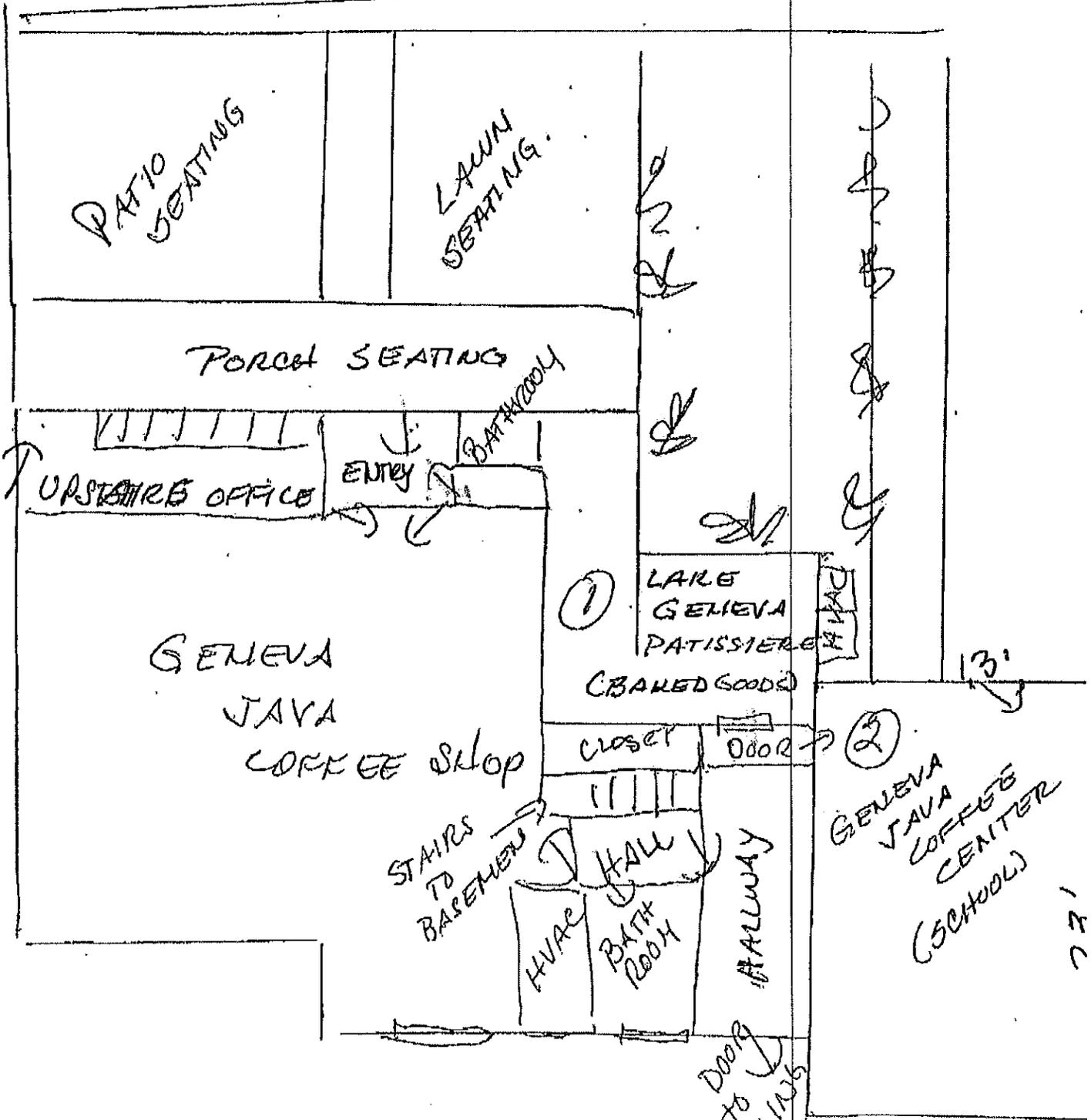
____ Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

252 CENTER STREET



18 PRIVATE PARKING SPOTS

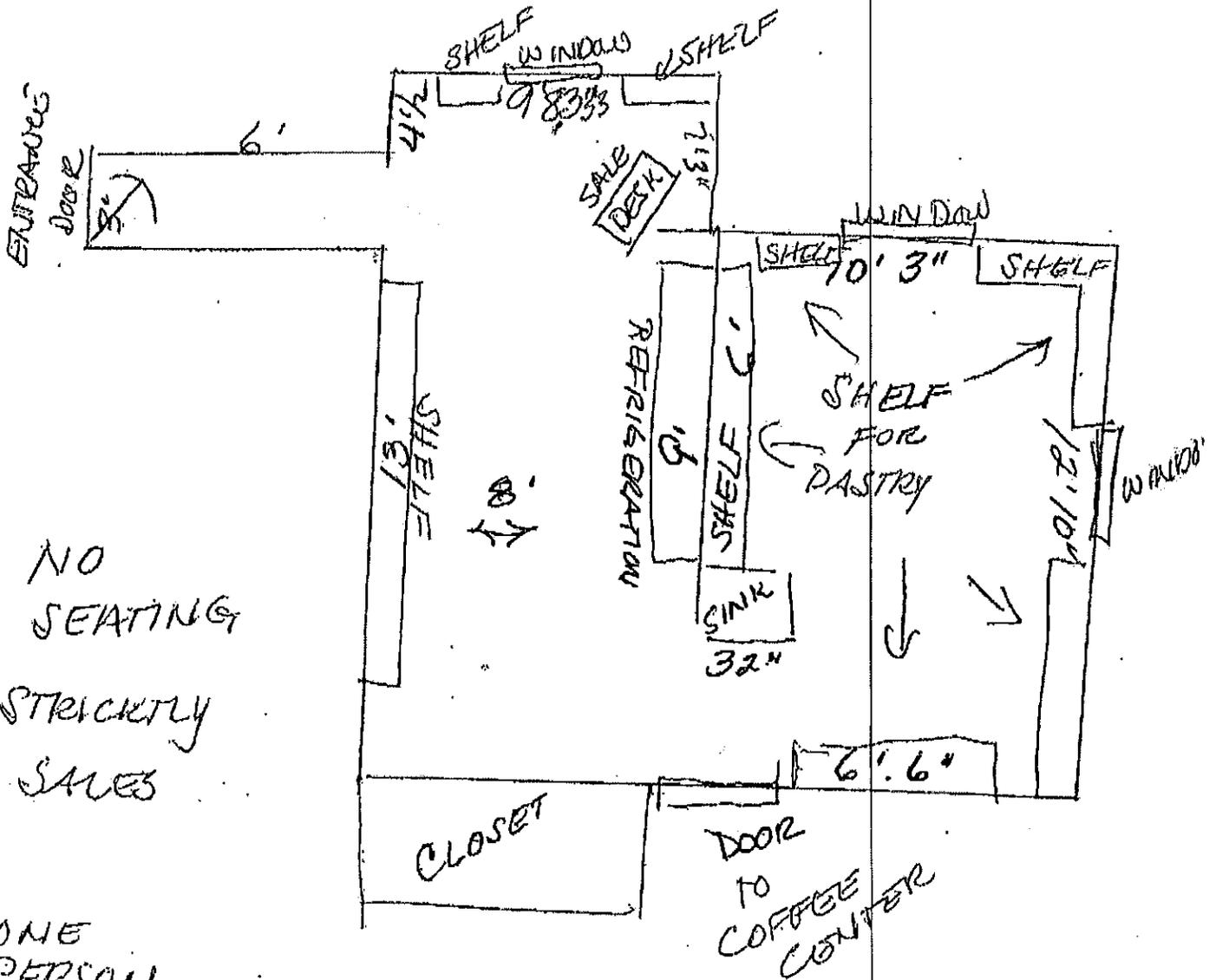
✓ ONE EMPLOYEE AT PASTRY SHOP

✓ NO EMPLOYEES AT COFFEE CENTER
ONLY OPEN BY APPOINTMENT

LAKE GENEVA PATISSIERE

①

252 CENTER STREET L.G.



NO SEATING

STRICTLY SALES

ONE PERSON ON DUTY AT SALE DESK

HOURS

9AM

5PM

MON → SUNDAY

LAKE GENEVA PATISSIERE

(BAKED GOODS)

SOLD NOT PRODUCED ON SITE

ALREADY WENT THRU

STATE OF WISCONSIN FOR RETAIL

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #17b

Applicant:

Halvar A. Petersen
507 Broad Street
Lake Geneva, WI 53147

Request:

252 Center Street, Lake Geneva, WI 53147
Proposed Conditional Use Permit for Indoor
Commercial Entertainment for a Coffee School

Description of Proposed Conditional Uses:

The applicant is submitting a Conditional Use Permit (CUP) to propose Geneva Java Coffee Center, a coffee tasting and education center in an approved multi-tenant building located at 252 Center Street. The property is located in the Central Business District.

The proposed business would involve educational classes on coffee origins, roasting, and preparations. When classes are in session, coffee supplies will be available for retail sale. Classes are by appointment only and would involve one employee. Seating is proposed for up to 20 students/customers.

The floor plan depicts five tables for students, a teaching table, and three retail display shelves. The Coffee Center can be accessed directly from the front door on Center Street or through the hallway connected to the other businesses in the building.

No signage or other exterior modifications are proposed to the building.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review:

The proposed conditional use is fully consistent with the requirements of the Zoning Ordinance.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the

implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends that no additional conditions of approval be attached.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

252 CENTER STREET · LAKE GENEVA W. 53147

NAME AND ADDRESS OF CURRENT OWNER:

KOCOUREK PROPERTY HOLDINGS
PO-BOX 126 LAKE GENEVA W. 53147

TELEPHONE NUMBER OF CURRENT OWNER:

847-525-9060

NAME AND ADDRESS OF APPLICANT:

HANVAR A PETERSEN
507 BROAD ST. LAKE GENEVA W 53147

TELEPHONE NUMBER OF APPLICANT:

262 949-5877

PROPOSED CONDITIONAL USE:

SCHOOL & RETAIL OPEN WHEN CLASS
IN SESSION OR PRIVATE CLASS.

ZONING DISTRICT IN WHICH LAND IS LOCATED:

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

NONE

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

RETAIL COFFEE SUPPLIES - EDUCATIONAL ^{DURING}
CLASS ON COFFEE ORIGINS + ROASTING + PREPARATION

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

8 May 2017
DATE

SIGNATURE OF APPLICANT



AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

HALVAR A PETERSEN, as applicant/petitioner for:

Name: GENEVA JAMA COFFEE CENTER

Address: 252 CENTER ST.

LAKE GENEVA WI 53147

Phone: 262 949 5877

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 8 day of May, 2017

HALVARA. PETERSON

Printed name of Applicant/Petitioner

Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: _____ by: _____



- ___ (a) A map of the proposed conditional use:
 - ___ Showing all lands for which the conditional use is proposed;
 - ___ Showing all other lands within 300 feet of the boundaries of the subject property;
 - ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
 - ___ Map and all its parts are clearly reproducible with a photocopier;
 - ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
 - ___ All lot dimensions of the subject property provided;
 - ___ Graphic scale and north arrow provided.

- ___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

(c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

(d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

(e) Written justification for the proposed conditional use:

Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

THE CURRENT REQUEST IS IDENTICAL
TO PREVIOUS APPROVED USE - A
SERVICE NOT OFFERED ELSEWHERE - A DESTINATION

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

THE PROPOSED REQUEST IS IDENTICAL
TO PREVIOUS APPROVED USE.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

THE PROPOSED CONDITIONAL USE IS
THE SAME AS PREVIOUS APPROVED
CONDITIONAL USES.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

THE PROPOSED CONDITIONAL USE IS
THE SAME AS PREVIOUS APPROVED USES.
RETAIL - SCHOOL - SERVICES.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

NO THE PROPOSED USE DOES NOT
DEVIATE FROM CURRENT & PAST
USE APPROVED

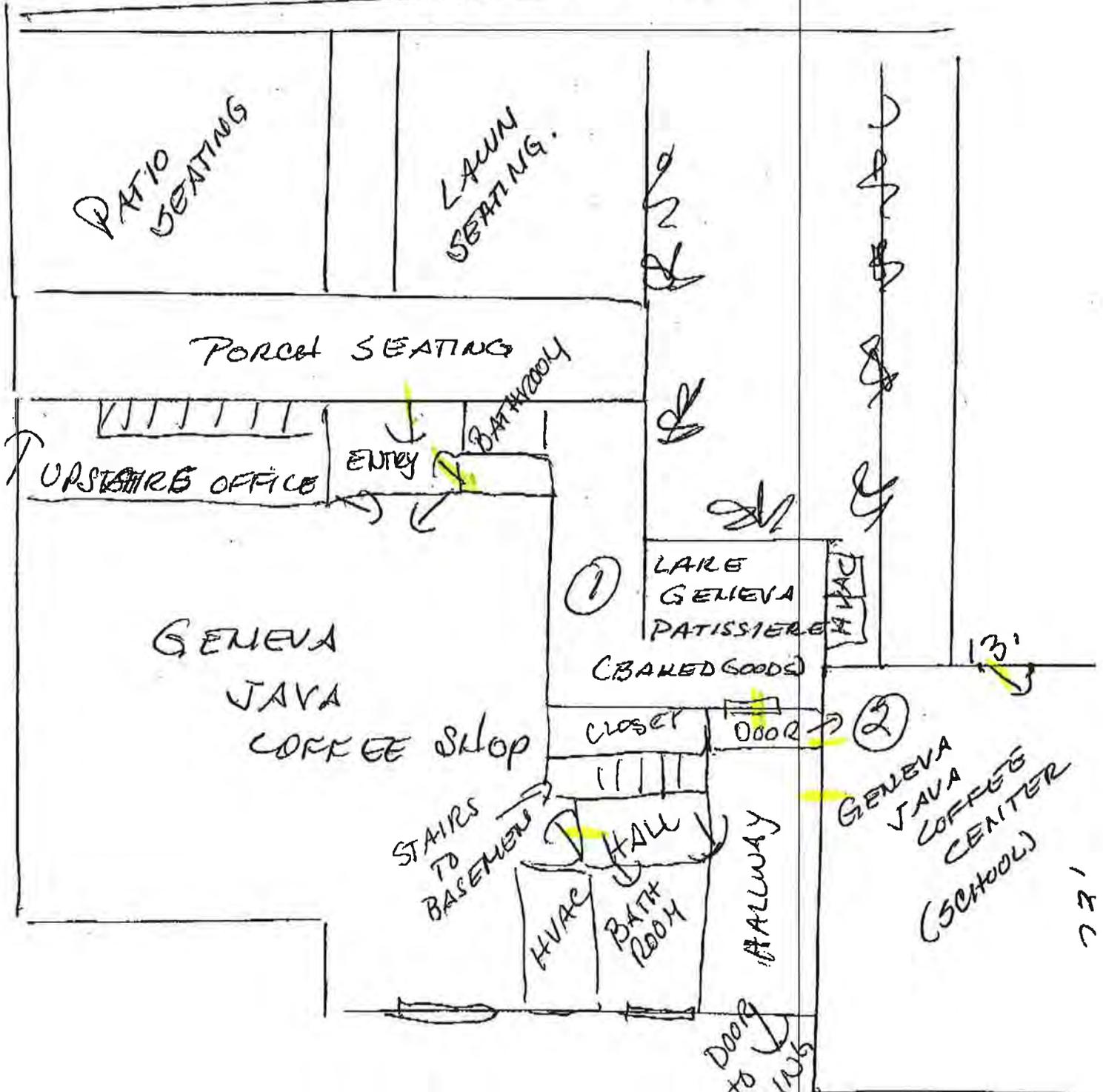
6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

THE PROPOSED REQUEST IS
IDENTICAL TO PREVIOUS USE APPROVED

IV. FINAL APPLICATION PACKET INFORMATION

- ____ Receipt of 5 full scale copies in blueline or blackline
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice published on _____ and _____ by: _____
- ____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

252 CENTER STREET



18 PRIVATE PARKING SPOTS

- ✓ ONE EMPLOYEE AT PASTRY SHOP
- ✓ NO EMPLOYEE AT COFFEE CENTER
- ONLY OPEN BY APPOINTMENT

GENEVA JAVA COFFEE CENTER
 252 CENTER STREET
 LAKE GENEVA W. 53142

2

DOOR FROM PASTRY SHOP

DOOR TO FRONT OF BUILDING

13'
 DISPLAY

DOOR DOCUMENTS

HALL DOOR

LINE WITH BOOD

DISPLAY SHELF COFFEE EQUIPMENT

CLOSED OTHER THAN COFFEE CUPPING CLASS 8 TIMES A MONTH

WINDOW

DISPLAY

WINDOW

TEACHING TABLE

TV STAND COFFEE FILMS

WINDOWS

NO EMPLOYEES - COFFEE ROASTER OR ONE OF USE WILL CONDUCT COFFEE TASTING

DOOR TO OUTSIDE BACK PARKING

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #18

Applicant:

Jes Bush-Christenson
1515 Dodge Street
Lake Geneva, WI 53147

Request:

747 W. Main Street, Lake Geneva, WI 53147
Proposed Conditional Use Permit for
Outdoor Commercial Entertainment

Description:

The applicant is submitting a Conditional Use Permit (CUP) to permit acoustic musical performances in the beer garden at Champs Sports Bar & Grill, located at 747 W. Main Street. The City has previously approved acoustic musical performances on the site on a temporary basis. In order to permit the performance with more regularity, a Conditional Use Permit is needed for Outdoor Commercial Entertainment under Section 98-206(4)(i) of the Zoning Ordinance.

The property is zoned Central Business. No outdoor lighting is proposed. No permanent or structural changes are proposed to the exterior of the existing building or the courtyard. All activities will occur on private property. The existing stage area is at the rear of the lot (northwest corner).

Performances are expected to occur between the hours of 2:00 and 8:00 p.m., mostly on Sundays and Thursdays.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The beer garden is surrounded by commercial development, and no impacts to neighborhoods are anticipated.

No lighting is proposed for the site. Staff notes that the Zoning Code allows for the use of strings of low wattage lights (i.e., holiday lights) in which the lighting element is not shielded. Full cutoff lighting fixtures are required in all other cases.

The conditional use permit is limited to acoustic outdoor performance as depicted on the submitted site plan during the hours of 2:00 p.m. to 8:00 p.m.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other

plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend *approval* of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends that the *following conditions* be attached:
 - a. Music or other activities shall comply with the noise standards of Section 98-709.
 - b. The conditional use permit is limited to acoustic outdoor performance as depicted on the submitted site plan during the hours of 2:00 p.m. to 8:00 p.m., on any day of the week.
 - c. Amplified sounds or music shall not be permitted by this conditional use permit.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

747 W Main Street Lake Geneva, WI 53147
Champs Sports Bar + Grill / parcel: zop 00271

NAME AND ADDRESS OF CURRENT OWNER:

Greg Bush 110-1 West St Lake Geneva, WI 53147
Jes Christenson (Bush) 1515 Dodge St Lake Geneva, WI
53147

TELEPHONE NUMBER OF CURRENT OWNER:

262-903-0793

NAME AND ADDRESS OF APPLICANT:

Jes Bush-Christenson
1515 Dodge St Lake Geneva, WI 53147

TELEPHONE NUMBER OF APPLICANT:

262-903-0793

PROPOSED CONDITIONAL USE:

To continue w/ our Sunday acoustic music in the beer
garden but instead of 12 days have more weather-dependency
always between times of 2-8 pm. As some fundraisers request
music on Thursday evenings.

ZONING DISTRICT IN WHICH LAND IS LOCATED:

downtown Lake Geneva

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

acoustic musicians between times of 2-8 pm. Mainly
Sundays + Thursdays

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 [\$100 FOR APPLICATIONS UNDER SEC. 98-407(3)]

DATE

5/3/17

SIGNATURE OF APPLICANT



AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Jessica Bush-Christenson, as applicant/petitioner for:
Name: Jessica Bush-Christenson - Champs
Address: 747 W Main St
Lake Geneva, WI 53147
Phone: 262-903-0793 / 262-248-6008

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 5/3/17 day of Wednesday, 2017

Jessica Bush-Christenson
Printed name of Applicant/Petitioner

Jess Bush-Christenson
Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: _____ by: _____

↓

___ (a) A map of the proposed conditional use:

- ___ Showing all lands for which the conditional use is proposed;
- ___ Showing all other lands within 300 feet of the boundaries of the subject property;
- ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

_____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

_____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

_____ (e) **Written justification for the proposed conditional use:**

_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (*See below*)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

IV.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 5 full scale copies in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

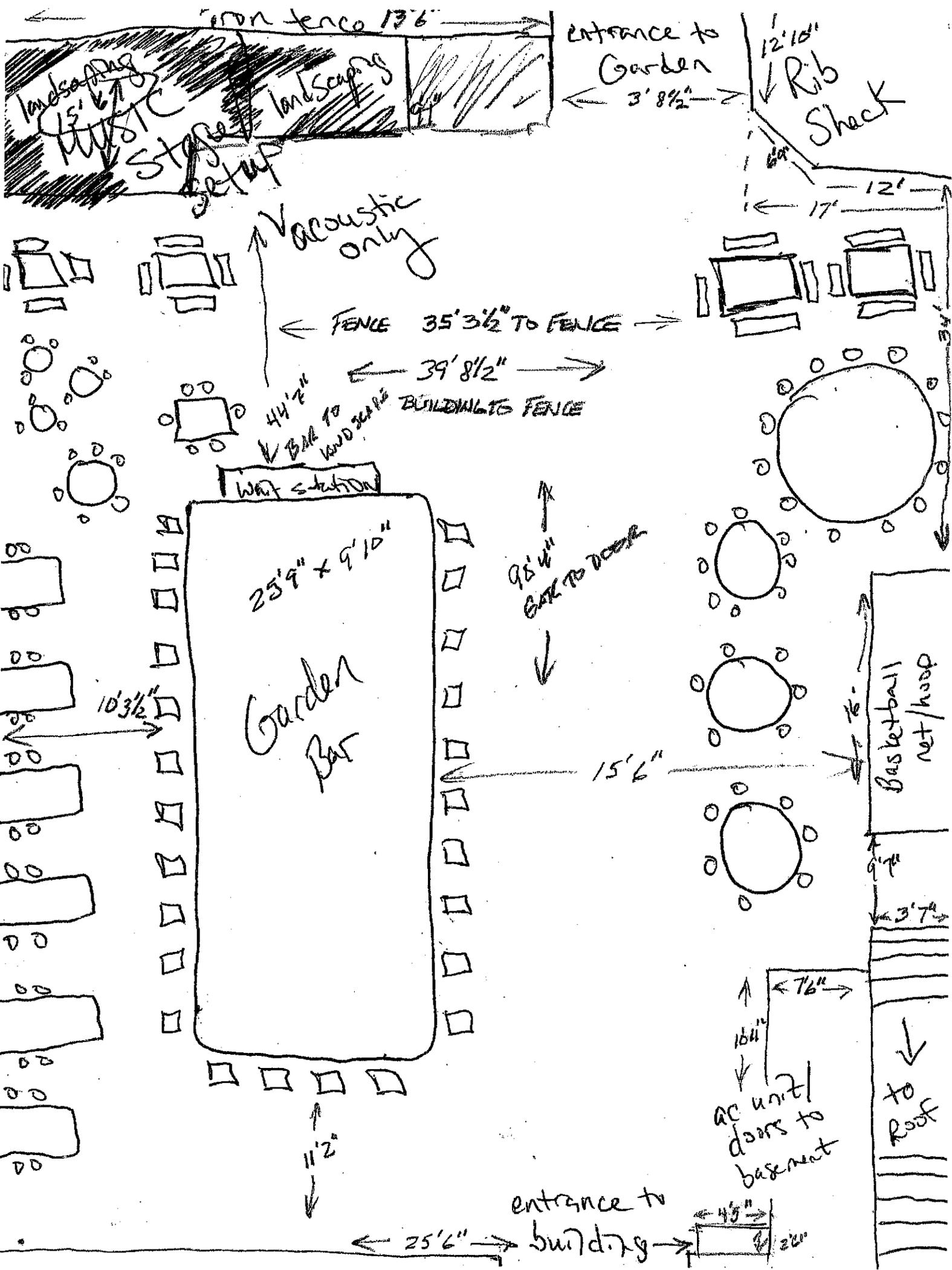
____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: June 19, 2017

Agenda Item #19

Applicant:
Curt Langille, Lanco Builders, Inc.
813 Eagleton Drive
Lake Geneva, WI 53147

Request:
837 Bayview Drive
Conditional Use Permit
SR-4 Setbacks in ER-1 Zoning District

Description:
The applicant is submitting a proposal for a Conditional Use Permit (CUP) for a new residence for the Roth family at 837 Bayview Drive. The project would begin with a complete removal of the existing residence constructed in 1959. The applicants have carefully designed the proposed residence to increase building side yard setbacks, and to slightly reduce building footprint area and impervious surface area coverages within the 100-foot lakeshore setback area.

The proposed roof design has also been customized to exactly meet the maximum 35-foot height limit, as measured from the lowest exposed building perimeter to the vertical mid-point of the highest pitched roof surface.

Project Details from CUP Submittal

The proposed project submittal meets or exceeds all requirements of the Zoning Ordinance.

Existing and Proposed Site Plans: Ferris Hansen (dated 04/27/2017 and 05/12/2017 respectively)
The Site Plans for the existing and proposed homes demonstrate that the proposed home complies with all required setbacks, and increases each setback distance above those provided by the existing home.

The proposed home provides the following setback measurements compared to the proposed home:

	<u>Required in SR-4</u>	<u>Existing Home</u>	<u>Proposed Home</u>
Min Street Yard Setback	25 feet	24.3 feet to garage	25.0 feet to garage
Min Lake Shore Setback	no closer than now	82 feet to nearest point	84 feet
North Side Yard Setback	6 feet to home	7.5 feet to home	7.9 feet to home
South Side Yard Setback	9 feet to home	13.7 feet to home	14.3 feet to home

Report on the Conditional Use Permit for 837 Bayview Drive continues on the next page.

Rear (Lake side) Elevation Plan: Sheet A-3:

The lower elevation provided on Sheet A-3 depicts the proposed building’s tallest height. The Zoning Ordinance measures building height from the lowest exposed grade to the mid-point height of the tallest roof plane. This elevation depicts a maximum height of 35.0 feet, which complies with the height limit for both the ER-1 and the SR-4 zoning districts.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed conditional use includes modest increases in the setbacks provided on all four sides of the proposed home. The proposed home also shifts the portion of the home closest to the lake southward to the center of the lot between the two lot lines. Finally, the proposed garage setback would remove a slight intrusion into the required street yard setback.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Report on the Conditional Use Permit for 837 Bayview Drive continues on the next page.

- e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
- a. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above, noting that the proposal is a fully consistent with the setback requirements of the SR-4 zoning district, and results in larger setbacks on all four sides of the building over the current home.
3. Finally, staff recommends that *the following additional condition of approval* be attached to the approval:
 - a. That the location of all approved building setbacks be verified by an on-site inspection by the Building Administrator prior to pouring building foundation walls.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

B/B LAKENOW DRIVE

LOT 7 BLOCK ONE OF GENEVA BAY ESTATES

LOCATED IN THE NW 1/4 OF THE NE 1/4 SECTION 2, TOWN 1 NORTH, RANGE 17 EAST & THE SW 1/4 OF THE SE 1/4 SECTION 35, TOWN 2 NORTH, RANGE 17 EAST CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

NAME AND ADDRESS OF CURRENT OWNER:

GEORGE AND PEGGY BROTH

1608 ANTHONY LANE, LAKE MINNAPOLIS, IL, 60050

TELEPHONE NUMBER OF CURRENT OWNER: 312 656 6327

NAME AND ADDRESS OF APPLICANT:

CHRIS LANGILLE, PRESIDENT LANCO BUILDERS INC.
B/B EAGLETON DRIVE, LAKE GENEVA, WI 53147

TELEPHONE NUMBER OF APPLICANT: 262 374 1033

PROPOSED CONDITIONAL USE:

SP4 SETBACKS CONDITIONAL USE PERMIT.

ZONING DISTRICT IN WHICH LAND IS LOCATED:

EB-1

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

ASPECT DESIGN INC, 26575 COMMERCE TRAIL STE 107, WOOD, IL, 60073
FARRIS HANSEN, 7 BRIDGWAY CT. ELKHART, WI, 53121
BREEZY HILL NURSERIES, 7530 288TH AVE, SALEM, WI, 53168

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

REMOVAL OF EXISTING HOME BUILT IN 1959 AND CONSTRUCTION OF NEW SINGLE FAMILY HOME

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: ~~\$400.00~~ \$100 FOR APPLICATIONS UNDER SEC. 98-407(3)

ATTACHED \$100

DATE 5-12-17

[Signature]
SIGNATURE OF APPLICANT

AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

CVAT LANGILLE LANCO BUILDERS INC. as applicant/petitioner for:

Name: GEORGE AND PEGGY BOTH

Address: 1608 ANTHONY LANE

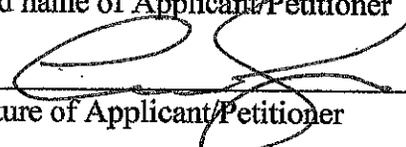
LAKE MOON, IL, 60050

Phone: 312 656 6321

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 12TH day of MAY, 2011.

CVAT LANGILLE LANCO BUILDERS INC.
Printed name of Applicant/Petitioner


Signature of Applicant/Petitioner

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- ___ Pre-submittal staff meeting scheduled:
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Follow-up pre-submittal staff meetings scheduled for:
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
 Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- ___ Application form filed with Zoning Administrator: Date: _____ by: _____
- ___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____
- ___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator) Date: _____ by: _____
 ↓ Draft Final Packet (1 Copy to Zoning Administrator) Date: _____ by: _____

- ___ (a) A map of the proposed conditional use: **FARRIS HANSEN TO PROVIDE. ALL**
 - ___ Showing all lands for which the conditional use is proposed;
 - ___ Showing all other lands within 300 feet of the boundaries of the subject property;
 - ___ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
 - ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
 - ___ Map and all its parts are clearly reproducible with a photocopier;
 - ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft.
 - ___ All lot dimensions of the subject property provided;
 - ___ Graphic scale and north arrow provided.

- ___ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole: **FARRIS HANSEN**

- ___ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations (see Site Plan Review checklist): **RESIDENTIAL - SEE EXISTING GRANT OF SURVEY AND NEW SITE GRADING PLAN**

- ___ (d) A site plan (conforming to the requirements of Section 98-903(3)) of the subject property as **FARRIS HANSEN**

proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

✓ (e) Written justification for the proposed conditional use:

_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below) SEE BELOW

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE ASPECT + LANCO

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

REPLACING EXISTING SINGLE FAMILY HOME WITH A NEW SINGLE FAMILY HOME. NO CHANGE OF USE.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

OUR PROPOSED HOME DESIGN MEETS THE STANDARDS FOR SETBACKS IN A E-1 DISTRICT. THEY DO NOT EXCEED THE CURRENT HOME SIDE OR REAR YARD SETBACKS.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

OUR PROPOSED CONDITIONAL USE IN ITS PROPOSED LOCATION + AS DEPICTED ON THE REQUIRED SITE PLAN DO NOT RESULT IN ANY OF THE ABOVE.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

THE PROPOSED IS REMAINING AS A SINGLE FAMILY HOME AND EXISTS WITHIN THE NEIGHBORHOOD FOOTPRINT OF THE PROPERTY.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

NO ADDITIONAL BURDEN AND WILL NOW BE CONNECTED TO THE CITY SEWER.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

YES.

IV.FINAL APPLICATION PACKET INFORMATION

- ____ Receipt of 5 full scale copies in blueline or blackline
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice published on _____ and _____ by: _____
- ____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 25 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (5 Copies to Zoning Administrator)

Date: _____ by: _____

↓ Draft Final Packet (1 Copy to Zoning Administrator)

Date: _____ by: _____

- ___ (a) A written description of the intended use describing in reasonable detail the:
- ~~EXISTING~~ Existing zoning district(s) (and proposed zoning district(s) if different);
 - ~~RES.~~ Land use plan map designation(s);
 - ~~RES.~~ Current land uses present on the subject property;
 - ~~RES.~~ Proposed land uses for the subject property (per Section 98-206);
 - ~~RES.~~ Projected number of residents, employees, and daily customers;
 - ~~RES.~~ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
 - ~~RES.~~ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;
- ASPECT + FARRAR
HANSEN*

*EB-1
RES.
RES.
RES.
RES.
SEE
CHANS.
N/A*

N/A Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;

N/A If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";

✓ Exterior building and fencing materials (Sections 98-718 and 98-720);

N/A Possible future expansion and related implications for points above;

N/A Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

LANCOM MEETING SAMPLES PROVIDED

✓ (b) A Small Location Map at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.) *FABRIS HANSEN*

✓ (c) A Property Site Plan drawing which includes: *FABRIS HANSEN - ASPECT*

✓ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;

✓ The date of the original plan and the latest date of revision to the plan;

✓ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);

✓ A reduction of the drawing at 11" x 17";

✓ A legal description of the subject property;

✓ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;

✓ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;

✓ All required building setback lines;

✓ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;

✓ The location and dimension (cross-section and entry throat) of all access points onto public streets;

✓ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;

N/A The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;

N/A The location of all outdoor storage areas and the design of all screening devices;

N/A The location, type, height, size and lighting of all signage on the subject property;

N/A The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;

✓ The location and type of any permanently protected green space areas;

✓ The location of existing and proposed drainage facilities;

✓ In the legend, data for the subject property on:

✓ Lot Area; *FABRIS HANSEN*

✓ Floor Area; *ASPECT*

✓ Floor Area Ratio (b/a); *ASPECT*

✓ Impervious Surface Area;

✓ Impervious Surface Ratio (d/a);

✓ Building Height.

SEE ATTACHMENTS.

✓ (d) A Detailed Landscaping Plan of the subject property: *BREEZY HILL LANDSCAPE*

✓ Scale same as main plan (> or equal to 1" equals 100')

✓ Map reduction at 11" x 17"

- Showing the location of all required bufferyard and landscaping areas
- Showing existing and proposed Landscape Point fencing
- Showing berm options for meeting said requirements
- Demonstrating complete compliance with the requirements of Article VI
- Providing individual plant locations and species, fencing types and heights, and berm heights;

(e) **A Grading and Erosion Control Plan:** *FARRIS HANSEN*

- Same scale as the main plan (> or equal to 1" equals 100')
- Map reduction at 11" x 17"
- Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

(f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:** *ASPECT DESIGN*

- Showing finished exterior treatment;
- With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance; *SAMPLE MATERIALS TO BE PROVIDED AT MEETING*
- N/A* Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

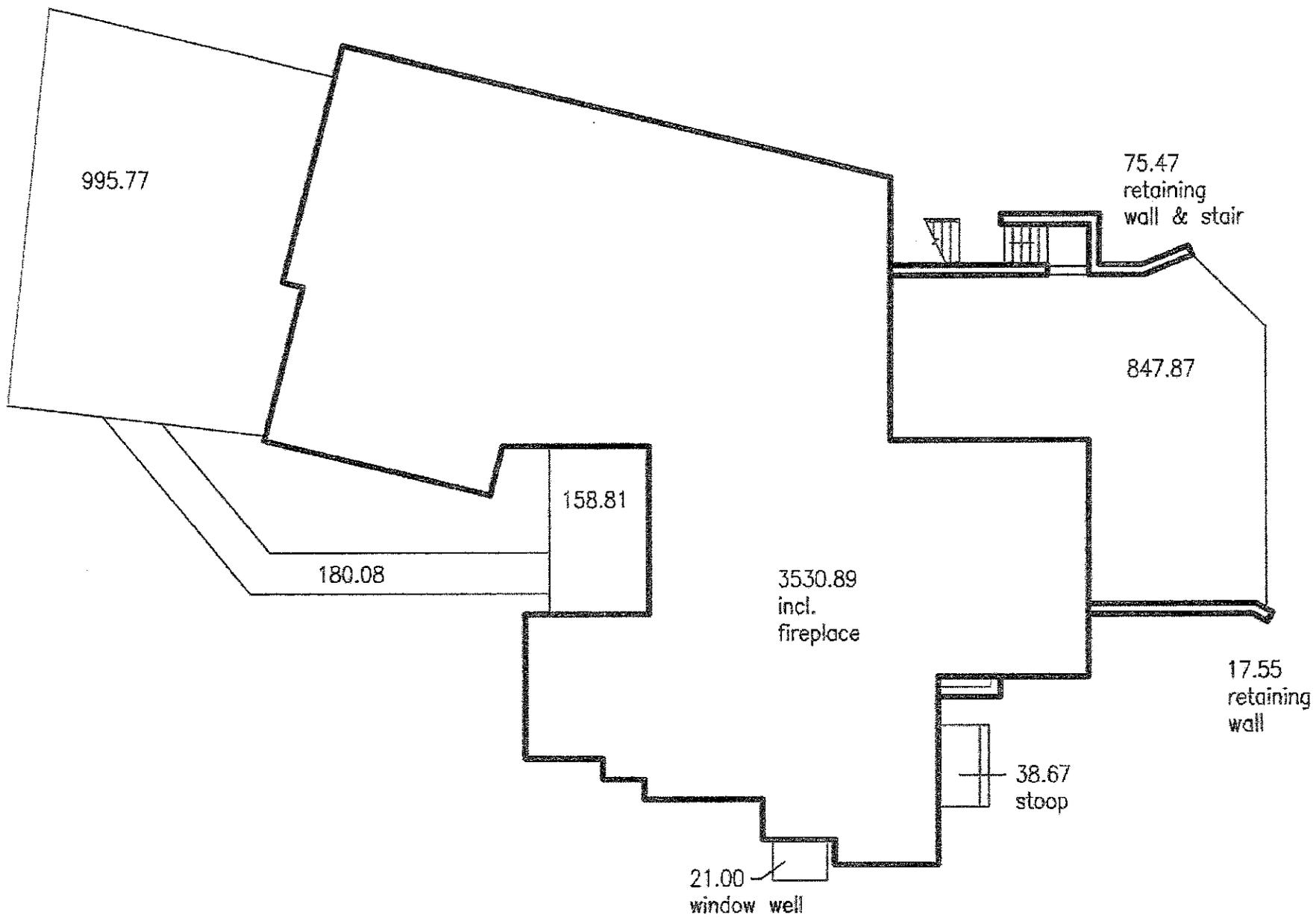
NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

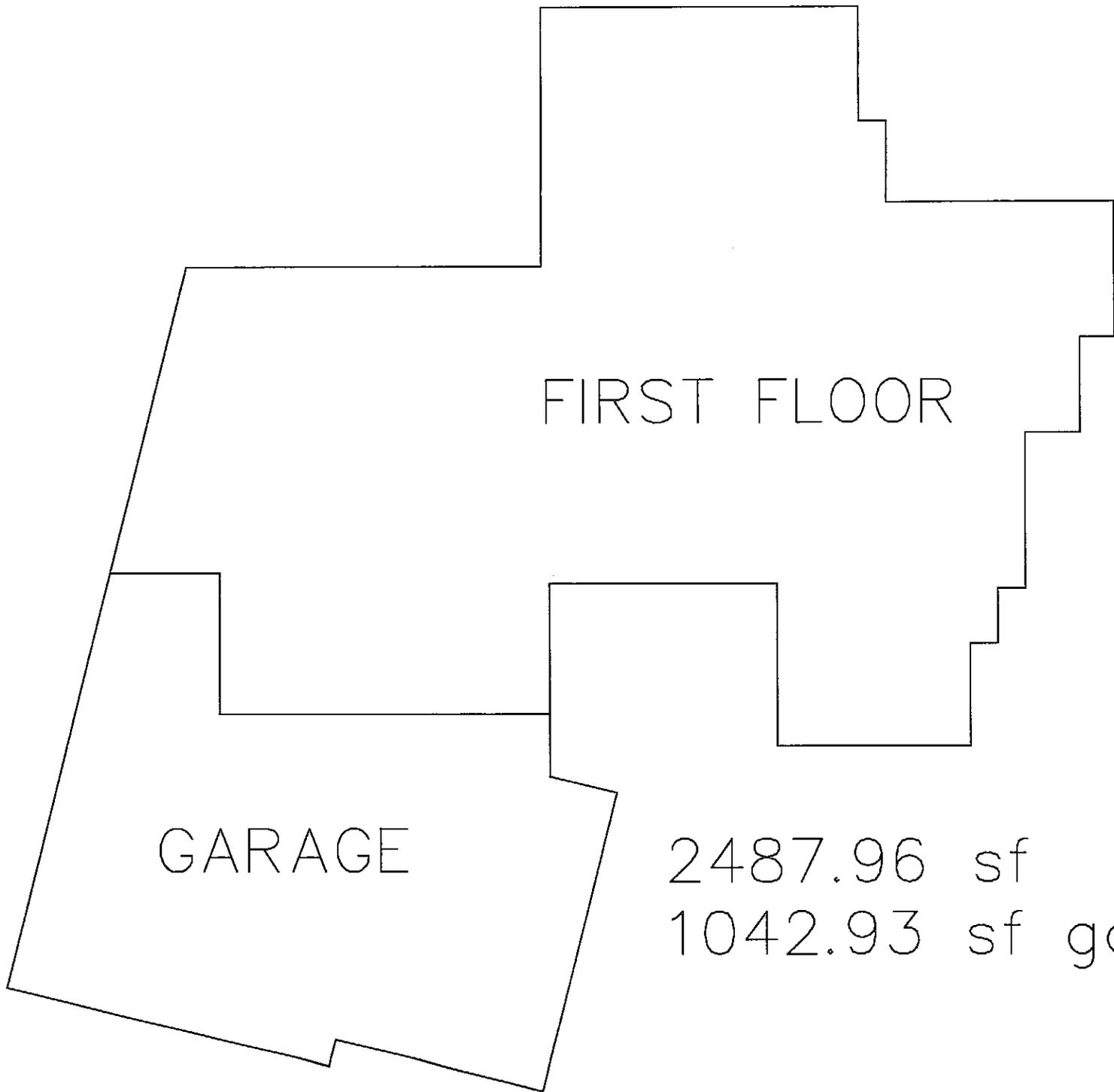
NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III. FINAL APPLICATION PACKET INFORMATION

____ Receipt of ~~2~~ full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of ~~2~~ reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____



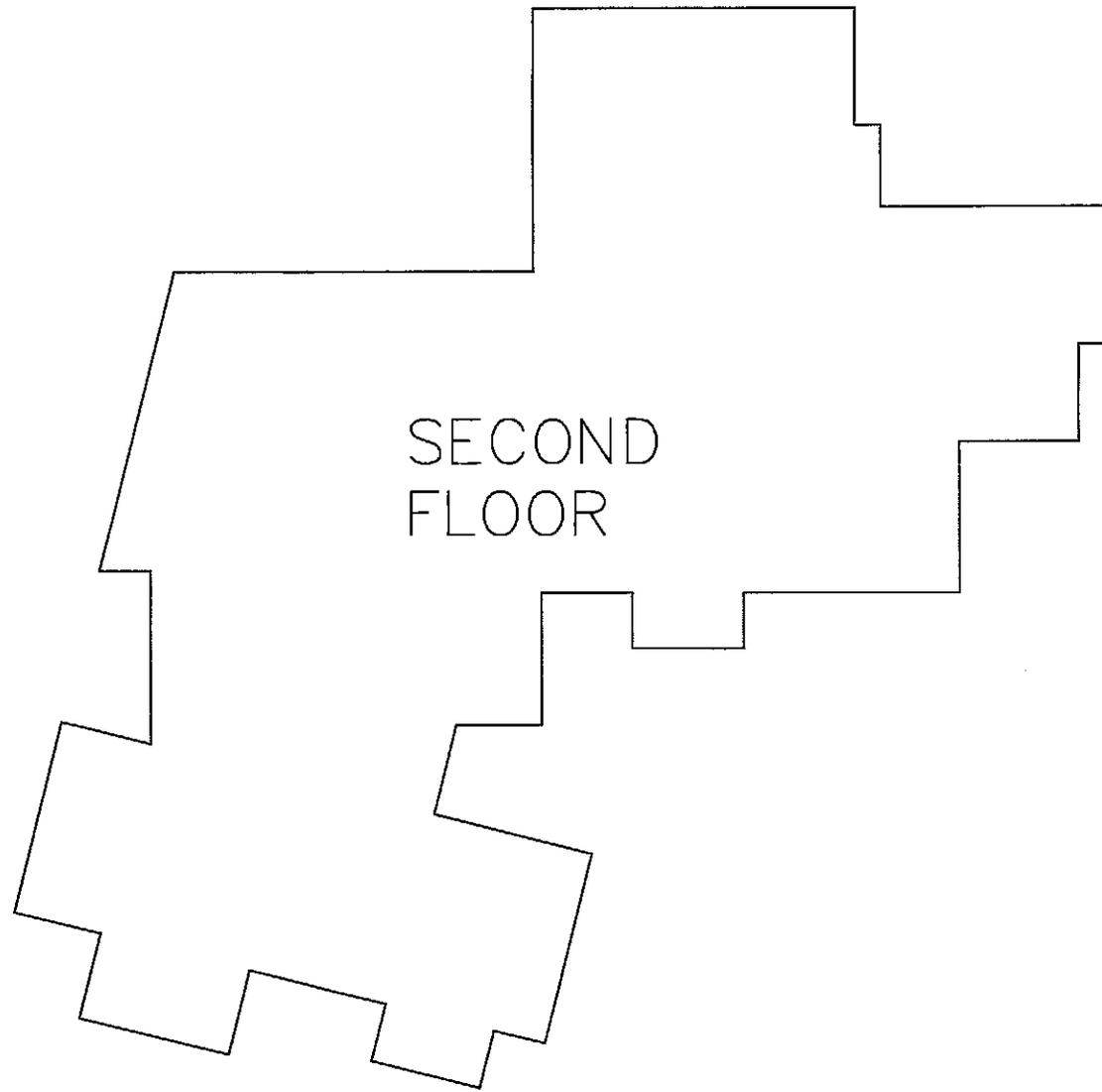


FIRST FLOOR

GARAGE

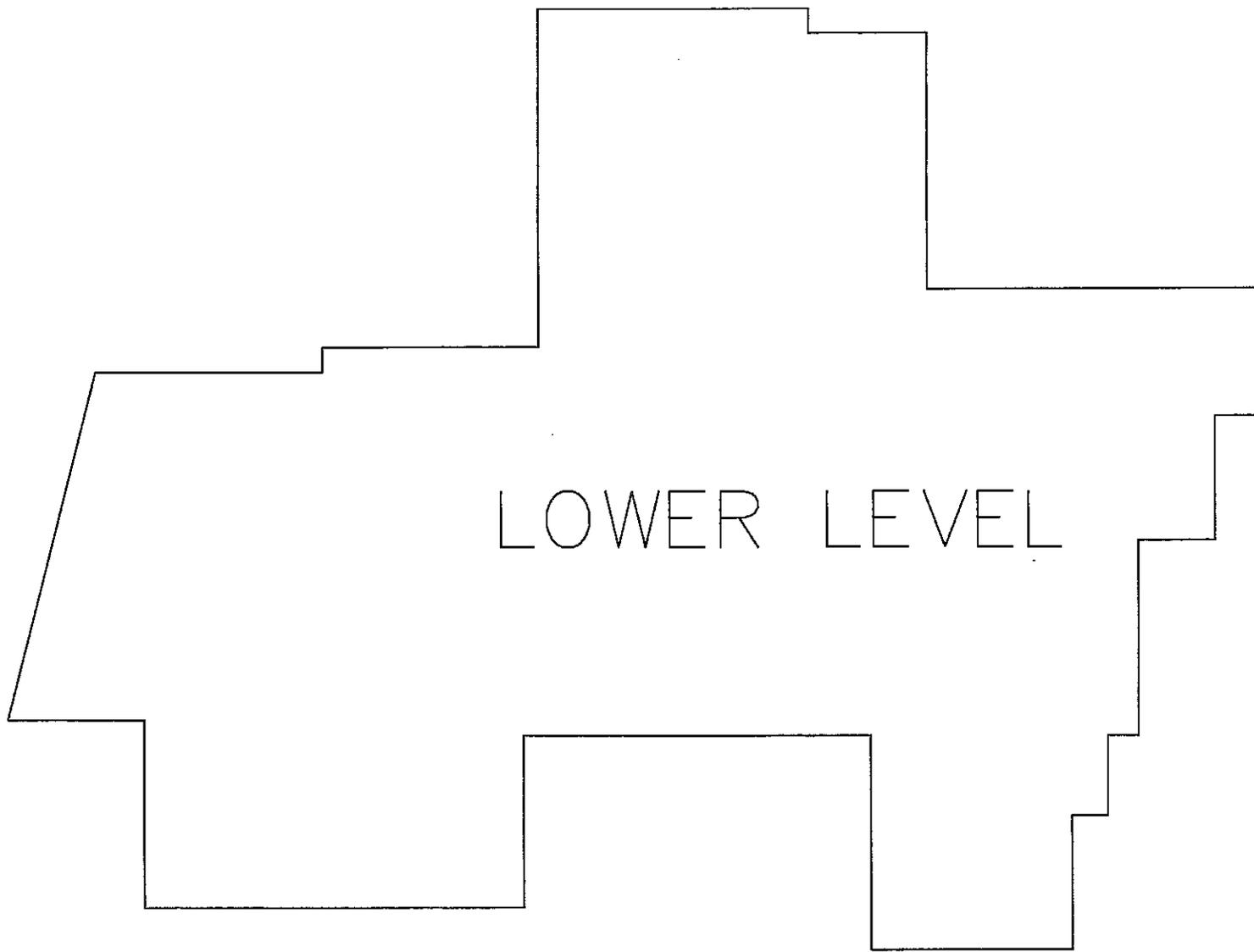
2487.96 sf

1042.93 sf garge



SECOND
FLOOR

3070.10 sf



2162.99 sf

ABUTTER'S INFO

A

COVENANT HARBOR BIBLE CAMP

1724 MAIN STREET

LAKE GENEVA, WI. 53147

B

DAVID & SARA BAUGHMAN TRUST

1895 GENEVA BAY DRIVE

LAKE GENEVA, WI. 53147

C

BRELLENTHIN FAMILY TRUST

C/O BIRDELL J BRELLENTHIN

830 BAYVIEW DRIVE

LAKE GENEVA, WI. 53147

D

GEORGE & JANICE DAVIDSON

4 NORTH TRAIL

LEMONT, IL. 60439

E

VIRGINIA A. MAGDA LIVING TRUST

2060B NE OCEAN BLVD

STUART, FL. 34996

F

THOMAS A & VIRGINIA H FRATTINGER TRUST

1350 AVALON CT.

WHEATON, IL. 60189

G

MELISSA L. STENSTROM TRUST

2609 SAXON PLACE

ROCKFORD, IL. 1114

H

ROBERT D LARSON TRUST

2403 COMSTOCK COURT

NAPERVILLE, IL. 60564

I

MARY DEBORAH SOMERVILLE TRUST

4901 GULF SHORE BLVD APT 401

NPLES, FL. 34103

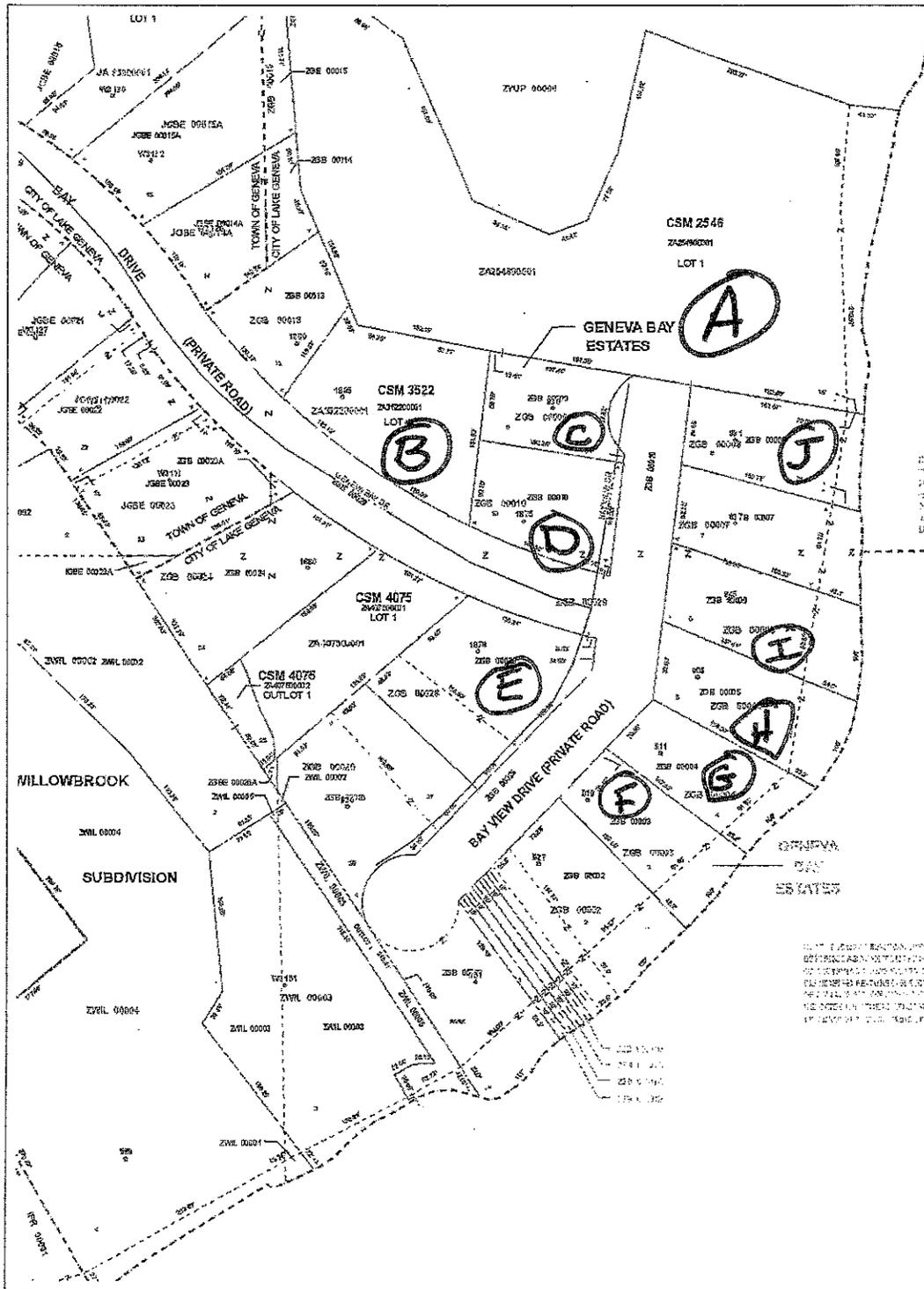
J

BILL & CARLA YOUNG

1119 SHERIDAN ROAD

WINNETKA, IL. 60093

Key MAP ABUTTER'S INFO



NOTE: THE INFORMATION CONTAINED ON THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED AS A BASIS FOR ANY LEGAL ACTION. THE USER OF THIS MAP SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION CONTAINED HEREON. THE USER OF THIS MAP SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION CONTAINED HEREON.

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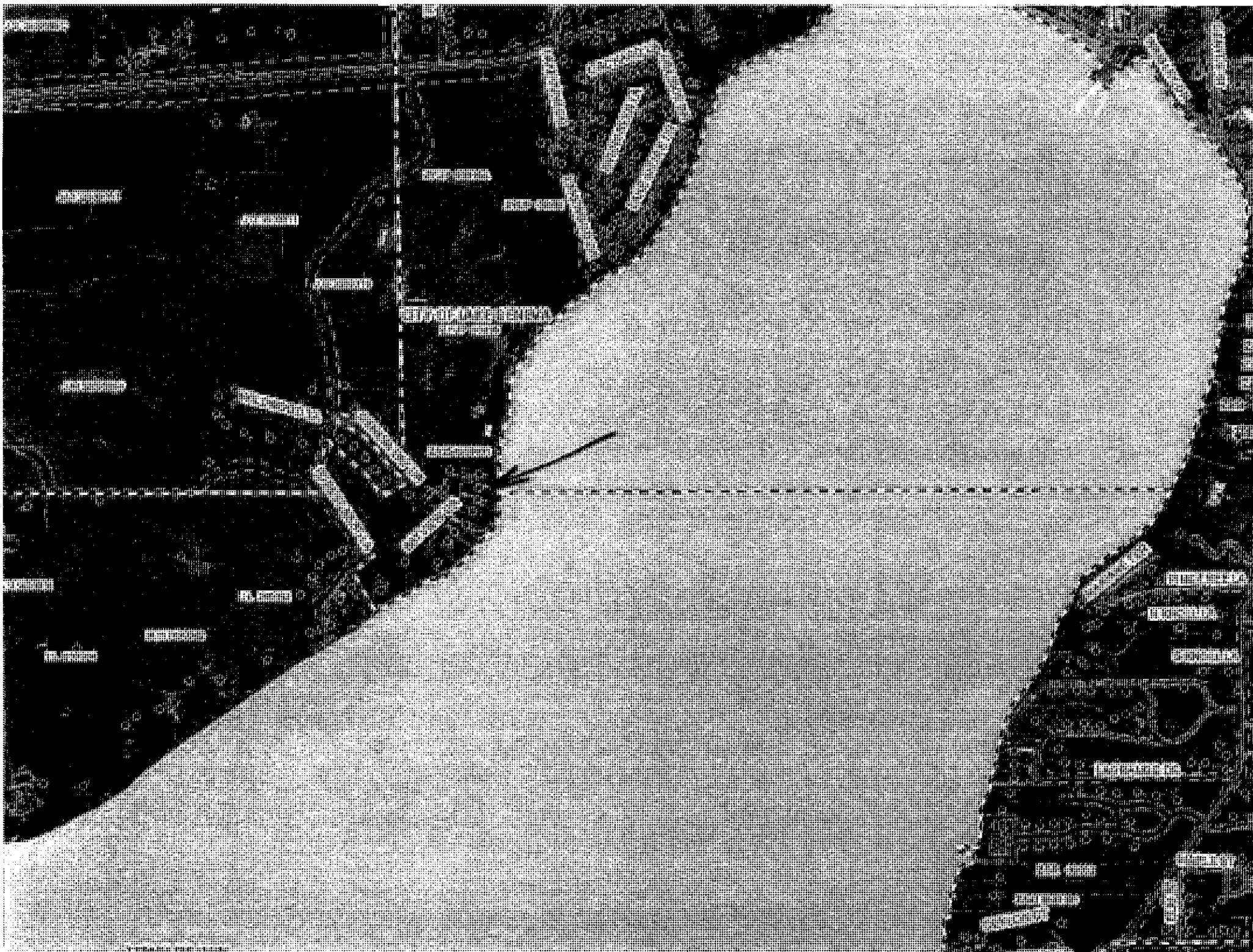
ANSI C Landscape

WALWORTH COUNTY, WISCONSIN

0 25 50 100 150 200 250
1 inch = 83 feet

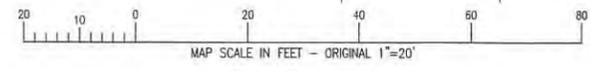
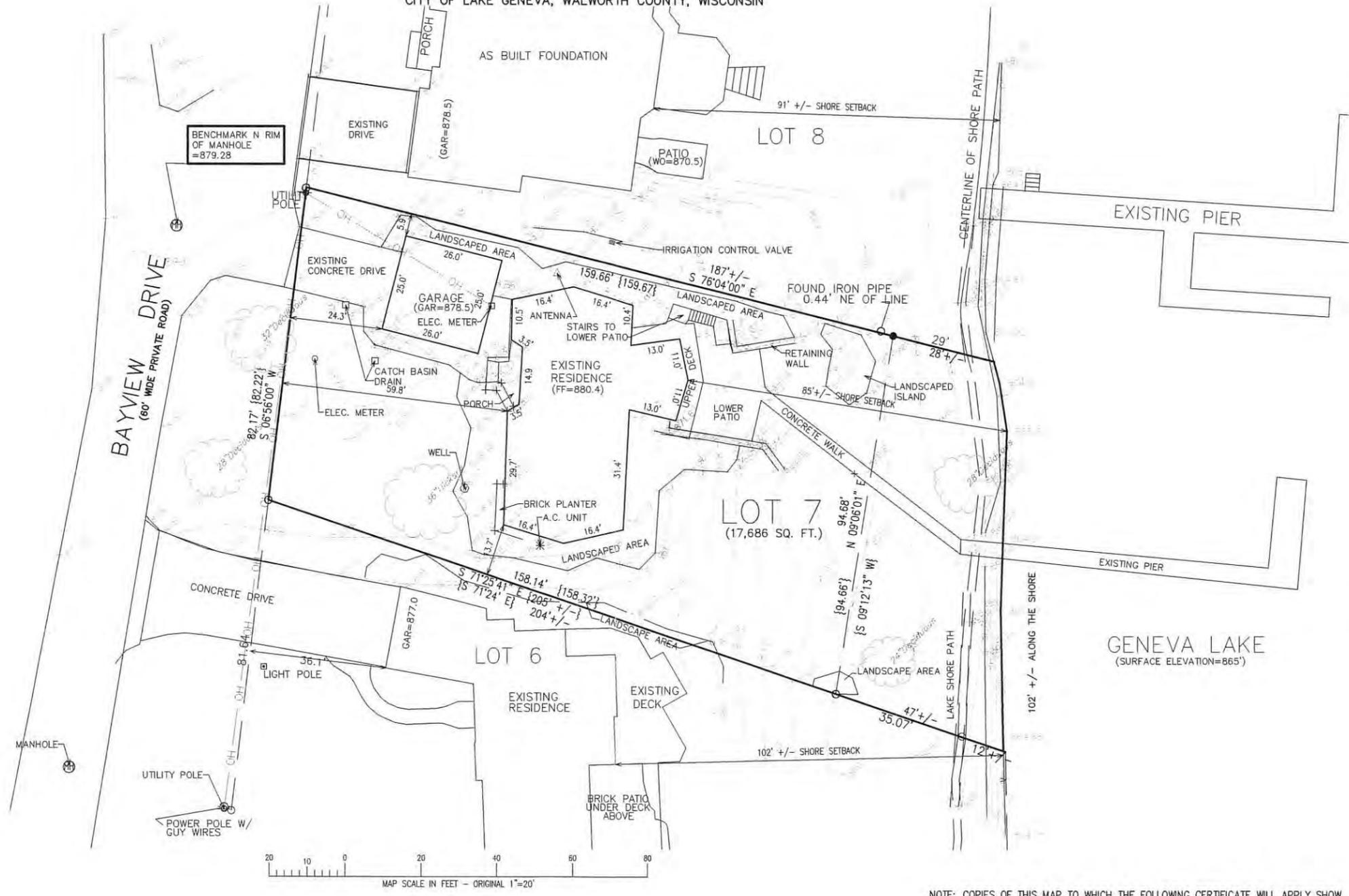
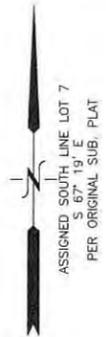
Author:
Map Produced on: 5/12/2017
Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD83
Walworth County Information Technology Department
Land Information Division
1800 Casey Tower NW
Eshwen, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROVIDED FROM SOURCES BELIEVED TO BE RELIABLE AND ACCURATE. EXPRESSED OR IMPLIED WARRANTIES REGARDING ACCURACY, ADEQUACY, COMPLETENESS, USABILITY, RELIABILITY OR OTHERWISE OF THIS INFORMATION TECHNOLOGY CONTAINED HEREON SHALL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.



PLAT OF SURVEY LOT 7 BLOCK ONE OF GENEVA BAY ESTATES

LOCATED IN THE NW 1/4 OF THE NE 1/4 SECTION 2, TOWN 1 NORTH, RANGE 17 EAST &
THE SW 1/4 OF THE SE 1/4 SECTION 35, TOWN 2 NORTH, RANGE 17 EAST
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



- LEGEND**
- = FOUND IRON PIPE STAKE
 - = FOUND IRON REBAR STAKE
 - = FOUND CONCRETE COUNTY MONUMENT
 - = SET IRON REBAR STAKE
 - △ = SET "MAG NAIL" IN PAVEMENT
 - {XXX} = RECORDED AS
 - {FF} = FINISHED FLOOR ELEVATION
 - {GAR} = GARAGE FLOOR ELEVATION
 - {WO} = WALKOUT FLOOR ELEVATION

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND ITS EXTERIOR BOUNDARIES. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATED: 04/28/2017

PETER S. GORDON P.L.S. 2101



WORK ORDERED BY -
LANCO DEVELOPMENT CO.
813 EAGLETON DRIVE
LAKE GENEVA WI 53147

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

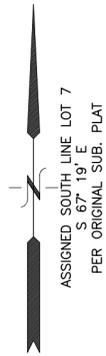
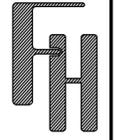
REVISIONS

PROJECT NO.
9740
DATE:
04/27/2017
SHEET NO.
1 OF 1

SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN

LOT 7 BLOCK ONE OF GENEVA BAY ESTATES

LOCATED IN THE NW 1/4 OF THE NE 1/4 SECTION 2, TOWN 1 NORTH, RANGE 17 EAST &
THE SW 1/4 OF THE SE 1/4 SECTION 35, TOWN 2 NORTH, RANGE 17 EAST
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



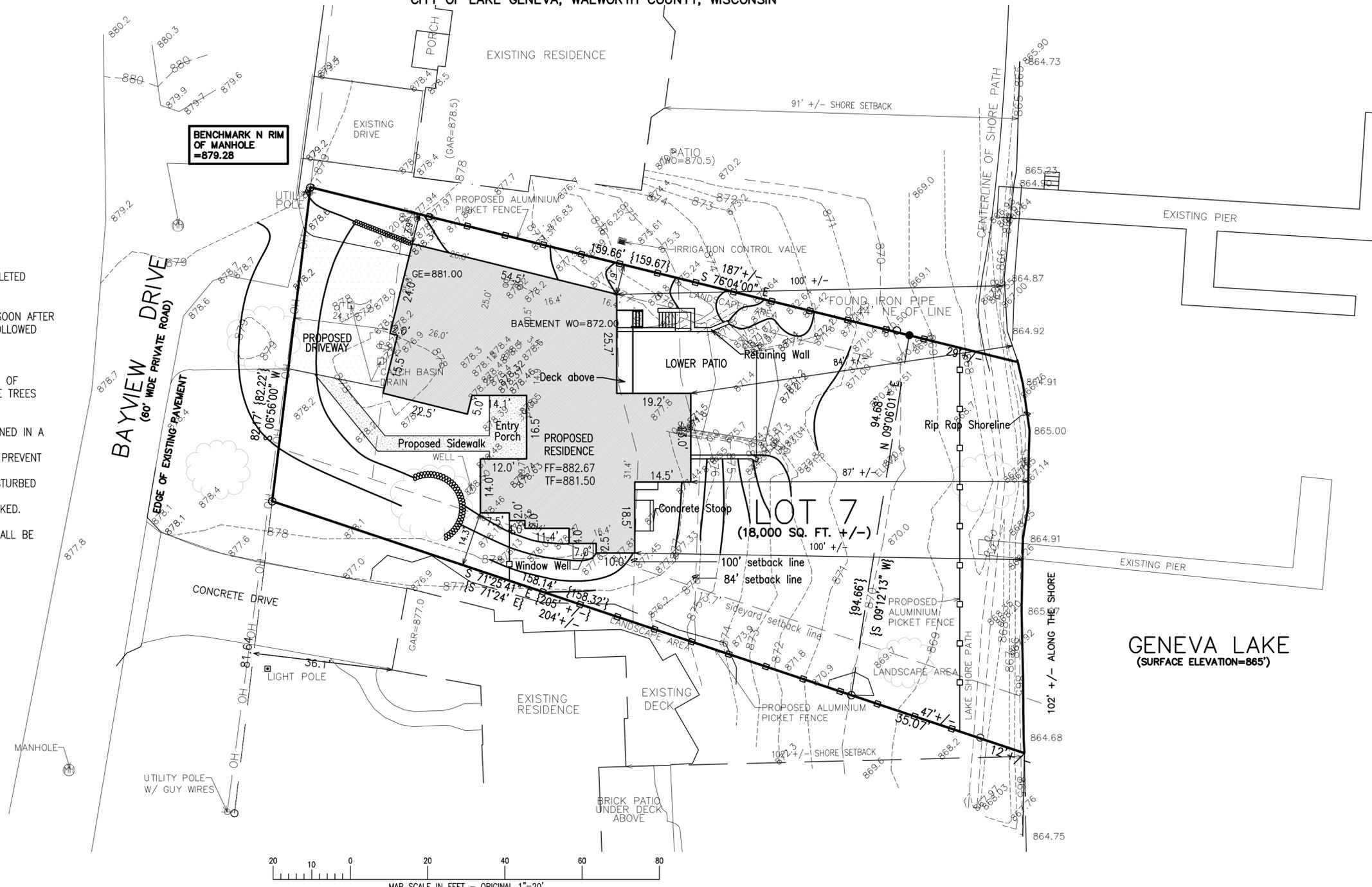
CONSTRUCTION SEQUENCE

- 1) SILT FENCING INSTALLED
- 2) INSTALL ANTI-TRACKING MAT
- 3) VEGETATION TO BE CLEARED
- 4) TOPSOIL STRIPPED
- 5) FOUNDATIONS DUG & POURED
- 6) WALLS BACKFILLED
- 7) FRAMING & HOME CONSTRUCTION COMPLETED
- 8) DRIVE & LANDSCAPING COMPLETED

AREA TO BE RESTORED WITH TOPSOIL AS SOON AFTER FOUNDATION AND FRAMING AS POSSIBLE FOLLOWED WITH GRASS SEEDING AND MULCH.

AREA WITHIN SILT FENCING TO BE CLEARED OF UNDERBRUSH WITH ONLY NECESSARY LARGE TREES REMOVED.

NOTE: ALL SILT FENCING SHALL BE MAINTAINED IN A STABLE CONDITION FULLY BRACED AND STAKED TO PREVENT MOVEMENT BY RUNOFF UNTIL A DENSE TURF IS ESTABLISHED OVER ALL DISTURBED GROUND SURFACES. DURING OR AFTER EVERY STORM THEY SHALL BE CHECKED. ACCUMULATIONS OF SILT TOPSOIL AND ANY OTHER CONSTRUCTION DEBRIS SHALL BE ROUTINELY REMOVED.



LEGEND

- = FOUND IRON PIPE STAKE
- = FOUND IRON REBAR STAKE
- = FOUND CONCRETE COUNTY MONUMENT
- = SET IRON REBAR STAKE
- △ = SET "MAG NAIL" IN PAVEMENT
- {XXX} = RECORDED AS
- {FF} = FINISHED FLOOR ELEVATION
- {GAR} = GARAGE FLOOR ELEVATION
- {WO} = WALKOUT FLOOR ELEVATION

GENEVA LAKE
(SURFACE ELEVATION=865')

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

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DATED: 05/12/2017

PETER S. GORDON P.L.S. 2101

WORK ORDERED BY -
LANCO DEVELOPMENT CO.
813 EAGLETON DRIVE
LAKE GENEVA WI, 53147

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5686

REVISIONS
5/24/2017 - LK
REVISE DETAIL

PROJECT NO.
9740
DATE:
04/27/2017
SHEET NO.
1 OF 1

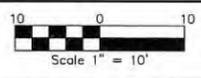


This plan as an instrument of service is the property of Breezy Hill Nursery, Inc. and may not be used in whole or part without our written consent. Violators are subject to prosecution.

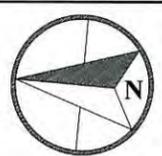
This plan as an instrument of service is the property of Breezy Hill Nursery, Inc. and may not be used in whole or part without our written consent. Violators are subject to prosecution.



Roth Residence
 837 Bay View Drive, Lake Geneva, WI



Designed By Bradd Epping
 Drawn By Kathy Feucht
 Date April 21st, 2017
 Revised
 Project # - 002503



Sheet
L1



1 ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'-0"



REVIEW ONLY-NOT FOR CONSTRUCTION

<p>ASPECT DESIGN INC. A S C H I T E C T S</p>		<p>ROTH RESIDENCE CUSTOM RESIDENCE 837 BAYVIEW DRIVE LAKE GENEVA, WISCONSIN 53147</p>	
<p>2625 COMMERTON DR. SUITE 607 LAKE GENEVA, WI 53147 WWW.ASPECTDESIGNINC.COM</p>		<p>LANCO DEVELOPMENT CO. 813 EAGLETON DRIVE LAKE GENEVA, WISCONSIN 53147 (262) 374-1033</p>	
<p>PROJECT # AD17107 DRAWN BY CS.COM</p>		<p>VARIOUS SUBMITTALS 09/2017</p>	
<p>ROTH RESIDENCE TITLE SHEET</p>		<p>1 OF 1 TOTAL SHEETS</p>	
<p>A-0</p>		<p>NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER. (ARCH-E)</p>	



2 LEFT EXTERIOR ELEVATION
A 02

SCALE: 1/4" = 1'-0"



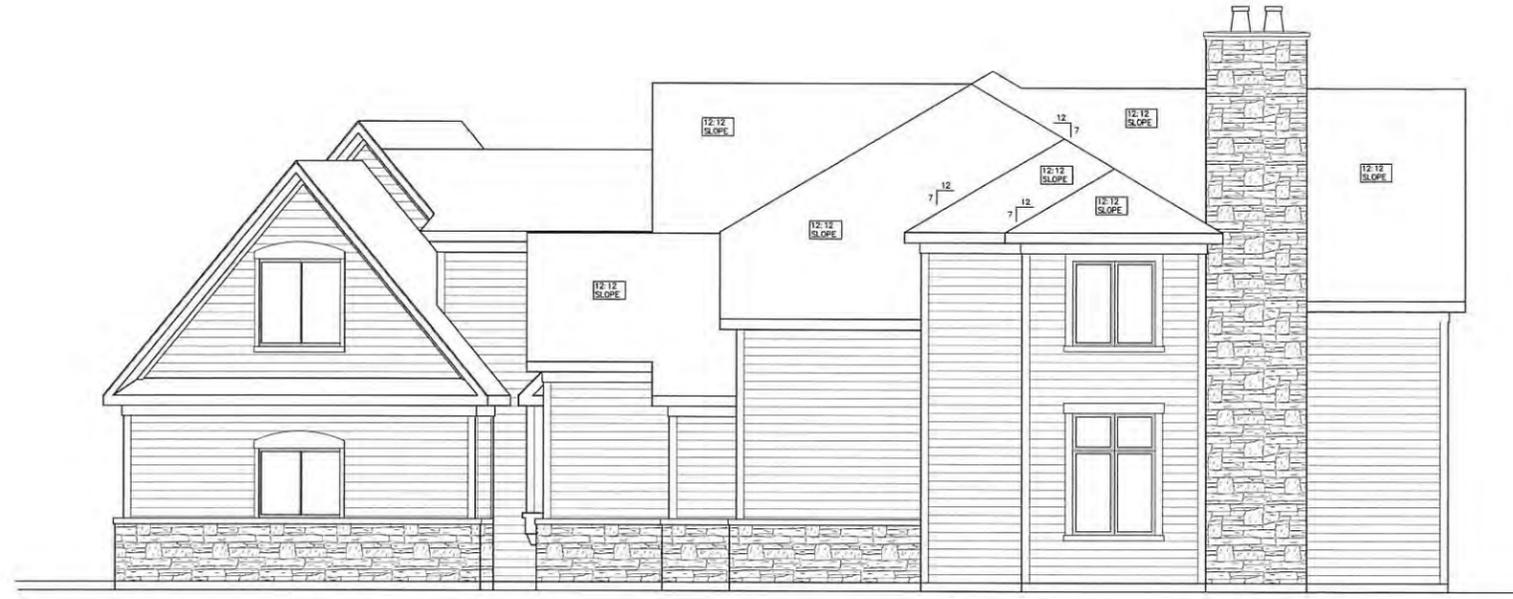
1 FRONT EXTERIOR ELEVATION
A 02

SCALE: 1/4" = 1'-0"

REVIEW ONLY-NOT FOR CONSTRUCTION

<p>LANCO DEVELOPMENT CO. 813 EAGLETON DRIVE LAKE GENEVA, WISCONSIN 53147 (262) 374-1033</p>		<p>ROTH RESIDENCE CUSTOM RESIDENCE 837 BAYVIEW DRIVE LAKE GENEVA, WISCONSIN 53147</p>	
<p>ASPECT DESIGN INC. 26575 COMMERCE DR. SUITE 607 MILWAUKEE, WI 53227 WWW.ASPECTDESIGN.COM TEL: 262.781.2800</p>		<p>PROJECT # AD17107 DRAWN BY CS.COM ROTH RESIDENCE TITLE SHEET</p>	
<p>A-2</p>		<p># OF TOTAL SHEETS</p>	

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER (ARCH-E)



2 RIGHT EXTERIOR ELEVATION
A 03

SCALE: 1/4" = 1'-0"



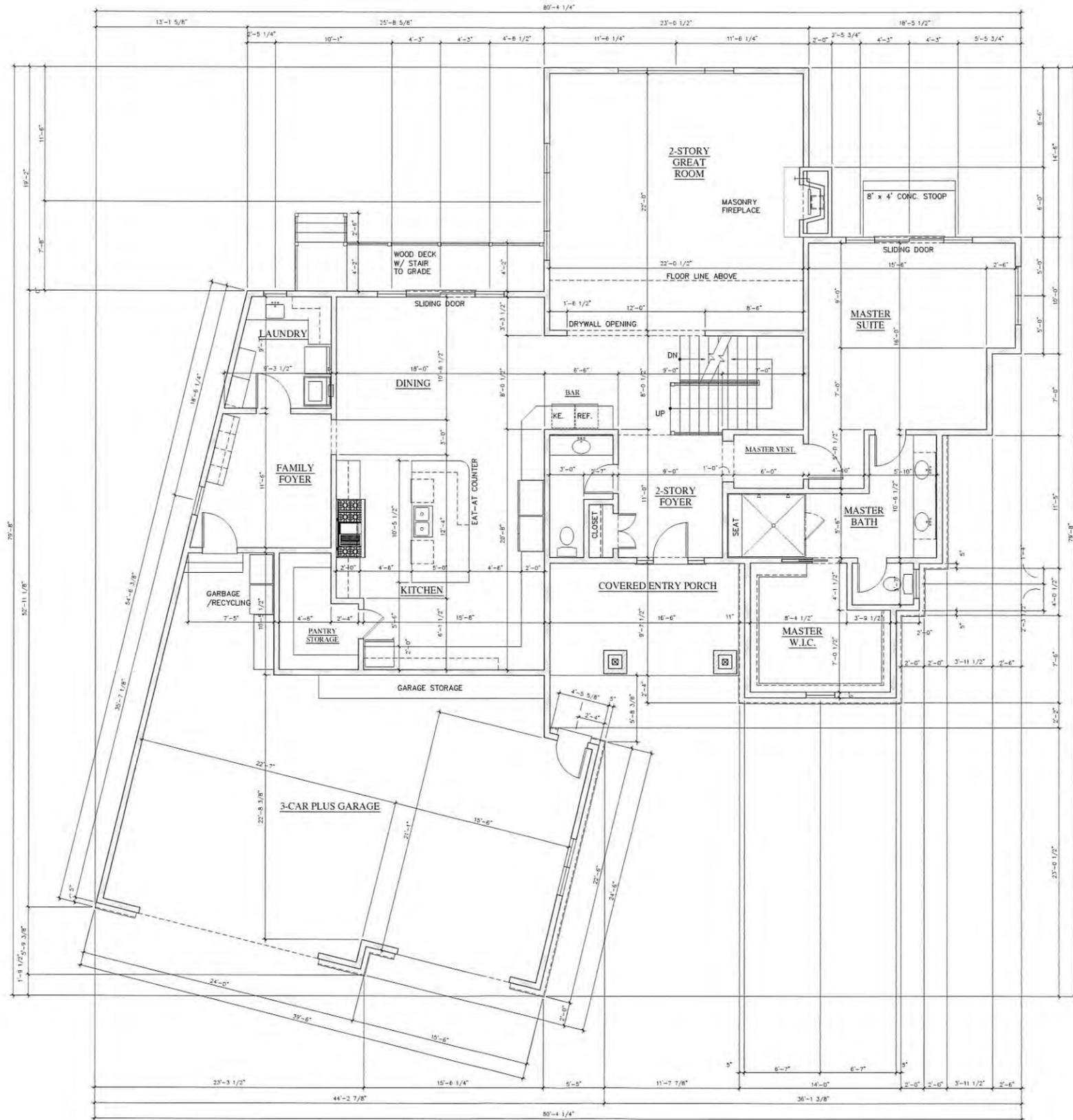
1 REAR EXTERIOR ELEVATION
A 03

SCALE: 1/4" = 1'-0"

REVIEW ONLY - NOT FOR CONSTRUCTION

<p>2625 COMMERCIAL DR. SUITE 607 LAKE GENEVA, WI 53147 WWW.ASPECTDESIGNINC.COM (262) 758-0101</p>	
<p>PROJECT # AD1702</p>	<p>DRAWN BY: CS.COM</p>
<p>ROTH RESIDENCE TITLE SHEET</p>	
<p>A-3</p>	
<p>1 OF 4 TOTAL SHEETS</p>	
<p>LANCO DEVELOPMENT CO. 813 EAGLETON DRIVE LAKE GENEVA, WISCONSIN 53147 (262) 374-1033</p>	
<p>ROTH RESIDENCE CUSTOM RESIDENCE 837 BAYVIEW DRIVE LAKE GENEVA, WISCONSIN 53147</p>	

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER. (ARCH-E)



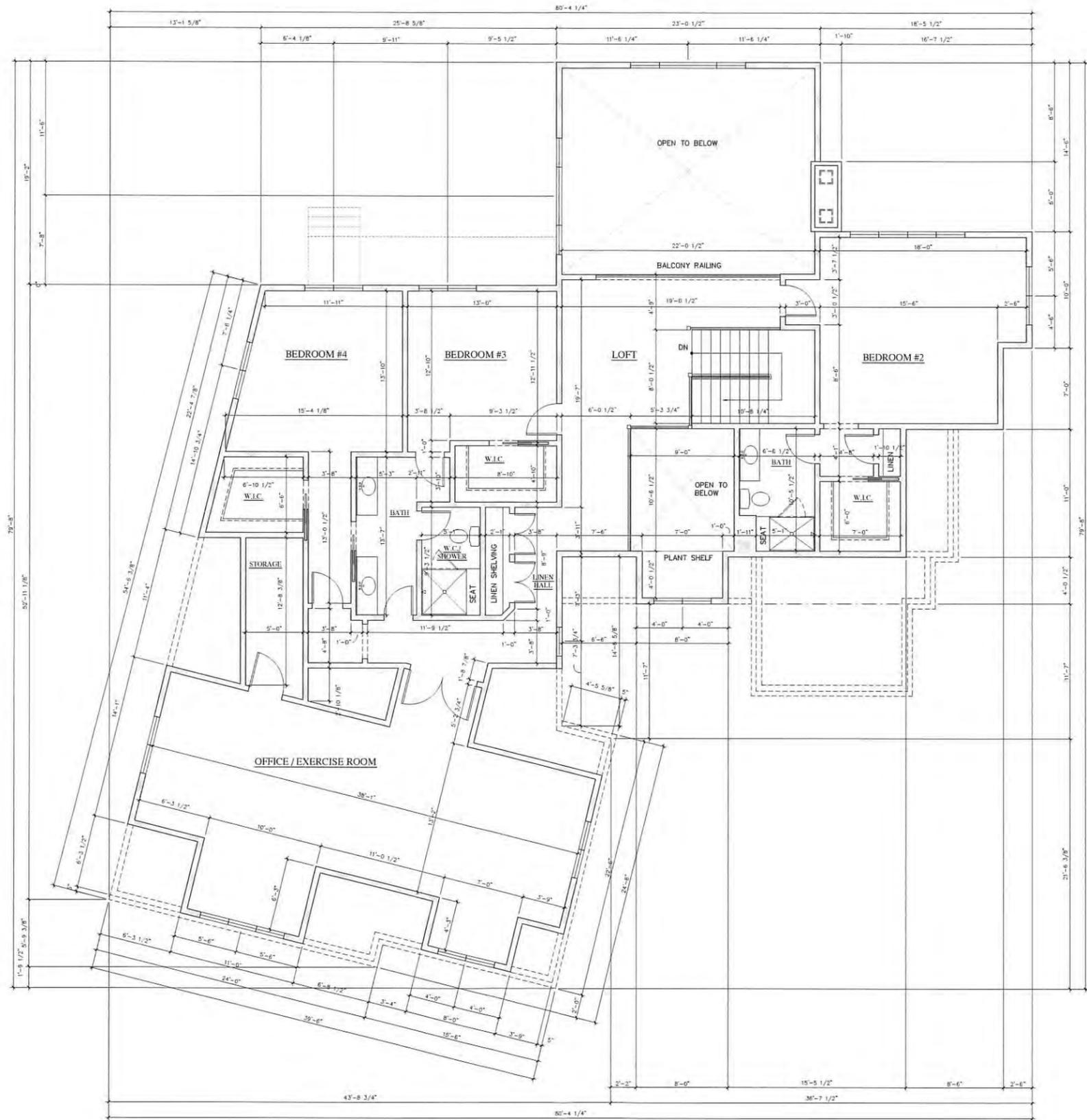
1 FIRST FLOOR PLAN
A 05

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER. (ARCH-E)

REVIEW ONLY - NOT FOR CONSTRUCTION

<p>2625 COMMERCIAL DR. SUITE 607 WILSONVILLE, IL 60073-3500 WWW.ASPECTDESIGNINC.COM (708) 297-7500</p>		<p>LANCO DEVELOPMENT CO. 813 EAGLETON DRIVE LAKE GENEVA, WISCONSIN 53147 (262) 374-1033</p>		<p>ROTH RESIDENCE CUSTOM RESIDENCE 837 BAYVIEW DRIVE LAKE GENEVA, WISCONSIN 53147</p>	
<p>ASPECT DESIGN INC. A SCOTT FELLOWS COMPANY</p>		<p>VARIA/DORS SUBMITTAL: 08/2013</p>		<p>PROJECT # AD1707 DRAWN BY: CS.COM ROTH RESIDENCE TITLE SHEET</p>	
<p>A-5</p>		<p>A-5</p>		<p>1 OF 1 TOTAL SHEETS</p>	



1 SECOND FLOOR PLAN
A 06

SCALE: 1/4" = 1'-0"

REVIEW ONLY - NOT FOR CONSTRUCTION

PROJECT # AD1710
DRAWN BY: CS.COM

ROTH RESIDENCE
TITLE SHEET

ROTH RESIDENCE
CUSTOM RESIDENCE
837 BAYVIEW DRIVE
LAKE GENEVA, WISCONSIN 53147

LANCO DEVELOPMENT CO.
813 EAGLETON DRIVE
LAKE GENEVA, WISCONSIN 53147
(262) 374-1033

VARIA/DIG SUBMITTAL 09/2017

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A-6
P 1 OF 1 TOTAL SHEETS

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER. (ARCH-E)

Agenda Item #20

To: City of Lake Geneva Plan Commission
From: Mike Slavney, FAICP, and Jackie Mich, AICP
Date: June 12, 2017
Re: Commercial Indoor Lodging - Zoning Ordinance Amendment

The owner of a single family home at 407 Center Street is interested in renting his property to tourists when he is not residing there. The property is zoned Neighborhood Office (NO). Renting the house to tourists is considered a Commercial Indoor Lodging land use, which is not permitted in the NO district. Rezoning the property to a district that allows Commercial Indoor Lodging (i.e., GB General Business) would require an amendment to the Comprehensive Plan.

The Commercial Indoor Lodging land use includes a range of lodging uses from short-term vacation rentals (e.g. Airbnb or Vacation Rental By Owner) to large-scale hotels (e.g. Marriott). Short-term vacation rentals would be appropriate in the NB or NO zoning districts, as these districts already contain a number of single family and two family homes in which commercial uses are permitted.

Since this initial inquiry, the City has received several other requests for short-term vacation rentals in single family homes zoned NB or NO. **We recommend amending the zoning code to allow Commercial Indoor Lodging by conditional use in the Neighborhood Office (NO) or Neighborhood Business (NB) zoning districts.**

Large-scale hotels would not be permitted in the NB or NO districts due to the Maximum Building Size, Architectural Requirements, and Landscape Surface Ratio requirements in those zoning districts.

This potential amendment would impact some single/two family areas. Properties zoned NO and NB are often located near properties that are zoned for single/two family, in some cases acting as a transition between higher-intensity business zoning districts such as GB General Business. The Zoning Ordinance (see Subsections 2.a. and b., on page 3) currently offers additional protections for residential uses adjacent to Commercial Indoor Lodging uses.

The attached map identifies parcels that are zoned for single family or two family (ER-1, SR-3, SR-4, TR-6) that are adjacent to properties zoned NO or NB. These residential parcels, outlined in red, may be impacted by the proposed amendment, as Commercial Indoor Lodging could be allowed next door.

The attached map identifies 18 single/two family properties that are adjacent to properties zoned NO or NB:

- 720 Ann St
- 727 Ann St
- 603 Center St
- 311 Cook St
- 315 Cook St
- 613b Dodge St
- 601 Dodge St
- 920 Geneva St
- 921 W Main St
- 730 Marshall St
- 715 North St
- 516 Sage St
- 528 Sage St
- 530 Sage St
- 542 Sage St
- 546 Sage St
- 548 Sage St
- 822 Wisconsin St

Enabling Commercial Indoor Lodging uses in the NO and NB zoning districts would involve the following amendments to the Zoning Ordinance:

1. Amend the Neighborhood Office Zoning District (Section 98-105(3)(a)2.b.) and the Neighborhood Business Zoning District (Section 98-105(3)(c)2.b.) to list Commercial Indoor Lodging as a land use permitted as a conditional use.
2. Reflect the change described above in Table 98-203(4): Tables of Land Uses.
3. Amend Section 98-206(k) pertaining to Commercial Indoor Lodging, as follows:

[Text proposed to be added is underlined. Text proposed to be removed is shown in ~~strikethrough~~.]

(k) Commercial Indoor Lodging

Description: Commercial indoor lodging facilities include land uses which provide sleeping accommodations for overnight and/or extended stay housing in individual rooms or suites of rooms, for consideration to transients. Such land uses may provide in-room or in-suite kitchens, and may also provide indoor recreational facilities for the exclusive use of their customers. This land use includes but is not limited to hotels and motels.

Commercial indoor lodging facilities also include land uses which provide sleeping accommodations for transients for overnight and/or extended stay housing in distinct housing units, including single-family, two-flat, twin home, duplex, and townhouse, ~~multiplex and apartment~~ dwelling units, including but not limited to land uses commonly referred to as “cottages”, “vacation homes”, “tourist homes”, “resort homes”, “fractional ownership and time share units”.

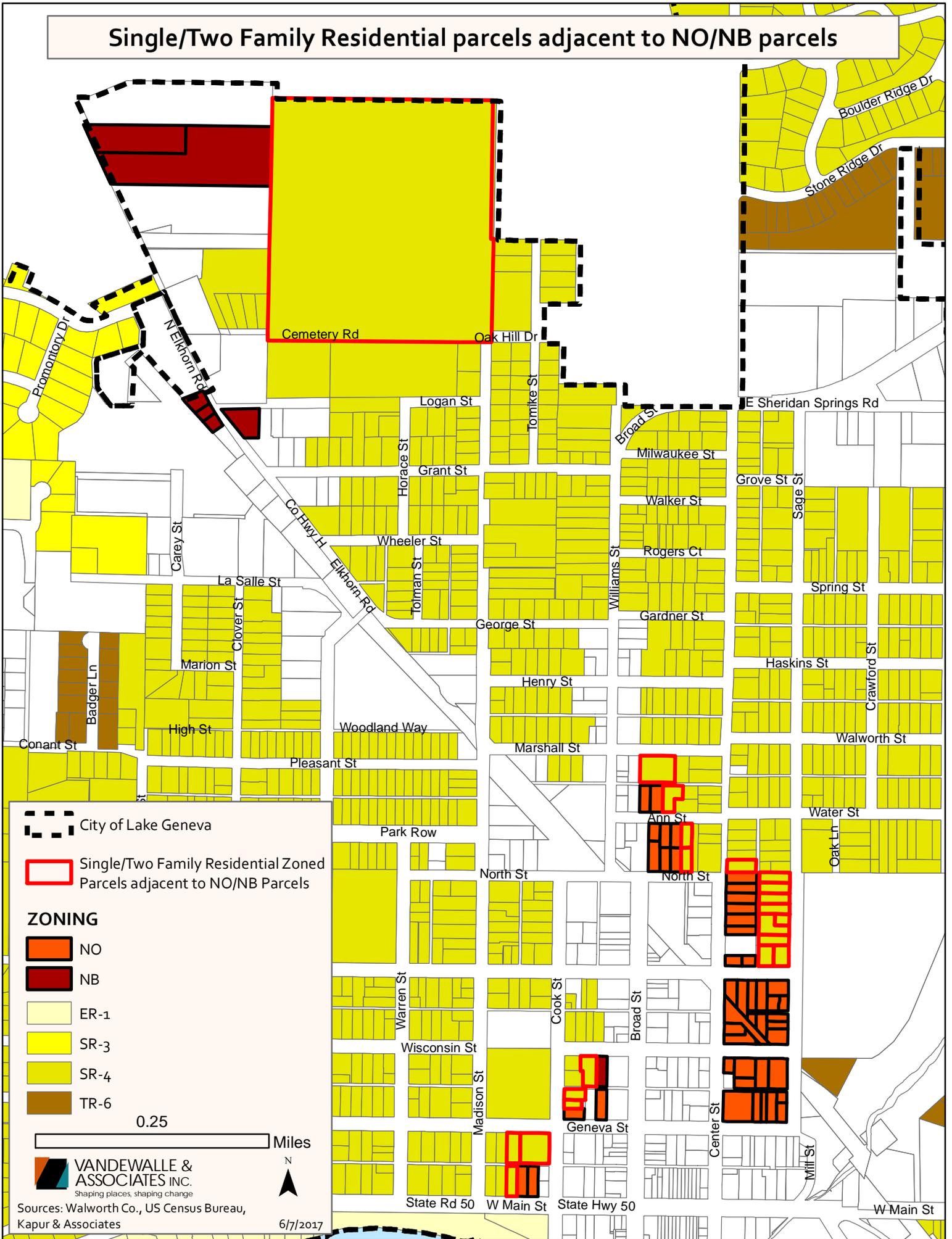
As opposed to residential land uses, such commercial indoor lodging land uses are intended and managed to accommodate transients and tourists, and are thus prohibited from all Residential zoning districts, and from the Neighborhood Office and Neighborhood Business zoning districts. Such land uses are typically occupied to provide access to recreational, cultural and business opportunities in the region, and generally do not serve as the permanent legal residence of the occupants.

Dwelling units which are occupied by a single property owner and guests staying without consideration for less than a year, and remain unoccupied by any other party for the remainder of the year, such as many “second homes” are considered residential units, rather than commercial indoor lodging. This land use does not include Bed and Breakfast Establishments as regulated in Sec. 98-206 (4)(l).

Restaurant, arcades, fitness centers, and other on-site facilities available to non-lodgers are not considered accessory uses and therefore require review as a separate land use.

1. Permitted by Right: Not applicable.
2. Conditional Use Regulations {NO, NB, PO, PB, GB, CB}:
 - a. If located on the same side of a building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 100 feet of a residentially zoned property.
 - b. Facility shall provide a bufferyard with a minimum opacity of .60 along all property borders abutting residentially zoned property (see Section 98-610).
 - c. Within the PO, NO, and NB Districts, each and every room must take primary access via an individual interior door, and may not be accessed via an external balcony, porch or deck, except for emergency purposes.
 - d. All vehicles shall have and shall be parked on an improved surface including any type of recreational vehicle.
 - e. No outside storage of any recreational accessories such a pool floats, life jackets, etc.
 - f. Shall comply with Section 98-905, standards and procedures applicable to all conditional uses.
 - g. After approval applicant must apply for City Business License.
 - h. After approval applicant must apply for and comply with the room tax permit.
3. Parking Regulations: One space per bedroom, plus one space for each employee on the largest work shift.

Single/Two Family Residential parcels adjacent to NO/NB parcels



**PUBLIC PARTICIPATION STRATEGY AND PROCEDURES
FOR BOTH THE REGULAR AND UNIQUE CONSIDERATION OF
2017 AMENDMENTS TO CITY OF LAKE GENEVA COMPREHENSIVE PLAN**

Introduction

A key required component of Section 66.1001 of Wisconsin Statutes—the State’s comprehensive planning legislation—is actively involving community stakeholders as each local comprehensive plan is being developed, updated, or amended. Public participation helps to ensure that the resulting comprehensive plan accurately reflects the vision, goals, and values of citizens of the community.

Section 66.1001(4)(a) of Wisconsin Statutes requires the City of Lake Geneva to adopt, by resolution, written procedures designed to foster public participation at every stage in the preparation or subsequent amendment of its comprehensive plan. The written procedures must provide for wide distribution of the comprehensive plan, an opportunity for the public to submit written comments on the plan, and provisions for local response to such comments.

This document meets this statutory requirement. It serves as the procedures that will be used to consider and potentially adopt amendments to the City’s August 30, 2011 Comprehensive Plan under both a regular Plan review process, as well as in the instance of responding to an unique Plan amendment circumstance.

Major Goals of Public Participation Strategy

- Provide opportunities for people to participate in processes to consider and adopt amendments to the City’s Comprehensive Plan.
- Adopt plan amendments that reflect the ideas, desires, and objectives of most residents and property owners.
- Meet both the letter and spirit of Wisconsin’s Comprehensive Plan legislation.
- Use the City’s Plan Commission as a foundation for guiding the plan amendment process.
- Recognize that the goals expressed above must be balanced with the need to complete the comprehensive plan amendments within a reasonable timeframe.

Selected Public Participation Techniques

The City will, at a minimum, use the following techniques to obtain public input during the plan amendment process:

- Assure that all Plan Commission and City Council meetings to consider and adopt amendments are open to the public, and are noticed as required by state open meeting regulations.
- Provide an opportunity at each public meeting held on the Plan Amendment for public comment. Some meetings will be particularly meant to encourage wide participation from the public. Other meetings are intended to be work sessions for the Plan Commission, City Council, or some combination. The public comment period will be provided at either the beginning or end of each public meeting, or at one or more other parts of the meeting at the discretion of the Plan Commission or City Council. This will allow the Commission or Council to concentrate on completing tasks without interruption, while still allowing the public an appropriate chance to observe and comment.

- Hold at least one formal public hearing on the proposed comprehensive plan amendments and the adopting ordinance prior to adoption. All members of the public will have an opportunity to present testimony and offer comments at the public hearing. The public hearing will be noticed and held per the requirements of Wisconsin Statutes, Section 66.1001.

Opportunities for Comments/Responses on Draft Comprehensive Plan Amendments

The City will have available copies of draft plan amendment materials at City Hall and the Library during normal business hours. The City will also provide copies of the draft and final plan amendments to adjacent and overlapping governments and non-metallic mineral interests as required by statute, and to members of the participating public as requested. The City may charge for public copies an amount equal to the costs of time and materials to produce such copies.

Public comments will be solicited and responded to at every stage of the plan amendment process. Written comments on the comprehensive plan amendments may also be delivered, mailed, faxed, or e-mailed to the City Clerk. The City will respond to written comments via mail, e-mail, fax, telephone, meeting, and/or through consideration of appropriate changes to the comprehensive plan, or to the proposed amendments to the comprehensive plan.

RESOLUTION 17-R23

ESTABLISHING PUBLIC PARTICIPATION PROCEDURES
FOR BOTH THE REGULAR AND UNIQUE CONSIDERATION OF
2017 AMENDMENTS TO THE CITY OF LAKE GENEVA COMPREHENSIVE PLAN

WHEREAS, the City of Lake Geneva on August 30, 2011 adopted the City of Lake Geneva Comprehensive Plan, under the authority of and procedures established by §66.1001(4), Wisconsin Statutes; and

WHEREAS, that 2011 Comprehensive Plan document advises both the regular Plan Commission review of the Comprehensive Plan, as well as the ability to respond to unique circumstances which arise in relation to the Comprehensive Plan which are distinct from the regular plan review process, and to enable the City's consideration of potential amendments where the Plan becomes irrelevant or contradictory to emerging policy or trends; and

WHEREAS, §66.1001(4)(a), Wisconsin Statutes, requires that the governing body of the local governmental unit adopt written procedures designed to foster public participation at every stage of the comprehensive plan preparation or amendment process, and that such written procedures shall provide for wide distribution of draft plan materials, an opportunity for the public to submit written comments on the plan materials, and a process for the governing body to respond to such comments; and

WHEREAS, the City of Lake Geneva believes that meaningful public involvement in processes designed to periodically consider and adopt amendments to its Comprehensive Plan is important to assure that the resulting Plan and adopted amendments meet the wishes and expectations of the public; and

WHEREAS, the attached "Public Participation Strategy and Procedures for Amendments to City of Lake Geneva Comprehensive Plan" includes procedures to foster public participation, ensure distribution of draft plan materials, provide opportunities for written comments on such materials, and provide mechanisms to respond to such comments.

NOW, THEREFORE, BE IT RESOLVED that the Plan Commission of the City of Lake Geneva hereby recommends that the Common Council adopt a resolution to constitute official City approval of the attached "Public Participation Strategy and Procedures for Amendments to City of Lake Geneva Comprehensive Plan" as required under §66.1001(4)(a), Wisconsin Statutes.

Approved this 19th day of June, 2017

Al Kupsik, Mayor

ATTEST:

Daniel Draper, City Attorney for City Clerk

**City of Lake Geneva
Amendment to the Comprehensive Plan
APPLICATION FORM**

PETITION: I, _____ hereby petition the City of Lake Geneva consider the following request for amendment to the Lake Geneva Comprehensive Plan:

Please check those that apply:

- _____ Future Land Use Map (Map 5)
- _____ Other Maps (Transportation Facilities Map, etc.)
- _____ Text Amendment (policies, programs, etc.)
- _____ Other

Name of Applicant: Person(s) or Firm	
Address:	
Daytime Telephone:	
Email or Fax:	
Property Owner Name and Address: If different from applicant	
Description of Property, Parcel Number, or Street Address: If request is related to a particular property	
Summary of the Proposed Amendment Request: Please describe here (or on a separate sheet) your specific request for a Comprehensive Plan amendment. Provide any necessary maps or supporting data as needed, including conceptual development plans, if applicable.	
Present Zoning: If applicable	
Future Proposed Use: Attach additional pages and/or concept plan as appropriate.	

The Lake Geneva Plan Commission will consider the following criteria when making recommendations regarding amendments to the Comprehensive Plan. Please respond to the following questions:

If additional space is needed for your response, please attach additional sheets to this form.

1. How will the proposed amendment to the Comprehensive Plan benefit the public, City, and/or surrounding neighbors or neighborhoods?	
2. How does the request advance the goals, objectives and policies of the Comprehensive Plan?	
3. As it affects the amendment request, what circumstances have changed or what new information is now available since the 2011 adoption of the City's Comprehensive Plan, or in the case of a previously requested amendment, what circumstances have changed since the last amendment request?	
4. Is there any additional information that the City of Lake Geneva should consider in its evaluation of this request?	

The deadline for requests to amend the Comprehensive Plan is **Friday, June 30, 2017 at 4:00 p.m.**
 Requests shall be submitted to City Hall or via email tobzclerk@cityoflakegeneva.com.

 Signature of Applicant

_____, 2017
 Date