

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING
MONDAY SEPTEMBER 16, 2019 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Amended Agenda

Amended item #5 & added item #8
and renumbered #8.a.

Meeting called to order by Tom Hartz.

1. Roll Call.
2. Approve Minutes of the August 19, 2019 Plan Commission meeting as distributed.
3. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
4. Acknowledgment of Correspondence.
5. Review and a Recommendation for a request on **Extraterritorial Platting (ETP)** land division creating a new CSM located application for a Certified Survey Map (CSM) submitted by Woodhill Farms Nursery, Inc. located at N1445 STH 120 Lake Geneva, located in the **Town of Linn**, creating a lot line adjustment Tax Key No. IA462300001.
6. Continuation of the Public Hearing and Recommendation of a Conditional Use Permit filed by Robert Nabasny, 311 S. Wells St. on the request to allow for an alteration and addition to the home located at 1544 W. Main St. located within the Estate Residential – 1 (ER-1) zoning district utilizing the Single Family – 4 (SR-4) zoning setbacks, Tax Key No. ZLM00070.
7. Public Hearing and Recommendation of a Conditional Use Permit filed by Lake Geneva Architects, 201 Broad St, Lake Geneva. For a request to construct a new commercial multi-tenant structure at 323 Broad Street. The property is located in the within a Planned Development (PD) with an additional request to revert back to the original underlying Central Business (CB) zoning district, Tax Key No. ZA464600002.
8. **Review of Draft #1 of the Comprehensive Plan.**
 - 8.a. Comprehensive Plan application review, a single application for the property located at the North West corner of the intersection of Townline Rd and Edwards Blvd., the applicant is 120 Properties LLC. applicants Ron & Robin Bender Tax Key No. ZYUP00198.

9. Conceptual review for the property located at 302 Townline Rd. for a proposed personal storage facility located in the Planned Industrial (PI) zoning district Tax Key No. ZYUP00144
10. Adjournment.

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

Posted 9/13/2019

**PLAN COMMISSION MEETING
MONDAY, AUGUST 19, 2019 – 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Mayor Hartz called the meeting to order 6:01 p.m.

Roll Call. Present: Mayor Hartz, John Gibbs, William Catlin, Michael Krajovic. Absent (Excused) Alderman Doug Skates, Ann Esarco, Brett Stanczak. Also Present: City Planner Slavney, City Attorney Draper, Building and Zoning Administrator Walling. Building & Zoning Administrative Assistant Follensbee.

Approve Minutes of the July 15th 2019 Plan Commission meeting as distributed.

Gibbs/Krajovic motion to approve. Motion carried unanimously.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes.

Speaker #1: Charlene Klein, 817 Wisconsin Street, thanked Thomas & Kathy George for preserving the house at 832 Geneva Street.

Speaker #2: Brian Yunker, 311 Cook Street, in favor of the George's plan at 832 Geneva Street.

Acknowledgement of Correspondence. None.

Downtown Design Review

Application by Dimitrius Anagnos, 148 Cass St. Lake Geneva, for the request to raze and remove a portion of the building to incorporate additional outdoor dining to the exterior of the property, located at 811 Wrigley Dr., in the Central Business (CB) zoning district, Tax Key No. ZA483300003.

Dimitrius Anagnos, 148 Cass Street, presented his request. Zoning Administrator stated the request also includes moving the existing shed away from the alley, closer to the building. Planner Slavney clarified the patio would be stamped. Mayor Hartz asked about handicapped accessibility. Anagnos said the plan has two possibilities for handicapped accessibility.

Krajovic/Gibbs motion to approve the razing and removal of a portion of the building and include all staff recommendations.

Roll Call: Hartz, Gibbs, Catlin, Krajovic "yes." Motion carried unanimously.

Review and a Recommendation of an application submitted by Daniel & Andrea Pether for Extraterritorial Zoning (ETZ) land division creating a new CSM located at N2957 Marshall Ln. Lake Geneva, located in the Town of Geneva, creating a lot line adjustment Tax Key No. JA396100002.

Dan Pether, N2957 Marshall Lane, presented his request for a lot line adjustment and to remove the restriction to enter lot 1 from Marshall Lane. Slavney the proposed land division meets all city requirements.

Gibbs/ Catlin motion to recommend the Extraterritorial Zoning (ETZ) CSM with a lot line adjustment, and allow a driveway access to Lot 1 from Marshall Lane and include all staff recommendations and fact finding in the affirmative.

Roll Call: Hartz, Gibbs, Catlin, Krajovic "yes." Motion carried unanimously.

Public Hearing and Recommendation of a Conditional Use Permit filed by Thomas & Kathy George, 3380 S. Lake Shore Dr. Delavan 53115, for the request to allow Outdoor Commercial Entertainment land use located at 832 Geneva St, situated within the Central Business (CB) zoning district, Tax Key No. ZOP00252.

Thomas George, 3380 S Lake Shore Drive, Delavan, presented his request. Walling said this plan is an excellent use of the property and also meets all downtown requirements. Slavney thanked Mr. George for his efforts and asked which materials would be used for the patio. George said they would use pavers and maybe heated tables. Hartz asked about the hours of operation. George stated 7am to mid-afternoon and maybe 5:30-8 pm. Hartz suggested 7am-10pm for the hours. Hartz also asked if there would be outdoor music. George said it isn't in the plan. George thanks everyone.

Speaker #1: Brian Yunker, 311 Cook Street, shared his approval for the request at 832 Geneva Street.

Speaker #2: Ted Herrick, owns building at 821 Geneva Street, shared his support for this proposal and thanks the George's.

Krajovic/Gibbs motion to close the Public Hearing. Motion carried unanimously.

Hartz/Gibbs motion to approve the Conditional Use Permit to allow Outdoor Commercial Entertainment to include all staff recommendations and fact finding in the affirmative and the condition of the hours of operation to be 7am-10pm. Roll Call: Hartz, Gibbs, Catlin, Krajovic "yes." Motion carried unanimously.

Public Hearing and Recommendation of a Conditional Use Permit filed by Jonathan Grosso, 4209 W. Stonefield Rd. Mequon, WI 53902, for the request to allow the new installation of a 95' Pier with 1 boat slip located at 950 Mariane Terrace, situated within the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZSY00015.

Larry Quist, W6489 N Walworth Road, Walworth, representing Jonathan Grosso, presented the request. Walling said they meet all the requirements for the riparian rights of 12 ½ foot setbacks, under the maximum allowance of 100 feet and received DNR approval.

Gibbs/Krajovic motion to close the Public Hearing. Motion carried unanimously.

Krajovic/Catlin motion to approve the Conditional Use Permit for the new installation of a 95' pier with 1 boat slip and include all staff recommendations and fact finding in the affirmative.

Roll Call: Hartz, Gibbs, Catlin, Krajovic "yes." Motion carried unanimously.

Public Hearing and Recommendation of a Conditional Use Permit filed by Robert Nabasny, 311 S. Wells St. on the request to allow for an alteration and addition to the home located at 1544 W. Main St. located within the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZLM00070.

Robert Nabasny, 311 S Wells Apt 2, presented his request. Walling said it meets all the setbacks for SR-4 zoning. Slavney stated the proposed impervious surface is lower than what is allowed so it meets the landscape surface area requirements.

Speaker #1: David Frost, 1556 Orchard Lane, shared his concerns regarding the proposed house design, storm water drainage and the need for review by Lake Geneva Manor and the city engineer.

Speaker #2: Bob Krause, 311 Fox Lane, Woodstock, IL. Engineer working with the applicant, spoke about the drainage on the property and said they would work with the city engineer to assure there no additional water running off the back of property after construction.

Speaker #3: Jackie Getzen, 15 Lakeview Drive, representing neighbors, shared concerns about the steep grade and hard surfaces in the Manor which result in drainage issues.

Gibbs/Catlin motion to close the Public Hearing. Motion carried unanimously.

Commissioner Gibbs asked for clarification on the CUP process of the projects in the ER-1 zoning district. Slavney explained the process and suggested this project should be reviewed by the city engineer before action is taken.

Hartz/Gibbs motion to continue the public hearing and Conditional Use Permit application until the city engineer can review and approve the storm water drainage plan which may include the possibility of rain gardens in the back yard. Roll Call: Hartz, Gibbs, Catlin, Krajovic “yes.” Motion carried unanimously.

Public Hearing and Recommendation of a Conditional Use Permit filed by CDS Investments LLC, 1840 International Parkway, Woodridge, IL. 60517 on a request to raze and rebuild a new single family home located at 1550 Lake Shore Dr. situated within the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZLM00048.

Todd Cauffman, Lowell Custom Homes, representing the applicant, presented the request to raze and rebuild the home previously approved for renovation. Walling said the current structure doesn't allow for modifications which is why the applicant has submitted the proposed plan and application. Walling also said the footprint will stay the same. Slavney understands the dilemma after reviewing the plans.

Speaker #1: Jackie Getzen, 15 Lakeview Drive, supports the proposed plan of this home.

Speaker #2; Jay Kleiman, 1551 Lake Shore Drive, shared his approval of this plan to stay within the original footprint. He did share a concern about the asbestos and paint removal since there are kids in this subdivision as well as the property's proximity to the lake. Walling said they are sending samples to the DNR, watering the house to mitigate the dust, and providing erosion control or a water capturing system to prevent this water from going into the lake. Gibbs asked if the lot was flat and were there any water issues. Cauffman stated the property slopes a bit on the sides but the front and lake side areas are flat and is easy to contain.

Krajovic/Gibbs motion to close the Public Hearing. Motion carried unanimously.

Krajovic/Catlin motion to approve the Conditional Use Permit to raze and rebuild a new home and include all staff recommendations and fact finding in the affirmative.

Roll Call: Hartz, Gibbs, Catlin, Krajovic “yes.” Motion carried unanimously.

Public Hearing and Recommendation of a Conditional Use Permit filed by Lake Geneva Public Library, 918 W. Main St. the request is to allow the message display reduction to 30 seconds from the current 60 second static text message for Community Information Signs, located within the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZOP00348.

Hartz/Krajovic motion to continue the public hearing and recommendation of the Conditional Use Permit for a message display reduction.

Roll Call: Hartz, Gibbs, Catlin, Krajovic “yes.” Motion carried unanimously

Comprehensive Plan application review, a single application for the property located at the North West corner of the intersection of Townline Rd and Edwards Blvd., the applicant is 120 Properties LLC, Ron & Robin Bender. Tax Key No. ZYUP00198.

Slavney presented the Comprehensive Plan application request and referenced the neighborhood meeting which provided feedback reflecting a transition of future land use within this property. Slavney stated the Plan Commission will make a recommendation for this request at the September Plan Commission Meeting. Commissioner Krajovic asked for clarification of the future land use, the bike path, and the potential for traffic congestion. Hartz said the road capacity would be addressed when the developer begins to plan for the specific areas within the project.

Public comments:

Speaker #1: Bob Tymcio, 677 Joshua Lane, asked how many units would be planned for the multi-family residential land use. Slavney said the developer stated a year ago they would need 100 units to allow for on-site property management. Tymcio also asked if stoplights are allowed on Townline Road. Hartz said stoplights are allowed as well as stop signs. Tymcio asked if the bike path goes on the west side of property, would it be part of the existing homes on Joshua Lane. Slavney stated the bike path would be part of the Bender property, not on the property of the existing homes.

Speaker #2: John Schnurr, 701 Joshua Lane, attended the neighborhood meeting, shared his concerns about the height of the buildings and the traffic on Townline Road. His new concern is the road connecting the existing subdivision with the new development resulting in more traffic in his subdivision which has at least 30 kids and his lot is located in this area. He is worried about the children's safety.

Speaker #3: David Widzisz, 748 N Andria Drive, shared his concerns of traffic congestion, especially for his sons riding bikes in his subdivision, if the connecting road is approved. He is also concerned about the potential for more cars traveling on Townline Road after this development.

Slavney explained the concept of connected neighborhoods with like land uses and said this concept is not the only option. All concepts including traffic and design are subject to design review by engineers.

Adjournment. Gibbs/Catlin motion to adjourn at 7:42 p.m. Motion carried unanimously.

/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 16, 2019

Agenda Item: 5

Applicant:

Woodhill Farms Nursery, Inc.
N1445 STH 120
Lake Geneva, WI 53147

Request: ETZ Town of Bloomfield

Extraterritorial Zoning Plat review two lot
CSM to Tax Key No. IA462300001

Description:

This request is to approve an Extraterritorial Zoning Plat review for the request of a 2 lot CSM for Tax Key No. IA462300001 located in the Town of Bloomfield.

This request is to approve the proposed Certified Survey Map dated August 20, 2019 revised prepared Schmidt Engineering job number 190417 for the property located at N1445 STH 120.

The parcels newly created parcel will be 15.01 acres.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Extraterritorial Zoning request (ETZ)

As part of the consideration of the requested ETZ, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed ETZ review.

Staff Recommendation on the proposed

1. Staff recommends that the Plan Commission recommend *approval* of the Extraterritorial Zoning request (ETZ): as submitted, subject to approval Walworth County Land Use Zoning.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP or

SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

WOODHILL FARMS NURSERY, INC.

N 1445 STH 120

Lake Geneva, WI 53147

TELEPHONE NUMBER OF CURRENT OWNER:

(262) 248-9876

EMAIL ADDRESS: tjohnson@godfreylaw.com

PROJECT ADDRESS N 1445 STH 120

TAX KEY NUMBER: IA462300001

NAME AND ADDRESS OF APPLICANT:

Same as Owner

TELEPHONE NUMBER OF APPLICANT:

()

EMAIL ADDRESS: _____

NAME AND ADDRESS OF SURVEYOR:

Joseph Brahm, PLS of Schmitt Engineering

215 W. Calhoun Street

Woodstock, IL 60098

TELEPHONE NUMBER OF SURVEYOR:

(815) 337-7810 ext 104

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

Owner applies under the city's extra-territorial platting authority for approval of a two-lot CSM

to create a 15.01-acre lot to permit a residence to be constructed thereon for the Owner.

The proposed CSM lot is zoned C-2, Upland Resource Conservation District, which

permits single-family residences, and is part of a larger lot, about 98.980 acres.

SUBMITTAL CHECKLIST

_____ LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.

_____ SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.

_____ CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.

_____ PROVIDE 5 FULL SETS AND 20 - 11" X 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.

_____ PROVIDE AN ELECTRONIC COPY OF THE FULL APPLICATION PACKET TO THE LAKE GENEVA BUILDING AND ZONING DEPARTMENT AT BZADMIN@CITYOFLAKEGENEVA.COM OR BZCLERK@CITYOFLAKEGENEVA.COM

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

WOODHILL FARMS NURSERY, INC.

August 30, 2019

DATE

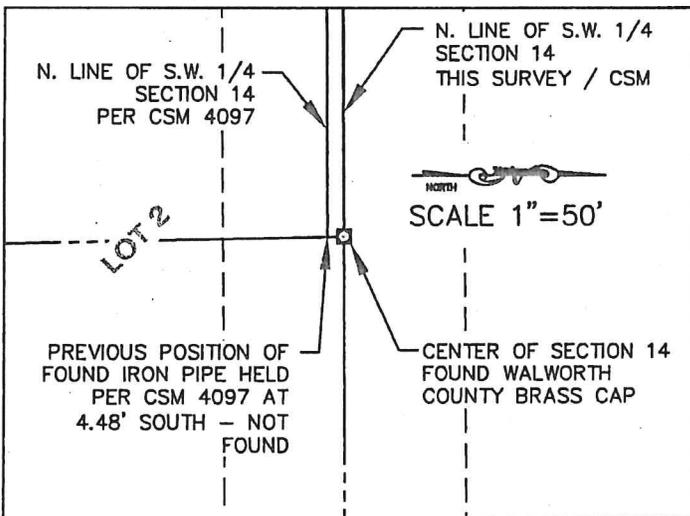
By: 

SIGNATURE OF APPLICANT Its sole shareholder

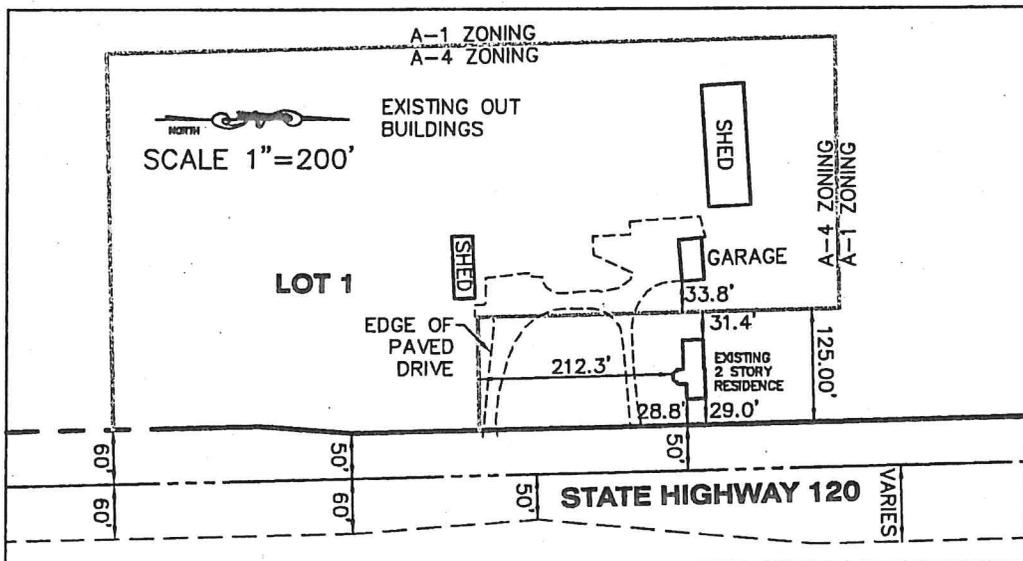
CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 4623, BEING PART OF THE NE 1/4 AND NW 1/4 AND PART OF THE SE 1/4 AND SE 1/4 OF THE SW 1/4, TOGETHER WITH PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF LINN, COUNTY OF WALWORTH, STATE OF WISCONSIN.

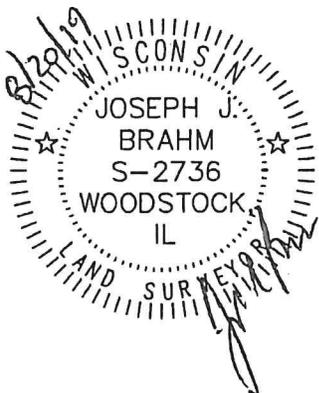
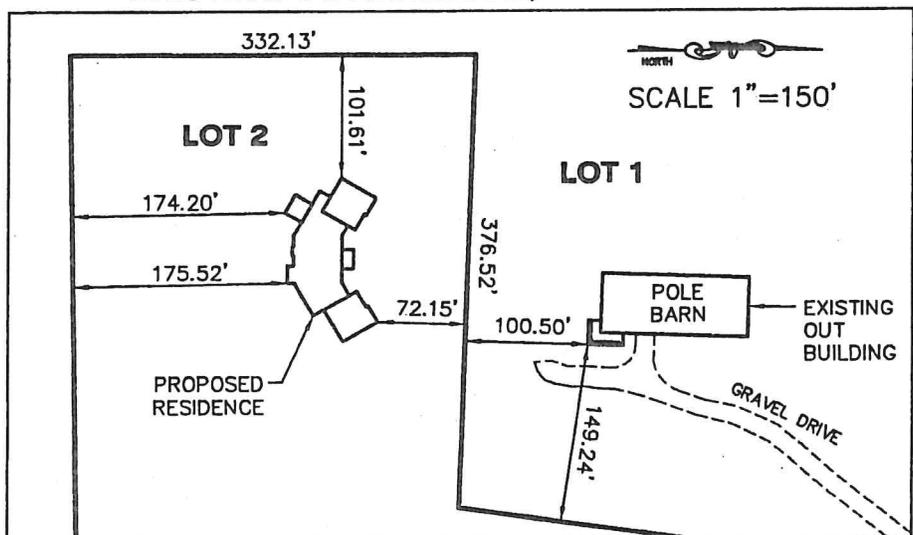
CENTER OF SECTION - CORNER DETAIL



EXISTING RESIDENCE, OUTBUILDINGS AND DRIVEWAY



EXISTING OUTBUILDING / PROPOSED HOUSE



SHEET 2 of 4 SHEETS
Job Number 190417

SCHMITT ENGINEERING
215 West Calhoun, Woodstock, IL 60098
Ph (815) 337-7810 Fx (815) 337-7812
www.alschmittengineering.com

PROPERTY OWNER:
WOODHILL FARMS NURSERY
N1445 STATE HIGHWAY 120 SO.
LAKE GENEVA, WI 53147

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 4623, BEING PART OF THE NE 1/4 AND NW 1/4 AND PART OF THE SE 1/4 AND SE 1/4 OF THE SW 1/4, TOGETHER WITH PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF LINN, COUNTY OF WALWORTH, STATE OF WISCONSIN.

SURVEYORS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF McHENRY } SS

I, JOSEPH J. BRAHM, A PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY: THAT I HAVE SURVEYED, DIVIDED AND MAPPED LOT 1 OF CERTIFIED SURVEY MAP NO. 4623 RECORDED DECEMBER 21, 2015 AS DOCUMENT NO 917504 IN THE WALWORTH COUNTY RECORDER'S OFFICE, BEING PART OF THE NE 1/4 AND NW 1/4 AND PART OF THE SE 1/4 AND SW 1/4 OF THE SE 1/4, TOGETHER WITH PART OF THE NE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN THE TOWNSHIP OF LINN, COUNTY OF WALWORTH, STATE OF WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCE AT BRASS CAP MONUMENT MARKING THE EAST QUARTER CORNER OF SAID SECTION 14; RUN THENCE SOUTH 89° 39' 34" WEST 849.89 FEET ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID NORTH LINE, SOUTH 89° 39' 34" WEST, 1428.49 FEET TO THE NORTHEAST CORNER OF LOT 2 OF SAID CERTIFIED SURVEY MAP NO. 4623; THENCE ALONG THE EASTERLY LINE OF SAID LOT 2, SOUTH 01° 16' 26" EAST 260.98 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 89° 34' 02" WEST ALONG THE SOUTHERLY LINE OF SAID LOT 2, 833.53 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2 BEING ON THE EAST LINE OF CSM NO. 4097 RECORDED AS DOCUMENT NO. 723704; THENCE ALONG THE EAST LINE OF SAID CSM NO. 4097, SOUTH 01° 20' 16" EAST 289.66 FEET TO THE SOUTHEAST CORNER OF SAID CSM NO. 4097; THENCE SOUTH 01° 07' 14" EAST 950.01 FEET; THENCE NORTH 89° 40' 34" EAST 3052.01 FEET TO A POINT 60.00 FEET WEST OF THE EAST LINE OF SAID SOUTHEAST QUARTER OF SAID SECTION 14, SAID POINT BEING ON THE WEST RIGHT-OF-WAY LINE OF STATE HIGHWAY 120; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, NORTH 01° 11' 30" WEST 361.83 FEET; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, NORTH 04° 31' 45" EAST 100.32 FEET; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, NORTH 01° 11' 30" WEST 738.70 FEET; THENCE DEPARTING SAID WEST RIGHT-OF-WAY LINE, NORTH 16° 42' 34" WEST 222.81 FEET, TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF WILLOW ROAD; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89° 39' 34" WEST, 311.58 FEET; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, NORTH 82° 58' 31" WEST 433.58 FEET; THENCE NORTH 00° 20' 26" WEST 33.00 FEET TO THE POINT OF BEGINNING. CONTAINING 4,311,586 SQ. FEET OR 98.980 ACRES MORE OR LESS.

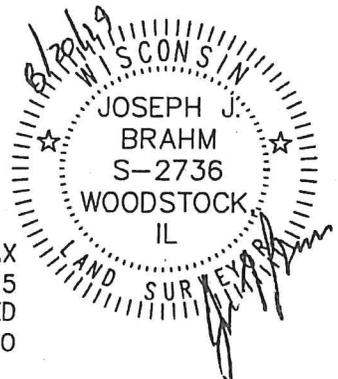
THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION OF THAT LAND. THAT I HAVE MADE SUCH SURVEY, DIVISION AND MAP BY THE DIRECTION OF WOODHILL FARMS NURSERY, INC. AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236.34 OF THE WISCONSIN STATUTES IN SURVEYING AND WITH THE SUBDIVISION CONTROL ORDINANCE FOR THE TOWNSHIP OF LINN, WALWORTH COUNTY, DIVIDING AND MAPPING THE SAME

GIVEN UNDER HIS HAND AND SEAL THIS ____ DAY OF _____, 20____, AT WOODSTOCK, ILLINOIS.

_____(SEAL)
JOSEPH J. BRAHM
PROFESSIONAL LAND SURVEYOR S-2736

WALWORTH COUNTY ZONING

THIS CERTIFIED SURVEY MAP HAS BEEN PREPARED TO DIVIDE AN EXISTING TAX PARCEL (IA462300001) INTO 2 LOTS, EACH OF WHICH IS GREATER THAN 15 ACRES IN SIZE. THIS LAND DIVISION HAS BEEN ADMINISTRATIVELY REVIEWED AND APPROVED PURSUANT TO WALWORTH COUNTY CODE 58-1.3(3); NO COUNTY ZONING AGENCY APPROVAL OF THIS MAP IS REQUIRED.



SCHMITT
ENGINEERING

SHEET 3 of 4 SHEETS
Job Number 190417

215 West Calhoun, Woodstock, IL 60098
Ph (815) 337-7810 Fx (815) 337-7812
www.alschmittengineering.com

PROPERTY OWNER:
WOODHILL FARMS NURSERY
N1445 STATE HIGHWAY 120 SO.
LAKE GENEVA, WI 53147

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 4623, BEING PART OF THE NE 1/4 AND NW 1/4 AND PART OF THE SE 1/4 AND SE 1/4 OF THE SW 1/4, TOGETHER WITH PART OF THE NE 1/4 AND SE 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF LINN, COUNTY OF WALWORTH, STATE OF WISCONSIN.

OWNERS CERTIFICATE

WOODHILL FARMS NURSERY, INC. A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY THE VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, CERTIFIES THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON SHEETS 1 AND 3 TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE ORDINANCES OF WALWORTH COUNTY, WISCONSIN.

WOODHILL FARMS NURSERY, INC. DOES FURTHER CERTIFY THAT THIS MAP IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR REJECTION: TOWNSHIP OF LINN, AND THE CITY OF LAKE GENEVA, WISCONSIN

IN WITNESS WHEREOF, WOODHILL FARMS NURSERY, INC. HAS CAUSED THESE PRESENTS TO BE SIGNED BY

_____, _____ THIS ____ DAY OF _____, 20____
NAME TITLE

WOODHILL FARMS NURSERY, INC.

STATE OF _____)
:SS
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 20____ THE ABOVE NAMED _____, FOR THE WOODHILL FARMS NURSERY KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICER, BY IT'S AUTHORITY.

_____(SEAL) _____NOTARY PUBLIC
NOTARY PUBLIC, STATE OF ILLINOIS

MY COMMISSION EXPIRES _____

TOWNSHIP OF LINN BOARD APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE TOWNSHIP OF LINN BOARD ON THIS, ____ DAY OF _____, 20____

JAMES WEISS
CHAIRMAN

ROSE MILLER
CLERK

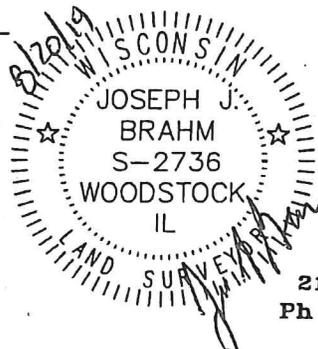
CITY OF LAKE GENEVA EXTRATERRITORIAL PLANNING COMMISSION APPROVAL

RESOLVED THAT THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE COMMON COUNCIL OF THE CITY OF LAKE GENEVA, WISCONSIN

BY: TOM HARTZ, MAYOR

I HEREBY CERTIFY THAT THE FOREGOING IS A COPY OF A RESOLUTION ADOPTED BY THE COMMON COUNCIL OF THE CITY OF LAKE GENEVA, WISCONSIN THIS ____ DAY OF _____, 2019.

BY: CITY CLERK



**SCHMITT
ENGINEERING**

215 West Calhoun, Woodstock, IL 60098
Ph (815) 337-7810 Fx (815) 337-7812
www.alschmittengineering.com

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 16, 2019

Agenda Item: 6

Applicant:
Robert Nabasny
311 S. Wells St
Lake Geneva, WI 53147

Continuation Request: 1544 W. Main St
Conditional Use Permit (CUP)
Home Addition Tax Key No. ZLM00070

Description:

The applicant is submitting a request for a Conditional Use Permit (CUP) that would allow for the applicant to move forward on the proposed addition and expansion of the existing residence that is located in the Estate Residential – 1 (ER-1) zoning district, for the residence located at 1544 W. Main St.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

1544 West Main Street Lake Geneva, WI. 53147 Parcel # ZLM 00070 Lots 3 and 4, Block 31 of Lake Geneva

Manor, Tract Number 17, a subdivision of part of the E 1/2 of Sec 35, T2N, R17E of the 4th

Principal Meridian, in the City of Lake Geneva, Walworth County, WI. ■

Name and Address of Current Owner:

Robert J Nabasny

311 South Wells Street, Apt 2, Lake Geneva, WI. 53147

Telephone No. with area code & Email of Current Owner: (602) 697-4957

rnbasny@hotmail.com

Name and Address of Applicant:

Robert J Nabasny

311 South Wells Street, Apt 2, Lake Geneva, WI. 53147

Telephone No. with area code & Email of Applicant: (602) 697-4957

rnbasny@hotmail.com

Proposed Conditional Use: To allow the construction of an addition to an existing residence.

The addition will entail a second floor above existing residence, a breazeway, and an attached garage with storage room below.

Zoning District in which land is located: SR-4

Names and Addresses of architect, professional engineer and contractor of project:

Daniel Lesus, 1033 Holly Circle, Lake Zurich, IL. 60047, Robert A Krause, 311 Fox Lane, Woodstock IL. 60098,

Short statement describing activities to take place on site:

Rehab existing residence, update and open up the floor plan, and create a master suite. Add a second floor with deck. Construct a new covered entryway to the residence farther of the drive and street, to allow landscape area. add an attached garage with storage room below.

Remove and replace two drive entrances to main street and repair sidewalk. Eliminate existing concrete block fence, add landscape area along main street sidewalk.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

07/03/2019

Date


Signature of Applicant

Memo to the City of Lake Geneva

To: Fred Walling, Zoning Administrator **Date:** August 28, 2019

From: Naomi Rauch, P.E.
262-758-6032

CC: Robert Nabasny
Bob Krause
Dave Nord – City Administrator
Brenda Follensbee – Building and Zoning Administrative Assistant
Tom Earle – Director of Public Works
Josh Gajewski – Utility Director
Greg Governatori – Kapur & Associates, Inc.

Subject: 1544 Main Street – Conditional Use Plan Review

BACKGROUND AND REQUEST:

A site plan approval application was submitted for the construction of an addition to the existing residential structure at 1544 Main Street resulting in an increase of 2900 sq.ft. of impervious surface on the 13,096 sq.ft. totaling 43.9% impervious. The proposed improvements include a second story, breeze way, and attached garage. Construction includes a new driveway utilizing two existing entrances off Main Street, repair of existing sidewalk, and landscaping.

The following plans were submitted for review:

- Proposed Improvements for Robert Nabasny Site and Grading Plan, prepared by Robert A. Krause, P.E., LTD. Sheet C1 dated 07/03/2019.
- Home Addition/Remodel 1544 W. Main Street Lake Geneva WI 53147 architectural plans, prepared by Daniel Lesus Architects, P.C. , sheets A3.0-A3.3 dated July 5, 2019.
- Home Addition/Remodel 1544 W. Main Street Lake Geneva WI 53147, prepared by Daniel Lesus Architects, P.C. , sheets 1.0-6.0 dated July 3, 2019.

Comments:

1. The construction plans submitted do not include detailed elevations for the retaining wall on the west property line making it difficult to verify stormwater flow patterns in that area. The proposed construction must maintain existing drainage patterns and not direct rooftop drainage directly toward adjacent lots.

2. It appears that regrading of the existing west entrance from Main Street may direct water to the front of the proposed porch and into two (2) proposed yard inlets. These inlets and associated yard drain must be sized appropriately to accommodate stormwater drainage to this area and avoid damage to structure or property.





3. The proposed swale along the west side of the property will direct stormwater along the existing drainage pattern from north to south across the lot. The level spreader proposed at the outfall of the 6in underdrain will allow for a less concentrated flow of stormwater to discharge downstream decreasing velocities and promoting infiltration. A landscaped rain garden in this location could further reduce runoff volumes from the new impervious surface.
4. Silt fence location is provided on the site grading plan. The silt fence must be properly installed prior to land disturbance and maintained throughout. A stabilized construction entrance must be utilized to access the site to prevent mud or debris being tracked onto Main Street. If tracking of construction debris occurs, it shall be cleaned up at the end of each day. Inlet protection should be provided at inlet structures on Main Street that are located in front of the lot and directly downstream. Land disturbance shall be kept to a minimum. Restoration of the property shall take place as soon as possible after final grading and shall include erosion control mat on the proposed swale.

We recommend approval of the submitted site plan subject to the comments above. The plans have been reviewed for conformance with generally accepted engineering practices and City of Lake Geneva policies. Although the material has been reviewed, the applicant is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.



PROPOSED IMPROVEMENTS FOR ROBERT NABASNY LAKE GENEVA, WI.

PROPERTY LOCATED AT:
1544 MAIN STREET, LAKE GENEVA, WI.

LEGAL DESCRIPTION

LOTS 3 AND 4, BLOCK 31 OF LAKE GENEVA MANOR, TRACT NUMBER 17, A SUBDIVISION OF PART OF THE EAST HALF OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 17 EAST OF THE 4TH PRINCIPAL MERIDIAN, IN THE CITY OF LAKE GENEVA, WALWORTH COUNTY WISCONSIN.
PARCEL IDENTIFICATION NO : ZLM 00070

GENERAL NOTES:

6/28/2019
4/29/2019

3. DRAIN TILE SYSTEMS DISTURBED DURING DEVELOPMENT MUST BE RECONNECTED BY THOSE RESPONSIBLE FOR THEIR DISTURBANCE UNLESS THE APPROVED ENGINEERING PLANS INDICATE HOW THE DRAIN TILE SYSTEM IS TO BE CONNECTED TO THE PROPOSED STORM WATER MANAGEMENT SYSTEM. ALL ABANDONED DRAIN TILES SHALL BE REMOVED IN THEIR ENTIRETY.

CONTRACTOR NOTES:

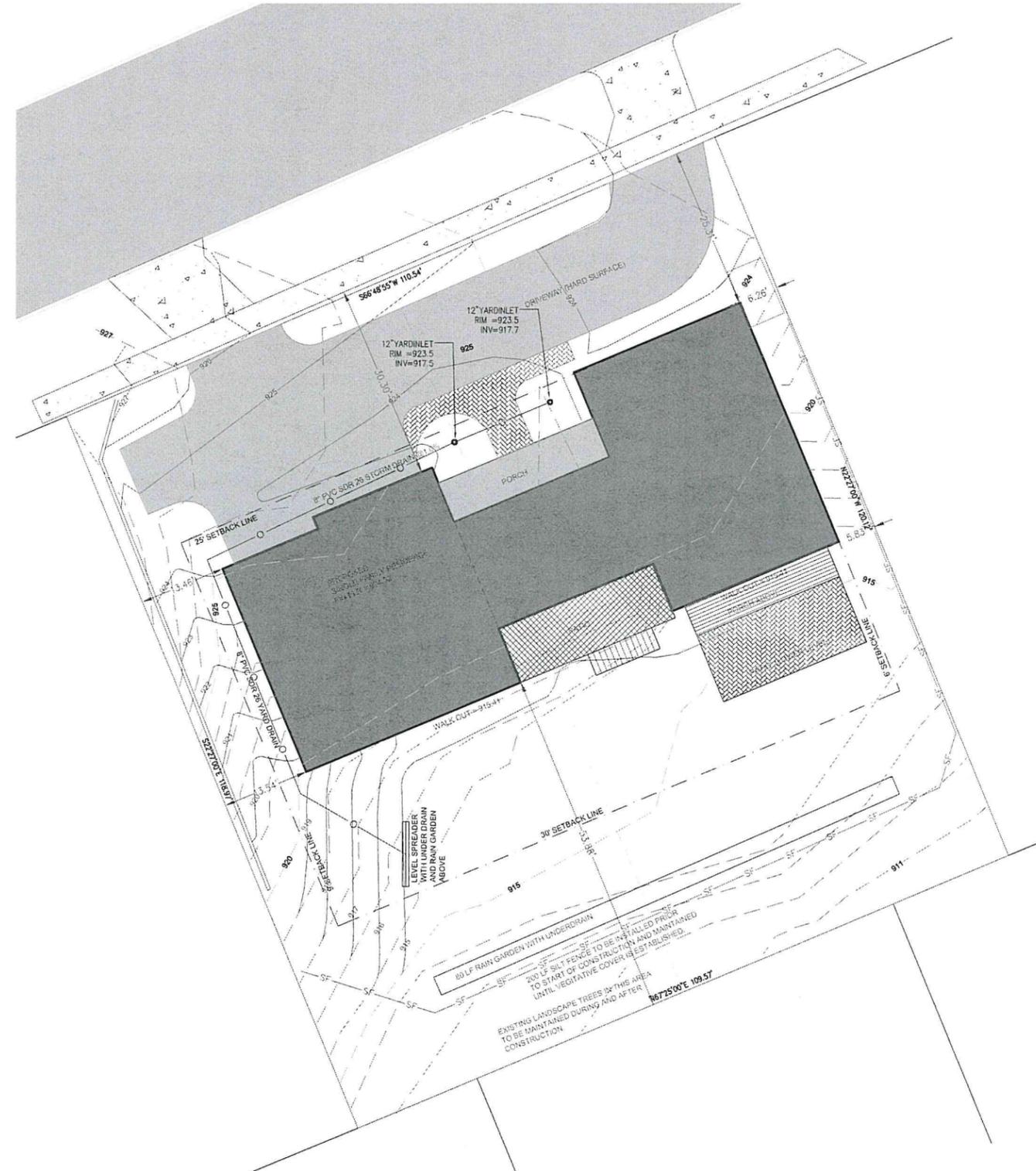
1. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
2. CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULING AND SEQUENCING OF THE WORK.
3. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIAL AND WORKMANSHIP THROUGHOUT.
4. THE DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION CONCERNING EXISTING CONDITIONS ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
5. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER OR OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
7. THE CONTRACTOR, UPON COMPLETION OF PROJECT, SHALL OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH THE OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS.
8. CONTRACTOR IS RESPONSIBLE FOR ALL SITE CUT & FILL TO ATTAIN FINISH GRADES AS INDICATED ON THESE DRAWINGS. GENERAL CONTRACTOR SHALL INCLUDE THE COST OF ANY TOPSOIL REQUIRED IN ADDITION TO THAT ON SITE.

EXISTING UTILITIES NOTE:

1. WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. THE CONTRACTOR SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.
2. CONTRACTOR IS RESPONSIBLE FOR CONTACTING J.U.L.I.E. AT 1-800-892-0123 AND MUST ACQUIRE A DIG NUMBER A MINIMUM OF 72 HOURS PRIOR TO ANY WORK BEING DONE.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. CONTROL MEASURES SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE WISCONSIN CONSTRUCTION CONTROL FIELD GUIDE UNLESS STATED OTHERWISE.
2. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. AREAS OF THE DEVELOPMENT SITE THAT ARE NOT TO BE DISTURBED SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC OR OTHER DISTURBANCE UNTIL FINAL STABILIZATION IS ACHIEVED.
3. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, DEVELOPMENT SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
4. STABILIZATION BY SEEDING SHALL INCLUDE TOPSOIL PLACEMENT AND FERTILIZATION, AS NECESSARY.
5. NATIVE SEED MIXTURES SHALL INCLUDE RAPID-GROWING ANNUAL GRASSES OR SMALL GRAINS TO PROVIDE INITIAL TEMPORARY SOIL STABILIZATION.
6. OFFSITE PROPERTY SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT CONCENTRATED DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL AS NECESSARY TO PREVENT EROSION.
7. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE DISTURBANCE OF TRIIBUTARY AREAS.
8. STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE DEVELOPMENT SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION OF DISTURBED AREAS SHALL BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT LATER THAN 14 CALENDAR DAYS FROM THE INITIATION OF STABILIZATION WORK IN AN AREA. EXCEPTIONS TO THESE TIME FRAMES ARE SPECIFIED BELOW.
- 9.1. WHERE THE INITIATION OF STABILIZATION MEASURES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE, AND
- 9.2. IN AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED AND WILL RESUME AFTER 14 DAYS, A TEMPORARY STABILIZATION METHOD MAY BE USED.
9. DISTURBANCE OF STEEP SLOPES SHALL BE MINIMIZED. AREAS OR EMBANKMENTS HAVING SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH STAKED IN PLACE SOO, EROSION CONTROL BLANKET IN COMBINATION WITH SEEDING, OR AN EQUIVALENT CONTROL MEASURE.
10. PERIMETER CONTROL MEASURES SHALL BE PROVIDED DOWNSLOPE AND PERPENDICULAR TO THE FLOW OF RUNOFF FROM DISTURBED AREAS, WHERE THE TRIIBUTARY AREA IS GREATER THAN 5,000 SQUARE FEET, AND WHERE RUNOFF WILL FLOW IN A SHEET FLOW MANNER. PERIMETER EROSION CONTROL SHALL ALSO BE PROVIDED AT THE BASE OF SOIL STOCKPILES.
11. THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION DOWNSLOPE FROM DISTURBED AREAS. INLET PROTECTION THAT REDUCES SEDIMENT LOADING, WHILE ALLOWING RUNOFF TO ENTER THE INLET SHALL BE REQUIRED FOR ALL STORM SEWERS, CHECK DAMS, OR AN EQUIVALENT CONTROL MEASURE. SHALL BE REQUIRED FOR ALL CHANNELS, FILTER FABRIC INLET PROTECTION AND STRAW BALE DITCH CHECKS ARE NOT ACCEPTABLE CONTROL MEASURES.
12. IF DEWATERING SERVICES ARE USED, DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G. SEDIMENT TRAP OR AN EQUIVALENT CONTROL MEASURE). THE ENFORCEMENT OFFICER SHALL BE NOTIFIED PRIOR TO THE COMMENCEMENT OF DEWATERING ACTIVITIES.
13. ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION OF THE DEVELOPMENT SITE IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NECESSARY. TRAPPED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
14. STOCKPILED SOIL AND MATERIALS SHALL BE REMOVED FROM FLOOD HAZARD AREAS AT THE END OF EACH WORK DAY. SOIL AND MATERIALS STOCKPILED IN HMC OR BUFFER AREAS SHALL BE PLACED ON TINDER MATS, OR AN EQUIVALENT CONTROL MEASURE.
15. EFFECTIVE CONTROL MEASURES SHALL BE UTILIZED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE DEVELOPMENT SITE. AT A MINIMUM, CONTROL MEASURES SHALL BE IMPLEMENTED IN ORDER TO:
- 15.1. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATER; AND
- 15.2. MINIMIZE THE EXPOSURE OF BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, VEHICLE FLUIDS, SANITARY WASTE, AND OTHER MATERIALS PRESENT ON THE DEVELOPMENT SITE TO PRECIPITATION AND TO STORMWATER.
16. ADEQUATE RECEPTACLES SHALL BE PROVIDED FOR THE DEPOSITING OF ALL CONSTRUCTION DEBRIS GENERATED DURING THE DEVELOPMENT PROCESS. THE DEVELOPMENT SITE SHALL BE MAINTAINED FREE OF CONSTRUCTION DEBRIS.
17. THE ENFORCEMENT OFFICER MAY REQUIRE ADDITIONAL OR ALTERNATE SOIL EROSION AND SEDIMENT CONTROL MEASURES, BASED ON DEVELOPMENT SITE SPECIFIC CONSIDERATIONS AND THE EFFECTIVENESS OF THE INSTALLED CONTROL MEASURES.



ZONING INFORMATION

DISTRICT : CONDITIONAL USE SR-4

FRONT YARD: 25 FT
SIDE YARD MINIMUM: 6 FT
SIDE YARD COMBINED: 15 FT
REAR YARD: 30 FT
MAX BUILDING HEIGHT: 35 FT

LOT AREA = 13,098 SF

PROP RESIDENCE = 2852 SF OR 21.8 %
TOTAL IMPERVIOUS = 5,752 SF OR 43.9 %



SITE AND GRADING PLAN

NOTE: CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY ARE THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR

ROBERT NABASNY RESIDENCE
1544 MAIN STREET
LAKE GENEVA, WI.
SITE AND GRADING PLAN

PREPARED FOR:
311 S WELLS ST LAKE GENEVA, WI 53147
PH: (608) 897-4957

PREPARED BY:
J.C. RE
311 FOX LAKE WOODS LOCK IL 60098
PH: (815) 347-9449

Designed By
RAK

Drawn By
RAK

Checked By
RAK

Date
07/03/2019

Job Number
19601

Sheet Number
C1

REVISIONS	DESCRIPTION
NO.	
DATE	



Know what's below.
Call before you dig.
CALL DIGGERS HOTLINE @ 811
48 HOURS BEFORE YOU DIG
(EXCLUDING SAT, SUN, & HOLIDAYS)

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 16, 2019

Agenda Item: 7

Applicant:
Lake Geneva Architects
201 Broad St
Lake Geneva, WI 53147

Request: 323 Broad St
Conditional Use Permit (CUP)
New Commercial Multi-Tenant Building
Tax Key No. ZA464600002

Description:

The applicant has submitted a request for a Conditional Use Permit (CUP) that would allow for the candidate to construct a 2 story Commercial Multi-Tenant Building at the property located at 323 Broad St.

The proposed occupancy for the 4 units will be Office / Retail on the first floor with 2 Residential Condominiums on the second floor. This property currently is located in a Planned Development (PD) zoning classification, in conjunction with the request is to include reverting to the underlying Business Central (BC) zoning district Tax Key No ZA464600002.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

No impacts to neighboring properties are anticipated.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

2. Specific to this site, the proposed Conditional Use Permit (CUP) is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed Conditional Use Permit (CUP) maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed Conditional Use Permit (CUP) is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed Conditional Use Permit (CUP) outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed Conditional Use Permit (CUP) is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed Conditional Use Permit (CUP) in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.

4. The proposed Conditional Use Permit (CUP) does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed Conditional Use Permit (CUP) is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed Conditional Use Permit (CUP) do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the Proposed Conditional Use Permit (CUP):

1. Staff recommends that the Plan Commission recommend *approval* of the proposed Conditional Use Permit (CUP) as submitted, with the findings under A.1-6., above. If they are in agreement with the above finding.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

A PARCEL OF LAND LOCATED IN THE N.E. 1/4 OF THE NW.
1/4 OF SECTION 36 IN TOWNSHIP 2 NORTH, RANGE 17 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN. 323 Broad Street

Name and Address of Current Owner:

TBD Lake Geneva Economic Development Corp
726 Wisconsin St, Lake Geneva, WI 5314

Telephone No. with area code & Email of Current Owner: TBD

Name and Address of Applicant:

LAKE GENEVA ARCHITECTS
201 BROAD STREET LAKE GENEVA, WI 53147

Telephone No. with area code & Email of Applicant: (262) 248 1400

JASON @ LAKEGENEVAARCHITECTS.COM

Proposed Conditional Use: 2 DWELLING UNITS (RESIDENTIAL)
ON SECOND FLOOR

Zoning District in which land is located: PD AMENDED TO CB

Names and Addresses of architect, professional engineer and contractor of project:

LAKE GENEVA ARCHITECTS
201 BROAD STREET LAKE GENEVA, WI 53147

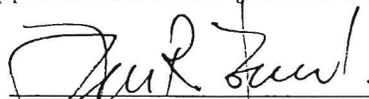
Short statement describing activities to take place on site:

2 DWELLING UNITS ABOVE, 2 COMMERCIAL
SPACES (SMALL RETAIL/ PROFESSIONAL OFFICES)
BELOW.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

8/9/2019

Date


Signature of Applicant



LAKE GENEVA
Architects

STUDIO OF JASON R. BERNARD

August 12th, 2019

City of Lake Geneva
Building and Community Development Department
323 Broad Street
Lake Geneva, WI 53147

Cover Letter

Dear City Plan Commission members:

Lake Geneva Architects is seeking to develop a new mixed-use project on 323 Broad Street. The project will include two commercial spaces on the first floor and two residential units above.

We are requesting a rezone of the lot from Plan Development to Central Business. We seek to develop (2) small retail/professional offices. We feel this in line with the character of the Broad Street. No parking is required for Central Business.

We are also requesting a Conditional Use Permit. This will allow us to develop two residential condo units above the commercial spaces below. We believe there is demand for residential space in the downtown area of Lake Geneva. We also believe that this development will suit the goals of the forward movement of the City of Lake Geneva. In terms of parking, zoning requires (1) stall per bed for residential development. We are providing (4) stalls as required.

In conclusion,
Lake Geneva Architects would like to develop a mixed use project on 323 Broad Street. In order to provide the commercial spaces below and the condo units above, we will be requesting both a rezone from Plan Development to Central Business and a Conditional Use Permit. We believe that there is demand for mixed-use development in Lake Geneva and we are excited about building a beautiful infill project on Broad Street.

We look forward to our staff meeting on August 19th, 2019.

Jason R. Bernard
Jason@LakeGenevaArchitects.com
262.248.1400 office/fx
262.215.1109 mobile

Memo to the City of Lake Geneva

To: Fred Walling, Zoning Administrator **Date:** September 10, 2019

From: Naomi Rauch, P.E.
262-758-6032

CC: Lake Geneva Architects
Dave Nord – City Administrator
Brenda Follensbee – Building and Zoning Administrative Assistant
Tom Earle – Director of Public Works
Josh Gajewski – Utility Director
Greg Governatori – Kapur & Associates, Inc.

Subject: 323 Broad Street – Mixed-Use Redevelopment

BACKGROUND AND REQUEST:

A conditional use permit application was submitted for the construction of a mixed-use development at 323 Broad Street. The proposed improvements include a two-story mixed-use building with office space on the first floor and residential use on the second floor. Construction includes parking lot access from the existing 16-ft alley, a 14 space parking lot and sidewalk improvements.

The following plans were submitted for review:

- OFFICE 323 BROAD STREET, Lake Geneva WI Sheets A1, A4, A7, A9, A11 - A14 prepared by Lake Geneva Architects dated September 4, 2019.

Comments:

1. The site plan submitted should show the existing and proposed grades throughout the development. Proposed spot elevations and slopes should be provided to define changes in grade, edge of pavement, curb, and areas that will match into existing grade.
2. Downspouts and rooftop drainage should be directed away from existing structures and not discharged directly on adjacent property.
3. Hard surfaces should be specified with details.
4. City specifications should be detailed and specified for sidewalk improvements and work within the City right-of-way.
5. Sanitary and water utility connections to the building are not shown.
6. The site plan does not include any soil erosion and sediment control measures. Silt fence should be installed at the downstream limits of construction. A stabilized construction entrance must be utilized to access the site to prevent mud or debris being tracked onto public roads. If tracking of construction



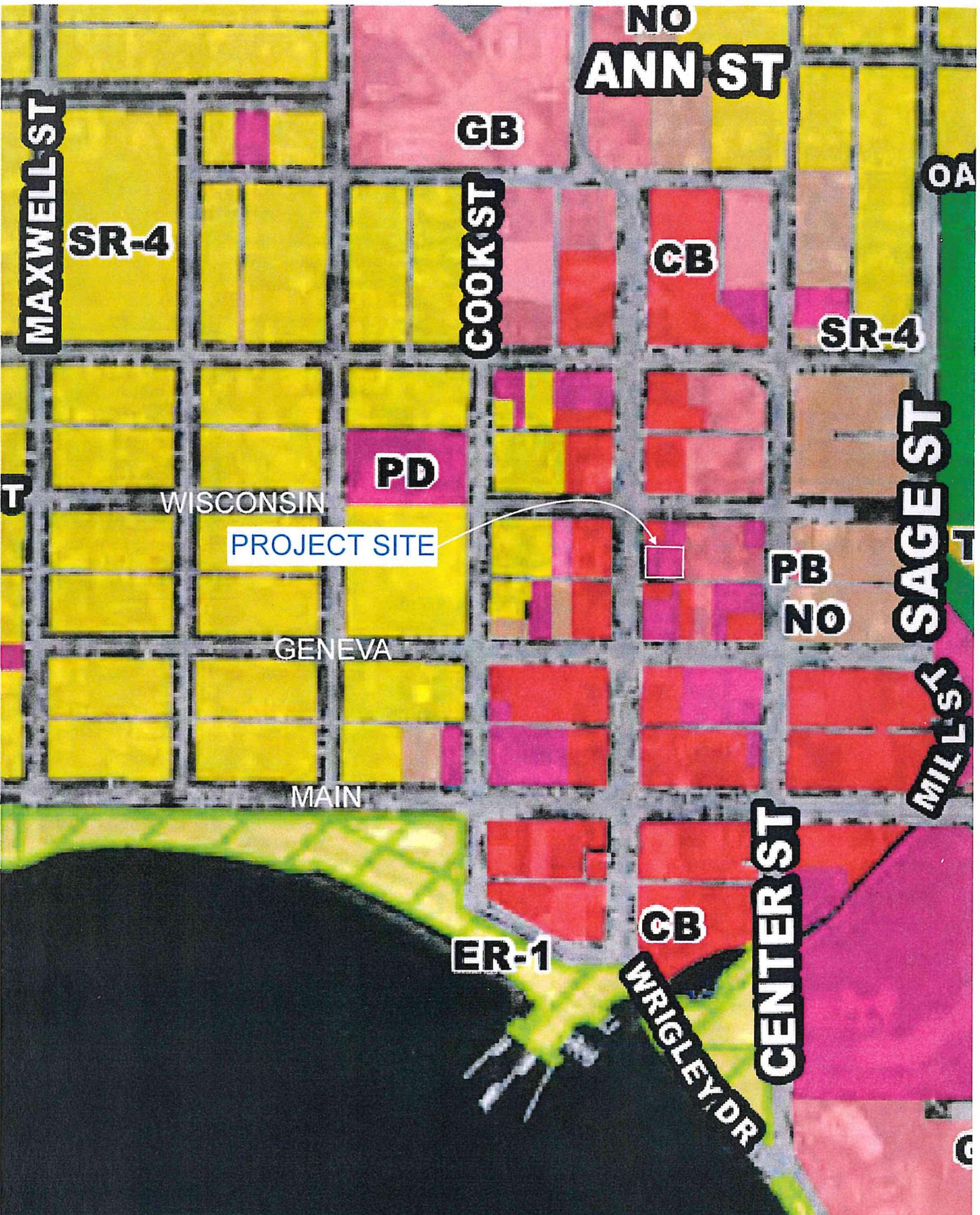


debris occurs, it shall be cleaned up at the end of each day. Land disturbance shall be kept to a minimum. Restoration of the property shall take place as soon as possible after final grading.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Lake Geneva policies. Although the material has been reviewed, the applicant is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.





MAXWELL ST

SR-4

GB

COOK ST

GB

SR-4

PD

WISCONSIN

PROJECT SITE

PB

NO

SAGE ST

GENEVA

MAIN

MILL ST

ER-1

GB

WRIGLEY DR

CENTER ST

NO ANN ST



DRAWING INDEX

- A1 - COVER, SHEET INDEX
- A4 - SITE PLAN
- A7 - FIRST FLOOR PLAN
- A9 - SECOND FLOOR PLAN
- A11 - WEST ELEVATION
- A12 - EAST ELEVATION
- A13 - NORTH ELEVATION
- A14 - SOUTH ELEVATION

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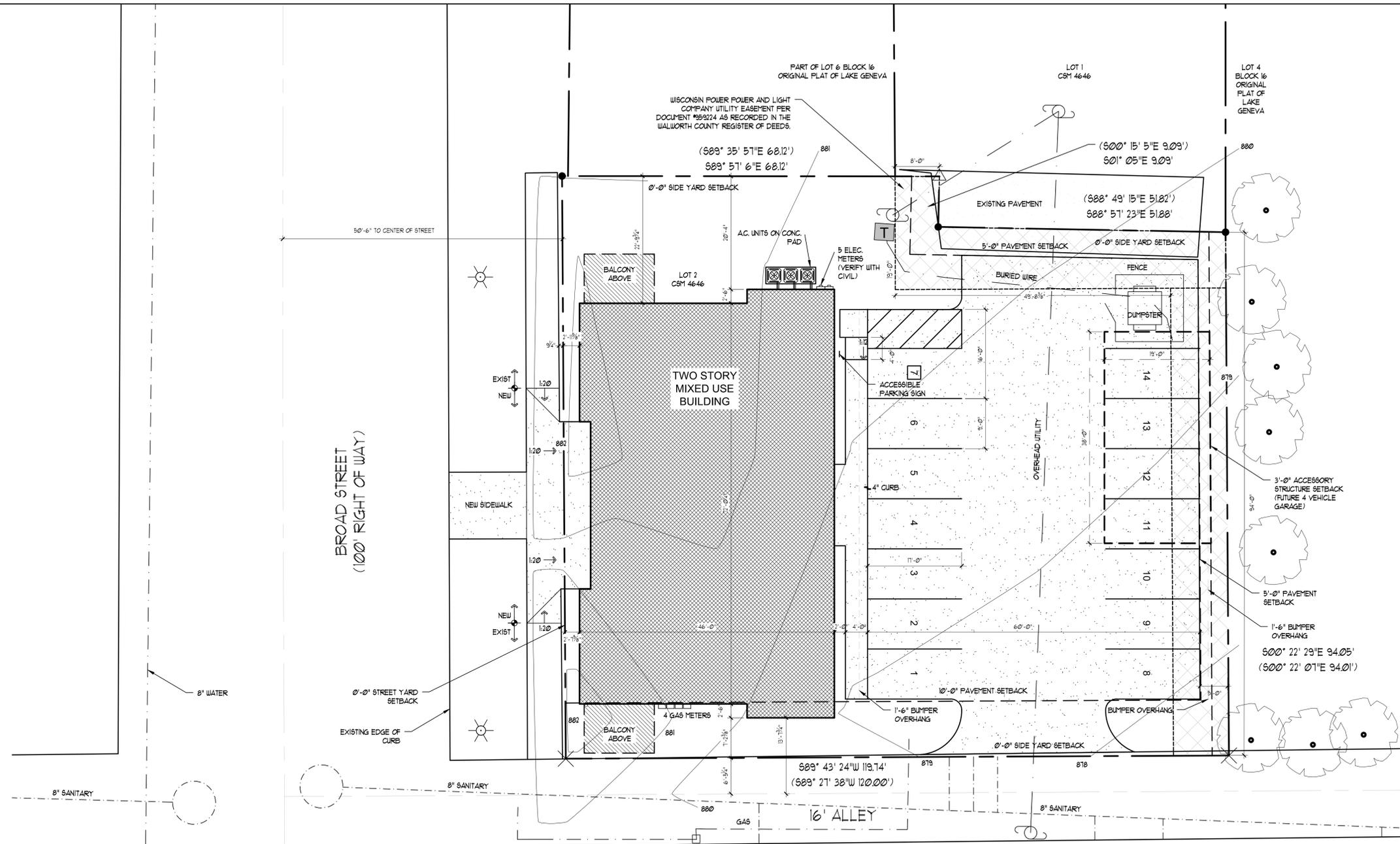
OFFICE
 323 BROAD STREET
 Lake Geneva, WI

- DESIGN SET
- PERMIT SET
- CONSTRUCTION

REVISIONS:

DATE: 9.4.19

A1



SITE LEGEND					
	NEW STRUCTURE		EXISTING GRADE		FOUND IRON PIPE
	DECKS, PATIOS, & TERRACES		ABANDONED GRADE		FOUND FK NAIL
	FUTURE CONSTRUCTION		NEW GRADE		SET FK NAIL
	EASEMENT		SILT FENCING		POWER POLE
	HARD SURFACE (PAVERS, CONCRETE, ASPHALT)		PROPERTY LINE		EXISTING LIGHT POLE
			SETBACK LINE		TRANSFORMER
			STREET CENTERLINE		
			UTILITIES		
			1/2" TREE		
			EXISTING TREE		

TRUE NORTH
SITE PLAN
 SCALE: 1" = 10'-0"

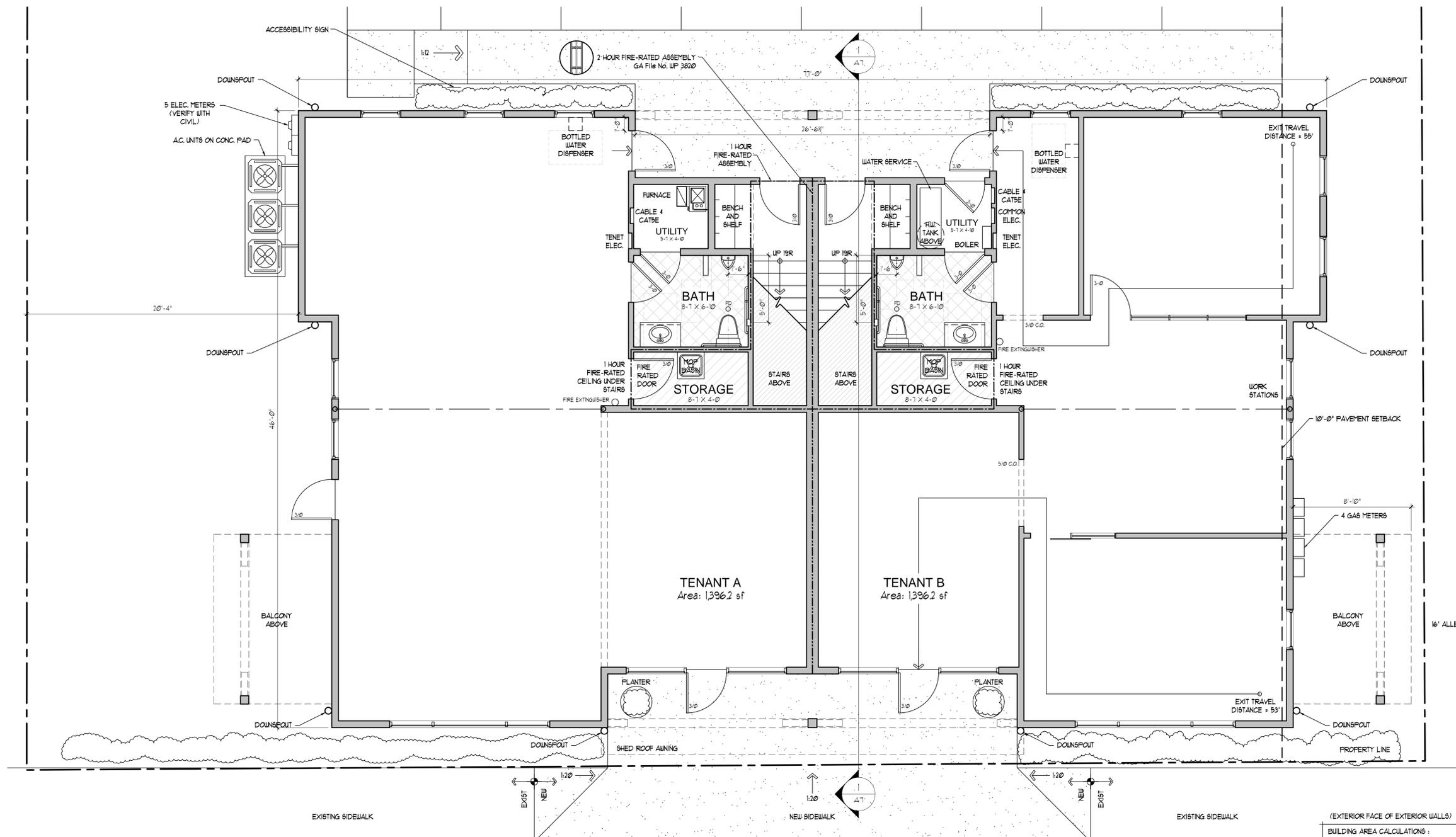


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REVISIONS:

NO.	DATE	DESCRIPTION

DATE: 9.4.19



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

(EXTERIOR FACE OF EXTERIOR WALLS)

BUILDING AREA CALCULATIONS :	
FIRST FLOOR AREA:	3,024.6 SF.
SECOND FLOOR:	3,301.9 SF.
TOTAL CONDITIONED SF:	6,326.5 SF.

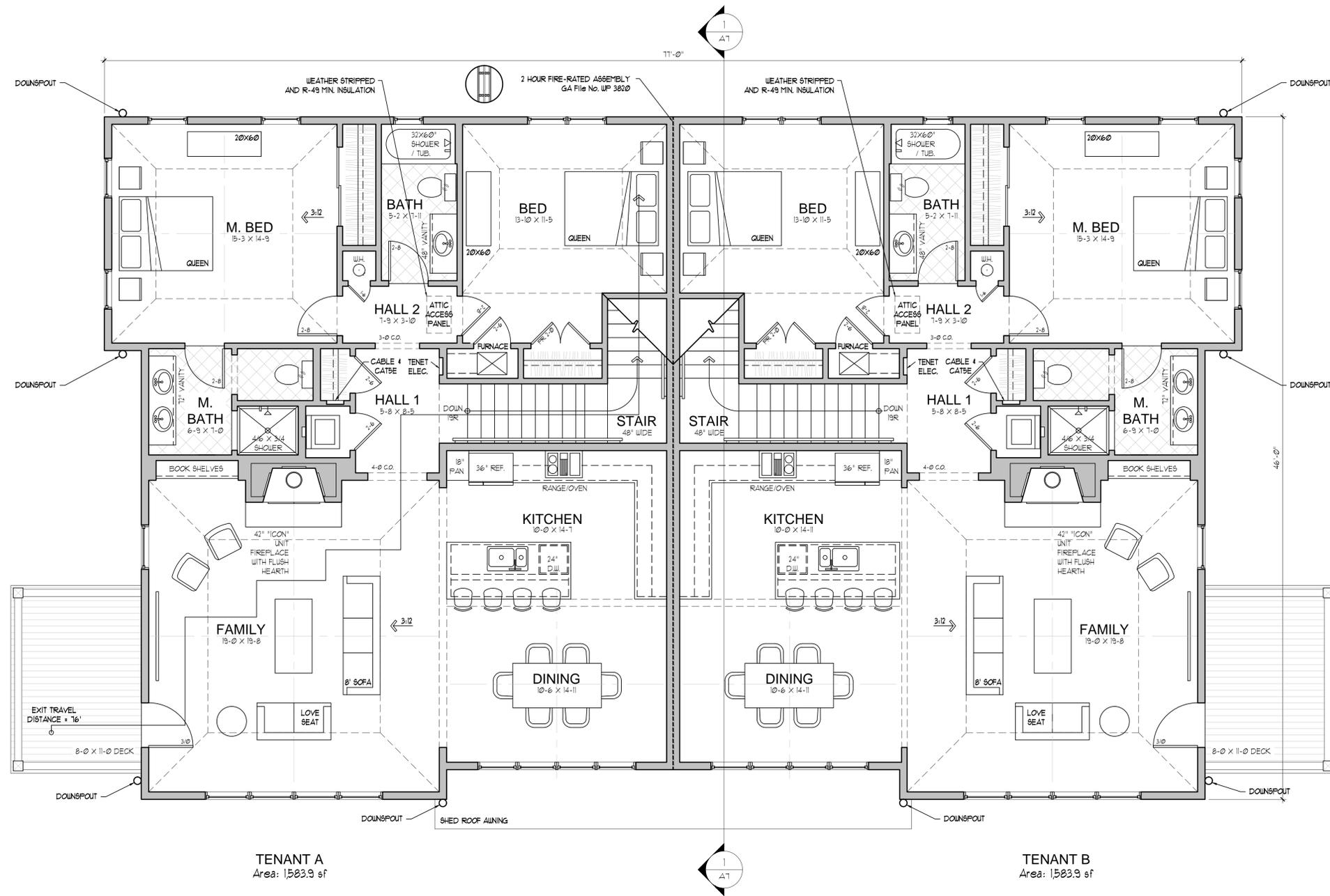


- DESIGN SET
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- CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: 9.4.19



TENANT A
Area: 1583.9 sf

TENANT B
Area: 1583.9 sf

SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



- DESIGN SET
- PERMIT SET
- CONSTRUCTION

REVISIONS:

DATE: 9.4.19

BUILDING ENVELOPE AIR SEALING, LEAKAGE TESTS AND CONSTRUCTION SEQUENCE

1. IN ORDER TO ACHIEVE IMPROVED INDOOR OCCUPANT COMFORT, DURABLE AND LONG LASTING BUILDING ENVELOPE ASSEMBLIES THIS BUILDING IS TO HAVE A SUPERIOR PERFORMANCE BUILDING ENVELOPE.

2. ALL JOINTS AND PENETRATIONS IN COMBINATION WITH CONTINUOUS AIR BARRIER OF OTHER THAN MASONRY OR CONCRETE SHALL BE SEALED WITH PERMANENTLY FLEXIBLE AND STICKY TAPE (SEE GENERAL NOTES FLASHING AND SEALING TAPE) OR PREFORMED GASKETS. FIRE RATED SEALANTS SHALL BE ADDED WHERE REQUIRED IN FIRE RATED ASSEMBLIES.

THIS INCLUDES ALL OF THE FOLLOWING LOCATIONS:

- JOINTS AND SEAMS BETWEEN DISSIMILAR BUILDING ENVELOPE MATERIALS
- JOINTS AND SEAMS IN BUILDING ENVELOPE (FLOORS EXPOSED TO OUTDOORS, EXTERIOR WALLS, ROOFS) SHEATHING
- PLUMBING AND MECHANICAL PIPE AND ELECTRICAL CONDUIT PENETRATIONS
- ELECTRICAL WIRE PENETRATIONS
- DUCT AND FLUE PENETRATIONS

PENETRATIONS THROUGH MASONRY OR CONCRETE SHALL BE SEALED WITH PERMANENTLY FLEXIBLE AND STICKY SEALANT. PROVIDE BACKER RODS WHERE GAP EXCEEDS SEALANT SPAN WIDTH. PROVIDE FIRE RATED SEALANTS WHERE REQUIRED IN FIRE RATED ASSEMBLIES.

GAPS BETWEEN WINDOW/DOOR FRAMES AND WALL OPENINGS SHALL BE SEALED WITH PERMANENTLY FLEXIBLE AND STICKY TAPE OR SEALANTS (AND BACKER ROD) OR OTHER FIRE-APPROVED PRODUCTS.

3. IN ORDER TO INSURE THE BUILDING ENVELOPE AIR BARRIER IS WITHOUT COMPROMISE TO DURABILITY OF THE BUILDING ENVELOPE, PRESSURIZED AND/OR DEPRESSURIZED AIR LEAKAGE TEST(S) BEST OCCUR WHEN AIR BARRIER IS COMPLETE, BUT PRIOR TO COVERING. FOLLOWING COMPLETION OF:

- UNDER CONCRETE SLAB VAPOR RETARDING POLYETHYLENE SHEET PENETRATION TAPE SEALING
- FOUNDATION TO FRAMED WALL SHEATHING TAPE SEALING
- INSTALLATION OF ALL ROOF, WALL AND SLAB PENETRATIONS (PLUMBING, MECHANICAL AND ELECTRICAL)
- WALL SHEATHING JOINT, WALL OPENING AND WALL PENETRATION TAPE SEALING
- ROOF SHEATHING OR TOPMOST CEILING FINISH INSTALLATION AND SEALING
- INSTALLATION AND TAPE SEALING OF WINDOWS AND DOORS, AND
- INSTALLATION OF SPRAY POLYURETHANE FOAM INSULATION AT ROOF AND FLOOR FRAMING PERIMETER WHERE SHOWN ON DRAWINGS AND PRIOR TO INSTALLATION OF INSULATION OR INTERIOR WALL FINISHES

LAKE GENEVA ARCHITECTS RECOMMENDS HIRING A THIRD PARTY AGENCY TO CONDUCT A PRELIMINARY BUILDING ENVELOPE AIR LEAKAGE TEST AT NEGATIVE AND POSITIVE PRESSURE OF 50 PASCALS (1/2 W.G.).

LEAKAGE TEST SHALL NOT INCLUDE GARAGE OR OTHER AREAS OUTSIDE CONDITIONED (HEATED AND/OR COOLED). DURING TEST DOOR TO GARAGE, EXTERIOR DOORS AND WINDOWS, FIRE PLACE FLUE OR FIREBOX OPENING, CLOTHES DRYER VENTS, COMBUSTION APPLIANCE FLUES/INTAKES, TOILET ROOM AND/OR KITCHEN EXHAUST OPENINGS SHALL BE CLOSED/SEALED AND ALL INTERIOR DOORS (IF INSTALLED PRIOR TO TEST) SHALL BE OPEN. LEAKAGE RATE SHALL NOT BE MORE THAN 6 INTERIOR AIR VOLUME CHANGES PER HOUR (1 AIR CHANGE PER 10 MINUTES). IF LEAKAGE RATE IS HIGHER, LOCATE AND CORRECT LEAKAGE OPENINGS, AND RETEST UNTIL CRITERIA IS MET.

FOLLOWING INSTALLATION OF:

- INSULATION
 - INTERIOR WALL AND CEILING FINISHES
 - TRIM AROUND EXTERIOR WINDOWS AND DOORS
- AND PRIOR TO OCCUPANCY LAKE GENEVA ARCHITECTS RECOMMENDS THE SAME THIRD PARTY TO CONDUCT A FINAL BUILDING ENVELOPE AIR LEAKAGE TEST WITH SAME ITEMS CLOSED/SEALED AND SAME ITEMS OPEN AS IN PRELIMINARY TEST. LEAKAGE RATE SHALL NOT BE MORE THAN 4 INTERIOR AIR VOLUME CHANGES PER HOUR (1 AIR CHANGE PER 20 MINUTES).

ALTERNATIVE CRITERIA TO INTERIOR AIR VOLUME: 0.40 CUBIC FEET PER MINUTE (CFM) PER FT² OF BUILDING ENVELOPE SURFACE AREA (BOTTOM OF SLABS/FLOORS, EXTERIOR WALLS, WALLS BETWEEN GARAGES OR UNCONDITIONED SPACES AND CONDITIONED SPACES, UPPERMOST CEILING) IN SQUARE FEET TESTED AT 15 PASCALS (1/2 W.G.)

4. BECAUSE AIR BARRIER AND SEALING ESTABLISHMENT AND TESTING BEST OCCUR PRIOR TO COVERING OF BARRIERS WITH ASSEMBLIES (SUCH THAT LEAKS MAY BE FOUND AND CORRECTED) THE CONSTRUCTION SEQUENCING SHALL BE COORDINATED TO ALLOW ENVELOPE AIR LEAKAGE ESTABLISHMENT AND TESTING PRIOR TO COVERING OF AIR BARRIERS.

5. GENERAL AND SUB CONTRACTORS SHALL INCORPORATE TIME ALLOWANCES FOR THIRD PARTY AIR LEAKAGE TESTS AND ANY CORRECTIVE ACTION AND SUBSEQUENT TESTS INTO THE PROJECTS CONSTRUCTION SCHEDULE.

AS THE STATE OF WISCONSIN CODES APPLICABLE TO DETACHED 1-2 FAMILY DWELLINGS AND ALL OTHER BUILDING OCCUPANCY TYPES DO NOT YET MANDATE BUILDING ENVELOPE AIR LEAKAGE TESTING, HIRING A THIRD PARTY TESTING AGENCY IS NOT REQUIRED. AS TESTING IS THE ONLY PRACTICAL WAY TO FIND AND CORRECT LEAKS IT IS RECOMMENDED, AIR AND VAPOR MOVE TOGETHER SUCH THAT AIR MOVING THROUGH A BUILDING ENVELOPE ASSEMBLY LEAK WILL CYCLE THROUGH DEW POINT TEMPERATURE CAUSING VAPOR TO CONDENSE INTO WATER LEADING TO DEGRADATION OF ASSEMBLY MATERIALS. IF LEAKAGE TESTS ARE NOT CONDUCTED THIS LEAKS FOUND AND CORRECTED. THE BUILDING OWNER, CONTRACTORS AND OTHER PARTIES AGREE TO HOLD LAKE GENEVA ARCHITECTS HARMLESS FROM ANY CLAIMS RELATED TO BUILDING ENVELOPE ASSEMBLY DEGRADATION DUE TO AIR/VAPOR LEAKAGE THROUGH THE ASSEMBLIES.

RAILINGS / BALUSTERS

UNLESS NOTED OTHERWISE GRADE WITHIN 36" HORIZONTALLY FROM A WALKING SURFACE IS TO BE WITHIN A MAXIMUM OF 24" BELOW TOP OF WALKING SURFACE. REFER TO SITE GRADING PLAN FOR ADDITIONAL INFORMATION.

UNLESS NOTED OTHERWISE A FLIGHT OF STAIRS W/ MORE THAN 3 RISERS OR ELEVATED MORE THAN 24" ABOVE THE FLOOR OR EXTERIOR GRADE SHALL HAVE GUARDS ON ALL OPEN SIDES.

THE TOP OF ALL GUARD RAILINGS TO BE A MINIMUM OF 36" ABOVE FINISHED FLOOR/GRADE/STAIR NOSINGS. ALL OPEN RAILING BALUSTERS SHALL BE SPACED SO AS NOT TO ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE.

HANDRAILS AND GUARDS SHALL BE CONSTRUCTED TO WITHSTAND A 200 POUND CONCENTRATED LOAD APPLIED IN ANY DIRECTION.

HANDRAILS OR GUARD INFILL COMPONENTS, BALUSTERS AND PANEL FILLERS SHALL WITHSTAND A HORIZONTALLY APPLIED PERPENDICULAR LOAD OF 50 POUNDS ON ANY ONE FOOT SQUARE AREA.

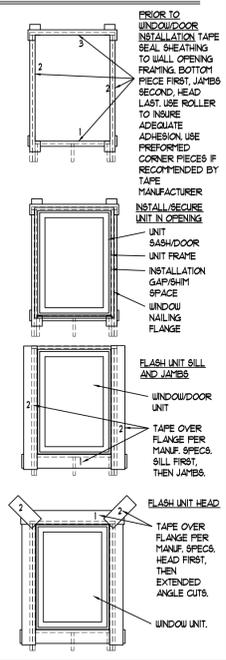
ROPE, CABLE OR SIMILAR RAILINGS SHALL HAVE MAXIMUM OPENINGS OF 3 1/2 INCHES WITH VERTICAL SUPPORTS AT A MAX. OF 4 FEET APART.

THE TRIANGULAR AREA BETWEEN STAIR TREADS/RISERS AND BOTTOM OF GUARDS SHALL BE CONSTRUCTED TO PREVENT THE PASSAGE OF A SPHERE OF 6" WHEN APPLYING A FORCE OF 4 POUNDS.

EXTERIOR HANDRAILS, GUARDS, POSTS, BALUSTERS, ETC. SHALL BE CONSTRUCTED OF METAL, DECAY RESISTANT OR PRESSURE TREATED WOOD, OR SHALL BE PROTECTED FROM THE WEATHER.

STAIRWAYS WITH PARTIALLY OR FULLY OPEN RISERS SHALL BE CONSTRUCTED TO PREVENT PASSAGE OF A 4" DIA. SPHERE BETWEEN BOTTOM OF TREAD AND PARTIAL RISER OR BETWEEN TWO ADJACENT TREADS.

WINDOW FLASHING NOTE (ZIP WALL SHEATHING):



WINDOWS / PATIO DOORS WISCONSIN

UNIT NUMBERS CORRESPOND WITH UNIT DIMENSIONS IN WIDTH X HEIGHT IN INCHES. (36X48 = 36" WIDE X 48" HIGH)

GRILL PATTERNS / LITES TO MATCH ELEVATIONS.

ALL WINDOWS AND EXTERIOR DOORS SHALL BE EXTRUDED ALUMINUM CLAD WOOD FRAMES IN STANDARD FACTORY APPLIED COLOR AS SELECTED BY OWNER. UNITS TO BE LOW E, ARGON FILLED. INTERIOR WOOD FRAMES AND SASHES TO BE DOUGLAS FIR PRESTAINED OR PRIMED BY FACTORY. COLOR AS SELECTED BY OWNER. FULL SIMULATED DIVIDED LITES PER ELEVATION.

ALL WINDOWS SHALL COMPLY WITH SAFETY GLAZING REQUIREMENTS OF COMM 21.09(3) OF THE WISCONSIN UNIFORM DWELLING CODE.

SAFETY GLAZING SHALL MEET REQUIREMENTS OF ANSI Z97.1 WHEN INSTALLED IN ANY OF THE FOLLOWING LOCATIONS:

- IN ANY SIDELIGHT ADJACENT TO A DOOR WHERE THE NEAREST POINT IS WITHIN 2 FEET OF THE DOOR.
- IN A WALL THAT COMPRISES PART OF A TUB OR SHOWER ENCLOSURE WHERE THE GLAZING IS WITHIN 5 FEET VERTICALLY OF THE NEAREST DRAIN INLET AND WITHIN 3 FEET HORIZONTALLY OF THE NEAREST PART OF THE INNER RIM OF THE TUB.
- WITHIN 4 FEET VERTICALLY OF A TREAD OR LANDING IN A STAIRWAY AND WITHIN ON FOOT HORIZONTALLY OF THE NEAR EDGE OF THE TREAD OR LANDING.
- WITHIN 4 FEET VERTICALLY OF THE FLOOR AND 3 FEET HORIZONTALLY OF THE NOSING OF THE TOP OR BOTTOM TREAD OF A STAIR.
- SAFETY GLASS IS NOT REQUIRED WHERE THE SIZE OF AN INDIVIDUAL PANE OF GLASS IS 8 INCHES OR LESS IN THE LEAST DIMENSION.

WINDOW MANUFACTURERS

PER OWNER'S APPROVAL, WINDOW UNITS SHALL BE SELECTED FROM THE LIST BELOW:

GRILL PATTERNS / LITES TO MATCH ELEVATIONS.

1. "MARVIN" - CLAD ULTIMATES WITH SIMULATED DIVIDED LITES (S.D.L.'S) W/ SPACER BAR. LOW E2 GLASS W/ ARGON. CASEMENT U-0.32. DOUBLE HUNG U-0.34. DOORS U-0.35.

2. "KOLBE" - ULTRA SERIES WITH PERFORMANCE DIVIDED LITES (P.D.L.'S) W/ H-K GLASS W/ ARGON. CASEMENT U-0.32. DOUBLE HUNG U-0.34. DOORS U-0.35.

WINDOW OPTIONS

NOTE: WINDOWS WITH STONE SURROUND TO COME WITH FACTORY BRICK MOLDING. BRICK MOLDINGS NOT REQUIRED WITH PRECAST LIMESTONE JAMBES OR TIMBER SURROUNDS.

ALL OPERABLE WINDOWS TO INCLUDE REMOVABLE INSECT SCREENS. SEE ELEVATIONS FOR LOCATIONS WHERE HIGH VISIBILITY SCREENS ARE REQUIRED.

EXTERIOR STAINING / PAINTING

1. ALL EXTERIOR WOOD SIDING AND TRIM, UNLESS NOTED OTHERWISE SHALL BE FACTORY FINISHED OR RECEIVE ONE (1) COAT STAIN ON ALL 6 SURFACES PRIOR TO INSTALLATION AND ONE (1) COAT OF EXTERIOR STAIN AFTER INSTALLATION. COLOR AS SELECTED BY OWNER. PAINTED EXTERIOR SIDING AND TRIM SHALL RECEIVE ONE (1) PRIME COAT OF EXTERIOR PRIMER ON ALL 6 SURFACES PRIOR TO INSTALLATION AND TWO (2) COATS OF EXTERIOR LATEX PAINT AFTER INSTALLATION. COLOR AS SELECTED BY OWNER. EXTERIOR STAIN SHALL BE "OLYMPIC" OR "CABOT" COLOR AS SELECTED BY OWNER.

2. NEW EXTERIOR CONCRETE FLOOR SLABS SHALL RECEIVE ONE (1) CLEAR CONCRETE CURE AND SEALER, "SONNEBORN" KURE-N-SEAL OR APPROVED, EQUAL.

INTERIOR PAINTING / STAINING

1. ALL PAINT SPECIFIED SHALL BE "PRATT & LAMBERT", "SHERWIN-WILLIAMS", "BENJAMIN MOORE" OR FIRE-APPROVED, EQUAL. COLOR AS SELECTED BY OWNER.

2. ALL PAINTED GYPSUM BOARD SHALL RECEIVE ONE (1) PRIME COAT AND ONE (1) FINISH COAT OF EXTERIOR PRIMER ON ALL 6 SURFACES PRIOR TO INSTALLATION AND TWO (2) COATS OF EXTERIOR LATEX PAINT AFTER INSTALLATION. COLOR AS SELECTED BY OWNER FOR DARKER FINISH COATS USE TINTED OR DARKER PRIMER.

3. ALL PAINTED WATER-RESISTANT GYPSUM BOARD SHALL RECEIVE ONE (1) PRIME COAT AND ONE (1) FINISH COAT SATIN FINISH LATEX ENAMEL. COLOR AS SELECTED BY OWNER.

4. ALL PAINTED INTERIOR WOOD TRIM SHALL RECEIVE ONE (1) PRIME COAT AND ONE (1) FINISH COAT OF SEMI-GLOSS LATEX ENAMEL. COLOR AS SELECTED BY OWNER.

5. ALL STAINED INTERIOR WOOD TRIM SHALL RECEIVE ONE (1) COAT OF STAIN. COLOR AS SELECTED BY OWNER, AND TWO (2) COATS OF SATIN FINISH POLYURETHANE.

6. ALL EXTERIOR AND INTERIOR STRUCTURAL OR DECORATIVE TRIM (STEEL LINTELS, METAL DOOR DOORS / FRAMES, PIPES, ANGLES, LOUVERS AND VENTS) SHALL BE PRIMED BY FACTORY OR FABRICATOR. (1) COAT OF METAL PRIMER (FACTORY OR FABRICATOR) AND TWO (2) FINISH COATS OF SEMI-GLOSS ALKTD ENAMEL.

7. ALL NEW WOOD FLOORING SHALL BE STAINED, SANDED AND FINISHED WITH "GLITSA" AS NOTED. COLOR AND FINISH AS SELECTED BY OWNER.



WEST ELEVATION
SCALE 1/4" = 1'-0"



DESIGN SET
PERMIT SET
CONSTRUCTION

REVISIONS:

1		
2		
3		
4		
5		
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7		
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9		
10		

DATE: 9.4.19



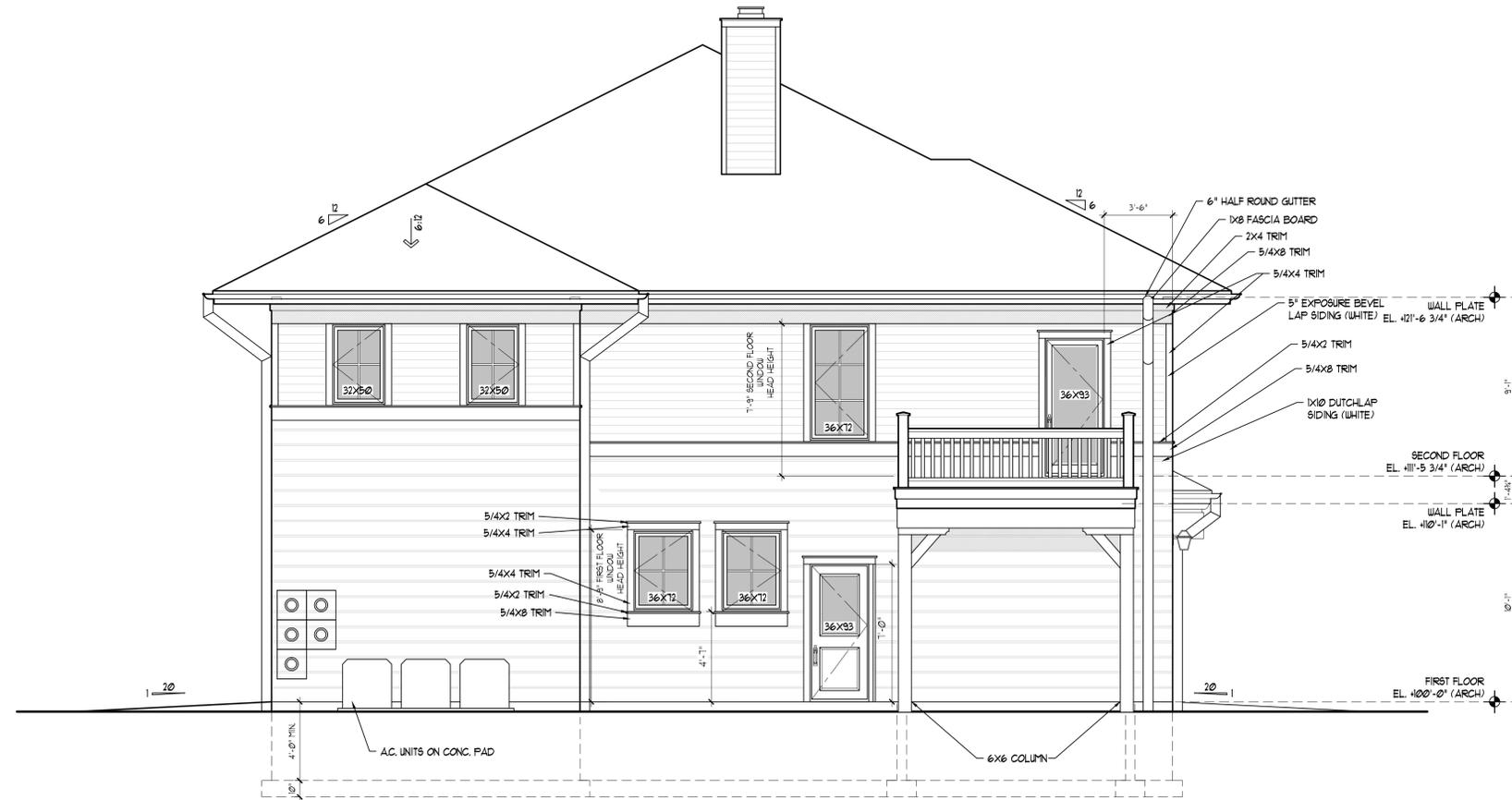
EAST ELEVATION
SCALE 1/4" = 1'-0"



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REVISIONS:

DATE: 9.4.19



NORTH ELEVATION
SCALE 1/4" = 1'-0"

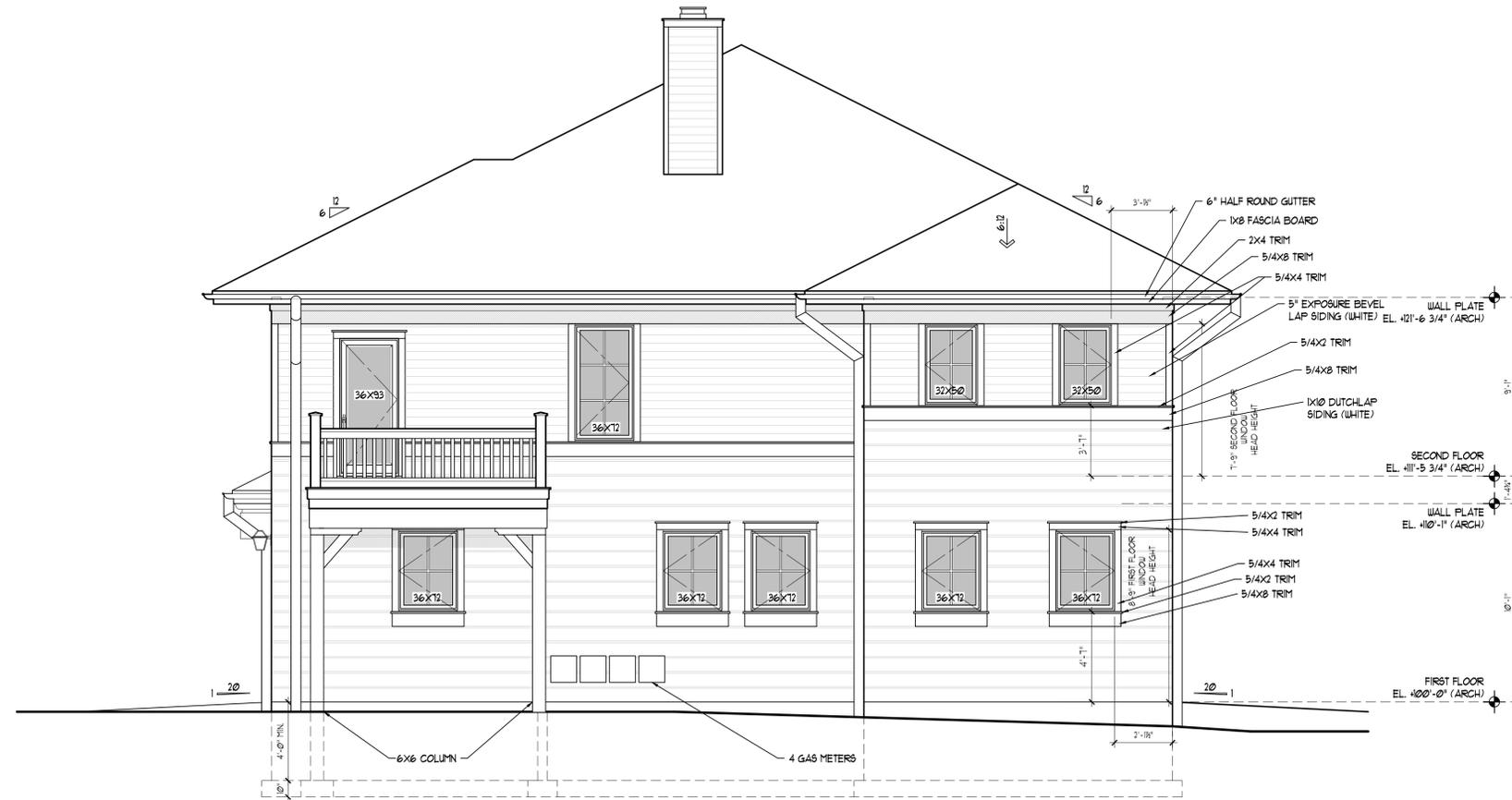


- DESIGN SET
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- CONSTRUCTION

REVISIONS:	

DATE: 9.4.19

A13



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



- DESIGN SET
- PERMIT SET
- CONSTRUCTION

REVISIONS:

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A14



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REVISIONS:

DATE: 9.4.19

MEMORANDUM

To: City of Lake Geneva
From: Mike Slavney, FAICP, City Planner
Date: September 10, 2019 for the September 16, 2019 Plan Commission Meeting
Re: Description and Recommendation for the 2019 Property Owner Proposed Amendments to the City of Lake Geneva Comprehensive Plan's Future Land Use Maps (Maps 5a and 5b).

Introduction

Every year, the City of Lake Geneva holds a Comprehensive Plan Amendment Cycle to consider property owner requests to change the Plan's Future Land Use Map (Maps 5a and 5b). In most years, this cycle runs from May through October. This year's cycle began a month later, so as to coordinate with the Ten-Year Update of the entire Comprehensive Plan required by state law. This approach will allow the Plan Commission's review and recommendations for parcel-specific amendments to be folded into the Ten-Year Update process.

This year's Annual Plan Amendment Cycle schedules the Plan Commission recommendations regarding property owner Plan amendment proposals during the month of September. The Commission members may ask questions about the project, may discuss the proposals with one-another, and may invite the applicants and members of the public to identify questions and concerns about the proposal. A motion to recommend the Common Council approve or deny the request can be made for the entire parcel, or for each proposed change within a parcel. State Law requires that amendments to a Comprehensive Plan be approved by both the Plan Commission, and (following a public hearing) by the Common Council.

Proposed Amendment to the Future Land Use Map for 2019

During this year's proposal period, one Comprehensive Plan amendment has been requested for formal review. It involves proposed changes to the Future Land Use Map for the "Bender Property" at the northwest quadrant of the Edwards Boulevard intersection with Townline Road (ZYUP00198). If the proposed amendment is approved by the Plan Commission and Common Council, then a paragraph describing the approved land use pattern will be added to Comprehensive Plan's Land Use Chapter, in addition to the changes on the Future Land Use Map.

The attached materials include the application, a conceptual layout of the property, and three versions of the Future Land Use Map, including:

1. The current version of the Future Land Use Map;
2. The pattern of Land Use Categories proposed within amendment area; and,
3. The resulting Future Land Use Map if the proposed property owner amendments are approved by the Plan Commission and Common Council.

2019 Property Owner Proposed Amendments to the Future Land Use Map:

Proposed Amendments to the Future Land Use Map

(See attached Map 5b Central City Area Coverage):

1. **Parcel Number ZYUP00198:** Approximately 39 acres. Located at the northwest quadrant of the intersection of Edwards Boulevard and Town Line Road:

Current Future Land Use Map Designations for this Parcel:

The current Future Land Use Map has the entire parcel designated for the **Planned Neighborhood** land use category. This land use category is intended to result in a typical suburban neighborhood dominated by single-family detached homes, with some two-family and multi-family dwelling units, as well as some small-scale office and commercial land uses. The Comprehensive Plan's description of this land use category is found on attached pages 61-62.

Under the Plan's **Housing and Neighborhood Development Goals, Objectives, and Policies**, (found on attached pages 104-105), a minimum of 60% of all dwelling units must be single-family detached, while a maximum of 15% of the dwelling units could be two-family dwellings, and a maximum of 25% of the dwelling units could be in multi-family buildings. Small-scale institutional land uses (such as houses of worship or elementary schools), parks, and small-scale office and commercial buildings (in house-sized buildings using residential exterior materials) are also potentially allowed. The City controls the precise location and mix of land uses through the Zoning Map amendment process.

Proposed Future Land Use Map Designations for this Parcel:

Four specific land use categories are requested for this parcel:

1. Western Edge of the Parcel: The **Single-Family** land use category.

The proposed single-family land use category would enable the Single-Family zoning districts (SR-3 and SR-4) in this part of the property.

The resulting development would match the single-family development immediately to the west. This land use was requested by residents of the neighborhood at the neighborhood land use workshop in the fall of 2018.

2. West-Central and Northern Edge of the Parcel: The **Two-Family** land use category.

The proposed Two-Family land use category would enable the Two-Family zoning district (TR-6) in this part of the property.

The resulting duplex development would have higher densities than the proposed single-family development to the west, and lower densities than the proposed multi-family buildings in the south-central part of the parcel. This land use was recommended as a transition to multi-family by residents of the neighborhood at the neighborhood land use workshop in the fall of 2018.

3. South-Central Portion of the Parcel: The **Multi-Family** land use category.

The proposed Multi-Family land use category would enable the Multi-Family zoning district (MR-8) in this part of the property.

The resulting development would have a higher density than the single-family and duplex areas, and would form a transition to the proposed Planned Mixed Use development along Edwards Boulevard. This land use was proposed along the western edge of the property in the 2018 Plan Amendment cycle. That requested amendment was not approved by the Plan Commission. This year's proposal has less land area proposed for the Multi-Family land use category, and separates this area from the single-family neighborhood to the west with transitions of single-family and duplex land uses. A Group Development conditional use permit, a Zoning Map amendment to the Multi-Family zoning district, or a Planned Development, would be required to approve a specific multi-family project.

4. Frontage of Edwards Boulevard: The **Planned Mixed-Use** land use category.

The proposed Planned Mixed-Use land use category would enable the Planned Office (PO), Planned Business (PB), or Institutional (I) Zoning Districts in this part of the property.

The resulting development under the requested Planned Mixed Use would have the same range of land uses as the current Neighborhood Mixed Use land use category, but building floor areas could exceed 5,000 square feet. The Comprehensive Plan's description of this land use category is found on attached pages 62-63. The design and exterior materials of these buildings are *not* required to match those typical in single-family residences. Unlike the Planned Neighborhood land use category, there is no formula in the Plan that the mix of land uses must adhere to. The City controls the precise location and mix of land uses through the Zoning Map amendment process.

I suggest the following steps for the Plan Commission to follow these steps to consider this for agenda item:

1. Introduction by the City Planner
2. Comments regarding the proposed Future Land Use Map Amendment by the applicant
3. Questions of the Applicant and City Staff by the Plan Commission
4. Comments from the Public
5. Discussion by the Plan Commission, including with City Staff
6. (Optional) Motion, or multiple motions, regarding a recommendation on any portion(s) of the property to the Common Council.
7. Motion regarding a recommendation on the entire property (including any recommendations made of any portion of the property in 6, above) to the Common Council.

Description of the Environs of the Proposed Amendment Area

All of the Bender property is currently unimproved and designated in the Planned Neighborhood land use category on the Future Land Use Map. The southern 75% of the proposed Future Land Use Map amendment area is farmland, while the northern 25% is wooded and contains a small pond. The Ridges of Lake Geneva multi-family development is located to the north of the Bender property. Edwards Boulevard is located along the east edge of the Bender property with mixed commercial properties beyond including the tennis club, Lake Geneva Brewing, and Lake Geneva Animal Hospital. The rear yards of single-family homes along Joshua Lane abut the west edge of the Bender property and the proposed amendment area. Town Line Road abuts the southern edge of the Bender property and the proposed amendment area. On the other side of Town Line Road, single-family development is south of the proposed amendment area, with a storage facility to the southeast.

Implications of the Requested Future Land Use Map Amendment

The current Planned Neighborhood land use category on the Future Land Use Map is designed to result in new neighborhoods in which a minimum of 60% of the dwelling units are single-family detached homes, with the remaining 40% of dwelling units comprised of a mixture of duplex, townhome, and multi-family development. These percentages are based on the historic percentages present in the community. The purpose of these requirements is to ensure that the community maintains its single-family character. The overall density of residential development resulting from the mix of single-family, two-family, and multi-family development will reach 5 to 6 dwelling units per acre. This planning principle has been used in the City's comprehensive plans since 1992. Many other Wisconsin cities and villages use this same approach.

The overall intention of the Planned Neighborhood land use category is to also potentially allow areas for parks, stormwater basins, institutions and will also allow areas for larger-scale office, professional service, and retail development. The actual pattern of land uses within Planned Neighborhood areas is established through the zoning and platting process.

The proposed land use categories on the Future Land Use Map is designed to result in a transition of land uses from west to east comprised of single-family homes, two-family homes, a cluster of small-scale multi-family buildings, and an area of commercial development along Edwards Boulevard. The overall residential density of this pattern will be higher than under the current Planned Neighborhood designation because of the presence of a higher percentage of multi-family and two-family dwellings. Specifically, the Planned Neighborhood designation generally results in an overall density of 5-6 dwelling units per acre, while the proposed density will be in the 7 dwelling units per acre range.

Please note that in making Future Land Use Map decisions, the City is taking no action on either zoning or the proposed Concept Plan at this time. However (per the Consistency Requirement in Wisconsin Statutes), in order to consider such a zoning change or such a project in the future, the proposed amendment area must first be designated on the Future Land Use Map in the Comprehensive Plan. Hence the reason for this plan amendment. In other words, the requested Comprehensive Plan amendment to the Future Land Use Map would be the first required step in a process that may result in development of the submitted Concept Plan. Additional steps in the development approval process include: securing zoning for each of the land use types; dividing the property through the Preliminary and Final Plat process; securing a conditional use permit or planned development for a multi-family project; and detailed site plan approval for any non-residential and multi-family development.

Preliminary Plan Commission Review

On August 19, 2019, the Plan Commission conducted a preliminary review of this Future Land Use Map amendment. Many residents in the neighborhood to the west were present and spoke to the proposal.

I would group the concerns raised into five themes:

- **Land Use:** The proposed land use transition from existing single-family homes to the west to single-family homes and then to two-family homes within the Bender property is a significant improvement over last year's proposal to transition directly to multi-family homes
- **Stormwater:** The rear of the homes on Joshua Lane experience stormwater runoff from the Bender property because it is higher than the back yards of the homes. Development in the western portion of the Bender property should intercept stormwater so that it does not run off into the neighborhood.
- **Andrea Drive Road Extension:** The property owned by the City that could be used to extend Andrea Drive into the Bender property should not be turned into a road that will connect to the Bender property. Concerns mentioned included more traffic through the neighborhood will many children, and potentially higher speed traffic. Although the stub road is planned, because the plat was designed to extend Andrea Drive, residents prefer no road connection.
- **Town Line Road:** Several speakers noted that the hills and dips on Town Line limit traffic visibility, and that the proposed intersections from the Bender Property are not located at the best spots for visibility. Neighbors also reminded the Plan Commission that the school bus stops on Town Line Road already seem unsafe to residents.
- **Traffic at the Town Line Road intersection with Edwards Boulevard:** This intersection is considered very congested with unreasonable wait times for traffic on Town Line Road. Drivers get impatient and make dangerous decisions. A traffic signal is needed now.

City Planner Analysis:

I believe the proposed Concept Plan depicts a reasonable land use pattern that accomplishes the transition of land uses to Edwards Boulevard. I support the proposed amendments to the Future Land Use Map.

In the coming months, whether the proposed amendment is approved or denied, I believe the following should also occur before development on the Bender Property:

I believe the proposed Concept Plan can be refined and improved, particularly to respond to the detailed pattern of environmental features on the property. These will be studied in detail as a prerequisite to any zoning or land division activity.

I further believe that Town Line Road must be examined carefully to select the best number and locations of proposed intersections, and that planning for road improvements must account for pedestrian, bicycle, school bus, and motor vehicle travel, turns and stops. This study should also review implications of the Andrea Drive connection.

The growing traffic and Edwards and Town Line is an emerging concern. The City should coordinate with WisDOT to evaluate the potential of additional turn lanes and traffic controls. The ultimate roadway widths and design of this intersection, including traffic controls, should be planned prior to any development on the Bender property.

City Planner's Recommendation:

To the Plan Commission:

I recommend the Plan Commission make, second, and approve a motion to recommend to the Common Council the *approval* of the proposed amendment to Comprehensive Plan's Future Land Use Map for the Bender property.

If approved, this motion would be, in effect, to recommend *amending* the current Planned Neighborhood future land use category to the requested pattern of land use categories.

If denied, this motion would be, in effect, to recommend *retaining* the current Planned Neighborhood future land use category.

Approval or denial of the requested amendment to the Future Land Use Map *will not* approve or deny the concept plan or the proposed extension of Andrea Drive.

Report Maps are presented on the following pages



PARCEL 1, 15.28 ACRES
 30 DUPLEX LOTS, 60 UNITS; 3.93 D.U./ACRE

PARCEL 3, 11.56 ACRES
 MR-8 ZONING; 16. 6 UNIT RENTAL RESIDENTIAL;
 96 UNITS; 8.30 D.U./ACRE
PARK DRIVE

PARCEL 2, 10.57 ACRES
 PLANNED BUSINESS, 5 LOTS

S EDWARDS BOULEVARD

PRIVATE 2nd ROAD
 (IN PARCEL 2 AND 3)

ANDRIA DRIVE

N JOSHUA LANE

**DEDICATED 60'
 ROAD R.O.W.**

PROPOSED BIKE ROUTE

**50' HALF R.O.W. DEDICATION
 ALONG TOWNLINE ROAD**

TOWNLINE ROAD

HUDSON TRAIL

CUMBERLAND TRAIL

**-CONCEPTUAL SITE PLAN-
 S. EDWARDS BLVD. TOWNLINE RD. PROPERTY**

Townline Rd. & Edwards Blvd./ Hwy 120 Lake Geneva, WI

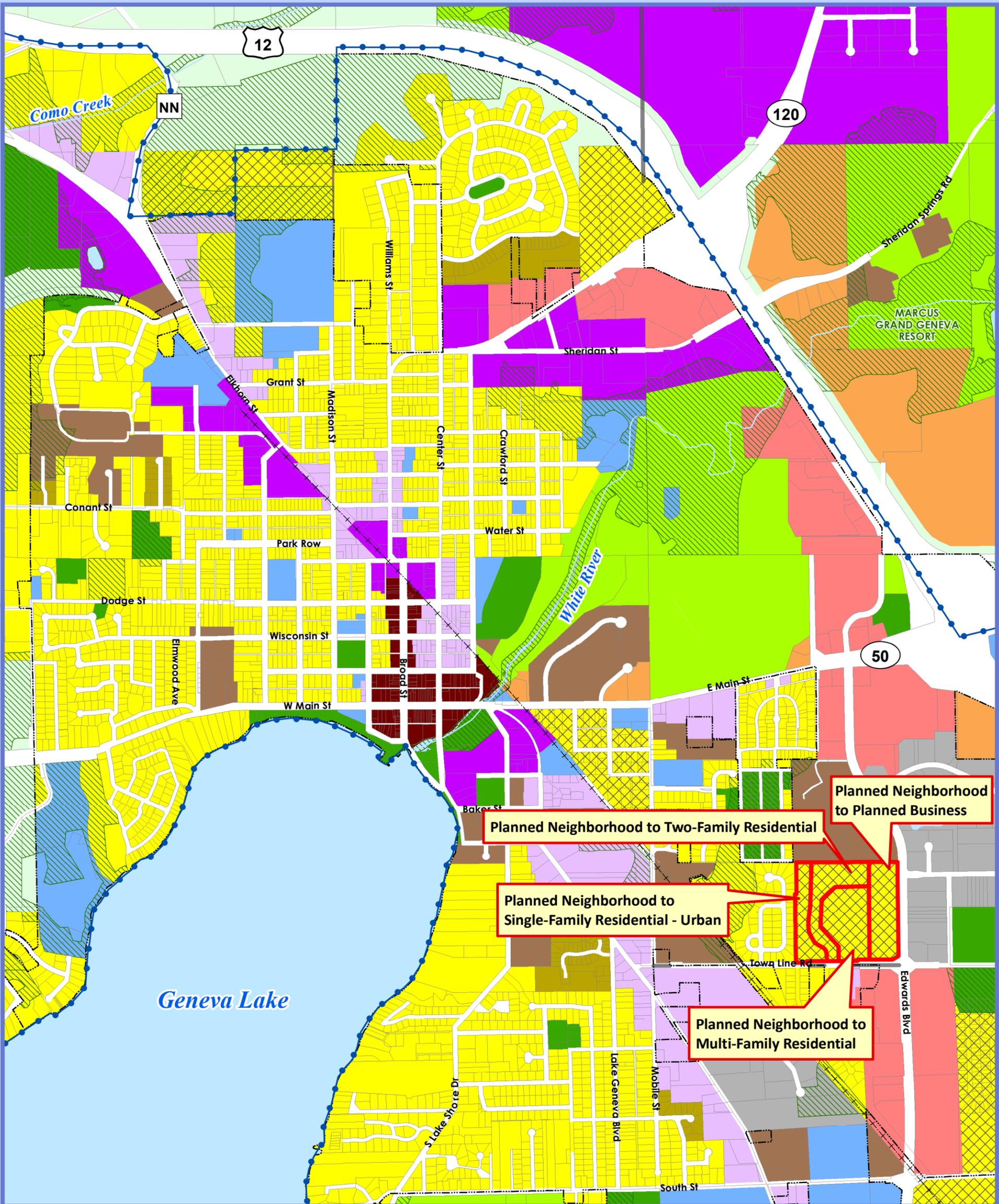
ISSUED: 2019.04.22



Keefe Real Estate, Inc.
 791 Geneva Parkway
 P.O. Box 409
 Lake Geneva, WI, 53147
 262-248-4192



Professional Association
 627 Grove Street
 Evanston, Illinois



Map 5b: Future Land Use - City of Lake Geneva Comprehensive Plan

Land Use Categories

DRAFT

-  Agricultural & Rural
-  Single Family Residential - Exurban
-  Single Family Residential - Urban
-  Two-Family/Townhouse Residential
-  Multi-Family Residential
-  Planned Neighborhood
-  Neighborhood Mixed Use
-  Planned Office
-  Planned Business

-  Central Business District
-  Planned Mixed Use
-  Planned Industrial
-  General Industrial
-  Institutional & Community Services
-  Private Recreation Facilities
-  Public Park & Recreation
-  Environmental Corridor
-  Long Range Exurban Growth Area

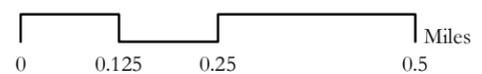
*Each "Planned Mixed Use Area" may include mix of:

1. Planned Office	4	1
2. Multi-Family Residential	3	2
3. Institutional & Community Services	2	4
4. Planned Business	1	3

*Each "Planned Neighborhood" may include a mix of:

1. Single Family - Urban (predominate land use)	1
2. Two-Family/Townhouse	2
3. Multi-Family Residential	3
4. Institutional & Community Services	4
5. Neighborhood Mixed Use	5
6. Public Park & Recreation	6

-  City of Lake Geneva
-  Township Boundary
-  Urban Service Area Boundary
-  Extraterritorial Jurisdiction Boundary
-  Parcels
-  Surface Water
-  Abandoned Railroad



DRAFT: August 8, 2019
 Adopted: December 14, 2009
 Amended: November 13, 2017
 Source: SEWRPC, WIDNR,
 Walworth County LIO, V&A

**City of Lake Geneva
Amendment to the Comprehensive Plan
APPLICATION FORM**

PETITION: I, 120 PROPERTIES LLC hereby petition the City of Lake Geneva consider the following request for amendment to the Lake Geneva Comprehensive Plan:

Please check those that apply:

- Future Land Use Map (Map 5)
- Other Maps (Transportation Facilities Map, etc.)
- Text Amendment (policies, programs, etc.)
- Other

PROPERTY BEING APPLIED FOR: ZYUP 000198

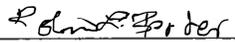
Name of Applicant: Person(s) or Firm	120 PROPERTIES LLC, RON AND ROBIN BEUDER, Members
Address:	W3167 WILDWOOD LANE, LAKE GENEVA, WI 53147
Daytime Telephone:	RON (847-775-9101) ROBIN (262) 215-4030 GARY DUNHAM (262) 215-3619
Email or Fax:	RON (reb1250@gmail) ROBIN (rvb727@gmail) (gdunham@keefeconsulting.com)
Property Owner Name and Address: If different from applicant	
Description of Property, Parcel Number, or Street Address: If request is related to a particular property	38.5 +/- ACRES LOCATED AT TOWNLINE/EDWARDS Blvd.
Summary of the Proposed Amendment Request: Please describe here (or on a separate sheet) your specific request for a Comprehensive Plan amendment. Provide any necessary maps or supporting data as needed, including conceptual development plans, if applicable.	SUBDIVISION OF LAND TO FOLLOWING ZONING DISTRICTS (SEE ATTACHED PROJ. LAYOUT) APPR 12 +/- APPR 11.5 +/- AMR-8 MULTI-FAMILY ZONING APPR 6 +/- SFR SINGLE FAMILY RESIDENTIAL APPR 9 +/-
Present Zoning: If applicable	RURAL HOLDING
Future Proposed Use: Attach additional pages and/or concept plan as appropriate.	CONCEPT PLAN AS ATTACHED

The Lake Geneva Plan Commission will consider the following criteria when making recommendations regarding amendments to the Comprehensive Plan. Please respond to the following questions:

If additional space is needed for your response, please attach additional sheets to this form.

1. How will the proposed amendment to the Comprehensive Plan benefit the public, City, and/or surrounding neighbors or neighborhoods?	
2. How does the request advance the goals, objectives and policies of the Comprehensive Plan?	
3. As it affects the amendment request, what circumstances have changed or what new information is now available since the 2009 adoption of the City's Comprehensive Plan, or in the case of a previously requested amendment, what circumstances have changed since the last amendment request?	
4. Is there any additional information that the City of Lake Geneva should consider in its evaluation of this request?	

The deadline for requests to amend the Comprehensive Plan is **Wednesday, July 31, 2019 at 4:00 p.m.**
Requests shall be submitted to City Hall or via email to bzclerk@cityoflakegeneva.com.

DocuSigned by:


Signature of Applicant

July 2, 2019
Date



Walworth County, WI Land Information Division

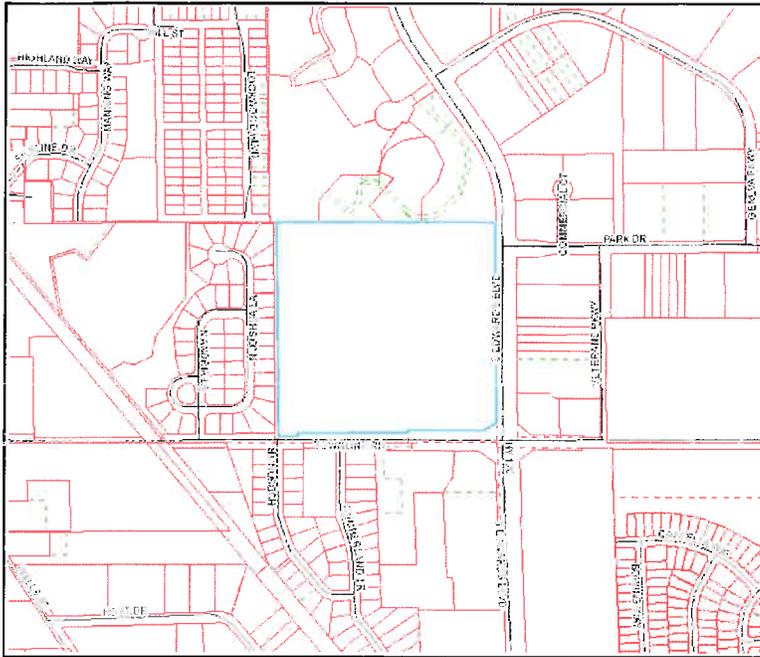
Property Details

Municipality: CITY OF LAKE GENEVA
 Parcel Number: ZYUP 00198
 School District: 2885-LAKE GENEVA J1 SCHOOL DISTRICT
 Zoning District:

Owner Information

Owner Name: 120 PROPERTIES LLC
 Owner Name 2:
 Mailing Address: PO BOX 935

LAKE GENEVA WI, 53147



2018 Valuation Information

Land: \$51,100.00
 Improvements: \$0.00
 Total: \$51,100.00
 Acres: 38.5300
 Fair Market Value: \$52,200.00
 Assessment Ratio: 0.9787828660
 Mill Rate: 0.0197785430

Tax Information

First Dollar Credit: \$0.00	School Credit: \$112.10
Special Assessment: \$0.00	Lottery Credit: \$0.00
Delinquent Utility Charge: \$0.00	Special Charges: \$0.00
Managed Forest Land Taxes: \$0.00	Private Forest Crop Taxes: \$0.00
Total Billed: \$1,010.67	Woodland Tax Law Taxes: \$0.00
Net Tax: \$1,010.67	

Tax Jurisdictions

WALWORTH COUNTY \$204.77
 LAKE GENEVA J1 SCHOOL DIST \$297.92
 STATE OF WISCONSIN \$0.00
 CITY OF LAKE GENEVA \$284.03
 GATEWAY TECHNICAL \$42.09
 LAKE GENEVA-GENOA CITY UHS \$181.86

Elected Officials / Voting Districts

Supervisory District: Nancy Russell (D11)
 State Representative: Tyler August(R) (32nd District)
 State Senator: Stephen Nass(R) (11th District)
 US Representative: Bryan Steil(R) (1st District)
 US Senator: Ron Johnson (R) & Tammy Baldwin (D)

Soil Classification

<u>Soil Type</u>	<u>Soil Name</u>	<u>Acres</u>
MxE2	SANDY LOAM SUBSTRATUM, 20 TO 35 PERCENT SLOP	8.0130
MpB	MCHENRY SILT LOAM, 2 TO 6 PERCENT SLOPES	7.1097
MxC2	SANDY LOAM SUBSTRATUM, 6 TO 12 PERCENT SLOPI	6.0941
MpC	MCHENRY SILT LOAM, 6 TO 12 PERCENT SLOPES	5.8370

Special Assessments / Charges

Property Address

Legal Description

PT SE1/4 SW1/4 & SW1/4 SE1/4 SEC 31 T2N R18E DESC AS BEG S 1/4 COR SEC 31; S89D51'55"W 772.80'; N00D43'37"W 1321.83'; N89D51'51"E 1298.69'; S00D41'51"E 1207.65'; S59D59'34"W 91.36'; S89D53'32"W 444.85'; S00D06'59"E 68.90' TO POB.

Disclaimer

The information provided in this property information page is not official information. All official tax information is recorded in the Walworth County Treasurer's Office. To verify tax payment/payoff status, contact the Walworth County Treasurer's Office at 262-741-4251.

June 26th, 2019

120 Properties LLC, Application for Amendment to the Comprehensive Plan

120 Properties hereby petitions the City of Lake Geneva consider the following request for amendment to the Lake Geneva Comprehensive Plan:

X Future Land Use Map (Map 5)

Name of Applicant: Ronald Bender and Robin Bender, Members, 120 Properties LLC, Taxkey ZYUP 00198, and Gary Dunham, Agent Representative, Keefe Real Estate

Address: Edwards Boulevard South and Townline Road (38.5+/- Acres)

Daytime Telephone: Please contact our agent, Gary Dunham at 262-248-4492 (Office) or 262-215-3619 (cell)

Email or Fax: gdunham@keeferealestate.com

Property Owner Name and Address if different from Applicant:

120 Properties LLC, P O Box 935, Lake Geneva, WI 53147

Summary of Proposed Amendment Request:

Subdivision of Land, and Rezone to the following,

Approximately 12+/- Acres to be zoned Neighborhood Commercial on Edwards Blvd, Approximately 11.5+/- Acres to be Zoned MR-8, Multi Family Housing, Approximately 6+/- Acres to be Zoned Single Family Residential (SFR) and 9+/- Acres to be Zoned Duplex. Please see layout as attached as a representative sample of a layout plan.

Present Zoning: Rural Holding (RH)

Future Proposed Use: See attached Concept Plan

How will the proposed amendment to the comprehensive plan benefit the public, City, and/or surrounding neighbors or neighborhoods?

The property is located in a transition zone on the Edwards Boulevard Corridor. The 4 lane boulevard already contains commercial both on the East and West side as it continues south on Edwards Boulevard. Across the street is the existing Business Park, which is over 95% complete with only a few lots remaining. The protective covenants of the LGBP do not allow retail components within the Business Park specifically.

As the City continues its main growth toward the south, it is expected that additional commercial frontage will be needed for neighborhood businesses and other service related enterprises. It is assumed that this zone will continue at a minimum to the corner of Edwards and Townline and more likely to the corner of Edwards and Bloomfield Road over time.

It is expected the businesses could encompass retail, banking, food and entertainment, and other local, regional or national service related businesses. Additionally, it is expected that perhaps a convenience store, automotive brand or even a national flag branded motel could be an addition to either this property or another located to its south. As such, the applicants will ask for that zoning classification which allows for each of these uses.

A residential buffer will generally occur in an L shape along the Northern perimeter as it is contiguous to The Oaks, and to The Meadowlands on its Western boundary. At the Western perimeter, it is most likely single family residential will be developed to the Joshua Lane historic curb cut entrance and potentially could go as far as the most northern boundary of The Meadowlands. At the Northern property line, the applicant envisions side by side high end attached duplex housing which most likely would cater to retirees interested in having all exterior maintenance handled by a professional management association. There is a remote possibility that we could envision all of these residential projects potentially sharing features such as recreational facilities at a common area space once developers have been decided upon.

The infill piece located between the residential and commercial is requested to be MR-8, Multi Family Residential housing. We expect that the units would be most like those units which already exist on the Highway 12 and Townline MR-8 project now in its final stages.

All of the Zoning Classes are buffers to the current uses as both adopted under the current master plan, and as currently developed in each of the contiguous neighborhoods. It is expected that this will help to predict how the land to the South on Edwards Boulevard will continue to get developed in the coming years.

How does the request advance the goals, objectives and policies of the Comprehensive Plan?

The Edwards Boulevard Corridor was developed over 25 years ago with the main idea that this is the path that the City will grow in the coming decades. The City tends to be land locked to their East and North by significant topography or existing main roadways which naturally define the borders of the City. There are significant land holdings to the West of the City which act as a natural border wherein the current owners have signaled their desire to not want to develop at any point in the foreseeable future. As such, Edwards Boulevard was designed to allow the City to grow, and transition out to the Townships to the South and West (Linn and Bloomfield) wherein it might be expected that the residences at some point will only exist on less modest lot size lots and be built to convene more within the natural pastoral settings.

The design as attached utilizes these ideas to allow this property to transition to the next piece of Southern frontage which jumps over Townline and already has single family homes and a few existing retail/service related businesses both on the Eastern and Western sides of the boulevard.

As it affects the amendment request, what circumstances have changed.....

The lands South of Highway 50 are largely developed as it comes to the retail classification. There is a parcel contiguous to the Walmart on its South. Most infill pieces have been built on and future inventory for this classification for the neighborhoods to the South is necessary. Also, all of the current housing stock of multi family will be constructed and leased within the coming 12 months based upon our discussions with the developers on those projects. There is need in the future for both of these zoning classifications, and now is the time to plan these projects as developers have been in discussions with us as owners as to future land sites. In 2009, the economy was in a major downfall, and all projects were put on hold and there was an adequate supply of these types of lots. However, in the past 36 months these sites have been either purchased or purchased and developed and inventory has dwindled.

Is there any additional information the City of Lake Geneva should consider in its evaluation of this request?

The Applicant believes they have outlined all pertinent information for this application and looks forward to working with the City in relation to this rezoning request



VANDEWALLE & ASSOCIATES INC.

To: City of Lake Geneva Plan Commission

From: Jackie Mich, AICP and Meredith Perks

Date: September 10, 2019

Re: Comprehensive Plan Draft #1

Your meeting packet includes Draft #1 of the Comprehensive Plan, which will be discussed at the September 16 meeting.

We will focus our discussion on the following key planning issues:

- Map 5: Future Land Use Map (Chapter Three, page 87)
- Support High-Quality New Housing at all Income Levels (Chapter Eight, page 127)
- Allow Alternative Affordable Housing Options (Chapter Eight, page 127)
- Enact Design Standards for Multi-Family Housing (Chapter Eight, page 127)
- Prepare Downtown Revitalization and Reinvestment Plan (Chapter Nine, page 138)
- Explore Options to Increase Parking Downtown (Chapter Six, page 97-98)

Note: Concept plans for the former Hillmoor Golf Course will be discussed at a joint meeting with the Common Council, anticipated to occur in October.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 16, 2019

Agenda Item: 9

Applicant:

Mike Hanley
302 Townline Rd.
Lake Geneva, WI 53147

Request:

Conceptual Review for Personal Indoor Storage
302 Townline Rd
Tax Key No. ZYUP00144

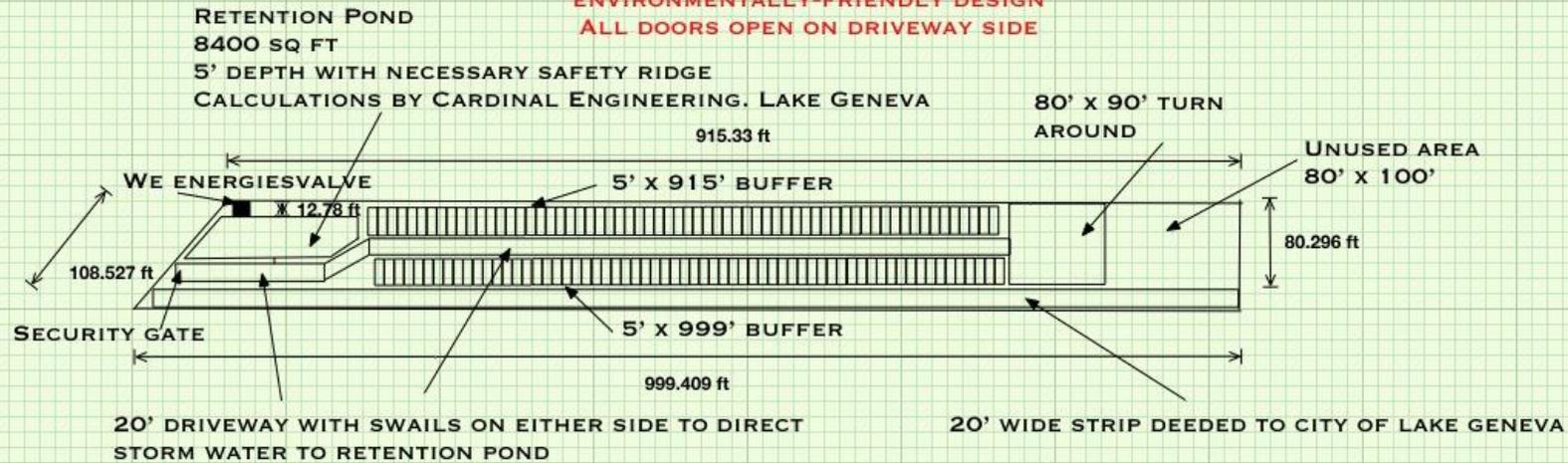
Description:

The applicant is submitting a request for a conceptual review of a proposed land use for the development of personal storage facility in the Planned Industrial (PI) zoning district which is permitted with the issuance of a Conditional Use, Tax Key No. ZYUP00144.

At this time the applicant is only proposing this use with the unique land dimensions of 100' feet wide and 999' feet long.

The unique configuration of this property restricts the possible land uses; therefore the conceptual request was suggested by Staff to have the Plan Commission identify recommendations, questions, or concerns.

'STORAGE DOCS' FACILITY BY CLEAR SKY LLC
10 X 25' STORAGE UNITS - 120 UNITS EST.
STEEL STRUCTURES WITH REAR WALLS PAINTED IN
ENVIRONMENTALLY-FRIENDLY DESIGN
ALL DOORS OPEN ON DRIVEWAY SIDE



LANDSCAPE PERCENTAGE = 25% OF TOTAL LOT AREA
 TOTAL LOT SQUARE FEET = 80,000
 REQUIRED LANDSCAPE AREA = 20,000 SQUARE FEET

5' x 915' BUFFER = 4575 SQUARE FEET
 5' x 999' BUFFER = 4995 SQUARE FEET
 UNUSED AREA AT SOUTH END = 8000 SQUARE FEET
 WE ENERGIES EASEMENT = 1200 SQUARE FEET
 MISC. LANDSCAPING AT ENTRANCE = 1000 SQUARE FEET
 TOTAL LANDSCAPE AREA = 19770 SQUARE FEET

DEVELOPERS: JOHN ENGERMAN & MIKE HANLEY
 302 TOWNLINE ROAD, LAKE GENEVA WISCONSIN. 262/475-9842