

**CITY OF LAKE GENEVA  
626 GENEVA STREET  
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING  
MONDAY, NOVEMBER 20, 2017 - 6:00 PM  
COUNCIL CHAMBERS, CITY HALL**

**Agenda**

1. Meeting called to order by Mayor Kupsik.
2. Roll Call.
3. Approve Minutes of the October 16<sup>th</sup> Joint City Council & Plan Commission Meeting and the October 16<sup>th</sup> Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Review and Recommendation of a CSM Lot Division filed by Paul Van Henkelum, Cardinal Engineering, on behalf of Mark Larkin, 500 Stone Ridge Drive, Lake Geneva, WI 53147, to divide a 6 acre parcel into 4 lots on the north side of Dodge Street, Tax Key No. ZYUP00053.
7. Review and Recommendation of a CSM Lot Combination filed by Paul Van Henkelum, Cardinal Engineering, on behalf of Chris Law, Geneva Lakes Christian Church, W2906 Willow Road, Lake Geneva, WI 53147, to combine 2 parcels at the SE corner of Bloomfield Road & Harmony Drive, Tax Key Nos. ZSF00232 and ZSF00231.
8. Review and Recommendation of a CSM Lot Combination filed by Paul Van Henkelum, Cardinal Engineering, on behalf of Golden Years, to combine 2 parcels on the SW corner of Bloomfield Road & Harmony Drive, Tax Key Nos. ZSF00074 & ZSF00085.
9. Review and Recommendation of an Extraterritorial Jurisdiction (ETJ) CSM Lot Division in the Town of Geneva, filed by Douglas Olson, Olson Land Surveying, LLC, on behalf of Millard Properties, LLC, W6362 Dunham School Road, Elkhorn, WI, to divide a parcel at W2970 Springfield Road, Tax Key No. JG 1400001.
10. Public Hearing and Recommendation for an amendment to an existing Conditional Use Permit (CUP) filed by Alan & Kathi Bosworth, 23 Windsor Drive, Elmhurst, IL, 60126 to add a landscape retaining wall at 1224 Main Street, Tax Key No. ZYUP 00094A.
11. A. Public Hearing and Recommendation of the General Development Plan (GDP) filed by Steve Bieda, Mau & Associates, LLP, 400 Security Blvd, Green Bay, WI 54313, on behalf of Himansu Dhyani/Northern Management, to construct (4) four (8) eight unit multi-family buildings at 1150 Wells Street, Tax Key No. ZYUP00142B.  
  
B. Public Hearing and Recommendation of the Precise Implementation Plan (PIP), filed by Steve Bieda, Mau & Associates, LLP, 400 Security Blvd, Green Bay, WI 54313, on behalf of Himansu Dhyani/Northern Management, to construct (4) four (8) eight unit multi-family buildings at 1150 Wells Street, Tax Key No. ZYUP00142B.

12. Public Hearing and Recommendation for a request to rezone the property currently zoned Planned Business Park to zoning classification of Planned Development, filed by Core Commercial Inc., for the property located at 753 Geneva Parkway to construct 2 Commercial structures, Tax Key Nos. ZGBC 0001A & ZLGBP 00002.
13. Adjournment

**QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT**

*Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate accommodations.*

*Posted 11/15/2017*

**JOINT CITY COUNCIL & PLAN COMMISSION MEETING  
MONDAY, OCTOBER 16, 2017 – 6:00 PM  
COUNCIL CHAMBERS, CITY HALL**

City Council Meeting called to order by Mayor Kupsik at 6:00 p.m.

Plan Commission Meeting called to order by Mayor Kupsik at 6:00 p.m.

**Roll Call of City Council.** Present: Mayor Kupsik, Alderman Elizabeth Chappell, Alderman Doug Skates, Alderman Bob Kordus, Alderman Cindy Flower, Alderman Shari Straube, Alderman John Halverson, Alderman Richard Hedlund, Alderman Ken Howell. Absent: Shari Straube. Also Present: City Administrator Oborn, City Attorney Draper, Assistant Follensbee.

**Roll Call of Plan Commission.** Present: Mayor Kupsik, Doug Skates, John Gibbs, Sarah Hill, Ted Horne, Ann Esarco, Tyler Frederick. Also Present: City Planner Slavney, City Attorney Draper, City Administrator Oborn. Building and Zoning Administrator Walling, Assistant Follensbee.

**Election of Joint Committee Chairperson.**

Kordus/Flower motion to nominate Mayor Kupsik as the joint committee chairperson. No other nominations. Motion carried 14-0.

**Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.**

Speaker 1: Terry O'Neil, 954 George Street, Lake Geneva, questioned why his request to change the Comprehensive Plan was not legal.

Speaker 2: Bill Huntress, 1015 Pleasant Street, Lake Geneva, stated the items on the agenda are too important to discuss in just one night.

**Acknowledgement of Correspondence.**

Correspondence received opposing the Hillmoor Property Comprehensive Plan Amendment:

James Good, 100A and 104F Evelyn Lane, Lake Geneva, WI

Don Ogden, 108 Evelyn Lane, Unit D, Lake Geneva, WI

Donald G Forbes, Lake Geneva, WI

Thomas J Anthony, 482 Country Club Drive, Lake Geneva, WI

Penni & Dave Jones 1321 Dodge Street, Lake Geneva, WI

Julie Whalen, 100G Evelyn Lane, Lake Geneva, WI

Greg Sipla, 118H Evelyn Lane, Lake Geneva, WI

Grace Hanny, 311 Oakwood Lane, Lake Geneva, WI

Trish Schaefer, 403 Center Street, Lake Geneva, WI

Ann Boch, Golfview Condominimums, Unit 110E, Lake Geneva, WI

Robert Boch, Golfview Condominimums, Unit 110E, Lake Geneva, WI

Jeri Bozovsky, 1800 LaSalle Street, Unit 5, Lake Geneva, WI

Glenn Cox, British Columbia, Canada

Peter and D. Patti Geissal, 1010 Bonnie Brae Lane, Lake Geneva

Charlene Klein, 817 Wisconsin Street, Lake Geneva, WI

Alice Ogden, 108 Evelyn Lane, Lake Geneva WI

Kathleen McFarland, 108 Evelyn Lane Unit C, Lake Geneva, WI

Walter & Bonnie Haydock, 110G Hankjay Drive, Lake Geneva, WI

Maureen Redmer, 1155 Lake Geneva Blvd, Lake Geneva, WI

Joyce Featherstone Huml, Lake Geneva, WI

Casey Schiche, Ridge Road, Lake Geneva, WI

Diane Emerson

Denise Ocker

Scott Griffin

Correspondence received opposing the Geneva Inn Comprehensive Plan Amendment:

John Strong, 846 Tarrant Drive, Fontana, WI  
Richard Malmin, N1991 S Lakeshore Drive, Lake Geneva, WI  
Penni & Dave Jones 1321 Dodge Street, Lake Geneva, WI  
Peter and D. Patti Geissal, 1010 Bonnie Brae Lane, Lake Geneva  
Charlene Klein, 817 Wisconsin Street, Lake Geneva  
Denise Ocker

Correspondence received opposing 905 W Main St Comprehensive Plan Amendment

Sarah Binor, 921 W. Main Street, Lake Geneva WI  
Mary Jaros, 927 W Main Street, Lake Geneva  
Dr. Edward Jaros & Mrs. Joan Jaros, 927 1/2 Main Street, Lake Geneva  
Joe and Carol Railton, 930 Geneva Street, Lake Geneva

Correspondence received opposing all map changes:

Trish Schaefer, 403 Center Street, Lake Geneva, WI, opposing all map changes.  
Sonette Tippens, N1524 Wildwood Road, Lake Geneva, WI, opposing any commercial zoning for the Geneva Lake Lakefront.  
Mark Pienkos, 703 S. Lake Shore Drive, Lake Geneva, WI, opposing proposed rezoning for expansion of commercial interests on Geneva Lake.  
Pete Peterson, 1601 Evergreen Lane, Lake Geneva, WI, opposing all map changes.

All correspondence is on file in the clerk's office and has been distributed to the City Council and Plan Commission.

An overview of the Comprehensive Plan Amendment process was presented by City Planner Slavney. Slavney stated the Comprehensive Plan is not an annexation or zoning map amendment.

- 9. A. Consultant and City Staff presents a summary of the proposed Amendment to the Comprehensive Plan for 905 West Main Street to change from the Neighborhood Mixed Use land use category to the Central Business land use category. Tax Key No. ZOP00243A.**  
Planner Slavney explained the proposed Amendment and stated that for years Cook Street has been the boundary for Central Business.
- B. Public Hearing regarding a proposed Amendment to the Comprehensive Plan for 905 West Main Street to change from the Neighborhood Mixed Use land use category to the Central Business land use category. Tax Key No. ZOP00243A.**  
Applicant Jeff & Beverly Leonard, 1504 Dodge Street, owners of Delaney Street Mercantile at 905 West Main Street, presented their request for change in future land use.  
Alderman Flower asked Planner Slavney about options to help the applicant meet their vision. Slavney stated the Planned Development process would allow the Plan Commission & City Council to advise the applicant on flexibilities of the Neighborhood Mixed Use category.
- C. Public Testimony**  
Speaker #1. Jim Strauss, N1517 Meadow Ridge Circle, Lake Geneva, Town of Linn, in favor of the proposed Comprehensive Plan Amendment.
- D. Close Public Hearing.**  
Hill/Kordus moved to close the public hearing. Motion carried 14 to 0.
- 10. A. Consultant and City Staff presents a summary of the proposed Amendment to the Comprehensive Plan for the former Hillmoor Golf Course:**
  - 1. North section to remain in the Private Recreation Facilities land use category;**
  - 2. Central section to change from the Private Recreation Facility land use category to the Planned Mixed Use land use category;**
  - 3. Southwest section to change from the Private Recreation Facility land use category to the Two-Family / Townhouse Residential land use category; and,**

**4. WI Hwy 50 frontage to remain in the Private Recreation Facilities land use category.**

**Tax Key Nos. ZYUP00001C, ZOP00001, ZYUP00131 and ZYUP00153.**

Planner Slavney explained the proposed Amendment.

Alderman Kordus asked Planner Slavney for the width of the green space along Hwy 50. Slavney stated it scaled around 100 feet.

**B. Public Hearing regarding a proposed Amendment to the Comprehensive Plan for the Former Hillmoor Golf Course:**

**1. North section to remain in the Private Recreation Facilities land use category;**

**2. Central section to change from the Private Recreation Facility land use category to the Planned Mixed Use land use category;**

**3. Southwest section to change from the Private Recreation Facility land use category to the Two-Family / Townhouse Residential land use category; and,**

**4. WI Hwy 50 frontage to remain in the Private Recreation Facilities land use category.**

**Tax Key Nos. ZYUP00001C, ZOP00001, ZYUP00131 and ZYUP00153.**

Applicants Paul Fitzpatrick, 3140 North Sheffield, Chicago, IL; Tom Kampkus, 11 East Partners - design and construction; Brad Gauss, and David Burroughs, Gensler - architect and planner, presented their request, recognizing Planner Slavney's suggestion to limit the use in the southeast portion of the property.

Alderman Kordus asked applicant about the width of green space along Hwy 50. Fitzpatrick stated it is 100 feet wide. Mayor Kupsik asked if the overlay zoning for entry ways into the city played a role in this amendment.

Slavney stated the overlay is an independent factor which would apply to this property but it would not affect this request. Alderman Flower asked about traffic patterns. Fitzpatrick stated the next step would analyze the traffic needs based on use of property. Flower also asked about traffic signals. Slavney said traffic needs would be determined after receiving the proposed details of the land use & traffic pattern. Flower referenced the Planned Mixed Use, and asked if big box stores would be allowed. Slavney said it is one potential. Flower asked about Recreation possibilities in the plan. Fitzpatrick said potentially a health club; the YMCA.

Alderman Flower excused herself at 6:47 pm.

**C. Public Testimony**

Speaker #1: Tom Anthony, 42 County Club Dr, owns a unit at Golfview Condominiums, President of Golfview Condominium Association, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #2: Rick Steinburg, 1032 Williams Street, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #3: RA Kasper, attorney representing Golfview Condominium Association, which opposes the Comprehensive Plan Amendment and voiced their concerns.

Speaker #4: Jim Strauss, N1517 Meadow Ridge Circle, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #5: Debbie Beagle, 116 Evelyn Lane, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #6: Karen Yancy, director, representing the Geneva Lake Conservancy, which opposes the Comprehensive Plan Amendment and voiced the Conservancy's concerns and solutions.

Speaker #7: James Smith, Linn resident representing the Geneva Lake Association, which opposes the Comprehensive Plan Amendment and voiced their concerns.

Speaker #8: Trish Schafer, 403 Center Street, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #9: Casey Schiche, Ridge Road, Lake Geneva, representing Care for Lake Geneva, which opposes the Comprehensive Plan Amendment and voiced their concerns.

Speaker #10: Stan Redmer, 1155 Lake Geneva Blvd, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #11: Antone DeCorre, New Zealand, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #12: Al Schwartz, 118 Evelyn Drive, Unit G, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #13: Pete Peterson, 1601 Evergreen Lane, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #14: Ernest Garygacks Jr, 3157 W Barry Drive, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #15: Ryan Salvik, business owner in Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #16: Rosemary Ross, 100 Evelyn Lane, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #17: Charlene Kline, 817 Wisconsin Street, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #18: David Frost, 1556 Orchard Lane, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #19: Pauline Bodine, 906 Badger Lane, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #20: Terry O'Neil, 954 George St, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #21: Marianna Hanchar, N1831 Birch, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #22: Sherry Ames, 603 Center Street, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #23: Maureen Marx, 834 Dodge St, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #24: Dredre Toner, Old Mill Creek, IL, a Landscape Architect, encouraged citizens, Plan Commission, and the City Council to work with the developer regarding this Comprehensive Plan Amendment.

Speaker #25: Mary Jo Fesenmaier, 1085 S Lake Shore Drive, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #26: Dick Melman, N1991 S Lake Shore Dr, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

#### **D. Close Public Hearing.**

Kordus/Hill moved to close the public hearing. Motion carried 13 to 0.

11. **A. Consultant and City Staff presents a summary of the proposed Amendment to the Comprehensive Plan for the Geneva Inn Parcels:**
  1. **Several Geneva Inn parcels west of S. Lakeshore Drive are designated for the Planned Business future Land use category and are proposed to remain in this category;**
  2. **The western one-third of the parcel east of South Lakeshore Drive is to change from the Agricultural & Rural land use category to the Planned Business land use category; and,**
  3. **Several western parcels (west of S. Lakeshore Drive) are to change from the Agricultural & Rural land use category to the Planned Business land use category, so that all of the Geneva Inn parcels west of S. Lakeshore Drive are designated as Planned Business land use category. Tax Key Nos. IL120000-5C, IL120000-5C2, IL120000-5D, IL120000-5E, IL120000-5F and IL120000-4.**

Planner Slavney explained the proposed Amendment.
- B. Public Hearing regarding a proposed Amendment to the Comprehensive Plan for the Geneva Inn Parcels:**
  1. **Several Geneva Inn parcels west of S. Lakeshore Drive are designated for the Planned Business future Land use category and are proposed to remain in this category;**
  2. **The western one-third of the parcel east of South Lakeshore Drive is to change from the Agricultural & Rural land use category to the Planned Business land use category; and,**
  3. **Several western parcels (west of S. Lakeshore Drive) are to change from the Agricultural & Rural land use category to the Planned Business land use category, so that all of the Geneva Inn parcels west of S. Lakeshore Drive are designated as Planned Business land use category. Tax Key Nos. IL120000-5C, IL120000-5C2, IL120000-5D, IL120000-5E, IL120000-5F and IL120000-4.**

Applicant Richard Torhorst, 500 Geneva Court, Lake Geneva, attorney representing Geneva Waterfront Inc & Big Foot Holdings LLC, requests a uniform classification for their properties. Commissioner Hill questioned the need for the request regarding the wetlands. Hill also shared her concern for Town of Linn. Planner Slavney stated it is common for a city to recommend land use beyond the city limits.

### C. Public Testimony

Speaker #1: Jim Strauss, N1517 Meadow Ridge Circle, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #2: Merilee Holst, a board of directors member for Geneva Lake Conservancy, which opposes the Comprehensive Plan Amendment and voiced the Conservancy's concerns.

Speaker #3: Pete Peterson, 1601 Evergreen Lane, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker# 4: Sonette Tippens N1524 Wildwood Road, Town of Linn, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #5: Jackie Getzen, 1550 Lakeview Drive, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #6: Tom Kinkaid, architect & land planner, owner of various homes around Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Speaker #7: Ted Peters, director of the Geneva Lake Environmental Agency, opposes the Comprehensive Plan Amendment and voiced the Agency's concerns.

Speaker: #8: Casey Shakey, Ridge Road, Lake Geneva, representing Care for Lake Geneva, which opposes the Comprehensive Plan Amendment and voiced their concerns.

Speaker #9: Denise Schnur, 701 Joshua Lane, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #10: Sally Edleman, 2312 W Main Road, Town of Linn, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #11: Don Vincent, representing for Grace Hanny, 311 Oakwood Lane, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced their concerns. Don Vincent, a member of Care for Lake Geneva, brought in petitions opposing this request.

Speaker #12: Dick Melman, N1991 S Lake Shore Dr, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced his concerns.

Alderman Straube arrived at 8:25pm.

### D. Close Public Hearing.

Kordus/Hill moved to close the public hearing. Motion carried 14 to 0.

## 12. A. **Consultant and City Staff presents a summary of the proposed Amendment to the Comprehensive Plan For 751 Geneva Parkway North plus adjacent remnant of Lot 2 to change from the Planned Industrial land use category to the Planned Business land use category. Tax Key Nos. ZGBC00001, ZGBC00001A, and ZGBC00002.**

Planner Slavney explained the proposed Amendment.

## B. **Public Hearing regarding a proposed Amendment to the Comprehensive Plan for 751 Geneva Parkway North plus adjacent remnant of Lot 2 to change from the Planned Industrial land use category to the Planned Business land use category. Tax Key Nos. ZGBC00001, ZGBC00001A, and ZGBC00002.**

Applicant Kim Pischke, Core Commercial, Appleton WI; Jennifer Kepple, attorney for Core Commercial, presented their request. Property owners were contacted and 75% of the owners signed off to release this parcel from the business park.

### C. Public Testimony

Speaker #1: Andy Dammeir, 908 Wells Street, Lake Geneva, executive director of the Lake Geneva Economic Development Corporation, in favor of the Comprehensive Plan Amendment and voiced potential concerns.

Speaker #2: Charlene Kline, 817 Wisconsin Street, Lake Geneva, opposes the Comprehensive Plan Amendment and voiced her concerns.

Speaker #3: Roger Wolff, 751 Geneva Parkway Blvd, Lake Geneva, owner of the property, in favor of the Comprehensive Plan Amendment.

**D. Close Public Hearing.**

Kordus/Hedlund moved to close the public hearing. Motion carried 14 to 0.

**Adjourn the City Council.**

Kordus/Hedlund motion to adjourn at 8:57p.m. Motion carried 14 to 0.

Plan Commission reconvened at 9:10 p.m.

**14. Discussion/Recommendation from Plan Commission regarding a proposed Amendment to the Comprehensive Plan for 905 West Main Street to change from the Neighborhood Mixed Use land use category to the Central Business land use category. Tax Key No. ZOP00243A.**

Planner Slavney echoed his thoughts of keeping the Neighborhood Mixed Use category for this property and making small scale changes through the Planned Development process. It would allow the Plan Commission & City Council to work with the applicant to craft unique regulations for a property. Changing to Planned Business Land Use would signal a full scale use of the property. Attorney Draper verified with Planner Slavney the process for the Comprehensive Plan. Draper stated the Comprehensive Plan process continues with the Plan Commission passing a resolution to certify to the City Council our recommendations. A resolution is adopted after the Plan Commission takes action.

Horne/ Gibbs motion to approve the change from the Neighborhood Mixed Use land use category to the Central Business land use category.

Roll Call: Kupsik, Gibbs, and Horne voting “yes” and Skates, Hill, Esarco, and Frederick voting “no.”

Motion failed 4 to 3.

**15. Discussion/Recommendation from Plan Commission regarding a proposed Amendment to the Comprehensive Plan for the Former Hillmoor Golf Course:**

- a. North section to remain in the Private Recreation Facilities land use category;
- b. Central section to change from the Private Recreation Facility land use category to the Planned Mixed Use land use category;
- c. Southwest section to change from the Private Recreation Facility land use category to the Two-Family /Townhouse Residential land use category; and,
- d. WI Hwy 50 frontage to remain in the Private Recreation Facilities land use category.  
**Tax Key Nos. ZYUP00001C, ZOP00001, ZYUP00131 and ZYUP00153.**

Commissioner Hill stated the former Hillmoor parcel is private property and addressed the wetlands portion of the property which is green space and cannot be developed. Hill recognized the applicant’s vision and willingness to work with the city and believes this project would be responsible development which will go through the Plan Commission. Hill approved of Planner Slavney’s recommendation to modify the southeastern portion of property to the Neighborhood Mixed Use land category. Fredericks discussed the Geneva Lake Conservancy ideas and Planner Slavney stated the Plan Commission would still control the zoning if the land use is specified private or public. City Administrator Oborn said the city continues to pursue grants for wetlands on this property. Alderman Skates recognized the history of the citizens wanting to partner with someone and discussed options for this development and how the developer wants to work with the city. Mayor Kupsik reiterated Planner Slavney’s modification to this proposed Amendment to the Comprehensive Plan, stating the Planned Mixed Use land use would be in the middle of the property and the southeastern portion would be Neighborhood Mixed Use land use.

Hill/Horne motion to recommend a resolution adopted by the Planning Commission to City Council, recommending an approval for parcels comprising the former Hillmoor Golf Course on the north side of Main Street, Tax Key Parcels ZYUP00001C, ZOP00001, ZYUP00131 and ZYUP00153 to include Planner Slavney's recommendations to retain the Private Recreation Facilities land use category in the northern portion of the site, mostly located in the environmental corridor, to retain the Private Recreation Facilities land use category along the immediate frontage of Hwy 50, to change the large central area from Private Recreation Facilities land use category to Planned Mixed Use land use category and to change the southwest area from Private Recreation Facilities land use category to Two Family Townhouse Residential and to include the southeastern central portion from Private Recreation Facilities land use category to Neighborhood Mixed Use land use category for all the reasons stated and discussed.

Roll Call: Kupsik, Skates, Hill, Horne, Frederick voting "yes" and Gibbs and Esarco voting "no." Motion carried 5 to 2.

**16. Discussion/Recommendation from Plan Commission regarding a proposed Amendment to the Comprehensive Plan for the Geneva Inn Parcels:**

- a. **Several Geneva Inn parcels west of S. Lakeshore Drive are designated for the Planned Business future land use category and are proposed to remain in this category;**
- b. **The western one-third of the parcel east of South Lakeshore Drive is to change from the Agricultural & Rural land use category to the Planned Business land use category; and,**
- c. **Several western parcels (west of S. Lakeshore Drive) are to change from the Agricultural & Rural land use category to the Planned Business land use category, so that all of the Geneva Inn parcels west of S. Lakeshore Drive are designated as Planned Business land use category.**  
**Tax Key Nos. IL120000-5C, IL120000-5C2, IL120000-5D, IL120000-5E, IL120000-5F and IL120000-4.**

The Plan Commission discussed what this proposed Amendment to the Comprehensive Plan would mean for the Town of Linn and the City of Lake Geneva in the future. Commissioner Frederick stated Geneva Lake needs to be protected since it is our biggest asset and resource.

Hill/Skates motion to deny the proposed Amendment to the Comprehensive Plan for Geneva Inn.

Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco, Frederick voting "yes" to deny. Motion carried 7 to 0.

**17. Discussion/Recommendation from Plan Commission regarding a proposed Amendment to the Comprehensive Plan for 751 Geneva Parkway North plus adjacent remnant of Lot 2 to change from the Planned Industrial land use category to the Planned Business land use category. Tax Key Nos. ZGBC00001, ZGBC00001A, and ZGBC00002.**

Planner Slavney stated the developer has the support of the property owner and the members of the business park and approves this request.

Kupsik/Horne motion to adopt a resolution from the Plan Commission to the City Council to approve the proposed Amendment to the Comprehensive Plan for 751 Geneva Parkway North plus adjacent remnant of Lot 2 to change from the Planned Industrial land use category to the Planned Business land use category for Tax Key Nos. ZGBC00001, ZGBC00001A, and ZGBC00002.

Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco, Frederick voting "yes." Motion carried 7 to 0.

**Adjournment of Plan Commission.** Hill/Skates motion to adjourn at 10:05 p.m. Motion carried 7 to 0.

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/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

**THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION**

**PLAN COMMISSION MEETING  
MONDAY, OCTOBER 16, 2017 – 10:00 PM  
COUNCIL CHAMBERS, CITY HALL**

Mayor Kupsik called the meeting to order at 10:08 p.m.

**Roll Call.** Present: Mayor Kupsik, Alderman Doug Skates, John Gibbs, Sarah Hill, Ted Horne, Ann Esarco, Tyler Frederick. Also Present: City Planner Slavney, City Attorney Draper, City Administrator Oborn, Building and Zoning Administrator Walling, Building & Zoning Administrative Assistant Follensbee.

**Approve the Minutes of September 18, 2017 Plan Commission meeting as distributed.**

Horne/Gibbs motion to approve. Motion carried 7 to 0.

**Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will to be limited to 5 minutes.**

**Acknowledgement of Correspondence. None.**

**Downtown Design Review**

**Application by Elizabeth Chappell, 513 Broad Street, Lake Geneva, WI 53147, to add a sign and alter the facade at 511 Broad Street, Americuts, Tax Key No. ZOP00029.**

Elizabeth Chappell, 513 Broad Street, Lake Geneva, presented her request to add a new sign with a new name and update the façade at 511 Broad Street. Chappell stated with new name change, their business license will read Americuts doing business as Organi-Cuts.

Skates/Kupsik motion to approve and include any and all staff recommendations.

Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco, Frederick voting “yes.” Motion carried 7 to 0.

**Public Hearing and Recommendation for a CSM Lot Division Review filed by Richard Torhorst, PO Box 1300, Lake Geneva, WI 53147, on behalf of P & T Krueger Road LLC, for Tax Key Nos. JHIC00001, JHIC00002, JHIC00003, JHIC00004, JHIC00005, JHIC00006, JHIC00007 and JHIC00008.**

Richard Torhorst, representing P & T Krueger Road LLC, presented the Extraterritorial Jurisdiction (ETJ) request to vacate the existing 8 condominium lots and create 3 new lots.

Hill/Kupsik motion to approve the ETJ CSM.

Roll Call: Kupsik, Skates, Gibbs, Hill, Horne, Esarco, Frederick voting “yes.” Motion carried 7 to 0.

**Adjournment.** Hill/Skates motion to adjourn at 10:15pm. Motion carried 7 to 0.

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/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

**THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION**

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: November 20, 2017

Agenda Item 6

Applicant:

Mark Larkin  
500 Stone Ridge Dr.  
Lake Geneva, WI 53147

Request:

Certified Survey Map (CSM) to divide parcel of land located at ZYUP 00053 on Dodge Street

Description:

This request is to approve a Certified Survey Map (CSM) to divide approximately 6 acres into four (4) buildable single family lots. This property is currently zoned Single-family Residential – 4 (SR-4) and will remain SR-4 zoning upon the approved division.

The four new parcels sizes included in this CSM request are:

- Lot 1 40,860 square foot .94 acres
- Lot 2 40,867 square foot .94 acres
- Lot 3 40,816 square foot .94 acres
- Lot 4 123,447 square foot 2.83 acres

The result of this CSM will be four (4) new single family parcels that will be able to accommodate single family home construction. The proposed parcel complies with the lot requirements of the City, and with all of the minimum standards of the Single-family Residential -4 (SR-4) zoning.

Project Details from CSM Submittal dated 8-28, 2017:

The proposed CSM drawing is provided on one page. Sheet 1 of 3 depicts the proposed parcels after the lots creation. It depicts the four parcels as proposed.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Certified Survey Map (CSM):

As part of the consideration of the requested CSM, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CSM.

Staff Recommendation on the proposed Certified Survey Map (CSM):

1. Staff recommends that the Plan Commission recommend *approval* of the CSM as submitted, subject to approval of the proposed zoning map amendment for both parcels to remain zoned as Single-family Residential-4 (RS-4); and subject to compliance with detailed technical review comments provided by the City's consulting engineer.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP or

SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Mark Larkin

500 Stone Ridge Dr.

Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: ( 262 ) 853-5576

NAME AND ADDRESS OF APPLICANT:

Same as owner.

TELEPHONE NUMBER OF APPLICANT: ( )

NAME AND ADDRESS OF SURVEYOR:

Paul H. Van Henkelum

Cardinal Engineering LLC

201 Broad Street Suite B Lake Geneva, WI 53147

TELEPHONE NUMBER OF SURVEYOR: ( 262 ) 757-8776

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Division of land for single family home construction and resale.

Currently zoned SR-4 with minimum lot sizes per code of 9,000 square feet. Minimum lot size proposed of 40,816.

SUBMITTAL CHECKLIST

- √ LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.
  
- √ SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.
  
- √ CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.
  
- √ PROVIDE 5 FULL SETS AND 20 11" X 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

\_\_\_\_\_  
DATE

\_\_\_\_\_  
SIGNATURE OF APPLICANT

**AGREEMENT FOR SERVICES**

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Paul H. Van Henkelum Cardinal Engineering LLC, as applicant/petitioner for:

Name: Cardinal Engineering LLC

Address: 201 Broad Street Suite B, Lake Geneva, WI 53147

Phone: (262) 757-8776

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 17 day of October, 2017.

Paul H. Van Henkelum, PLS

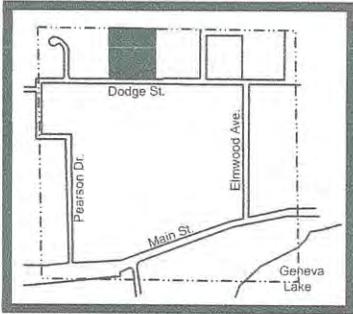
Printed name of Applicant/Petitioner

\_\_\_\_\_  
Signature of Applicant/Petitioner

**CERTIFIED SURVEY MAP NO.** \_\_\_\_\_

Part of the NW 1/4 of the NE 1/4 of Section 35, Town 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin.

**LOCATION MAP**



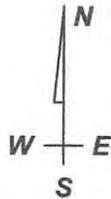
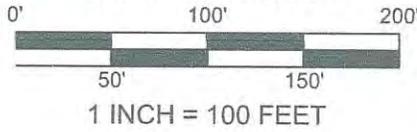
NE 1/4 Sec. 35-2-17

SCALE: 1" = 2,000'

**GENERAL NOTES:**

1. SOIL DELINEATION AND CONTOURS TAKEN FROM WALWORTH COUNTY G.I.S. MAPPING.
2. THERE IS NO FLOODPLAIN ON THIS PROPERTY PER FEMA MAP 55127C0125D.
3. THESE LOTS ARE SERVED BY SANITARY SEWER PROVIDED BY THE CITY OF LAKE GENEVA.

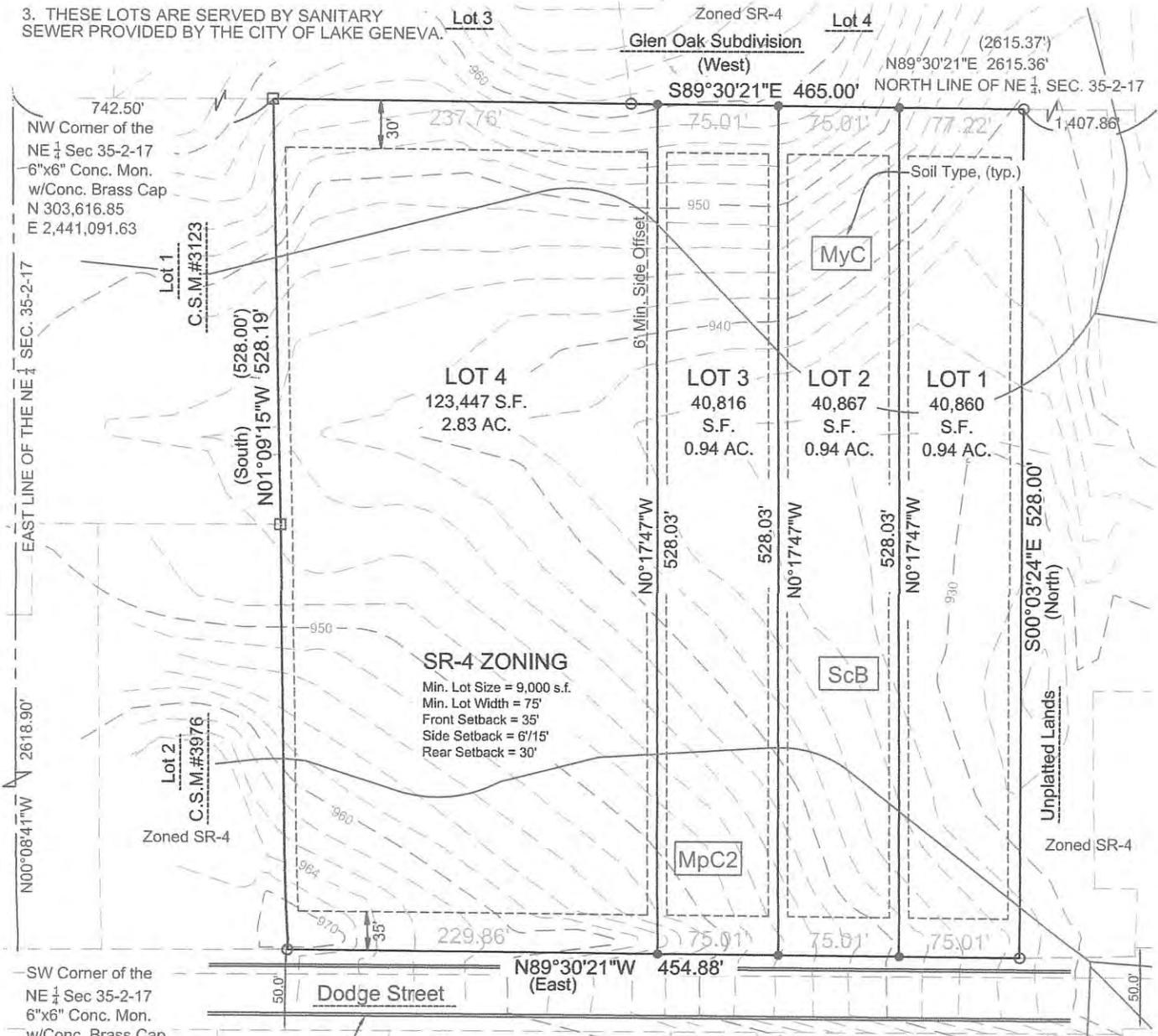
**GRAPHIC SCALE**



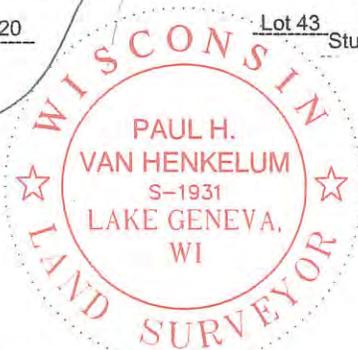
**Owners/Subdividers:**  
 Mark Larkin  
 500 Stone Ridge Dr.  
 Lake Geneva, WI 53147

**Surveyor:**  
 Paul H. Van Henkelum  
 201 Broad Street, Ste B  
 Lake Geneva, WI 53147  
 414-406-3248

All Bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone. The North line of the Northeast 1/4 of Section 35 bears S89°30'21"E. (N.A.D. 1927).



SW Corner of the NE 1/4 Sec 35-2-17  
 6"x6" Conc. Mon.  
 w/Conc. Brass Cap  
 N 303,616.85  
 E 2,441,091.63



**LEGEND**

- 1" Iron Pipe - Found
- Set 1" O.D. x 18" Iron Bar w/cap (1.13#/l.f. - min.)
- 3/4" Iron Rod - Found
- (xxx) "Recorded As" data
- [FsB] Soil Types
- - - Existing Contours

REV.  
 DATE 8-28-2017  
 SHEET 1 OF 3  
 JOB#17-0013

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Part of the NW 1/4 of the NE 1/4 of Section 35, Town 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin.

**SURVEYOR'S CERTIFICATE:**

I, PAUL H. VAN HENKELUM, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING LAND HEREIN DESCRIBED:

Part of the NW 1/4 of the NE 1/4 of Section 35, Town 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin more completely described as follows: Commencing at the NW corner of said NE 1/4; thence with the North line of said NE 1/4, S89°30'21"E, 767.41' to the NW corner of Certified Survey Map No. 3123, said point also being the point of beginning; thence continuing with said North line, S89°30'21"E, 465.00' to a point; thence leaving said North line, S00°03'24"E, 528.00' to a point on the Northerly line of Dodge Street; thence with said Northerly line, S89°30'21"W, 465.00' to a point, said point being the SW corner of Certified Survey Map No. 3967; thence N00°03'24"W, 528.00' to the point of beginning. Said parcel contains 5.64 acres more or less.

I FURTHER CERTIFY THAT I HAVE MADE SAID MAP BY THE DIRECTION OF MARK LARKIN, OWNER OF SAID LAND. THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE LAND DIVISION ORDINANCES OF THE CITY OF LAKE GENEVA AND WALWORTH COUNTY IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 28h DAY OF AUGUST, 2017.

\_\_\_\_\_  
PAUL H. VAN HENKELUM,  
PROFESSIONAL LAND SURVEYOR #1931



**OWNER'S CERTIFICATE**

AS OWNER, MARK LARKIN HEREBY CERTIFIES THAT HE HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED HEREON.

AS OWNER, I FURTHER CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

- 1.) THE CITY OF LAKE GENEVA

WITNESS THE HAND AND SEAL OF SAID OWNER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.

\_\_\_\_\_  
MARK LARKIN,  
OWNER

STATE OF \_\_\_\_\_ ) ss  
COUNTY OF \_\_\_\_\_ )

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017

THE ABOVE NAMED MARK LARKIN, OWNER, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Part of the NW  $\frac{1}{4}$  of the NE  $\frac{1}{4}$  of Section 35, Town 2 North, Range 17 East, City of Lake Geneva,  
Walworth County, Wisconsin.

**CERTIFICATE OF PLAN COMMISSION APPROVAL:**

APPROVED BY THE PLAN COMMISSION OF THE CITY OF LAKE GENEVA  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.

\_\_\_\_\_  
ALAN KUPSİK,  
CHAIRMAN

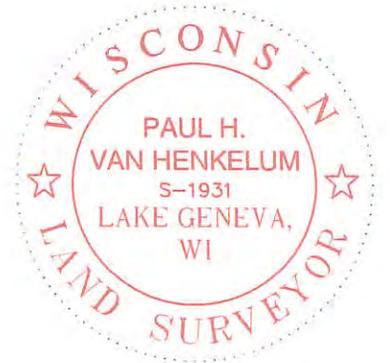
\_\_\_\_\_  
SABRINA WASWO,  
SECRETARY

**CERTIFICATE OF CITY COUNCIL RESOLUTION:**

RESOLVED, THAT THIS CERTIFIED SURVEY MAP, IN THE CITY OF LAKE GENEVA, WISCONSIN, OWNER BE AND THE SAME,  
IS HEREBY APPROVED BY THE CITY COUNCIL ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.

\_\_\_\_\_  
BOB KORDUS,  
CHAIRMAN

\_\_\_\_\_  
SABRINA WASWO,  
CITY CLERK



STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: November 20, 2017

Agenda Item: 7

Applicant:  
Geneva Lakes Christian Church  
W2906 Willow Rd.  
Lake Geneva, WI 53147

Request: Geneva Lakes Christian Church  
Certified Survey Map (CSM) to combine two  
adjacent parcels of land located at 610  
Harmony Dr. Parcels ZSF00231 & ZSF00232  
Lake Geneva, WI 53147

Description:

This request is to approve a Certified Survey Map (CSM) to combine two adjacent lots. These lots are both proposed for the Planned Development as part of the proposed development for the Geneva Lakes Christian Church.

The two parcels included in this CSM request are:

- Parcel ZSF 00231
- Parcel ZSF 00232
- 

The result of this CSM will be a single parcel of 310,038 S.F. (7.12 acre) that will be able to accommodate the proposed future site of the Geneva Lakes Christian Church. The proposed parcel complies with the lot requirements of the City, and with all of the minimum standards.

Project Details from CSM Submittal dated 9-5-2017:

The proposed CSM drawing is provided on Sheet 1 of 4 Job # 17-0014 depicts the proposed parcel after the lot combination.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Certified Survey Map (CSM):

As part of the consideration of the requested CSM, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CSM.

Staff Recommendation on the proposed Certified Survey Map (CSM):

1. Staff recommends that the Plan Commission recommend *approval* of the CSM as submitted, subject to approval of the proposed zoning map amendment for both parcels, and subject to compliance with detailed technical review comments provided by the City's consulting engineer.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP or  SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Geneva Lakes Christian Church

W2906 Willow Road

Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: ( 262 ) 248-6411

NAME AND ADDRESS OF APPLICANT:

Same as owner.

TELEPHONE NUMBER OF APPLICANT: ( )

NAME AND ADDRESS OF SURVEYOR:

Paul H. Van Henkelum

Cardinal Engineering LLC

201 Broad Street Suite B Lake Geneva, WI 53147

TELEPHONE NUMBER OF SURVEYOR: ( 262 ) 757-8776

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Previously recorded Subdivision Plat, combining two lots into one parcel as shown on CSM instrument.

SUBMITTAL CHECKLIST

- √   LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.
  
- √   SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.
  
- √   CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.
  
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\_\_\_\_\_  
DATE

\_\_\_\_\_  
SIGNATURE OF APPLICANT

**AGREEMENT FOR SERVICES**

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Paul H. Van Henkelum Cardinal Engineering LLC, as applicant/petitioner for:

Name: Cardinal Engineering LLC

Address: 201 Broad Street Suite B Lake Geneva, WI 53147

Phone: (262) 757-8776

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Dated this 17 day of October, 2017.

Paul H. Van Henkelum

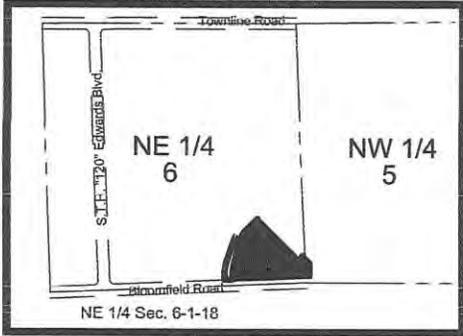
Printed name of Applicant/Petitioner

\_\_\_\_\_  
Signature of Applicant/Petitioner

**CERTIFIED SURVEY MAP NO.** \_\_\_\_\_

Lots 231 and 232 of Southland Farms, A subdivision as recorded in Cabinet D, Slide 139, being part of the NE 1/4 of Section 6, and the NW 1/4 of Section 5, Town 1 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin.

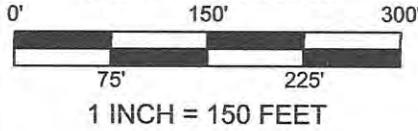
**LOCATION MAP**



SCALE: 1" = 2,000'

- NOTE:**
1. SEE SHEET 2 FOR GENERAL NOTES.
  2. SEE SHEET 4 FOR UTILITY EASEMENT PROVISIONS AND CURVE TABLE

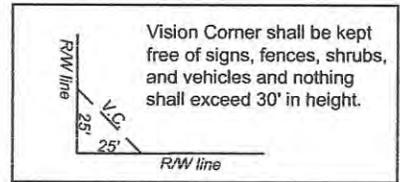
**GRAPHIC SCALE**



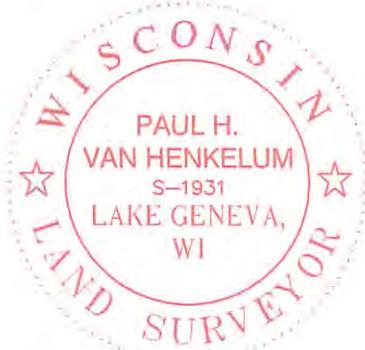
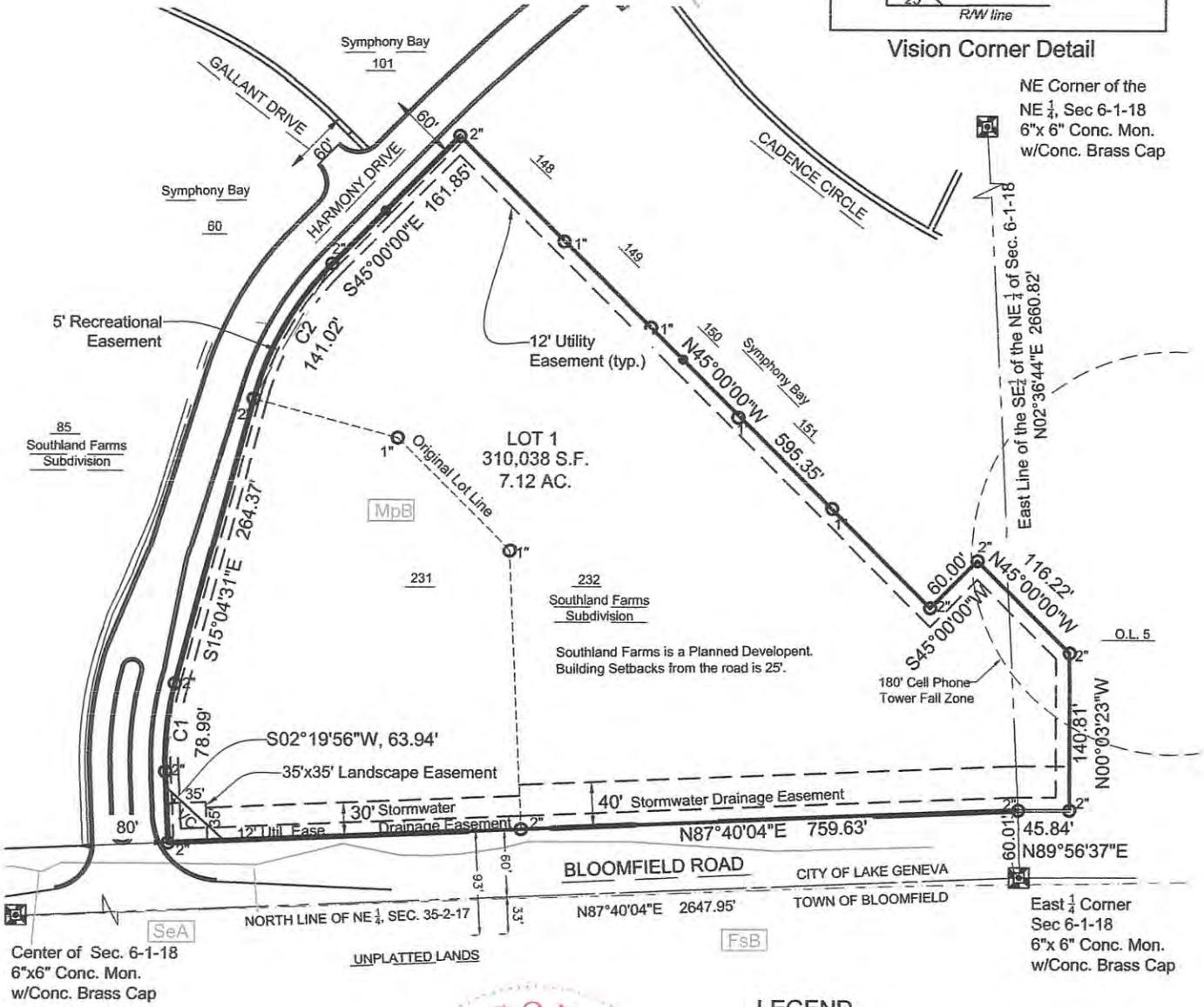
**Owners/Subdividers:**  
 Lake Geneva Christian Church  
 P. O. Box 307  
 Lake Geneva, WI 53147

**Surveyor:**  
 Paul H. Van Henkelum  
 201 Broad Street, Ste B  
 Lake Geneva, WI 53147  
 414-406-3248

All Bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone. The South line of the Northeast 1/4 of Section 6-1-18 bears S87°40'04"W. (N.A.D. 1927).



**Vision Corner Detail**



**LEGEND**

- 3/4" Iron Rod - Found
- Iron Pipe Found as stated
- FsB Soil Types

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

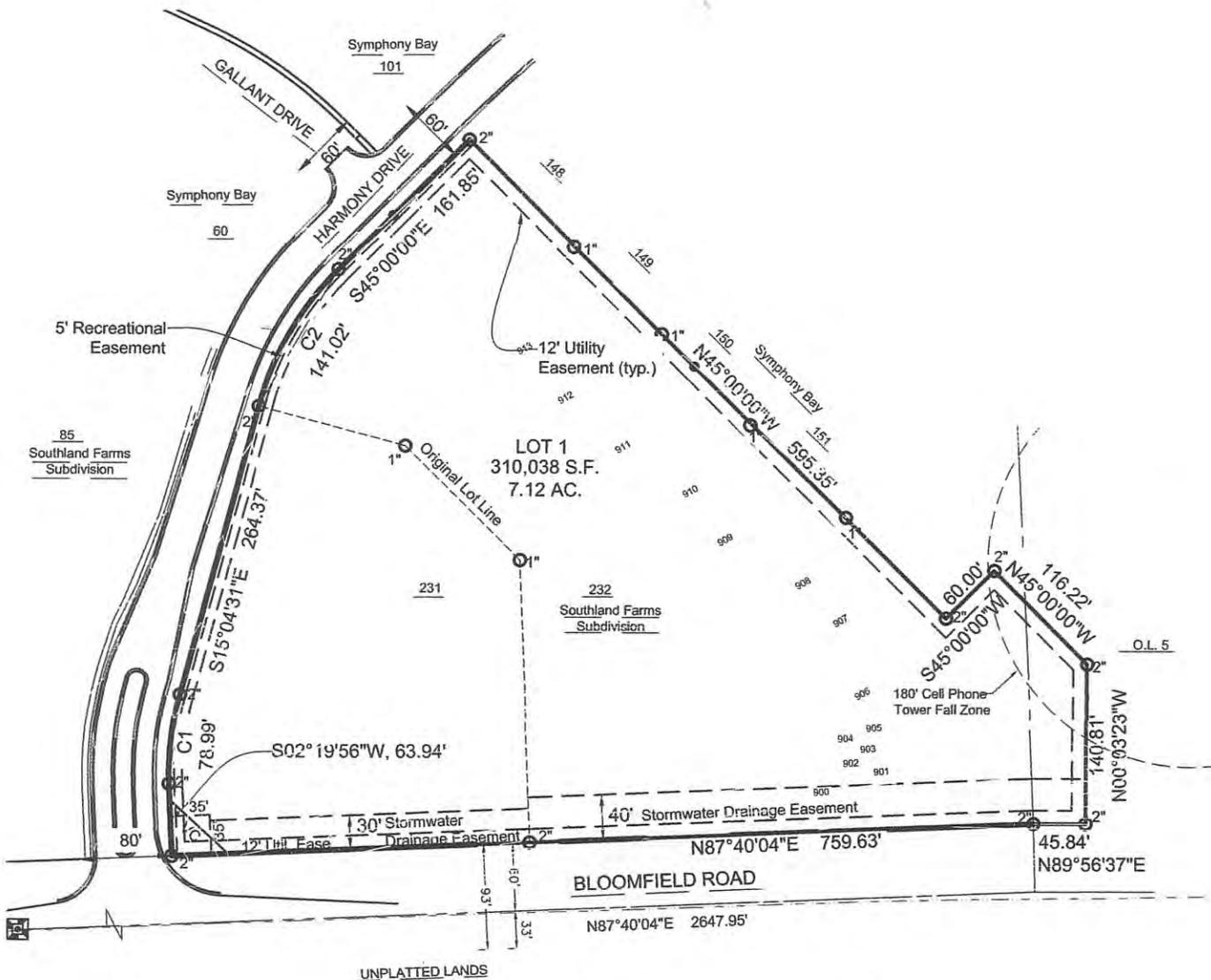
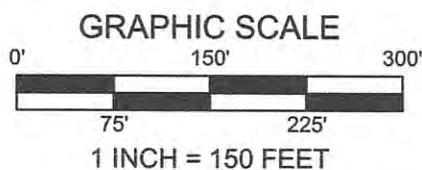
Lots 231 and 232 of Southland Farms, A subdivision as recorded in Cabinet D, Slide 139, being part of the NE 1/4 of Section 6, and the NW 1/4 of Section 5, Town 1 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin.

**GENERAL NOTES:**

1. SOIL DELINEATION TAKEN FROM U.S.D.A. NRCS SOIL SURVEY.

2. THERE IS NO FLOODPLAIN ON THIS PROPERTY PER FEMA MAP 55127C0333D AND 55127C0334D, EFFECTIVE DATE OCTOBER 2, 2009.

3. THESE LOTS ARE SERVED BY THE CITY OF LAKE GENEVA FOR SANITARY SEWER AND WATER SUPPLY.



**LEGEND**

- 3/4" Iron Rod - Found
- Iron Pipe Found as stated
- Existing Contours

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Lots 231 and 232 of Southland Farms, A subdivision as recorded in Cabinet D, Slide 139, being part of the NE 1/4 of Section 6, and the NW 1/4 of Section 5, Town 1 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin.

**SURVEYOR'S CERTIFICATE:**

I, PAUL H. VAN HENKELUM, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, COMBINED AND MAPPED THE FOLLOWING LAND HEREIN DESCRIBED:

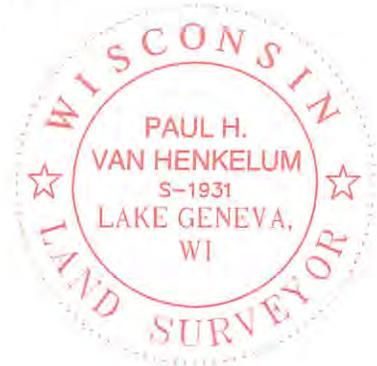
Lots 231 and 232 of Southland Farms, A subdivision as recorded in Cabinet D, Slide 139, being part of the NE 1/4 of Section 6 and the NW 1/4 of Section 5, Town 1 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin. Said parcel contains 7.12 acres more or less.

I FURTHER CERTIFY THAT I HAVE MADE SAID MAP BY THE DIRECTION OF LAKE GENEVA CHRISTIAN CHURCH, OWNER OF SAID LAND. THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE LAND DIVISION ORDINANCES OF THE CITY OF LAKE GENEVA AND WALWORTH COUNTY IN SURVEYING, COMBINING AND MAPPING THE SAME.

DATED THIS 5h DAY OF SEPTEMBER, 2017.

\_\_\_\_\_  
PAUL H. VAN HENKELUM,  
PROFESSIONAL LAND SURVEYOR #1931



**OWNER'S CERTIFICATE**

AS OWNER, LAKE GENEVA CHRISTIAN CHURCH, HEREBY CERTIFIES THAT HE HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, COMBINED, AND MAPPED AS REPRESENTED HEREON.

AS OWNER, I FURTHER CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

- 1.) THE CITY OF LAKE GENEVA

WITNESS THE HAND AND SEAL OF SAID OWNER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.

\_\_\_\_\_, REPRESENTATIVE  
LAKE GENEVA CHRISTIAN CHURCH,  
OWNER

**STATE OF \_\_\_\_\_ ) ss**  
**COUNTY OF \_\_\_\_\_ )**

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017

THE ABOVE NAMED \_\_\_\_\_, REPRESENTING LAKE GENEVA CHRISTIAN CHURCH, OWNER, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Lots 231 and 232 of Southland Farms, A subdivision as recorded in Cabinet D, Slide 139, being part of the NE 1/4 of Section 6, and the NW 1/4 of Section 5, Town 1 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin.

**CERTIFICATE OF PLAN COMMISSION APPROVAL:**

APPROVED BY THE PLAN COMMISSION OF THE CITY OF LAKE GENEVA  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.

\_\_\_\_\_  
ALAN KUPSİK,  
CHAIRMAN

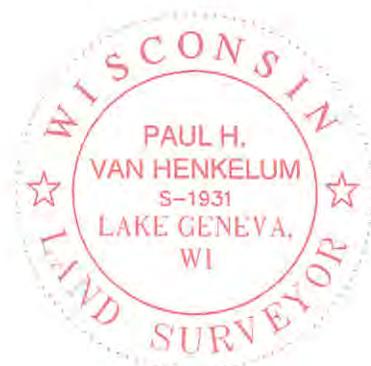
\_\_\_\_\_  
SABRINA WASWO,  
SECRETARY

**CERTIFICATE OF CITY COUNCIL RESOLUTION:**

RESOLVED, THAT THIS CERTIFIED SURVEY MAP, IN THE CITY OF LAKE GENEVA, WISCONSIN, OWNER BE AND THE SAME,  
IS HEREBY APPROVED BY THE CITY COUNCIL ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.

\_\_\_\_\_  
BOB KORDUS,  
CHAIRMAN

\_\_\_\_\_  
SABRINA WASWO,  
CITY CLERK



**CURVE TABLE**

NO.	ARC	RADIUS	DELTA	CHD. BRG.	DISTANCE	BRG. IN	BRG. OUT
C1	78.99'	260.00'	17°24'27"	S06°22'18"W	78.69'	S15°04'31"W	S02°19'56"E
C2	141.02'	270.00'	29°55'29"	S30°12'16"W	139.42'	S45°00'00"W	S15°04'31"W

**UTILITY EASEMENT PROVISIONS:**

An easement for electric and communication has been granted by GY 11 LLC, Grantor, to

WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION doing business as WE ENERGIES, Grantee

ALLIANT ENERGY, Grantee

CITY OF LAKE GENEVA UTILITY COMMISSION, Grantee

WISCONSIN BELL INC. d/b/a AT&T WISCONSIN, A WISCONSIN CORPORATION, Grantee, and TIME WARNER ENTERTAINMENT COMPANY, L.P., Grantor

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in conjunction with overhead and underground transmission and distribution of electricity and electrical energy, gas, telephone, and cable TV facilities for such purposes as the same is now or may hereinafter be used, all in, over, under, across, along and upon the property shown within those areas on this plat designated as "Utility Easement" and the property designated on this plat for streets, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property of all such purposes. the Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electrical facilities or communication facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantee's facilities or in, upon, or over the property within the lines marked "Utility Easement" without prior written consent by the Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four (4) inches without written consent of Grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: November 20, 2017

Agenda Item <u>8</u>
----------------------

Applicant:  
Rich Austin  
875 Townline Rd Unit 3  
Lake Geneva, WI 53147

Request: Golden Years  
Certified Survey Map (CSM) to combine two adjacent parcels of land located at 611 Harmony Dr. Parcels ZSF00074 & ZSF00085  
Lake Geneva, WI 53147

Description:

This request is to approve a Certified Survey Map (CSM) to combine two adjacent lots. These lots are both proposed for the Planned Development as part of the proposed development for the Golden Years development.

The two parcels included in this CSM request are:

- Parcel ZSF 00074
- Parcel ZSF 00085
- 

The result of this CSM will be a single parcel of 500,828 S.F. (11.50 acre) that will be able to accommodate the proposed site of the Golden Years. The proposed parcel complies with the lot requirements of the City, and with all of the minimum standards.

Project Details from CSM Submittal dated 9-5-2017:

The proposed CSM drawing is provided on Sheet 1 of 4 job # 17-0015 depicts the proposed parcel after the lot combination.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Certified Survey Map (CSM):

As part of the consideration of the requested CSM, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CSM.

Staff Recommendation on the proposed Certified Survey Map (CSM):

1. Staff recommends that the Plan Commission recommend *approval* of the CSM as submitted, subject to approval of the proposed zoning map amendment for both parcels, and subject to compliance with detailed technical review comments provided by the City's consulting engineer.

City of Lake Geneva

**APPLICATION FOR LAND DIVISION REVIEW**

CERTIFIED SURVEY MAP or

SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Rich Austin  
875 Townline Road, Unit 3  
Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER: ( 262 ) 275-6103

NAME AND ADDRESS OF APPLICANT:

Same as owner.  
\_\_\_\_\_  
\_\_\_\_\_

TELEPHONE NUMBER OF APPLICANT: ( )

NAME AND ADDRESS OF SURVEYOR:

Paul H. Van Henkelum  
Cardinal Engineering LLC  
201 Broad Street Suite B Lake Geneva, WI 53147

TELEPHONE NUMBER OF SURVEYOR: ( 262 ) 757-8776

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Previously recorded Subdivision Plat, combining two lots into one  
parcel as shown on CSM instrument.  
\_\_\_\_\_  
\_\_\_\_\_

SUBMITTAL CHECKLIST

- √   LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.
  
- √   SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.
  
- √   CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.
  
- √   PROVIDE 5 FULL SETS AND 20 11" X 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

\_\_\_\_\_  
DATE

\_\_\_\_\_  
SIGNATURE OF APPLICANT

## AGREEMENT FOR SERVICES

REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

Paul H. Van Henkelum Cardinal Engineering LLC, as applicant/petitioner for:

Name: Cardinal Engineering LLC

Address: 201 Broad Street Suite B Lake Geneva, WI 53147

Phone: (262) 757-8776

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 17 day of October, 2017.

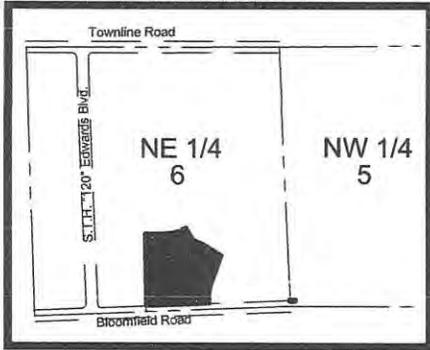
Paul H. Van Henkelum  
Printed name of Applicant/Petitioner

\_\_\_\_\_  
Signature of Applicant/Petitioner

**CERTIFIED SURVEY MAP NO.** \_\_\_\_\_

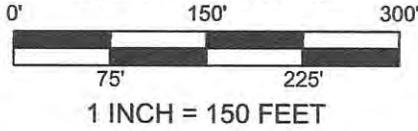
Lots 74 and 85 of Southland Farms, A subdivision as recorded in Cabinet D, Slide 139 in the Walworth County Registry, being part of the NE 1/4 of Section 6, and the NW 1/4 of Section 5, Town 1 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin.

**LOCATION MAP**



NE 1/4 Sec. 6-1-18  
SCALE: 1" = 2,000'

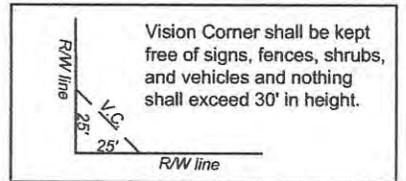
**GRAPHIC SCALE**



**Owners/Subdividers:**  
GY 11 LLC  
875 Townline Road, Unit 3  
Lake Geneva, WI 53147

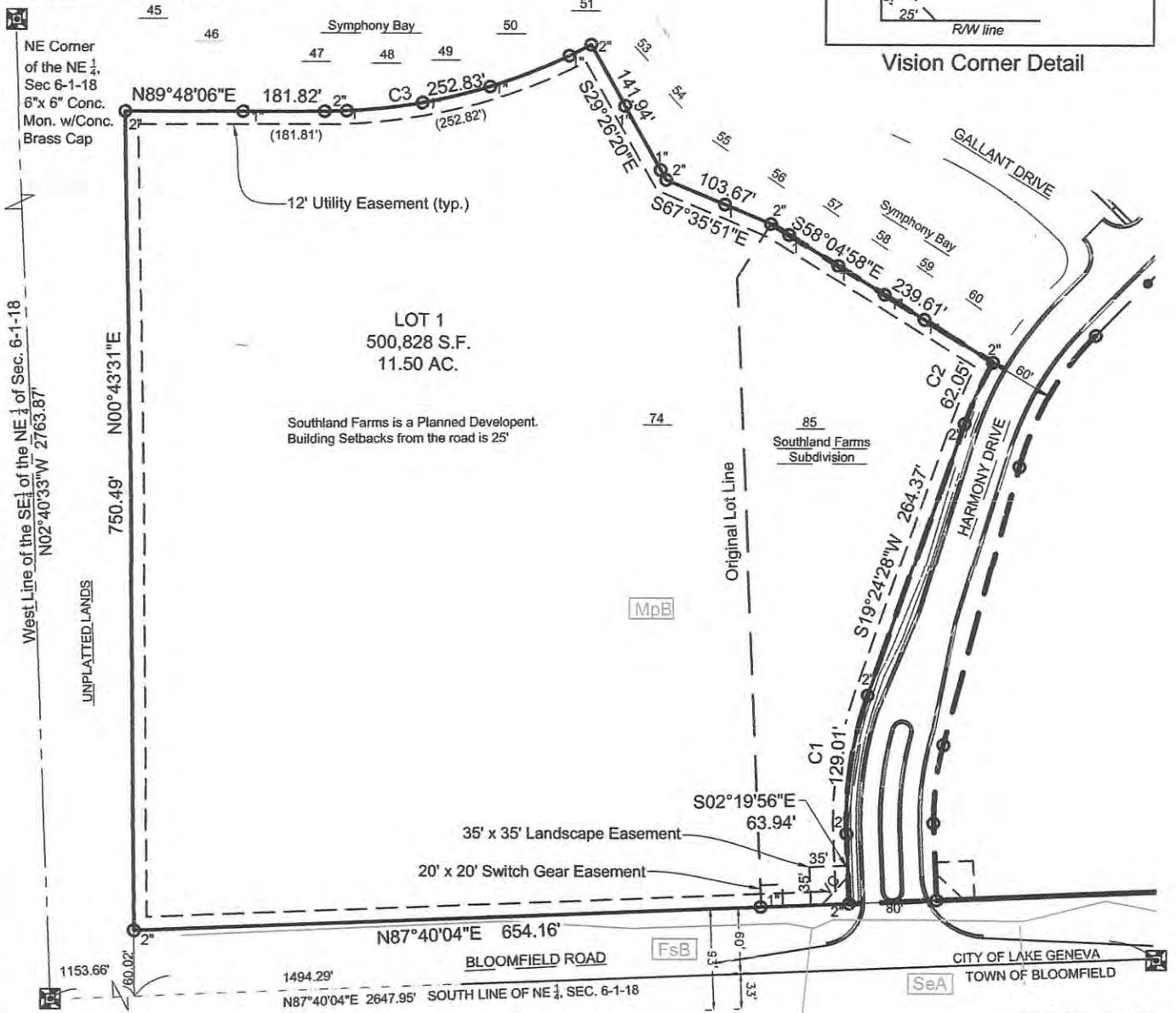
**Surveyor:**  
Paul H. Van Henkelum  
201 Broad Street, Ste B  
Lake Geneva, WI 53147  
414-406-3248

All Bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone. The South line of the Northeast 1/4 of Section 5 bears S87°40'04"W. (N.A.D. 1927).



**Vision Corner Detail**

- NOTES:**  
1. SEE SHEET 2 FOR GENERAL NOTES.  
2. SEE SHEET 4 FOR UTILITY EASEMENT PROVISIONS AND CURVE TABLE.

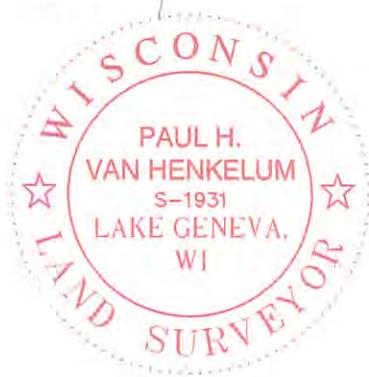


Center of the NE 1/4 Sec 6-1-18  
6"x6" Conc. Mon.  
w/Conc. Brass Cap

E 1/4 Corner of the NE 1/4 Sec 6-1-18  
6"x6" Conc. Mon.  
w/Conc. Brass Cap

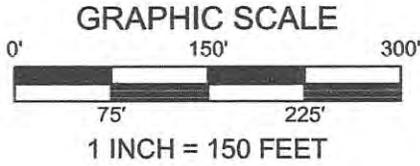
**LEGEND**

- 3/4" Iron Rod - Found
- 1" or 2" Iron Pipe Found as stated
- (xxx) "Recorded As" data
- FsB Soil Types



**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Lots 74 and 85 of Southland Farms, A subdivision as recorded in Cabinet D, Slide 139 in the Walworth County Registry, being part of the NE 1/4 of Section 6, and the NW 1/4 of Section 5, Town 1 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin.

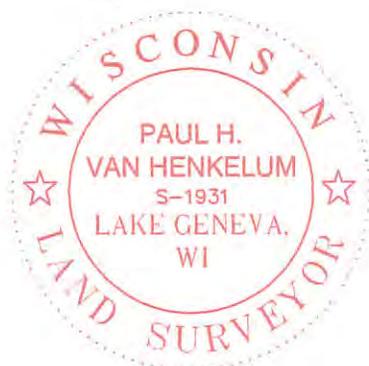
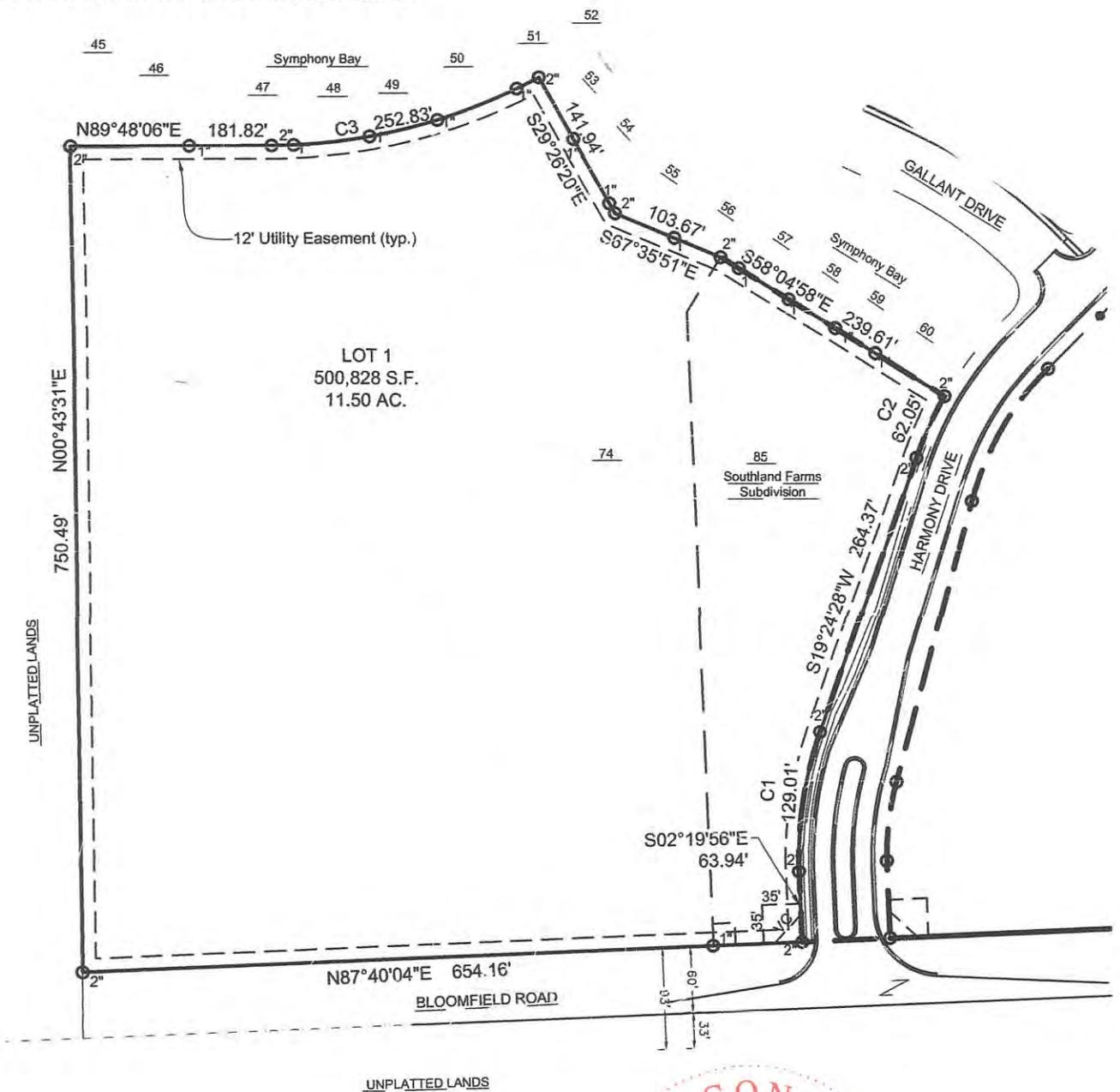


**LEGEND**

- 3/8" Iron Rod - Found
- Iron Pipe Found as stated
- Existing Contours

**GENERAL NOTES:**

1. SOIL DELINEATION TAKEN FROM U.S.D.A. NRCS SOIL SURVEY.
2. CONTOURS TAKEN FROM WALWORTH COUNTY G.I.S. MAPPING (MODIFIED).
3. THERE IS NO FLOODPLAIN ON THIS PROPERTY PER FEMA MAP 55127C0133D AND 55127C0134D, EFFECTIVE DATE OCTOBER 2, 2009.
4. THE CITY OF LAKE GENEVA IS PROVIDING THESE LOTS WITH SANITARY SEWER AND WATER MAIN SERVICES.



REV.  
DATE 9-5-2017  
SHEET 2 OF 4  
JOB#17-0015

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Lots 74 and 85 of Southland Farms, A subdivision as recorded in Cabinet D, Slide 139 in the Walworth County Registry, being part of the NE 1/4 of Section 6, and the NW 1/4 of Section 5, Town 1 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin.

**SURVEYOR'S CERTIFICATE:**

I, PAUL H. VAN HENKELUM, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, COMBINED AND MAPPED THE FOLLOWING LAND HEREIN DESCRIBED:

Lots 74 and 85 of Southland Farms, A subdivision as recorded in Cabinet D, Slide 139 in the Walworth County Registry, being part of the NE 1/4 of Section 6 and the NW 1/4 of Section 5, Town 1 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin. Said parcel contains 11.50 acres more or less.

I FURTHER CERTIFY THAT I HAVE MADE SAID MAP BY THE DIRECTION OF GY 11 LLC, OWNER OF SAID LAND. THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE LAND DIVISION ORDINANCES OF THE CITY OF LAKE GENEVA AND WALWORTH COUNTY IN SURVEYING, COMBINING AND MAPPING THE SAME.

DATED THIS 5h DAY OF SEPTEMBER, 2017.

\_\_\_\_\_  
PAUL H. VAN HENKELUM,  
PROFESSIONAL LAND SURVEYOR #1931



**OWNER'S CERTIFICATE**

AS OWNER, GY 11 LLC, HEREBY CERTIFIES THAT HE HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, COMBINED, AND MAPPED AS REPRESENTED HEREON.

AS OWNER, I FURTHER CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

- 1.) THE CITY OF LAKE GENEVA

WITNESS THE HAND AND SEAL OF SAID OWNER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.

\_\_\_\_\_, MEMBER  
GY 11 LLC, OWNER

**STATE OF \_\_\_\_\_ ) ss**  
**COUNTY OF \_\_\_\_\_ )**

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017

THE ABOVE NAMED \_\_\_\_\_, MEMBER OF GY 11 LLC, OWNER, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Lots 74 and 85 of Southland Farms, A subdivision as recorded in Cabinet D, Slide 139 in the Walworth County Registry, being part of the NE 1/4 of Section 6, and the NW 1/4 of Section 5, Town 1 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin.

**CERTIFICATE OF PLAN COMMISSION APPROVAL:**

APPROVED BY THE PLAN COMMISSION OF THE CITY OF LAKE GENEVA  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.

\_\_\_\_\_  
ALAN KUPSİK,  
CHAIRMAN

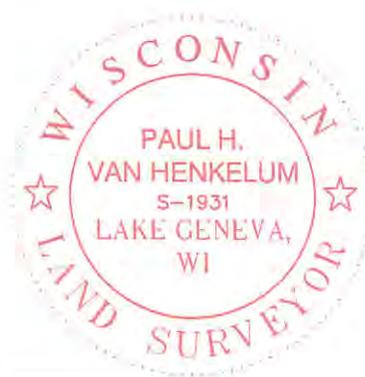
\_\_\_\_\_  
SABRINA WASWO,  
SECRETARY

**CERTIFICATE OF CITY COUNCIL RESOLUTION:**

RESOLVED, THAT THIS CERTIFIED SURVEY MAP, IN THE CITY OF LAKE GENEVA, WISCONSIN, OWNER BE AND THE SAME,  
IS HEREBY APPROVED BY THE CITY COUNCIL ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017.

\_\_\_\_\_  
BOB KORDUS,  
COUNCIL PRESIDENT

\_\_\_\_\_  
SABRINA WASWO,  
CITY CLERK



**CURVE TABLE**

NO.	ARC	RADIUS	DELTA	CHD. BRG.	DISTANCE	BRG. IN	BRG. OUT
C1	129.01'	340.00'	21°44'24"	N08°32'16"E	128.24'	N02°19'56"W	N19°24'28"E
C2	62.05'	350.00'	10°46'22"	N24°47'39"E	61.96'	N19°24'28"E	N30°10'51"E (S30°10'50"W)
C3	252.83' (252.82')	515.00'	28°07'40"	N75°44'16"E	250.29'	N89°48'06"E	N61°40'26"E

**UTILITY EASEMENT PROVISIONS:**

An easement for electric and communication has been granted by GY 11 LLC, Grantor, to  
WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION doing business as WE ENERGIES, Grantee  
ALLIANT ENERGY, Grantee  
CITY OF LAKE GENEVA UTILITY COMMISSION, Grantee  
WISCONSIN BELL INC. d/b/a AT&T WISCONSIN, A WISCONSIN CORPORATION, Grantee, and TIME WARNER ENTERTAINMENT COMPANY, L.P., Grantor

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in conjunction with overhead and underground transmission and distribution of electricity and electrical energy, gas, telephone, and cable TV facilities for such purposes as the same is now or may hereinafter be used, all in, over, under, across, along and upon the property shown within those areas on this plat designated as "Utility Easement" and the property designated on this plat for streets, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property of all such purposes. the Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electrical facilities or communication facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantee's facilities or in, upon, or over the property within the lines marked "Utility Easement" without prior written consent by the Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four (4) inches without written consent of Grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

REV.  
DATE 9-5-2017  
SHEET 4 OF 4  
JOB#17-0015

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: November 20, 2017

Agenda Item: 9

Applicant:

Millard Properties LLC – Bob  
Cook  
W6362 Dunham School Road  
Elkhorn, WI 53121

Request: ETZ Town of Geneva

Exterritorial Zoning request (ETZ) to create a  
CSM for a 5 acre parcel located at W2970  
Springfield Rd. from parcel JP1400001  
Lake Geneva, WI 53147

Description:

This request is to approve a Certified Survey Map (CSM) to create a 5 acre parcel with buildings as per density requirements of Walworth County Zoning and land division located in the Town of Geneva.

The parcels included in this CSM request are:

- Parcel JP1400001
- Future Parcel of 5 acres with buildings

The result of this CSM will be a single parcel of 5 acres that will be in accordance with Walworth County Land Use and Zoning and standards.

Project Details from CSM Submittal dated 9-11-17:

The proposed CSM drawing is provided on Sheet 4 of 4 - job # 2016.128 depicts the proposed parcel after the lot separation.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Exterritorial Zoning request (ETZ) and review of the proposed Certified Survey Map (CSM):

As part of the consideration of the requested CSM, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CSM.

Staff Recommendation on the proposed Certified Survey Map (CSM):

1. Staff recommends that the Plan Commission recommend *approval* of the Exterritorial Zoning request (ETZ) and review of the proposed Certified Survey Map (CSM): as submitted, subject to approval for both parcels, and Walworth County Land Use Zoning.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW



CERTIFIED SURVEY MAP or



SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

MILLARD PROPERTIES, LLC - BOB COOK  
6362 DUNHAM SCHOOL ROAD  
ELKHART, WI. 53121

TELEPHONE NUMBER OF CURRENT OWNER: (262) 215-2158

NAME AND ADDRESS OF APPLICANT:

SAME AS ABOVE BELOW

TELEPHONE NUMBER OF APPLICANT: ( )

NAME AND ADDRESS OF SURVEYOR:

OLSON LAND SURVEYING, LLC DOUGLAS G. OLSON  
45 S. WISCONSIN STREET P.O. Box 322  
ELKHART, WI. 53121

TELEPHONE NUMBER OF SURVEYOR: (262) 723-3434

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

CSM IS SEPARATING THE EXISTING BUILDINGS FROM THE FARM LAND. AS ALLOWED BY WAUKESHA COUNTY ZONING, ADJACENT LAND IS RESTRICTED AS SHOWN ON SHEET 4 TO MAINTAIN DENSITY REQUIREMENTS OF COUNTY ZONING. WITH 5 ACRES

SUBMITTAL CHECKLIST

✓ LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.

✓ SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.

✓ CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.

✓ PROVIDE 5 FULL SETS AND 20 11" x 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW , APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY -FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

11-10-17  
DATE

  
SIGNATURE OF APPLICANT

**AGREEMENT FOR SERVICES**

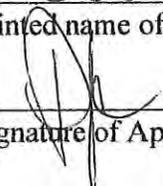
REIMBURSABLE BY THE PETITIONER / APPLICANT. The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any finance charges that may accrue. The City may apply the charges for these services to the Petitioner. The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner and which are not paid, may be assigned by the City as a special assessment to the subject property. Petitioner hereby expressly waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. Petitioner further authorizes the City Treasurer or City Clerk to levy and collect review fees and additional fees upon the affidavit of the City Administrator or the Zoning Administrator stating that such fees are reasonable and that payment is overdue. The Petitioner shall be required to provide the City with an executed copy of the following form as a prerequisite to the processing of the development application:

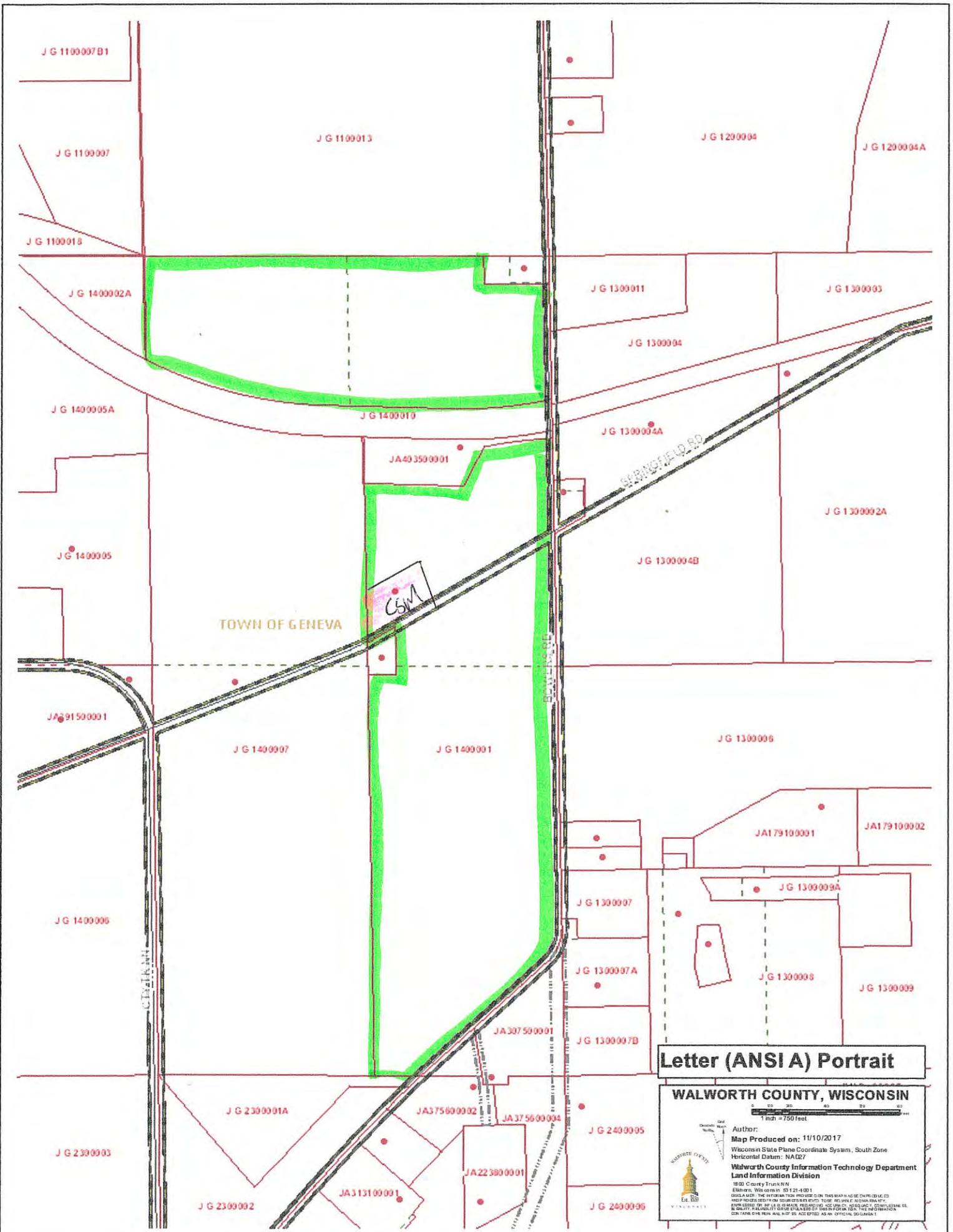
DOUGLAS G. OLSON, as applicant/petitioner for:  
Name: MILLARD PROPERTIES LLC, BUR COOK  
Address: W6362 DUNHAM SCHOOL ROAD  
EVANSTON, WI. 53121  
Phone: 762-215-2158

Agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof.

Dated this 10 day of NOVEMBER, 2017.

DOUGLAS G. OLSON  
Printed name of Applicant/Petitioner

  
Signature of Applicant/Petitioner



**Letter (ANSI A) Portrait**

**WALWORTH COUNTY, WISCONSIN**

0 20 40 60 80  
1 inch = 750 feet

Author:  
Map Produced on: 11/10/2017  
Wisconsin State Plane Coordinate System, South Zone  
Horizontal Datum: NAD83  
Walworth County Information Technology Department  
Land Information Division  
1600 County Trunk Rd  
Elsenhorn, Wisconsin, 53121-4001  
DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN OBTAINED FROM SOURCES BELIEVED TO BE RELIABLE. WALWORTH COUNTY DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION. THE INFORMATION ON THIS MAP IS PROVIDED AS AN OFFICIAL DOCUMENT.

# CERTIFIED SURVEY MAP No.

Located in the Southeast 1/4 of the Northeast 1/4 of Section 14, Town 2 North, Range 17 East, Town of Geneva, Walworth County, Wisconsin.

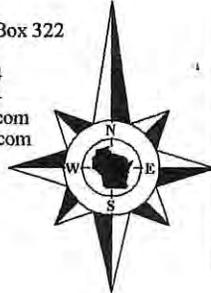
Owner: **Millard Properties, LLC**  
 W6362 Dunham School Road  
 Elkhorn, Wisconsin. 53121

# OLSON

LAND SURVEYING, LLC

Rural | Residential | Commercial

45 South Wisconsin Street | P.O. Box 322  
 Elkhorn, Wisconsin. 53121  
 Telephone: (262) 723-3434  
 Facsimile: (262) 723-8044  
 Email: doug@olsonsurveying.com  
 Website: www.olsonsurveying.com



Reserved for Walworth County Register of Deeds

Scale in Feet. 1"=100'



Mapping date: March 6, 2017.

Soils: FsB & MyB.

Zoning: A-1

### Notes:

1. Bearings referenced to the East line of the Northeast 1/4 of Section 14-2-17, recorded as N1°13'17"W in the Wisconsin State Plane Coordinate System, South Zone, (NAD-27).
2. Existing sanitary system on Lot 1 appears to be functioning. No evaluation as to meeting the requirements for replacement system under "SPS 383" of the Wisconsin Administrative Code.
3. Lot 1 is a separation of farm structures from farm land.
4. Dedicated to the public for road purposes 0.549 Acre, 23,940 Sq.Ft.



**CERTIFIED SURVEY MAP No. \_\_\_\_\_ Vol. \_\_\_\_\_ Page \_\_\_\_\_**

Located in the Southeast 1/4 of the Northeast 1/4 of Section 14, Town 2 North, Range 17 East, Town of Geneva, Walworth County, Wisconsin.

**Legal Description**

A parcel of land located in the Southeast 1/4 of the Northeast 1/4 of Section 14, Town 2 North, Range 17 East, Town of Geneva, Walworth County, Wisconsin, described as follows: Commence at the East 1/4 corner of said Section 14; thence North 1°13'17" West, along the East line of said Northeast 1/4 and the centerline of Bowers Road, 857.70 feet to a point on the centerline of Springfield Road; thence South 59°42'24" West, along said centerline of Springfield Road, 684.99 feet to the Point of Beginning; thence continue South 59°42'24" West, along said centerline, 730.90 feet to a point on the West line of the East 75 rods (1237.5') of said Northeast 1/4 of Section 14; thence North 1°13'17" West, along said West line, 411.76 feet; thence North 59°42'24" East 612.00 feet; thence South 17°35'00" East 368.92 feet to the Point of Beginning.

Said parcel contains 5.547 acres (241,642 sq.ft.) of land, more or less.

Said parcel contains 4.998 acres (217,702 sq.ft.) of land, more or less, exclusive of the right of way of Springfield Road.

**Surveyor's Certificate**

I, Douglas G. Olson, Wisconsin Professional Land Surveyor, do hereby certify that the property hereon described has been surveyed under my direction and that the plat shown hereon is a correct representation of all lot lines and that I have fully complied with the owner's/agent's instructions, Section 236.34 of the Wisconsin Statutes, the Subdivision Control Ordinance, Walworth County, Wisconsin, Town of Geneva, Walworth County, Wisconsin, and Section 66 of the City of Lake Geneva Municipal Code, City of Lake Geneva, Walworth County, Wisconsin.

Date: MARCH 3, 2017

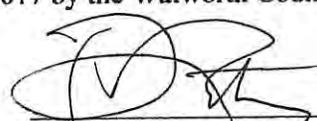
Revised: JULY 13, 2017



  
\_\_\_\_\_  
Douglas G. Olson, P.L.S. 2093

**Walworth County Approval**

Approved this 18<sup>th</sup> day of September, 2017 by the Walworth County Zoning Agency.

  
\_\_\_\_\_  
Tim Brellenthin, Chairperson

**Town Board Approval**

Approved this 8<sup>th</sup> day of May, 2017 by the Town Board of the Town of Geneva.

  
\_\_\_\_\_  
Joseph F. Kopecky, Chairperson



Located in the Southeast 1/4 of the Northeast 1/4 of Section 14, Town 2 North, Range 17 East, Town of Geneva, Walworth County, Wisconsin.

**Legal Description of lands restricted by farm separation** See note below.

That part of Tax Parcel JG 1400001 (described as the East 75 rods (1237.5') of the Northeast 1/4 of Section 14, Town 2 North, Range 17 East, Town of Geneva, Walworth County, Wisconsin), described as follows: All of the lands that are South of Certified Survey Map No. 4035 and North of the centerline of Springfield Road that are not part of this Certified Survey Map.

Said parcel contains approximately 16.7 acres of land, more or less. This parcel has not been surveyed, the above description is approximate based upon existing records.

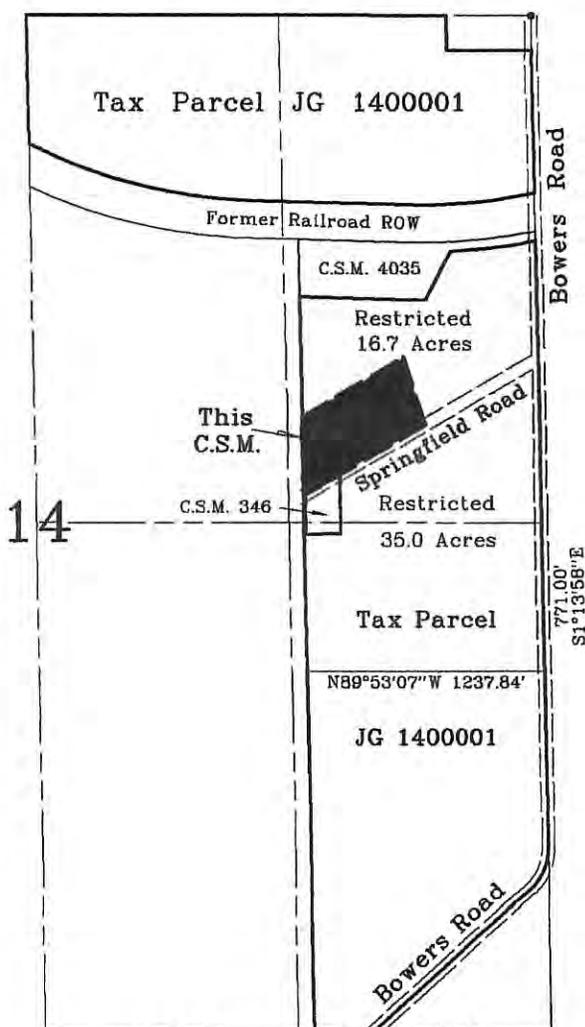
ALSO

That part of Tax Parcel JG 1400001 (described as the East 75 rods (1237.5') of the Northeast 1/4 of Section 14 and the East 75 rods (1237.5') of the Southeast 1/4 of Section 14, Town 2 North, Range 17 East, Town of Geneva, Walworth County, Wisconsin), described as follows: All of the lands that are South of the centerline of Springfield Road and North of a line described as follows: Commence at the East 1/4 corner of said Section 14; thence South 1°13'58" East, along the East line of said Southeast 1/4 and the centerline of Bowers Road, 771.00 feet to the Point of Beginning; thence North 89°53'07" West 1237.84 feet to the Point of Termination on the West line of said Tax Parcel JG 1400001.

Said parcel contains approximately 35.0 acres of land, more or less. This parcel has not been surveyed, the above description is approximate based upon existing records.

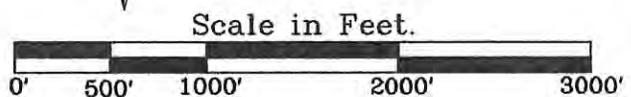
**Note:** This land is restricted by Sec. 74-51.(1)v. of the Zoning Ordinance, Walworth County, Wisconsin, relating to the separation of farm structures from farm land, in that no structures shall be placed thereon without a conditional use approval from the Walworth County Zoning Agency.

**Note:** For exhibit and information only. The map and legal description on this sheet are not intended to be used for conveyance purposes.



**Location Sketch**

The Northeast 1/4 and the Southeast 1/4 of Section 14 Town 2 North, Range 17 East



1st Area Restricted by Farm Separation

2nd Area Restricted by Farm Separation

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: November 20, 2017

Agenda Item: 10

Applicant:

Alan & Kathi Bosworth  
1224 W. Main Street  
Lake Geneva, WI 53147

Request:

Amend Existing Conditional Use Permit for  
a site plan change to original request

Description:

The applicant is submitting a request to amend the existing Conditional Use Permit (CUP) to install a landscape retaining wall on the east property line adjacent to the Lake Geneva public lake access on the west side of Library Park.

The applicants original submittal did not identify the new needed retaining wall due to the elevation of the construction as approved.

This was most likely overlooked with the transition of staff nonetheless a request to amend is necessary due to the proximity of the site and elevations.

Action by the Plan Commission:

Recommendation to the Common Council on the amendment to proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed new installation of the 48” retaining wall will be located near the east property.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
  6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
  3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
  4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
  5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend *approval* of the proposed amendment to the conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

SITE ADDRESS/PARCEL NO. AND FULL LEGAL DESCRIPTION REQUIRED (ATTACH SEPARATE SHEET IF NECESSARY):

1224 WEST MAIN STREET, LAKE GENEVA, WI

\* SEE ATTACHED LEGAL DESCRIPTION

NAME AND ADDRESS OF CURRENT OWNER:

ALAN + KATHI BOSWORTH 23 WINDSOR DRIVE

ELMHURST, IL 60126

TELEPHONE NUMBER OF CURRENT OWNER:

630.832.4481

NAME AND ADDRESS OF APPLICANT:

ORREN PICKELL DESIGN GROUP, CONTACT: JOHN FOREHAND

550 FRONTAGE ROAD, SUITE 3800, NORTHFIELD, IL 60093

TELEPHONE NUMBER OF APPLICANT:

847.572.5273

PROPOSED CONDITIONAL USE:

THE PURPOSE OF THIS APPLICATION IS TO AMEND EXISTING CONDITIONAL USE PERMIT (RESOLUTION 16-R43)\* TO INCLUDE A RETAINING WALL ALONG THE EAST PROPERTY LINE AS ILLUSTRATED ON THE NEWLY SUBMITTED LANDSCAPE PLAN.

ZONING DISTRICT IN WHICH LAND IS LOCATED:

ER-1 ESTATE RESIDENTIAL

NAMES AND ADDRESSES OF ARCHITECT, PROFESSIONAL ENGINEER AND CONTRACTOR OF PROJECT:

ARCHITECT: ORREN PICKELL DESIGN GROUP, JOHN FOREHAND, AIA

550 FRONTAGE ROAD, SUITE 3800

NORTHFIELD, IL 60093

CONTRACTOR: ORREN PICKELL BUILDING GROUP

550 FRONTAGE ROAD, SUITE 3800, NORTHFIELD, IL 60093

SHORT STATEMENT DESCRIBING ACTIVITIES TO BE CARRIED ON AT SITE:

PERMITTED HOME CURRENTLY UNDER CONSTRUCTION - APPLICATION REQUESTS PERMISSION TO ADD LANDSCAPE RETAINING WALL.

CONDITIONAL USE FEE PAYABLE UPON FILING APPLICATION: \$400.00 (\$100 FOR APPLICATIONS UNDER SEC. 98-407(3))

OCTOBER 25, 2017

DATE

SIGNATURE OF APPLICANT

\* SEE ATTACHED

both entities to encourage cooperation. Mr. Kordus felt the compensation studies and pay scales do not adjust every year. Mr. Oborn stated that merit increases will be phase 2.

#### **Discussion/Action on 2017 Budget Workshop Schedule**

Mr. Kordus noted this went to Council with no recommendation. He felt it looked fine but questioned if it needs to be published. Mr. Oborn said the meetings will be listed on the city calendar if approved. Mayor Kupsik asked City Attorney Draper if there is anything legally that would keep them from allowing the public to participate in the budget process or attending meetings. Mr. Draper said it would depend on what sort of efficiencies you want to have in the meetings. Mr. Kordus noted people have sat in on the meetings in the past. Alderman Gelting would like to have public involvement as early as possible. He feels the special finance meetings are a good opportunity for people to come. He is a bit concerned on the times they are slotted for. He would rather see later times to allow for people to attend. Mr. Kordus said they don't stick to time schedules. A 2 hour meeting generally lasts quite a bit longer. Mr. Oborn said the 10:00am meetings could be moved but they will clash with other meetings that are already scheduled. Mr. Kordus encouraged all other aldermen who are not on the Finance, License and Regulation Committee to attend the meetings. They will be recognized as a participant.

Kordus/Horne motion to approve the schedule as presented.

Roll Call: Chappell, Kordus, Skates, Flower, Horne, Hedlund, Howell voting "yes" and Gelting voting "no." Motion carried 7 to 1.

#### **Plan Commission Recommendations – Alderman Skates**

Skates/Howell motion to approve the Precise Implementation Plan Amendment Application filed by Ted and Terri Harig, 6597 Deerpath Rd., Lake Geneva to operate a Commercial Indoor Lodging facility at an existing Commercial Business in a Planned Development (PD) zoning district located at 821 Geneva St., Tax Key No. ZOP 00171, including two additional parking spaces provided at church next door; any onsite parking must be on paved surface, no outdoor storage, including Staff recommendations, and Findings of Fact (*Plan Commission recommended on August 15, 2016*). Alderman Skates noted it is a transition from an antique store to commercial indoor lodging. The annual agreement with the church next door was for 2 parking spots that they needed.

Roll Call: Chappell, Kordus, Skates, Flower, Gelting, Horne, Hedlund, Howell voting "yes." Unanimously carried.

Skates/Kordus motion to approve Resolution 16-R43, a Conditional Use Application to use the Single Family Residential (SR-4) zoning requirements in an Estate Residential (ER-1) zoning district for a new home filed by Orren Pickell Design Group, 550 Frontage Rd., Ste 3800, Northfield, IL 60093 on behalf of Alan and Kathi Bosworth, 267 E South St., Elmhurst, IL 60126 at 1224 W Main St., Lake Geneva, Tax Key No. ZYUP 00094P, including the Findings of Fact; Staff recommendations; terrace (covered porch) setback to be 50 feet from lake shore; sidewalk in the city right of way to be repaired to city standards; no access to the city driveway from residence; no construction access to the city driveway; no structures, trees, landscaping, or permanent fencing on the sanitary line or the right of way; Chapter 30 DNR permit required; Sanitary line to be shown on survey and landscaping plan; and 6 foot fence in height allowed to front property line (*Plan Commission recommended on August 15, 2016*). Mr. Skates said this is the home next to the west end pier. There is a shared driveway. The sewer line runs right onto the corner. There was concern there, which staff will stay on top of. They are going to supply the location and make the adjustments for the house so it is not in that right of way. The city will not have to share the driveway anymore and the sidewalk out front will be upgraded as well.

Roll Call: Chappell, Kordus, Skates, Flower, Gelting, Horne, Hedlund, Howell voting "yes." Unanimously carried.

Skates/Horne motion to approve an Application for Site Plan Review for a parking lot filed by Lake Geneva United Methodist Church, 912 Geneva St., Lake Geneva, Tax Key No. ZA464800001, including the city engineer and applicants engineer reach an agreement with the conditions of the engineers letter dated August 8, 2016, Staff recommendations and Findings of Fact (*Plan Commission recommended on August 15, 2016*). Mr. Skates explained the lot was made into 1 piece to allow for a parking lot.

Roll Call: Chappell, Kordus, Skates, Flower, Gelting, Horne, Hedlund, Howell voting "yes." Unanimously carried.

Application for Conditional Use – Amendment to Approved Resolution 16-R43

1224 West Main, Lake Geneva, IL

Section II (c), (e) Response:

The intent of this application is to amend an existing Conditional Use permit (Resolution 16-R43) for the new single family home being constructed at 1224 West Main Street. A new landscape plan is being submitted which adds a masonry landscape retaining wall along a portion of the east property line. The east property line of 1224 West Main abuts the Elm Park Access Drive/ boat launch area. The proposed retaining wall will be approximately 4' tall at the high point and will taper down to approximately 2' as the wall approaches Main Street. The wall is necessary due to the grade elevation of the new home's driveway. The retaining wall along with the wood fence and the proposed evergreen planting will provide privacy screening for the residence as well as a nicely landscaped border for the access drive.



CALL DIGGERS HOTLINE  
 811 or 1-800-242-8311  
 WIS. STATUTE 182.01(4)(b)  
 REQUIRES MIN. 3 WORKING DAYS  
 NOTICE BEFORE YOU EXCAVATE

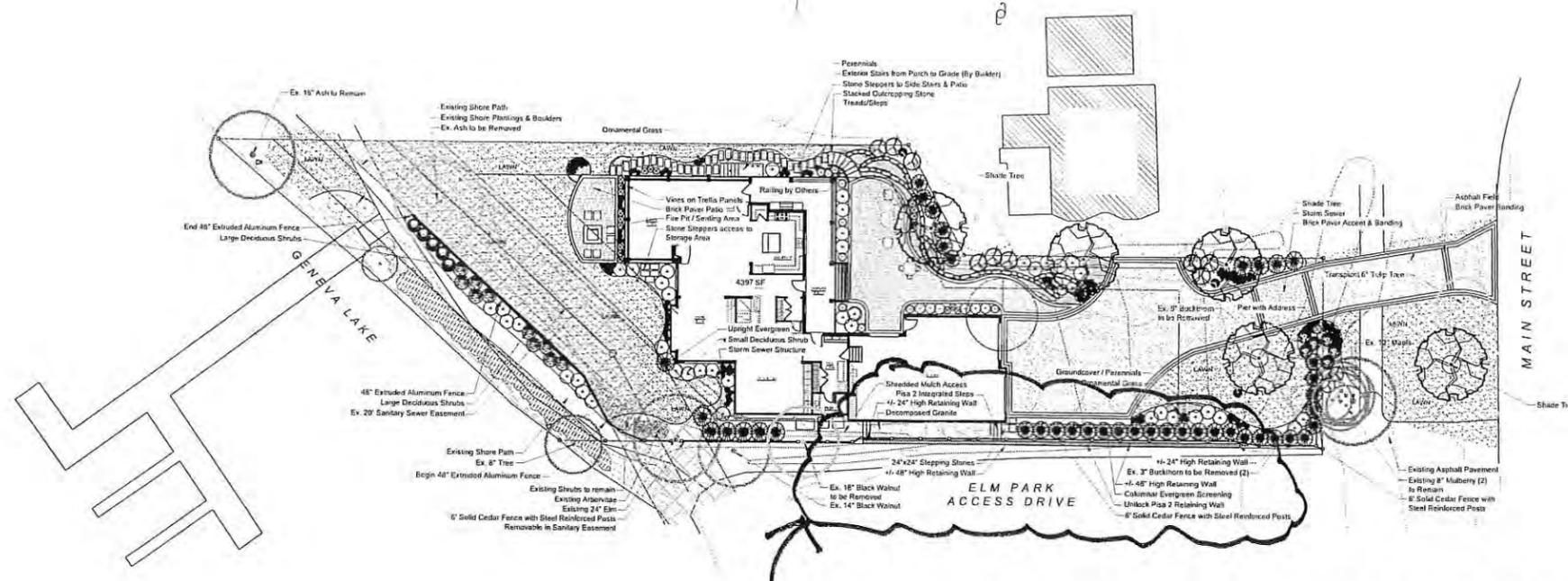


Earth Developments  
 Landscape Architects / Contractors  
 8107 Wilmet Road, Spring Grove, IL 60081 p 815.675.0055  
 www.earthdevelopments.com

PROJECT  
**BOSWORTH RESIDENCE**

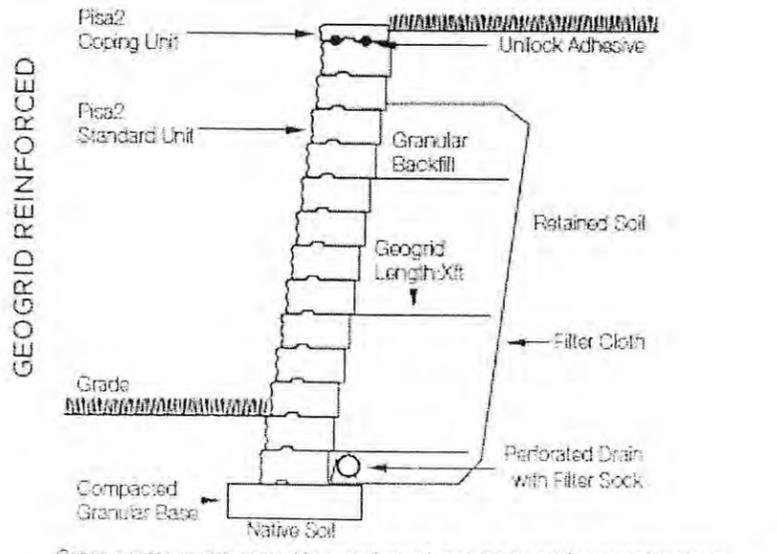
1224 W. Main Street  
 Lake Geneva, WI

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
10.20.17	ISSUE TO OWNER



AREA OF REQUESTED CHANGE

**OVERALL LANDSCAPE PLAN**  
 Scale: 1" = 20'0"



AREA OF REQUESTED CHANGE

**PISA 2 RETAINING WALL DETAIL**

Information contained herein is based on survey information. Best inspection, and believed to be accurate.

SHEET TITLE  
**LANDSCAPE PLAN**

PROJECT MANAGER	CM
PROJECT NUMBER	17-083
DATE	10.25.17
SHEET NUMBER	

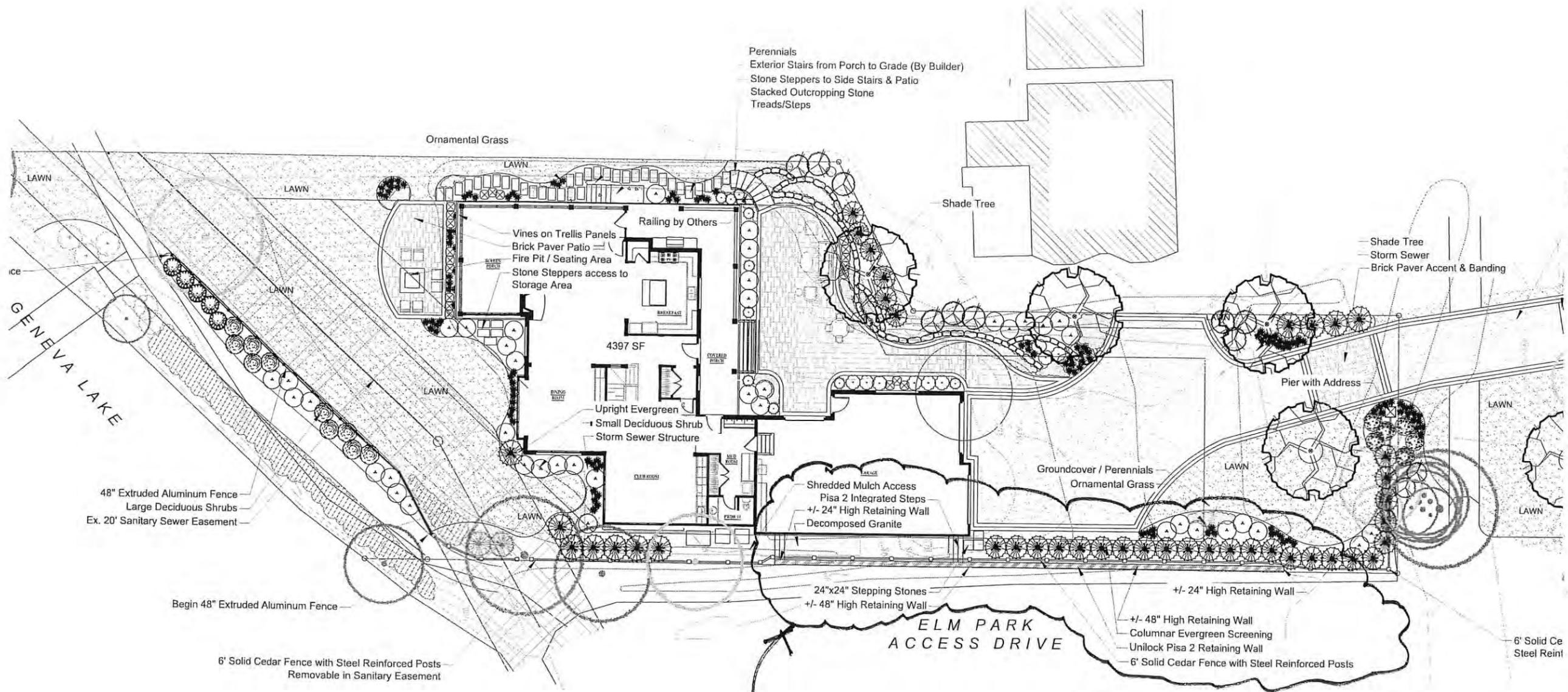
**L 1.0**

PROJECT  
**BOSWORTH RESIDENCE**

1224 W. Main Street  
 Lake Geneva, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.20.17	ISSUE TO OWNER



**AREA OF REQUESTED CHANGE**

**ENLARGED LANDSCAPE PLAN**  
 Scale: 1" = 10'0"

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE  
**ENLARGED LANDSCAPE PLAN**

PROJECT MANAGER	CM
PROJECT NUMBER	17-083
DATE	10.25.17
SHEET NUMBER	

**L 1.1**



Exterior Stairs from Porch to Grade (By Builder)  
 Stone Steppers to Side Stairs & Patio  
 Stacked Outcropping Stone  
 Treads/Steps



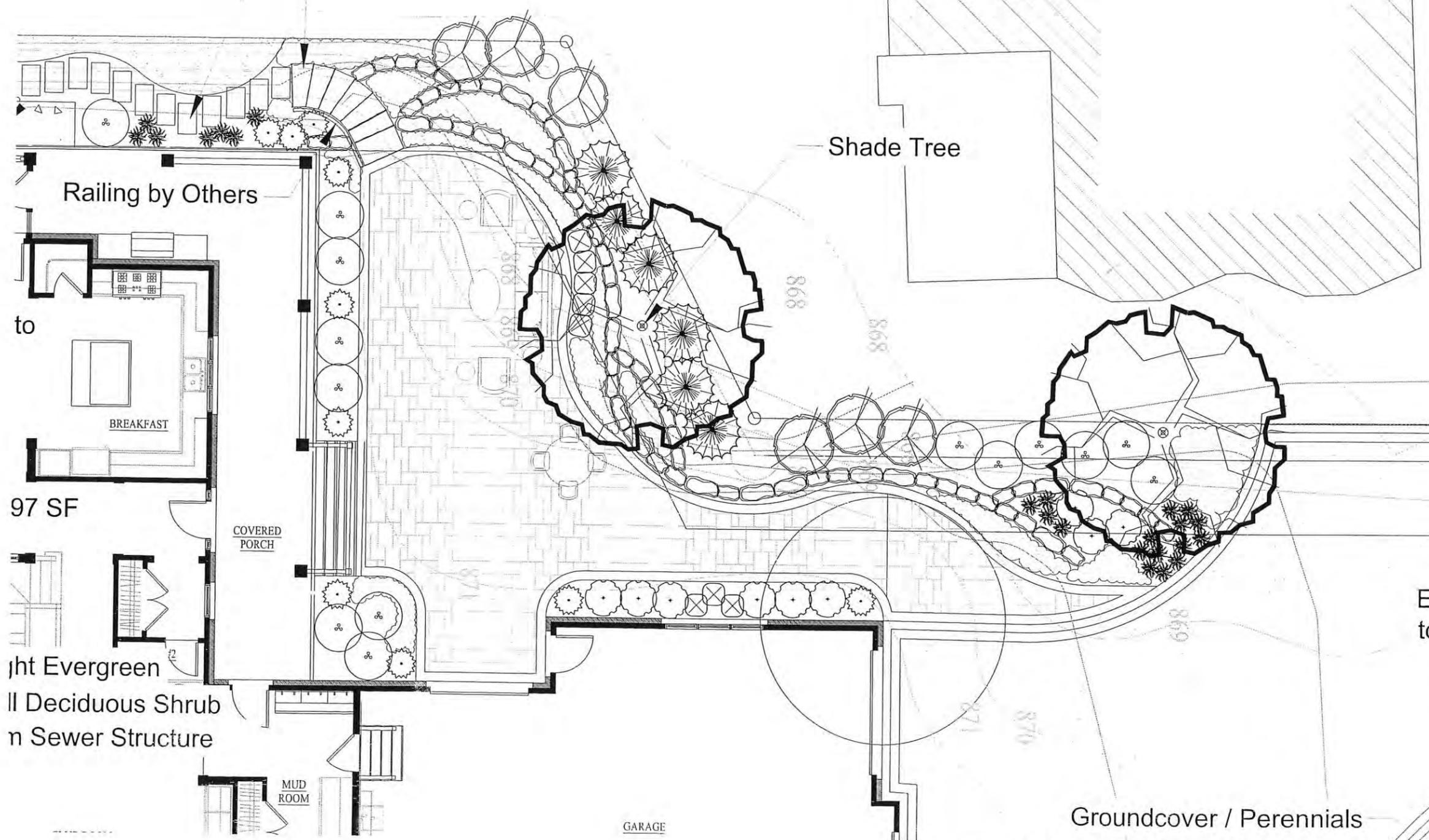
Earth Developments  
 Landscape Architects / Contractors  
 8107 Wilmet Road, Spring Grove, IL 60081 p 815.675.0055  
 www.earthdevelopments.com

PROJECT  
**BOSWORTH  
 RESIDENCE**

1224 W. Main Street  
 Lake Geneva, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.20.17	ISSUE TO OWNER



Railing by Others

Shade Tree

to

BREAKFAST

97 SF

COVERED PORCH

ght Evergreen

ll Deciduous Shrub

n Sewer Structure

MUD ROOM

GARAGE

Groundcover / Perennials



**ENLARGED LANDSCAPE PLAN**  
 Scale: 1" = 40"

Ex  
 to

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE  
**ENLARGED  
 LANDSCAPE  
 PLAN**

PROJECT MANAGER	CM
PROJECT NUMBER	17-083
DATE	10.25.17
SHEET NUMBER	

**L 1.2**

# SITE GRADING & EROSION CONTROL PLAN

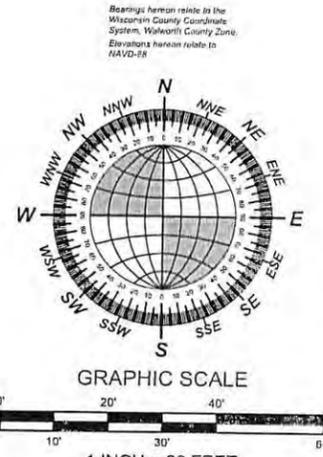
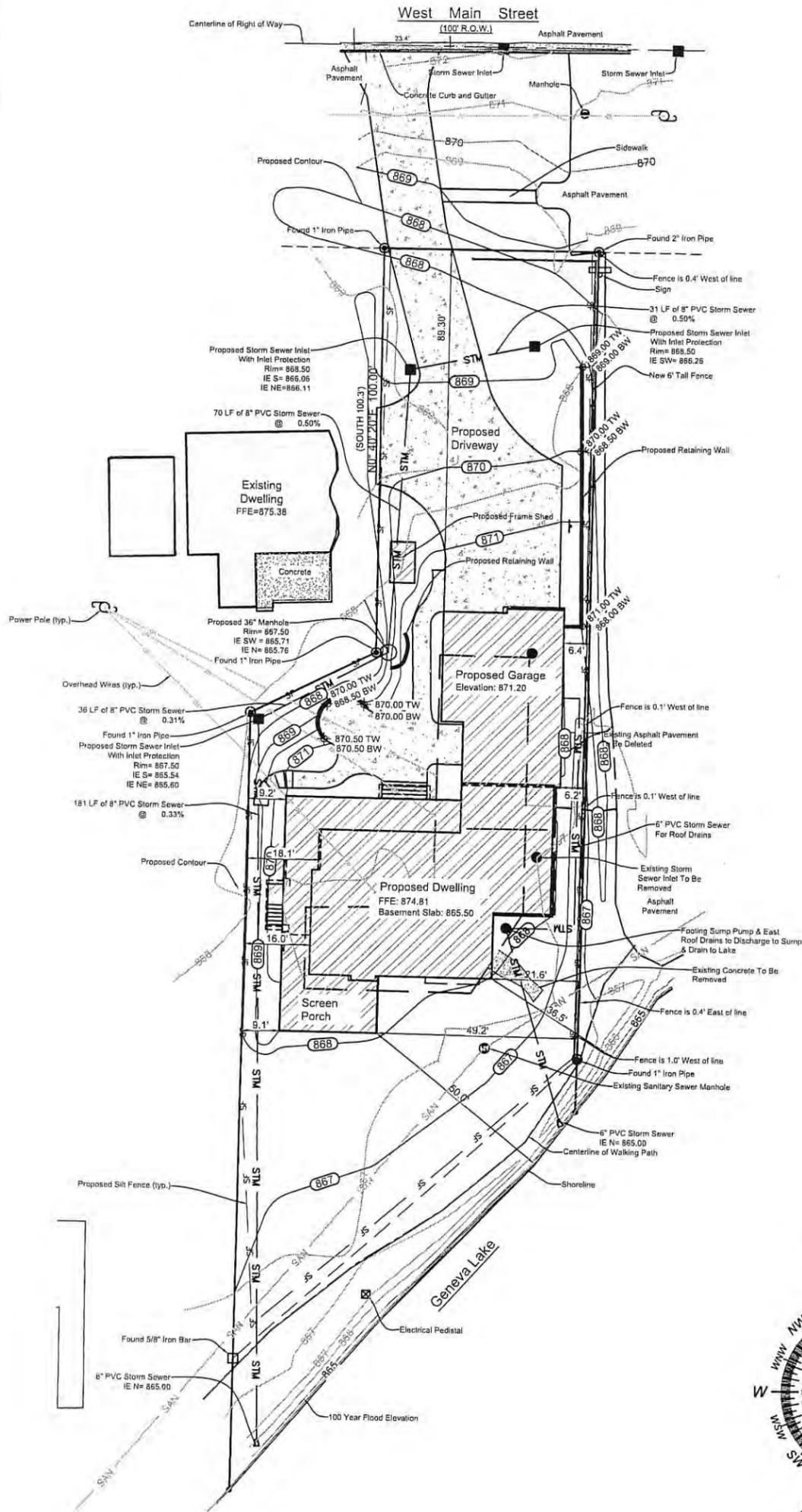
Survey No. 16-5040

September 19, 2017

LOCATION: 1224 W. Main Street, Lake Geneva, Wisconsin  
 PREPARED FOR: Orren Pickell Design Group  
 LEGAL DESCRIPTION:

**SITE DATA**  
 LOT AREA: 16280.68 SF  
 FLOOR AREA: 3072.72 SF  
 FLOOR AREA RATIO: 0.19  
 IMPERVIOUS SURFACE AREA: 6564.82 SF  
 IMPERVIOUS SURFACE RATIO: 0.40

**NOTES**  
 TW = TOP OF WALL  
 BW = BOTTOM OF WALL



**FLOOD NOTE:**  
 Per the National Flood Insurance Program, Flood Insurance Rate Map No. 55127C0329D, bearing an effective date of October 2, 2009; the 1% annual chance (100-year flood) elevation is 865.00



**LYNCH & ASSOCIATES**  
 5482 S. WESTRIDGE DRIVE  
 NEW BERLIN, WI 53151  
 SURVEYOR'S OFFICE:  
 432 MILWAUKEE AVE  
 BURLINGTON, WI 53105  
 (262) 248-3697

DRAWING BY: KBM  
 FIELD WORK BY: LMG

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: November 20, 2017

Agenda Item: 11A

Applicant:

Mau & Associates, LLP  
Himansu Dhyani  
400 Security Blvd.  
Green Bay, WI 54313

Request: 1150 Wells Street

Proposed **General Development Plan (GDP)**  
to provide zoning flexibilities to Planned  
Development of four – 8 unit multi-family  
buildings (32 units)

Description:

The applicant is submitting a General Development Plan to create a Planned Development (PD) that will combine two existing lots located at 1150 Wells St. to develop four separate 8-unit apartment buildings with a total of 32 new units.

Currently the property located on the two existing parcels existing buildings will be razed to accommodate the new proposed development as submitted. The applicants have meet with staff to identify site requirements to allow for the flexibilities necessary to accommodate the buildings and to include storm water runoff and recommended building layouts to enhance views from the neighboring streets and properties.

This is a transitional site between Multi-Residential-8 (MR-8) south and north with single family to the west.

The subject property includes 4 - principal buildings all of which are 8-Unit apartment buildings creating 32 new apartment dwelling units.

The proposed requests required parking space has been met. The site currently provides parking in three locations for some units they are and provided within the garage area of the apartment buildings, ground parking, and two additional detached accessory buildings accommodating 8 additional indoor parking stalls.

This Planned Development is required to be granted flexibilities from the zoning ordinance. This involves review and approval of a General Development Plan (GDP). In addition, the proposed land use requires exceptions to the “maximum units per acre” which is minimal, albeit with the multi-family adjacent to both sides of the proposed development staff felt the PD was acceptable due to the minimal overage.

Essentially, the GDP creates a customized zoning district for a particular development. The GDP focuses primarily on the mix of uses, procedural requirements, and flexibilities from the development standards of the underlying zoning district, particularly density/intensity and bulk requirements. This report focuses on these issues.

#### Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including General Development Plans) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the land use category for the subject property. This category allows for neighborhood-scale mixed use development. The proposed GDP zoning *is consistent* with the Comprehensive Plan.

#### Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the Planned Development (PD), the current zoning of the property, provides that comparison zoning district. The project is requesting the following:

1. The applicant is requesting approval for (4) four 8-unit multi-family principal buildings that, each building containing a distinct Multi-family land use with a total of 32 dwelling units. The maximum units per acre request exceeds the allowable area as permitted.

As no other changes are proposed to the site that would change existing conditions, no other flexibilities are requested.

#### Approved Land Uses:

The GDP enables the following land uses as permitted:

- Planned Development (PD)

The GDP enables the following land uses by *conditional use and subject to PIP approval*:

- (4) four 8-unit multi-family buildings (32 units total)

#### Zoning Map Amendment / GDP - Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / GDP

As part of the consideration of a requested Planned Development / General Development Plan (GDP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to GDP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

#### Staff Review Comments:

Staff believes that this is a suitable location for a Multi-Family development land use due to the surrounding Multi-Family land uses and zoning. The site is currently zoned Planned Business, like other properties along Well Street and is planned for *Neighborhood Mixed Use* in the Comprehensive Plan, a category conducive to neighborhood-scale mixed use development.

Staff believes that the site as it is currently zoned is suitable for Multi-Family Residential, because there are abutting properties with the same land use. Granting the GDP establishes

zoning regulations for the subject property that would enable the consideration of Multi-Family Residential – 8 (MR-8) land uses for all buildings, contingent on Conditional Use.

Required Plan Commission Findings on the GDP for Recommendation to Common Council:

A proposed GDP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed GDP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
  2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
    - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
    - b. A mistake was made in mapping on the Official Zoning Map;
    - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
    - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
  3. The proposed GDP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed GDP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
  2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
    - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
    - b. A mistake was made in mapping on the Official Zoning Map;
    - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
    - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.

3. The proposed GDP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the General Development Plan:

1. Staff recommends that the Plan Commission recommend *approval* of the GDP as submitted, including the granting of all requested zoning ordinance flexibilities of the maximum units per acre, all other zoning requirements have been met.

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: November 20, 2017

Agenda Item: 11B

Applicant:

Mau & Associates, LLP  
Himansu Dhyani  
400 Security Blvd.  
Green Bay, WI 54313

Request: 1150 Wells Street

Proposed **Precise Implementation Plan (PIP)**  
to provide zoning flexibilities to Planned  
Development of four – 8 unit multi-family  
buildings (32 units)

Description:

The applicant is submitting a Precise Implementation Plan (PIP) to create a Planned Development (PD) that will combine two existing lots located at 1150 Wells St. to develop four separate 8-unit apartment buildings with a total of 32 new units.

Currently the property located on the two existing parcels existing buildings will be razed to accommodate the new proposed development as submitted. The applicants have meet with staff to identify site requirements to allow for the flexibilities necessary to accommodate the buildings and to include storm water runoff and recommended building layouts to enhance views from the neighboring streets and properties.

This is a transitional site between Multi-Residential-8 (MR-8) south and north with single family to the west.

The subject property includes 4 - principal buildings all of which are 8-Unit apartment buildings creating 32 new apartment dwelling units.

The proposed requests required parking space has been met. The site currently provides parking in three locations for some units they are and provided within the garage area of the apartment buildings, ground parking, and two additional detached accessory buildings accommodating 8 additional indoor parking stalls.

This Planned Development is required to be granted flexibilities from the zoning ordinance. This involves review and approval of a Precise Implementation Plan (PIP). In addition, the proposed land use requires exceptions to the “maximum units per acre” which is minimal, albeit with the multi-family adjacent to both sides of the proposed development staff felt the PD was acceptable due to the minimal overage.

Essentially, the PIP creates a customized zoning district for a particular development. The PIP focuses primarily on the mix of uses, procedural requirements, and flexibilities from the development standards of the underlying zoning district, particularly density/intensity and bulk requirements. This report focuses on these issues.

#### Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments (including Precise Implementation Plan (PIP) be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the land use category for the subject property. This category allows for neighborhood-scale mixed use development. The proposed PIP zoning *is consistent* with the Comprehensive Plan.

#### Relation to Base Zoning Standards:

All Planned Developments must explicitly identify any flexibilities being requested from base zoning standards in the most comparable regular zoning district. In this instance, the Planned Development (PD), the current zoning of the property, provides that comparison zoning district. The project is requesting the following:

1. The applicant is requesting approval for (4) four 8-unit multi-family principal buildings that, each building containing a distinct Multi-family land use with a total of 32 dwelling units. The maximum units per acre request exceeds the allowable area as permitted.

As no other changes are proposed to the site that would change existing conditions, no other flexibilities are requested.

#### Approved Land Uses:

The PIP enables the following land uses as permitted:

- Planned Development (PD)

The PIP enables the following land uses *subject to PIP approval*:

- (4) four 8-unit multi-family buildings (32 units total)

#### Zoning Map Amendment / PIP - Action by the Plan Commission:

Recommendation to the Common Council on the Proposed Zoning Map Amendment / PIP

As part of the consideration of a requested Planned Development / Precise Implementation Plan (PIP) step, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to PIP;
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments; and,
- Provide specific suggested *requirements* to modify the project as submitted.

#### Staff Review Comments:

Staff believes that this is a suitable location for a Multi-Family development land use due to the surrounding Multi-Family land uses and zoning. The site is currently zoned Planned Business, like other properties along Well Street and is planned for *Neighborhood Mixed Use* in the Comprehensive Plan, a category conducive to neighborhood-scale mixed use development.

Staff believes that the site as it is currently zoned is suitable for Multi-Family Residential, because there are abutting properties with the same land use. Granting the PIP establishes zoning

regulations for the subject property that would enable the consideration of Multi-Family Residential – 8 (MR-8) land uses for all buildings, contingent on PIP.

Required Plan Commission Findings on the PIP for Recommendation to Common Council:

A proposed PIP must be reviewed by the standards for all Zoning Map Amendments, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed PIP furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
  2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
    - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
    - b. A mistake was made in mapping on the Official Zoning Map;
    - c. Factors have changed, making the subject property more appropriate for the proposed GDP zoning;
    - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
  3. The proposed PIP amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:
1. The proposed PIP does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
  2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
    - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
    - b. A mistake was made in mapping on the Official Zoning Map;
    - c. Factors have changed, making the subject property more appropriate for the proposed PIP zoning;
    - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.

3. The proposed PIP amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the Precise Implementation Plan (PIP):

1. Staff recommends that the Plan Commission recommend *approval* of the Precise Implementation Plan (PIP) as submitted, including the granting of all requested zoning ordinance flexibilities of the maximum units per acre, all other zoning requirements have been met.

**APPLICATION FOR ZONING MAP AMENDMENT FOR PLANNED DEVELOPMENT  
ZONING INCLUDING GENERAL DEVELOPMENT PLAN APPROVAL (PD/GDP) AND  
ONE PRECISE IMPLEMENTATION PLAN APPROVAL (PD/PIP)**

Name of Applicant: Mau & Associates, LLP

Address of Applicant: 400 Security Boulevard

Green Bay, WI 54313

Telephone No. ( 920 ) 434-9670

Fax and/or email: ( 920 ) 434-9672 sbieda@mau-associates.com

Name of Owner: Himansu Dhyani

Address of Owner: 1150 S Wells Street

Lake Geneva, WI

Telephone No. ( )

Fax and/or email: ( )

Subject property address and/or complete legal description (use attached sheet if necessary):

See attached.

Current Zoning District: PB (Planned Business)

Fee of \$750.00 payable upon filing application. *Copy'd August (?)*

10-23-17  
Date

  
Signature of Applicant

**APPLICATION SUBMITTAL REQUIREMENTS  
PD STEP 3: GENERAL DEVELOPMENT PLAN (GDP)**

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Packet (5 Copies to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓ *Draft Final Packet (1 Copy to Zoning Administrator)*

Date: \_\_\_\_\_ by: \_\_\_\_\_

↓

LSF 541

\_\_\_\_\_ A. Provide Zoning Administrator with a draft GDP Submittal Packet for determination of completeness prior to placing the proposed PD on the Plan Commission agenda for GDP review. The submittal packet shall contain all of the following items:

  X   (1) A **location map of the subject property** and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

  X   (2) A **map of the subject property** for which the PD is proposed:

- X   Showing all lands within 300 feet of the boundaries of the subject property;
- X   Referenced to a list of the names and addresses of the owners of all lands on said map as the same appear on the current records of the Register of Deeds of Walworth County (as provided by the City of Lake Geneva);
- Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- X   Map and all its parts clearly reproducible with a photocopier;
- X   Map size of 11" x 17" and map scale not less than one inch equals 800 feet;
- X   All lot dimensions of the subject property provided;
- X   Graphic scale and north arrow provided.

  X   (3) A **general written description** of proposed PD including:

- X   General project themes and images;
- X   The general mix of dwelling unit types and/or land uses;
- X   Approximate residential densities and non-residential intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio;
- X   The general treatment of natural features;
- X   The general relationship to nearby properties and public streets;
- X   The general relationship of the project to the Master Plan,
- X   A statement of Rationale as to why PD zoning is proposed. This shall identify barriers that the Applicant perceives in the form of requirements of standard zoning districts and opportunities for community betterment the Applicant suggests are available through the proposed PD zoning.

✓ A complete list of zoning standards which will not be met by the proposed PD and the location(s) in which they apply and a complete list of zoning standards which will be more than met by the proposed PD and the location(s) in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the Plan Commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility.

✓ A written description of potentially requested exemption from the requirements of the underlying zoning district, in the following order:

1. Land Use Exemptions;
2. Density and Intensity Exemptions;
3. Bulk Exemptions;
4. Landscaping Exceptions;
5. Parking and Loading Requirements Exceptions.

✓ (4) **A General Development Plan Drawing** at a minimum scale of 1"=100' (11" x 17" reduction shall also be provided by Applicant) of the proposed project showing at least the following information in sufficient detail to make an evaluation against criteria for approval:

✓ A conceptual plan drawing (at 11" x 17") of the general land use layout and the general location of major public streets and/or private drives. The Applicant may submit copies of a larger version of the plan in addition to the 11" x 17" reduction;

✓ Location of recreational and open space areas and facilities and specifically describing those that are to be reserved or dedicated for public acquisition and use;

✓ Statistical data on minimum lot sizes in the development, the approximate areas of large development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the Plan Commission or City Council; and

✓ Notations relating the written information provided in (3), above to specific areas on the GDP Drawing.

✓ (5) **General conceptual landscaping plan** for subject property, noting approximate locations of foundation, street, yard and paving, landscaping, and the compliance of development with all landscaping requirements of this Ordinance (except as noted in the listing of exceptions) and the use of extra landscaping and bufferyards;

✓ (6) **A general signage plan** for the project, including all:

✓ Project identification signs;

✓ Concepts for public fixtures and signs (street light fixtures and/or poles or street sign faces and/or poles) which are proposed to vary from City standards or common practices;

\_\_\_\_\_ (7) **Written justification** for the proposed Planned Development. (See Section 98-905 for requirements of the conditional use procedure.)

**FINAL APPLICATION PACKET INFORMATION  
PD STEP 3: GENERAL DEVELOPMENT PLAN (GDP)**

The process for review and approval of the PD shall be identical to that for conditional use permits per Section 98-905 of the Zoning Ordinance and (if land is to be divided) to that for preliminary and final plats of subdivision per the Municipal Code. All portions of an approved PD/GDP not fully developed within five years of final City Council approval shall expire, and no additional PD-based development shall be permitted. The City Council may extend this five years period by up to five additional years via a majority vote following a public hearing.

- \_\_\_\_\_ **Receipt of 5 full scale copies in blue/line or black/line of complete Final Application Packet by Zoning Administrator:** Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ **Receipt of 25 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ **Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk:** Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ **Class 2 Legal Notice sent to official newspaper by City Clerk:** Date: \_\_\_\_\_ by: \_\_\_\_\_
- \_\_\_\_\_ **Class 2 Legal Notice published on \_\_\_\_\_ and \_\_\_\_\_ by: \_\_\_\_\_**

**APPLICATION SUBMITTAL REQUIREMENTS  
PD STEP 4: PRECISE IMPLEMENTATION PLAN (PIP)**

Prior to submitting the 25 complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments.

- Initial Packet (5 Copies to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓ *Draft Final Packet (1 Copy to Zoning Administrator)* Date: \_\_\_\_\_ by: \_\_\_\_\_
- ↓

\_\_\_\_\_ A. After the effective date of the rezoning to PD/GDP, the Applicant may file an application for the proposed PIP with the Plan Commission. This submittal packet shall contain the following items, prior to its acceptance by the Zoning Administrator and placing the item on the Plan Commission agenda for PIP review.

- \_\_\_\_\_ (1) **A location map** of the subject property and its vicinity at 11" x 17", as depicted on a copy of the City of Lake Geneva Land Use Plan Map;

# *Mau & Associates, LLP.*

*Land Surveying & Planning - Civil & Water Resource Engineering*

400 Security Boulevard, Green Bay, WI 54313

Phone (920) 434-9670 – Fax (920)434-9672

Website: [www.mau-associates.com](http://www.mau-associates.com)

October 20, 2007

RE: 1150 South Wells Street Multi Family Planned Development

To Fred Walling – Zoning Administrator, City of Lake Geneva

Mau and Associates, on behalf of Northern Management, is initiating Step 3, General Development Plan for the application process of redeveloping two lots at 1150 South Wells Street. The development team, Northern Management, has already invested substantial resources into neighboring multi family properties at 311-318 E South Street and 1110-1122 S Wells Street recently. Northern Management seeks to continue redevelopment momentum into the neighborhood by transforming a near-blighted property at 1150 S Wells Street to a market rate 32 unit two story multi family development which can bring cohesive land use to the neighborhood.

The development team has a large portfolio of owning and operating apartment homes throughout Wisconsin. Northern Management offers top quality multi family apartment homes and properties and has shown commitment to invest in Lake Geneva. The team is looking to construct one of their newest apartment models which utilizes high quality materials and offers amenities and functions of which appeal to residents and neighbors alike. An example of the model which is proposed is located at Meadowland Villas in Sheboygan. Images of the building have been attached along with building plans from said project. The website address for this property is provided below:

<http://www.wisconsinapartments.biz/p-property.php?city=Sheyboygan&Sheyboygan=4>

## **Building Features Include**

First floor unit private patios

Second floor cathedral ceilings and private balconies

All units have either 1 or 2 stall attached garage

In unit washer and dryer

Tile backsplashes

Deluxe vinyl plank flooring

High definition laminate countertops

Units Include:

1 Bed / 1 Bath / 1 Car Attached Garage

2 Bed / 2 Bath / 1 Car Attached Garage

2 Bed / 2 Bath / 2 Car Attached Garage

**Approximate Residential Densities**

Units / Acre 12.26 Units / Acre

Floor Area Ratio 52,360 SF / 113,964 SF = 0.46

Impervious Surface Ratio 59.5%

**General treatment to the natural features**

Site currently is one story motel building. Some matures have grown across the site, but generally a motel building with surface parking exists. Site generally flows from north to south with an approximate ten foot drop in elevation from north to south. The site is located within the urban fabric of the community and the layout is designed to complement this. A storm water management pond will be located near the southeastern corner of the property, the low point. A lower point does exist near the center of the west property line. This will be a challenge for engineers to steer storm water from this low point to the storm pond as grading will occur on the site to flatten the surfaces out without having storm water hindering neighboring properties. The site does have a number of mature trees. This is an asset for the property and community. The developers have made preservation of trees on the site a priority. As of the GDP, it would appear approximately 30 trees could have a good chance of being saved and used apart of the landscape plan.

**General relationship to nearby properties and public streets**

The property is located on South Wells Street and is bookended by multi family apartments along Wells. Those properties have been acquired by Northern Management in the recent past and has had substantial reinvestment into the properties. Lands across the street are a mix of industrial and multi family. To the west, single family residential and two unit residential mix.

**General relationship of the project to the Master Plan**

The western side of South Wells Street, north of South Street, calls for Planned Mixed Use north through Lake Geneva Road. One of the four components the of the mix of land uses is multi family residential.

**Rationale to why PD zoning is proposed:**

As far as a land use, multi family residential makes sense on this site and the surrounding neighbors. To make this product work, 32 units are a necessary component for the developer. Symmetrically, the layout of the buildings makes sense compared to the courtyard/patio facing fronts and parking loading rear of buildings. Two buildings along South Wells forms a street edge and allows for storm water management to be placed in its most natural state on the site. Two buildings facing along the north and south property lines complement existing developments while having an interior parking courtyard which is shielded from the much of the public. With the four units proposed, the development can fill a void in the block with new investment dollars and a design which focuses on placing the buildings and people into the front of the neighborhood and tucking cars and parking to the rear.

However, some of the zoning density standards cannot be met with a straight rezone. While densities remain lower than existing multi family surrounding the site, a planned development is needed to

address these numbers. This development projects 32 Units on 2.61 acres equaling 12.26 units / acre. This ratio is less than surrounding multi family development ratios; 14.49 units / acre to the south and 15.25 units / acre to north. However, the ratio gives a good balance to the rest of the established neighborhood insomuch that the scale is not underwhelmingly low in comparison on an urban county highway.

This site plan shows approximately 0.595 impervious surface ratio in its current configuration. Buildings have been placed within footprint to account for yard setbacks and allot enough land to construct a storm water management pond at the southeast corner of the parcel. The southeast corner makes sense for storm water location as it is the low point of the property and parcel lines are not aligning at 90 degree angles. The acute angle of the southeast lot corner makes building placement less than ideal. Storm water pond sizes have much more flexibility.

This site plan shows 96 parking stalls. Each building is designed to have 22 attached garage stalls. Each of the eight unit buildings will have (3) two stall garages and (5) one stall garages. Two four unit detached garages near the rear of the property is planned to accommodate residents who seek to have an additional garage stall. Site averages to 3.0 parking stalls / unit.

The team is seeking Planned Development status. We are seeking this status because we feel the product which is being proposed make the most sense for the neighborhood. The proposed apartment product has proven to be desirable to people of all ages. We feel the size and scope of the development would tie very well to the existing multi family homes. We acknowledge that two-family residential homes border the western edge of the property. This plan situates buildings to stay within a 30 foot rear yard setback as not to overwhelm the existing homes. Much of the rear property line has an existing tree line. To ensure further visual separation from vehicular lights, a planted dense screening line is proposed along the paved areas.

The site is currently zoned Planned Business (PB). This development is being submitted to be a Planned Development using the framework of Multi-family Residential (MR-8) standards. However, some land use exemptions and density/intensity exemptions are needed in order to meet this zoning district. Current zoning is PB. Multi family is not a permitted use in PB.

## List of Zoning Standards which will not be met and written description of exemptions

### *Density and Intensity Exemptions*

Table 98-304 City of Lake Geneva Residential Density Standards

Multi Family Residential

Max Gross Density Code 8.0

*Request 12.26 Units/Acre*

Minimum Lot Area 4,500 sf per du

*Request 3,561 sf per du*

Minimum Landscape Surface Ratio Code 50%

*Request 40.5%*

Minimum Zoning District Area 10 acres

*Request 2.61 acres individually as a project. When combined with neighboring lots to north and south, district becomes over 10 acres. This lot is the missing middle.*

FAR Ratio =0.275

*Request 0.46 Floor area ratio is 52,360 SF / 113,964 SF = 0.46*

### *Landscaping Exemptions*

Landscaping plan is shown on general conceptual landscaping plan. City of Lake Geneva uses a point system to evaluate landscaping plans. These systems use foundations, developed lot, street frontage, and parking requirements to factor in point totals. Additionally, landscaping is required for bufferyards at areas where zoning standards are not shared. The western portion of the lot is against areas zoned SR4. This will require a 0.3 opacity value. In past discussions, a dense screening has been noted along the western property line. The general conceptual landscaping plan does note this. However, exact planting species and locations will be noted at PIP staging as engineering of the site will take place for this step and will dictate grading which will impact vegetation.

Steps which will be used to best satisfy buffer yard requirements will include the potential to use the following:

Existing Fence

Existing Vegetation/Trees

Future Fencing

Future Vegetation/Trees

Engineered Site Grading

The site does have a number of mature trees. This is an asset for the property and community. The developers have made preservation of trees on the site a priority. As of the GDP, it would appear approximately 30 trees could have a good chance of being saved and used apart of the landscape plan. Engineered grading will dictate if trees can be useful and will play a role in the preservation.

Landscaping Requirements for Paved Areas will require approximately 385 points because of the size of the paved lot. Requirements note this landscaping must occur within 10 feet of the paved area. However, obstacles occur as many of the areas in the project where pavement ends is against a building, limiting the area for landscaping. Additionally,

No foreseen Land Use Exemptions

No foreseen Bulk Exemptions

No foreseen Parking and Loading Exceptions

In closing,

We believe this planned development strengthens the Wells Street corridor and fills in a gap of underused property within the neighborhood. Northern Management has already made a firm commitment to neighboring properties which were in need of reinvestment. This proposal seeks to continue reinvestment along what would be approximately 1000 linear feet of South Wells Street.

Please to consider this development at the forthcoming November Plan Commission meeting

Kind Regards

Jonathon LeRoy

[jleroy@mau-associates.com](mailto:jleroy@mau-associates.com)

CC:

Alan Kupsik - Mayor of the City of Lake Geneva

[akupsik@cityoflakegeneva.com](mailto:akupsik@cityoflakegeneva.com)

Blaine Oborn – City Administrator

[cityadmin@cityoflakegeneva.com](mailto:cityadmin@cityoflakegeneva.com)

Richard Torhorst – Lake Geneva Development Corporation

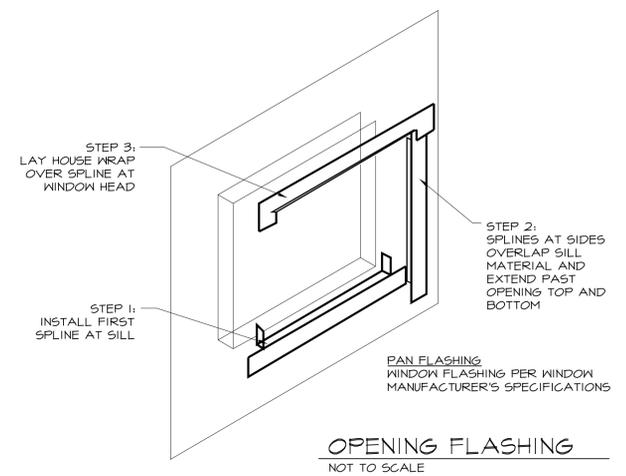
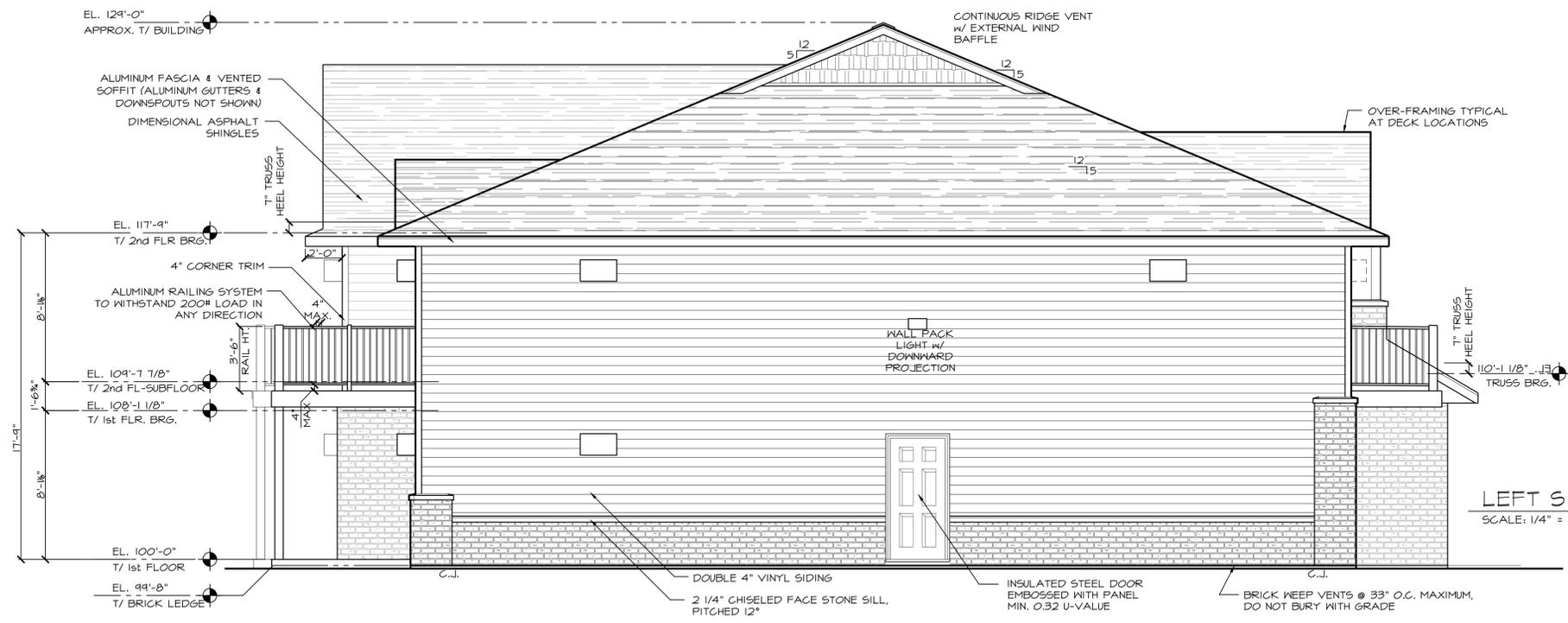
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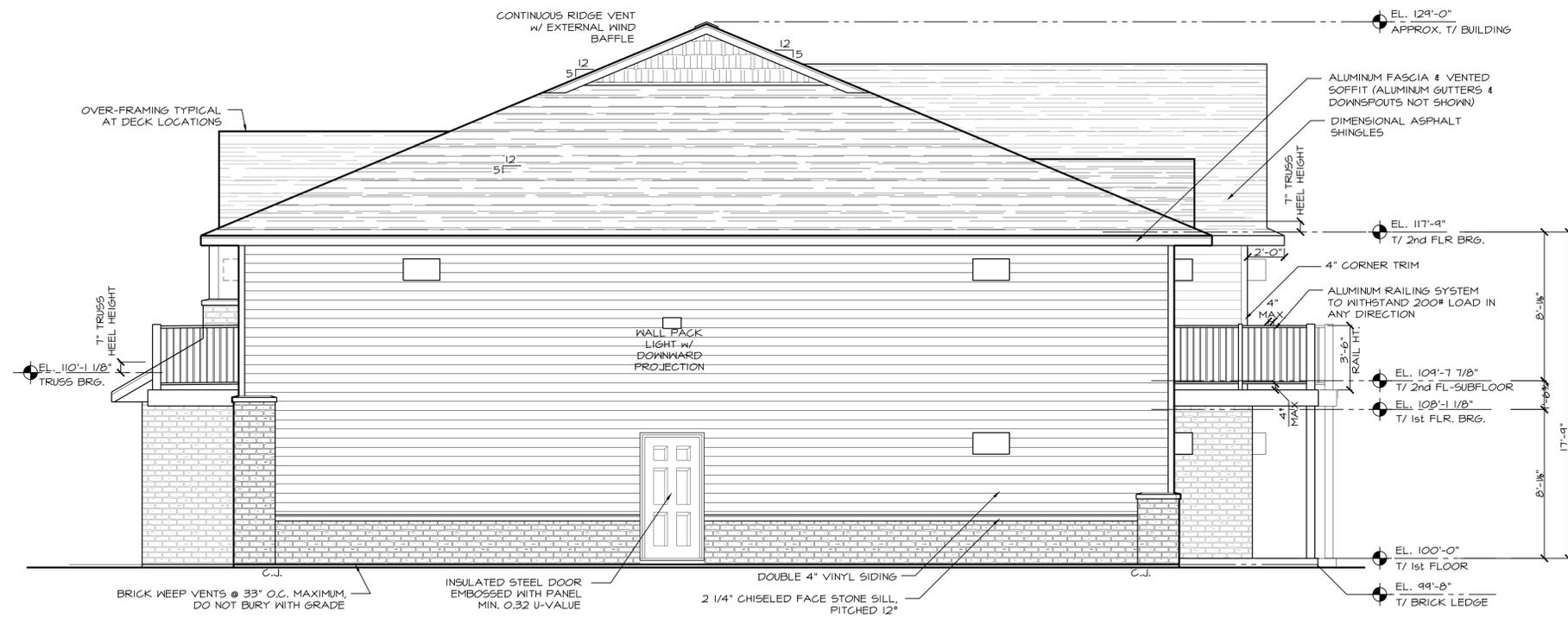


LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



STREET ELEVATION  
SCALE: 1/4" = 1'-0"

REVISION	DATE
1	9/16/2015
2	12/19/2015



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**PARTIAL BACK ELEVATION**  
SCALE: 1/4" = 1'-0"

**Robert Mangen**  
 8 unit with attached garages - # 871411  
 These plans are completed by:  
 LaPlant Architecture, LLC and Robert Mangen, No reproduction without written permission. Date, 2/2015  
 CORPORATE OFFICE:  
 333 Bishop's Way # 160  
 Brookfield, WISCONSIN 53005  
 Telephone: (262) 860-8700  
 Contact: Scott Howter  
 Email: scott@wisconsinapartments.biz

**Meadowland Villas 8 Unit Apartment Building with Attached Garages**  
SHEBOYGAN, WISCONSIN

REVISION	DATE
1	9/16/2015
2	12/19/2015

DATE: 9/4/2015  
PROJECT NO: 871411  
SHEET  
**A 1.2**



**LaPlant**  
Architecture, LLC

EMAIL: [lplantarchitecture@yahoo.com](mailto:lplantarchitecture@yahoo.com)  
OFFICE: 926 Willard Drive  
GREEN BAY, WISCONSIN  
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GREEN BAY, WISCONSIN 54113  
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**Robert Mangen**

8 unit with attached garages - # 871411  
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Mangen, No reproduction without written permission. Date, 2/20/15

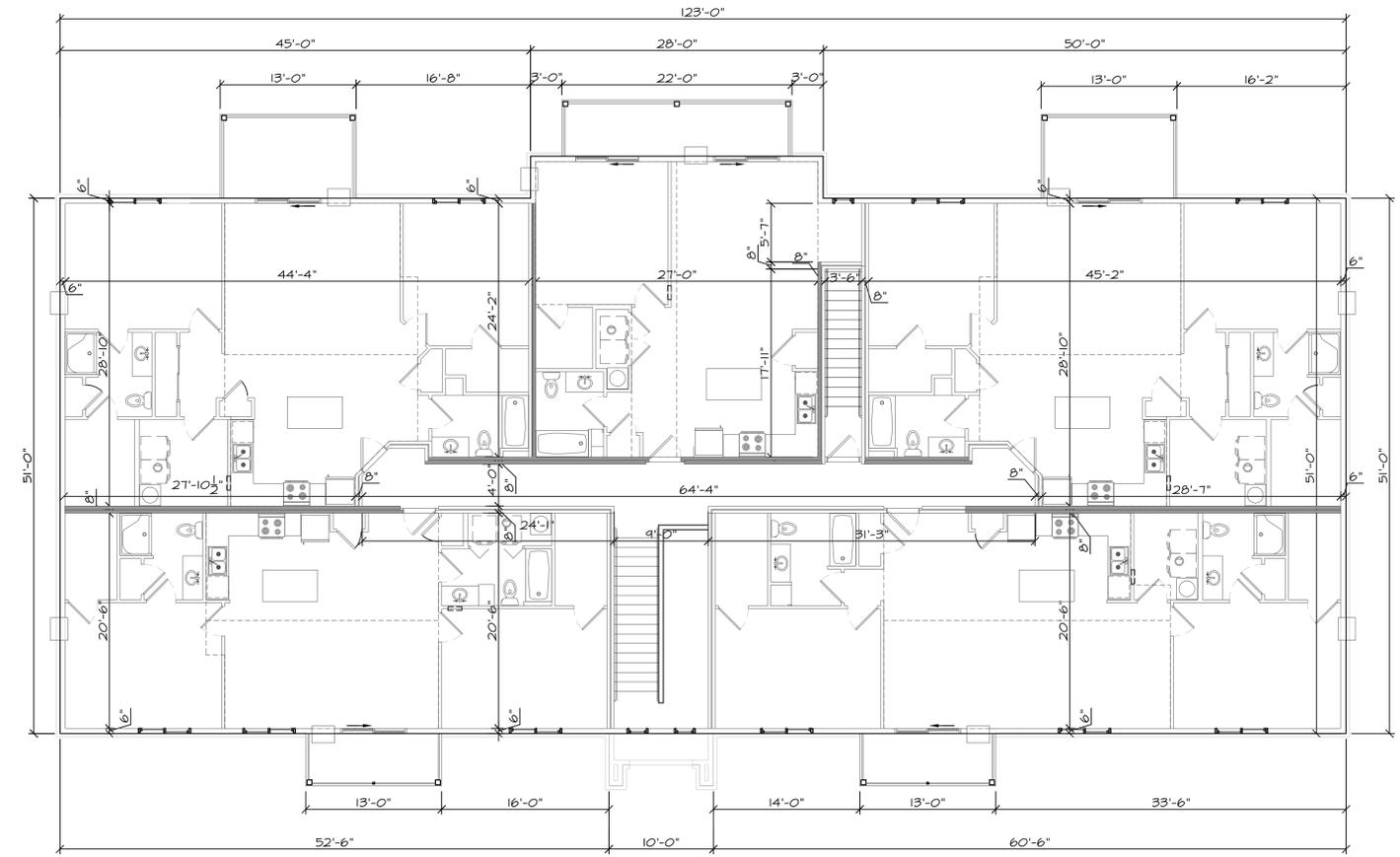
CORPORATE OFFICE:  
333 Bishop's Way # 160  
Brookfield, WISCONSIN 53005  
Telephone: (262) 860-8700  
Contact: Scott Howter  
Email: [scott@wisconsinapartments.biz](mailto:scott@wisconsinapartments.biz)

**Meadowland Villas 8 Unit Apartment  
Building with Attached Garages**  
SHEBOYGAN, WISCONSIN

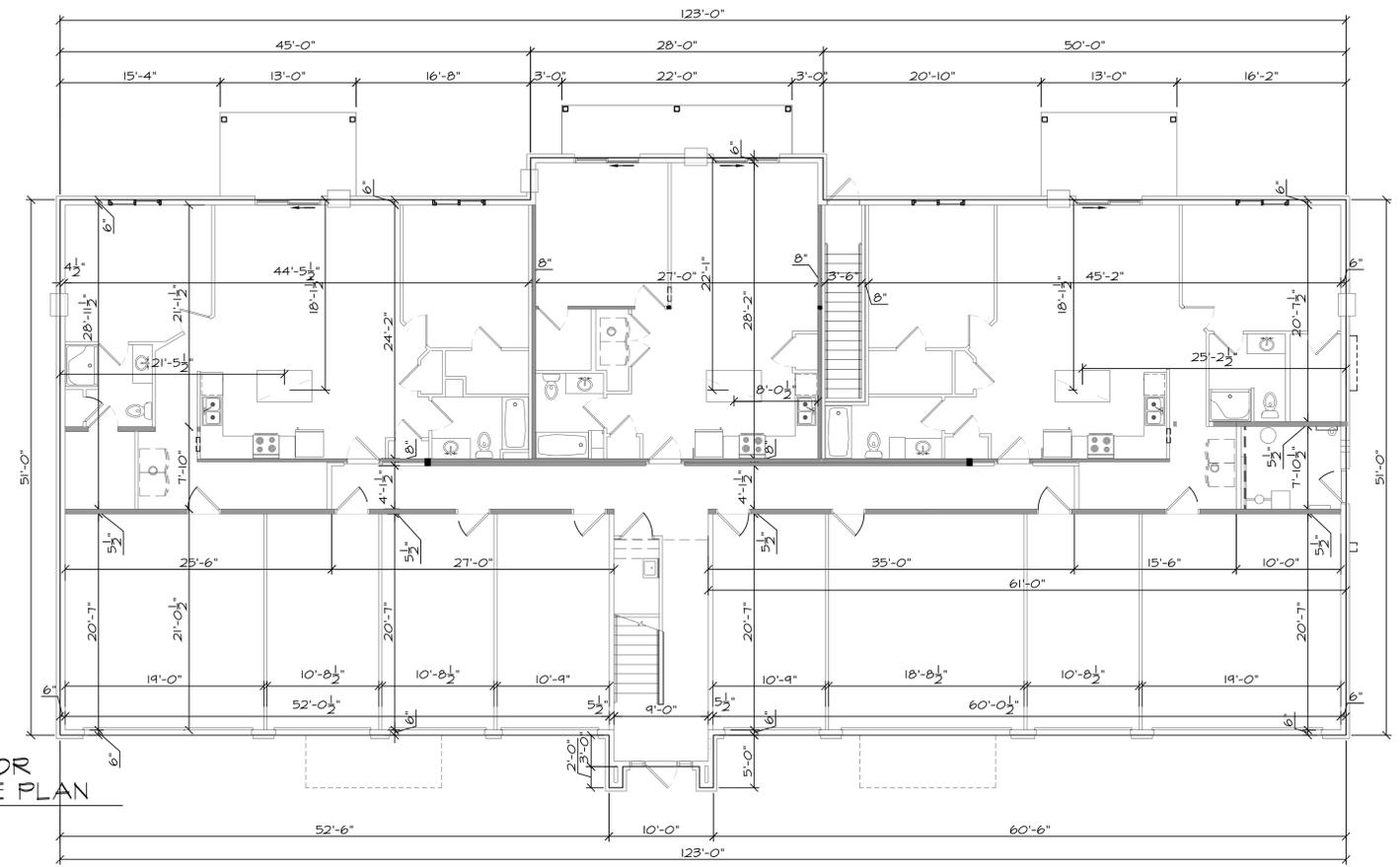
REVISION	DATE
1	9/16/2015
2	12/19/2015

DATE: 9/4/2015  
PROJECT NO. 871411

SHEET  
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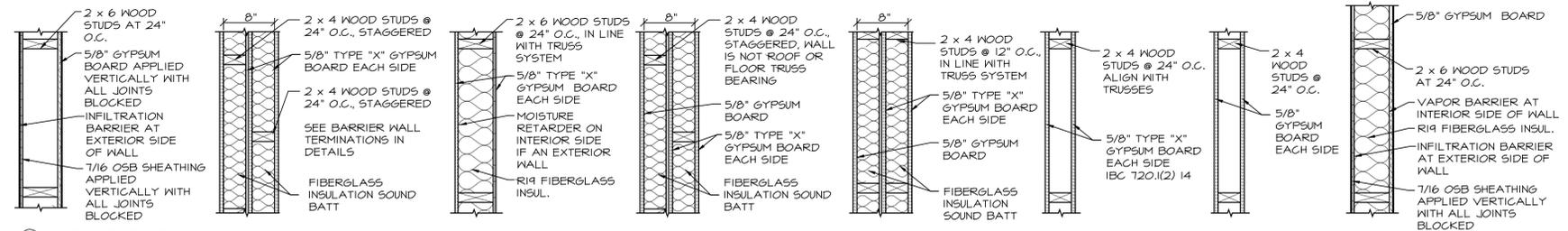


**SECOND FLOOR  
COMPOSITE PLAN**  
SCALE: 1/8" = 1'-0"



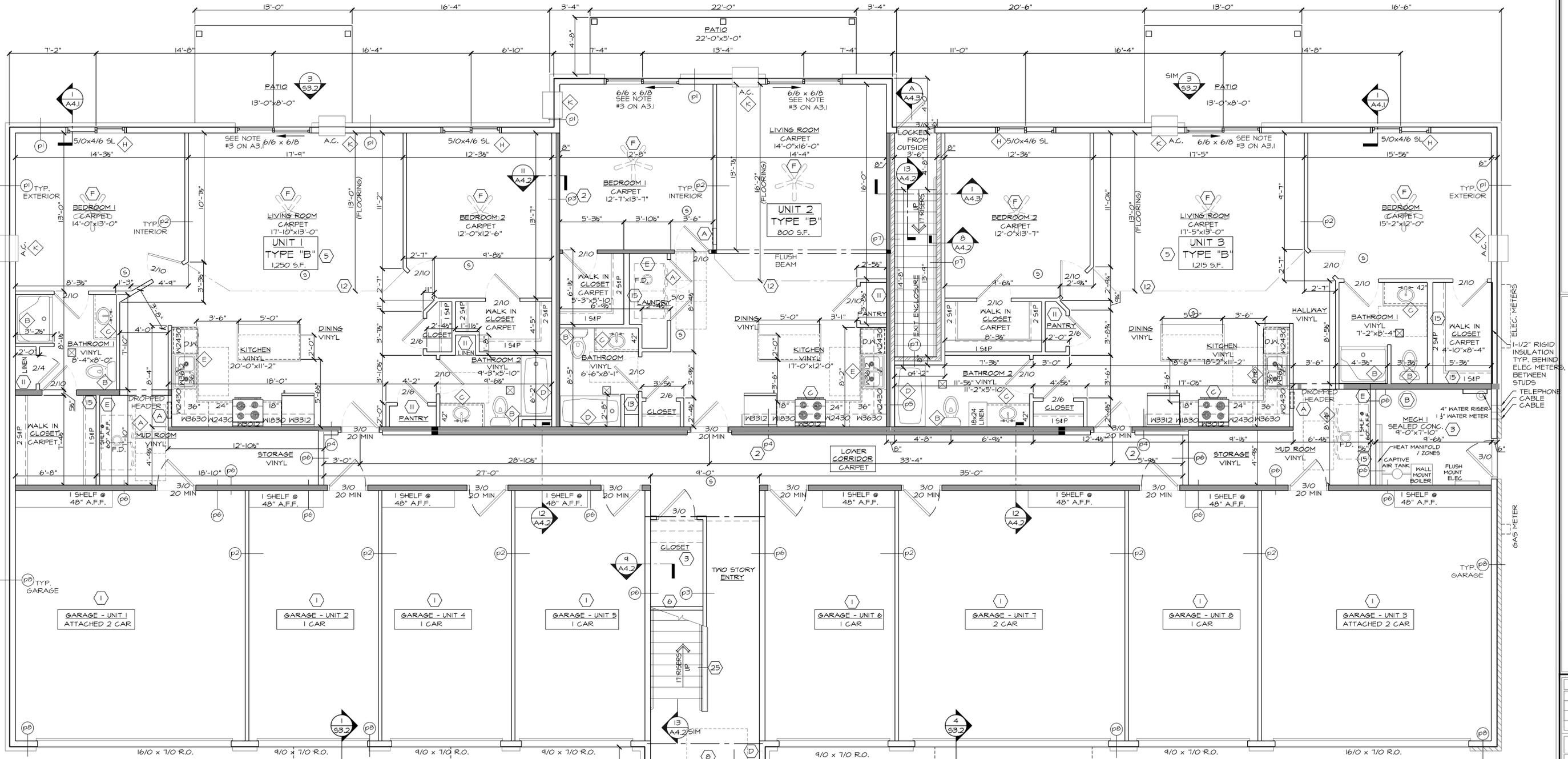
**FIRST FLOOR  
COMPOSITE PLAN**  
SCALE: 1/8" = 1'-0"

- DWELLING UNIT PLAN NOTES**
- 60 MINUTE RATED FLOOR / CEILING ASSEMBLY; FLOOR HAS 3/4" GYPCRETE OVER 3/4" FLOOR DECK, CEILING HAS 5/8" TYPE "X" GYPSUM ON RESILIENT CHANNEL @ 12" O.C., INSULATION INCLUDES REINFORCED POLY WITH R30 BIB SEE (1) G.A. FILE # FC 5918 ON SHEET T1.
  - 1 HOUR RATED WALL, 1 LAYER 5/8" TYPE "X" GYPSUM EACH SIDE OF WALL. FIRE RATED THIS SIDE OF WALL. SEE (2) IBC 1201(2) ON SHEET T1.
  - 1 HOUR FINISH RATED CEILING, 2 LAYERS 5/8" TYPE "X" GYPSUM. SEE (3) IBC 1201(3) ON SHEET T1.
  - 2 HOUR FIRE SEPARATION WALL, 4" WIDE, 2 LAYERS TYPE X GYPSUM BOARD EACH SIDE OF STUDS, TO THE UNDERSIDE OF 4'-0" MINIMUM FIRE-TREATED ROOF DECK. SEE (2) IBC 1201(2) ON SHEET T1.
  - 60 MINUTE RATED FLOOR / CEILING ASSEMBLY; FLOOR HAS 3/4" GYPCRETE OVER 3/4" FLOOR DECK, CEILING HAS 5/8" TYPE "X" GYPSUM ON RESILIENT CHANNEL @ 12" O.C., SOUND INSULATION, 3 1/2" BATT. SEE (1) G.A. FILE # FC 5918 ON SHEET T1.
  - 66 MIN. FINISH RATING, (2) LAYERS 5/8" TYPE "X" GYPSUM ON INSIDE FACE OF STUDS. SEE (3) IBC 1201(3) ON SHEET T1.
  - PLASTERED SHELF ABOVE @ 8'-1" A.F.F.
  - 10' STUD AND CEILING HEIGHT @ ENTRY.
  - ATTIC SCUTTLE PANEL, APPROXIMATELY 21"x35". LOCATE BETWEEN TRUSSES, SEE DETAIL 514-2.
  - GUARD RAIL 42" HIGH ROUGH DIMENSION WITH WOOD TOP. BRACE FOR STABILITY OF 200# LOAD.
  - STACK OF 4 SHELVES, START AT 28" A.F.F. THEN 14" O.C.
  - FLOOR TRANSITION
  - 18" DEEP FACE-FRAMED LINEN FROM 3'-0" A.F.F. TO 1'-0" A.F.F. PLASTER AND PAINT INTERIOR WITH 3 PREFINISHED SHELVES. SEE DETAIL 2/A3.1 FOR ELEVATION
  - SLOPED FLOOR OR CEILING.
  - 2X6 INTERIOR WALL



**PARTITION TYPES**  
SCALE: 1" = 1'-0"

INDICATES INTERIOR BEARING WALLS  
INDICATES INDEPENDENT FIRE BARRIER WALLS



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**LaPlant Architecture, LLC**  
 EMAIL: laplan@architecture@yahoo.com  
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 GREEN BAY, WISCONSIN  
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 Telephone: (920) 737-9769

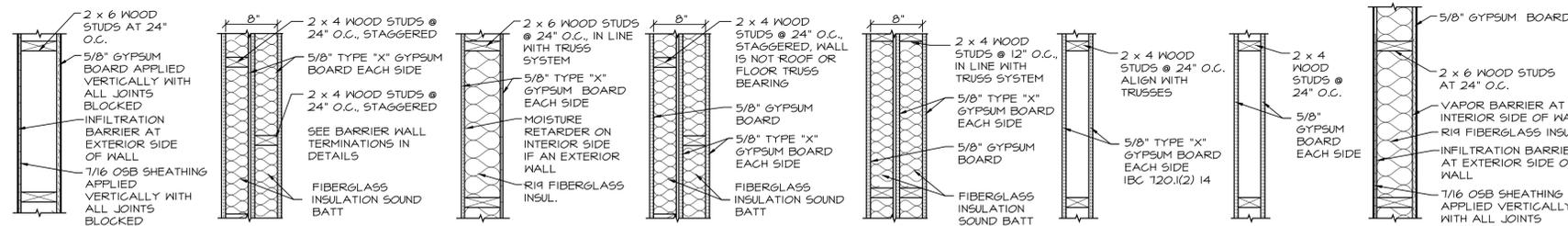
**Robert Mangen**  
 Unit with attached garages - # 871411  
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**Meadowland Villas 8 Unit Apartment Building with Attached Garages**  
 SHEBOYGAN, WISCONSIN

REVISION	DATE
1	9/16/2015
2	12/19/2015

DATE: 9/4/2015  
 PROJECT NO. 871411  
 SHEET  
**A 2.1.1**

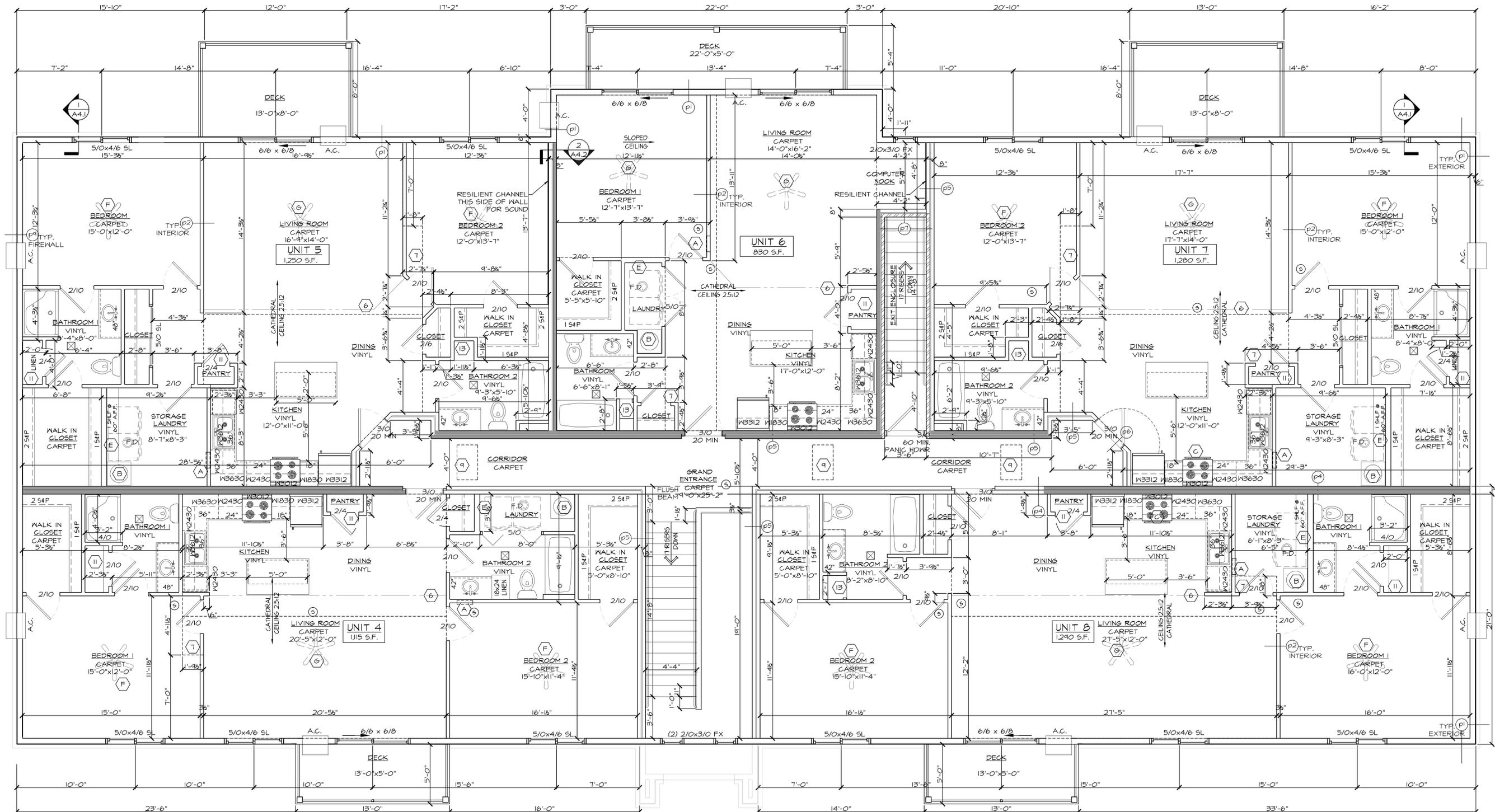


**PARTITION TYPES**  
SCALE: 1" = 1'-0"

INDICATES INTERIOR BEARING WALLS  
INDICATES INDEPENDENT FIRE BARRIER WALLS

- PLAN GENERAL NOTES**
- ALL WINDOWS AND PATIO DOORS ARE VINYL WITH GYPSUM AND PLASTER JAMB RETURNS. WINDOWS ARE TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS AT ALL BEDROOMS WITH CLEAR OPENING MAXIMUM 44" A.F.F. (IBC 1026)
  - DOORS: ALL FIRST FLOOR 3/0 DOORS AND PATIO DOORS HAVE LOW PROFILE THRESHOLDS. GARAGE DOORS ARE FIRE RATED, CLOSERS ARE REQUIRED. (IBC 115.4.1) CORRIDOR ENTRANCE DOORS TO UNITS ARE STEEL INSULATED FIRE RATED DOORS, CLOSERS ARE REQUIRED. EXTERIOR ENTRY DOOR IS ALUMINUM STOREFRONT WITH CLOSER FOR SECURITY. (IBC 715.4.7) EXTERIOR EGRESS DOORS ARE STEEL INSULATED WITH CLOSER AND LOCKED TO THE OUTSIDE FOR SECURITY.
  - GARBAGE DISPOSAL UNDER SINKS (OMIT IN TYPE A UNIT).
  - AIR CONDITIONER IN WALL SLEEVE. 220V CIRCUIT. REMOTE CONTROL REQUIRED FOR ACCESSIBILITY.
  - ALL LAUNDRY CLOSETS HAVE CEILING LIGHT, ONE SHELF.

- DWELLING ELECTRICAL / MECHANICAL NOTES**
- INDIVIDUAL DWELLING UNIT ELECTRIC SERVICE PANEL LOCATION, 36" x 36" CLEAR FLOOR SPACE. PANEL HEIGHT TO COMPLY WITH ICC/ANSI A111.1-2003, SECTION 309 IN ACCESSIBLE UNITS.
  - WATER HEATER IN BASE PAN
  - MICROWAVE HOOD COMBINATION ABOVE RANGE. (IN TYPE "A" UNIT - ACCOMMODATE COUNTERTOP MICROWAVE)
  - FLUSH WALL MOUNT ELECTRIC HEAT.
  - LAUNDRY PLUMBING HOOKUP AND EXHAUST WALL, AVOID RATED WALL. 2x6 WALL, FIELD VERIFY LOCATION FOR POTENTIAL TRUSS INTERFERENCE.
  - 43" CEILING FAN
  - 52" CEILING FAN



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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Unit with attached garages - # 871411  
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SHEET **A 2.2.1**

R-2, TYPE "A" AND "B" UNIT NOTES:

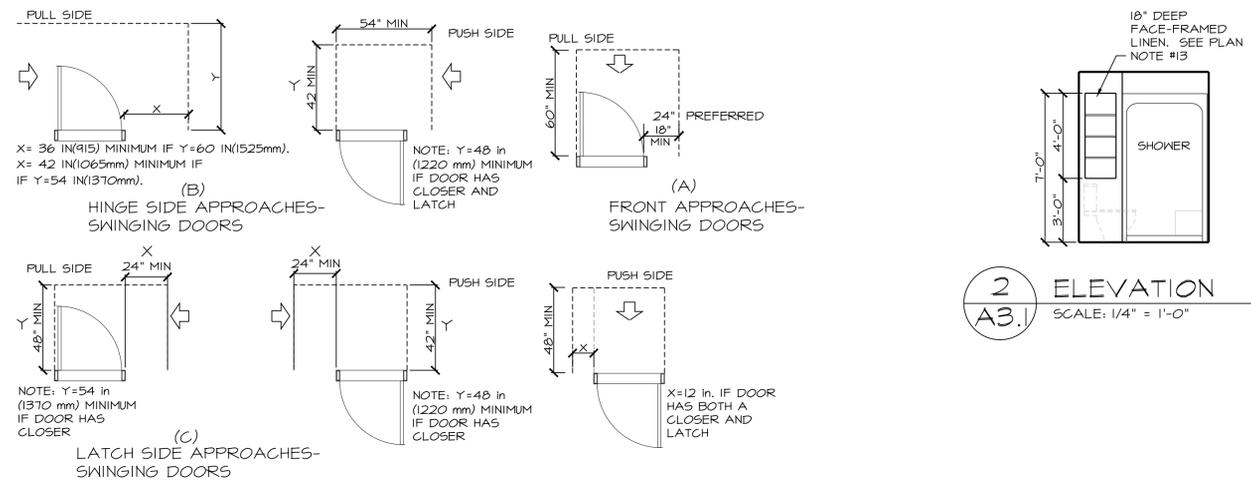


GENERAL NOTES (SEE SHEET A3.1 FOR MOUNTING HEIGHTS)

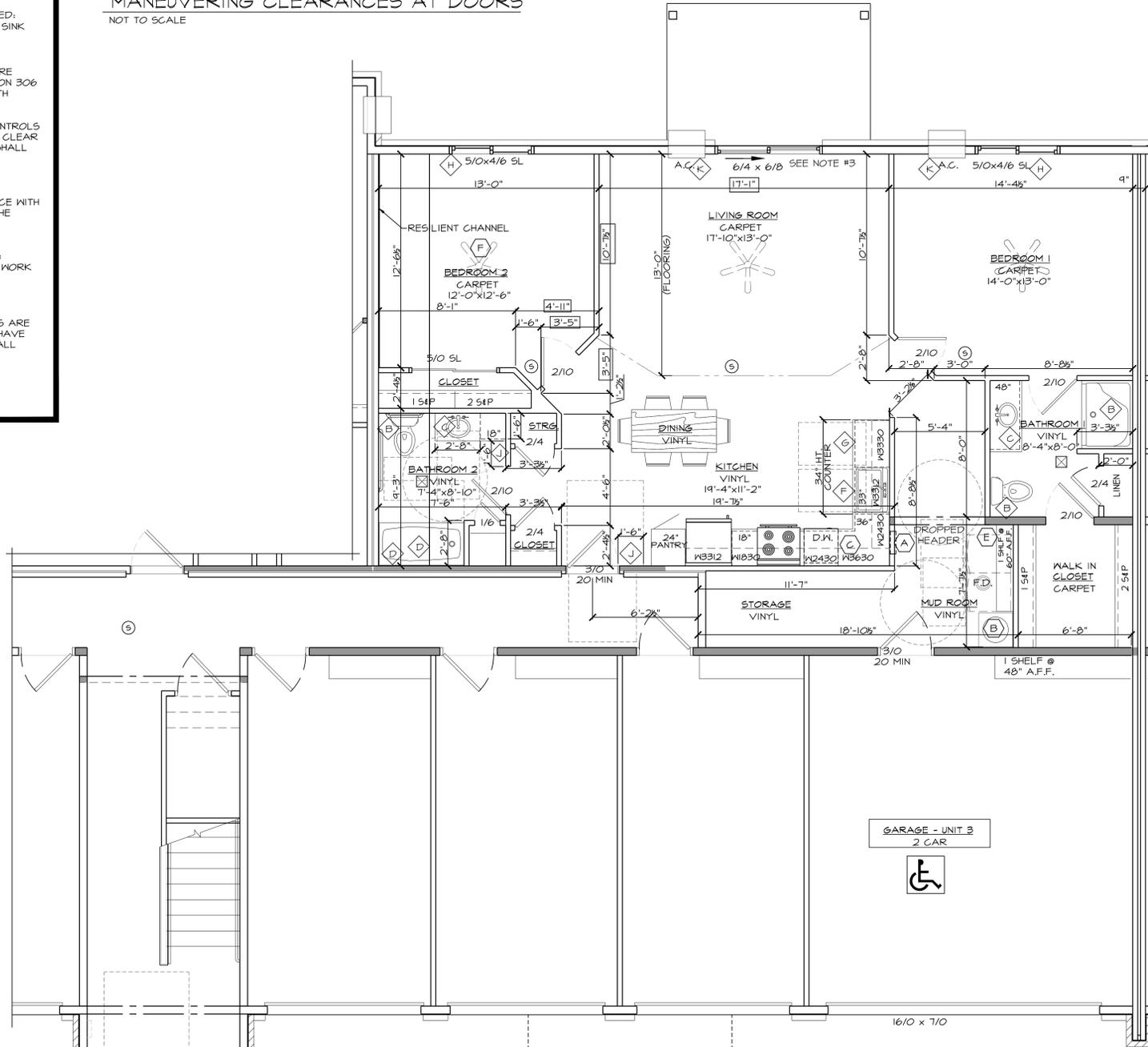
- TYPE "A" UNITS SHALL COMPLY WITH ICC/ANSI A117.1-2003; SECTION 1003  
 TYPE "B" UNITS SHALL COMPLY WITH ICC/ANSI A117.1-2003; SECTION 1004
- ICC/IBC-2009, Sec. 1107.6.2.1 - (APARTMENT HOUSES) TYPE "A" UNITS IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 20 DWELLING UNITS OR SLEEPING UNITS, AT LEAST TWO (2) PERCENT BUT NOT LESS THAN ONE OF THE UNITS SHALL BE A TYPE "A" UNIT. ALL UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS AND THE REQUIRED NUMBER OF TYPE "A" UNITS. ACCESSIBLE GARAGE COUNTS ARE BASED ON THE NUMBER OF ACCESSIBLE UNITS.
  - ICC/IBC-2009, Sec. 1107.7.1 - TYPE "B" UNITS - AT LEAST ONE STORY SHALL BE PROVIDED WITH AN ACCESSIBLE ENTRANCE AND ALL UNITS SHALL BE TYPE "B" UNITS. FIRST FLOOR IS ACCESSIBLE AND ALL DOORS WITH LOW PROFILE THRESHOLD.
  - ICC/ANSI A117.1-2003; Sec. 1003.5.1 - PRIMARY ENTRANCE AND PASSAGE DOORS AND DOORWAYS SHALL HAVE A 32" MIN. CLEAR WIDTH MEASURED FROM THE JAMB TO THE FACE OF THE OPEN DOOR, WITH THE DOOR OPEN 90°, AND ADA COMPLIANT THRESHOLDS. TYPE "A" UNITS SHALL ALSO HAVE ADA COMPLIANT LEVER HARDWARE, OPENING FORCE, BOTTOM DOOR SURFACE, VISION LITE AND MANEUVERING CLEARANCES. TYPE "B" MANEUVERING CLEARANCES ARE ONLY REQUIRED ON THE OUTSIDE (CORRIDOR SIDE) OF THE PRIMARY ENTRANCE. EXCEPTION- IN BOTH "A" AND "B" UNITS - EXTERIOR SLIDING PATIO DOORS ARE TO HAVE A CLEAR OPENING OF 34" NOMINALLY. A 3/4" MAX. THRESHOLD IS ALLOWED PROVIDED THEY ARE BEVELED WITH A SLOPE NOT GREATER THAN 1:2.
  - ICC/ANSI A117.1-2003; Sec. 404 - TYPE "A" UNITS - DOOR HARDWARE, HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE SHALL BE 5.0 LB MAXIMUM. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34" A.F.F., MIN. AND 48" A.F.F. MAX.
  - 62.101 PROVIDE LEVER DOOR HANDLES OR SINGLE LEVER CONTROLS FOR PLUMBING FIXTURES AT REQUEST OF TENANT.
  - ICC/ANSI A117.1-2003; Sec. 1003.9 & 1004.9 - OPERABLE PARTS, SUCH AS FAUCETS, BATH TUB & SHOWER CONTROLS, WATER CLOSET FLUSH CONTROLS, LIGHT SWITCHES, ELECTRICAL RECEPTACLES, CIRCUIT BREAKERS, AND OTHER CONTROLS SHALL COMPLY WITH SEC. 304. HAVE A 30"x48" CLEAR FLOOR SPACE AND BE 15" A.F.F. MIN. / 48" A.F.F. MAX. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE SHALL BE 5.0 LB MAXIMUM. APPLIANCE CONTROLS AND CIRCUIT BREAKERS IN TYPE "A" UNITS SHALL ALSO COMPLY.
  - ICC/ANSI A117.1-2003; Sec. 1003.11 & 1004.11 - WATER CLOSETS SHALL COMPLY INCLUDING CLEAR FLOOR SPACE, HEIGHT OF WATER CLOSET (15'-11" A.F.F. - MEASURED TO TOP OF SEAT) AND OPERABLE CONTROLS. FLUSH CONTROLS SHALL BE ON THE OPEN SIDE OF THE WC.
  - ICC/ANSI A117.1-2003; Sec. 1003.11.9 - SHOWERS, IF IN TYPE "A" UNIT - ACCESSIBLE BATHROOMS OR IS THE ONLY BATHING FACILITY IN THE DWELLING UNIT, SHALL COMPLY WITH SECTION 609, INCLUDING CLEAR FLOOR SPACE AND CONTROLS. EXCEPTION 3 - SEATS AND GRAB BARS ARE NOT REQUIRED IF REINFORCEMENT FOR THE SEAT AND GRAB BARS IS PROVIDED.
  - ICC/ANSI A117.1-2003; SEC. 1003.12.6 & 1004.12.2; EACH APPLIANCE SHALL HAVE A 30"x48" CLEAR FLOOR SPACE POSITIONED FOR PARALLEL OR FORWARD APPROACH. CLEAR FLOOR SPACES ARE PERMITTED TO OVERLAP.

PLAN NOTES

- ICC/ANSI A117.1-2003; Sec. 1002.10, Sec. 1003.1 AND Sec. 1004.1 WASHING MACHINES AND CLOTHES DRYERS SHALL COMPLY WITH Sec. 611. 30" x 48" CLEAR FLOOR SPACE, POSITIONED FOR A PARALLEL APPROACH, SHALL BE PROVIDED. THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE APPLIANCE. TYPE "A" UNITS - IF W/D IS IN A ROOM, A 60" DIA. OR T-SHAPED TURNING SPACE IS REQUIRED. IF IN A CLOSET, THE 30"x48" CLEAR SPACE CAN BE LOCATED 10 IN. FROM THE FACE OF THE APPLIANCES AND MAY REQUIRE SLIDING DOORS OR NO DOORS.
- ICC/ANSI A117.1-2003; SEC. 1003.11.4 AND Sec. 1004.11.2 - REINFORCEMENT SHALL BE PROVIDED FOR THE FUTURE INSTALLATION OF GRAB BARS AND SHOWER SEAT AT WATER CLOSETS, BATH TUBS, AND SHOWER COMPARTMENTS. (TYPE "B" UNITS - REINFORCING FOR SHOWER SEAT IS NOT REQUIRED IF THE SHOWER IS LARGER THAN 36" x 36". REINFORCING FOR GRAB BARS IS STILL REQUIRED.)
- ICC/ANSI A117.1-2003; SEC. 1003.11.5 & 1004.11.3.1 - LAVATORIES SHALL COMPLY WITH SECTION 606. 34" MAX. HEIGHT TO SINK RIM, HAVE A 30" x 48" CLEAR FLOOR SPACE (TYPE "A"- FORWARD APPROACH, TYPE "B"- FORWARD OR PARALLEL APPROACH), TOE AND KNEE CLEARANCE, AND EXPOSED PIPES SHALL BE INSULATED.  
 EXCEPTION: CABINETRY SHALL BE PERMITTED UNDER THE LAVATORY, PROVIDED:  
 (A) THE CABINETRY SHALL BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE LAVATORY  
 (B) THE FLOOR FINISH EXTENDS UNDER SUCH CABINETRY  
 (C) THE WALLS BEHIND AND SURROUNDING CABINETRY ARE FINISHED
- ICC/ANSI A117.1-2003; SEC. 1003.11.6 - MIRRORS ABOVE LAVATORIES SHALL HAVE A BOTTOM EDGE 40" MAX. A.F.F.
- ICC/ANSI A117.1-2003; SEC. 1003.11.8 - BATH TUBS SHALL HAVE REINFORCING PER NOTE # 6 ABOVE, A CLEAR FLOOR SPACE - 30" x LENGTH OF TUB, CONTROLS THAT COMPLY WITH SEC. 309.4, A HAND SHOWER THAT COMPLIES WITH SEC. 607.6 AND BATH TUB ENCLOSURES, IF PROVIDED, SHALL COMPLY WITH SEC. 607.7.
- ICC/ANSI A117.1-2003; Sec. 1003.12.4 - A 30" x 48" CLEAR SPACE SHALL BE PROVIDED AT THE KITCHEN SINK, CENTERED ON THE SINK (OR ONE SINK BOWL IN A MULTI-BOWL SINK) FOR A FRONT APPROACH IN TYPE "A" UNITS AND PARALLEL APPROACH IN TYPE "B" UNITS. EXCEPTION: CABINETRY SHALL BE PERMITTED TO BE ADDED UNDER THE SINK, PROVIDED:  
 (A) THE CABINETRY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE SINK  
 (B) THE FLOOR FINISH EXTENDS UNDER SUCH CABINETRY  
 (C) THE WALLS BEHIND AND SURROUNDING CABINETRY ARE FINISHED.
- ICC/ANSI A117.1-2003; Sec. 1003.12.4 - (UNIT TYPE "A") A KITCHEN SINK MAY NOT BE MORE THAN 34 INCHES ABOVE THE FLOOR AND TOE/KNEE CLEARANCE COMPLYING WITH SECTION 306 SHALL BE PROVIDED. THE SINK BOWL SHALL NOT BE MORE THAN 6 1/2 INCHES DEEP WITH FAUCETS COMPLYING WITH SECTION 304. EXPOSED PIPES MUST BE INSULATED.
- ICC/ANSI A117.1-2003; Sec. 1003.12.6 - (UNIT TYPE "A") ALL APPLIANCES SHALL HAVE CONTROLS THAT COMPLY WITH SEC. 1003.9 AND BE WITHIN THE REACH RANGES AND SHALL HAVE A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL OR FORWARD APPROACH. DISHWASHER SHALL HAVE A CLEAR FLOOR SPACE ADJACENT TO THE DISHWASHER DOOR. REFRIGERATOR/FREEZER SHALL HAVE AT LEAST 50% OF THE FREEZER COMPARTMENT SHELVES, INCLUDING THE BOTTOM OF THE FREEZER 54" MAX. A.F.F.
- ICC/ANSI A117.1-2003; Sec. 1002.12.3 - (UNIT TYPE "A") A KITCHEN 30" WIDE WORK SURFACE WITH KNEE CLEARANCE PER SECTION 306 FOR A FRONT APPROACH SHALL BE PROVIDED. THE COUNTER TO BE NO HIGHER THAN 34 INCHES ABOVE THE FLOOR.  
 1003.12.3.1 - WORK AREA 30" x 48" CLEAR FLOOR SPACE - FORWARD APPROACH  
 EXCEPTION: CABINETRY SHALL BE PERMITTED UNDER THE WORK SURFACE, PROVIDED:  
 (A) THE CABINETRY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE WORK SURFACE  
 (B) THE FLOOR FINISH EXTENDS UNDER SUCH CABINETRY  
 (C) THE WALLS BEHIND AND SURROUNDING CABINETRY ARE FINISHED
- ICC/ANSI A117.1-2003; Sec. 1003.13 WINDOWS - (UNIT TYPE "A") WHERE OPERABLE WINDOWS ARE PROVIDED, AT LEAST ONE WINDOW IN EACH SLEEPING, LIVING, OR DINING SPACE SHALL HAVE OPERABLE PARTS COMPLYING WITH SEC. 304. EACH REQUIRED OPERABLE WINDOW SHALL HAVE OPERABLE PARTS COMPLYING WITH SEC. 304. SEE NOTE #3 ABOVE.
- CRITICAL ACCESSIBLE DIMENSION
- AIR CONDITIONERS TO HAVE REMOTE CONTROLS (SEE ACCESSIBLE NOTE #5 ABOVE.)



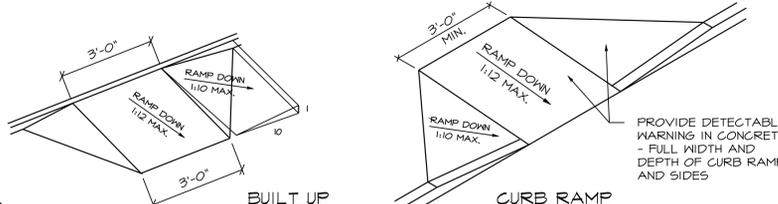
MANEUVERING CLEARANCES AT DOORS  
 NOT TO SCALE



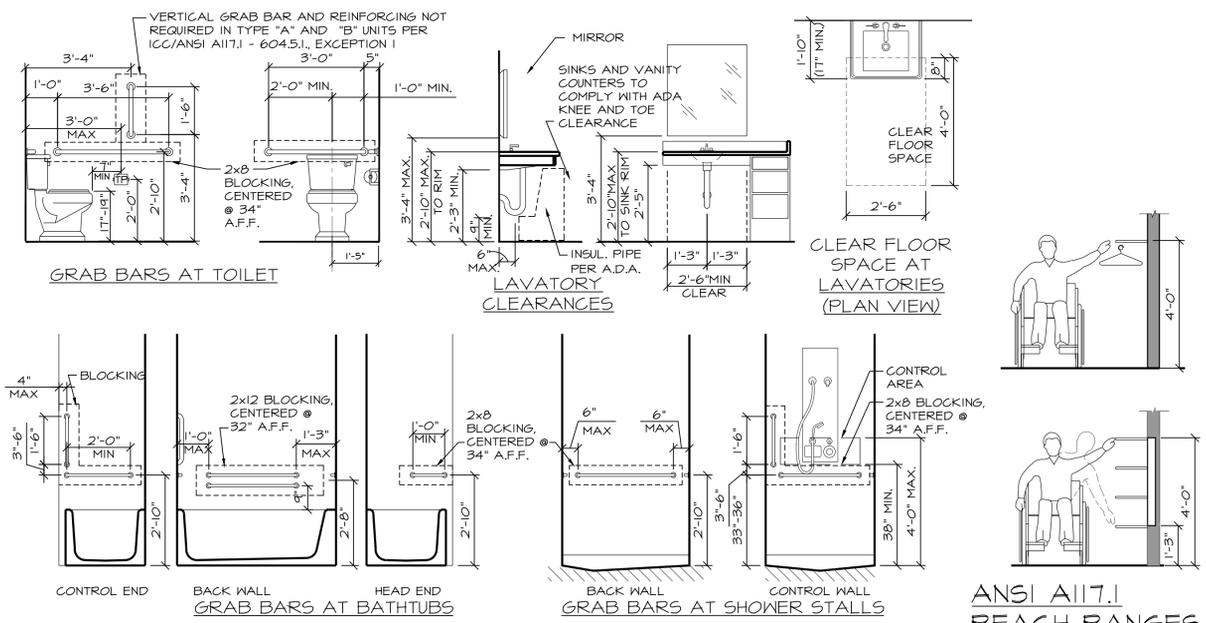
UNIT 8  
 TYPE "A" ACCESSIBLE PLAN  
 SCALE: 1/4" = 1'-0"

GENERAL NOTES - RAMP:

406.6 LOCATION, RAMPS AND FLARED SIDES SHALL BE LOCATED SO THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES OR PARKING SPACES.  
 OBSTRUCTIONS LOCATE TO PREVENT OBSTRUCTION BY PARKED CARS



ACCESSIBLE RAMPS  
 SCALE: 3/8" = 1'-0"



ANSI A117.1  
 REACH RANGES

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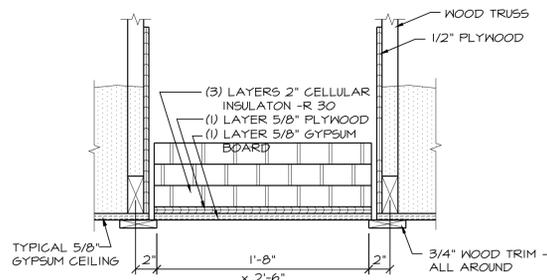
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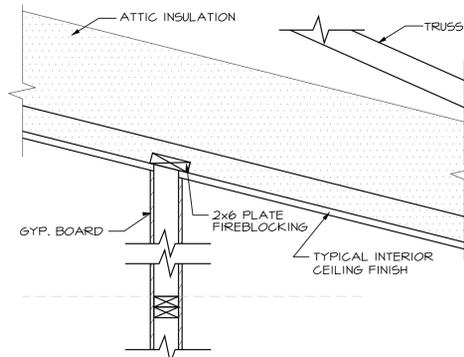
**Meadowland Villas 8 Unit Apartment Building with Attached Garages**  
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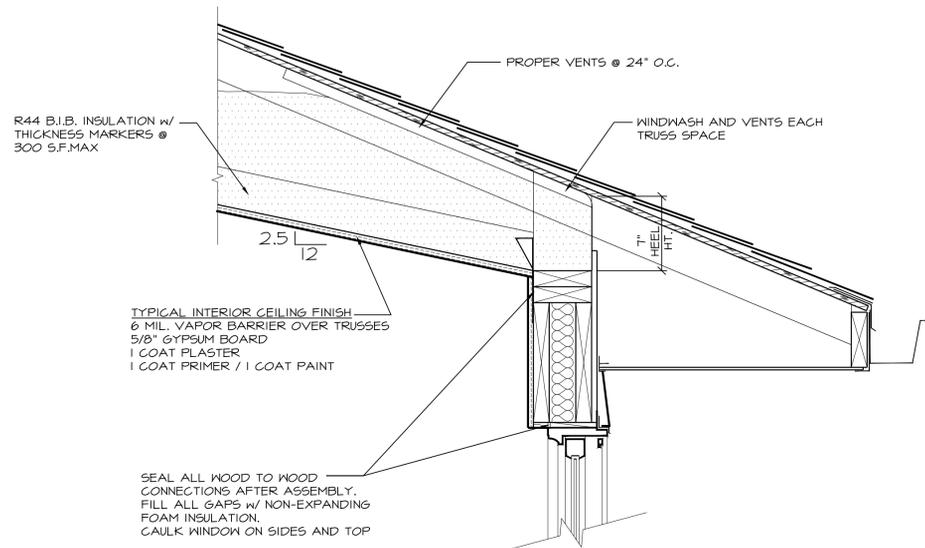
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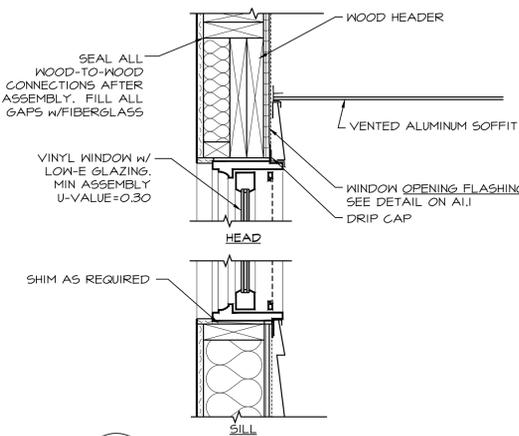
3 ATTIC SCUTTLE PANEL  
A4.1 SCALE: 1 1/2" = 1'-0"



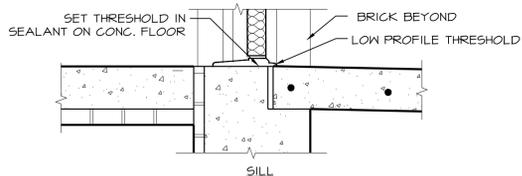
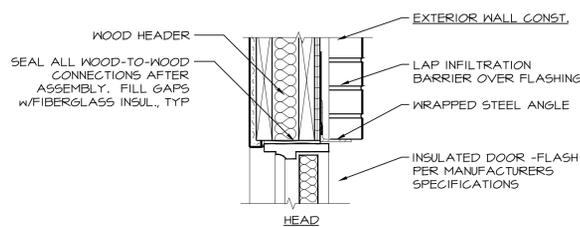
2 TYPICAL BLOCKING AT SLOPED CEILING  
A4.1 SCALE: 1 1/2" = 1'-0"  
TYPICAL @ WALLS INTERSECTING SLOPED CEILING



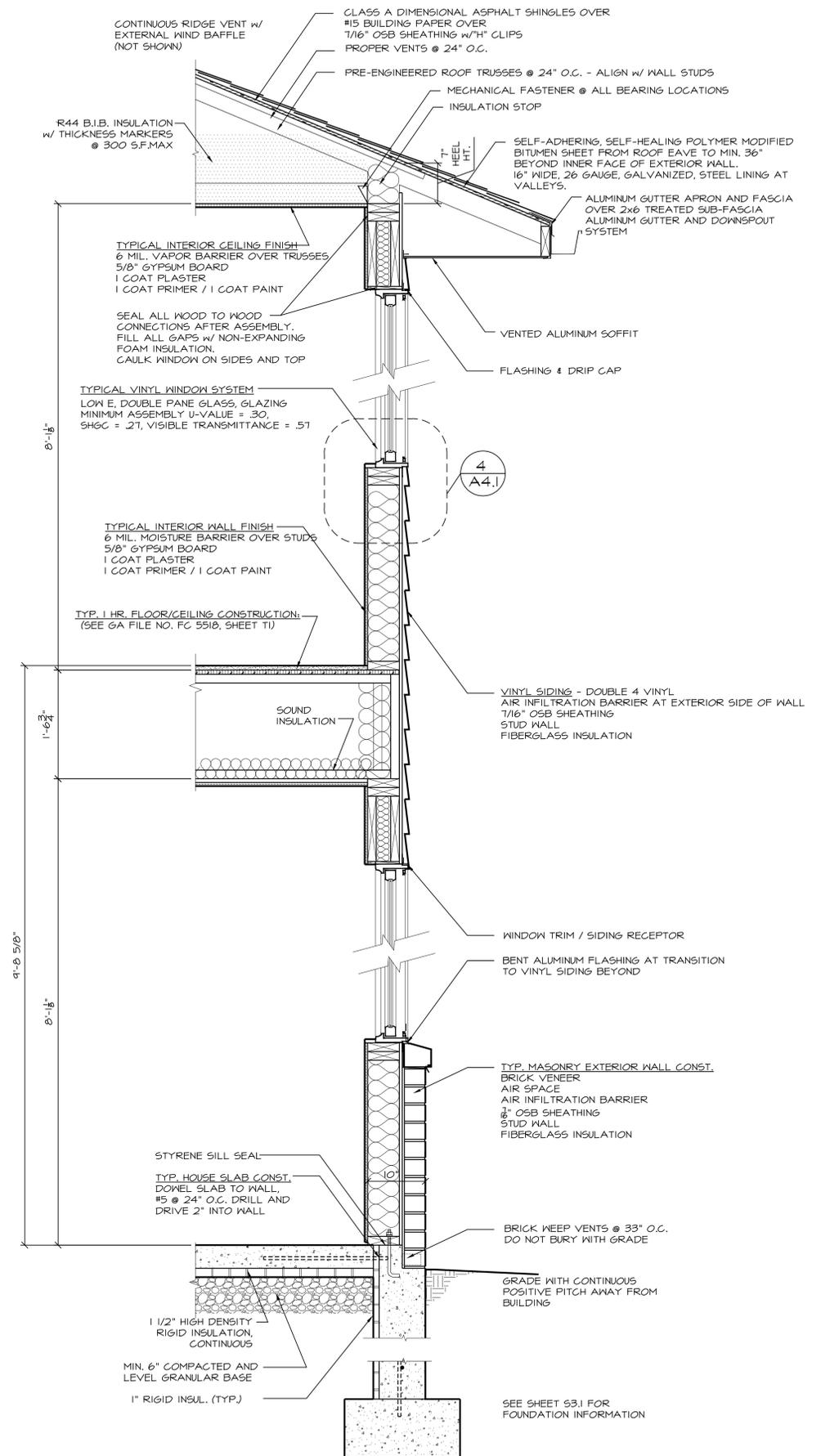
5 DETAIL @ SLOPED TRUSS  
A4.1 SCALE: 1 1/2" = 1'-0"



4 SLIDE-BY WINDOW  
A4.1 SCALE: 1 1/2" = 1'-0"



6 EXTERIOR DOOR  
A4.1 SCALE: 1 1/2" = 1'-0"

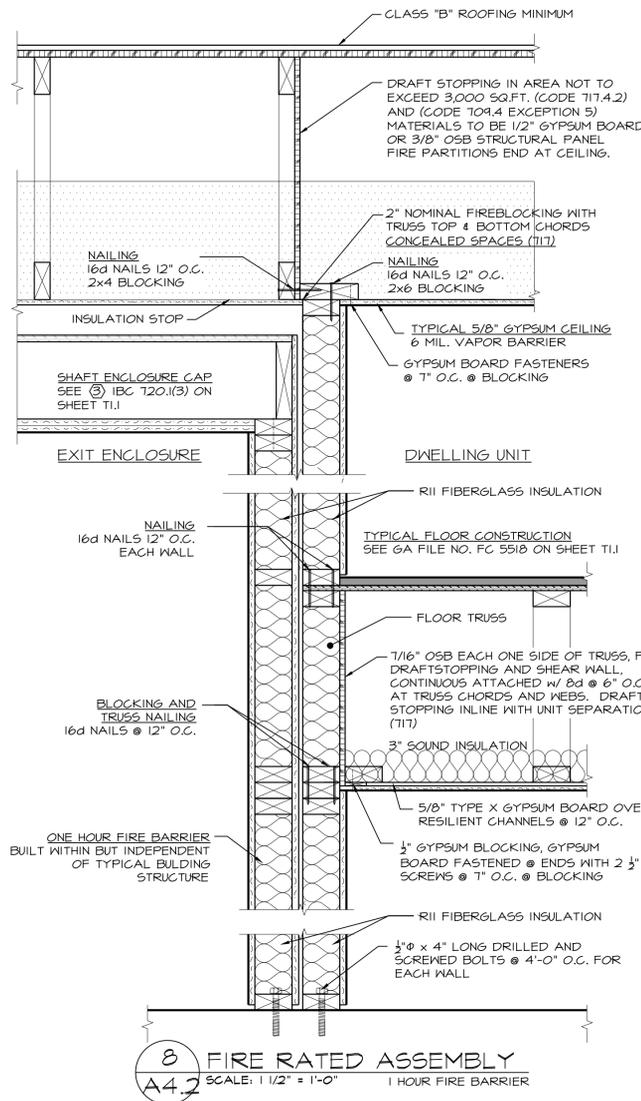


1 EXTERIOR WALL / FOUNDATION  
A4.1 SCALE: 1" = 1'-0"

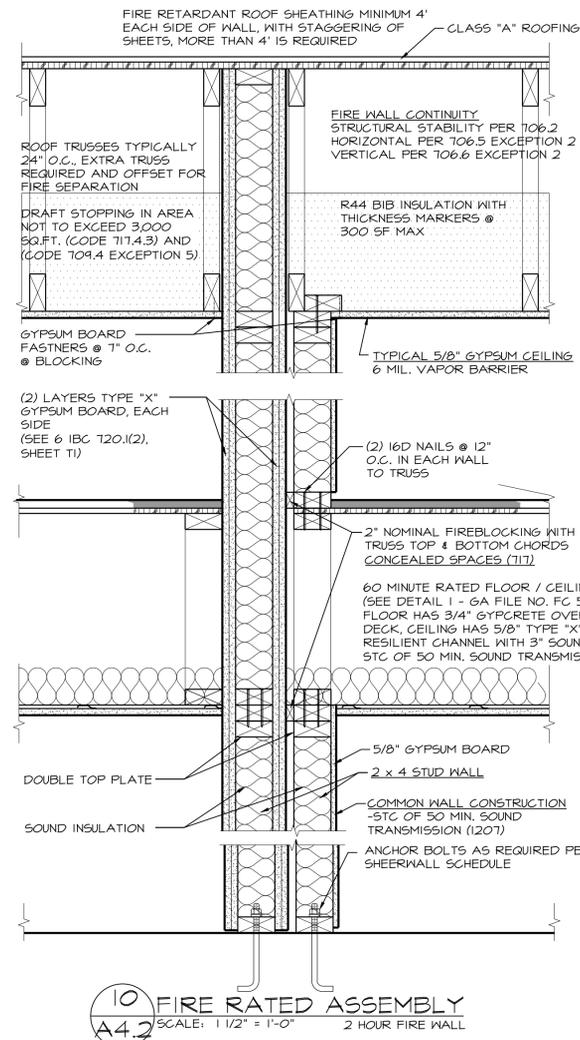
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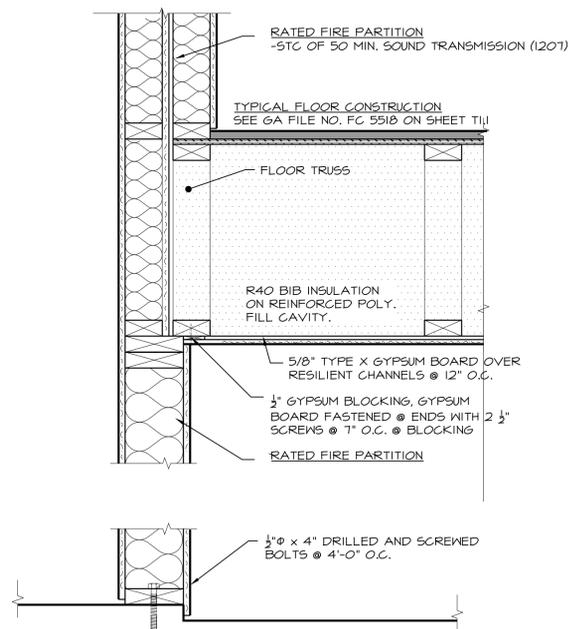
SHEET  
**A 4.1**



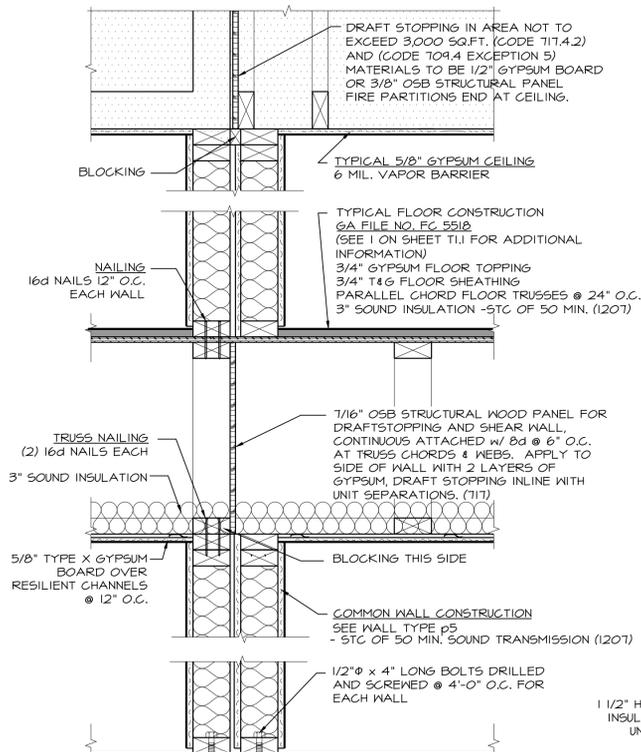
**8** FIRE RATED ASSEMBLY  
A4.2 SCALE: 1/2" = 1'-0"  
1 HOUR FIRE BARRIER



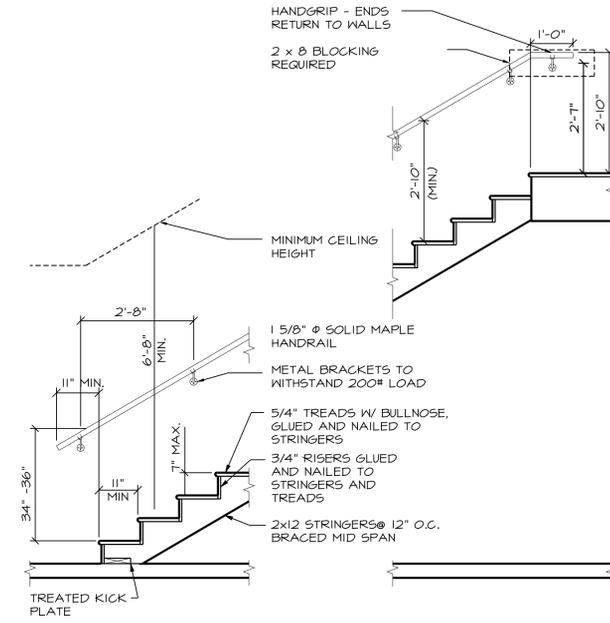
**10** FIRE RATED ASSEMBLY  
A4.2 SCALE: 1/2" = 1'-0"  
2 HOUR FIRE WALL



**9** FIRE RATED ASSEMBLY  
A4.2 SCALE: 1/2" = 1'-0"  
RATED FIRE PARTITION

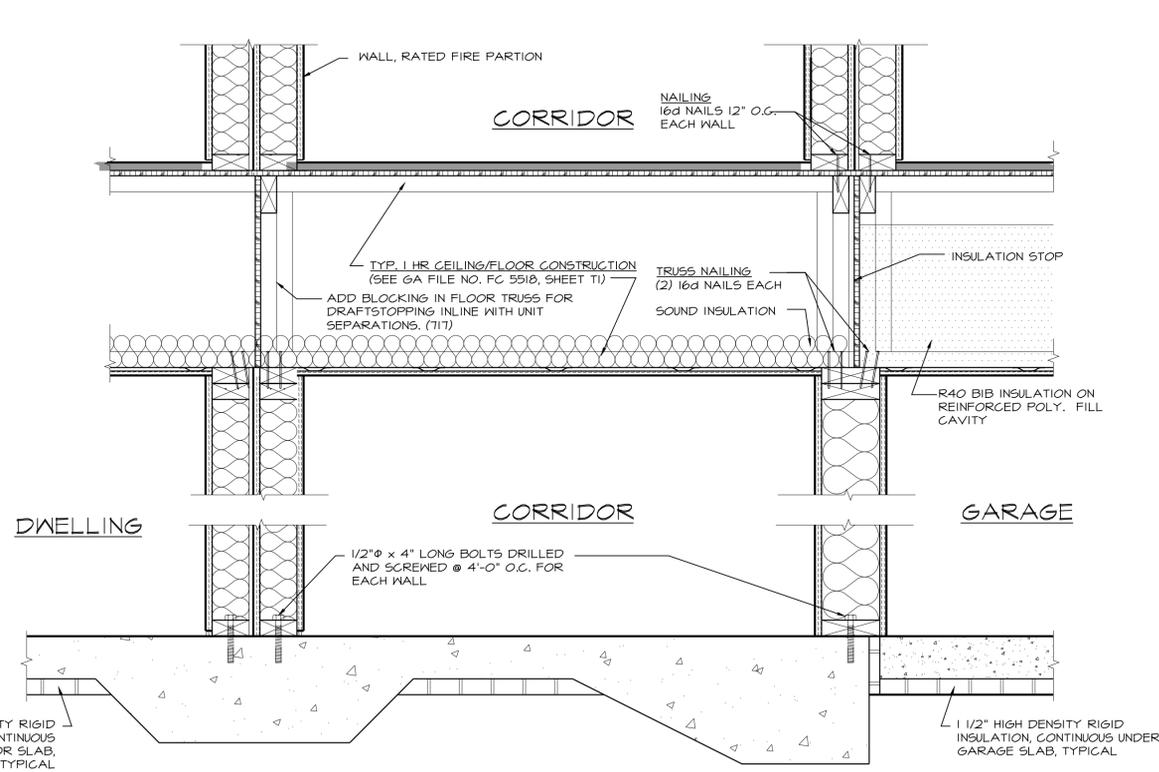
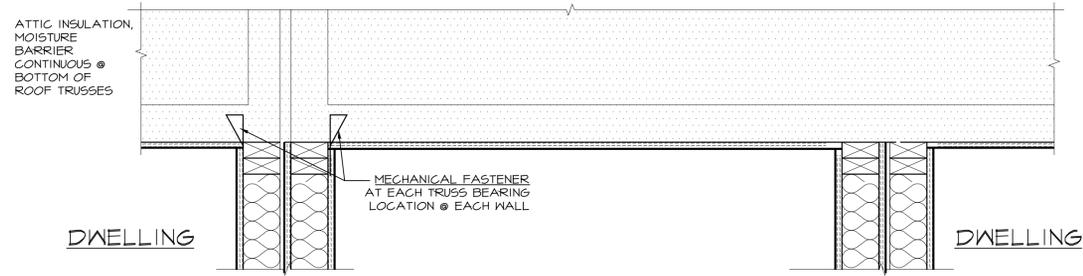


**11** FIRE RATED ASSEMBLY  
A4.2 SCALE: 1/2" = 1'-0"  
RATED FIRE PARTITION



**13** TYPICAL COMMON STAIR DETAIL  
A4.2 SCALE: 1/2" = 1'-0"

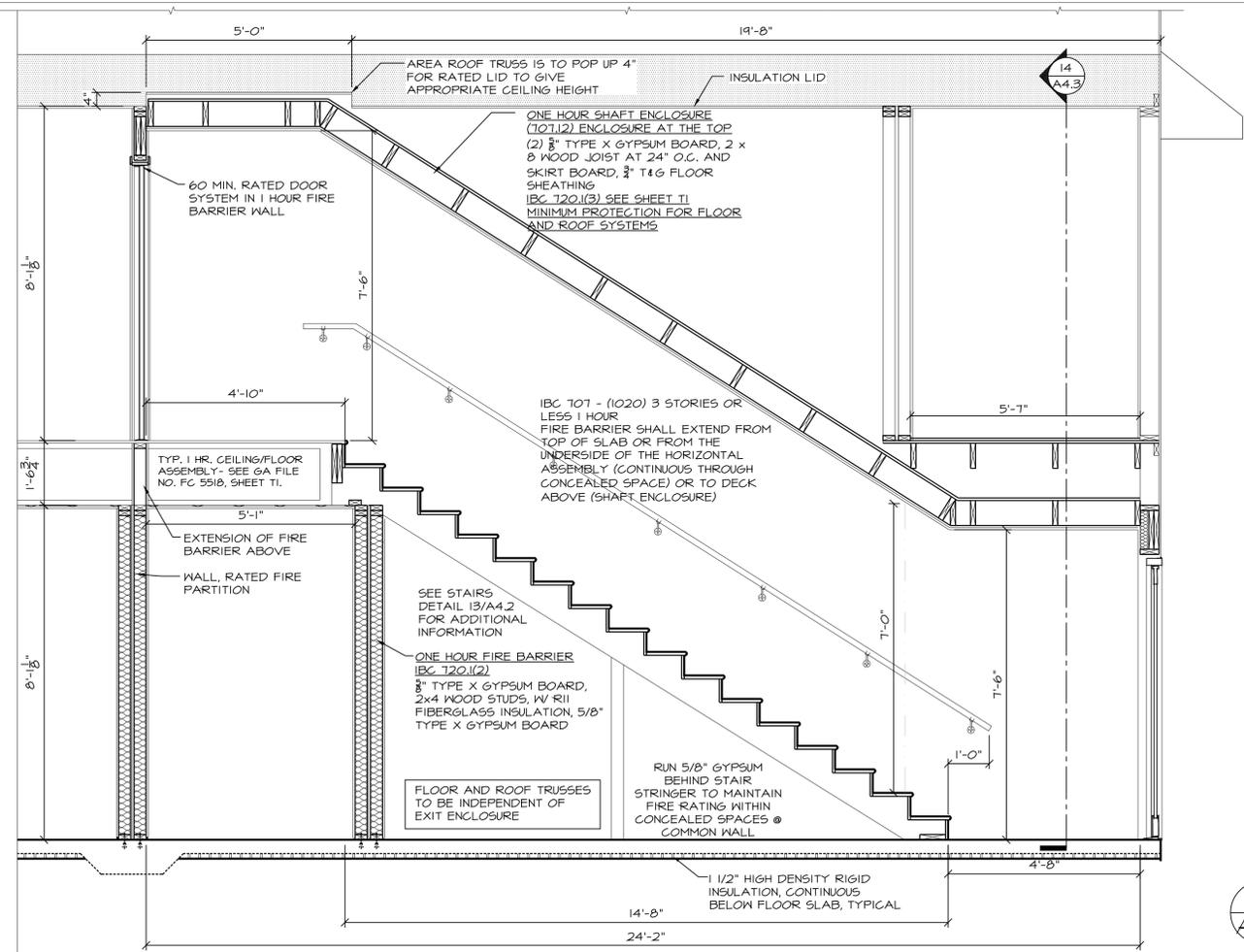
- GENERAL NOTES - COMMON STAIRS:**
- HEADROOM** - EVERY STAIR SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 6 FEET 8 INCHES. THE MINIMUM CLEARANCE SHALL BE MEASURED VERTICALLY FROM A LINE PARALLEL TO THE NOSING OF THE TREADS TO THE CEILING OR SOFFIT DIRECTLY ABOVE THAT LINE.
  - TREADS AND RISERS** - THERE SHALL BE NO VARIATION IN UNIFORMITY EXCEEDING 3/8" DIFFERENCE BETWEEN THE SMALLEST AND LARGEST RISE OR BETWEEN THE SMALLEST AND LARGEST TREAD. STEPS SHALL HAVE A RISE OF NOT MORE THAN 7 INCHES. STEPS SHALL NOT HAVE A TREAD LESS THAN 11 INCHES.
  - HANDRAIL DETAILS** - THE TOP OF A HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34 AND 38 INCHES ABOVE THE NOSING OF THE TREADS ON STAIRWAYS. HALF-WALLS IN NONDWELLING UNIT PORTIONS OF BUILDING SHALL EXTEND AT LEAST 42 INCHES ABOVE THE FINISHED FLOOR.
  - HAND GRIP DIMENSIONS** - HANDRAILS ARE TO HAVE AN OUTSIDE DIAMETER OF 1 1/4" INCHES MINIMUM TO 2 INCHES. IF HAND RAIL IS NOT CIRCULAR, THE PERIMETER SHALL BE AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAX. CROSS-SECTIONAL DIMENSION OF 2 1/4". ALL EDGES TO HAVE A 1/8" RADIUS.
  - WALL CLEARANCE** - THE CLEARANCE BETWEEN A HANDRAIL AND A WALL SURFACE SHALL BE AT LEAST 1 1/2 INCHES.
  - LOADING** - HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND A 200-POUND LOAD APPLIED IN ANY DIRECTION, AT ANY POINT OR TO RESIST 50 POUNDS PER LINEAR FOOT APPLIED TO THE TOP.
  - TYPICAL STAIR CONSTRUCTION** - (5) 2 x 12 #2 SPF STRINGERS BRACED MIDSPAN, 1 x 8 RISERS, AND 5/4 BULL NOSE TREADS.
  - EXTENSIONS** - HANDRAILS SHALL RETURN BACK TO THE WALL. RAILS ARE TO EXTEND HORIZONTALLY AT LEAST 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.



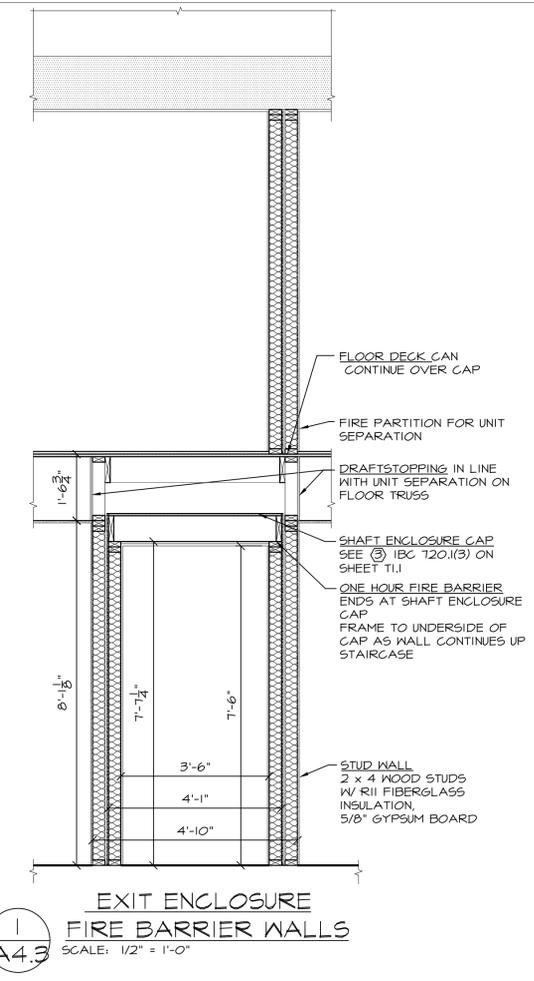
**12** BEARING WALLS & FIRE PARTITIONS  
A4.2 SCALE: 1/2" = 1'-0"

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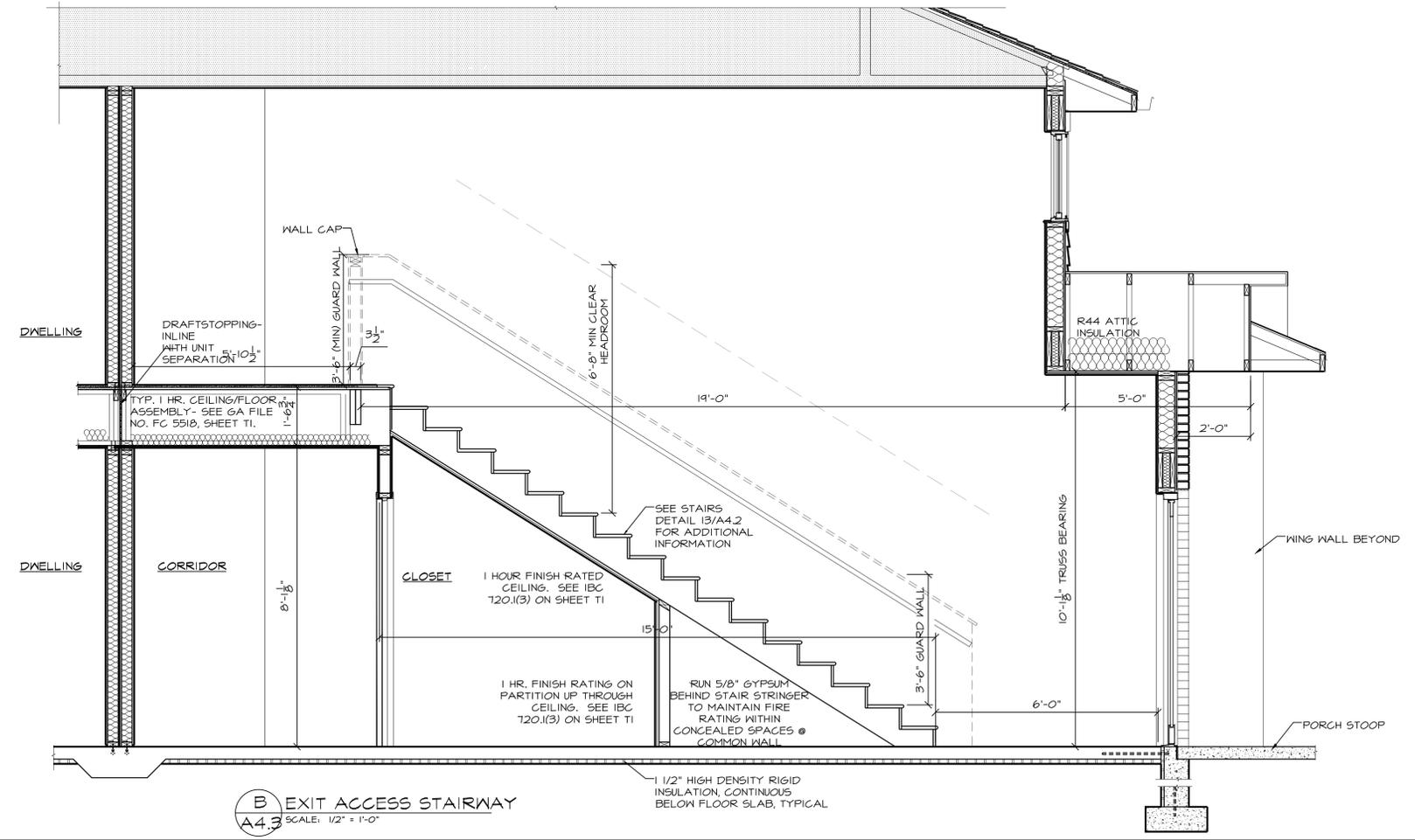
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**A 4.2**



**A** EXIT ENCLOSURE - STAIR DETAIL  
**A4.3** SCALE: 1/2" = 1'-0"



**B** EXIT ENCLOSURE FIRE BARRIER WALLS  
**A4.3** SCALE: 1/2" = 1'-0"



**B** EXIT ACCESS STAIRWAY  
**A4.3** SCALE: 1/2" = 1'-0"

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**Robert Mangen**

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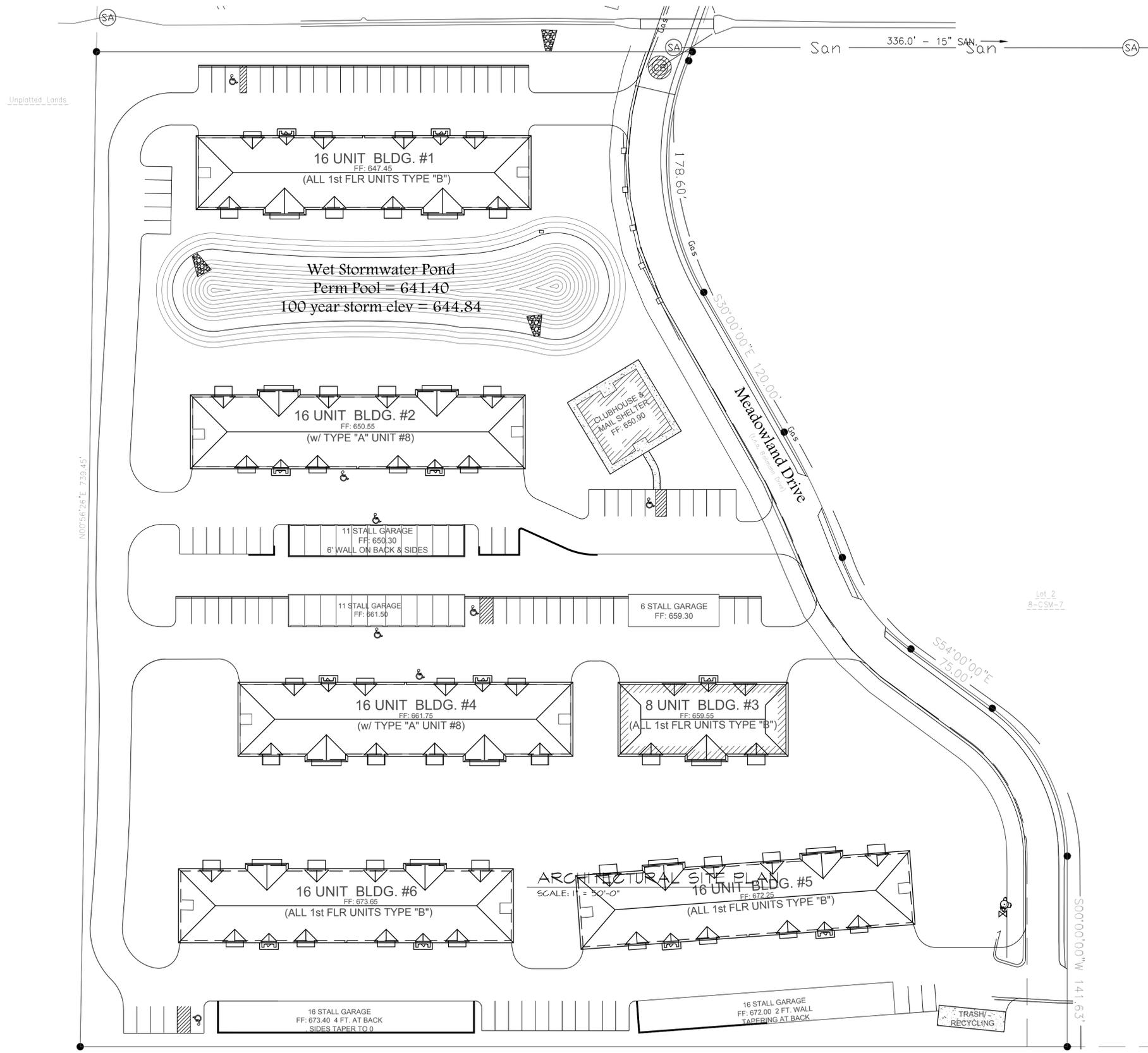
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SHEET  
**10**



**R-2, TYPE "A" AND "B" UNIT NOTES:**

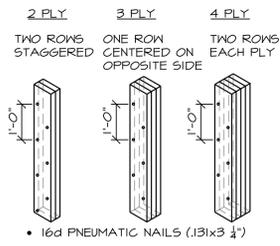
TYPE "A" UNITS SHALL COMPLY WITH ICC/ANCI A117.1-2003; SECTION 1003  
TYPE "B" UNITS SHALL COMPLY WITH ICC/ANCI A117.1-2003; SECTION 1004

1. ICC/IBC-2009; Sec. 1107.6.2.1.1 - (APARTMENT HOUSES) TYPE "A" UNITS  
ALL TYPE "A" UNITS ARE IN BUILDINGS 2 AND 4

IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 20 DWELLING UNITS OR SLEEPING UNITS, AT LEAST TWO (2) PERCENT BUT NOT LESS THAN ONE OF THE UNITS SHALL BE A TYPE "A" UNIT. ALL UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS AND THE REQUIRED NUMBER OF TYPE "A" UNITS. ACCESSIBLE GARAGE COUNTS ARE BASED ON THE NUMBER OF ACCESSIBLE UNITS.

2. ALL FIRST FLOORS OF UNITS ARE TYPE "B".  
ICC/IBC-2009; Sec. 1107.1.1.1- TYPE "B" UNITS - AT LEAST ONE STORY SHALL BE PROVIDED WITH AN ACCESSIBLE ENTRANCE AND ALL UNITS SHALL BE TYPE "B" UNITS.

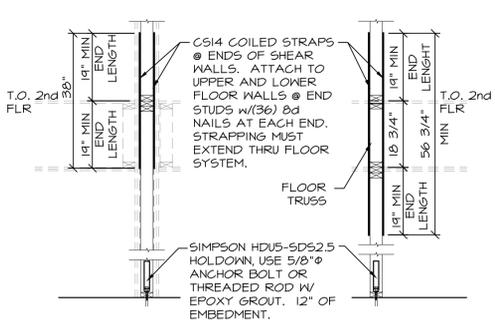
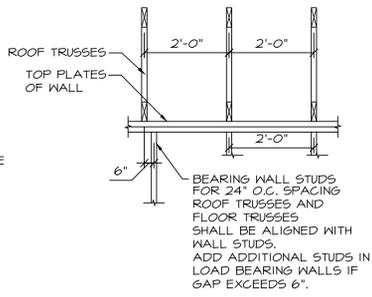
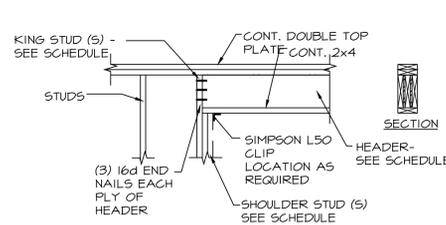




**MULTIPLE MEMBER CONNECTIONS @ STUD**



**MULTIPLE MEMBER CONNECTIONS @ HEADERS**

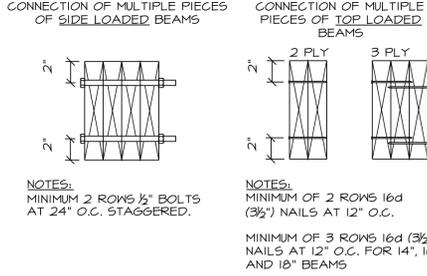


**HEADER SCHEDULE**

MARK	HEADER / BEAM	SHOULDER STUDS	KING STUDS	REMARKS
H-1	(2) 2 x 12	(2) 2 x 6	(1) 2 x 6	---
H-2	(2) 1-3/4" x 11-7/8" 1.9E LVL	(3) 2 x 4	(1) 2 x 4	---
H-3	(2) 2 x 8	(2) 2 x 4	(1) 2 x 4	---
H-4	(2) 2 x 8	(1) 2 x 4	(1) 2 x 4	5
H-5	(2) 2 x 10	(2) 2 x 4	(1) 2 x 4	5
H-6	(3) 2 x 12	(3) 2 x 6	(1) 2 x 6	---
H-7	(3) 2 x 10	(2) 2 x 6	(1) 2 x 6	---
H-8	(2) 2 x 12	(3) 2 x 4	(1) 2 x 4	---
H-9	(3) 1-3/4" x 11-7/8" 1.9E LVL	(4) 2 x 6	(2) 2 x 6	4
H-10	(3) 1-3/4" x 11-7/8" 1.9E LVL	(2) 2 x 6	(2) 2 x 6	---
H-11	(3) 1-3/4" x 11-7/8" 1.9E LVL	(3) 2 x 4	(1) 2 x 4	---
H-12	(3) 2 x 12	(2) 2 x 6	(1) 2 x 6	---
H-13	(2) 2 x 10	(1) 2 x 6	(1) 2 x 6	---
H-14	(2) 2 x 12	6 x 6	---	3
H-15	(3) 2 x 12	(2) 2 x 6	(1) 2 x 6	---
H-16	(3) 2 x 12	6 x 6	---	3

**HEADER NOTES:**

- (F) = HEADER FLUSH IN ROOF OR FLOOR SYSTEM.
- ATTACH MULTIPLE PIECES PER 2/52.1 AND 3/52.1
- PRESURE TREATED SOUTHERN YELLOW PINE
- MID CHORD BEARING FLOOR TRUSSES, NO TOP PLATES.
- FOR SHOULDER STUDS, USE 2x4 IN INTERNAL WALLS AND 2x6 AT EXTERNAL WALLS.



**WOOD HEADER CONNECTIONS**  
SCALE: 1 1/2" = 1'-0"

**SHEAR WALL LEGEND**

- HOLDOWNS** - IN LINE WITH STRAPS (SEE SHEET 52.0 FOR LOCATIONS) SIMPSON HDU5-SDS2.5 HOLDDOWN, USE 5/8" ANCHOR BOLT OR THREADED ROD W/ EPOXY GROUT. 12" OF EMBEDMENT.
- STRAPS** (SEE DETAIL 5/52.1) CS14 COILED STRAPS @ ENDS OF SHEAR WALLS. ATTACH TO UPPER AND LOWER FLOOR WALLS @ END STUDS W/36d NAILS AT EACH END. STRAPPING MUST EXTEND THRU FLOOR SYSTEM.

**WOOD FRAMING**

DIMENSIONAL LUMBER HEADER SPECIES IS SPRUCE/PINE/FIR NO. 2 OR BETTER UNLESS NOTED OTHERWISE.

WOOD CONSTRUCTION AND ITS FASTENERS SHALL CONFORM TO APPLICABLE REQUIREMENTS OF IBC CHAPTER 23.

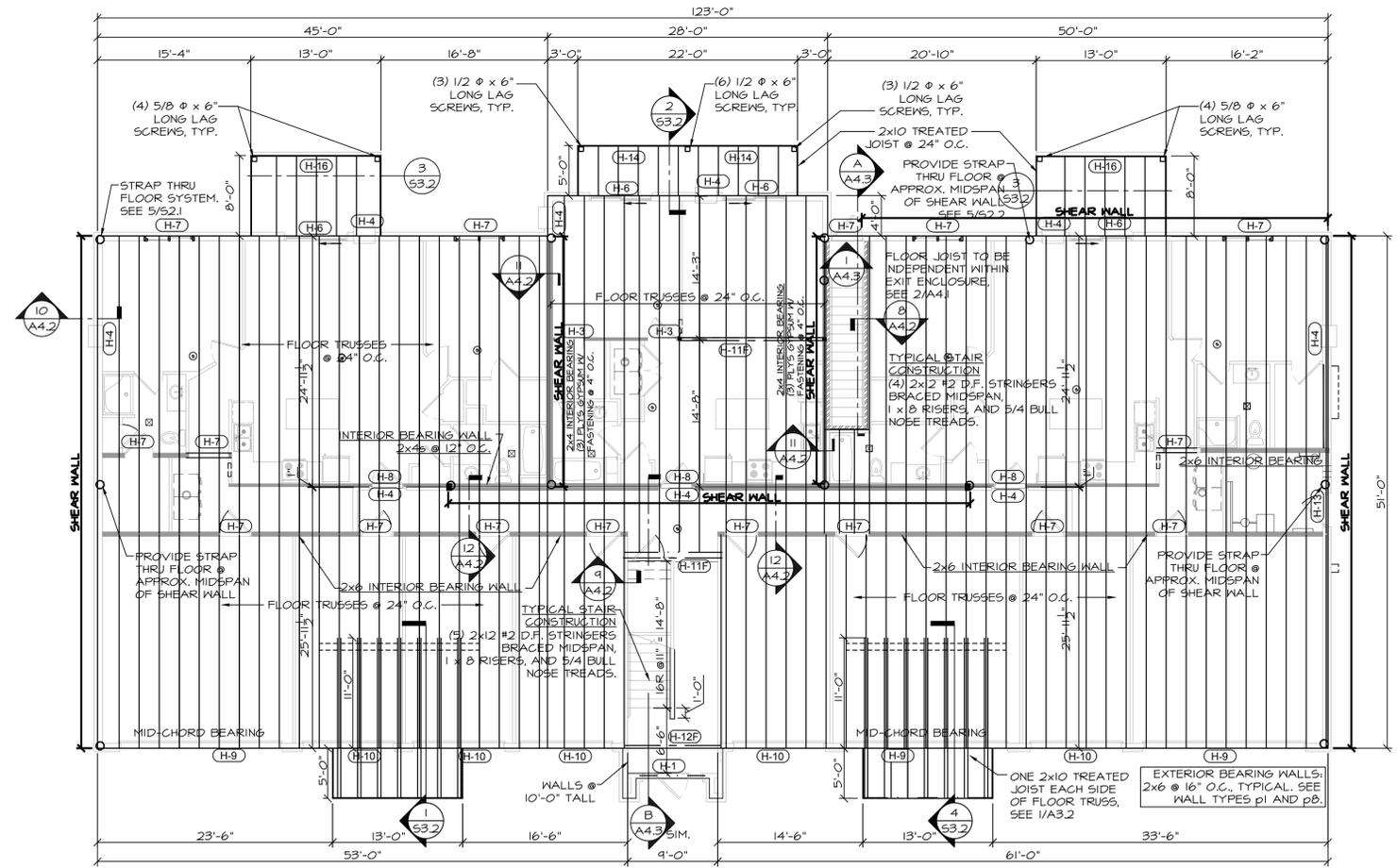
ROOF DECKING SHALL BE 7/16" O.S.B. W/ "H" CLIPS UNLESS NOTED OTHERWISE.

ALL WOOD BASE PLATES IN CONTACT WITH MASONRY, CONCRETE, GROUND OR EXPOSED TO THE WEATHER MUST BE PRESERVATIVE TREATED LUMBER.

WOOD FRAME CONNECTIONS MUST MEET MINIMUM REQUIREMENTS SET FORTH IN IBC TABLE 2304.4.1

FIRE BLOCKING IS REQUIRED IN ALL CONCEALED VOIDS WITHIN STUD WALLS AT 10'-0" O.C. MAX AND AT EACH FLOOR OF MULTI STORY STRUCTURES.

FRAMING CONTRACTOR MUST PROVIDE TEMPORARY BRACING OF EXTERIOR WALLS AGAINST WIND FORCES UNTIL THE INTERIOR GYPSUM BOARD IS IN PLACE.



**FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



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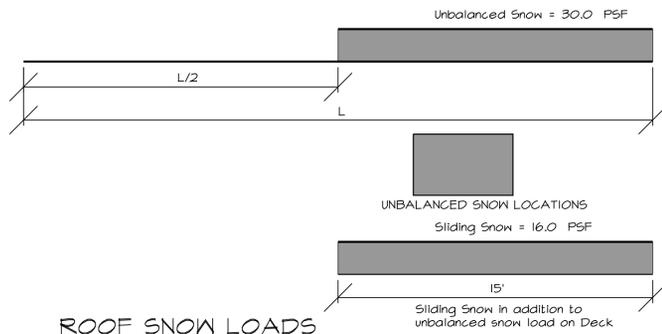
**Robert Mangen**  
Unit with attached garages - # 871411  
These plans are completed by Robert Mangen, LaPlant Architecture, LLC and Robert Mangen. No reproduction without written permission. Date: 2/20/15

**Meadowland Villas 8 Unit Apartment Building with Attached Garages**  
SHEBOYGAN, WISCONSIN

REVISION	DATE
1	9/16/2015
2	12/19/2015

DATE: 9/4/2015  
PROJECT NO: 871411  
SHEET: 2.1

BALANCED ROOF SNOW LOAD=23.1 PSF  
 UNBALANCED SNOW LOAD= LEENARD SIDE=30.0 PSF  
 WINDWARD SIDE=0 PSF



**ROOF SNOW LOADS**

**TRUSS / FRAMING NOTES:**

- TYPICAL WALL HEIGHT = ROOF TRUSS BEARING ELEVATION = 117'-4"
- (H-#) INDICATES HEADER. (H-#F) INDICATES FLUSH HEADER. SEE S2.1 AND S2.2 FOR HEADER SCHEDULE. SEE 2/S2.2 FOR TYPICAL HEADER DETAIL.
- SEE ARCH. FLOOR PLAN & SECTIONS FOR SLOPED CEILINGS.
- ROOF TRUSSES @ 24" O.C., OVERFRAMING IS NOT SHOWN. SEE ELEVATIONS FOR LOCATIONS.
- COORDINATE WALL FRAMING WITH TRUSS LAYOUT. ALIGN 2 x STUDS @ WITH FLOOR AND ROOF. SEE WALL TYPES FOR STUD SPACING.
- PROVIDE SIMPSON H-10 HOLD DOWN CLIPS ON ALL TRUSSES UNLESS OTHERWISE SPECIFIED BY THE TRUSS SUPPLIER.
- ALL SECOND FLOOR POINT LOADS MUST BE BLOCKED THROUGH FLOOR SYSTEM.
- EXTERIOR WALLS 2X6. SEE WALL TYPES FOR STUD SPACING
- INTERIOR LOAD BEARING WALLS PER PLAN AND WALL TYPE
- PROVIDE (3) 2x6 STUDS OR (4) 2 x 4 STUDS AT ALL BEARING WALL LOCATIONS UNDER EACH GIRDER AND JACK TRUSS, TYPICAL.

**WOOD TRUSSES**

TRUSSES MUST BE INSTALLED PER TRUSS SUPPLIER SHOP DRAWINGS AND MUST MEET ALL REQUIREMENTS OF THE TRUSS SHOP DRAWINGS. WHERE THE TRUSS SHOP DRAWINGS CONFLICT WITH THE ROOF FRAMING PLAN, THE SHOP DRAWINGS SUPERSEDE.

WOOD TRUSSES SHALL BE DESIGNED FOR ALL LOADS AND REQUIREMENTS AS INDICATED ON THESE PLANS, AND AS OUTLINED BY IBC, CHAPTER 16. WOOD TRUSSES MUST MEET APPLICABLE REQUIREMENTS OF IBC, CHAPTER 23. TRUSS MANUFACTURER SHALL SPECIFY REQUIRED TRUSS BRACINGS AND HOLD DOWN CLIPS.

BUILDER MUST PROPERLY INSTALL ALL BRACING SPECIFIED BY THE TRUSS MANUFACTURER.

**UPLIFT FORCES**

TERRAIN CATEGORY	END ZONE	INTERIOR	OVERHANGS
B	-15.4 PSF	-10.7 PSF	-21.6 PSF

SUBTRACT DEAD LOAD FROM ALL UP LIFT FORCES

**NAILING SCHEDULE**

CONNECTION	NAILING (COMMON NAILS UNLESS OTHER CONNECTION IS REQUIRED)	STAPLES
BRIDGING TO TRUSSES, FACE NAIL EACH END TOP PLATE TO STUD, END NAIL STUD TO SOLE PLATE	(2) 8d (2) 16d (4) 8d TOENAIL OR 2-16d, END NAIL	(2) 3" 14 GAGE (3) 3" 14 GAGE (3) 3" 14 GAGE
DOUBLED STUDS, FACE NAIL BUILT-UP CORNER STUDS DOUBLED TOP PLATES, TYPICAL FACE NAIL DOUBLED TOP PLATES, LAP SPLICES	16d AT 24" O.C. 16d AT 24" O.C. 16d AT 16" O.C. (8) 16d	3" 14 GAGE AT 8" O.C. 3" 14 GAGE AT 16" O.C. 3" 14 GAGE AT 12" O.C. (12) 3" 14 GAGE
CONTINUOUS HEADER, TWO PIECES	16d AT 12" O.C. ALONG EACH EDGE	
CONTINUOUS HEADER TO STUD, TOENAIL	(4) 8d TOENAIL	
OSB ROOF SHEATHING	8d AT 6" O.C. AT EDGES 8d AT 12" O.C. AT INTERMEDIATE MEMBERS 8d AT 6" O.C. AT EDGES	1 3/4" 16 GA. AT 4" O.C. AT EDGES 1 3/4" 16 GA. AT 8" O.C. AT INTERMEDIATE SUPPORTS 1 3/4" 16 GA. AT 4" O.C. AT EDGES
EXTERIOR WALL SHEATHING	8d AT 12" O.C. AT INTERMEDIATE MEMBERS	1 3/4" 16 GA. AT 8" O.C. AT INTERMEDIATE SUPPORTS
GYPSUM BOARD, TYPICAL	7" MAXIMUM FASTENER SPACING	
GYPSUM BOARD AT UNITS 4.5, 12 & 13 DEMISING WALLS SEE 2/A4.2.	4" MAXIMUM FASTENER SPACING	

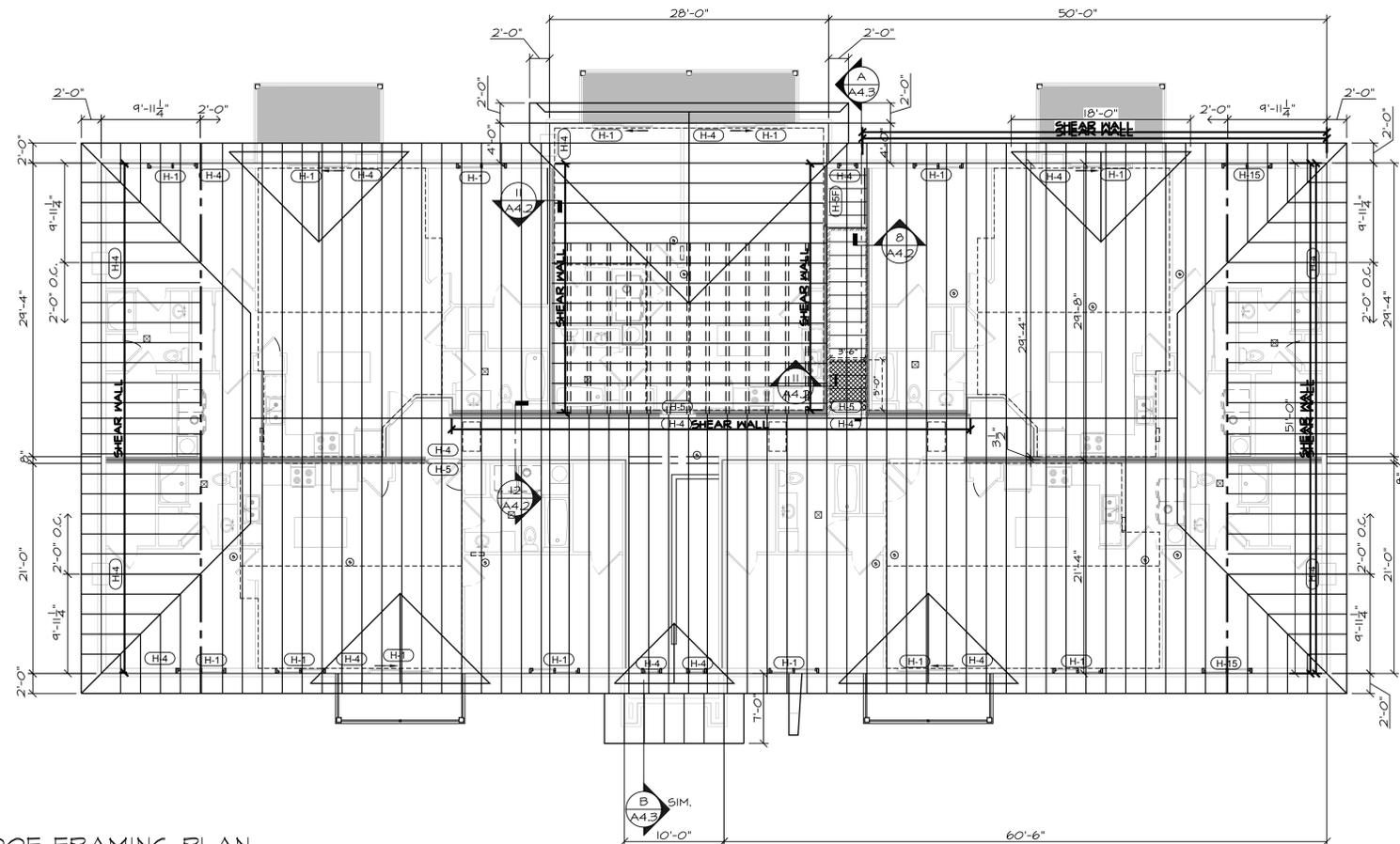
NOTES: 1. USE THESE PATTERNS UNLESS NOTED OTHERWISE IN THE PLANS  
 2. THESE PATTERNS COMPLY WITH IBC TABLE 2304.9.1

**HEADER SCHEDULE**

MARK	HEADER / BEAM	SHOULDER STUDS	KING STUDS	REMARKS
H-1	(2) 2 x 12	(2) 2 x 6	(1) 2 x 6	---
H-2	(2) 1-3/4" x 11-7/8" 1.9E LVL	(3) 2 x 4	(1) 2 x 4	---
H-3	(2) 2 x 8	(2) 2 x 4	(1) 2 x 4	---
H-4	(2) 2 x 8	(1) 2 x 4	(1) 2 x 4	5
H-5	(2) 2 x 10	(2) 2 x 4	(1) 2 x 4	5
H-6	(3) 2 x 12	(3) 2 x 6	(1) 2 x 6	---
H-7	(3) 2 x 10	(2) 2 x 6	(1) 2 x 6	---
H-8	(2) 2 x 12	(3) 2 x 4	(1) 2 x 4	---
H-9	(3) 1-3/4" x 18" 1.9E LVL	(4) 2 x 6	(2) 2 x 6	4
H-10	(3) 1-3/4" x 11-7/8" 1.9E LVL	(2) 2 x 6	(2) 2 x 6	---
H-11	(3) 1-3/4" x 11-7/8" 1.9E LVL	(3) 2 x 4	(1) 2 x 4	---
H-12	(2) 2 x 12	(2) 2 x 6	(1) 2 x 6	---
H-13	(2) 2 x 10	(1) 2 x 6	(1) 2 x 6	---
H-14	(2) 2 x 12	6 x 6	---	3
H-15	(3) 2 x 12	(2) 2 x 6	(1) 2 x 6	---
H-16	(3) 2 x 12	6 x 6	---	3

**HEADER NOTES:**

- (F) = HEADER FLUSH IN ROOF OR FLOOR SYSTEM.
- ATTACH MULTIPLE PIECES PER 2/S2.1 AND 3/S2.1
- PRESSURE TREATED SOUTHERN YELLOW PINE
- MID CHORD BEARING FLOOR TRUSSES, NO TOP PLATES.
- FOR SHOULDER STUDS, USE 2x4 IN INTERNAL WALLS AND 2x6 AT EXTERNAL WALLS.



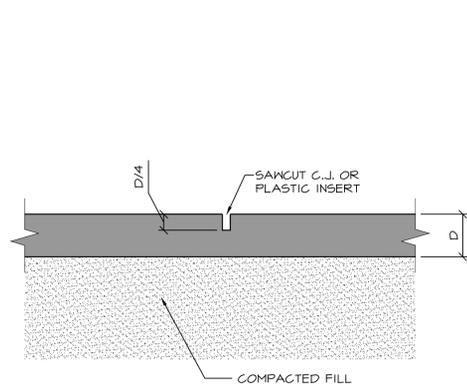
**ROOF FRAMING PLAN**

SCALE: 1/8" = 1'-0"

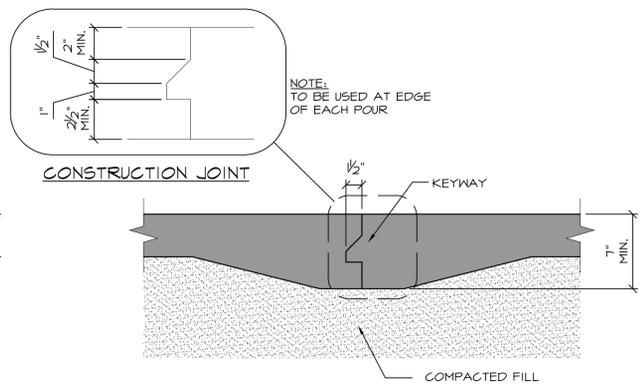
REVISION	DATE
1	9/16/2015
2	12/19/2015

DATE: 9/4/2015  
 PROJECT NO. 871411

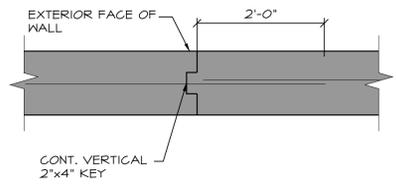
SHEET  
**2.2**



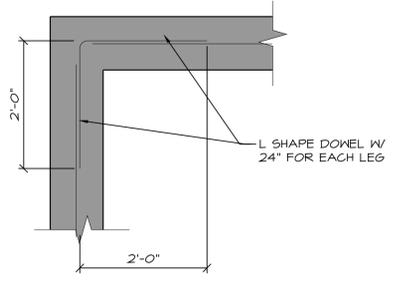
1  
53.1  
SCALE: 3/4" = 1'-0"



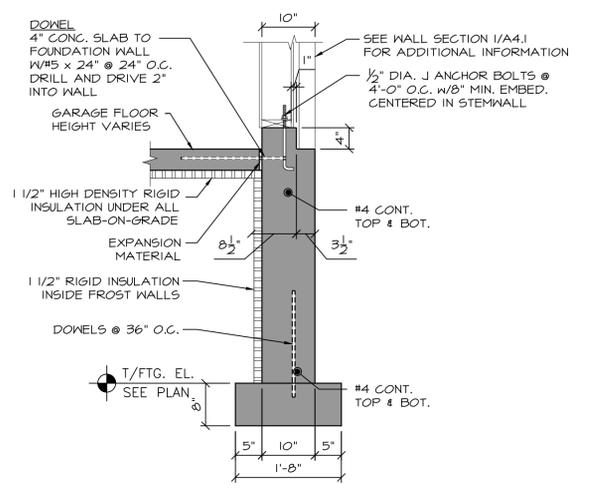
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SCALE: 3/4" = 1'-0"



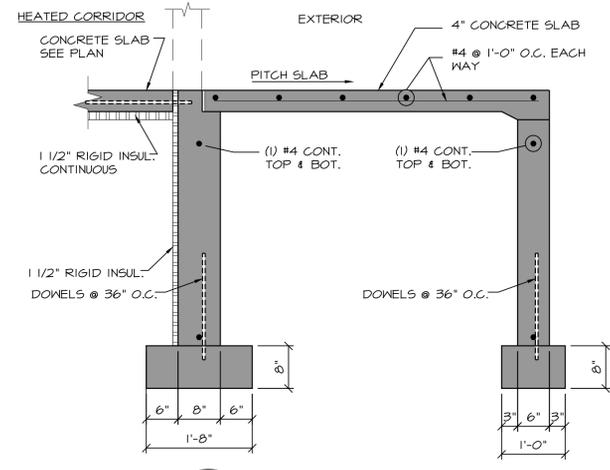
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SCALE: 3/4" = 1'-0"



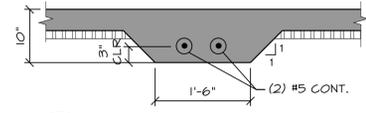
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SCALE: 3/4" = 1'-0"



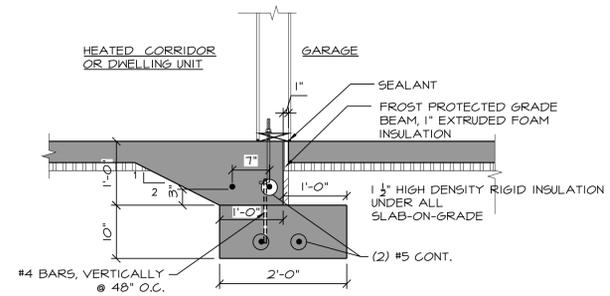
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SCALE: 3/4" = 1'-0"



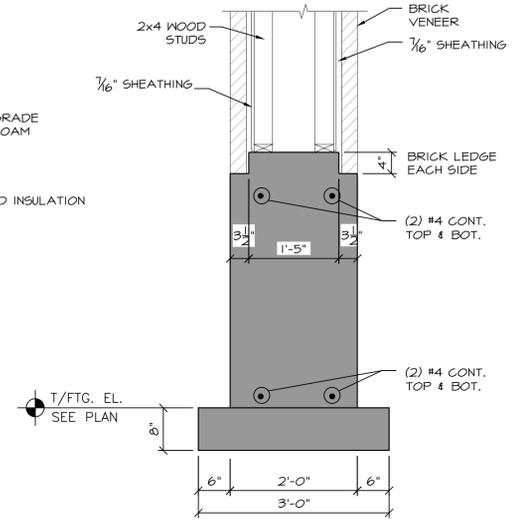
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SCALE: 3/4" = 1'-0"



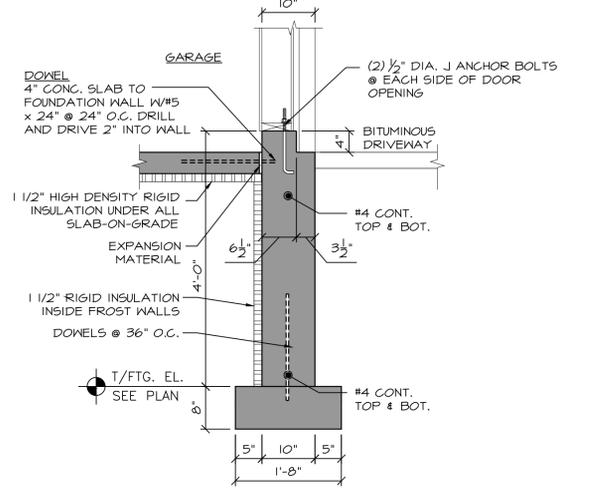
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SCALE: 3/4" = 1'-0"



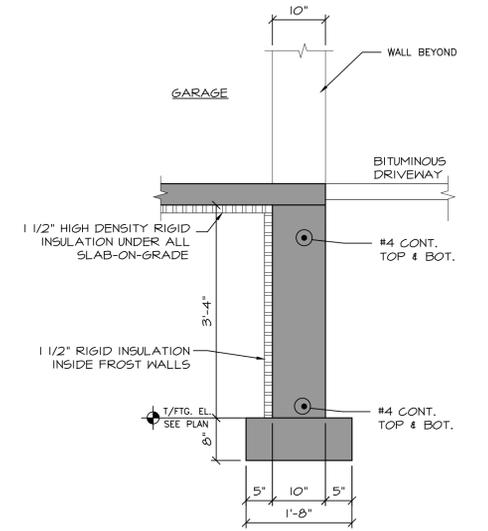
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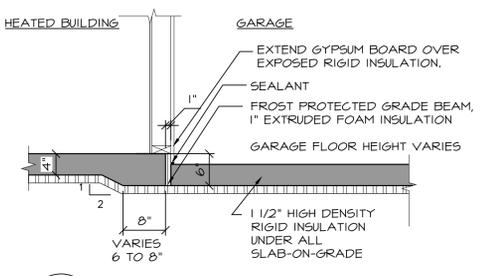
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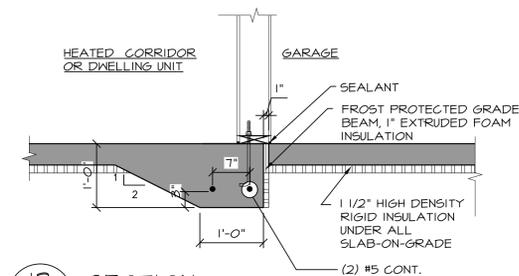
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53.1  
SCALE: 3/4" = 1'-0"



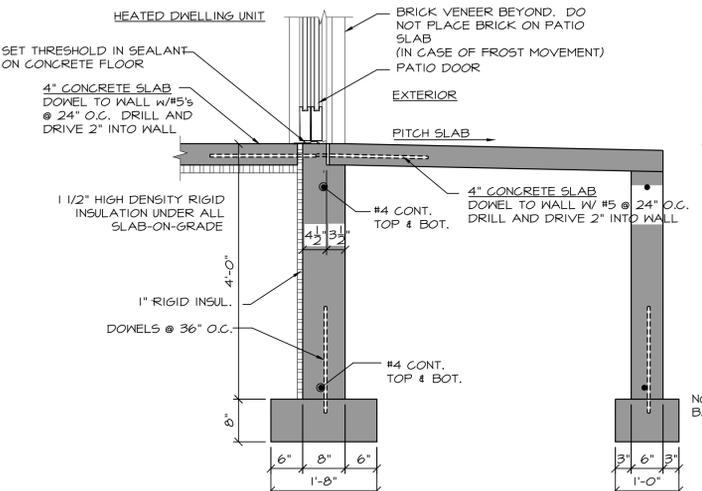
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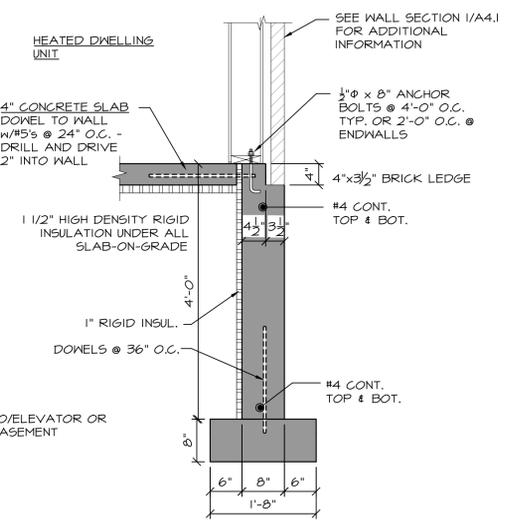
12  
53.1  
SCALE: 3/4" = 1'-0"



13  
53.1  
SCALE: 3/4" = 1'-0"



14  
53.1  
SCALE: 3/4" = 1'-0"



15  
53.1  
SCALE: 3/4" = 1'-0"

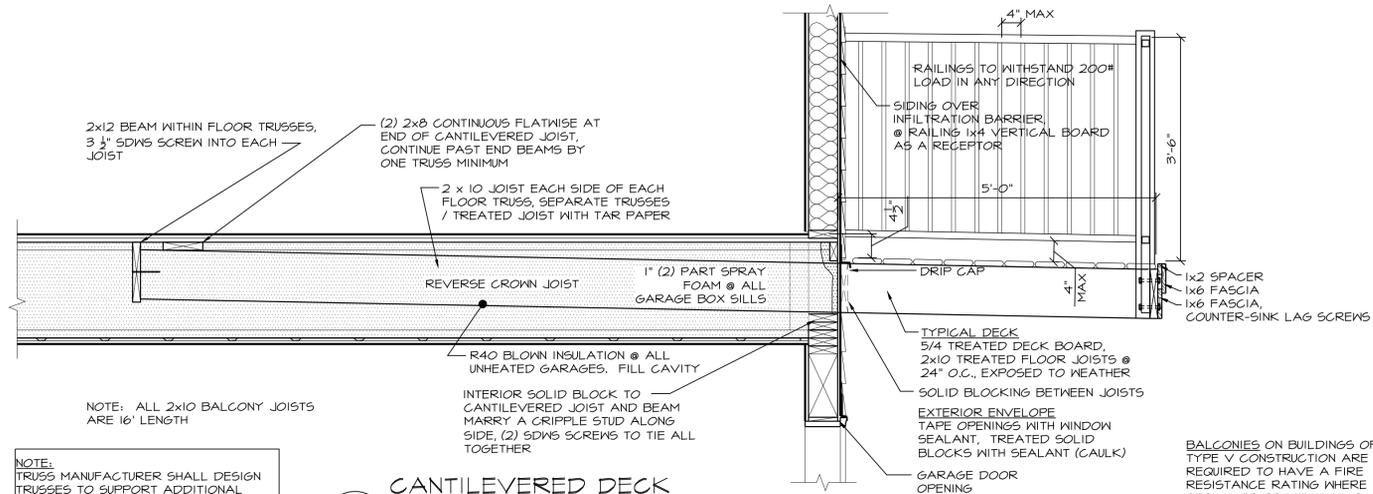
**LaPlant Architecture, LLC**  
 OFFICE: 926 Willard Drive  
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 GREEN BAY, WISCONSIN 54313  
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**Robert Mangen**  
 Unit with attached garages - # 871411  
 These plans are completed by:  
 LaPlant Architecture, LLC and Robert Mangen. No reproduction without written permission. Date: 2/2015  
 CORPORATE OFFICE:  
 535 Bishop's Way # 160  
 Brookfield, WISCONSIN 53005  
 Telephone: (262) 860-8700  
 Contact: Scott Howter  
 Email: scott@wisconsinapartments.biz

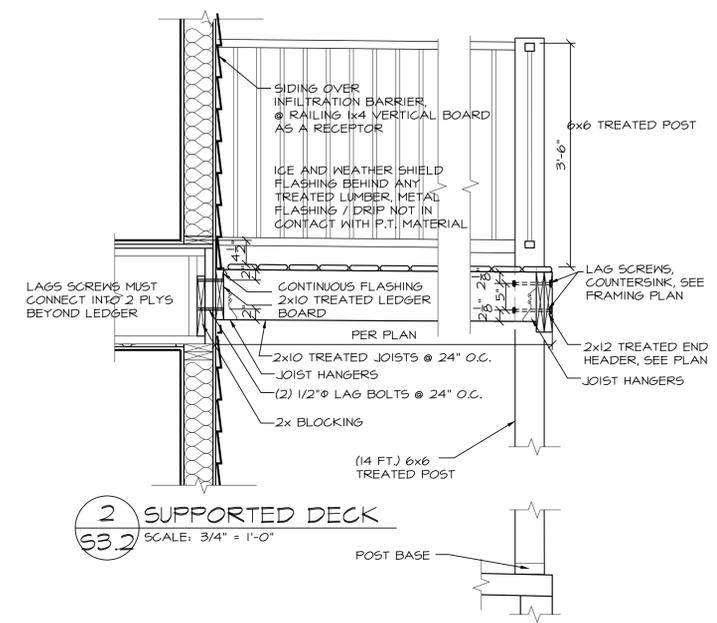
**Meadowland Villas 8 Unit Apartment Building with Attached Garages**  
 SHEBOYGAN, WISCONSIN

REVISION	DATE
1	9/16/2015
2	12/18/2015

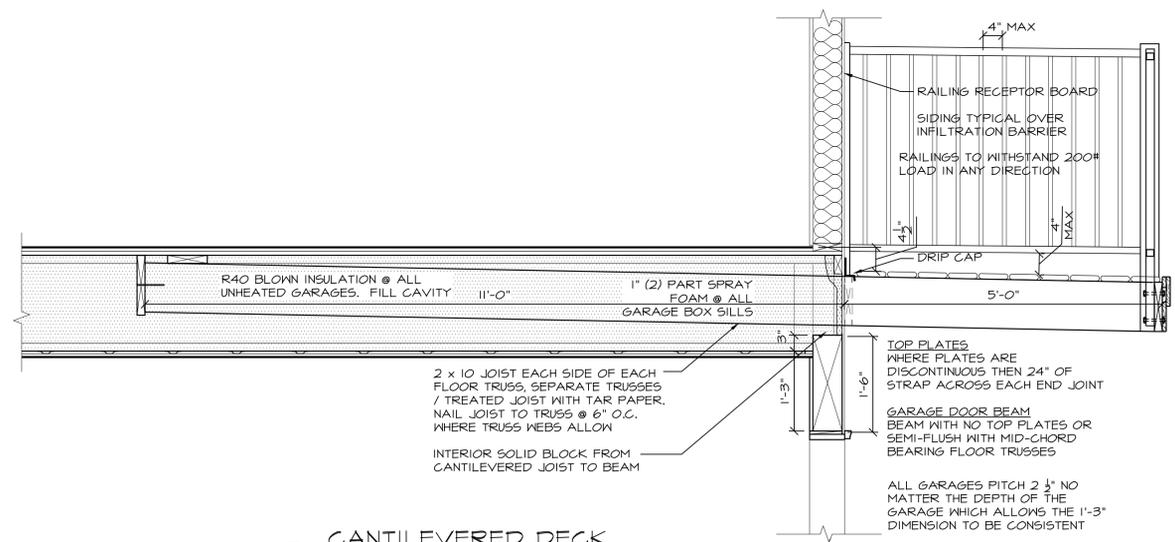
DATE: 9/4/2015  
 PROJECT NO. 871411  
 SHEET  
**53.1**



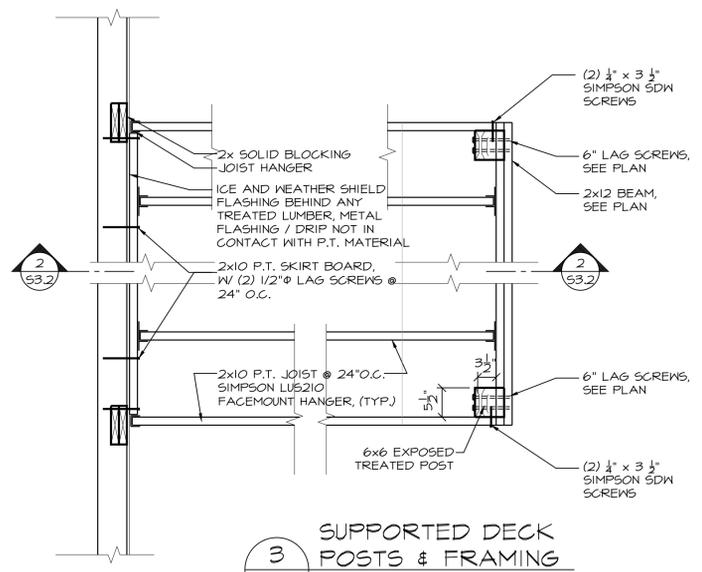
**1**  
53.2 CANTILEVERED DECK AND RAILING  
SCALE: 3/4" = 1'-0"



**2**  
53.2 SUPPORTED DECK  
SCALE: 3/4" = 1'-0"



**4**  
A3.2 CANTILEVERED DECK @ GARAGE DOOR  
SCALE: 3/4" = 1'-0"



**3**  
53.2 SUPPORTED DECK POSTS & FRAMING  
SCALE: 3/4" = 1'-0"

BALCONIES ON BUILDINGS OF TYPE V CONSTRUCTION ARE NOT REQUIRED TO HAVE A FIRE RESISTANCE RATING WHERE SPRINKLER PROTECTION IS EXTENDED TO AREA.

REVISION	DATE
1	9/16/2015
2	12/19/2015

# 8 Unit (Two Entry) Apartment Homes with Attached Garages;

# Meadowland Villas

# Sheboygan, WI

# Bob Mangen

IBC 116 MECHANICAL ENSURE DRYER EXHAUST (VENT) LENGTH IS NOT EXCEEDED, USE A 4" EXTERIOR HOOD AS NEEDED. EXHAUST FAN PENETRATION DOES NOT REQUIRE A RADIATION DAMPER NOR PLACEMENT IN A WALL CAVITY, FIRE STOP ANNULAR SPACE AROUND THE FAN BOX.

### GENERAL NOTES:

- ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF 2009 IBC (WISCONSIN).
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, TOILETS, TRUSSES AND OTHER PROJECT REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.
- THE LIVING UNITS ARE CLOSE TO SYMMETRICAL, ALL DETAILS AND DIMENSIONS PERTAIN TO BOTH SIDES.
- FRAMING IS BASED ON 24" O.C. ALL ROOF AND FLOOR TRUSSES DIRECTLY LINE UP WITH THE WALL STUD FRAMING UNLESS NOTED OTHERWISE BY PARTITION TYPE.

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T2	SAFETY AND EXITING PLANS
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A1.2	ELEVATIONS, DETAILS
A2.1.0	COMPOSITE FIRST AND SECOND FLOOR PLANS
A2.1.1	FIRST FLOOR PLAN, DWELLING UNIT PLAN NOTES & WALL TYPES
A2.2.1	SECOND FLOOR PLAN, GENERAL PLAN NOTES & ELEC/MECH PLAN NOTES
A3.1	ACCESSIBLE PLAN, NOTES, ACCESSIBILITY DETAILS
A4.1	WALL SECTIONS, DETAILS
A4.2	BUILDING SECTIONS, DETAILS
A4.3	BUILDING SECTIONS & DETAILS
S2.0	STRUCTURAL - FOUNDATION PLAN, NOTES
S2.1	STRUCTURAL - FLOOR FRAMING PLAN, NOTES & DETAILS
S2.2	STRUCTURAL - ROOF FRAMING PLAN, NOTES & DETAILS
S3.1	STRUCTURAL - FOUNDATION DETAILS
S3.2	STRUCTURAL - DETAILS

### BUILDING CODE INFORMATION 2009 IBC (WISCONSIN)

CODE CHAPTER	CODE TITLE	CODE CHAPTER	CODE INFORMATION
3	USE AND OCCUPANCY	310.1	R-2 RESIDENTIAL
4	USE AND OCCUPANCY SPECIAL PROVISIONS	406.1	NO MORE THAN 3,000 S.F. OF GARAGE PERMITTED WITHOUT 2 HOUR FIREWALL, SEE PROVISIONS OF THIS SECTION FOR GARAGE LESS THAN 3,000 S.F.
5	ALLOWABLE AREA SPRINKLER INCREASE STREET FRONTAGE INCREASE SPRINKLER INCREASE INCIDENTAL USE	503 504.2 506.2 506.3 508.2.5	TYPE VB, 2 STORIES AND 7,000 S.F. PER FLOOR, 40' HEIGHT UP TO 60' HEIGHT AND 3 STORIES INCREASE. NO AREA INCREASE (30' SIDE) (0' SIDE) (30' FRONT AND BACK) = 11,000 S.F. ALLOWABLE PER FLOOR MAX. NOT APPLICABLE METER ROOM INCIDENTAL USE, SMOKE SEPARATION REQUIRED, 0 HOUR RATED WALL
6	CONSTRUCTION TYPE SEPARATION DISTANCE FLOOR FRAMING	602 602.24.2	VB WOOD FRAME UNPROTECTED EXTERIOR WALLS MORE THAN 10' FROM IMAGINARY PROPERTY LINES 0 HOUR SEPARATION FROM SIDE REQUIRED. NOT USED
7	RATED CONSTRUCTION FIRE WALL FIRE PARTITION CONTINUITY FIRE DOOR RATINGS BATH FANS / EXHAUST FAN FLOOR DRAFTSTOPPING ATTIC DRAFTSTOPPING	706 709 709.4 712 715.4 716 717.3.2 717.4.2	FIRE WALL - 2 HOUR WALL BECAUSE TYPE V CONST. TO SPLIT BUILDING INTO TWO SEPARATED BUILDINGS, THIS ALLOWS TYPE B CONSTRUCTION IN A BUILDING GREATER THAN 11,000 S.F. PER FLOOR 1 HOUR FIRE PARTITION AT UNIT SEPARATIONS REQ. FIRE PARTITIONS CONTINUOUS TO SECOND FLOOR CEILING (EXCEPTION 5) 1 HOUR HORIZONTAL ASSEMBLY BETWEEN UNITS AT FLOOR / CEILING. FIRST FLOOR WALLS BEARING FLOOR ASSEMBLY NOT REQUIRED TO BE RATED PER EXCEPTION 112.4 EXCEPTION 2 FIRE DOOR RATINGS: FIRE BARRIERS - 1 HOUR = 60 MIN. FIRE PARTITION - 1 HOUR = 60 MIN. - 1/2 HOUR CORRIDOR WALLS = 20 MIN. EXTERIOR WALLS - NONE RATED EXHAUST FAN PENETRATION DOES NOT REQUIRE A RADIATION DAMPER NOR PLACEMENT IN A WALL CAVITY, FIRE STOP ANNULAR SPACE AROUND THE FAN BOX. DRAFTSTOPPING USED, SUBDIVIDE IN LINE WITH UNIT SEPARATIONS DRAFTSTOPPING USED, SUBDIVIDE ATTIC TO 3,000 S.F. MAX. OR EVERY 2 DWELLING UNITS
8	INTERIOR FINISHES	803.4	CLASS C FLAME SPREAD T5-20, ALL ROOMS (SPRINKLERED) CLASS C FLAME SPREAD T5-20, CORRIDORS (SPRINKLERED)
9	FIRE PROTECTION SMOKE DETECTION	903.3.1.2 907.2.11.3	NFPA 13R SPRINKLER SYSTEM REQ. INTERCONNECTED SMOKE DETECTORS / ALARMS REQ.
10	OCCUPANT LOAD STAIR WIDTH COMMON PATH OF TRAVEL SEPARATION OF EXITS EMERGENCY ESCAPE OPENINGS	1004.1 1009 1014.3 1015.2.1 1018.1 1029	SECOND FLOOR OCCUPANT LOAD: 6,000 SF. / 200 SF. = 30 OCCUPANTS FOR EACH HALF OF BUILDING, DIVIDED BY TWO EXITS = 15 OCCUPANTS PER EXIT 36" MINIMUM BECAUSE LESS THAN 50 PEOPLE 125' TRAVEL DISTANCE NOT EXCEEDED FROM FURTHEST POINT OF SECOND FLOOR UNIT TO TWO DIRECTIONS OF TRAVEL (EXCEPTION 4, SPRINKLERED NFPA 13R) 1/2 DISTANCE OF MAXIMUM DIAGONAL LENGTH, SEE WISCONSIN BUILDING PRODUCT EVALUATION CORRIDOR FIRE RESISTANCE RATING - 30 MIN. WITH SPRINKLER SYSTEM, NO RATING WITHIN DWELLING UNITS. WINDOWS AS SECOND WAY OUT OF BUILDING IN EMERGENCY FIRST FLOOR WINDOW OPENINGS 5 SQUARE FEET SECOND FLOOR WINDOW OPENINGS 5.7 SQUARE FEET MINIMUM NET CLEAR OPENING OF 20" WIDE x 24" HIGH, 44" FROM FLOOR
11	ACCESSIBILITY PARKING SPACES DWELLING UNITS ACCESSIBLE UNITS	1104 1106.2 1107 1107.6.2	ACCESSIBLE ROUTE TO ALL FRONT DOORS OF TYPE A AND B UNITS AND ALL FIRST FLOOR 3 UNIT DOORS AND PATIO DOORS GROUP R-2, 2% BUT NOT LESS THAN 1 ALL FIRST FLOOR UNITS ARE TYPE "B" UNITS MINIMUM OCCUPANCIES CONTAINING MORE THAN 20 DWELLINGS, AT LEAST 2% SHALL BE A TYPE "A" UNIT. ALL UNITS ON SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS. UNITS SHALL BE DISPERSED AMONG CLASSES OF UNITS
14	BALCONIES	1406.3	(EXCEPTION 3) BALCONIES ON BUILDINGS OF TYPE V CONSTRUCTION HAVE NO REQ. FIRE RESISTANCE RATING WHERE SPRINKLER PROTECTION IS EXTENDED TO THIS AREA.

### National Electrical Code

CODE CHAPTER	CODE TITLE	CODE CHAPTER	CODE INFORMATION
110	REQUIREMENTS FOR ELECTRICAL INSTALLATION	110.26	SUFFICIENT WORKING SPACE SHALL BE PROVIDED AROUND ELECTRICAL EQUIPMENT (PANELS). THE DEPTH OF THE SPACE IN THE DIRECTION OF ACCESS TO LIVE PARTS SHALL BE A MINIMUM OF 3 FEET. THE MINIMUM WIDTH OF THE SPACE IN FRONT OF ELECTRICAL EQUIPMENT SHALL BE THE WIDTH OF THE EQUIPMENT OR 30 INCHES, WHICH EVER IS GREATER. THIS WORK SPACE SHALL BE CLEAR AND EXTEND FROM THE FLOOR TO A HEIGHT OF 6.5 FEET. THIS SPACE SHALL NOT BE USED FOR STORAGE.
210	DECKS AND PORCHES	210.52(E)(3)	DECKS AND PORCHES ACCESSIBLE FROM AN INTERIOR DWELLING UNIT SHALL HAVE ONE RECEPTACLE.
240	OVERCURRENT PROTECTION	240.24(d)	OVERCURRENT DEVICES (ELECTRICAL PANELS) SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIALS, SUCH AS CLOTHES CLOSETS.

### GA FILE NO. FC 5518 WOOD TRUSSES, GYPSUM WALLBOARD 1 HOUR FIRE

(1) 3/4" PROPRIETARY GYPSUM FLOOR TOPPING, ENSURE TOPPING IS CONTINUOUS UNDER TUBS OR WITHIN LINEN CLOSETS  
 (2) FLOORING SYSTEM - 23/32 in. THICK T&G WOOD STRUCTURAL PANELS w/ FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANEL TO BE PERPENDICULAR TO TRUSSES w/ JOINTS STAGGERED, SECURE TO TRUSSES w/ CONSTRUCTION ADHESIVE AND 6d RING SHANK NAILS, NAILS SPACED 12 in. O.C. ALONG EACH TRUSS.  
 (3) 18" DEEP PARALLEL CHORD TRUSSES 24 in. O.C. MAX.  
 (4) FIBERGLASS INSULATION  
 (5) RESILIENT CHANNELS - SPACED 12 in. O.C. PERPENDICULAR TO TRUSSES. CHANNELS SECURED TO EACH TRUSS w/ TYPE S, 1 1/4 in. LONG STEEL SCREW  
 (6) PROPRIETARY TYPE "X" GYPSUM - 5/8 in. THICK, 4 ft. WIDE SHEETS INSTALLED w/ LONG DIMENSION PERPENDICULAR TO FURRING OR RESILIENT CHANNELS w/ 1 in. LONG WALLBOARD SCREWS SPACED 8 in. O.C.

### IBC 720.1(2) RATED FIRE-RESISTANCE PERIODS FOR WALLS AND PARTITIONS a.o.p 1 HOUR FIRE

MATERIAL	ITEM NUMBER	CONSTRUCTION	MINIMUM FINISHED THICKNESS FACE TO FACE (INCHES)			
			4 HR	3 HR	2 HR	1 HR
14. WOOD STUDS - INTERIOR PARTITION WITH GYPSUM WALLBOARD EACH SIDE	14-1.3 1m	2" x 4" WOOD STUDS AT 24" ON CENTER, MAX., WITH 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED VERTICALLY OR HORIZONTALLY WITH 6d NAILS AT 7" ON CENTER WITH END JOINTS ON FRAMING MEMBERS. STAGGER JOINTS EACH SIDE. 2305.1 STAPLES EQUIVALENT CAN BE USED AS ALTERNATIVE. 6d NAIL CAN BE REPLACED WITH 16 GAUGE STAPLE, 1-5/8" HEAD AND 1-1/2" LEGS, 4" O.C.	---	---	---	4 3/4"

### IBC 720.1(3) MINIMUM PROTECTION FOR FLOOR AND ROOF SYSTEMS a.g 1 HOUR FIRE 66 MIN. FINISH

FLOOR OR ROOF CONSTRUCTION	ITEM NUMBER	CEILING CONSTRUCTION	THICKNESS OF FLOOR OR ROOF SLAB (INCHES)					MINIMUM THICKNESS OF CEILING (INCHES)
			3 HOUR	2 HOUR	1 HOUR	3 HOUR	2 HOUR	
21. WOOD JOISTS, FLOOR TRUSSES AND FLAT OR PITCHED ROOF TRUSSES SPACED A MAXIMUM 24" O.C. WITH MIN. 1/2" WOOD STRUCTURAL PANELS WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO TOP OF JOIST OR TOP CHORD OF TRUSSES WITH 6d NAILS. THE WOOD STRUCTURAL PANEL THICKNESS SHALL NOT BE LESS THAN NOMINAL 1/2" LESS THAN REQUIRED BY CHAPT. 23.	21-1.1	BASE LAYER: 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS @ 24" O.C. MAX., WITH 1 1/4" TYPE "S" OR TYPE "M" DRYWALL SCREENS @ 24" O.C. FACE LAYER: 5/8" TYPE "X" GYPSUM WALLBOARD OR VENEER BASE APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGH BASE LAYER WITH 1 7/8" TYPE "S" OR TYPE "M" DRYWALL SCREENS @ 12" O.C. AT JOINTS AND INTERMEDIATE JOIST OR TRUSS. FACE LAYER TYPE "G" DRYWALL SCREENS PLACED 2" BACK ON EITHER SIDE OF FACE LAYER END JOINTS, 12" O.C.	---	---	VAR.	---	---	1 1/4"

### AREA DATA

UNIT NUMBER	SQUARE FOOTAGE	FLOOR	NOTES
1	1,215	FIRST	TYPE "B" ACCESSIBLE
2	1,290	SECOND	---
3	1,280	SECOND	---
4	800	FIRST	TYPE "B" ACCESSIBLE
5	830	SECOND	---
6	1,250	SECOND	---
7	1,115	SECOND	---
8	1,250	FIRST	TYPE "B" ACCESSIBLE
<b>TOTALS</b>			
1-8 UNIT BUILDING		WITHIN R-2 OCCUPANCY	WITHIN GROUP U OCCUPANCY
FIRST	3,964	2,456	6,420
SECOND	6,210	0	6,210
TOTAL	10,174	2,456	12,630

### LOADS

**ROOF LOADS**  
 PS DEAD LOADS = 24.3 PSF  
 PS TOP CHORD = 10 PSF  
 PS BOTTOM CHORD = 7 PSF  
 PS COLLATERAL LOAD = 3 PSF  
 PS TOTAL ROOF LOAD = 48 PSF

**SECOND FLOOR LOAD**  
 PS LIVE LOAD = 40 PSF  
 PS TOP CHORD DL = 18 PSF  
 PS BOTTOM CHORD DL = 5 PSF  
 PS COLLATERAL LOAD = 3 PSF  
 PS TOTAL FLOOR LOAD = 66 PSF

**WIND LOADS ON STUDS**  
 PS INTERIOR ZONE = -15.8 PSF  
 PS EDGE ZONE = -19.5 PSF

SEE SHEET S2.2 FOR SNOW LOADS

SOIL BEARING LOAD PRESUMED TO BE AT LEAST 2,000 PSF

### LEGEND

SYMBOL	ITEM	SYMBOL	ITEM
(PS)	WALL TYPE - REFER TO WALL TYPES	(#)	PLAN NOTE
(E)	ELEVATION REFERENCE	(A)	REVISION MARK - REFER TO TITLE BLOCK FOR REVISION DATE
(X)	WALL SECTION REFERENCE OR DETAIL CUT - REFER TO SHEET NUMBER INDICATED IN BOTTOM OF SYMBOL	(A)	ACCESSIBILITY PLAN NOTE
(H-X)	HEADER		
SYMBOL	ITEM	ITEM DESCRIPTION	
(S)	SMOKE DETECTOR	IBC 907.2.10 - SINGLE AND MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE-WARNING EQUIPMENT PROVISIONS OF NFPA 72.	
(F)	BATH FAN	BATH FANS ARE TO BE IN ROOMS CONTAINING ANY BATHING FIXTURES, BATHTUBS, SHOWERS OR SPA. IBC 1203.4.2.1	
(W)	VINYL WINDOW	LOW E, DOUBLE PANE GLASS, GLAZING MINIMUM ASSEMBLY U-VALUE = .30, SHGC = .27, VISIBLE TRANSMITTANCE = .57, ALL EXTERIOR WINDOWS ARE CENTERED BETWEEN A ROOM'S WALLS UNLESS NOTED BY A DIMENSION.	
(I)	INTERIOR BEARING WALL		
(F)	FLOOR COVERING TRANSITION LINE		

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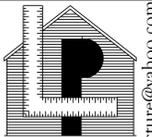
**Robert Mangen**  
 8 Unit with attached garages - # 871411  
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**Meadowland Villas 8 Unit Apartment Building with Attached Garages**  
 SHEBOYGAN, WISCONSIN

REVISION	DATE
1	9/16/2015
2	12/19/2015

DATE: 9/4/2015  
 PROJECT NO: 871411  
 SHEET: 1



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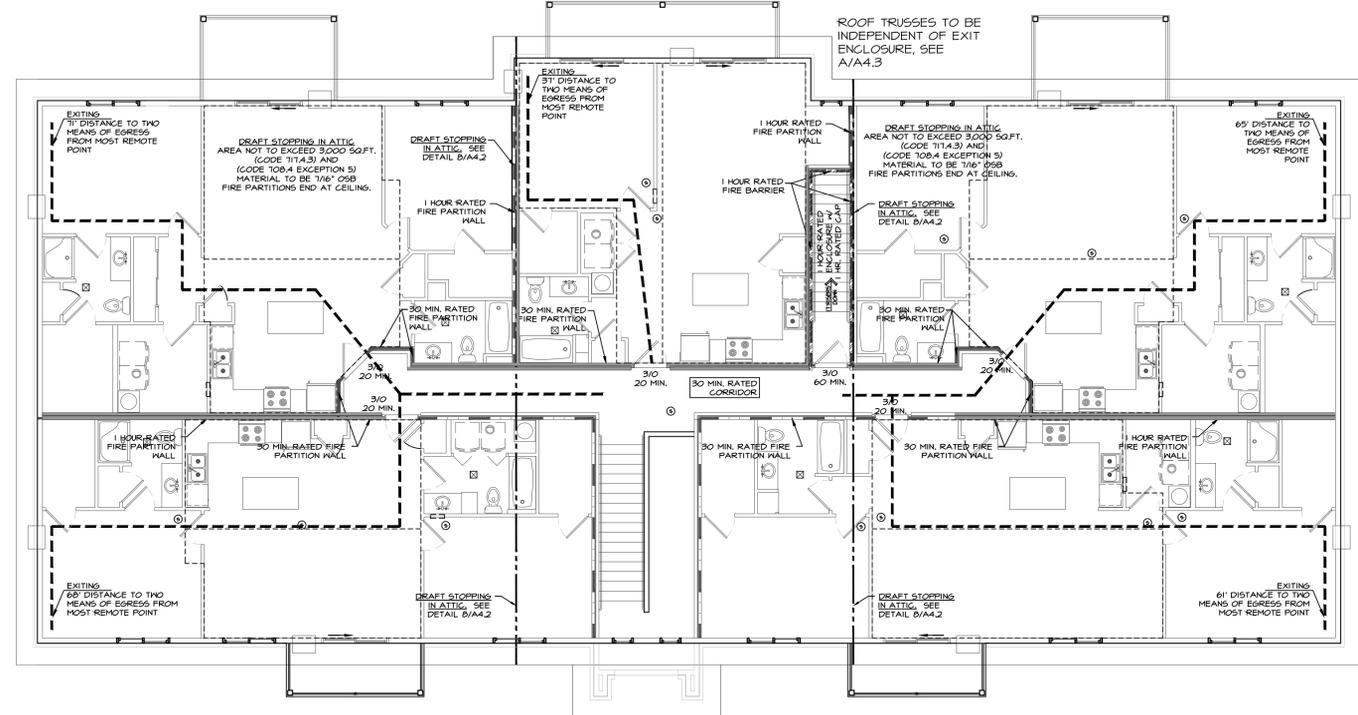
**Robert Mangen**  
Unit with attached garages - # 871411  
These plans are completed by:  
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**Meadowland Villas 8 Unit Apartment Building with Attached Garages**  
SHEBOYGAN, WISCONSIN

REVISION	DATE
1	9/16/2015
2	12/19/2015

DATE: 9/4/2015  
PROJECT NO. 871411  
SHEET **12**

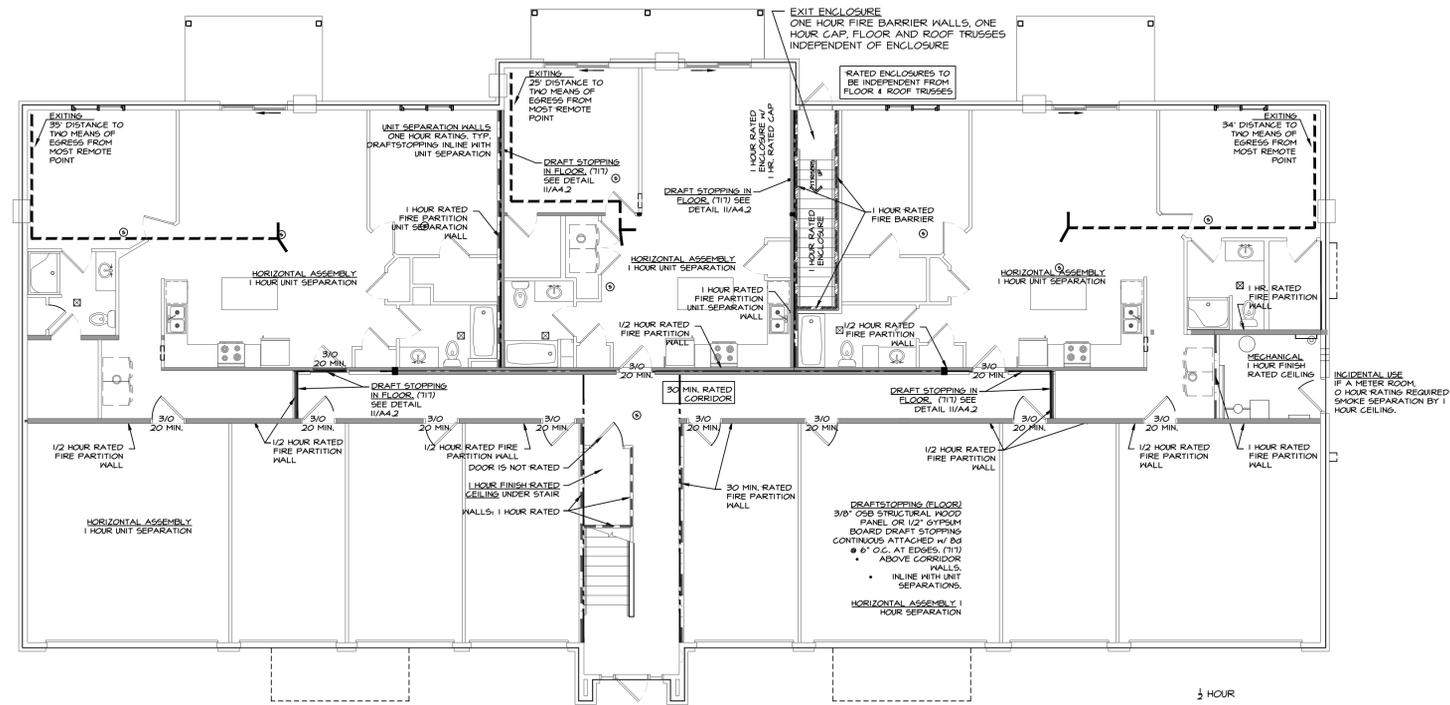


**SAFETY AND EXITING PLAN**

SCALE: 1/8" = 1'-0"

LEGEND		
SYMBOL	ITEM	EXPLANATION
	DRAFT STOPPING	IBC 717 - CONCEALED SPACES - FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH THIS SECTION. FIREBLOCKING SHALL COMPLY WITH SECTION 717.3.2. DRAFTSTOPPING IN FLOOR/CEILING SPACES SHALL BE IN LINE WITH UNIT SEPARATIONS. 717.4 THE ATTIC SPACE SHALL BE SUBDIVIDED BY DRAFTSTOPPING ABOVE EVERY TWO DWELLING UNITS, DRAFTSTOPPING IN LINE WITH UNIT SEPARATIONS. 717.4.2 AND 1014.4-EXCEPTION 5
	1/2 HOUR RATED WALL	1/2 HOUR RATED FIRE PARTITION CORRIDOR WALL OR PRIVATE GARAGE TO UNIT SEPARATION. (1014.3 EXCEPTION 1) (406.1)
	1 HOUR RATED FIRE PARTITION	IBC 104 - DWELLING UNIT SEPARATIONS <span style="border: 1px solid black; padding: 2px;">2/4</span>
	EXIT DISTANCE AND ROUTE	COMMON PATH OF TRAVEL = 125' MAX. (1014.3) EXIT ACCESS TRAVEL DISTANCE = 250' WITH SPRINKLER SYSTEM (1016.1)

NOTES:  
1. IBC 1406.3 EXCEPTION 3, BALCONIES ON BUILDINGS OF TYPE V CONSTRUCTION SHALL BE PERMITTED TO BE OF TYPE V CONSTRUCTION, AND SHALL NOT BE REQUIRED TO HAVE A FIRE RESISTANCE RATING WHERE SPRINKLER PROTECTION IS EXTENDED TO THESE AREAS.  
2. REQUIRED FIRE RESISTANCE SHOWN IN SAFETY PLAN, COMPOSITE PLANS / PARTITION TYPES MAY SHOW A HIGHER LEVEL OF FIRE RESISTANCE.



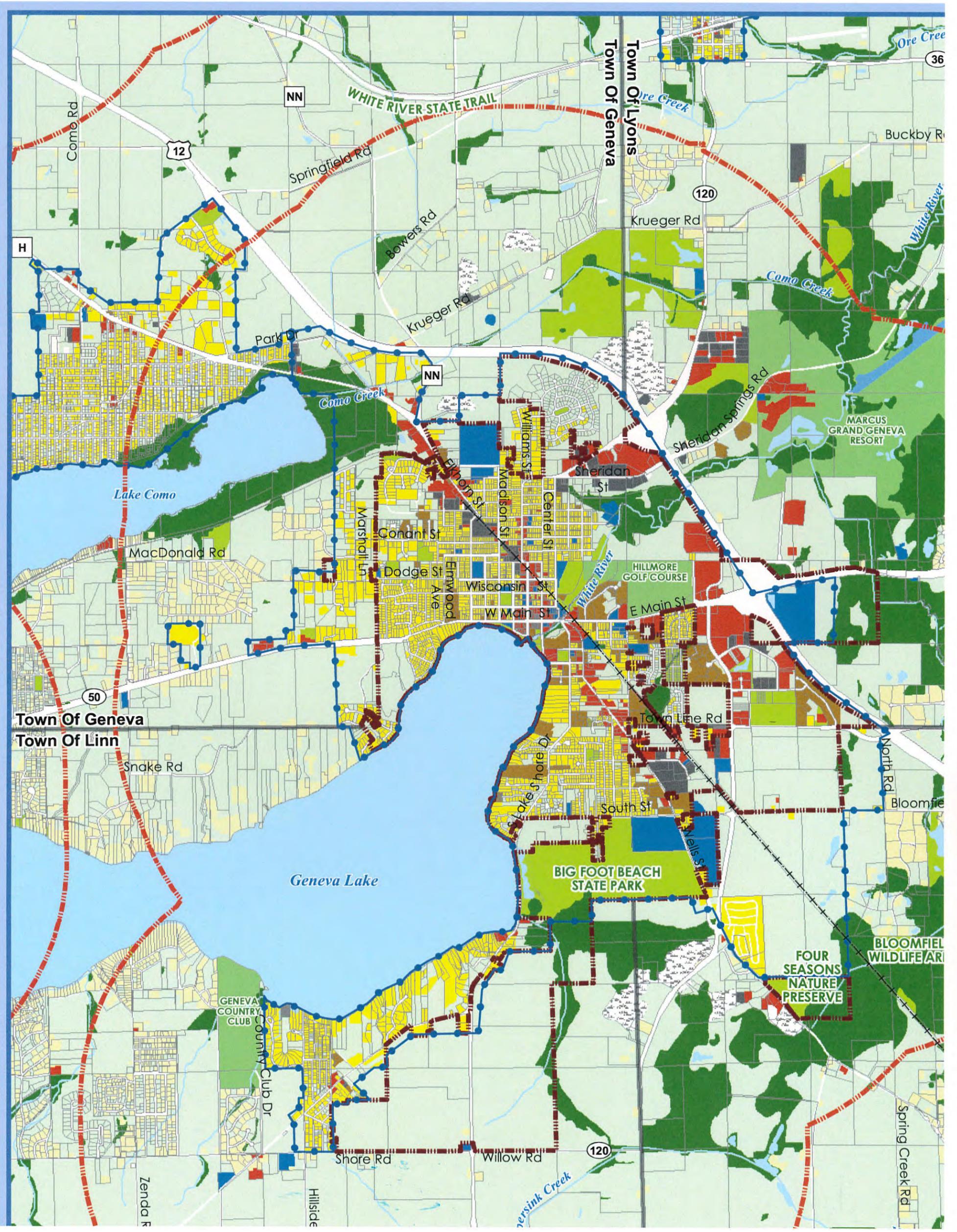
**SAFETY AND EXITING PLAN**

SCALE: 1/8" = 1'-0"

1 HOUR RATED FIRE PARTITION @ GARAGE AND MECHANICAL ROOMS

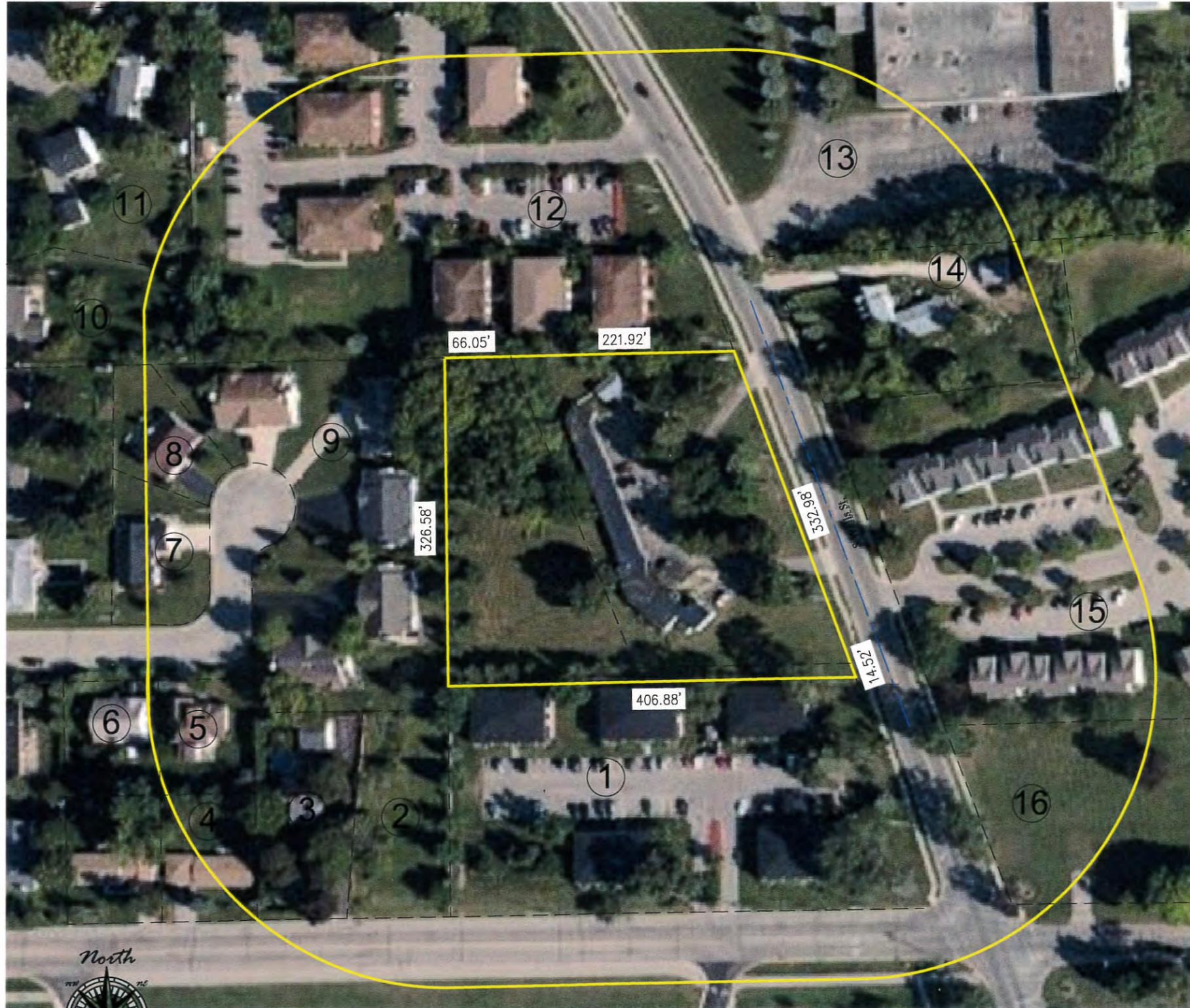






# Map of Subject Property

PD Proposal and 300' Boundary for 1150 South Wells Street  
Tax Parcels ZYUP 00142B, ZA119700002



## SURROUNDING PROPERTY OWNERS

- |   |   |   |
|---|---|---|
| 1<br>BIG EDDIE LLC<br>REID TERRACE LLC, ET AL<br>333 BISHOPS WAY #160<br>BROOKFIELD, WI 53005 | 9<br>ZCHMC 00001<br>LILY M KARLS<br>20 PENNY LN<br>LAKE GENEVA, WI 53147                                    | 10<br>BRIAN T KLEICH<br>21396 BIRCHWOOD RD<br>GENOA CITY, WI 53128.                           |
| 2<br>MICHAEL J FITZGERALD TRUST<br>4732 W ELM ST.<br>MCHENRY, IL 60050                        | ZCHMC 00002<br>DAVID P SMITH<br>MICHELLE L GARDESKI<br>232 PENNY LA<br>LAKE GENEVA, WI 53147                | 11<br>MICHAEL S PODY<br>PO BOX 685<br>LAKE GENEVA, WI 53147                                   |
| 3<br>CORREN M RECOB-MERRY<br>213 E SOUTH ST<br>LAKE GENEVA, WI 53147                          | ZCHMC 00003<br>MARK BORST<br>ELLA BORST<br>240 MARCLIFFE DR S, UT 6<br>VALPORAISSO, IN 46385                | 12<br>BIG EDDIE INC<br>REID TERRACE LLC, ET AL<br>33 BISHOPS WAY #160<br>BROOKFIELD, WI 53005 |
| 4<br>BRONTE M AITKEN<br>209 E SOUTH ST<br>LAKE GENEVA, WI 53147                               | ZCHMC 00004<br>VERN J STEPHAN TRUST<br>NANCY J STEPHAN TRUST<br>210 GLASSBORO CT 15-4<br>HERNANDO, FL 34442 | 13<br>AZENE LLC<br>201 SHERIDAN SPRINGS RD<br>LAKE GENEVA, WI 53147                           |
| 5<br>PATRICIA R ZYCK TRUST<br>1622 LUTHER AVE, #47<br>OAKBROOK, IL 60181-5254                 | ZCHMC 00005<br>GERALD J FISHER<br>CLAIRICE J FISHER<br>250 PENNY LA<br>LAKE GENEVA, WI 53147                | 14<br>ON PINS & NEEDLES<br>CASTLE RETREAT LLC<br>W3183 MACLEAN RD<br>ELKHORN, WI 53121        |
| 6<br>CARL OFLOFSON<br>EVELYN OLOFSON<br>210 PENNY LA<br>LAKE GENEVA, WI 53147                 | ZCHMC 00006<br>CHRISTIANE T MARSZALEK<br>251 PENNY LA<br>LAKE GENEVA, WI 53147                              | 15<br>GPC REAL ESTATE LLC<br>611 S MILWAUKEE AVE<br>PO BOX 400<br>LIBERTYVILLE, IL 60048      |
| 7<br>ERICA PATRICIA NEMETH VEIT<br>1655 EAGLE DR<br>LAKE GENEVA, WI 53147                     | ZCHMC 00007<br>GIOVANNONI TRUST<br>252 PENNY LN<br>LAKE GENEVA, WI 53147                                    | GPC REAL ESTATE LLC<br>611 S MILWAUKEE AVE<br>PO BOX 400<br>LIBERTYVILLE, IL 60048            |
| 8 YOUNGWOAN CHO<br>CAROLINE POLLOCK-CHO<br>241 PENNY LN<br>LAKE GENEVA, WI 53147              | ZCHMC 00008<br>CHRISTIANE T MARSZALEK<br>MARC E MARSZALEK<br>251 PENNY LN<br>LAKE GENEVA, WI 53147          |   |
|   | ZCHMC 00009<br>CHRISTIANE T MARSZALEK<br>251 PENNY LN<br>LAKE GENEVA, WI 53147                              |   |

Zoning Standards by Parcel:

MR-8 Two Family Residential Parcels 1, 12, 15-16	SR-4 Single Family Residential-4 Parcels 2-9	PD Planned Industrial Parcel 13
	TR-6 Two Family Residential-6 Parcels 10-11	Town of Bloomfield Parcel 14

Subject Property and Parcels 1-12, 14-16: City of Lake Geneva  
Parcel 12: Town of Bloomfield

SCALE  
1"=120'

DRAWN BY  
JEL

TAX PARCEL NO. ZYUP 00142B, ZA119700002

Map of  
Subject Property

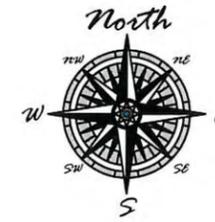
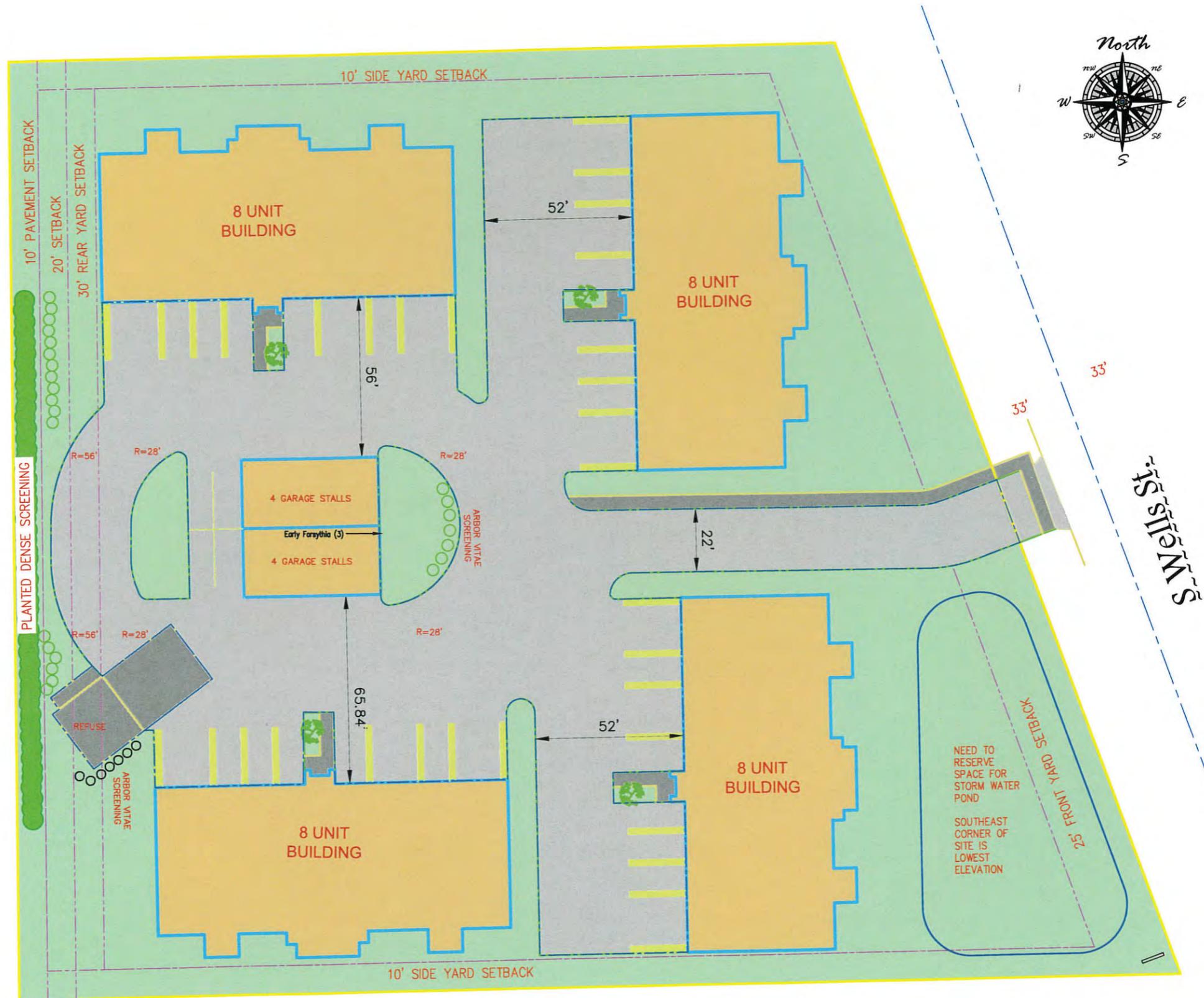
**Mau & Associates, LLP**  
LAND SURVEYING & PLANNING  
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Phone: 920-434-9670 Website: www.mau-associates.com  
400 Security Blvd, Green Bay, WI 54313

Northern  
Management

PROJECT NO.  
N-6517  
SHEET NO.  
**1 of 1**  
DRAWING NO.  
**GDP (2)**

# General Development Plan Drawing

PD Proposal and 300' Boundary for 1150 South Wells Street  
Tax Parcels ZYUP 00142B, ZA11970002



## NOTES

Size of Development:  
Combined to single lot. 2.61 acres

12.26 Units / Acre  
Floor Area Ratio 52,360 SF / 113,946 SF = 0.46  
Impervious Surface = 0.595  
3.0 Parking Stalls / Unit  
Green Space / Landscaped Surface = 0.405

Four Eight Unit Multi Family Residential Units

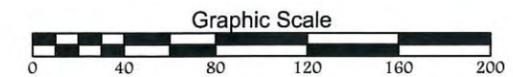
44 attached (in residential building) garage stalls  
44 tandem surface stalls  
8 detached garages stalls  
4 detached surface stalls  
Total 96 parking stalls

Units Include

- 1 Bed/1 Bath/1 Car Attached Garage
- 2 Bed/2 Bath/1 Car Attached Garage
- 2 Bed/2 Bath/2 Car Attached Garage

Construction schedule to begin Quarter 1 2018

Single Phase Construction



SCALE  
1"=40'

DRAWN BY  
JEL

TAX PARCEL NO. ZYUP 00142B, ZA11970002

**GDP**  
**Drawing**

**Mau & Associates, LLP**  
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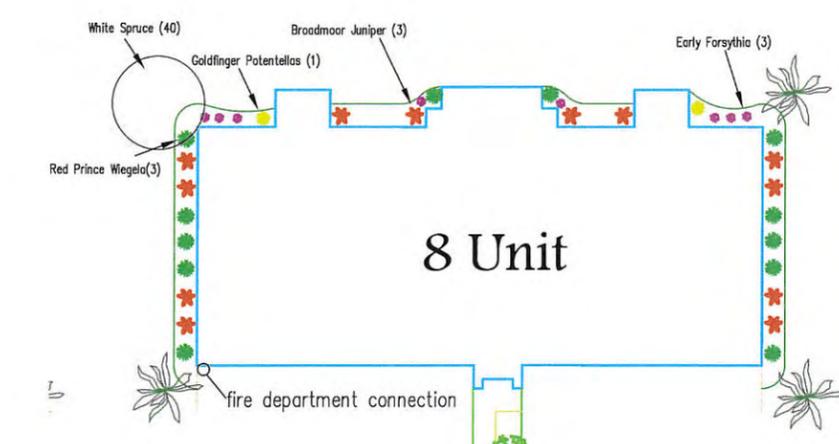
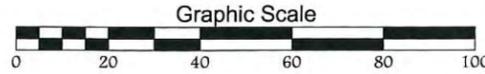
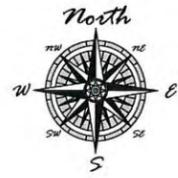
**Northern**  
**Management**

PROJECT NO.  
N-6517

SHEET NO.  
1 of 1

DRAWING NO.  
**GDP (4)**

# Conceptual Landscaping Plan



Plant Classification	Common Name	Planting Size	Quantity	Points Per	Total
Med Decid Shrub	Red Prince Wiegela	2"-3"	48	3	144
Low Decid Tree	Ivory Silk Lilac Tree	2" cal.	12	10	120
Low Evergreen Shrub	Broadmoor Juniper	15"-18"	48	3	144
Med Decid Shrub	Early Forsythia	12"-15"	32	3	96
Low Decid Shrub	Goldfinger Potentillas	2"-3"	8	1	8
Med Decid Tree	Paper Birch	2"-3"	4	15	60
Tall Evergreen Tree	White Spruce	6' H	4	40	160
Garage Foundation	Med Decid Shrub	Red Prince Wiegela	2"-3"	3	9
Existing Climax Tree (if feasible)	Decid 60' Canopy	exist	1	75	75
Tall Decid Tree	Autumn Blaze Maple	2" cal.	1	75	75
				Total	891

**Street Frontage** 346 Linear Ft 50 pts / 100 Linear Ft 174 Points Required

One single tall tree exists in street frontage area. Engineering will attempt to keep this tree. This would result in 50 points, needing a total of 124 for completion

53 points (30% of total requirement) needed for medium trees. 4 paper birch trees to be planted  
 121 points (70% of total requirement) needed for tall or climax trees. Sugar maples to be planted. Either one (if existing tree can remain) or two to be planted (if existing cannot stay)

**Paved Landscape** Appx. 38,450 sf 100 pts / 10,000 sq. ft. 385 Points Required

Engineering will dictate the total points allotted for this. Due to building function, much of the outer edge of paved areas have building within 10 feet of the edge of pavement. Areas which will have landscaping include:  
 Techny Arborvitae screening east of garages  
 Building foundation landscaping at the southern edge of the northeast building and northern edge of the southwest building  
 Two large climax trees east of detached garages  
 Room to place large climax trees and additional plantings in grass island west of detached garages/surface parking  
 Planted dense screening area along west property line. (Extent of bufferyard opacity to be determined by engineered grades in area and the type of plantings which can thrive while maintaining goals of bufferyard)

Points to be determined at moment

**Developed Lot Standards** Appx. 54,656 sf 20 pts / 1000 sf GFA 1093 points

Lot has approximately 30 trees of various stages of medium, tall, and climax trees. To largest extent possible with engineering limitations, all trees to be kept. Site survey has noted size of trees, but not exact species. Will need exact species of trees to be kept for PIP.

Existing Tree with Trunk Diameter which is noted for intention to retain. Feasibility in relation to engineered grades will dictate future use.

SCALE 1"=20'

DRAWN BY JEL

TAX PARCEL NO. ZYUP 00142B, ZA11970002

**Conceptual Landscaping**

1150 S Wells

File: N-6517 Site Plan 082317 final.dwg

**Mau & Associates, LLP**  
 LAND SURVEYING & PLANNING  
 CIVIL & WATER RESOURCE ENGINEERING  
 Phone: 920-434-9670 Website: www.mau-associates.com  
 400 Security Blvd, Green Bay, WI 54313

**Northern Mangement**  
 Lake Geneva

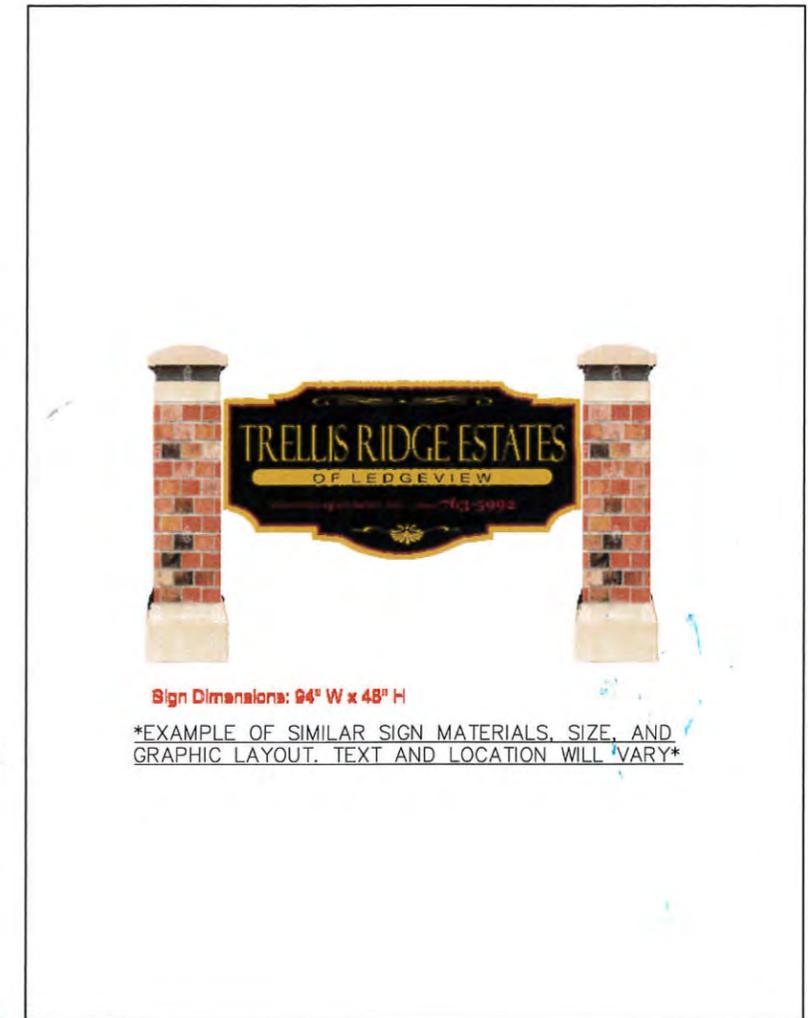
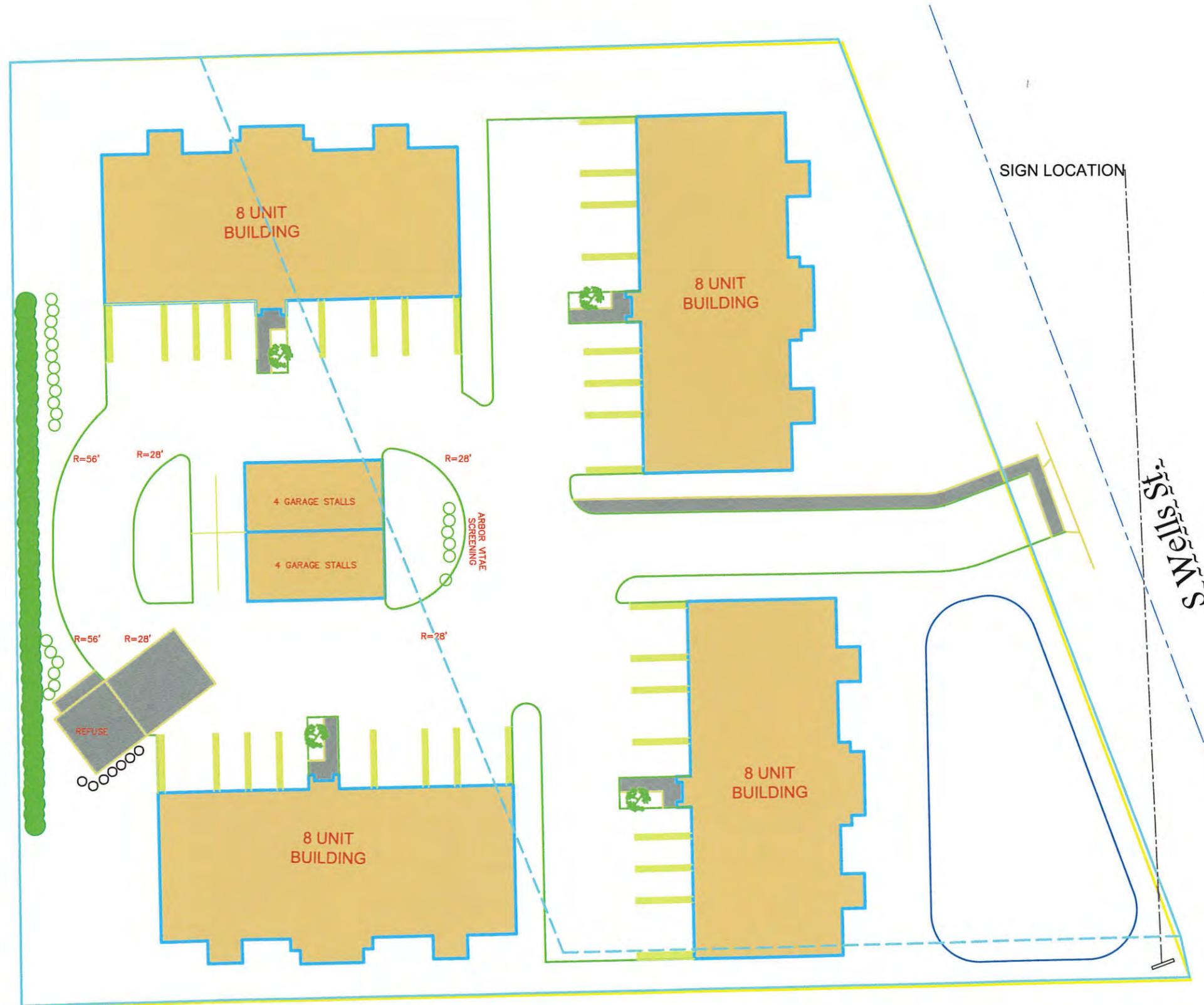
PROJECT NO. N-6517

SHEET NO. 1 of 1

DRAWING NO. GDP (5)

# General Signage Plan

PD Proposal and 300' Boundary for 1150 South Wells Street  
Tax Parcels ZYUP 00142B, ZA119700002



### NOTES

Sign shown would be type of sign used. Clearly, the sign would reflect the name of the development and its location in Lake Geneva.

Sign would denote:  
Name of Development  
Website  
Phone Number

No other signs are not foreseen within development as site will have unit addressing on buildings. Lighting for site not proposed to vary from City standards. Buildings to incorporate wall packs for lighting.

SCALE  
1"=120'

DRAWN BY  
JEL

TAX PARCEL NO. ZYUP 00142B, ZA119700002

**Mau & Associates, LLP**

LAND SURVEYING & PLANNING  
CIVIL & WATER RESOURCE ENGINEERING  
Phone: 920-434-9670 Website: www.mau-associates.com  
400 Security Blvd, Green Bay, WI 54313

**Northern  
Management**

PROJECT NO.  
N-6517

SHEET NO.  
**1 of 1**

DRAWING NO.  
**GDP (5)**

File: N-6517Site Plan 082317.mxd Date: 08/23/17 11:00:00 AM

STAFF REPORT  
To Lake Geneva Plan Commission  
Meeting Date: November 20, 2017

Agenda Item: 12

Applicant:

Core Commercial Inc.  
P.O.I. Box 1154  
Appleton, WI 54912

Request:

Ross Dress for Less  
Zoning Map Amendment to change  
the existing zoning:

- from Planned Business Park (PBP)
- to Planned Business (PB)

Description:

This request is to amend the Official Zoning Map for parcels ZGBC 0001, ZGBC 0001A, ZGBC 0002 located Geneva Parkway, immediately east of Edwards Street, to accommodate potential commercial land use of Indoor Sales or Services, a retail land use by changing the zoning of both parcels to the Planned Business (PB) zoning district, as recommended by the recent change to the City's Future Land Use Map of the City's Comprehensive Plan.

A proposed Certified Survey Map lot division to create a single parcel as received in this request. Two proposed buildings will be erected with the approval of the GDP & PIP which are on the new site next month's agenda.

The three parcels included in this Zoning Map Amendment request are:

- Parcel ZGBC 0001 located at 753 Geneva Parkway, currently zoned PBP
- Parcel ZGBC 0001A located at 753 Geneva Parkway, currently zoned PBP
- Parcel ZGBC 0002 located at 751 Geneva Parkway, currently zoned PBP

Consistency with the Comprehensive Plan:

Wisconsin law requires all Zoning Map Amendments to be consistent with the Comprehensive Plan, and particularly with the Future Land Use Map. This map recommends the Plan Business land use category for both parcels involved in this request. This land use category allows for Plan Business (PB) zoning and land uses such as the proposed Indoor Sales or Services land use to be located with the approved zoning map change.

The proposed Plan Business (PB) zoning *is consistent* with the recent change to Comprehensive Plan's recommended land use category identified by the Future Land Use Map.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Zoning Map Amendment from Planned Business Park (PBP) to Planned Business (PB):

As part of the consideration of a requested Zoning Map Amendment, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment to the Planned Business Park (PBP) zoning district; and,
- Include *findings* required by the Zoning Ordinance for Zoning Map amendments.

Staff Review Comments:

The request zoning map amendment would enable the consideration of the proposed development for a future GDP & PIP request. The Planned Business (PB) zoning district is intended for Indoor Sales or Services as an allowed land use.

Required Plan Commission Findings on the proposed Zoning Map Amendment for Recommendation to Common Council:

A proposed Zoning Map Amendment must be reviewed in relation to the following criteria, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Items 1 and 3, and one or more factors of Item 2, of the following.
1. The proposed Zoning Map Amendment furthers the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA)
  2. One or more of the following factors have arisen that are not properly addressed on the current Official Zoning Map:
    - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
    - b. A mistake was made in mapping on the Official Zoning Map;
    - c. Factors have changed, making the subject property more appropriate for the proposed zoning;
    - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
  3. The proposed amendment to the Official Zoning Map maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Items 1, 2, or 3 of the following:

1. The proposed Zoning Map Amendment does not further the purposes of the Zoning Ordinance as outlined in Section 98-005 and the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA).
2. One or more of the following factors have not arisen that are not properly addressed on the current Official Zoning Map:
  - a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
  - b. A mistake was made in mapping on the Official Zoning Map;
  - c. Factors have changed, making the subject property more appropriate for the proposed zoning;
  - d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
3. The proposed amendment to the Official Zoning Map does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Recommendation on the proposed Zoning Map Amendment:

1. Staff recommends that the Plan Commission recommend *approval* of the Zoning Map Amendment as proposed.
2. Staff recommends the *affirmative set of findings* provided above, noting that the proposal meets factors 1, 2a, and 3. Specifically:
  - In regard to Factor 1: the proposal will be consistent with all FEMA requirements;
  - In regard to Factor 2c: the proposal implements the Comprehensive Plan's Future Land Use Map recommendation for Planned Business development on the subject properties; and,
  - In regard to Factor 3: the proposal maintains the desired consistency of land uses, land use intensities, and land use impacts.

**APPLICATION FOR ZONING MAP AMENDMENT FOR PLANNED DEVELOPMENT  
ZONING INCLUDING GENERAL DEVELOPMENT PLAN APPROVAL (PD/GDP) AND  
ONE PRECISE IMPLEMENTATION PLAN APPROVAL (PD/PIP)**

Name of Applicant: Core Commercial, Inc.

Address of Applicant: P.O. Box 1154

Appleton, WI 54912

Telephone No. 920 205-9505

Fax and/or email:  Kimj@corewis.com

Name of Owner: Geneva Business Centre, LLC

Address of Owner: 704 Main Street

P.O. Box 460

Lake Geneva, WI 53147

Telephone No. 262-903-3222

Fax and/or email: 262-249-8590

Subject property address and/or complete legal description (use attached sheet if necessary):

Please see attached.

Current Zoning District: Planned Industrial

Fee of \$750.00 payable upon filing application.

10-26-17  
Date

Kim Fische  
Signature of Applicant



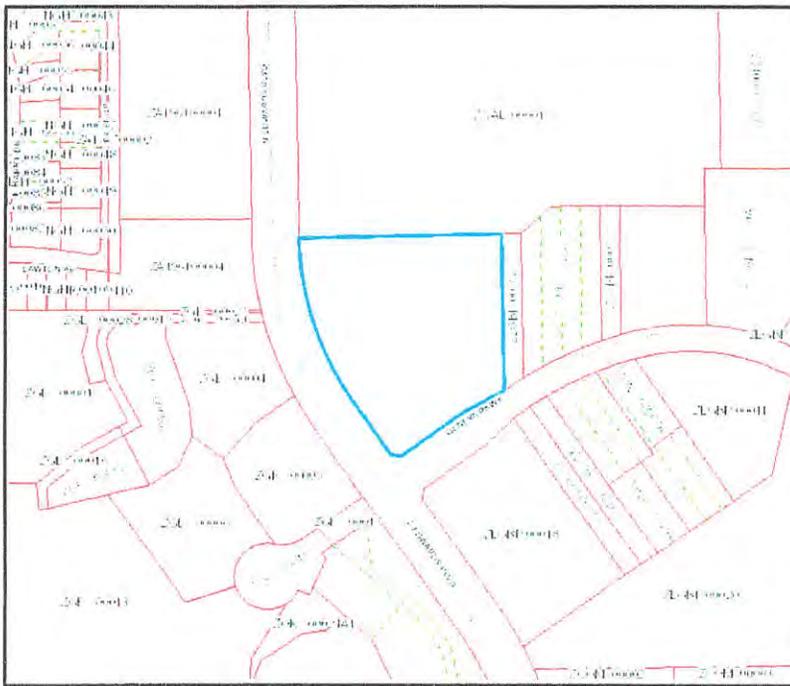
# Walworth County, WI Land Information Division

### Property Details

Municipality: CITY OF LAKE GENEVA  
 Parcel Number: ZGBC 00001  
 School District: 2885-LAKE GENEVA J1 SCHOOL DIS  
 Zoning District:

### Owner Information

Owner Name: GENEVA BUSINESS CENTRE LLC  
 Owner Name 2:  
 Mailing Address: 704 MAIN ST  
 PO BOX 460  
 LAKE GENEVA WI, 531470000



### 2016 Valuation Information

Land: \$48,000.00  
 Improvements: \$936,900.00  
 Total: \$984,900.00  
 Acres: 0.0000  
 Fair Market Value: \$983,400.00  
 Assessment Ratio: 1.0014714530  
 Mill Rate: 0.0212805480

### Tax Information

First Dollar Credit: \$80.38	School Credit: \$2,109.55
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$50.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$20,928.83	Woodland Tax Law Taxes: \$0.00
Net Tax: \$20,878.83	

### Tax Jurisdictions

CITY OF LAKE GENEVA \$5870.35  
 GATEWAY TECHNICAL \$790.87  
 SCH LAKE GENEVA J 1 \$5874.81  
 UHS LG-GENOA CITY \$3833.59  
 STATE OF WISCONSIN \$167.18  
 WALWORTH COUNTY \$4422.41

### Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)  
 State Representative: Tyler August(R) (32nd District)  
 State Senator: Stephen Nass(R) (11th District)  
 US Representative: Paul Ryan(R) (1st District)  
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

### Special Assessments / Charges

OTHER-SPECIAL CHARGE \$50.00

### Soil Classification

<u>Soil Type</u>	<u>Soil Name</u>	<u>Acres</u>
MpB	MCHENRY SILT LOAM, 2 TO 6 PERCENT SLOPES	2.4784
MxC2	SANDY LOAM SUBSTRATUM, 6 TO 12 PERCENT SLOPI	1.5101
CyA	CONOVER SILT LOAM, 1 TO 3 PERCENT SLOPES	1.1568

### Property Address

751 GENEVA PKWY LAKE GENEVA

### Legal Description

UNIT 1 GENEVA BUSINESS CENTRE CONDOMINIUM AS RECORDED UNDER DOC. NO. 313695. LOCATED IN SECTION 31 T2N R18E. AMENDMENT NO. 1 RECORDED UNDER DOC. #324083. (THIS IS AN EXPANDABLE CONDO) CITY OF LAKE GENEVA OMITTS ZLGBP-1

### Disclaimer

The information provided in this property information page is not official information. All official tax information is recorded in the Walworth County Treasurer's Office. To verify tax payment/payoff status, contact the Walworth County Treasurer's Office at 262-741-4251.



## CERTIFIED SURVEY MAP NO.

Being part of Units 1, 2 and Expansion units in Geneva Business Centre Condominium and part Lot 2 of Lake Geneva Business Park, a subdivision located in the SE 1/4 of the NW 1/4, the SW 1/4 of the NE 1/4, the NW 1/4 of the SE 1/4, the NE 1/4 of the SE 1/4 and the SW 1/4 of the SE 1/4 of Section 31, T2N, R18E, City of Lake Geneva., Walworth County, Wisconsin

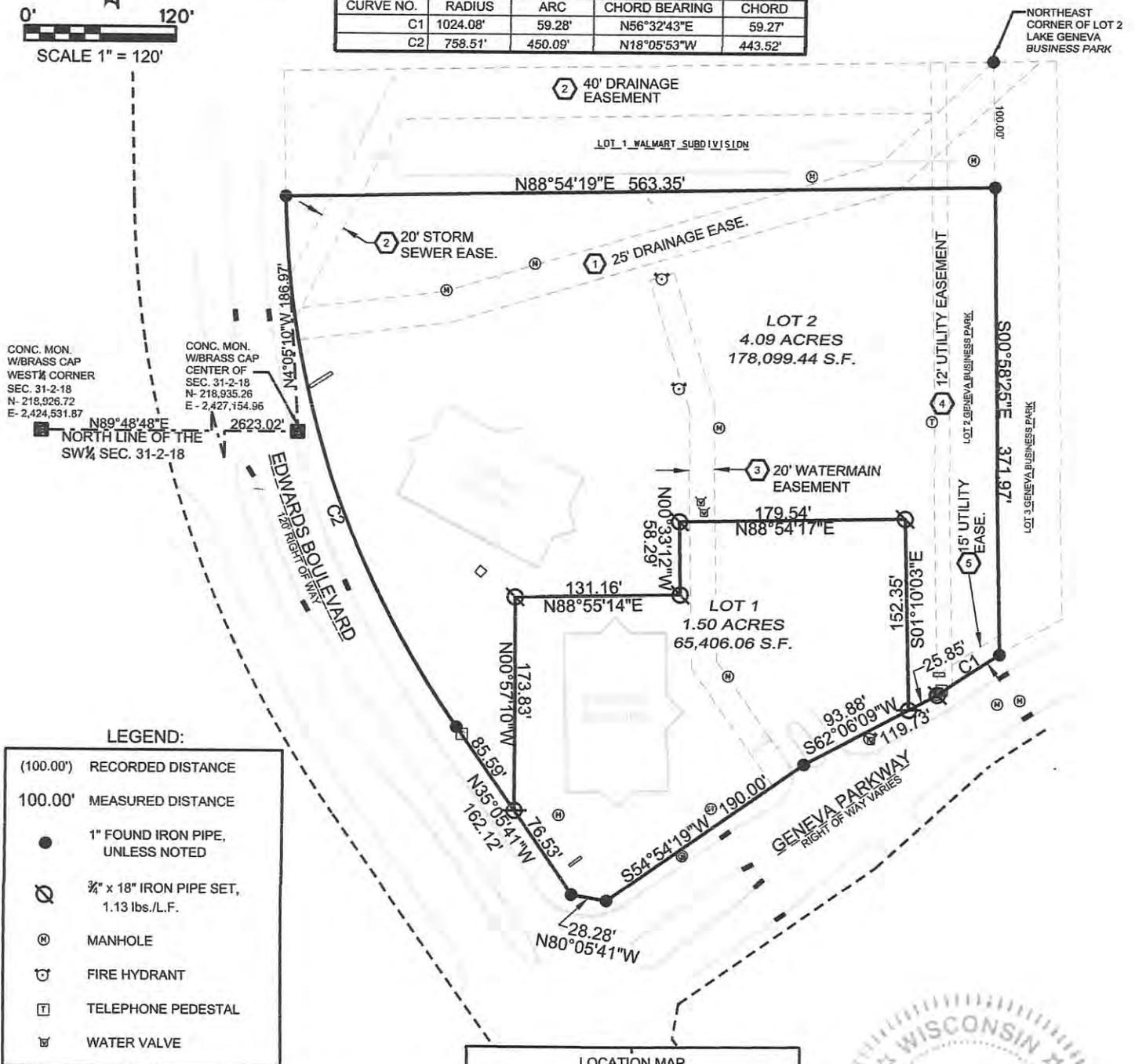
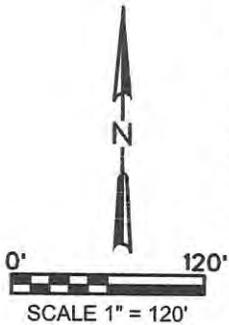
**BASIS OF BEARING:**  
THE NORTH LINE OF  
THE SW 1/4 OF SEC. 31,  
T 2 N - R 18 E WAS TAKEN  
TO BEAR N89°48'32"E.

**OWNER:**  
KIM PISCHKE  
CORE COMMERCIAL, INC.  
P.O. BOX 1154  
APPLETON, WI 54912

**SURVEYOR:**  
V2G SURVEYING LLC.  
550 BAY VIEW ROAD SUITE B  
MUKWONAGO, WI 53149  
262-378-5097

### CURVE INFORMATION

CURVE NO.	RADIUS	ARC	CHORD BEARING	CHORD
C1	1024.08'	59.28'	N56°32'43"E	59.27'
C2	758.51'	450.09'	N18°05'53"W	443.52'



### LEGEND:

(100.00')	RECORDED DISTANCE
100.00'	MEASURED DISTANCE
●	1" FOUND IRON PIPE, UNLESS NOTED
⊗	3/4" x 18" IRON PIPE SET, 1.13 lbs./L.F.
⊙	MANHOLE
⊕	FIRE HYDRANT
⊞	TELEPHONE PEDESTAL
⊟	WATER VALVE

No.	EASEMENT DESCRIPTION	DOCUMENT No.
1	25' DRAINAGE EASEMENT	227992, 313695
2	STORM SEWER AND DRAINAGE	313695
3	20' PUBLIC WATERMAIN EASEMENT	313695
4	EASEMENT FOR UNDERGROUND ELECTRIC LINES	323067
5	EASEMENT FOR UNDERGROUND ELECTRIC LINES	323068

